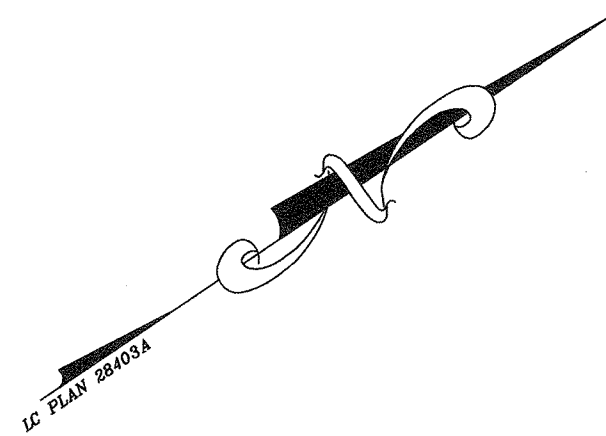


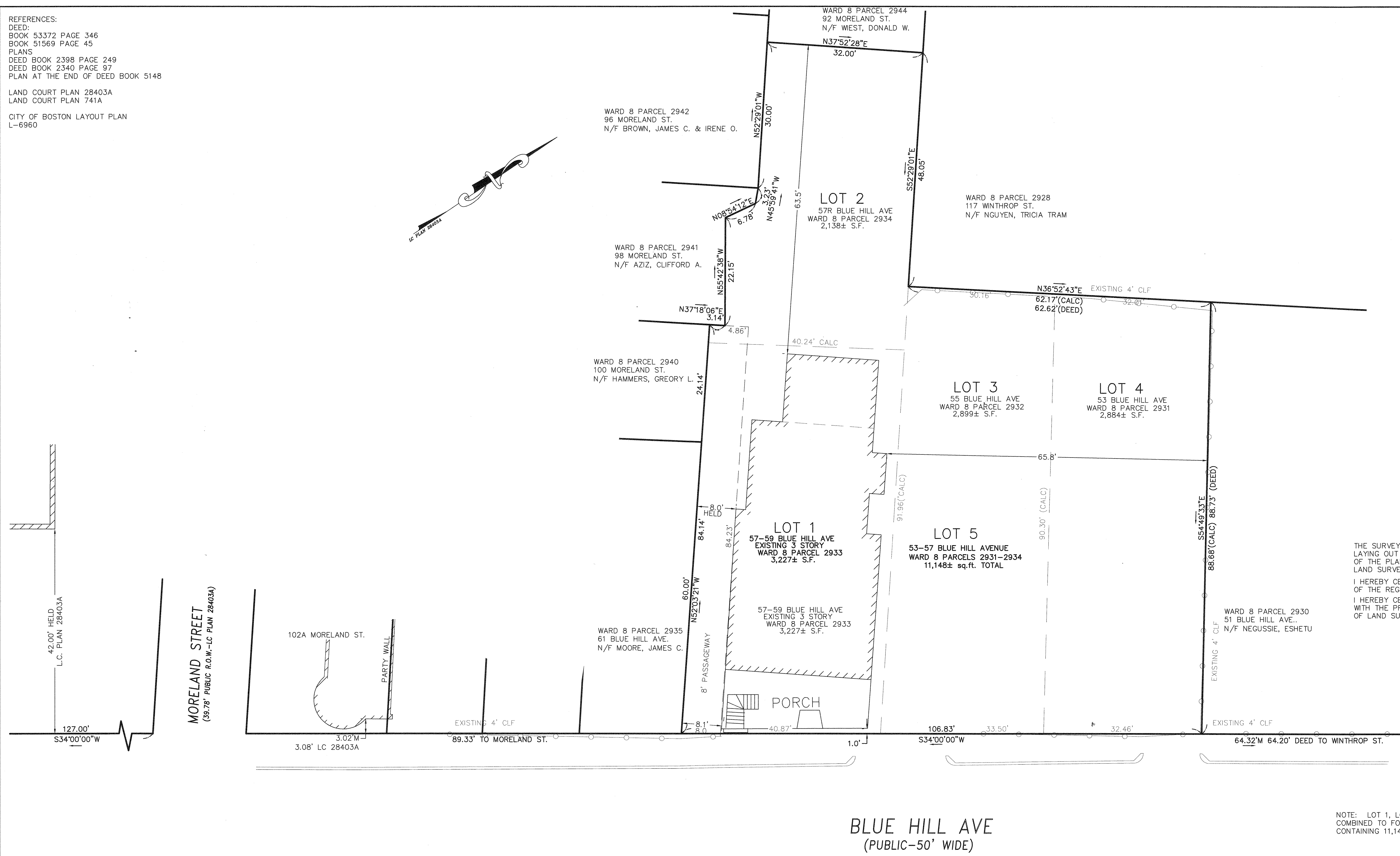
REFERENCES:
DEED:
BOOK 53372 PAGE 346
BOOK 51569 PAGE 45
PLANS
DEED BOOK 2398 PAGE 249
DEED BOOK 2340 PAGE 97
PLAN AT THE END OF DEED BOOK 5148

LAND COURT PLAN 28403A
LAND COURT PLAN 741A

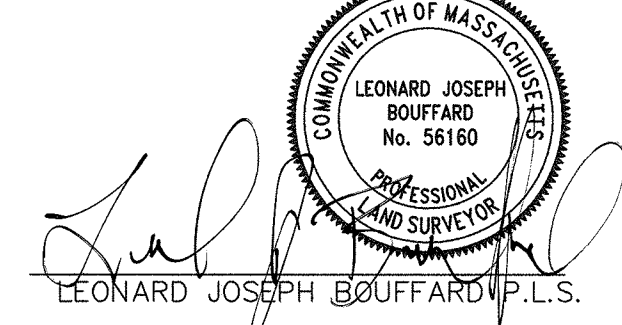
CITY OF BOSTON LAYOUT PLAN
L-6960



REGISTRY USE ONLY



THE SURVEYING OF THE LAND FOR THIS, INCLUDING THE PLATTING AND LAYING OUT OF LOTS AND THE ALIGNMENT OF STREETS AND THE DRAFTING OF THE PLAN, HAS BEEN DONE BY ME OR MY FIRM, REFLECTS ACCEPTED LAND SURVEYING PRACTICES AND STANDARDS.
I HEREBY CERTIFY THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
I HEREBY CERTIFY THIS PLAN AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS IN THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

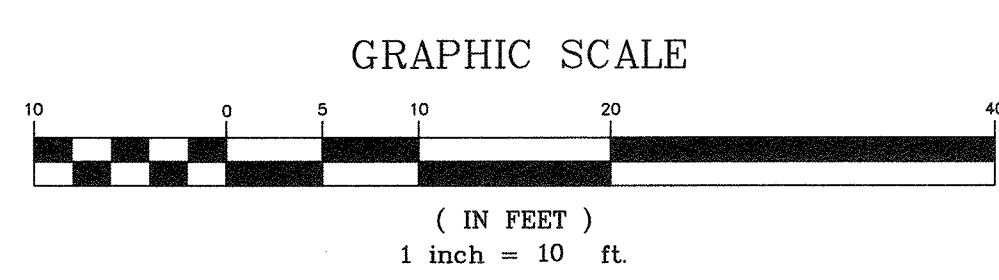


2-4-21
DATE

NOTE: LOT 1, LOT 2, LOT 3, AND LOT 4 ARE TO BE COMBINED TO FORM ONE CONTIGUOUS LOT - LOT 5 - CONTAINING 11,148± sq.ft.

MORELAND STREET
(59.78' PUBLIC R.O.W. - LC PLAN 28403A)

BLUE HILL AVE
(PUBLIC-50' WIDE)

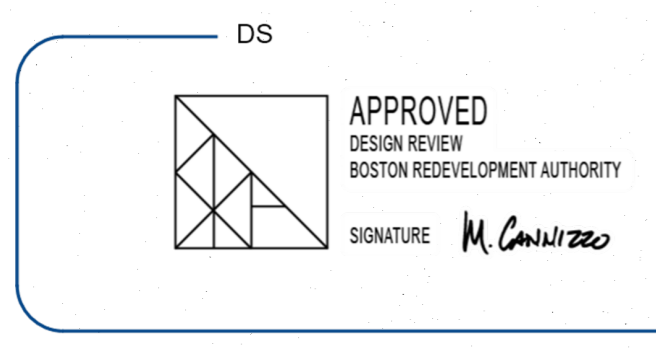


LOT CONSOLIDATION PLAN
53-57 BLUE HILL AVE.
ROXBURY, MA
FOR
DOUG GEORGE

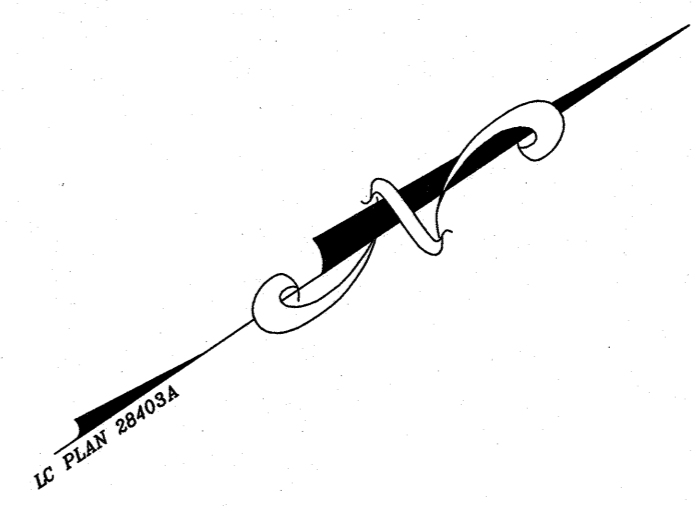
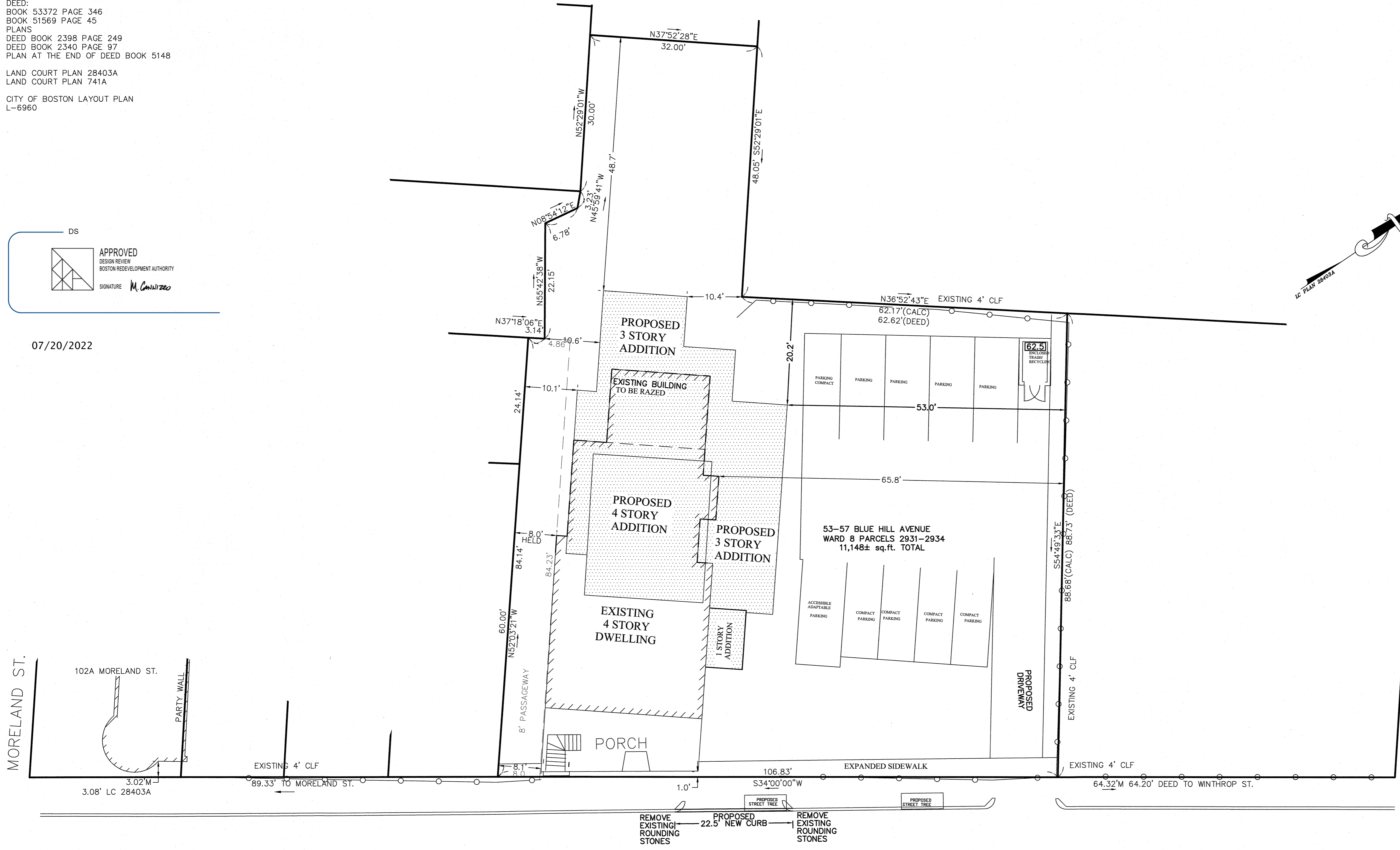
CIVIL ENVIRONMENTAL CONSULTANTS
8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1
DATE: 2/4/2021 JOB: 3062
DRAWN BY: L.J.B.

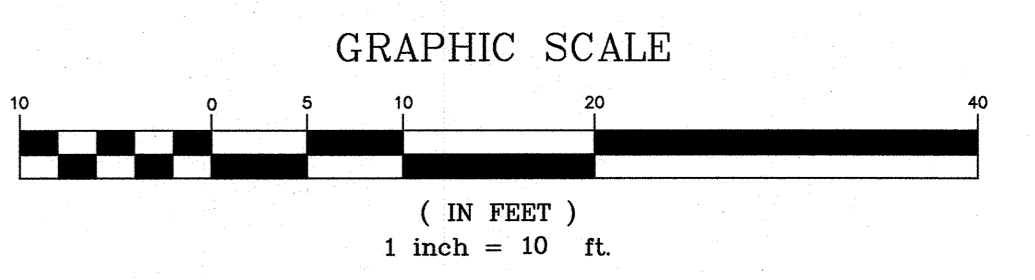
REFERENCES:
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 BOOK 53372 PAGE 346
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 PLANS
 DEED BOOK 2398 PAGE 249
 DEED BOOK 2340 PAGE 97
 PLAN AT THE END OF DEED BOOK 5148
 LAND COURT PLAN 28403A
 LAND COURT PLAN 741A
 CITY OF BOSTON LAYOUT PLAN
 L-6960



07/20/2022



LEONARD JOSEPH BOUFFARD P.L.S.
 PROFESSIONAL LAND SURVEYOR
 No. 56160
 DATE: 11-12-2021



BDLG REVISION PER CLIENT REQUEST	L.J.B.	11/12/2021
BDLG REVISION PER CLIENT REQUEST	L.J.B.	6/23/2021

PROPOSED SITE PLAN
 53-57 BLUE HILL AVE.
 ROXBURY, MA
 FOR
 DOUG GEORGE

CIVIL ENVIRONMENTAL CONSULTANTS
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1
 DATE: 01/27/2021 JOB: 3062
 DRAWN BY: L.J.B.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL GIVE A WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT. FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN OF 5 DAYS AFTER THEY WERE POURED.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
 - **3000 PSI** FOR BASEMENT SLABS, FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER FOR DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, CARPORT SLAB, STEPS AND OTHER FLATWORK EXPOSED TO WEATHER AND GARAGE FLOOR SLABS
 - **3500 PSI**
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
3. ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - A. FOOTINGS 3 INCHES
 - B. SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
 - C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
 - D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

EPOXY ANCHORS:

1. EXPANSION BOLTS USED IN CONCRETE SHALL BE SIMPSON STRONG BOLT 2 OR EQUAL. BOLTS NEED TO BE INSTALLED IN ACCORDANCE WITH ICC-REPORT ESR-3037.
2. EPOXY ANCHORS AND DOWELS INSTALLED INTO CONCRETE SHALL BE A THREADED ROD OR REINFORCING BAR DOWEL WITH THE HILTI "RE-500SD" ADHESIVE SYSTEM AND BE INSTALLED ACCORDING TO ICC-REPORT ESR-2322.
3. CONTRACTOR MAY SUBSTITUTE EXPANSION BOLTS OR EPOXY ADHESIVES OF EQUAL VALUE IN THE SPECIFIED MATERIAL WITH A CURRENT ICC-REPORT FOR REVIEW. EXPANSION BOLTS SHALL NOT BE USED IN MASONRY.

Neighborhood Design Overlay District Approval

Any changes to the exterior and/or site plan (including materials) shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM:
 - FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
 - FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS COLUMNS
 - FB=3100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows: or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

PROPOSED ADDITION 57 BLUE HILL AVE ROXBURY, MASSACHUSETTS

MODIFICATION SUMMARY (3-24-2021)

-No changes (only repairs) have been made to the front of the existing building within the 20' front yard thus the existing front yard encroachment remain as existing non conforming as allowed per code. The walls at the first floor entry have been returned to their original location and the stairs from grade to the second floor porch have been reintroduced.

-All additions have been made greater than 20' from the front lot line.

-All trees over 5' have been removed from the front yard area.

-All changes from the previous set are clouded in this design set.

MODIFICATION SUMMARY (6-01-2021)

-It was determined from an updated site plan that there was a non buildable passageway to the left of the building so the addition was adjusted accordingly to maintain as of right setbacks as well as be moved out of the boundary of the passageway.

ZONING SUMMARY ARTICLE 50 MFR/ SUBDISTRICT PROPOSED 10 FAMILY

ANY OTHER DWELLING	MIN. LOT SIZE	MIN. LOT AREA PER ADD. UNIT	TOTAL LOT SIZE	LOT WIDTH/ FRONTAGE	FAR	BLDG. HEIGHT	USABLE OPEN SPACE	SETBACK FRONT	SETBACK SIDE	SETBACK REAR	MAX USE REAR YARD
REQUIRED BY ZONING	4000 S.F. FOR 3 UNITS	1000 S.F.	11000 S.F.	40	1.0	45' ^{4 STORIES}	200/UNIT	1'± / MODAL BLUE HILL AVE	10'	20'	25%
EXISTING	NA EXG	NA EXG	11216 S.F.	106.7'	.46 ^{5205/11216}	43.00' ^{4 STORIES}	469/UNIT	1' BLUE HILL AVE	8'-0"	65'-0"	0 %
PROPOSED PROJECT	4000 S.F. FOR 3 UNITS	1031 S.F.	11216 S.F. NO CHANGE	106.7'	.84 ^{9414/11216}	43.00' ^{4 STORIES} NO CHANGE	458/UNIT 4587/10 UNITS	20'-0" AT ADDITION	10.5' AT ADDITION	48'-8" AT ADDITION	0 %

PARKING REQUIREMENT RESIDENTIAL USE: 1.00 SPACE PER UNIT

REQUIRED 10 SPACES

PROPOSED 10 SPACES
5 Spaces 8.5' x 20'
5 Spaces 8' x 18'

KEY

- ☉ SMOKE DETECTOR
- ☉ HEAT DETECTOR
- ☉ CARBON MONOXIDE DETECTOR
- ☒ EMERGENCY LIGHT
- ☒ HORN/ STROBE/ PULL STATION
- ☒ HORN/ STROBE
- ◇ 1 HOUR WALL (SEE W.T.1/A-3.1)
- ◇ 2 HOUR WALL (SEE W.T.2/A-3.1)
- ☒ FAN
- ⊙ 45 MIN. DOOR
- ⊙ 1-1/2 HOUR DOOR
- ☒ FIRE ALARM CONTROL PANEL
- ⬡ WINDOW TYPE
- 1 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- 2 2 HOUR CLG. WALL (SEE C.T.2/A-3.1)
- ☉ FIRE EXTINGUISHER
- ▨ NEW WALL
- EX'G WALL TO REMAIN
- - - WALL TO BE REMOVED

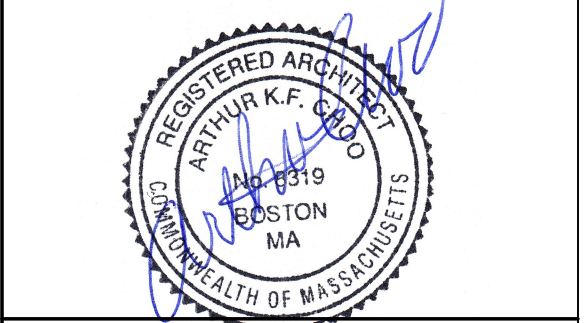
CODE SUMMARY

EX'G TYPE 5 CONSTRUCTION
4 STORIES
R-2 / A MIXED USE
PROP R-2
EX'G NON SPRINKLED
PROP. FULLY SPRINKLED

Location
PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date
	11-15-2021

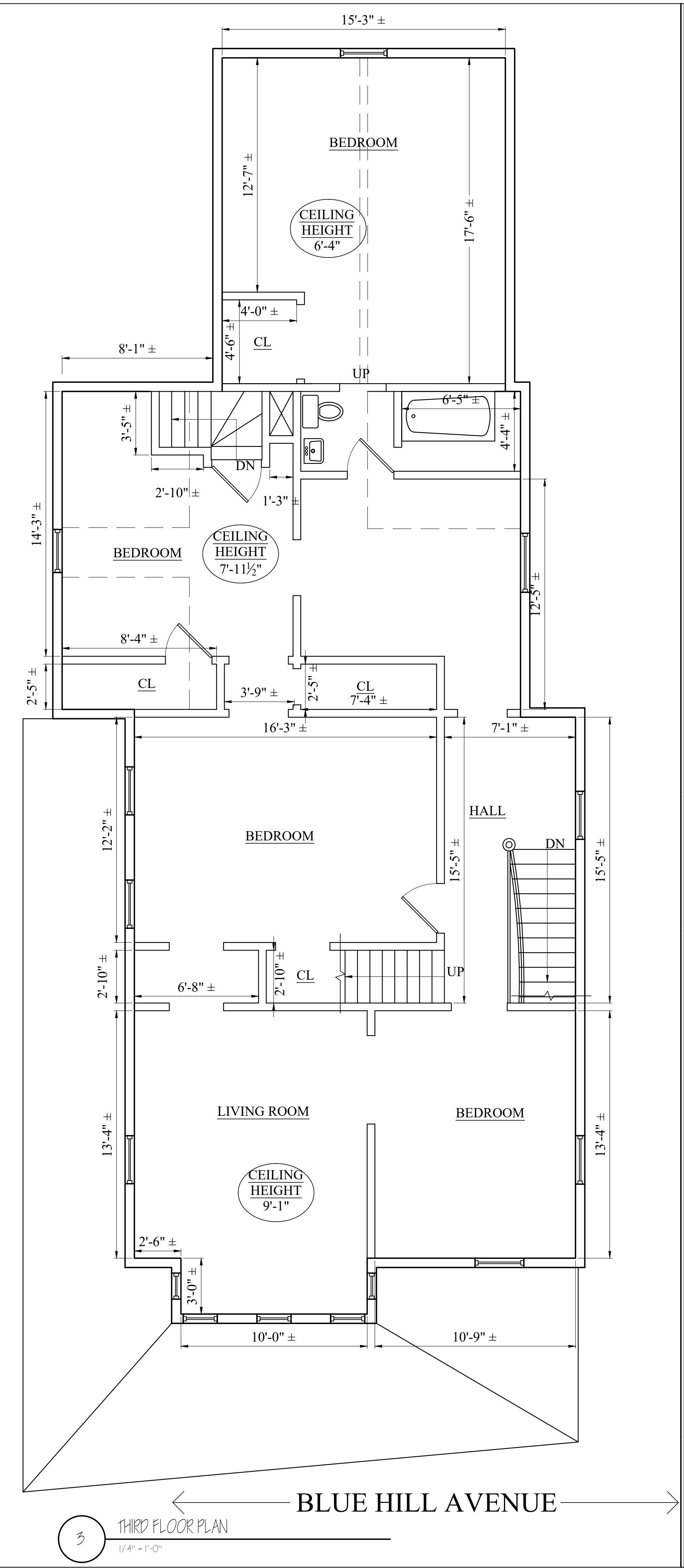
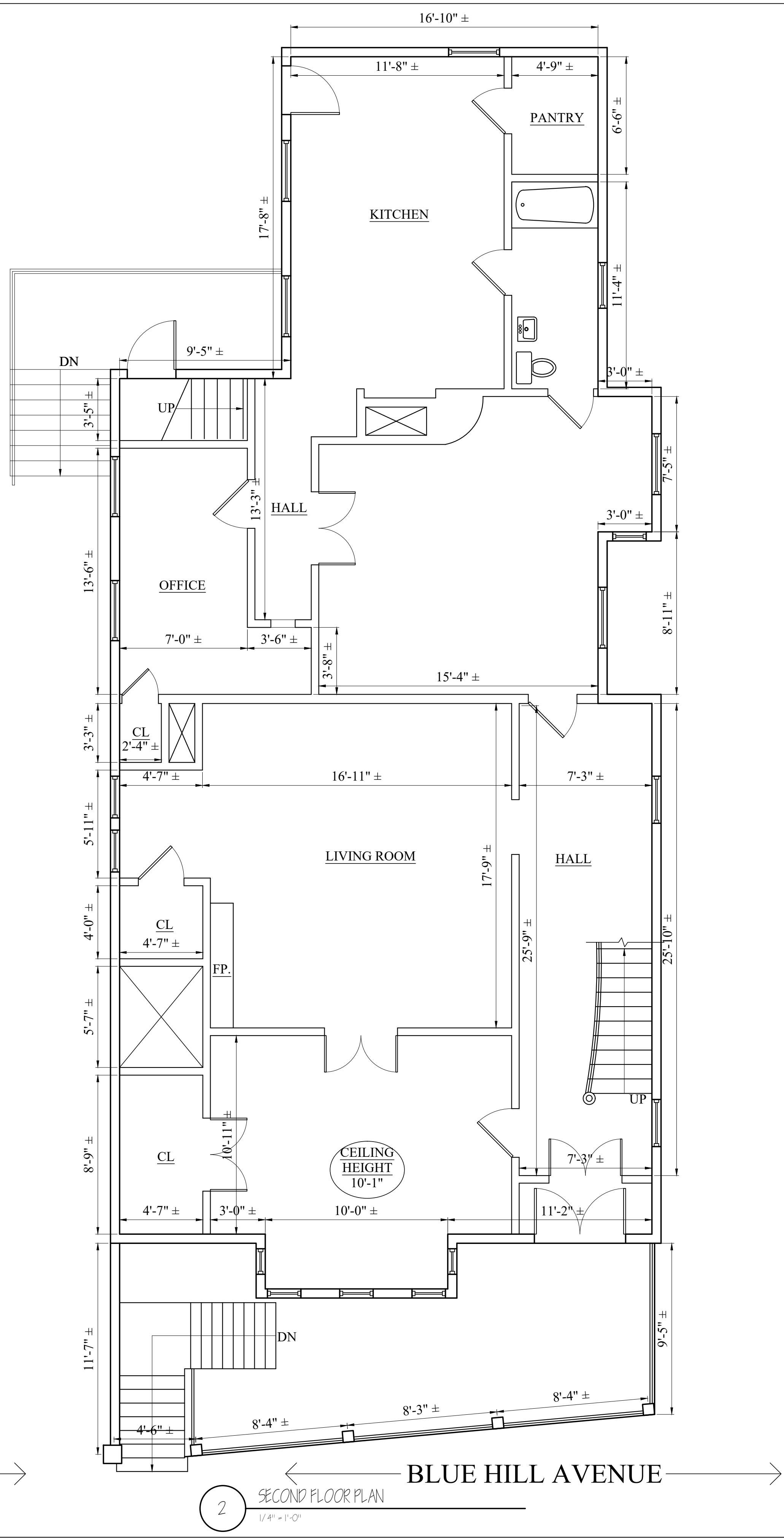
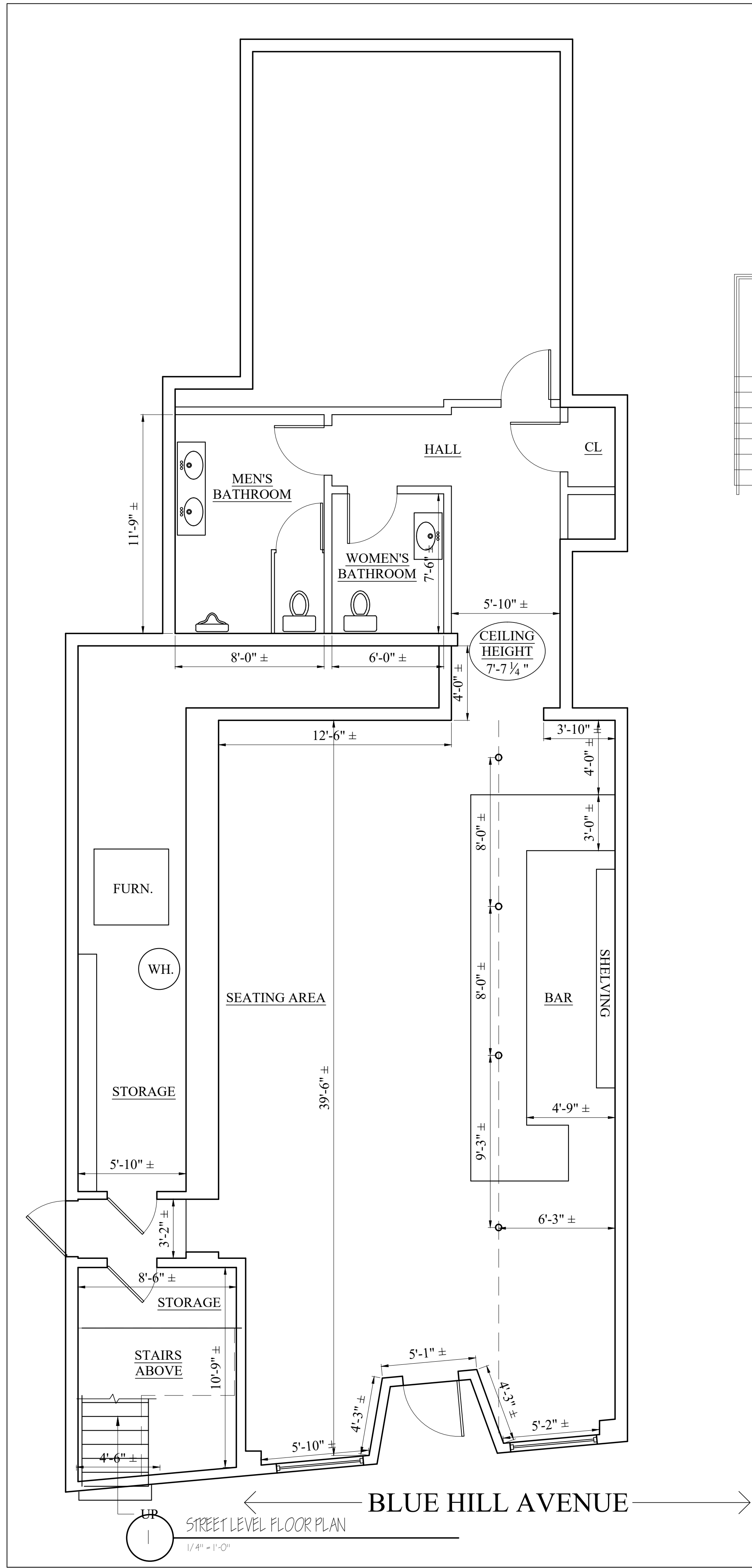
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Scale: AS NOTED
Date: 10-15-2020
Drawn By: ST/GA/SL

Drawing Name

COVER SHEET

Sheet No. A-0

APPROVED DESIGN REVIEW BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE *M. Goulet*



Location
**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

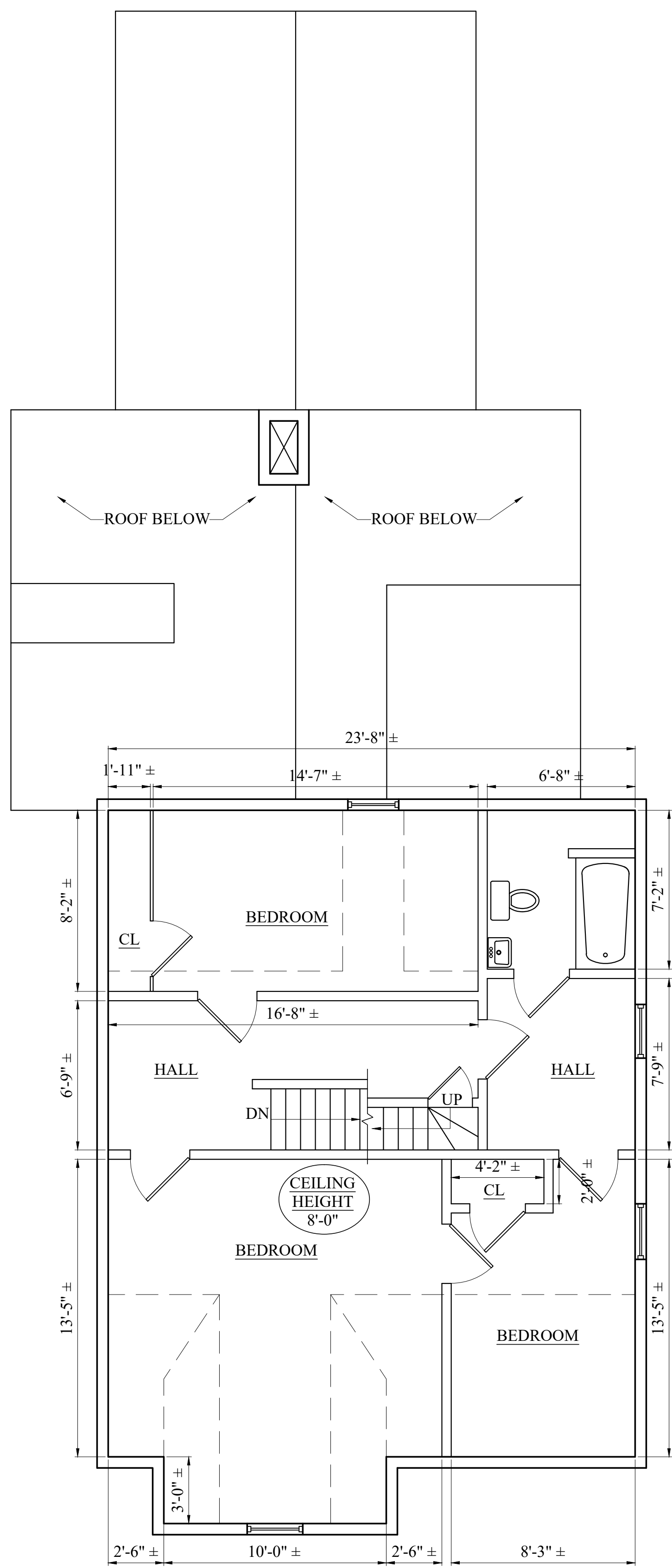
Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
ARTHUR K.F. CHO
No. 9319
BOSTON MA
COMMONWEALTH OF MASSACHUSETTS

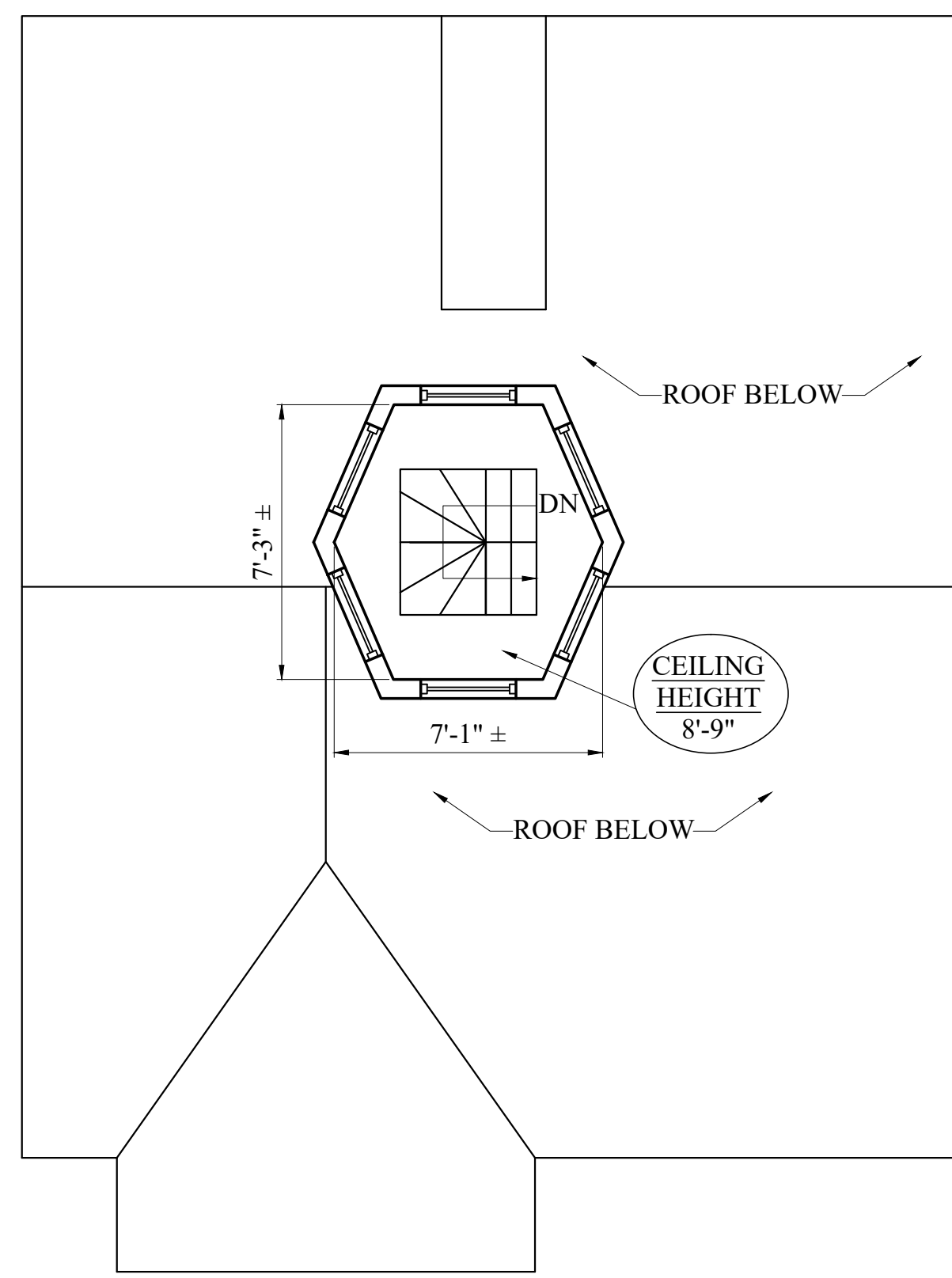
No.	Revision Date

Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By: ST/GA/SL

Drawing Name
EXISTING FLOOR PLANS
Sheet No.
D-1.1



1 FOURTH FLOOR PLAN
1/4" = 1'-0"



2 EXISTING CUPOLA FLOOR PLAN
1/4" = 1'-0"

← BLUE HILL AVENUE →

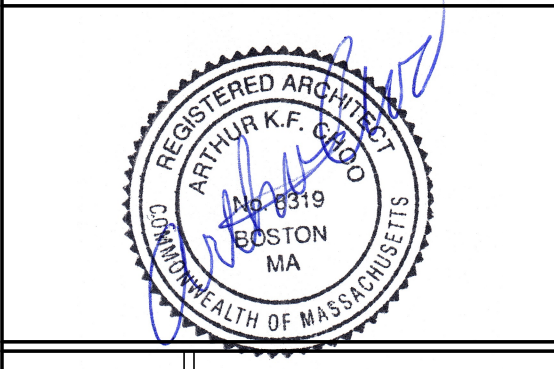
← BLUE HILL AVENUE →

Location

PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

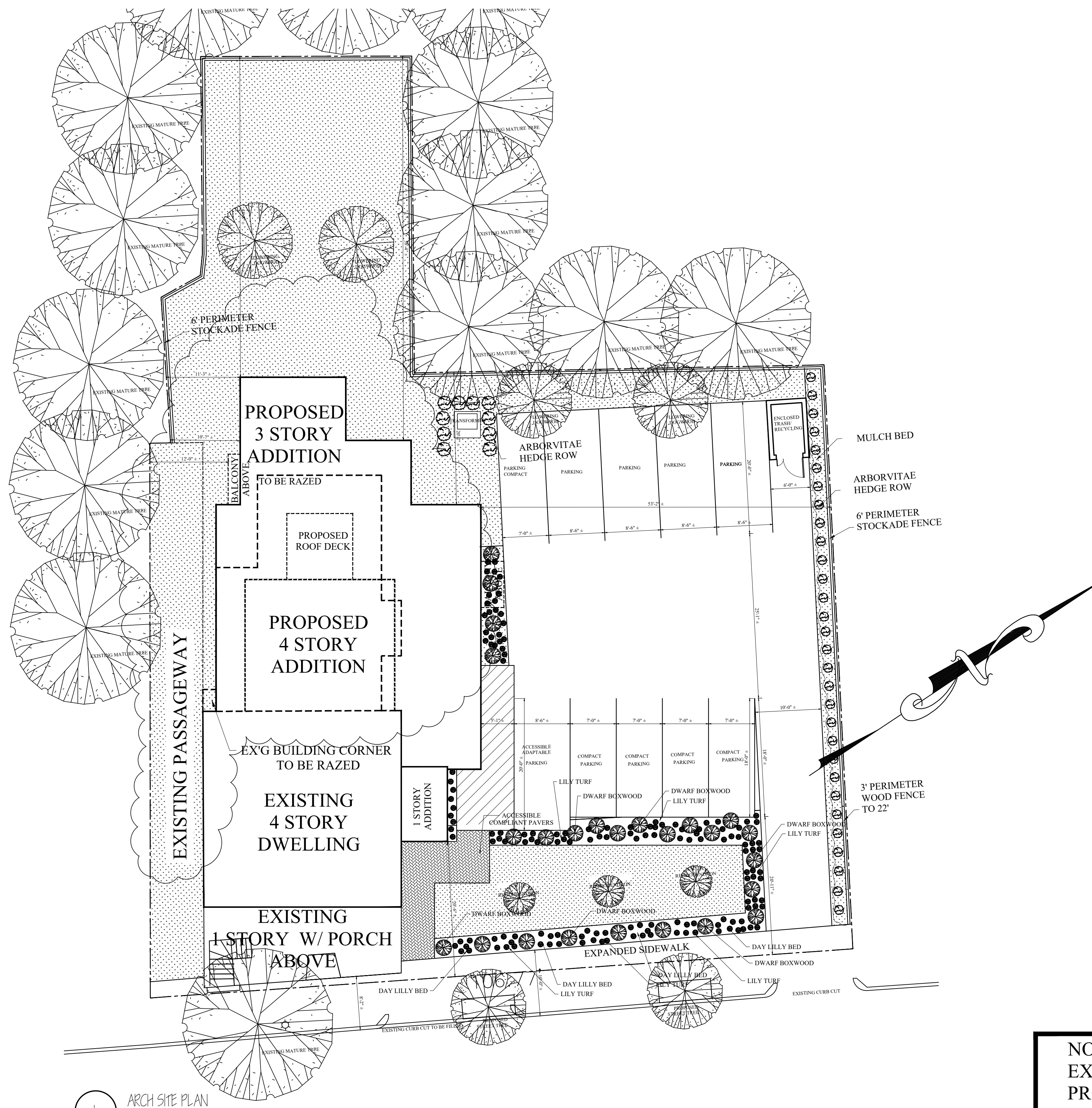


No.	Revision Date

Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By: ST/GA/SL

Drawing Name
EXISTING FLOOR PLANS

Sheet No.
D-1.2

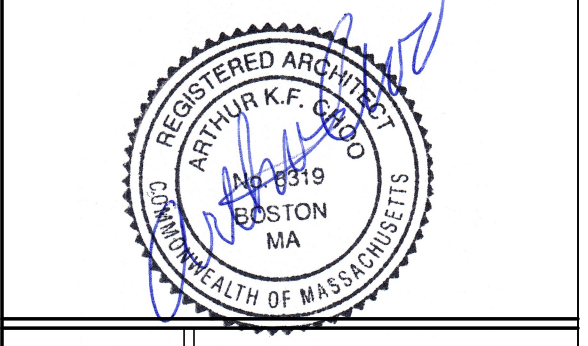


1 ARCH SITE PLAN
1"=10'-00"

NOTE:
EXISTING TREES LOCATED ON THE PROPERTY AS WELL AS EXISTING STREET TREES TO BE ASSESSED BY AN ARBORIST PRIOR TO WORK. ANY TREES DEEMED UNHEALTHY AND IN NEED OF REMOVAL SHALL BE REPLACED WITH NEW TREES

Location
**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date
	11-15-2021

Project No: 2020113
Scale: AS NOTED
Date: 08-12-2020
Drawn By: SL

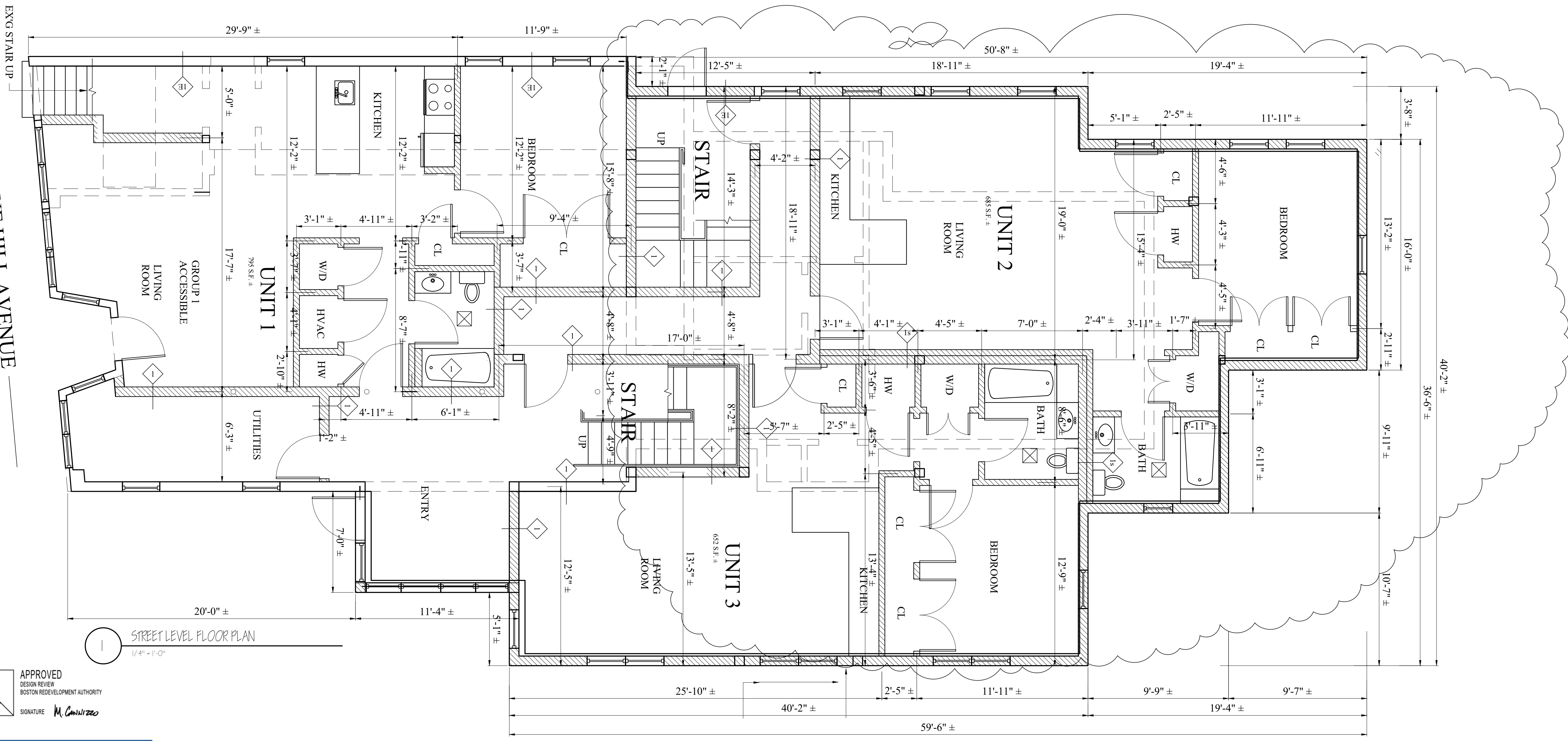
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PROPOSED ARCH SITE PLAN

Sheet No.
A-1.0

DS
APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE *M. Conlizzo*

07/20/2022

BLUE HILL AVENUE



1 STREET LEVEL FLOOR PLAN
1/4" = 1'-0"

APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *M. Cannizzo*

07/20/2022

Location

**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



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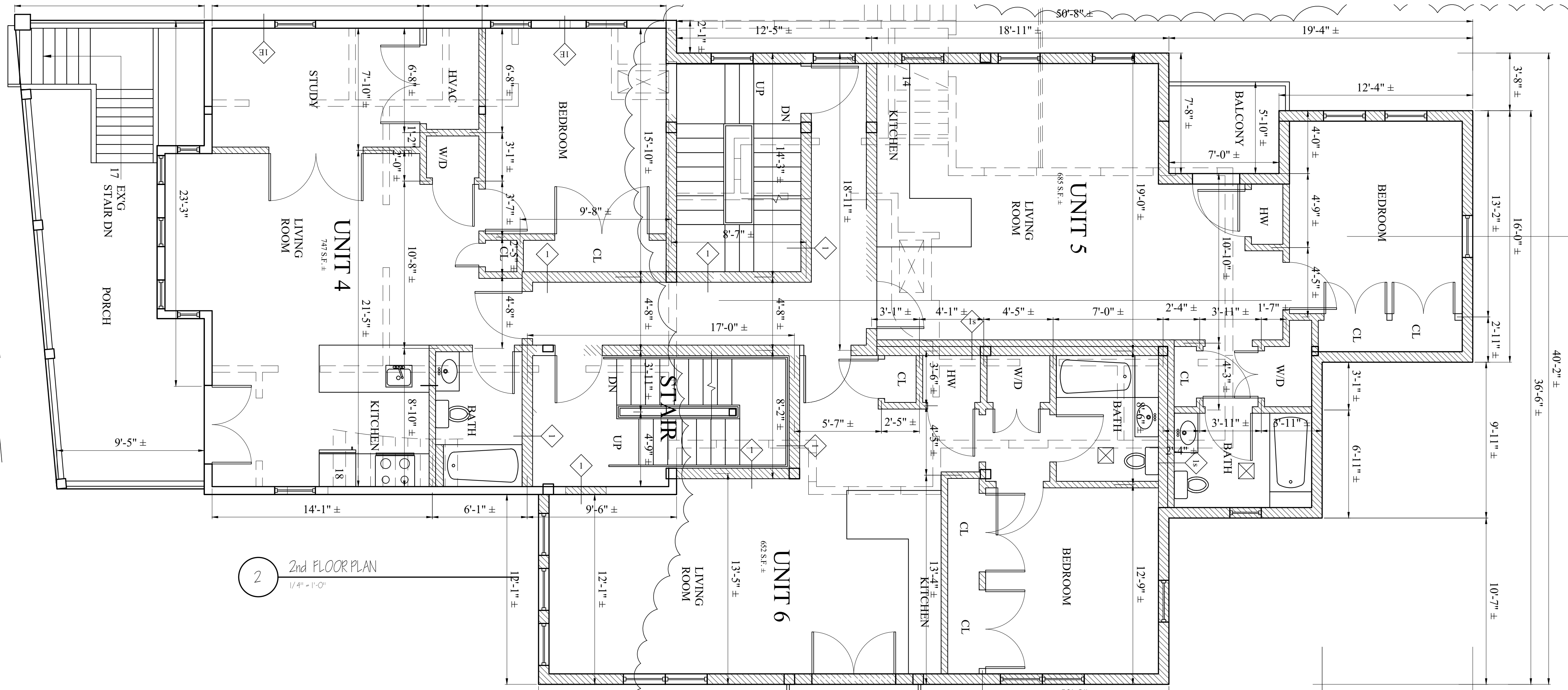
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FLOOR PLANS**

Sheet No.

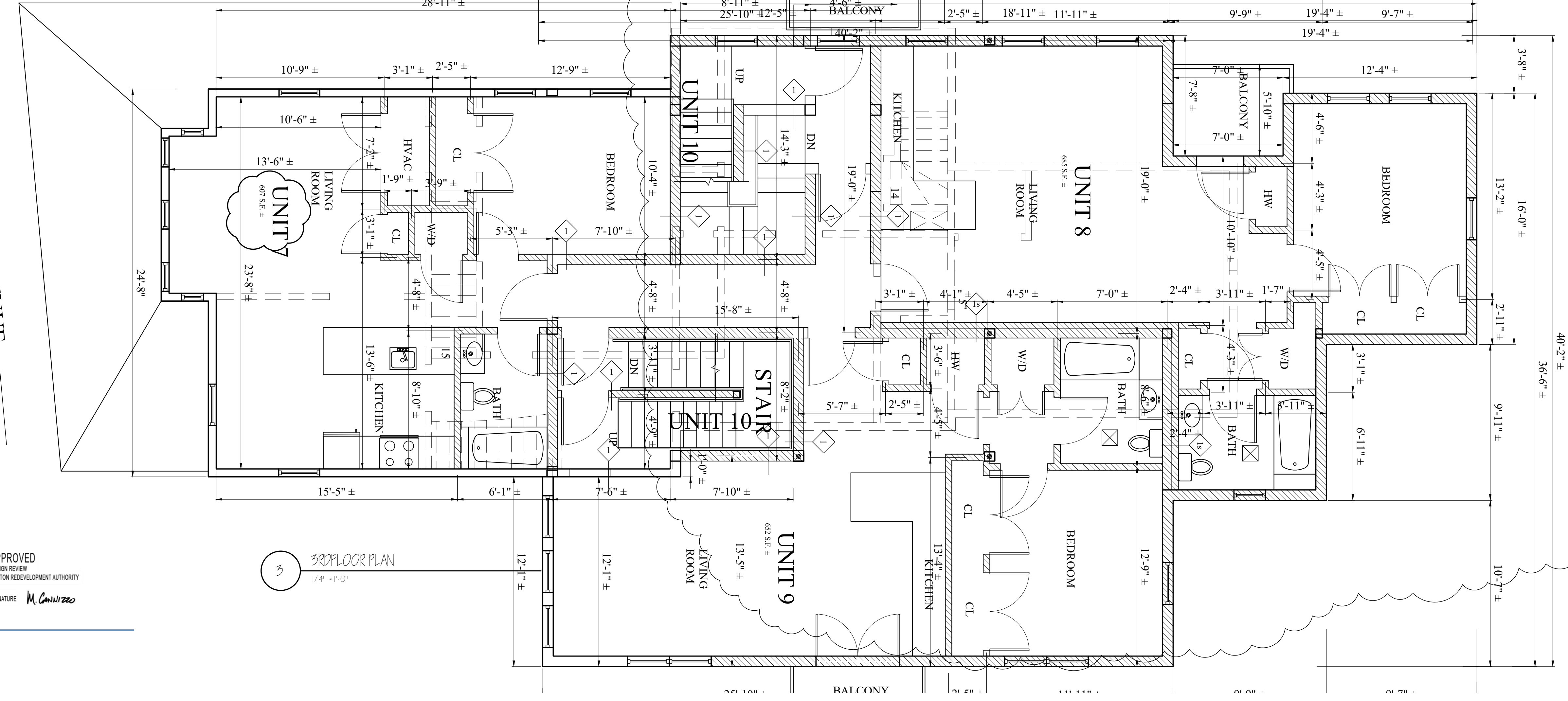
A-1.1

BLUE HILL AVENUE

BLUE HILL AVENUE



2 2nd FLOOR PLAN
1/4" = 1'-0"



3 3RD FLOOR PLAN
1/4" = 1'-0"

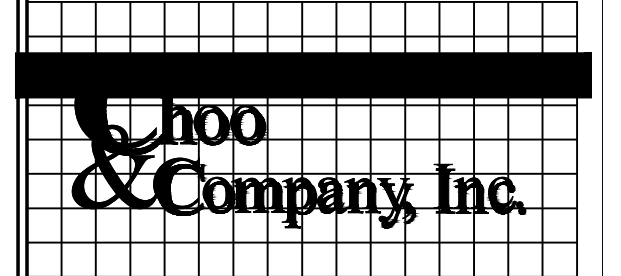
APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *M. Canillo*

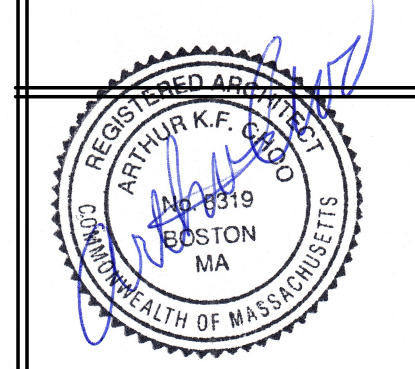
07/20/2022

Location

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ROXBURY, MA**



One Billings Road Quincy, MA 02171
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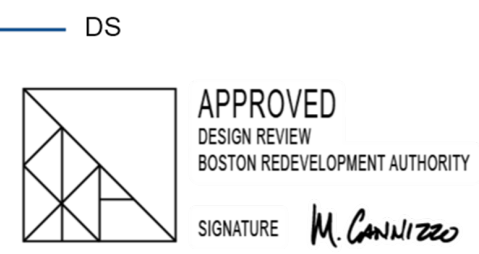
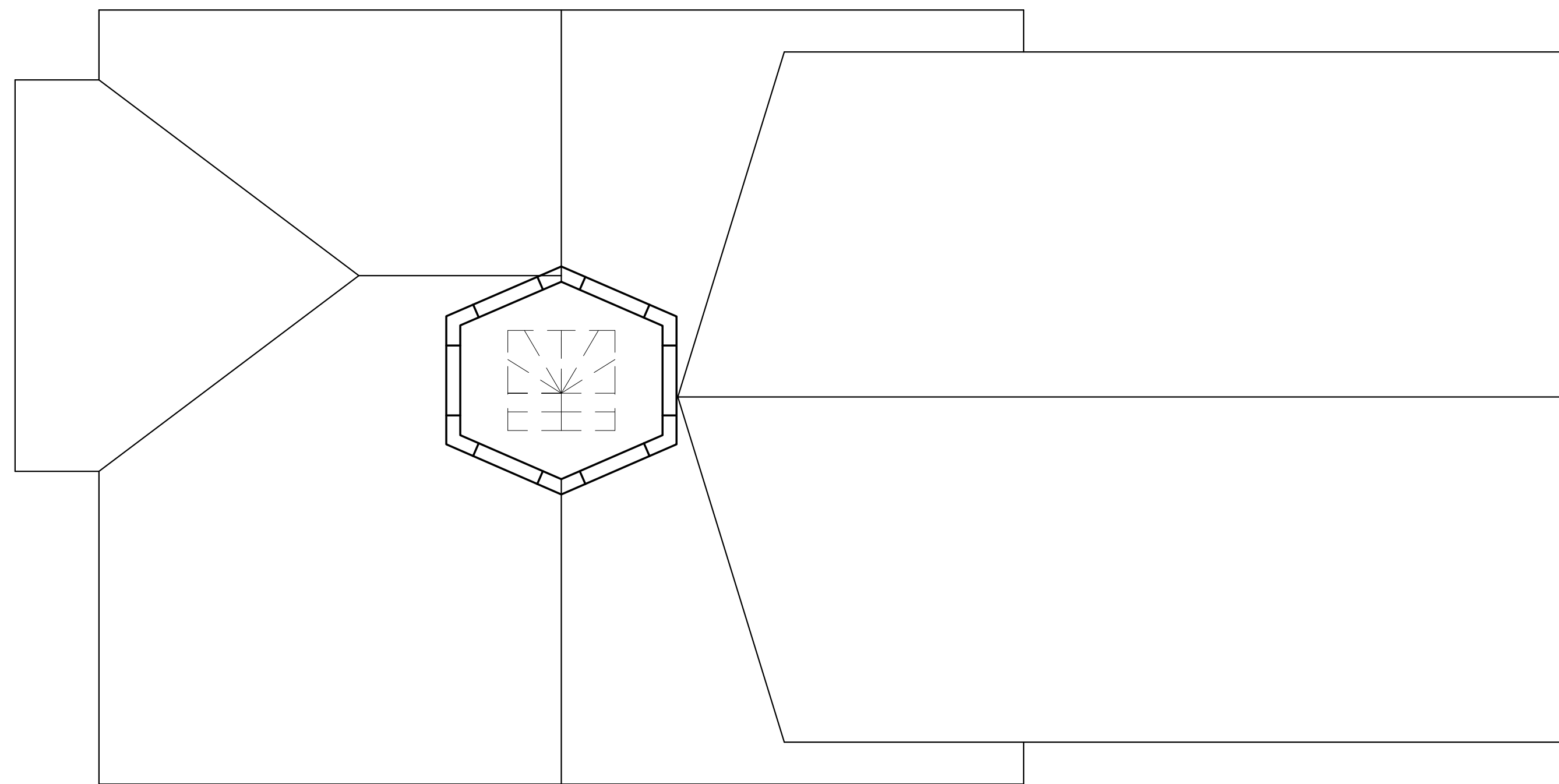
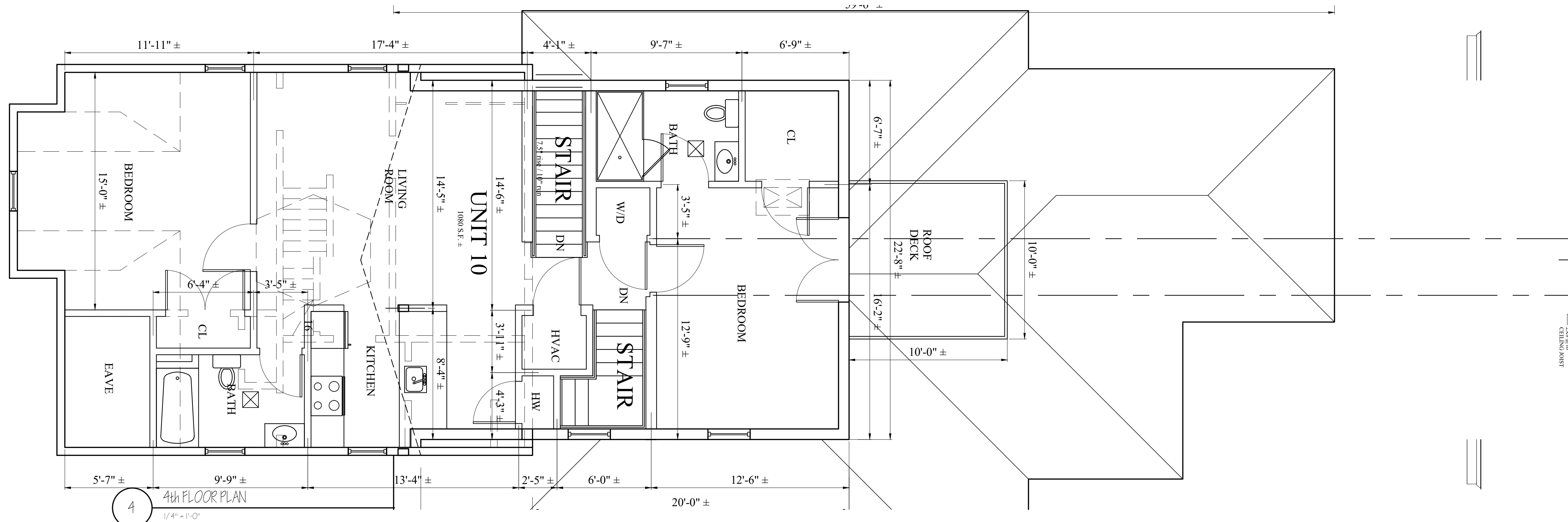
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PROPOSED FLOOR PLANS

Sheet No.:

A-1.2

BLUE HILL AVENUE

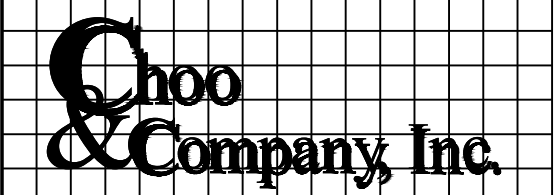
BLUE HILL AVENUE



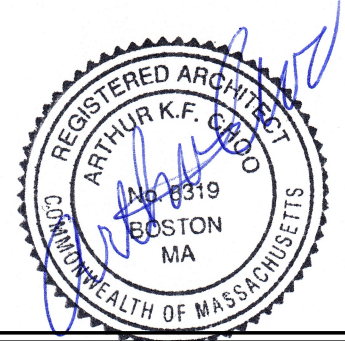
07/20/2022

Location

PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date
	11-15-2021

Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By:

Drawing Name
PROPOSED FLOOR PLANS

Sheet No.
A-1.3

DS
 APPROVED
 DESIGN REVIEW
 BOSTON REDEVELOPMENT AUTHORITY
 SIGNATURE *M. Cannizzo*

07/20/2022

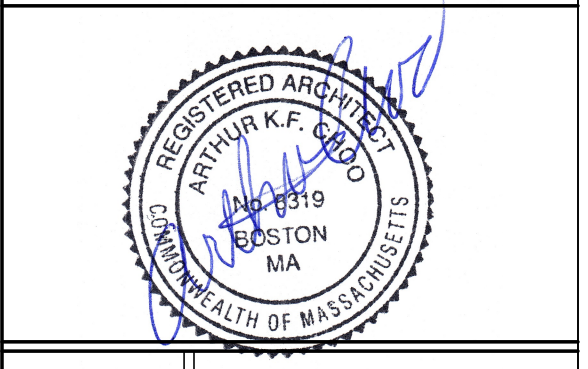


PROPOSED FRONT ELEVATION
 1/4" = 1'-0"

PROPOSED ADDITION

Location
PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA

Choo & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

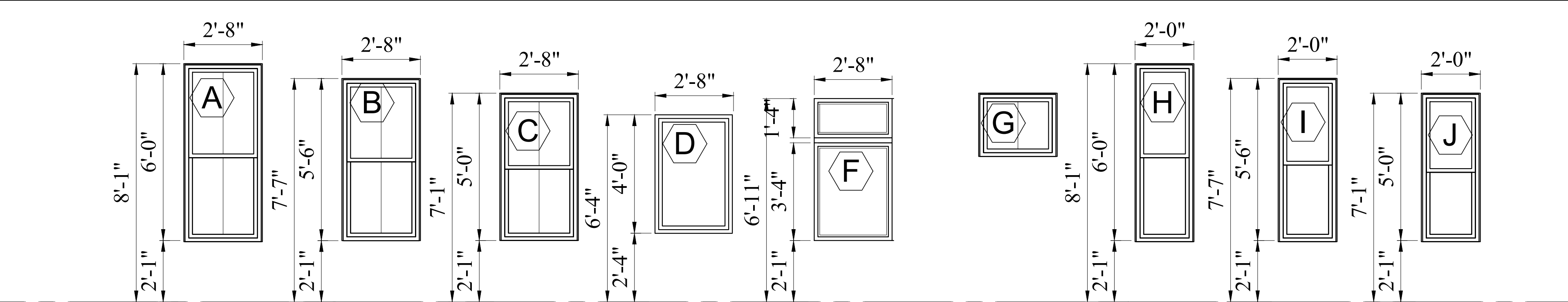


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Project No: 2020113
 Scale: AS NOTED
 Date: 10-15-2020
 Drawn By: SL

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.1



WINDOW & DOOR SCHEDULE					
NO.	MANU	MOD	# NEEDED	SIZE	REMARKS
A	-	-	15	32"Wx 72"H	DOUBLE HUNG WOOD CLAD
B	-	-	12	32"Wx 66"H	DOUBLE HUNG WOOD CLAD
C	-	-	20	32"Wx 60"H	DOUBLE HUNG WOOD CLAD
D	-	-	4	32"Wx 48"H	WOOD CLAD OPERABLE AWNING
E	-	-		VARIES	WOOD REPLACEMENT OF EX'G ELEMENTS
F	-	-	6	32"Wx 40"H	FIXED WOOD CLAD W/ 16" OPERABLE AWNING
G	-	-	4	32"Wx 24"H	OPERABLE AWNING
H	-	-	2	24"Wx 72"H	DOUBLE HUNG WOOD CLAD
I	-	-	2	24"Wx 66"H	DOUBLE HUNG WOOD CLAD
J	-	-	1	24"Wx 60"H	DOUBLE HUNG WOOD CLAD
1	-	-	1	36"Wx 84"H	WOOD ENTRY DOOR W/ 14" SIDELIGHTS DOOR IS TO MATCH EX'G 2ND FLOOR ENTRY DOORS
2	-	-	3	64"Wx 84"H	WD PATIO DOOR
3	-	-	3	36"Wx 84"H	WD PATIO DOOR

*NOTE: ANY WINDOWS WITH SILLS LESS THAN 3" ABOVE THE FLOOR & MORE THAN 6" UP FROM THE ADJACENT GRADE SHALL HAVE OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090

DS



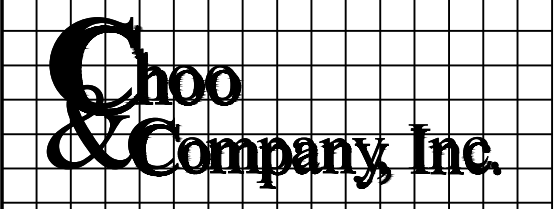
07/20/2022



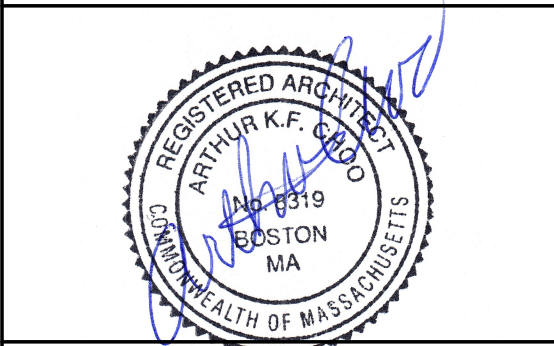
1 PROPOSED LEFT SIDE ELEVATION
3/16" = 1'-0"

Location

PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date
--	

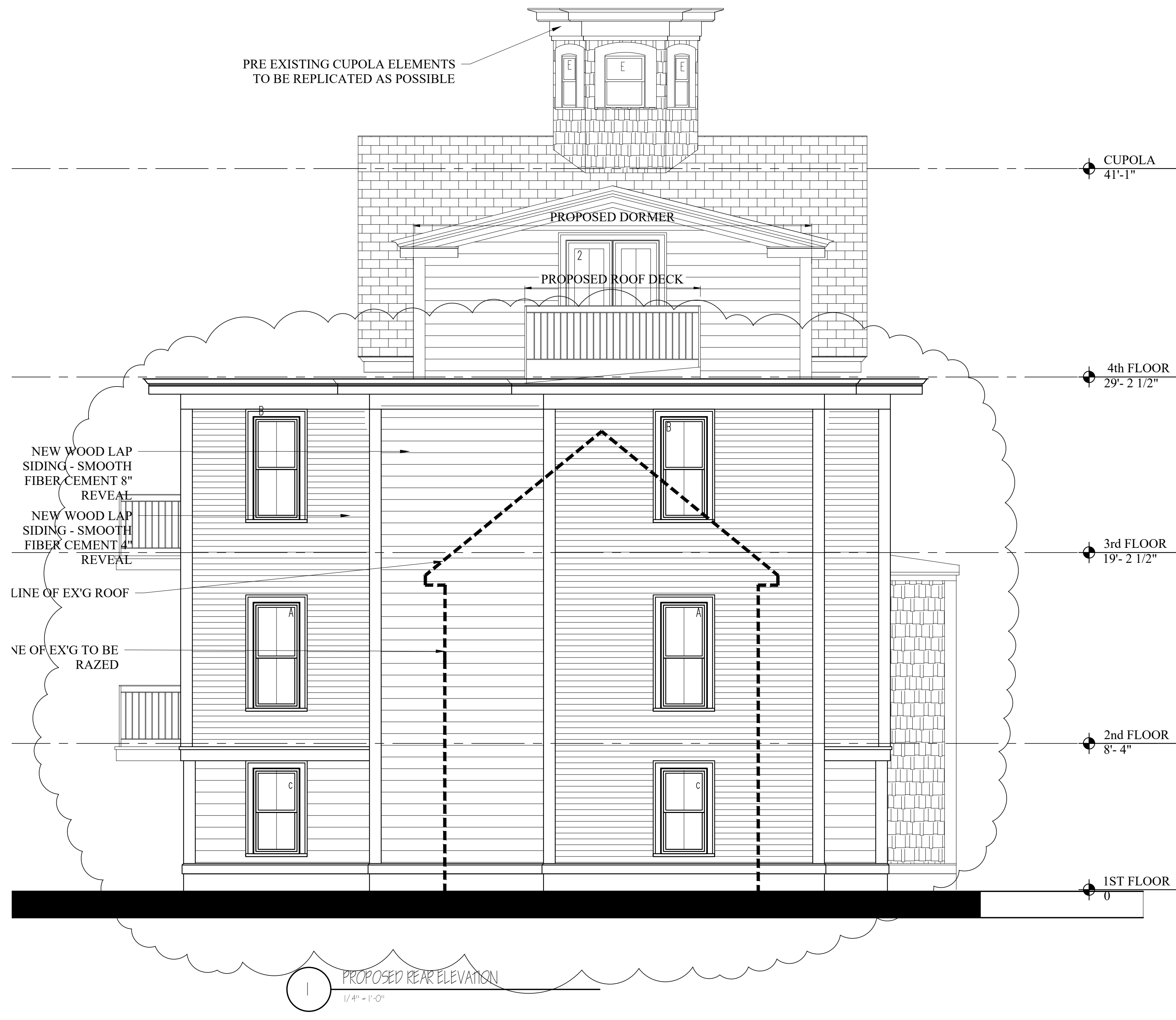
Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By:

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.2

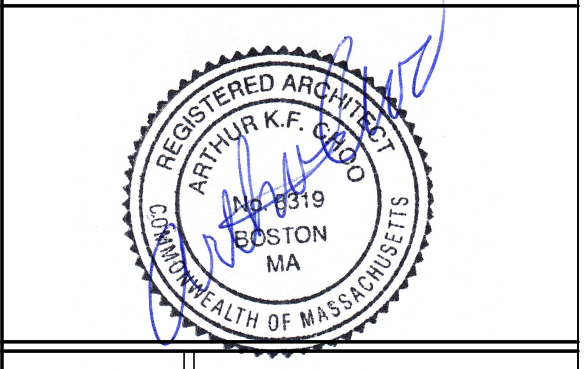
DS
APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE *M. Cannizzo*

07/20/2022



Location
**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



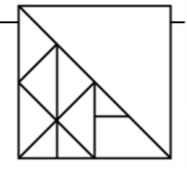
No.	Revision Date

Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By:

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.3

DS



APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE *M. Conlizzo*

07/20/2022



1 PROPOSED RIGHT SIDE ELEVATION
3/16" = 1'-0"

Location

**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

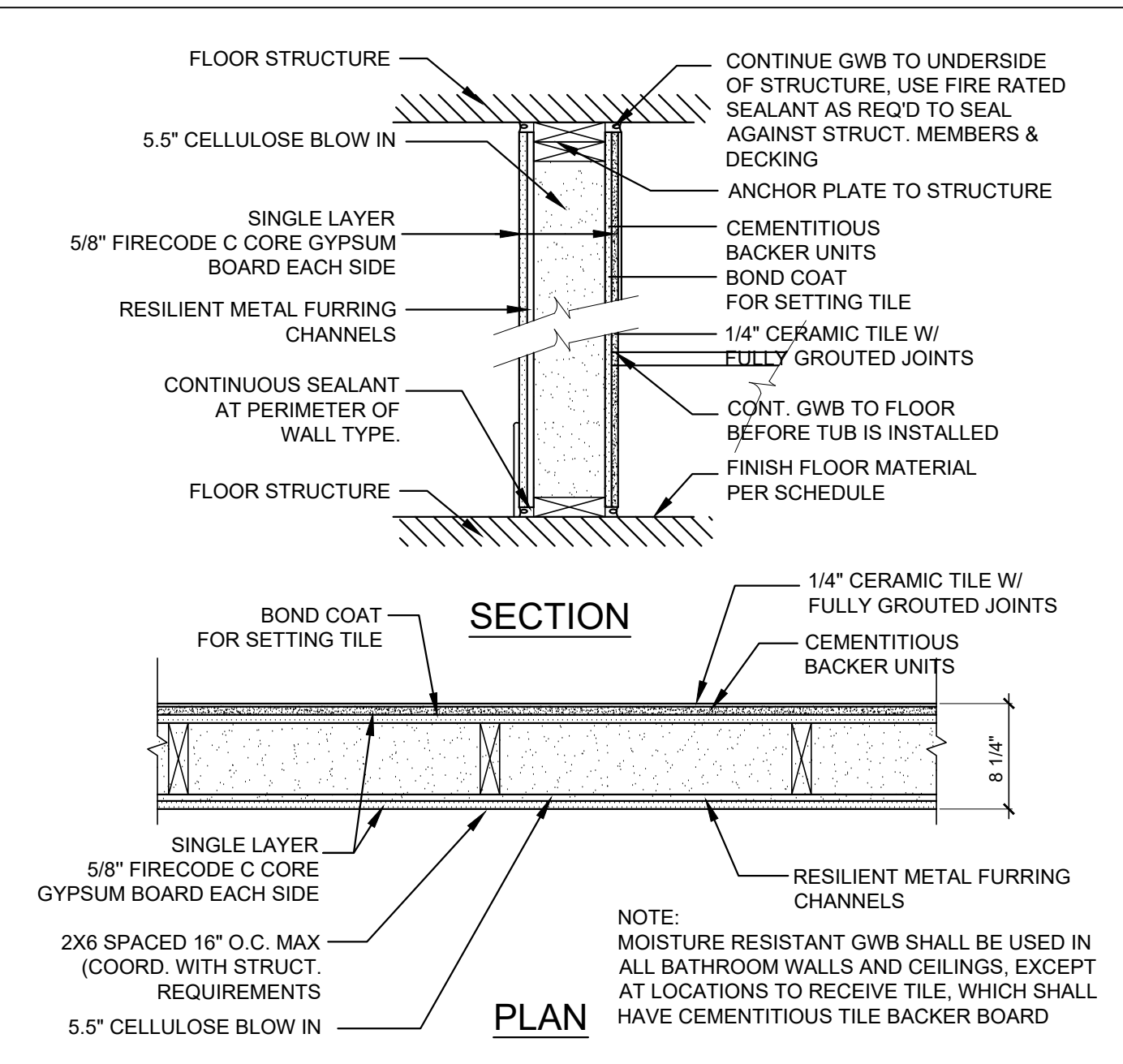
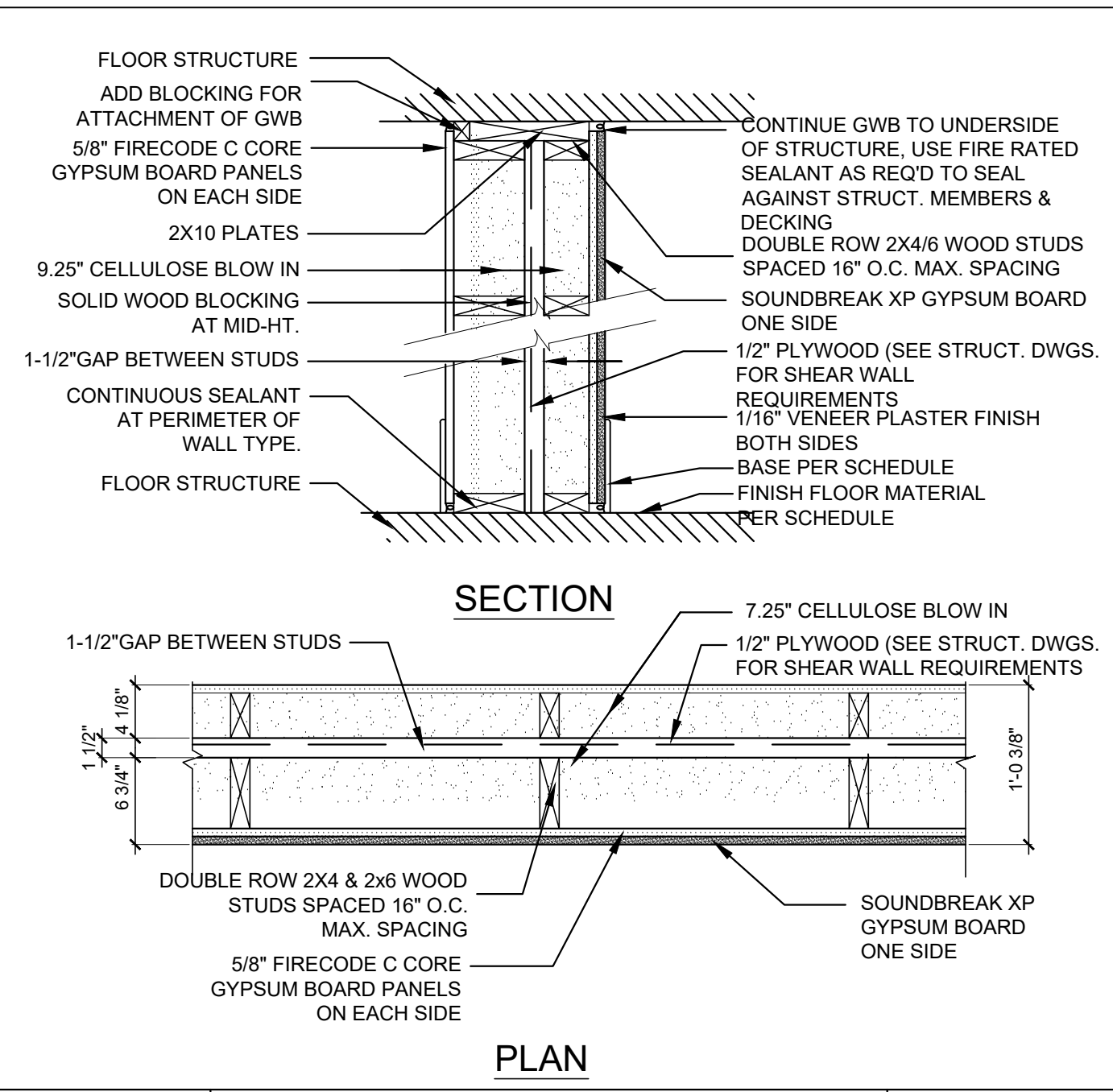
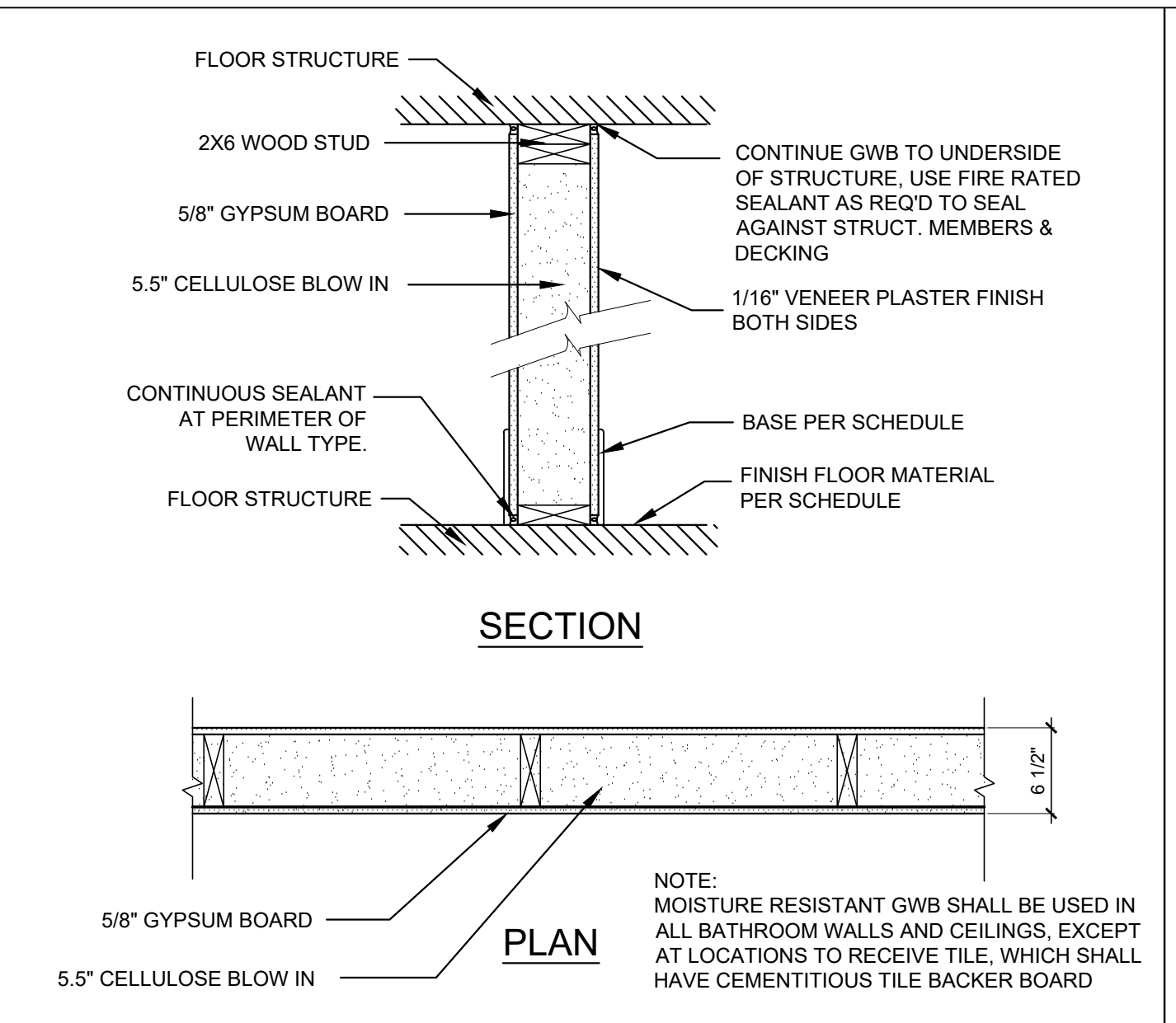
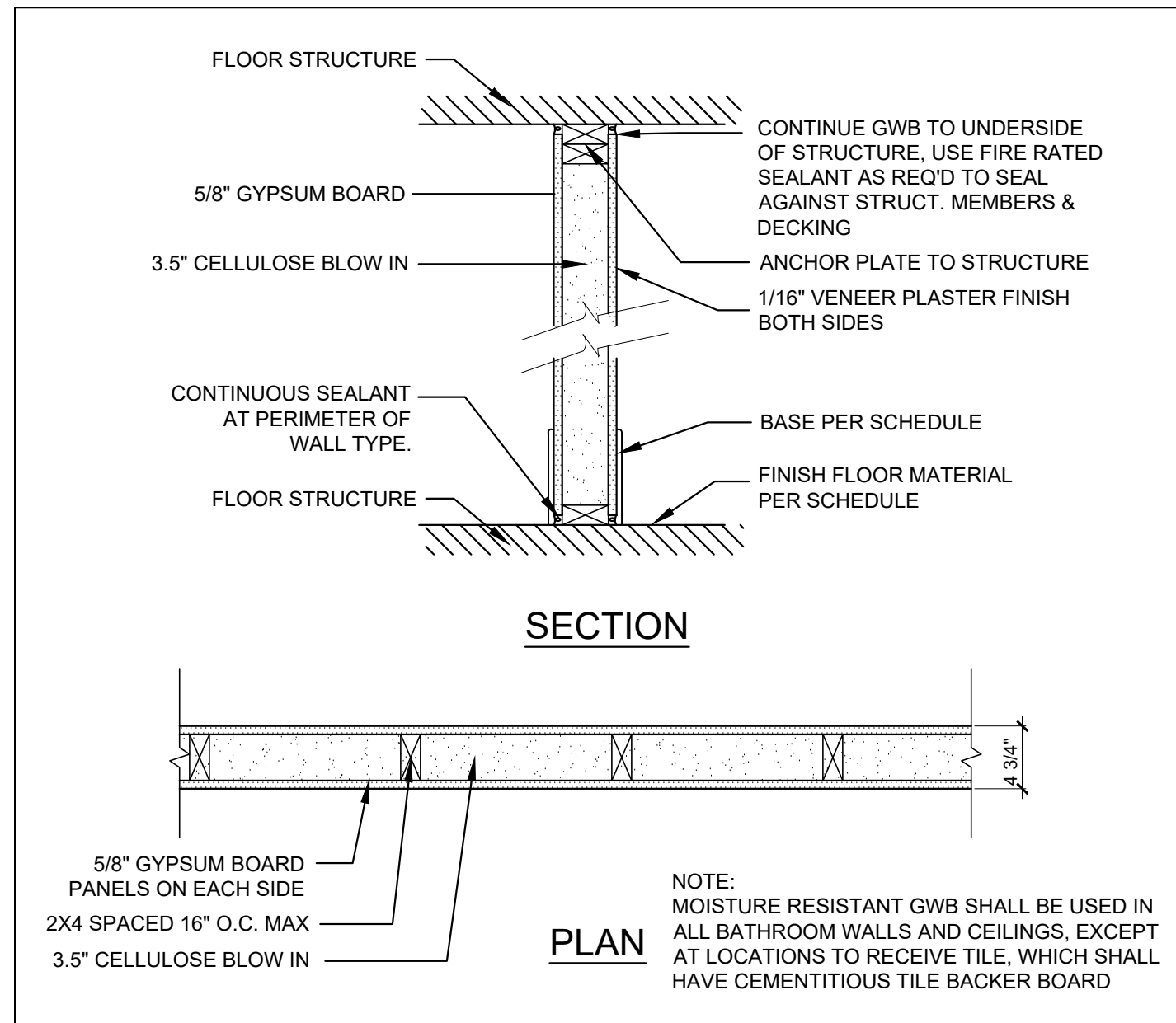
REGISTERED ARCHITECT
ARTHUR K.F. CHOO
No. 9319
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date
	11-15-2021

Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By:

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.4

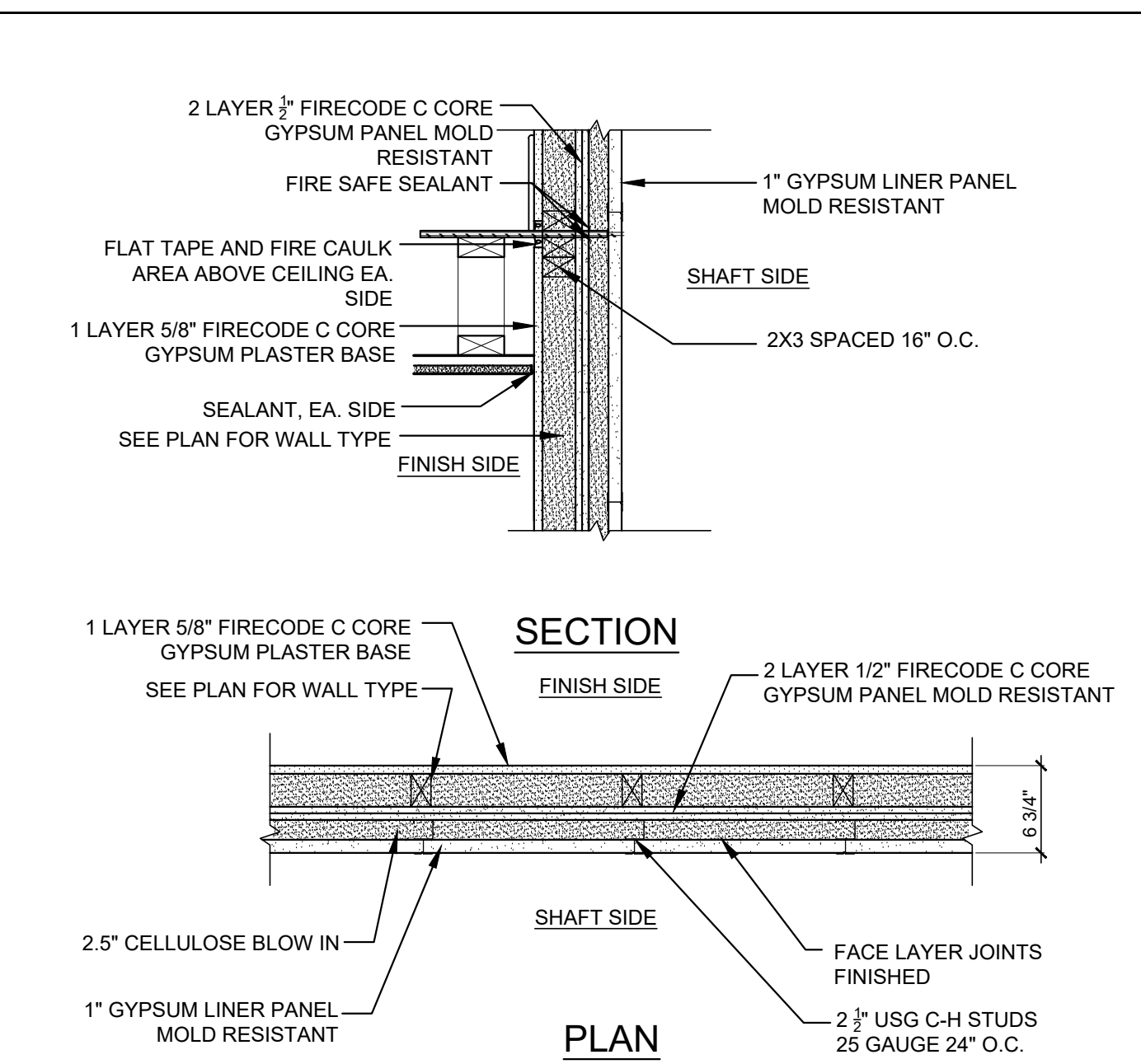
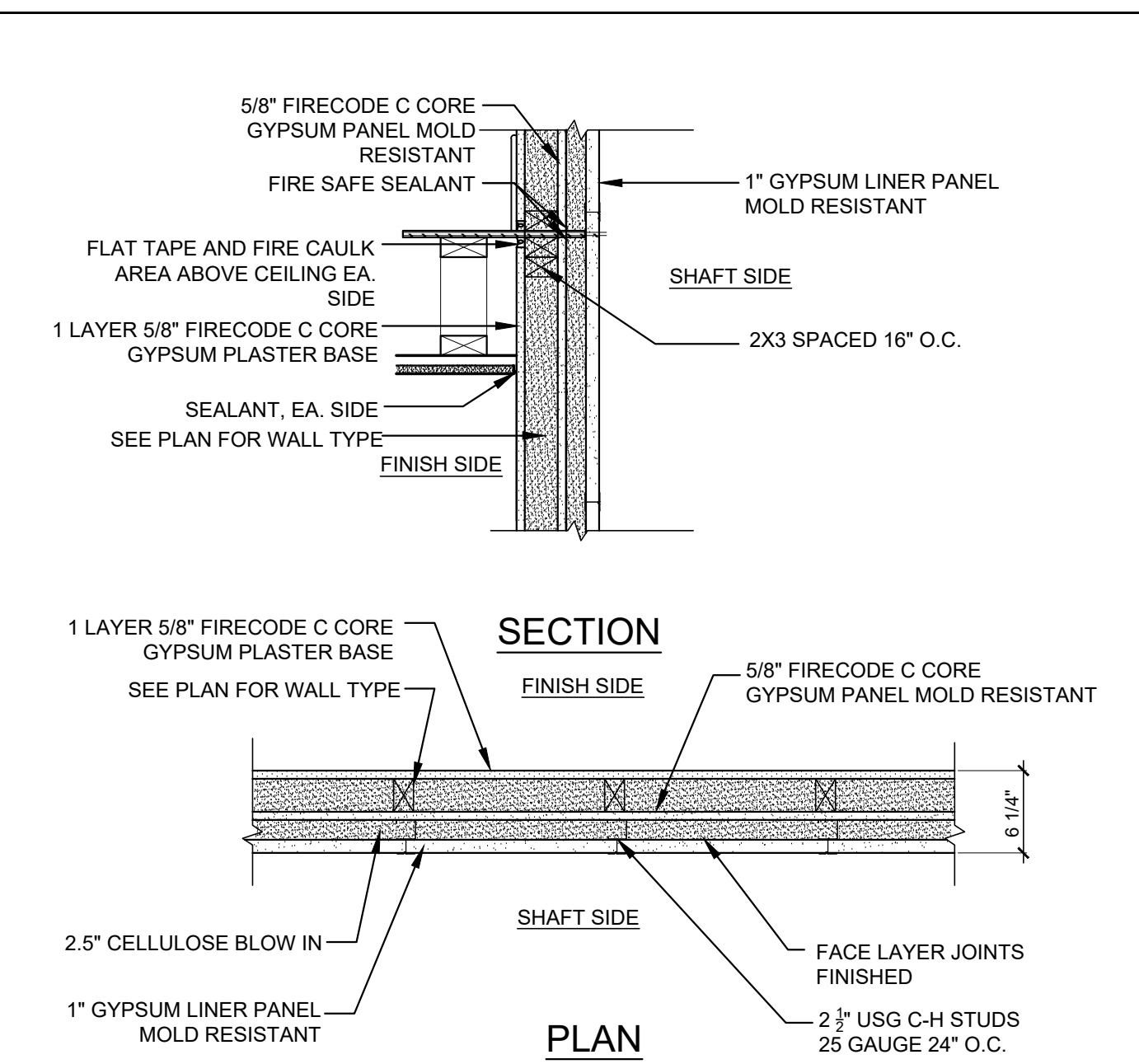
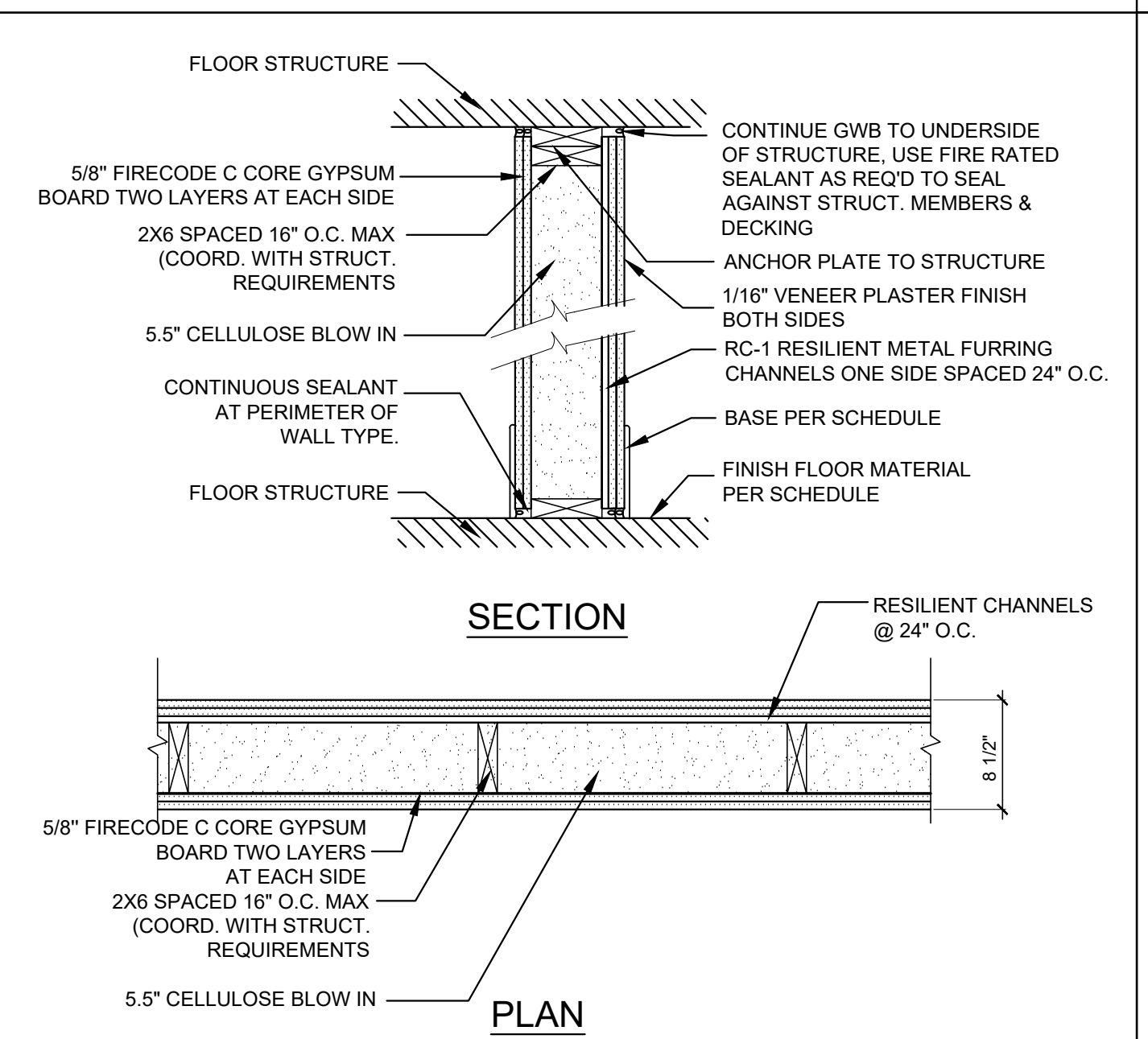
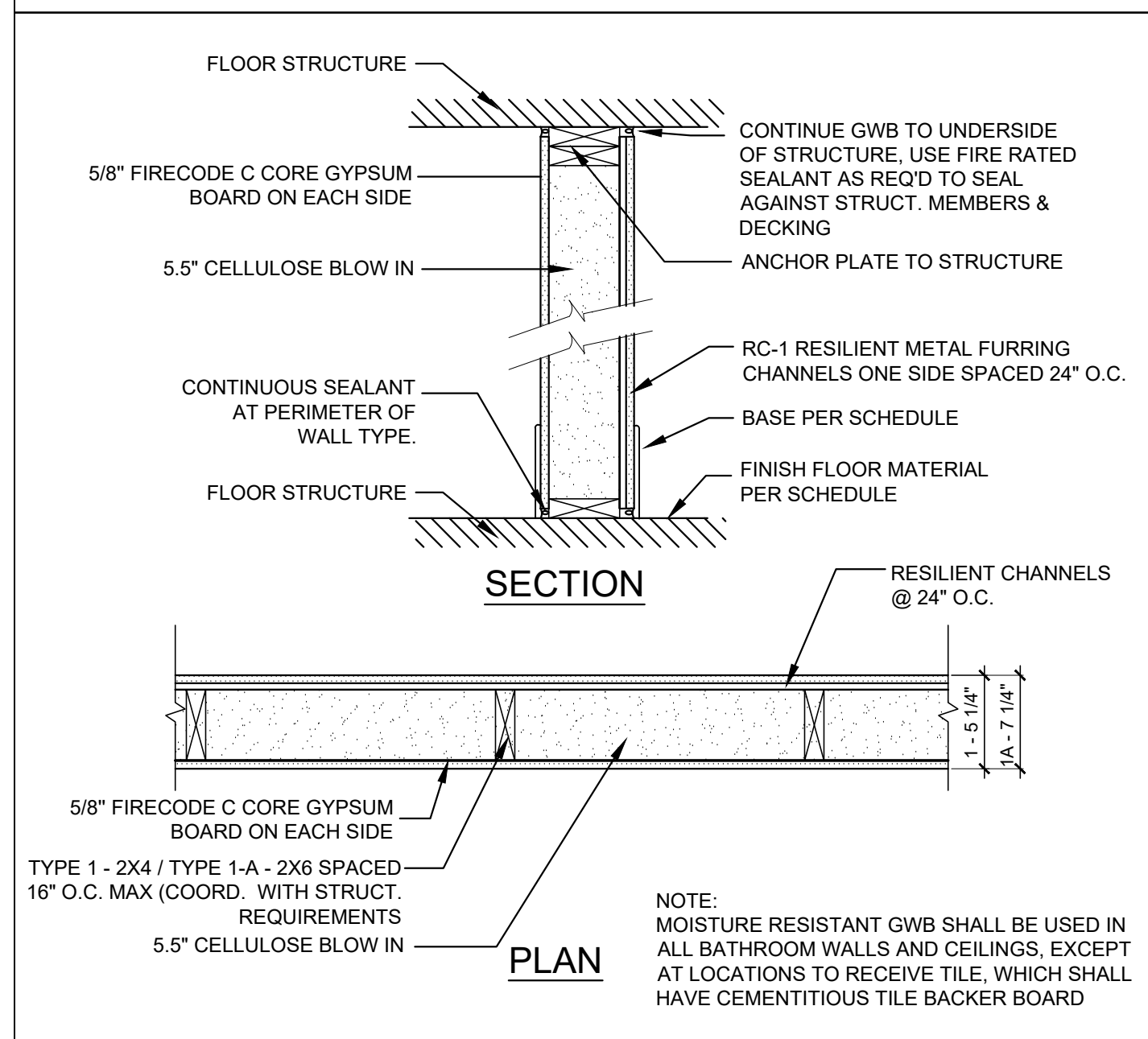


INTERIOR LOAD BEARING/ NON LOAD BEARING		
SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING		
0	2X4 WOOD STUDS W/ SOUND BATTS	
0B	2X4 WOOD STUDS W/ 1/4\"/>	

INTERIOR LOAD BEARING/ NON LOAD BEARING		
SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING		
0A	2X6 WOOD STUDS W/ SOUND BATTS	
0AB	2X6 WOOD STUDS W/ 1/4\"/>	

1 HR	INTERIOR LOAD BEARING	UL #: U341
UL WALL TYPE: U341 INTERIOR UNIT SEPARATION		
1S	2X4 WOOD STUDS W/ SOUND BATTS (STC 60) 1 HR. FIRE RATED	

1 HR	INTERIOR LOAD BEARING/ NON LOAD BEARING	UL #: U329
USED FOR ALL RATED BATHROOM SHOWER/BATHTUB WALLS		
1B	2X6 WOOD STUDS W/ SOUND BATTS (STC 50-54) 1HR. FIRE RATED - UL DES. U329	



1 HR	INTERIOR LOAD BEARING	UL #: U311
SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING		
1	2X4 WOOD STUDS W/ SOUND BATTS (STC 52 - SA-830702) 1HR. FIRE RATED - UL DES. U311 CORRIDOR WALL	
1A	2X6 WOOD STUDS W/ SOUND BATTS (STC 52 - SA-830702) 1HR. FIRE RATED - UL DES. U311 CORRIDOR WALL	

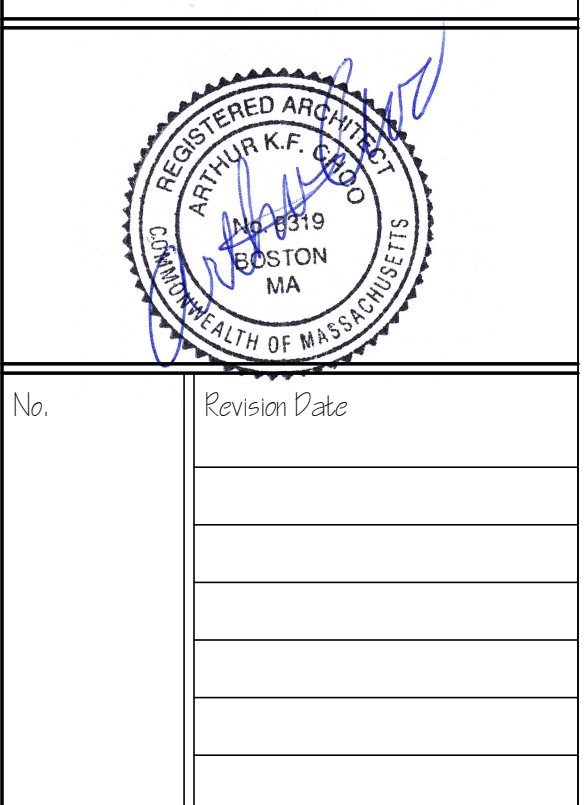
2 HR	INTERIOR LOAD BEARING	UL #: U344
SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING		
2	2X6 WOOD STUDS W/ SOUND BATTS (STC 58 - USG-810219) 2HR. FIRE RATED - UL DES. U311 CORRIDOR WALL	

1 HR	SHAFT WALL NON LOAD BEARING	UL #: U428
SEE STRUCTURAL DRAWINGS FOR ALL CMU DETAILS		
1SH	SHAFT WALL 1HR. FIRE RATED - UL DES. U428	

2 HR	SHAFT WALL NON LOAD BEARING	UL #: U428
SEE STRUCTURAL DRAWINGS FOR ALL CMU DETAILS		
2SH	SHAFT WALL (STC 50-54 - WP 7051) 2HR. FIRE RATED - UL DES. U428	

Location

PROPOSED ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS



No.	Revision Date

Project No: 2020113
 Scale: AS NOTED
 Date: 05-09-2022
 Drawn By: SL

Drawing Name

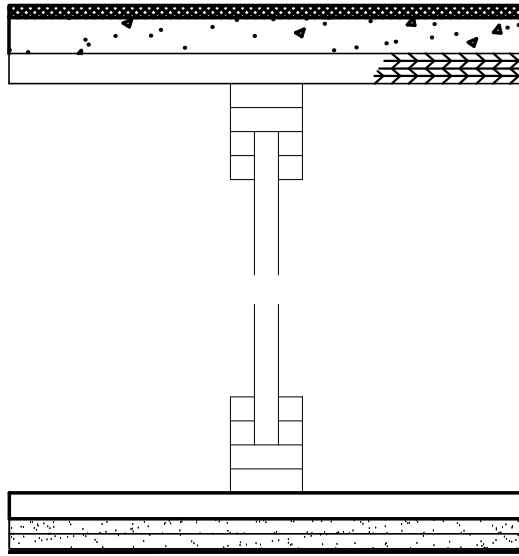
PROPOSED DETAILS

Sheet No.

A-3-1.1

Location
**PROPOSED
ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS**

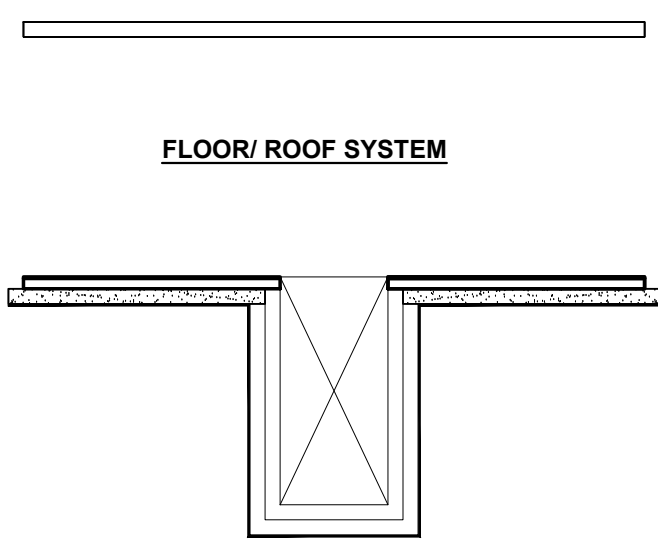
FLOOR ASSEMBLIES



System Description
Engineered Joist

- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- MINERAL WOOL Blow In
- RC-1 resilient channel or equivalent
- 2 LAYERS 1/2" FIRECODE X Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
UL# L544 (STC-55-59)
55-59 STC Sound
50 IIC Sound



FLOOR/ ROOF SYSTEM

System Description
WOOD BEAM

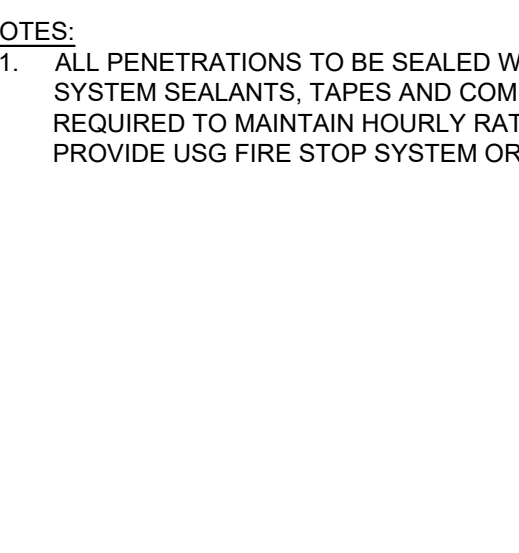
- WOOD BEAM
- (LAYER 1) 5/8" FIRECODE C Core Gypsum
- (LAYER 2) 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster exterior

System Performance
1 HR Fire BEAM PROTECTION
UL Design No. P517

1 1 HR FLOOR ASSEMBLY - +50 STC
SCALE: 3"=1'-0"

1BE 1 HR BEAM PROTECTION
SCALE: 1.5"=1'-0"

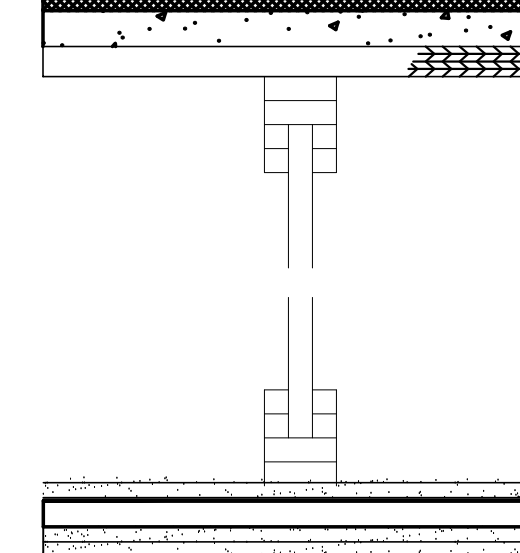
NOTES:
1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.



System Description
Engineered Joist

- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- MINERAL WOOL Blow In
- 1 LAYER 5/8" FIRECODE X EXTERIOR
- RC-1 resilient channel or equivalent
- 2 LAYERS 5/8" FIRECODE X EXTERIOR

System Performance
2 HR Fire
UL# L538 (STC-55-59)
55-59 STC Sound
50 IIC Sound



System Description
Engineered Joist

- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- MINERAL WOOL Blow In
- 1 LAYER 5/8" FIRECODE X EXTERIOR
- RC-1 resilient channel or equivalent
- 2 LAYERS 5/8" FIRECODE X EXTERIOR

System Performance
2 HR Fire
UL# L538 (STC-55-59)
55-59 STC Sound
50 IIC Sound

2 2 HR FLOOR ASSEMBLY - +50 STC
SCALE: 3"=1'-0"

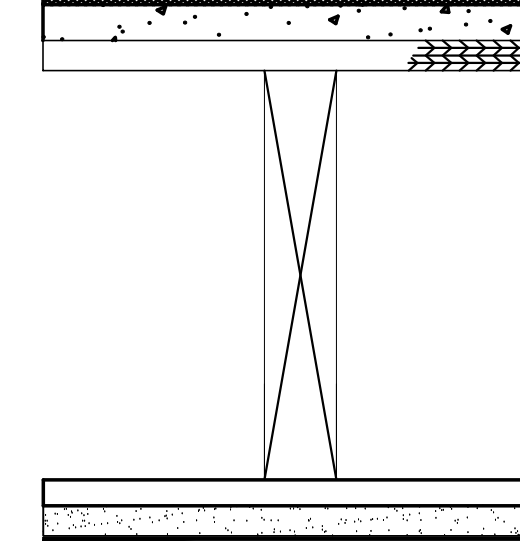
2 2 HR FLOOR ASSEMBLY - +50 STC
SCALE: 3"=1'-0"



System Description
Engineered Joist

- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- MINERAL WOOL Blow In
- RC-1 resilient channel or equivalent
- 1 LAYERS 5/8" FIRECODE X Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
UL# L501 (STC-55-59)
55-59 STC Sound
50 IIC Sound



System Description
Engineered Joist

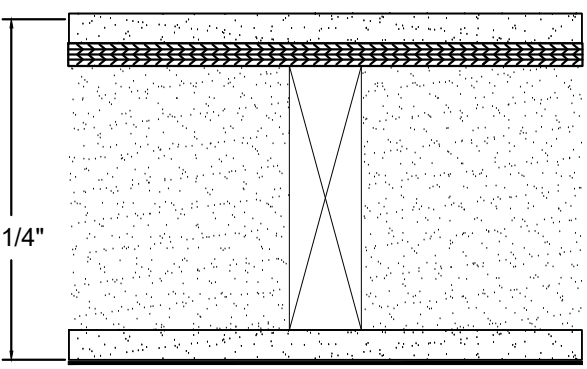
- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- MINERAL WOOL Blow In
- RC-1 resilient channel or equivalent
- 1 LAYERS 5/8" FIRECODE X Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
UL# L501 (STC-55-59)
55-59 STC Sound
50 IIC Sound

1B 1 HR FLOOR ASSEMBLY - +50 STC
SCALE: 3"=1'-0"

1B 1 HR FLOOR ASSEMBLY - +50 STC
SCALE: 3"=1'-0"

Exterior Side



System Description
Wood Stud Exterior Wall (load-bearing)

- Exterior Finish (Not Shown)
- Hunter Xci CG INSULATION (Not Shown)
- WRB (Not Shown)
- 5/8" Type X Exterior Gyp Sheathing
- min. 15/32" plywood sheathing panels
- 2" x 6" wood studs @ 16" o.c. cross-braced
- 5.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

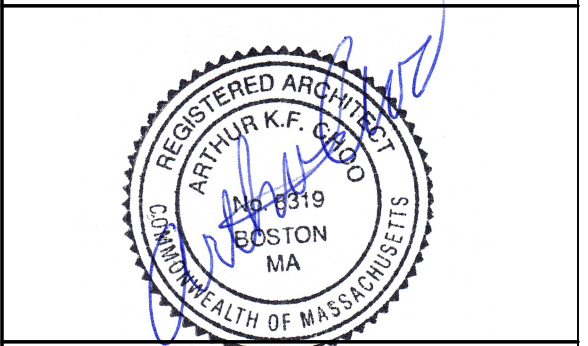
System Performance
1 HR Fire
(RATED FROM BOTH SIDES)
UL Design No. U344

Interior Side

1E 1 HR EXT PARTITION -WOOD LOAD BEARING
SCALE: 3"=1'-0"



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

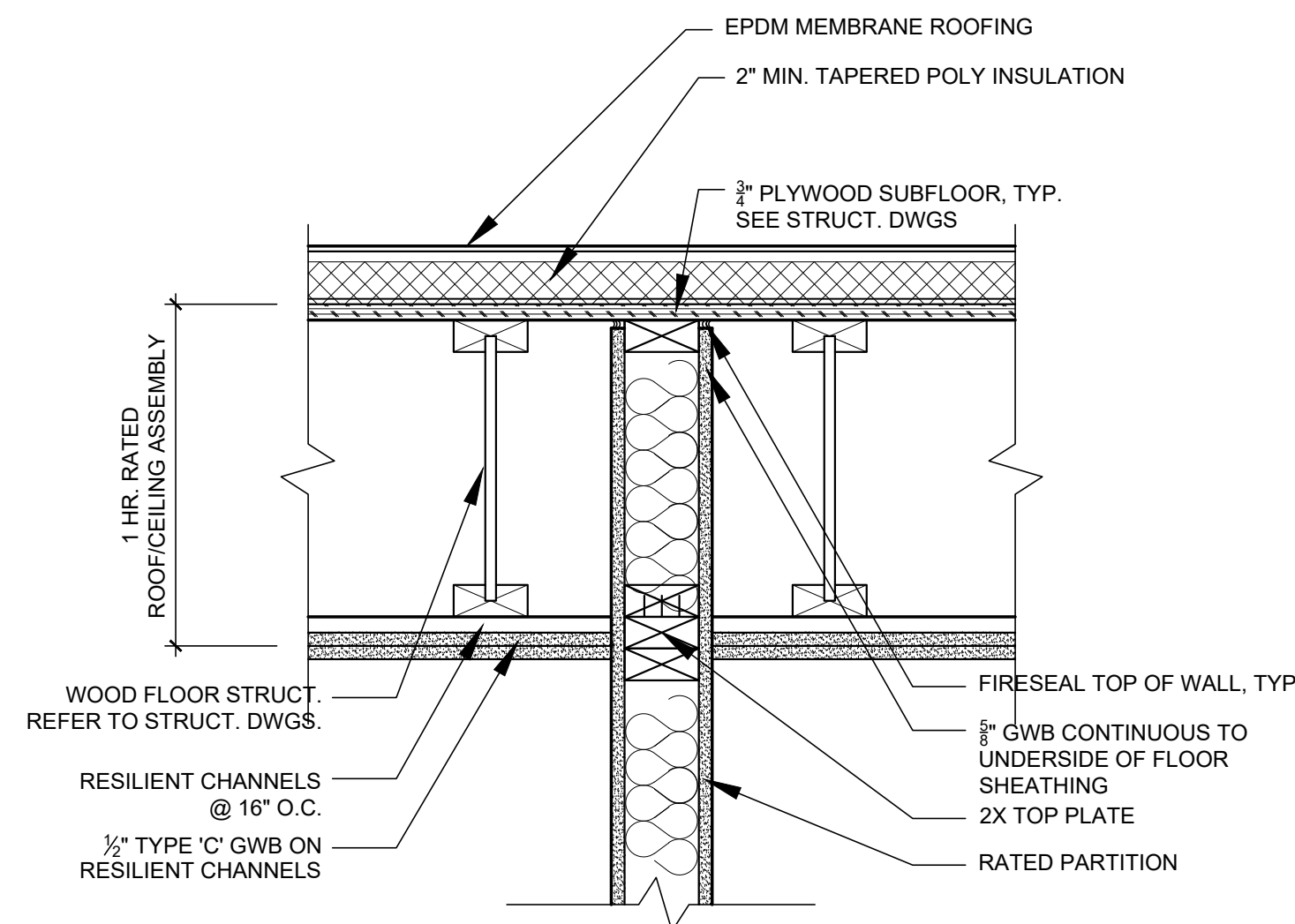


No.	Revision Date

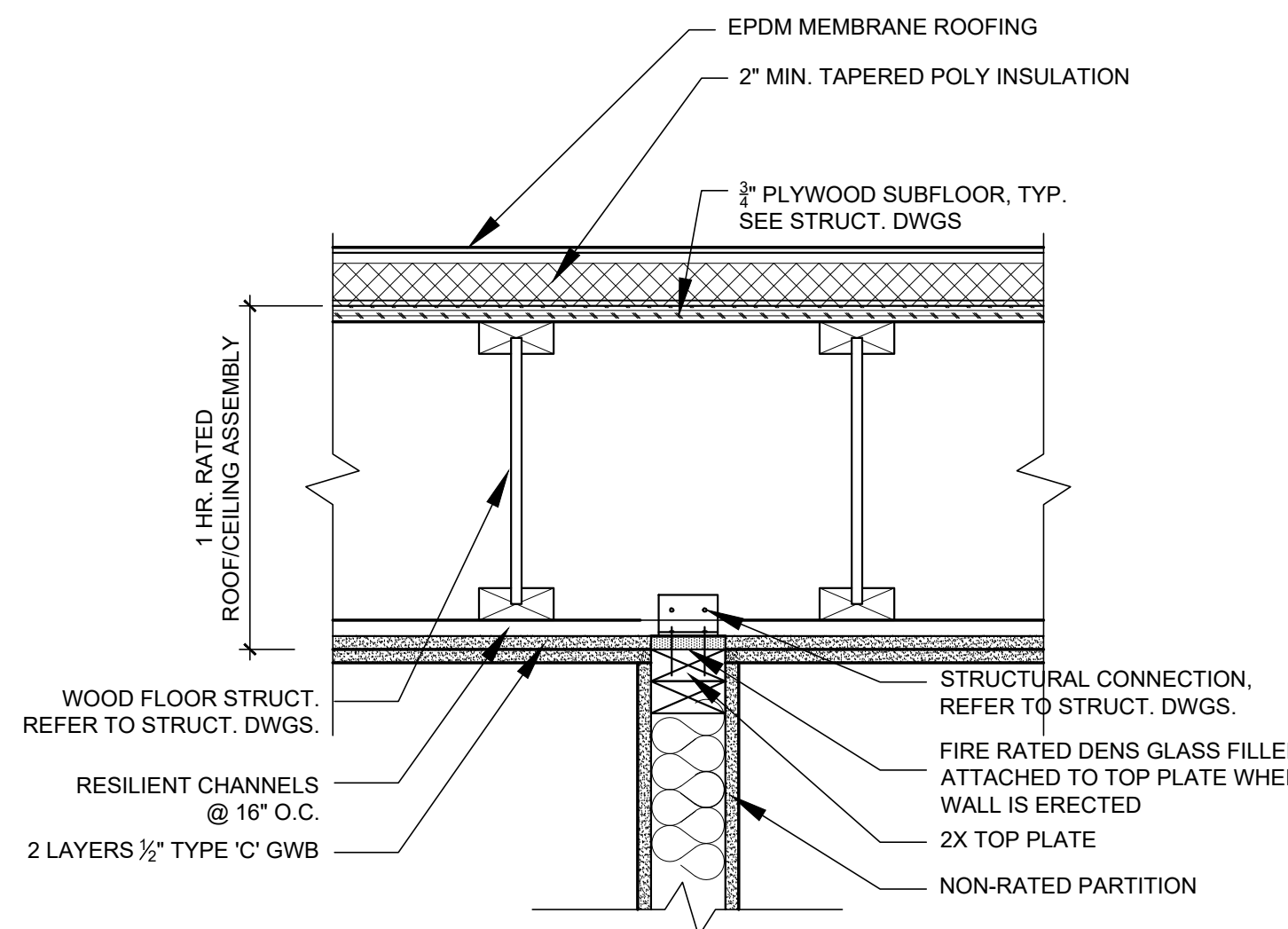
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Scale: AS NOTED
Date: 05-09-2022
Drawn By: SL

Drawing Name
**PROPOSED
DETAILS**

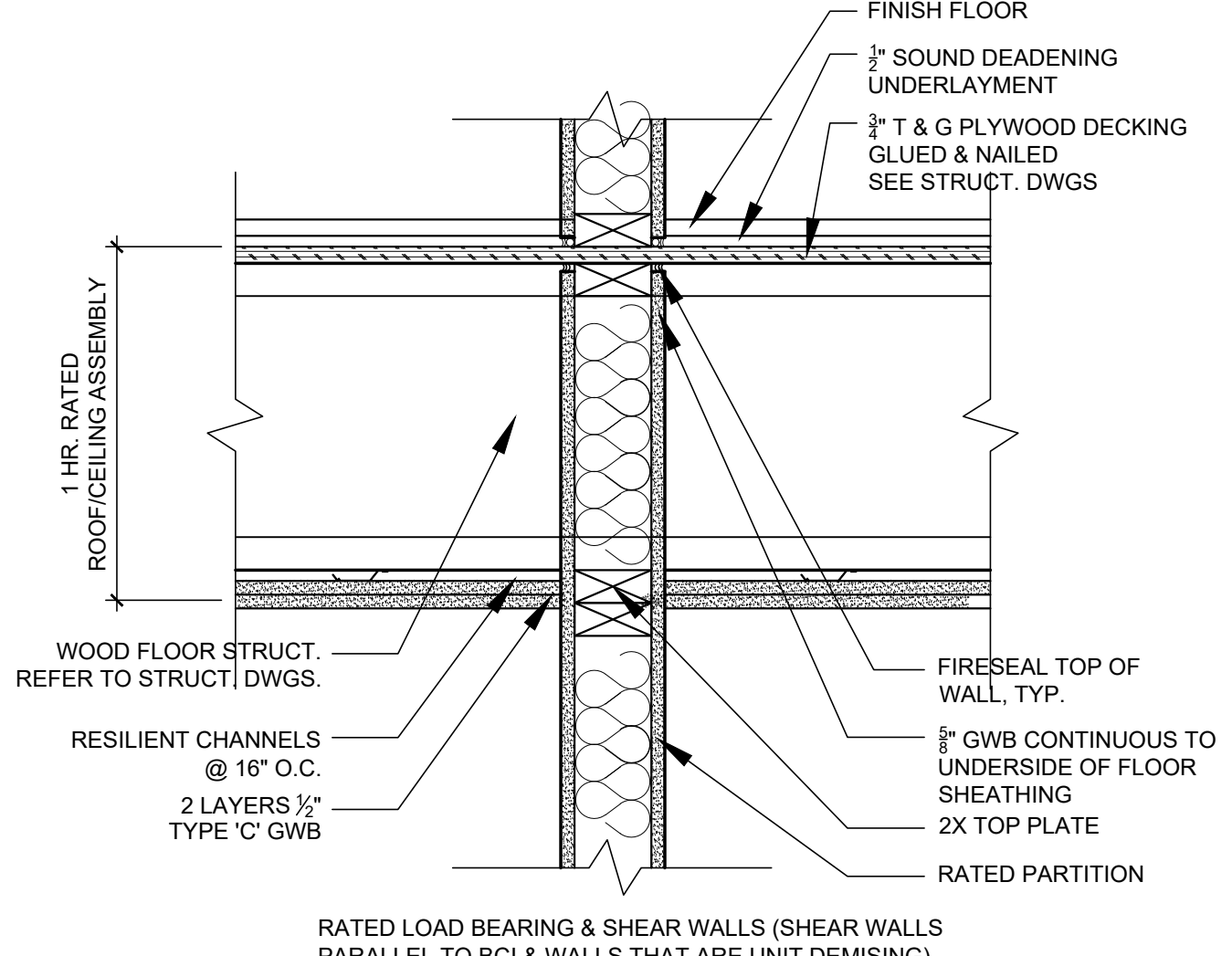
Sheet No.
A-3-1.2



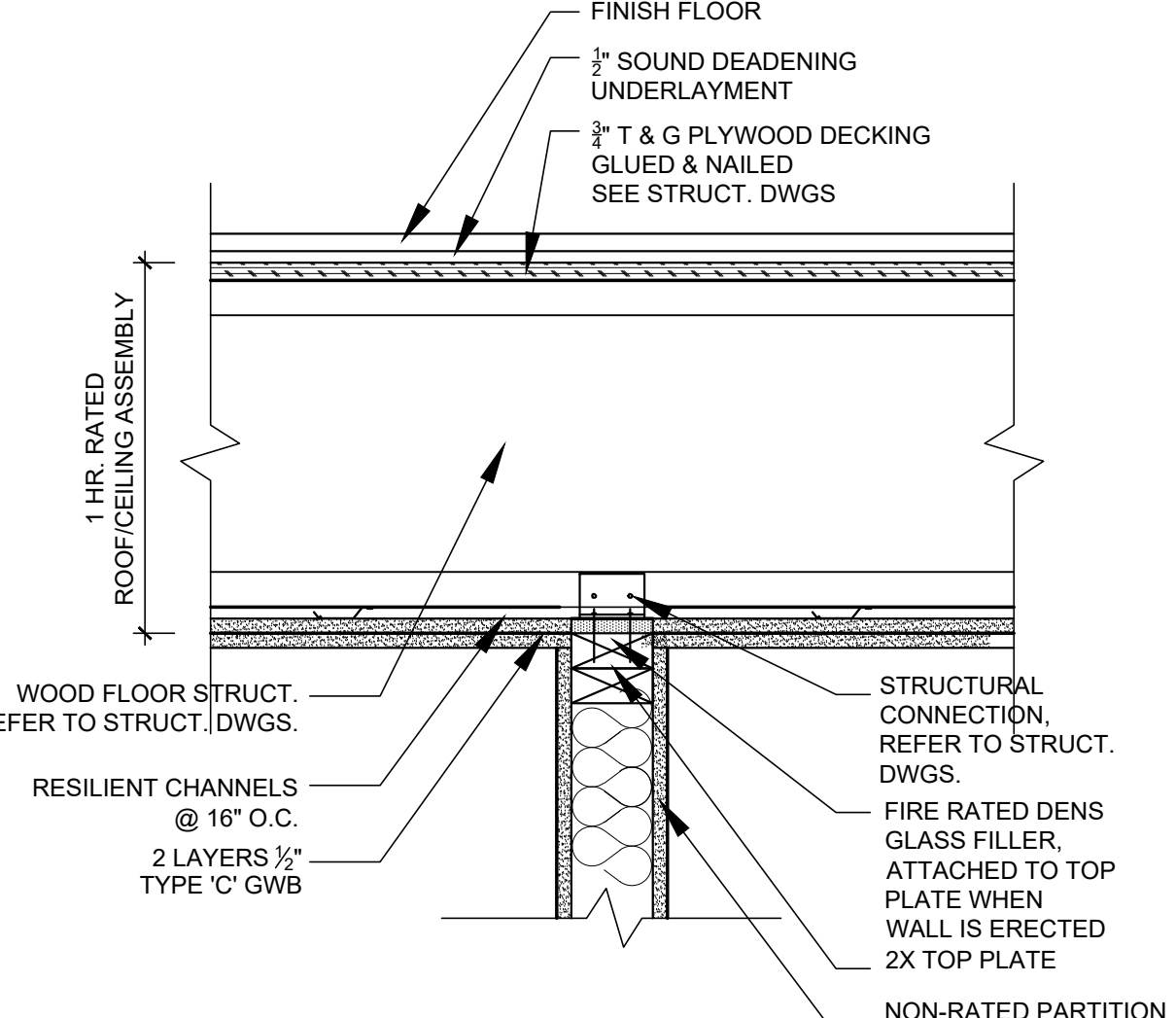
1 RATED WALL DETAIL @ ROOF
SCALE: 1 1/2"=1'-0"



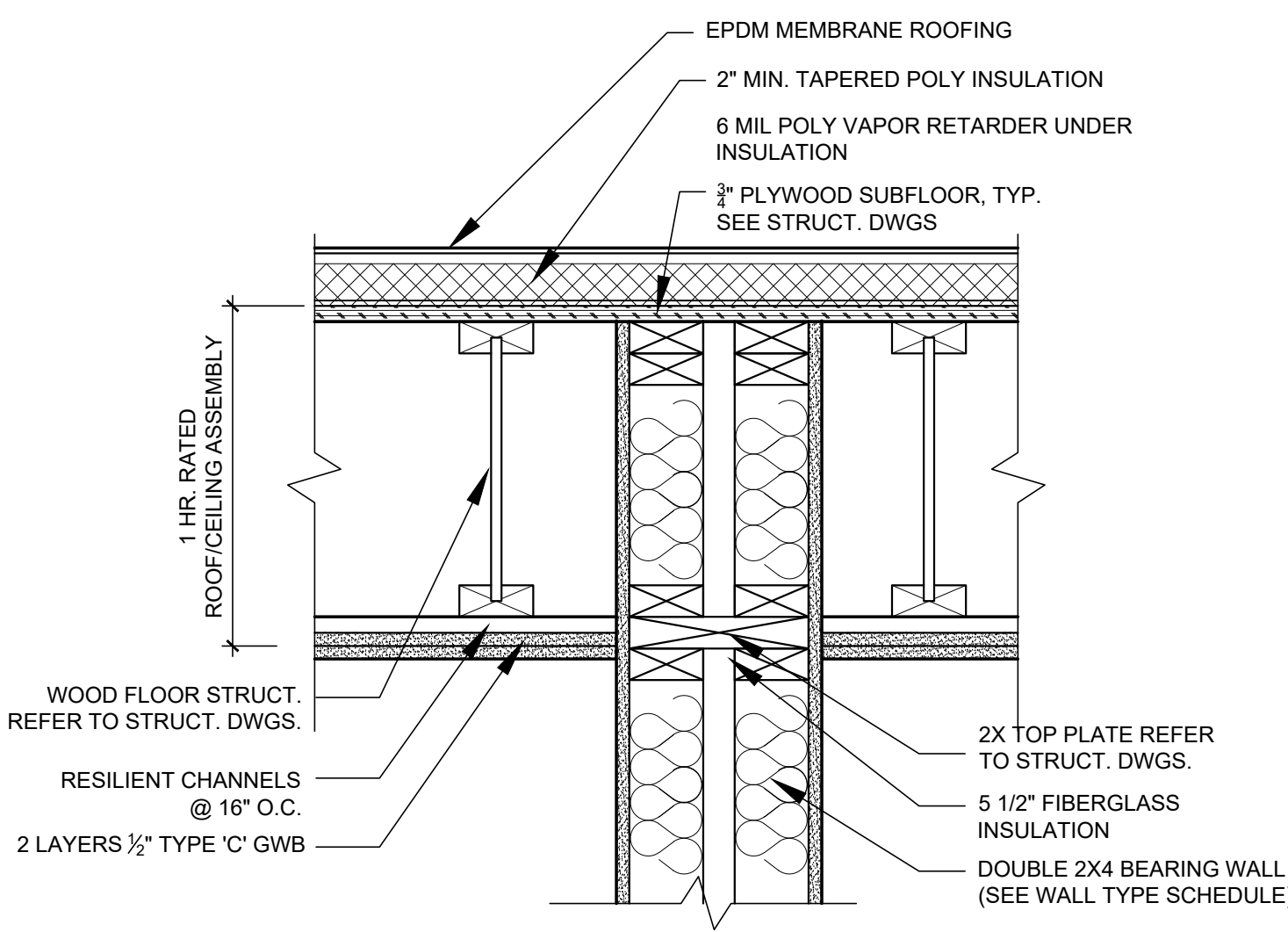
2 NON-RATED WALL DETAIL @ ROOF
SCALE: 1 1/2"=1'-0"



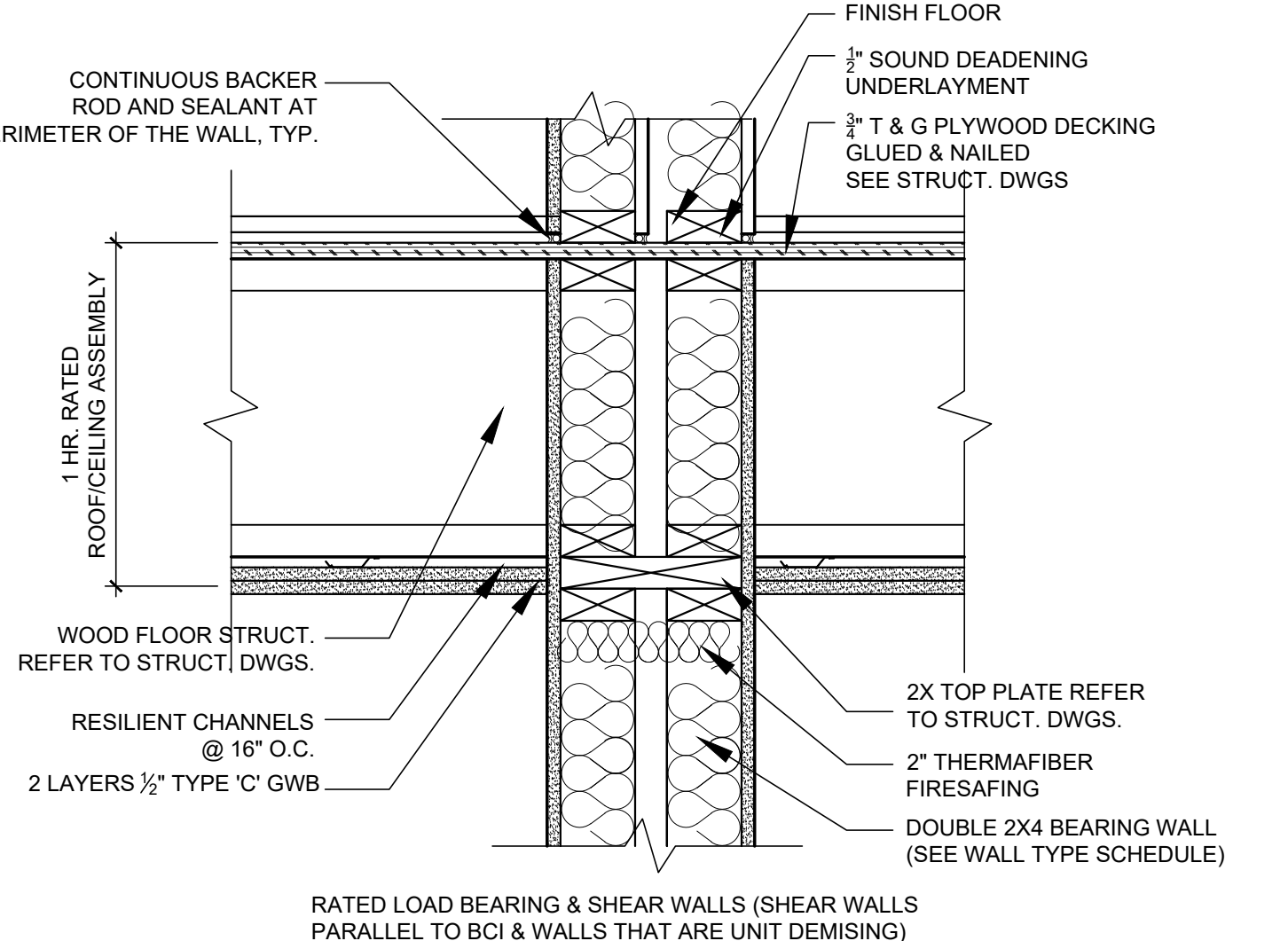
3 RATED WALL DETAIL
SCALE: 1 1/2"=1'-0"



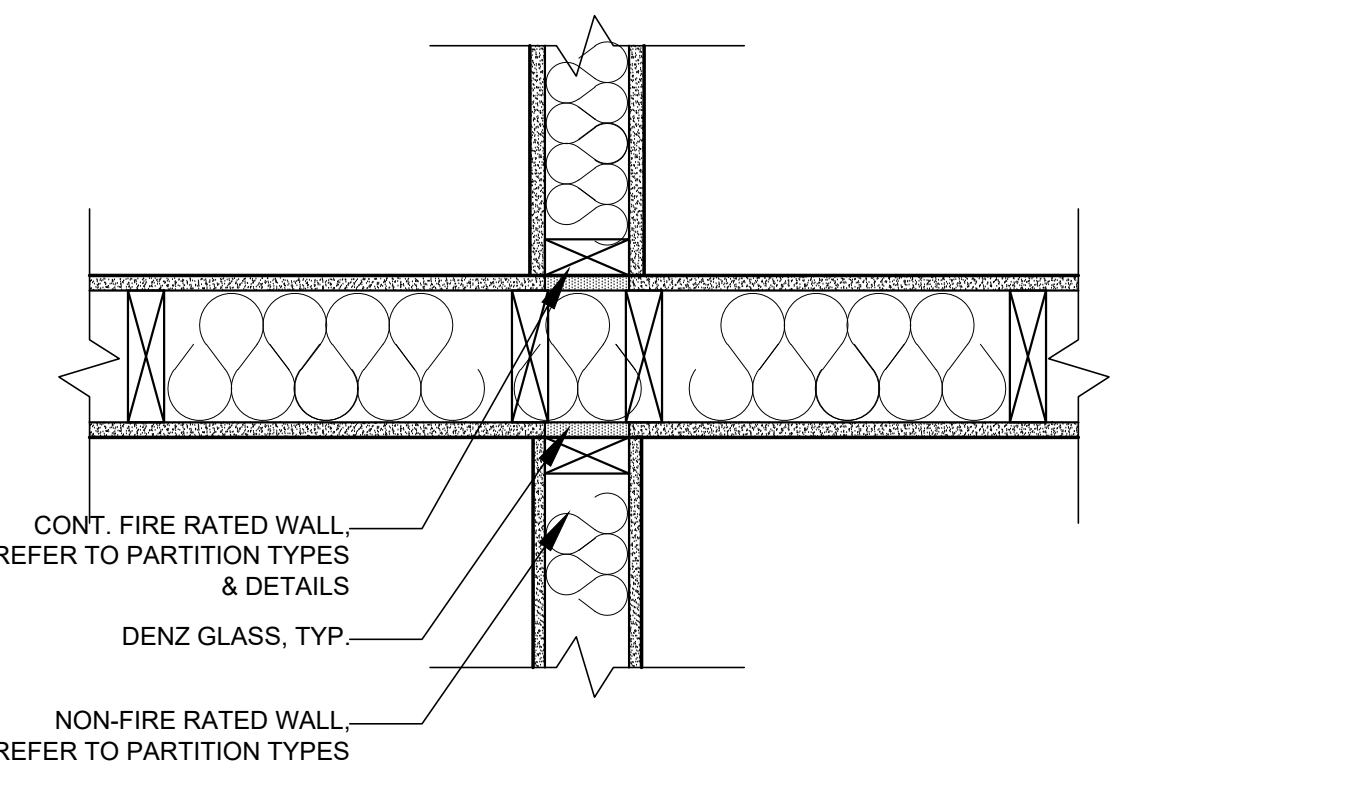
4 NON-RATED WALL DETAIL
SCALE: 1 1/2"=1'-0"



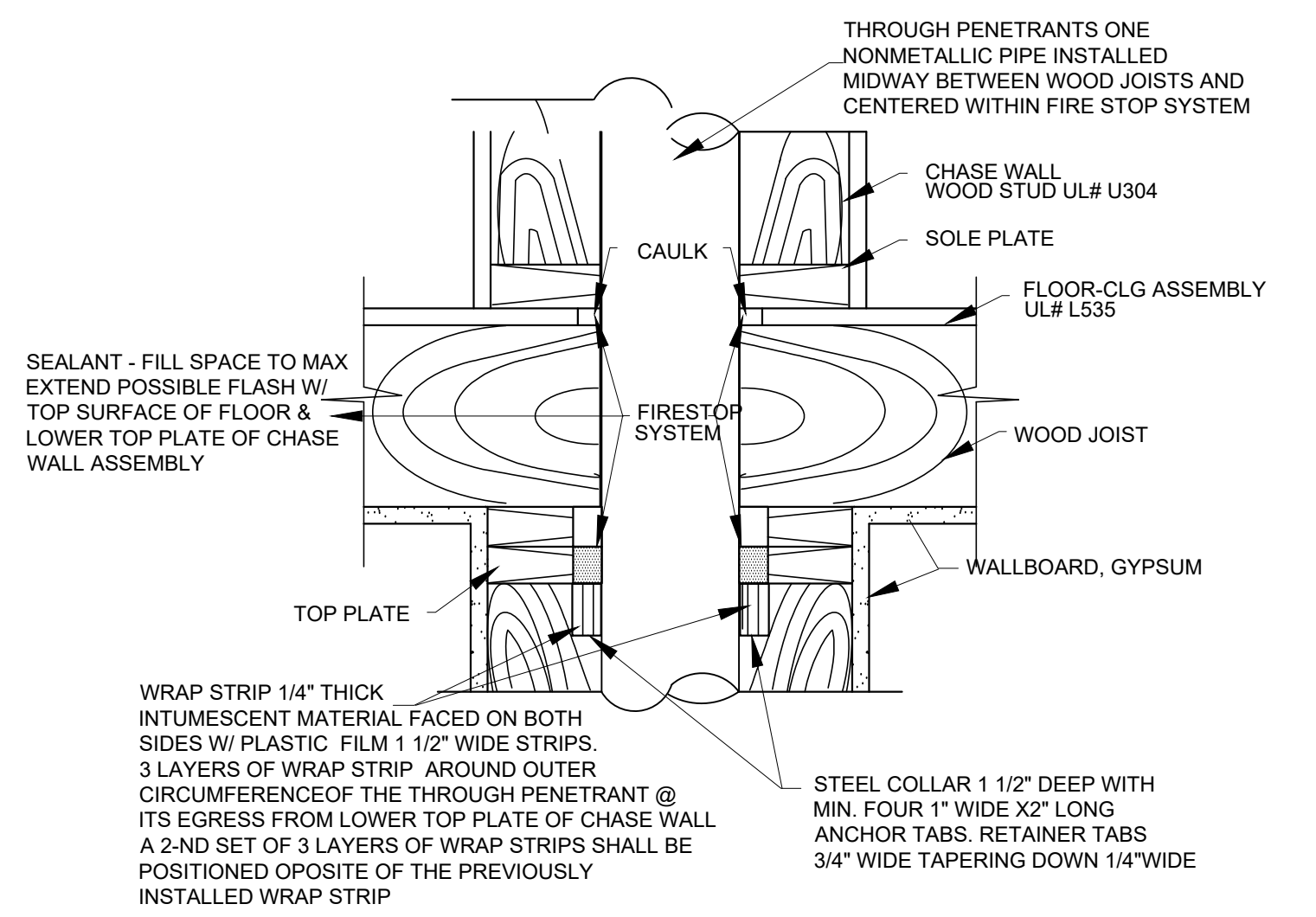
5 DEMISING WALL DETAIL
SCALE: 1 1/2"=1'-0"



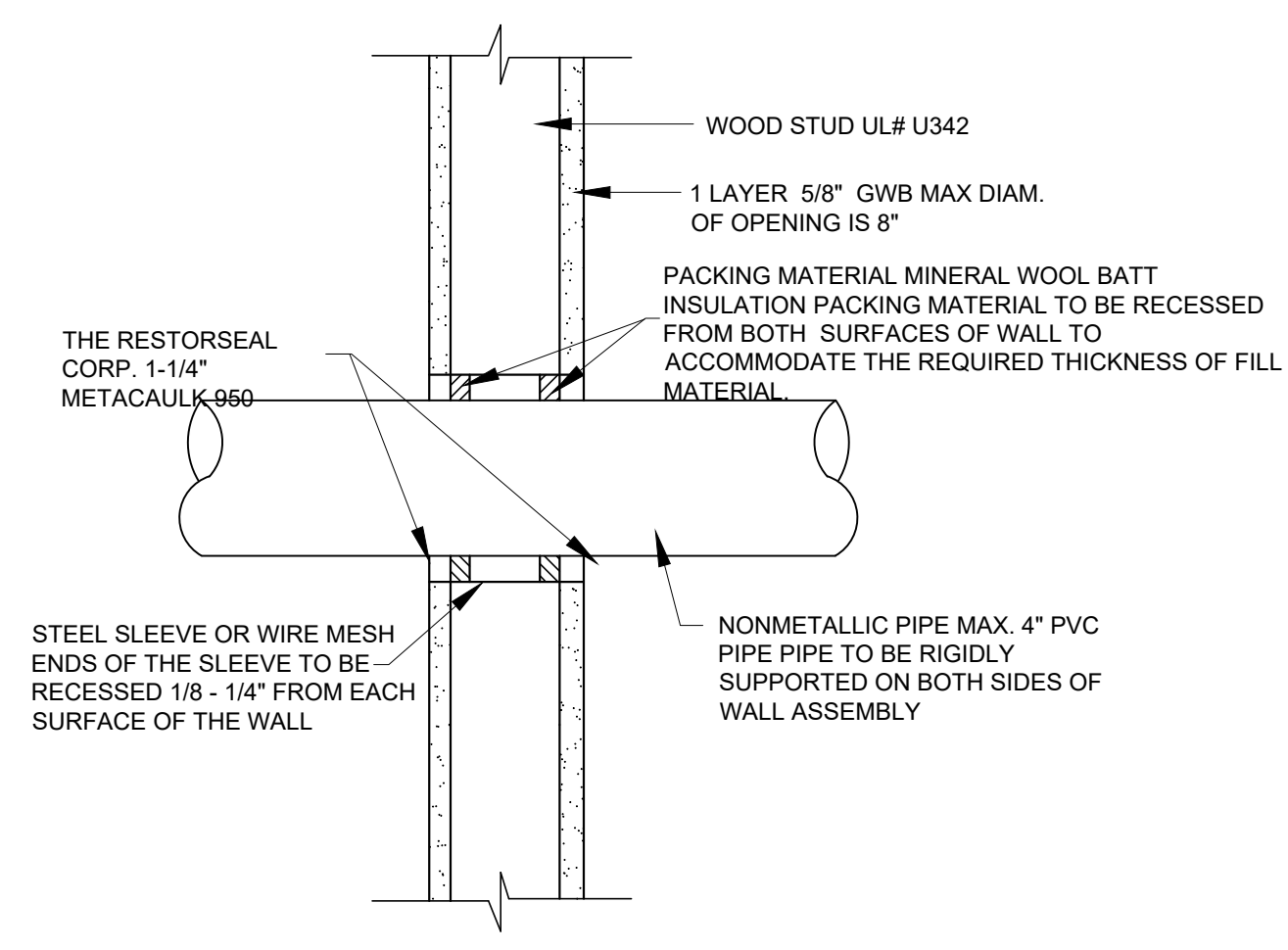
6 DEMISING WALL DETAIL
SCALE: 1 1/2"=1'-0"



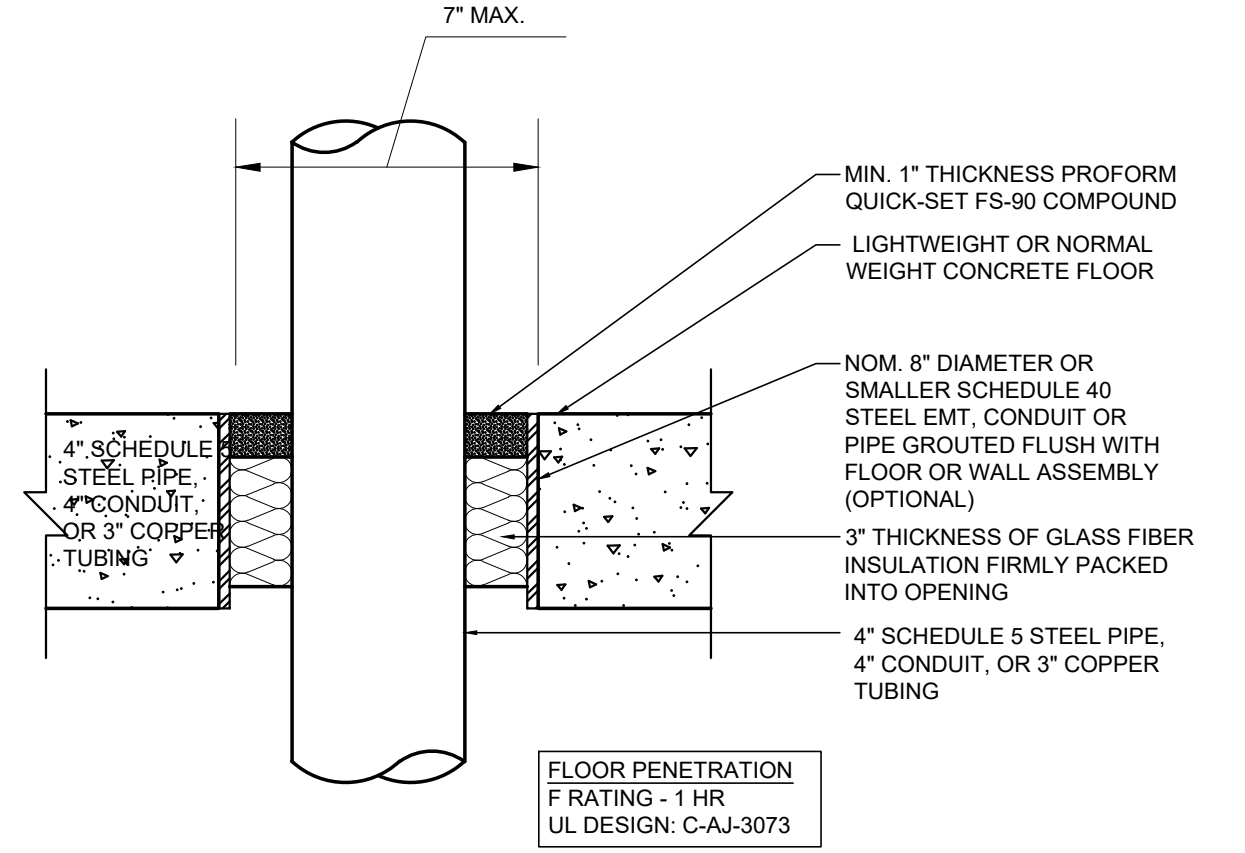
7 TYP. WALL INTERSECT. PLAN DETAIL
SCALE: 1 1/2"=1'-0"



8 1 HOUR RATING THROUGH PENETRATION FIRESTOP SYSTEM # F-C-2054
SCALE: 1 1/2" = 1'-0"



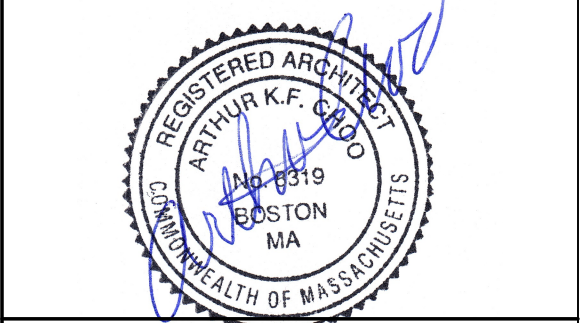
9 1 HOUR THROUGH PENETRATION FIRESTOP SYSTEM WALL ASSEMBLY # W-L-2014
SCALE: 1 1/2" = 1'-0"



10 1 HOUR THROUGH PENETRATION FIRESTOP SYSTEM FLOOR ASSEMBLY # C-AJ -3073
SCALE: 1 1/2" = 1'-0"

Location
PROPOSED ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



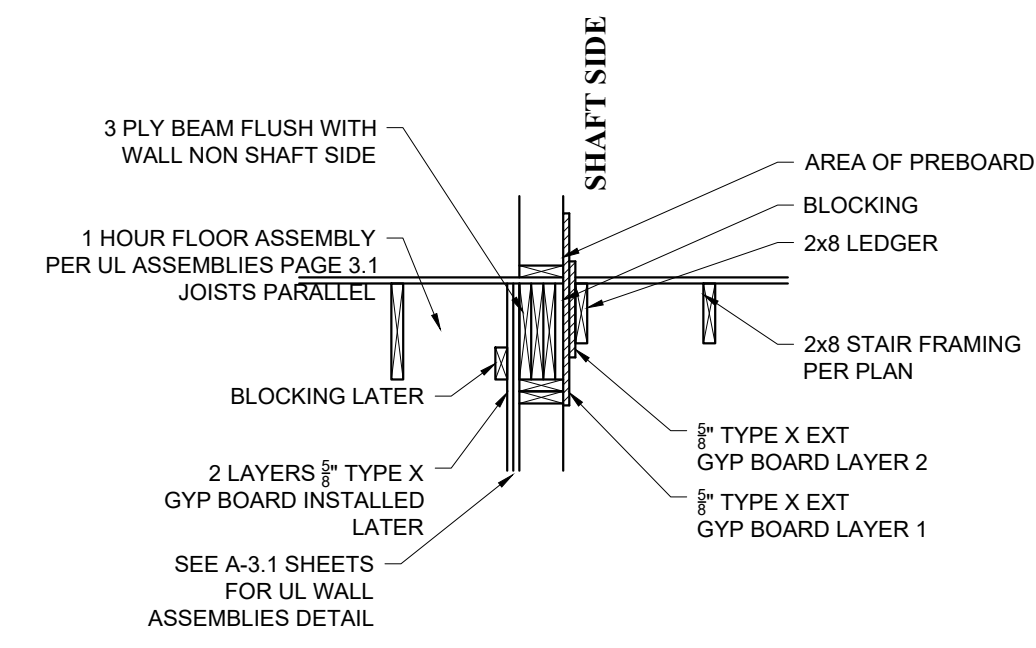
No.	Revision Date

Project No: 2020113
Scale: AS NOTED
Date: 05-09-2022
Drawn By: SL

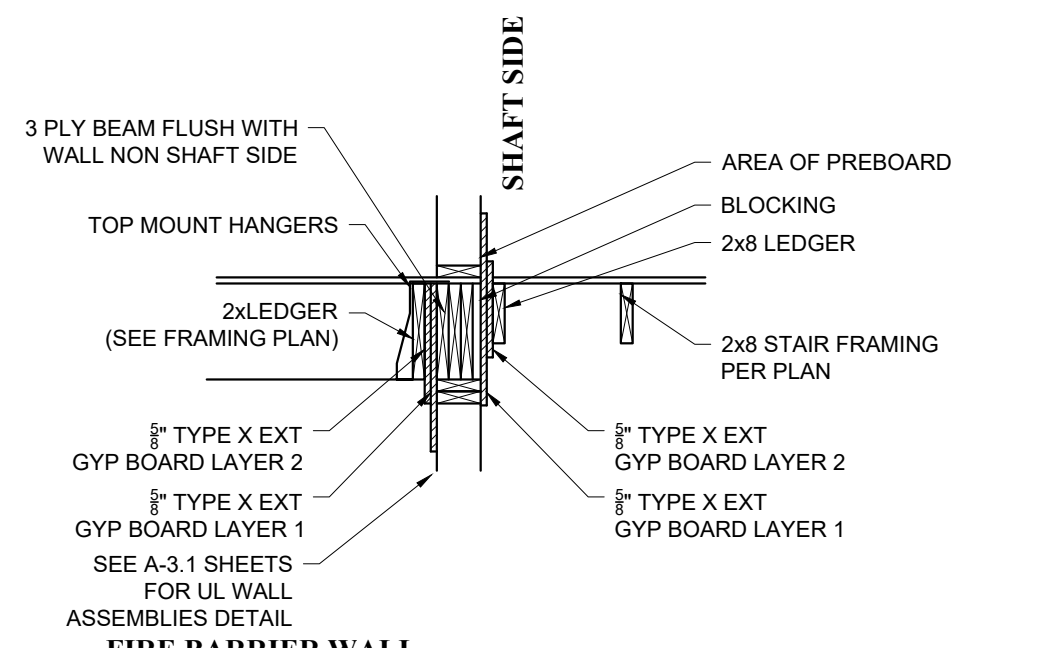
PROPOSED DETAILS

Sheet No.
A-3-1.3

FIRE BARRIERS
STAIR SHAFT

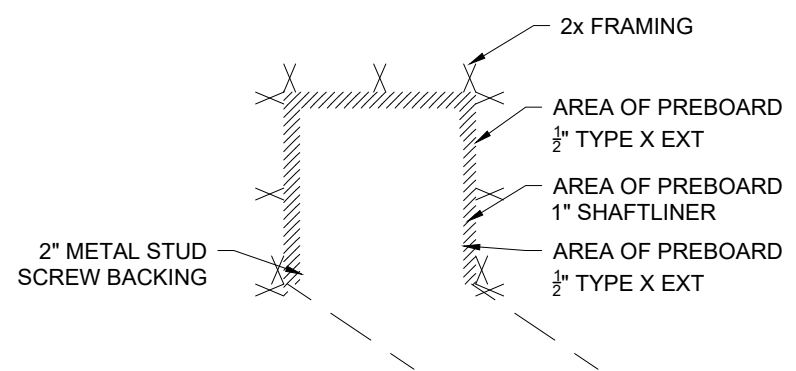


FIRE BARRIER WALL
PRE BOARDING AT STAIR LANDING/ STRINGERS
SHAFT WALL PARALLEL WITH FLOOR JOISTS
(NOTE ONLY 1 LAYER OF PREBOARD REQUIRED
FOR 1 HOUR SHAFT WALL ASSEMBLIES)



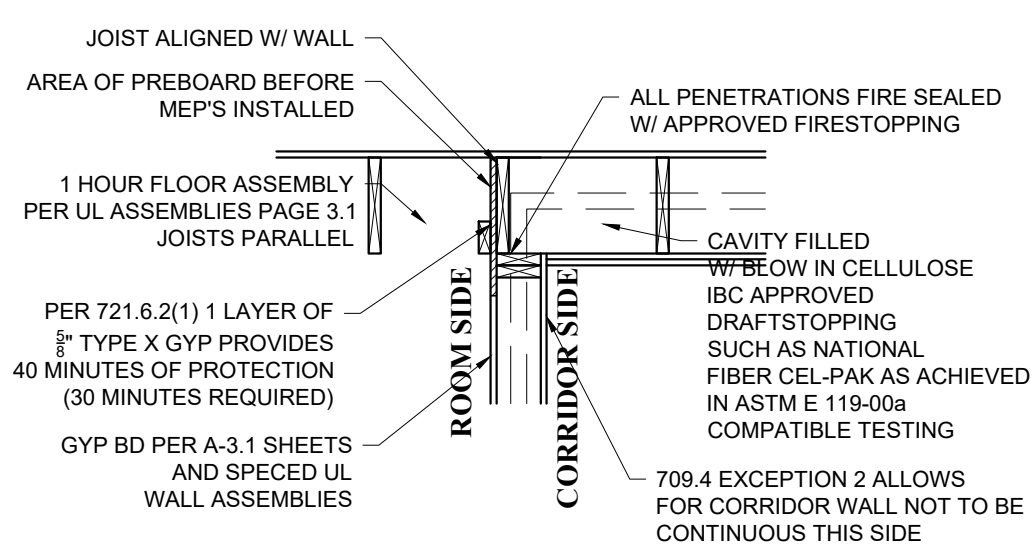
FIRE BARRIER WALL
PRE BOARDING AT STAIR LANDING/ STRINGERS
SHAFT WALL PERPENDICULAR WITH FLOOR JOISTS
(BEARING WALL SITUATIONS)
(NOTE ONLY 1 LAYER OF PREBOARD REQUIRED FOR 1
HOUR SHAFT WALL ASSEMBLIES)

MECH SHAFT

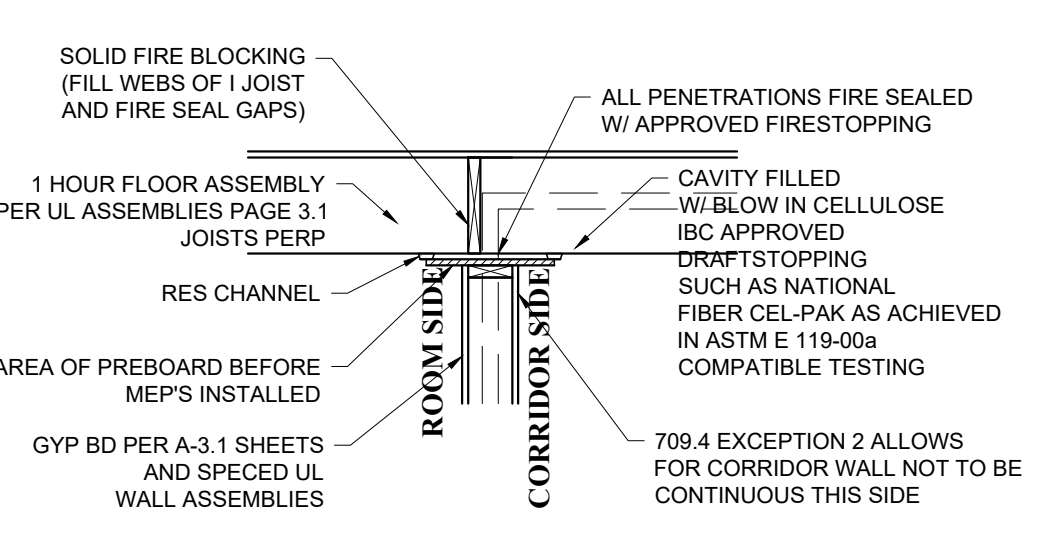


FIRE RATED SHAFT (2 HOUR)
PREBOARD WITH 2 LAYERS OF
1" EXT TYPE X AND
1" SHAFTLINER FOR 3 SIDES
PRIOR TO MEP'S

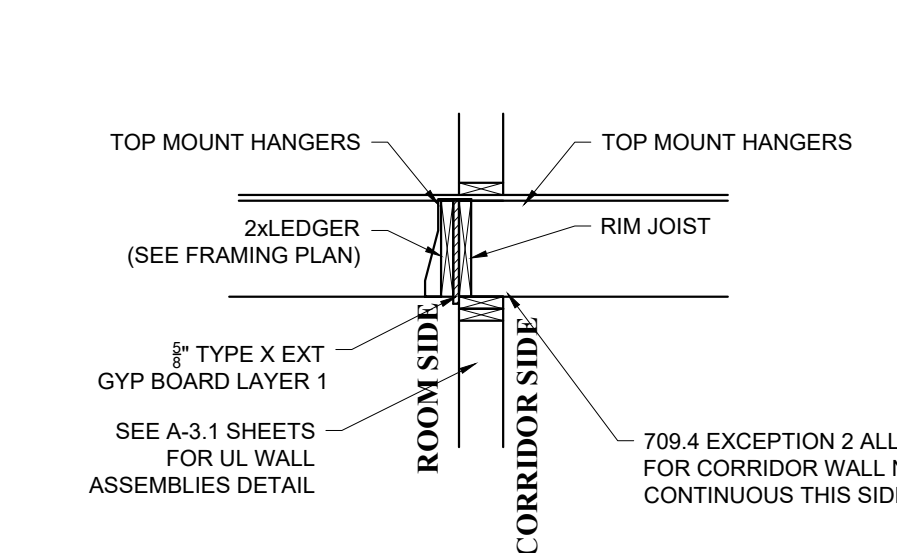
FIRE PARTITIONS
CORRIDOR WALLS



FIRE PARTITION WALL
CORRIDOR WALL PARALLEL WITH FLOOR JOISTS
PREBOARDING WITH INT 5/8" TYPE X GYP BOARD
AFTER BUILDING IS WATER TIGHT
(NON BEARING WALLS)

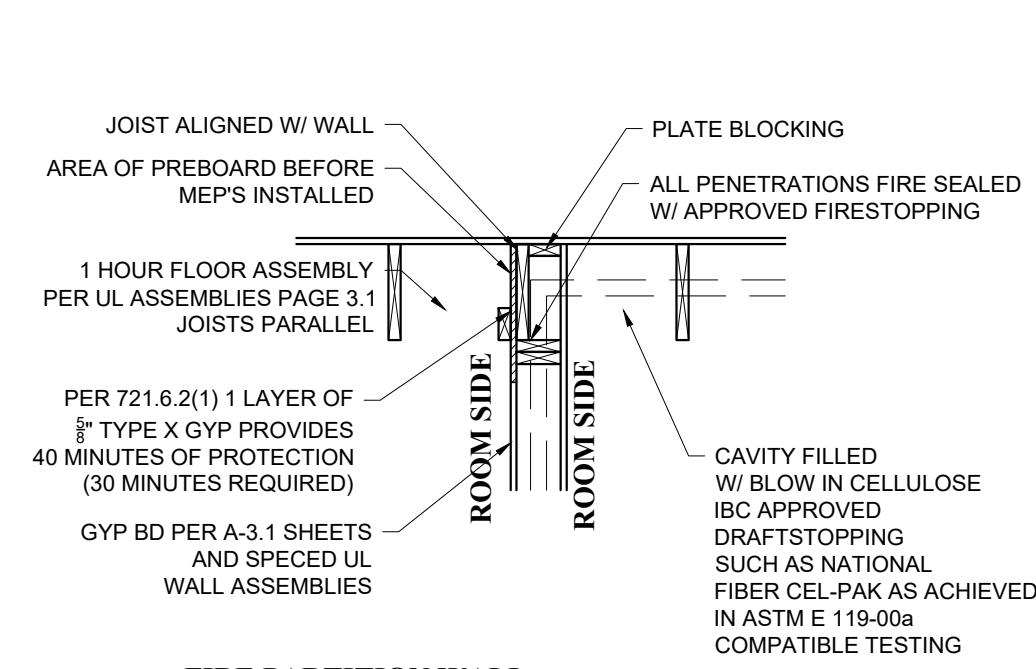


FIRE PARTITION WALL
CORRIDOR WALL PERP WITH FLOOR JOISTS
PREBOARDING WITH INT 5/8" TYPE X GYP BOARD
AFTER BUILDING IS WATER TIGHT
(NON BEARING WALLS)

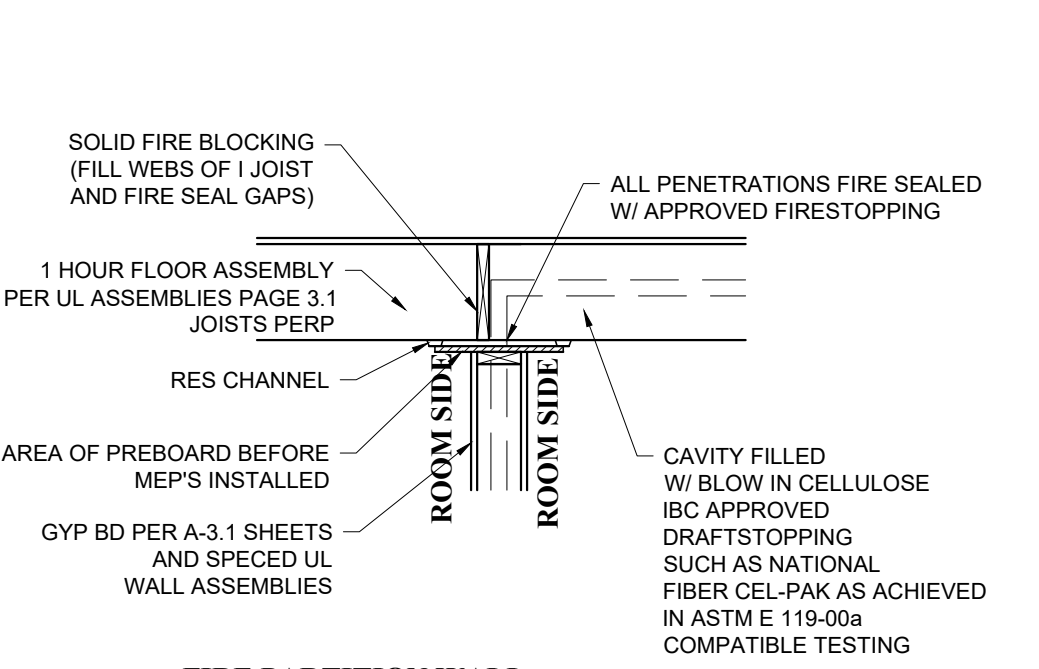


FIRE PARTITION WALL
CORRIDOR WALL PERP WITH FLOOR JOISTS
PREBOARDING WITH EXT 5/8" TYPE X GYP BOARD
DURING FRAMING
(BEARING WALLS)

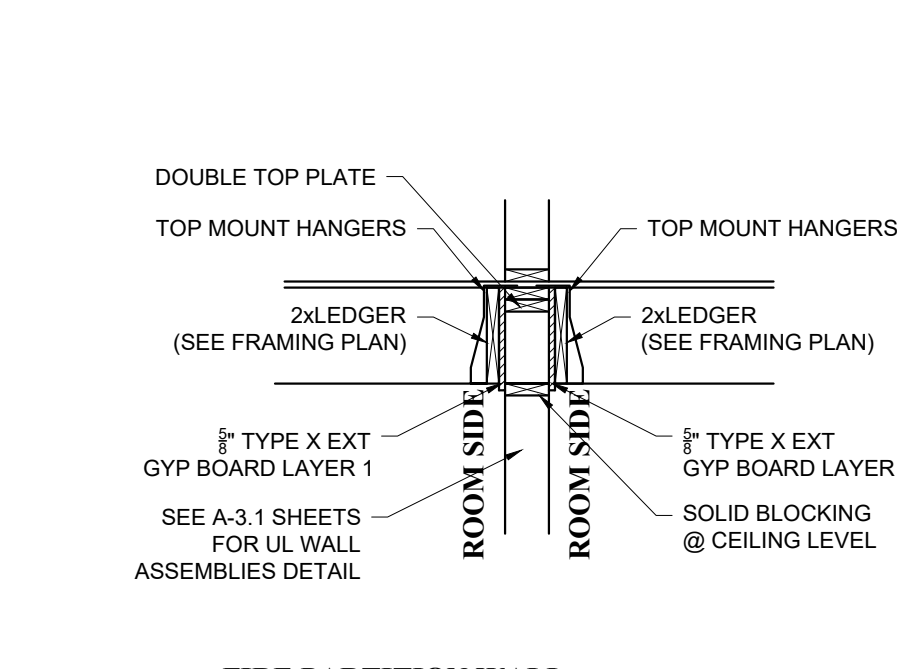
FIRE PARTITIONS
DEMISING WALLS



FIRE PARTITION WALL
DEMISING WALL PARALLEL WITH FLOOR JOISTS
PREBOARDING WITH INT 5/8" TYPE X GYP BOARD
AFTER BUILDING IS WATER TIGHT
(NON BEARING WALLS)

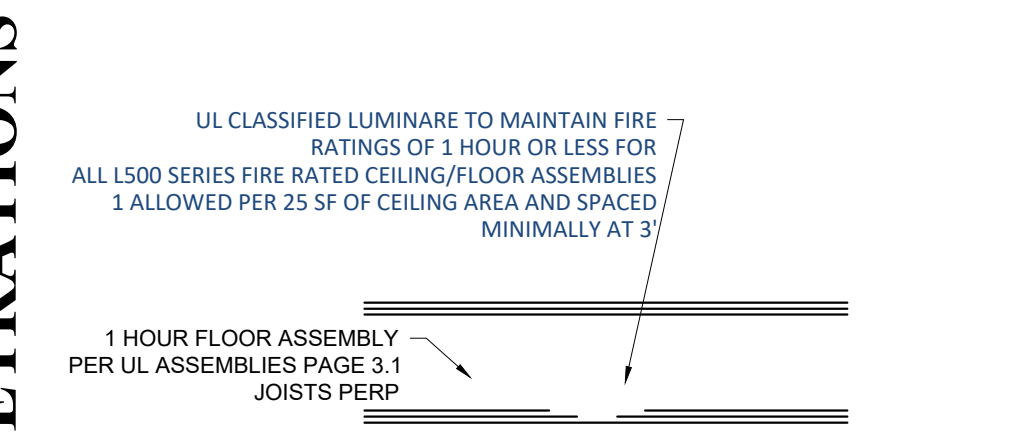


FIRE PARTITION WALL
DEMISING WALL PERP WITH FLOOR JOISTS
PREBOARDING WITH INT 5/8" TYPE X GYP BOARD
AFTER BUILDING IS WATER TIGHT
(NON BEARING WALLS)

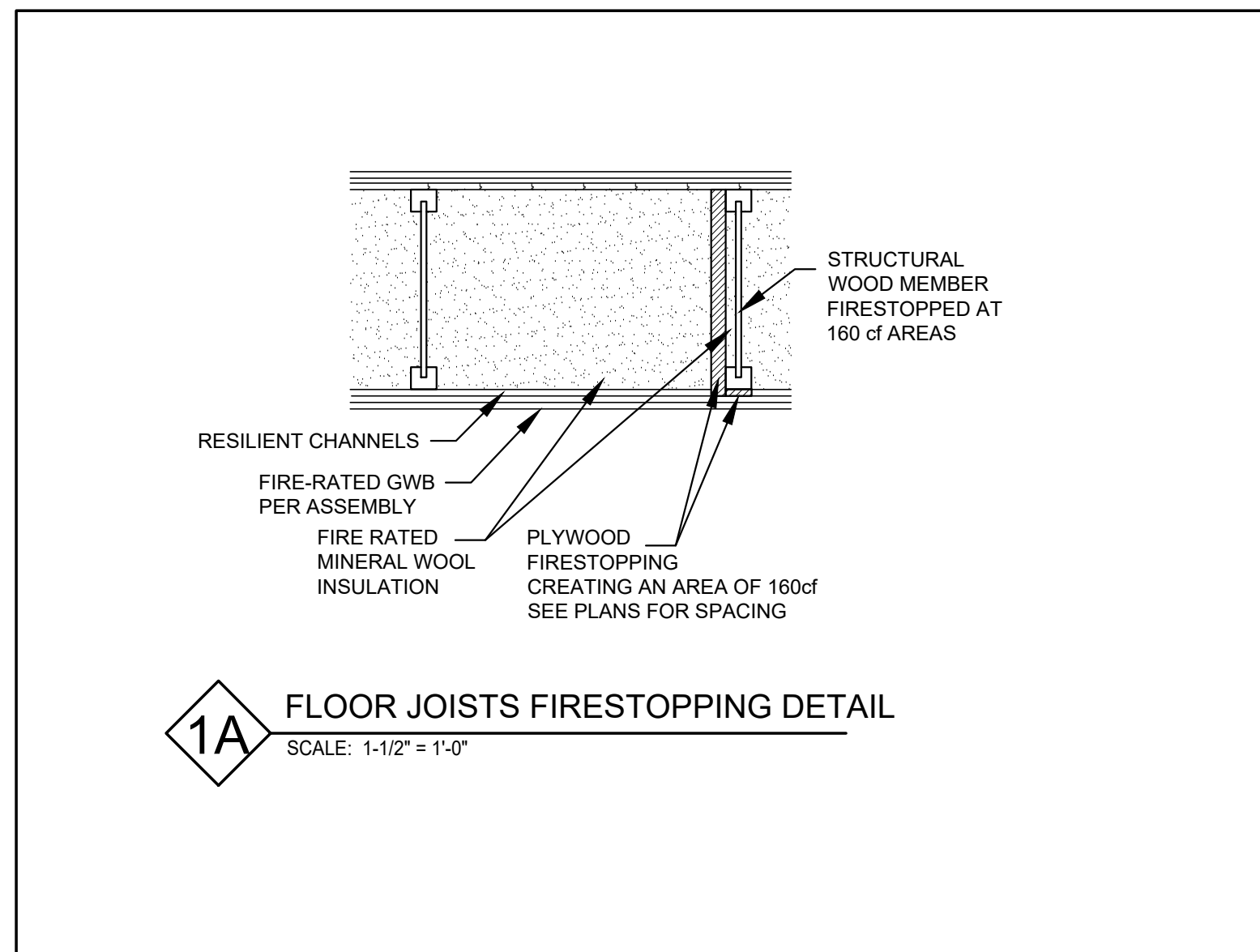


FIRE PARTITION WALL
DEMISING WALL PERP WITH FLOOR JOISTS
PREBOARDING WITH EXT 5/8" TYPE X GYP BOARD
DURING FRAMING
(BEARING WALLS)

RATED CEILING
PENETRATIONS



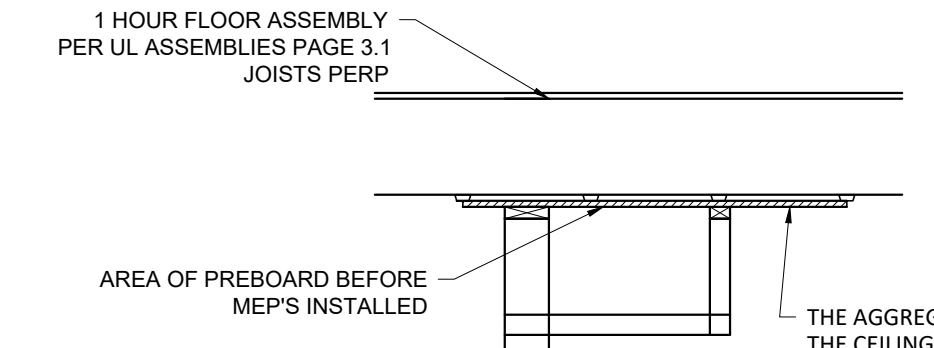
1 HOUR FIRE RATED CEILING
RECESSED LIGHT FIXTURES



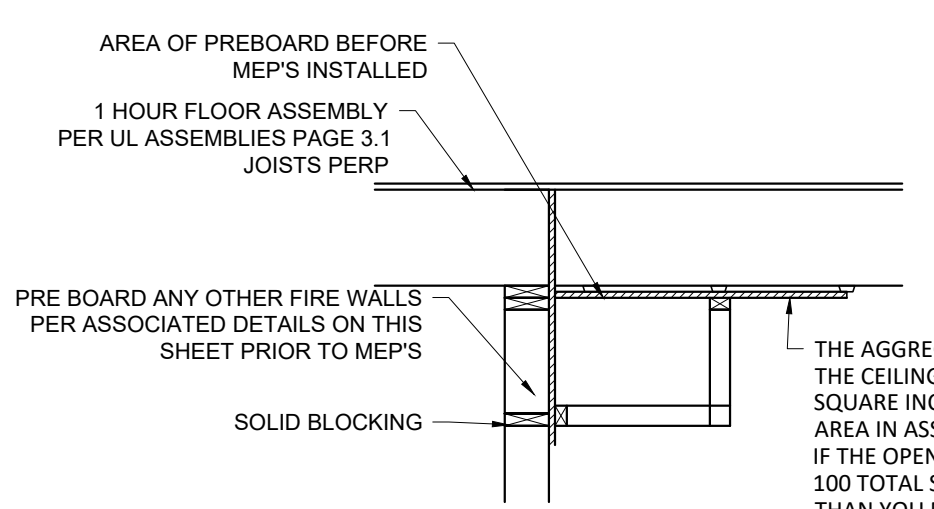
1A FLOOR JOISTS FIRESTOPPING DETAIL
SCALE: 1-1/2" = 1'-0"

<https://www.hilti.com/firestops>

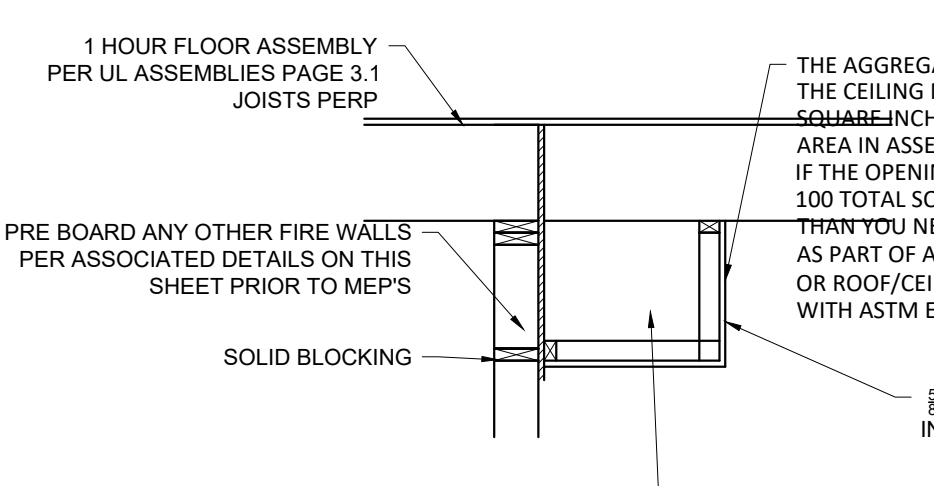
PRE BOARD SCENARIOS
SOFFITS



FIRE RATED CEILING
SOFFIT AT NON RATED WALL

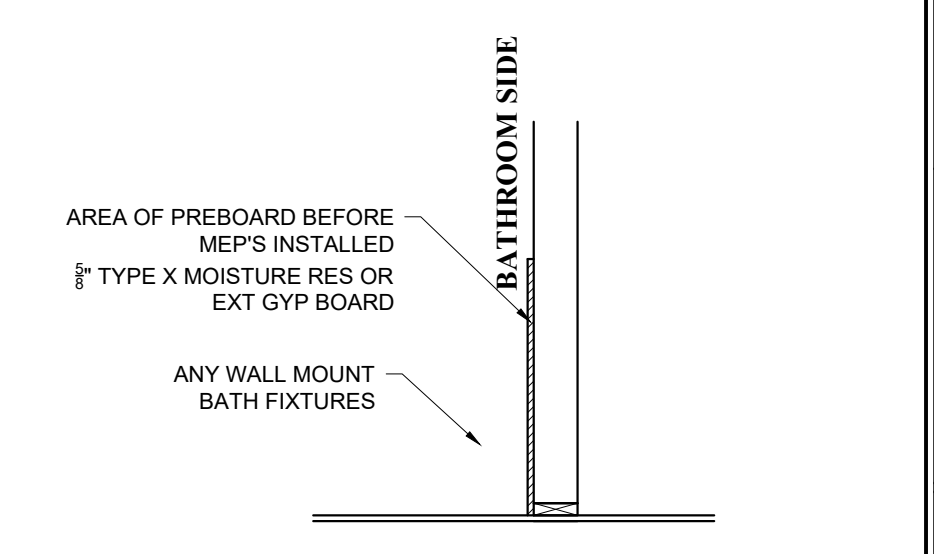
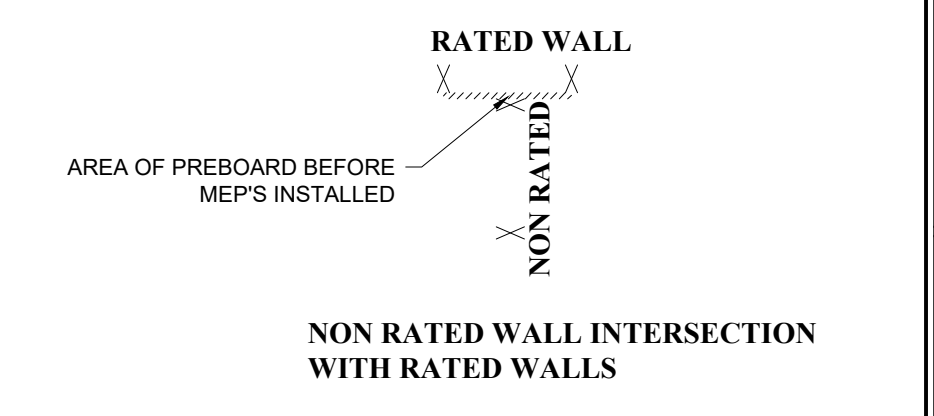


FIRE RATED CEILING
SOFFIT AT RATED WALL

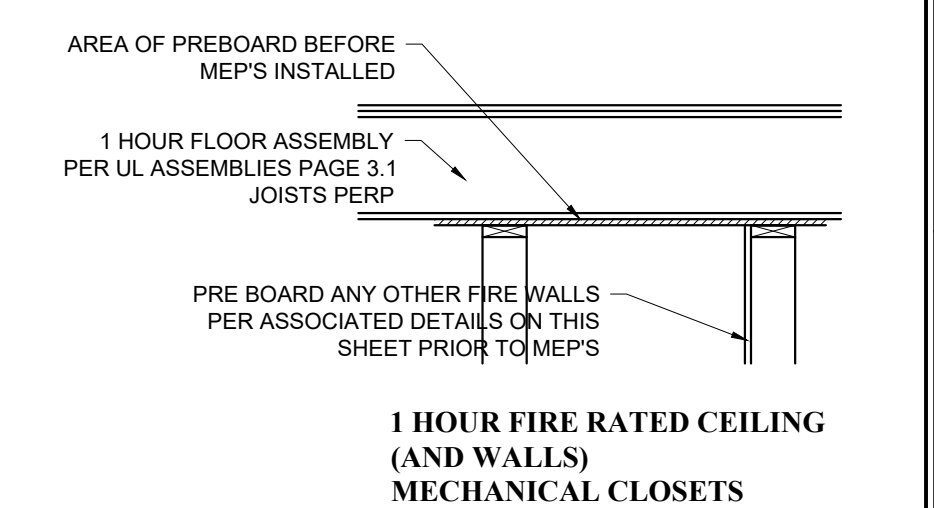


FIRE RATED CEILING
w A RATED SOFFIT

PRE BOARD SCENARIOS
VARIOUS



1 HOUR FIRE RATED WALL
ADJACENT TO BATHROOMS
PREBOARDING WITH EXT 5/8" TYPE X GYP BOARD



1 HOUR FIRE RATED CEILING
(AND WALLS)
MECHANICAL CLOSETS

Location
PROPOSED ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS
Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

REGISTRED ARCHITECT
ARTHUR K.F. CHOO
No. _____ Revision Date _____

Project No: 2020113
Scale: AS NOTED
Date: 05-09-2022
Drawn By: SL

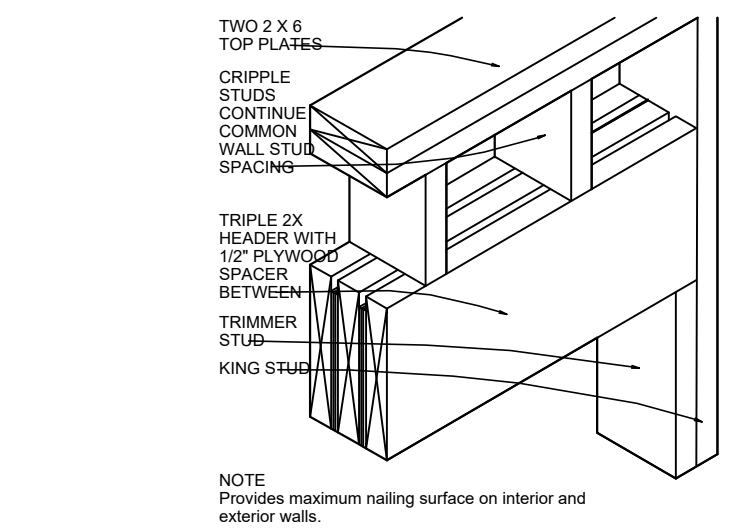
Drawing Name
PROPOSED DETAILS
Sheet No.

A-3-1.4

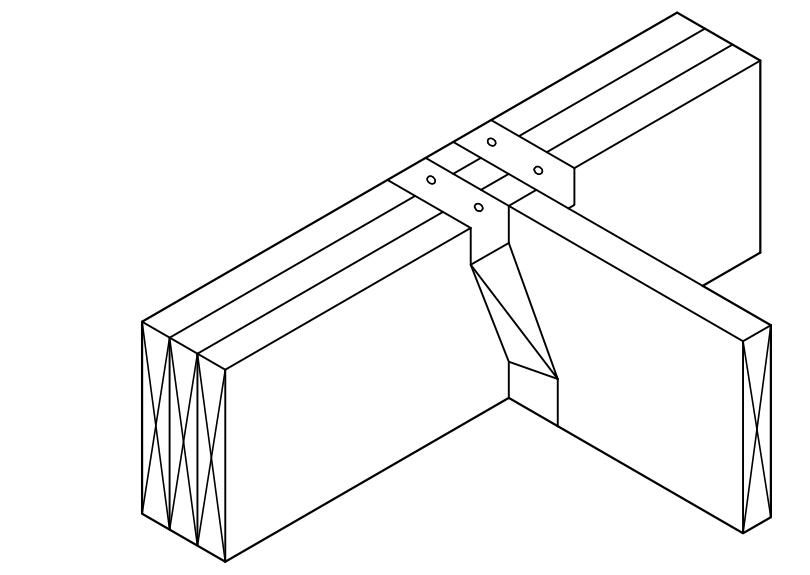
RECOMENDED FASTENING SCHEDULE

BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
STUD TO SOLE PLATE	8D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
STUD TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE STUDS	10D COMMON	12" O.C. DIRECT
CORNER STUDS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	16" O.C.
DOUBLE CAP PLATE	10D COMMON	16" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
RIBBON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
RIBBON STRIP, 6" OR MORE	10D COMMON	5 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	5 TOE-NAIL
JACK RAFTER TO RIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HP	10D COMMON 16D COMMON	5 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO STUDS (NO CEILING JOISTS)	10D COMMON 10D COMMON	5 DIRECT OR 3 DIRECT
FLOOR JOISTS TO STUDS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO SILL OR GIRDER	3D COMMON	5 TOE-NAIL
LEADER STRIP	16D COMMON	5 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	5 TOE-NAIL
CEILING JOISTS (LAPS OVER PARTITION)	10D COMMON	5 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	5 DIRECT
COLLAR BEAM	10D COMMON	5 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO STUD AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
TAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 4 50. FT. FLOOR AREA
HEADER BEAMS TO TRIMMERS	20D COMMON	1 EACH END 50. FT. FLOOR AREA
1" ROOF FROEING (COVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 5 EACH DIRECT RAFTER
1" SUBFLOORING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SUBFLOORING (8" OR MORE)	8D COMMON	5 EACH DIRECT JOIST
2" SUBFLOORING	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (6" OR LESS IN WIDTH)	8D COMMON	2 EACH DIRECT STUD
1" WALL SHEATHING (COVER 8" IN WIDTH)	8D COMMON	5 EACH DIRECT STUD
PLYWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/16", 3/8", OR 1/2") (COVER 6" IN WIDTH)	6D COMMON 8D COMMON 16 GAUGE GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN, LENGTH OF 1" PLUS PLYWOOD THICKNESS SAME AS IMMEDIATELY ABOVE	6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 9" O.C. INTERMEDIATE
PLYWOOD SUBFLOORING (1/2") (5/8", 3/4", 1") (1", 1 1/8") (1 1/2") (3/8")	8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 10D COMMON OR 8D RING SHANK OR 8D ANNULAR OR SPIRAL THREAD 16D GALVANIZED WIRE STAPLES 3/8" MINIMUM CROWN, 1 3/8" LENGTH	6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE 4" O.C. EDGES & 7" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
BUILT-UP GIRDERS AND BEAMS	20D COMMON	52" O.C. DIRECT
CONTINUOUS HEADER TO STUD	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 5/8" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GIPSUM SHEATHING	12 GAUGE 1 5/8" LARGE HEAD CORROSION-RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAYMENT (1/4"-5/4")	6D ANNULAR THREADED	6" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING 1/2" OR LESS	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SUBFLOORING (5/8" OR GREATER)	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHINGLES, WOOD*	NO. 14 9x5 GAGE CORROSION RESISTIVE	2 EACH BEARING
WEATHER BOARDING	8D CORROSION	2 EACH BEARING

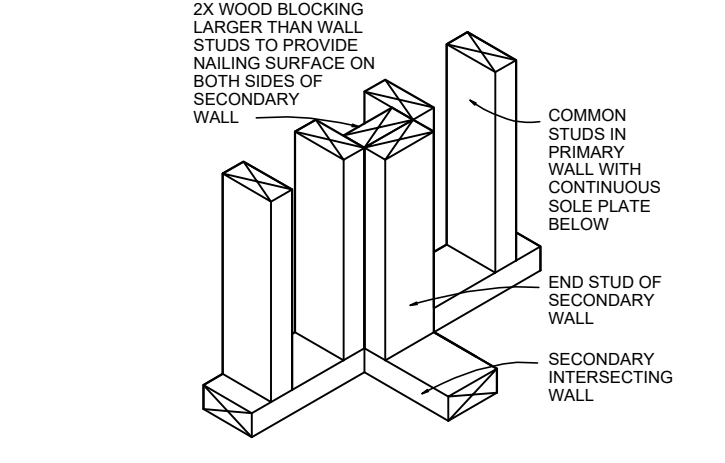
NOTE *: SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 5/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN 780 CMR 1229.4.4.



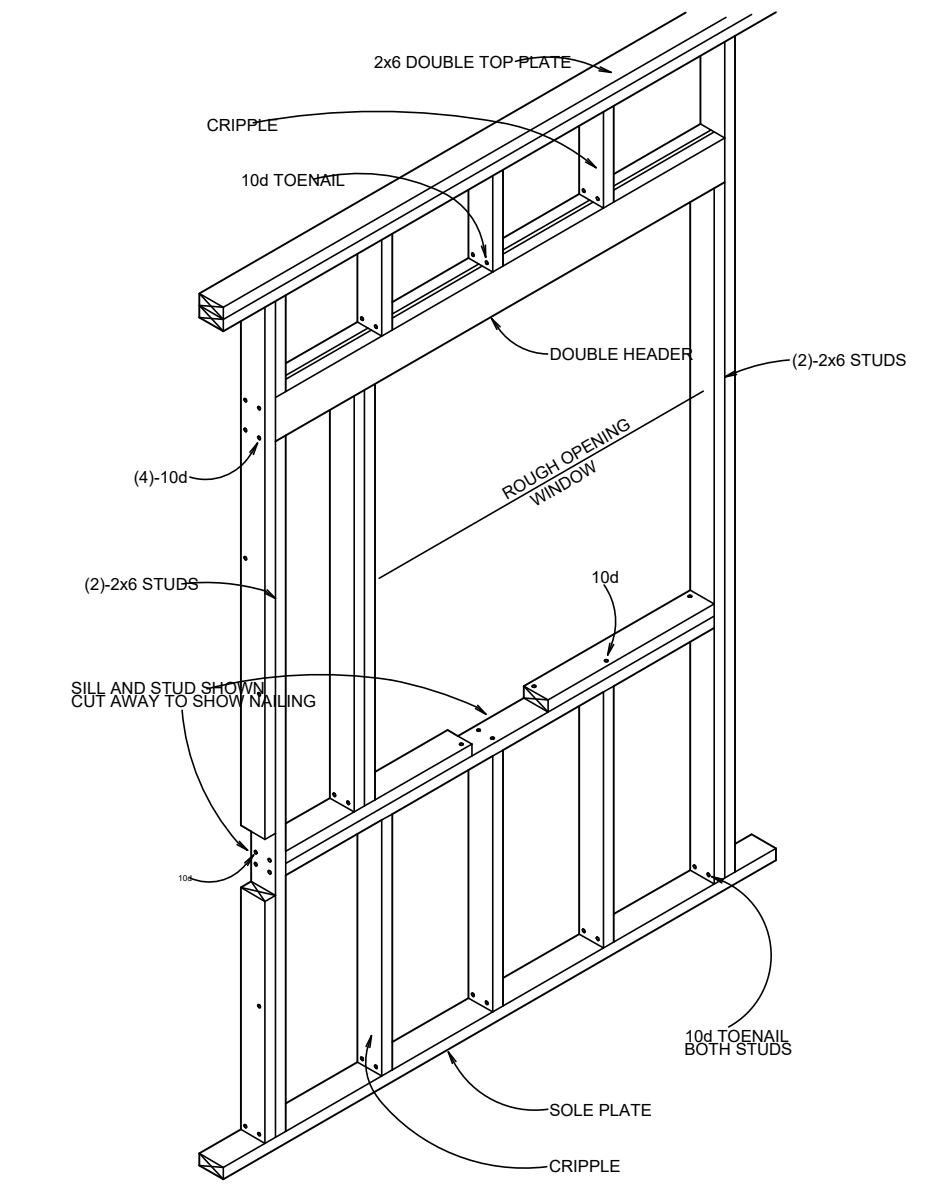
2X6 BEARING WALL HEADER DETAIL
N5



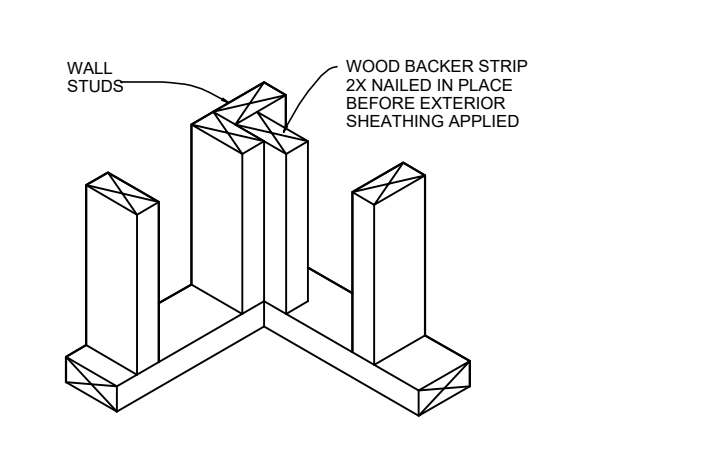
WOOD JOISTS SUPPORTED ON WOOD GIRDERS
N5



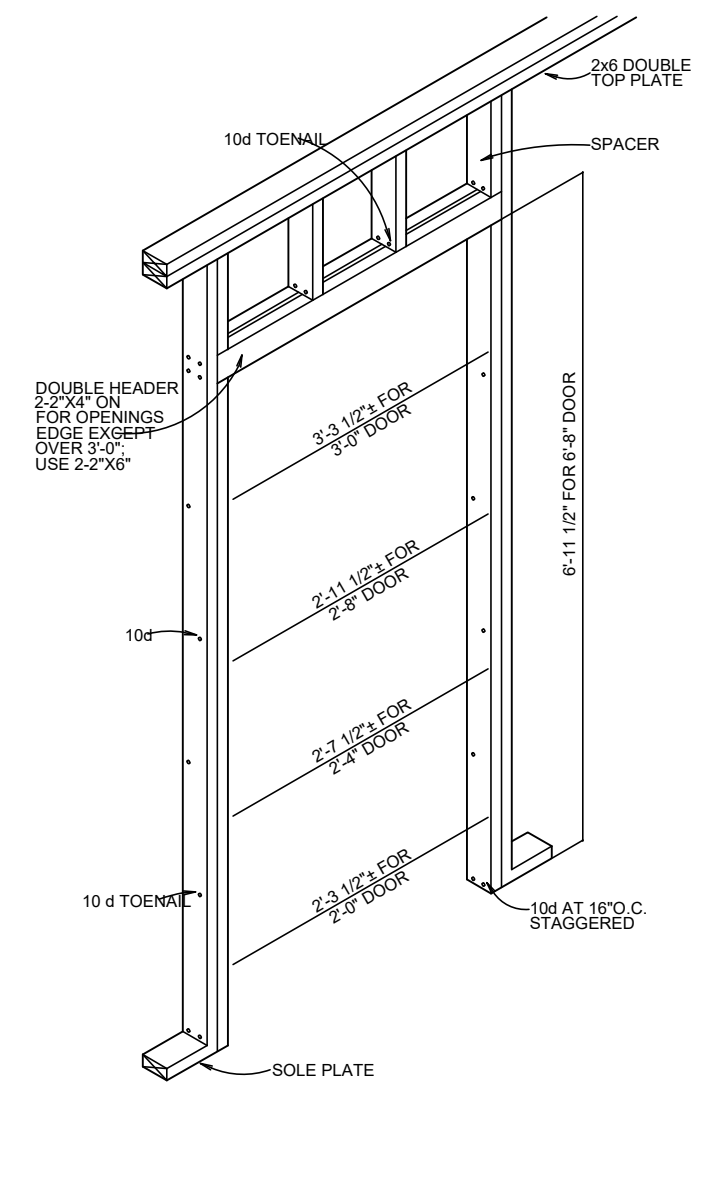
INSULATED WALL DETAILS
1"=1'-0"



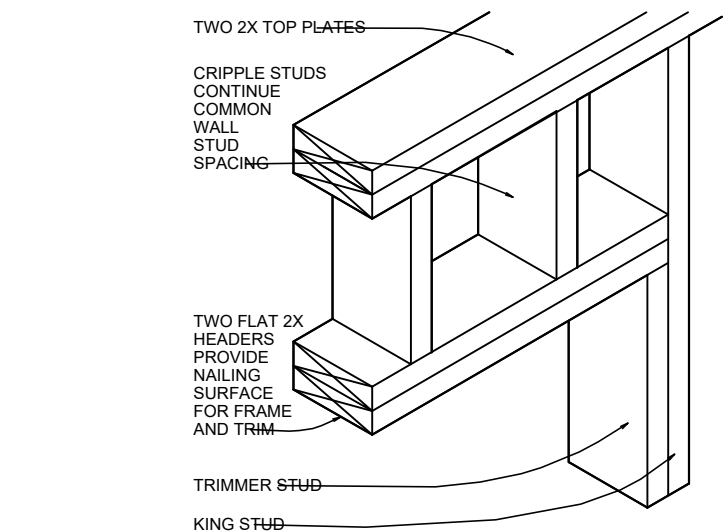
WINDOW OPENING DETAIL
1"=1'-0"



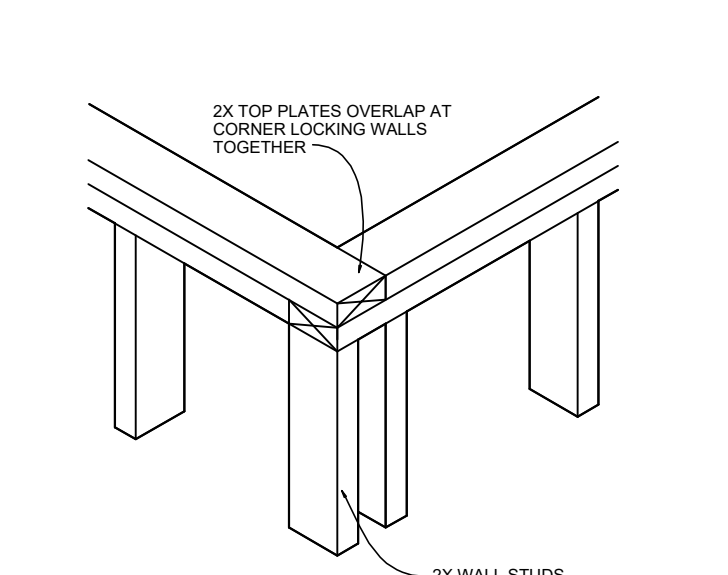
CORNER BLOCKING DETAIL
1"=1'-0"



DOOR OPENING DETAIL
1"=1'-0"



2X PARTITION WALL HEADER DETAIL
N5



TOP PLATE FRAMING DETAIL
N5

Location

PROPOSED ADDITION 57 BLUEHILL AVENUE ROXBURY, MASS

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2020113
 Scale: AS NOTED
 Date: 05-09-2022
 Drawn By: SL

Drawing Name

PROPOSED DETAILS

Sheet No.

A-3-2.1

- 42.00: **GROUP 1 BATHROOMS**
- 42.4 **DOORS**
- Shall be capable of complying with **521 CMR 26.5, Width** through **521 CMR 26.11, Door Hardware**.
- 42.4.1 Operation: Doors may swing into the *bathroom* if the swing of the door does not impede *clear floor space*. If the door impedes the *clear floor space*, the doors shall be capable of being adapted to swing out, fold or slide.
- 42.5 **WATER CLOSETS**
- Shall comply with the following:
- 42.5.1 *Clear Floor Space*: As defined in **521 CMR 42.2, Clear Floor Space**, shall be provided or shall be capable of being provided without *structural change* in at least one of two specific locations at the water closet. One shall be beside the water closet with its short edge parallel to the wall behind the water closet. The other shall be in front of the water closet with its long edge parallel to the wall behind the water closet.
- 42.5.2 Location:
- a. When a water closet is located between a wall and a fixture, its centerline shall be 18 inches (18" = 457mm) from the wall. If the *clear floor space* is provided in front of the water closet, the centerline of the water closet shall be a minimum of 15 inches (15" = 381mm) from the closest edge of the fixture. *See Fig. 42c.*
- b. When a water closet is located between two fixtures, its centerline shall be 18 inches (18" = 457mm) from a bathing fixture and a minimum of 15 inches (15" = 381mm) from other types of fixtures. *See Fig. 42c.* 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 179 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 180
- 42.00: **GROUP 1 BATHROOMS**
- 42.5.3 Wall reinforcement: Walls adjacent to and behind the water closet shall be capable of structurally supporting the future installation of grab bars from 32 to 38 inches (32" to 38" = 813mm to 965mm) above the floor. The back wall shall have reinforcement from the interior corner to a distance of six inches (6" = 152mm) beyond the widest part of the water closet. The side wall shall have reinforcement from the interior corner to a distance of six inches (6" = 152mm) beyond the front edge of the water closet, unless interrupted by a door or other fixture, then the reinforcement shall be installed as far as possible.
- When the water closet is located between two fixtures, the wall reinforcement behind the water closet shall extend at least six inches (6" = 152mm) beyond the widest part of the water closet.
- 42.6 **SINKS**
- At least one sink in a *bathroom* must meet the following:
- 42.6.1 Vanity Cabinets: If a cabinet is provided under a sink, it shall be capable of being removed without structural change.
- 42.6.2 Knee *Space* Width: The sink shall have or be capable of having a knee *space* of 30 inches (30" = 762mm) in width.
- 42.6.3 Knee *Space* Depth: The front edge of the sink fixture, or the countertop in which a sink is located, shall be a minimum of 19 inches (19" = 482mm) from the back wall or shall be capable of being relocated to create a *space* of that depth under the sink.
- 42.6.4 Height: The sink shall be capable of being relocated without structural change.
- 42.6.5 *Clear Floor Space*: Shall be provided at the sink, as defined in **521 CMR 42.2, Clear Floor Space** and shall be perpendicular to the face of the sink and may extend under the sink. *See Fig. 42d.* 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 181
- 42.00: **GROUP 1 BATHROOMS**
- 42.7 **BATHING FIXTURES**
- If more than one bathing fixture is provided in a *bathroom*, at least one must meet the requirements of 521 CMR 42.
- 42.7.1 Bathtubs shall comply with the following:
- a. Size: Bathtubs shall be at least a nominal 60 inches (60" = 1524mm) long.
- b. *Clear Floor Space*: At the bathtub, as defined in **521 CMR 42.2, Clear Floor Space** shall be parallel to the face of the tub.
- c. Wall Reinforcement: All tub walls shall be capable of structurally supporting the future installation of grab bars from six inches (6" = 152mm) above the tub rim to a height of 48 inches (48" = 1219mm) above the tub bottom and shall extend the length and width of the tub.
- d. Door Enclosure: Tracks for sliding doors or enclosures mounted on the rim of a bathtub must be capable of removal to provide a smooth tub rim for transfer.
- 42.7.2 Showers shall comply with the following:
- a. Size: Shower stalls shall be a minimum, nominal dimension of 36 inches by 36 inches (36" x 36" = 914mm x 914mm).
- b. Minimum *Clear Floor Space*: At the shower, as defined in **521 CMR 42.2, Clear Floor Space** shall be located parallel to and centered on the shower stall opening.
- c. Wall Reinforcement: All shower walls shall be capable of structurally supporting the future installation of grab bars, seats, etc., from a height of six inches (6" = 152mm) to 48 inches (48" = 1219mm) above the floor and shall extend the full width and length of the shower stall. Grab bars shall not be located behind the seat.
- d. Door: The opening of the shower stall must be 32 inches (32" = 813mm) wide. If a shower door is provided, it shall be capable of swinging open 180 degrees or capable of being removed.
- e. Seat: If a wall mounted seat is provided, it shall be located on a wall adjacent to the opening. The seat shall be mounted with the edge as close as possible to the door opening to allow a safe transfer.
- f. Hardware Location: Mixing valves shall be mounted on the wall opposite the seat. The centerline of the shower controls shall be located between 38 inches and 48 inches (38" to 48" = 965mm to 1219mm).
- g. Where curbs are provided, they shall not exceed four inches (4" = 102mm) in height.
- 42.7.3 Soap Tray shall not have a hand hold feature unless it can support 250 lbs for five minutes. Soap dispensers, holders, etc., shall be located within the *zone of reach* from the seat.
- 42.7.4 Prefabricated Units: In prefabricated showers and tubs, structural reinforcement for grab bars must be in full contact with the surface of walls of the unit on which grab bars may be mounted as described in **521 CMR 42.7.1 (c)** and **521 CMR 42.7.2 (c)**. 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 182
- 42.00: **GROUP 1 BATHROOMS**
- 42.8 **OUTLETS AND CONTROLS**
- Shall comply with **521 CMR 39.00: CONTROLS**.
- 42.9 **ALARMS**
- Shall comply with **521 CMR 40.00: ALARMS**.
- 521 CMR 43.00: **GROUP 1 KITCHENS**
- **43.1 GENERAL**
- In all *Group 1* Dwelling units, kitchens shall be designed so that when a unit is adapted a person in a wheelchair has access to the sink, cooking surface, refrigerator, and a food preparation surface and can turn around without having to leave the kitchen.
- **43.2 CLEAR FLOOR SPACE:**
- Shall be measured at the face of the base cabinets or appliances, (excluding cabinet hardware and appliance hardware) and shall be provided at the time of first occupancy as follows:
- 43.2.1 L-shaped kitchens shall have a minimum *clear floor space* of 48 inches (48" x 48" = 1219mm x 1219mm). *See Fig. 43a.*
- 43.2.2 U-shaped kitchens shall provide a minimum *clear floor space* of 48 inches (48" = 1219mm) between opposing base cabinets or appliances. *See Fig. 43b.*
- 43.2.3 Galley kitchens shall provide a minimum *clear floor space* of 40 inches (40" = 1016mm) between opposing base cabinets or appliances. *See Fig. 43c.* 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 183
- 43.00: **GROUP 1 KITCHENS**
- **43.3 SINKS**
- Shall comply with the following:
- 43.3.1 Sink Cabinet: The base cabinet under the sink shall be capable of being removed to provide a kneespace of 30 inches (30" = 762mm) in width.
- 43.3.2 Sink Depth: The sink bowl shall not exceed 6½ inches (6½" = 165mm) in depth. Where more than one bowl is provided, only one bowl must meet this requirement.
- **43.4 COOKING UNITS**
- Shall comply with the following to ensure that both burners and ovens can be made functional and safe for a person in a wheelchair.
- 43.4.1 In-Counter cooktops: If a cooktop is provided, its base cabinet shall be capable of being removed to provide future kneespace the width of the cooktop but not less than 30 inches (30" = 762mm) wide. Cooktops shall have controls located at the front or side of the unit.
- 43.4.2 Wall Ovens: If a wall oven is provided, the floor of the wall oven shall be located 30 inches (30" = 762mm) above the floor.
- **43.5 WALL CABINETS**
- Walls shall be capable of structurally supporting wall cabinets at any location from 42 inches to 54 inches (42" to 54" = 1067mm to 1372mm) from the floor to the bottom of the inside of the cabinet.
- **43.6 BASE CABINETS**
- Each base cabinet shall be capable of being removed to provide kneespace for persons using wheelchairs. 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 184
- 43.00: **GROUP 1 KITCHENS**
- **43.7 REFRIGERATORS**
- *Space* shall be provided so that the refrigerator can be located so that its doors can be opened to 180 degrees. If doors cannot be opened to 180 degrees, a minimum of 30 inches (30" = 762mm) of counter *space* next to the refrigerator shall be provided.
- 43.7.1 Where refrigerators are provided with less than nine cubic feet of capacity, **521 CMR 43.7, Refrigerators** shall not apply.
- **43.8 OUTLETS AND CONTROLS**
- Shall comply with **521 CMR 39.00: CONTROLS**.
- **43.9 ALARMS**
- Shall comply with **521 CMR 40.00: ALARMS**.
- 521 CMR 46.00: **GROUP 1 BEDROOMS**
- **46.1 BEDROOMS IN GROUP 1 UNITS**
- *Group 1* units shall provide or be capable of providing, wheelchair turning *space* as defined in **521 CMR 6.3, Wheelchair Turning Space**, *clear* of the door swing, at one side of the bed in the primary bedroom (based on a full size bed). Where more than one bedroom is provided, an additional bedroom shall also provide or be capable of providing wheelchair turning space (based on one twin size bed).
- **46.2 DOORS:**
- Doors to all bedrooms required to comply under **521 CMR 46.1**, shall comply with **521 CMR 26.00: DOORS AND DOORWAYS**.
- **46.3 CLOSETS**
- All closets in bedrooms required to be *accessible* shall comply with **521 CMR 9.5.8, Closets**.
- **46.4 ELECTRICAL OUTLETS AND CONTROLS**
- Shall comply with **521 CMR 39.00: CONTROLS**.
- **46.5 ALARMS**
- Shall comply with **521 CMR 40.00: ALARMS**.
- 9.5 **DWELLING UNIT INTERIORS**
- The interiors of all *Group 1* and *2 dwelling units*, except as exempted by **521 CMR 9.2.1**, shall comply with the following requirements: 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 46
- 9.00: **MULTIPLE DWELLINGS**
- 9.5.1 Doorways: All doorways and all openings that allow passage in a *Group 2* unit must comply with **521 CMR 26.2, Double Leaf Doorways**, through **521 CMR 26.11, Door Hardware**. All doorways and all openings that allow passage in *Group 1* units shall be capable of complying, without *structural change*, with **521 CMR 26.2, Double Leaf Doorways**, through **521 CMR 26.11, Door Hardware**. For door types such as bifold, pocket, and accordion doors, the clear opening is measured when the door is in its most fully open position. *See Fig. 26b and 26c.* For *Group 1 units*, only the common area and apartment entrance door hardware are required to comply with **521 CMR 26.11, Door Hardware**.
- 9.5.2 Every entry door to each *dwelling unit* shall have a means by which the resident can visually identify a visitor before opening the door. This may be achieved by any of the following means:
- a. In *Group 1 and 2A* units, a peephole mounted 60 inches (60" = 1524mm) above the floor, a vision panel in the door with its bottom edge no higher than 60 inches (60" = 1524mm) above the floor, or a sidelight with its bottom edge no higher than 60 inches (60" = 1524mm) above the floor, shall be provided.
- b. In *Group 2B* units, an additional peephole mounted at 42 inches (42" = 1067mm) above the floor; a vision panel in the door with its bottom edge no higher than 42 inches (42" = 1067mm) above the floor; or a sidelight with its bottom edge no higher than 42 inches (42" = 1067mm) above the floor. *See Fig. 9a.*
- 9.5.3 Buzzers/bells and intercoms: All buzzers/bells and intercom systems shall comply with **521 CMR 6.5, Forward Reach** or **521 CMR 6.6, Side Reach**. 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 47
- 9.00: **MULTIPLE DWELLINGS**
- 9.5.4 *Accessible routes*: An *accessible route* at least 36 inches (36" = 914mm) wide shall be provided to all rooms and spaces in the *dwelling unit* including exterior decks, patios, balconies, attached garages, and storage closets. An *accessible route* shall be provided to mechanical spaces, only if the resident is expected to service, adjust or maintain the equipment therein.
- a. Patios, Terraces, and Balconies: Where it is necessary to use a door threshold or a change in level between the interior and exterior, greater than ½ inch (½" = 13mm) to protect the integrity of the unit from water or snow damage, equivalent facilitation such as raised decking or a ramp shall be provided or capable of being provided.
- In *Group 2B Units*, the exterior deck, patio, balcony surfaces shall be either permanently installed at no more than ½ inch (½" = 13mm) below the floor level of the interior of the *dwelling unit* or a temporary raised surface, such as duckboards, that is no more than ½ inch (½" = 13mm) below the interior *floor level* shall be available upon request.
- 9.5.5 Laundry Facilities: If a washer or dryer is provided in a *Group 1* or *Group 2A* unit, it shall be front loading or capable of being replaced with a front loading appliance. If a washer or dryer is provided in a *Group 2B dwelling unit*, it shall be front loading. Operating controls for washers and dryers shall be located within the *zone of reach*. If residents are expected to operate shut-off valves for the washer, the shut-off valves shall be located within the *zone of reach*. For common area laundry facilities, *see 521 CMR 10.8, Laundry Facilities*.
- 9.5.6 Outlets: Electrical outlets, telephone outlets, cable TV jacks, and other wall outlets shall be located between 15 inches (15" = 381mm) and 48 inches (48" = 1219mm) above the floor, measured at the centerline of the lowest receptacle. All outlets shall be located no less than 18 inches (18" = 457mm) from interior corners. When outlets are located on walls above counters or other fixtures that are 22 inches (22" = 559mm) or greater in depth, they shall be no higher than 44 inches (44" = 1118mm). In *Group 1* and *2* units, at least one electrical outlet must be provided on the same wall as the telephone outlet and the door chime. Wherever exterior decks, patios, and balconies are provided, an exterior electrical outlet shall also be provided.
- In *Group 2B* units, all telephone outlets must have an electrical outlet located within 12 inches (12" = 305mm) for installation of a *TTY*.
- 9.5.7 Controls and alarms: In *Group 2A* and *2B* units, the operable portions of all controls and alarms, including but not limited to: intercoms, and heat and air controls, shall be located between 36 and 48 inches (36" to 48" = 914mm to 1219mm) above the floor, measured at the centerline of the operable portion in its highest position. Operable portions shall be located at least 24 inches (24" = 610mm) from interior corners. Controls and alarms in *Group 1* units may be located at other locations so long as sufficient wiring is provided to permit future location from 36 inches to 48 inches (36" to 48" = 914mm to 1219mm) above the floor. 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 48
- 9.00: **MULTIPLE DWELLINGS**
- 9.5.8 Closets/pantries and linen closets: Shall comply with the following:
- a. Closet shelves/poles: Closet walls shall be structurally capable of supporting the installation of shelves and poles which are relocatable from 42 inches to 72 inches (42" to 72" = 1067mm to 1829mm) to the top of shelf or pole whichever is higher.
- b. Closet depth: Where the interior depth of the closet exceeds 24 inches (24" = 610mm), the doorway must comply with **521 CMR 26.5, Width** so that a disabled person can enter the closet. The bottom track of the closet door must also be recessed with no more than ¼ of an inch (¼" = 6mm) change in finish material. For *Group 2 units*, when the interior depth of the closet is 24 inches (24" = 610mm) or less, it shall be open to the room to permit a person with a disability to reach all parts of the closet. *See Fig. 9b.* 521 CMR: ARCHITECTURAL ACCESS BOARD 1/27/06 521 CMR - 49
- 9.00: **MULTIPLE DWELLINGS**
- 9.6 **TOWNHOUSES - GROUP 1 UNITS ONLY: RESERVED until further notice. In the interim, they are exempt.**
- 9.7 **SLEEPING ACCOMMODATIONS FOR PERSONS WHO ARE DEAF OR HARD OF HEARING.**
- In addition to those units required to be *accessible* by **521 CMR 9.4, Group 2 Dwelling Units**, 2% of the total number of *dwelling units* in the complex or project, but not less than one shall comply with the following:
- 9.7.1 *Sleeping accommodations* for persons who are deaf or hard of hearing required by **521 CMR 9.7** shall comply with the following requirements for smoke/fire/safety alarms, visual signal devices, telephones, televisions, alarm clocks and climate controls.
- 9.7.2 Auxiliary Visual Alarms: *Sleeping accommodations* shall be equipped with auxiliary visual alarms which comply with 521 CMR 40.4:
- a. a visual alarm connected to the *building* emergency alarm system; or
- b. a standard 110-volt electrical receptacle into which such an alarm can be connected and a means by which a signal from the *building* emergency alarm system can trigger such an auxiliary alarm. Such receptacle shall be connected to the emergency or standby power, (if provided in the *building*).
- The visual alarm signal shall be visible in all areas of the unit or room. Instructions for use of the auxiliary alarm or receptacle shall be provided.
- 9.7.3 Visual Notification Devices shall be provided in *sleeping accommodations* to alert room occupants of incoming telephone calls and a door knock or doorbell. Visual notification devices shall not be connected to auxiliary visual alarm signal appliances.
- 9.7.4 Equivalent Facilitation: For rooms required under **521 CMR 9.7**, the operator of a *facility* may either permanently install the equipment required under **521 CMR 9.7** or may elect to install electrical outlets (including outlets connected to a *facility's* central alarm system) and telephone wiring in sleeping rooms and suites to enable persons with hearing impairments to utilize portable visual alarms and communication devices. For purposes of equivalent facilitation, such devices shall be provided by the operator of the *facility* during the tenancy of a person with a hearing impairment.

Location

**PROPOSED
ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS**



No.	Revision Date

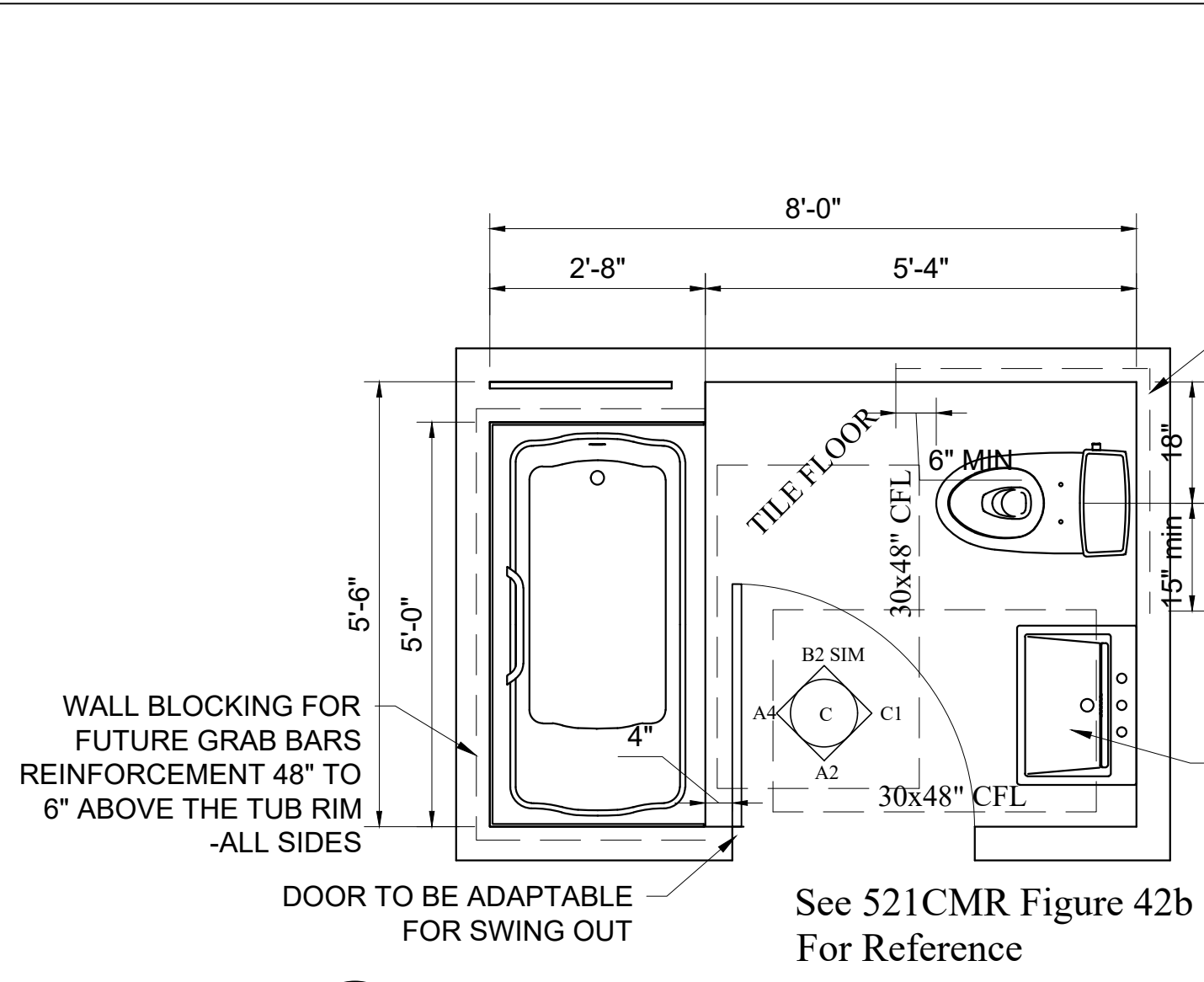
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 Date: 05-09-2022
 Drawn By: SL

Drawing Name

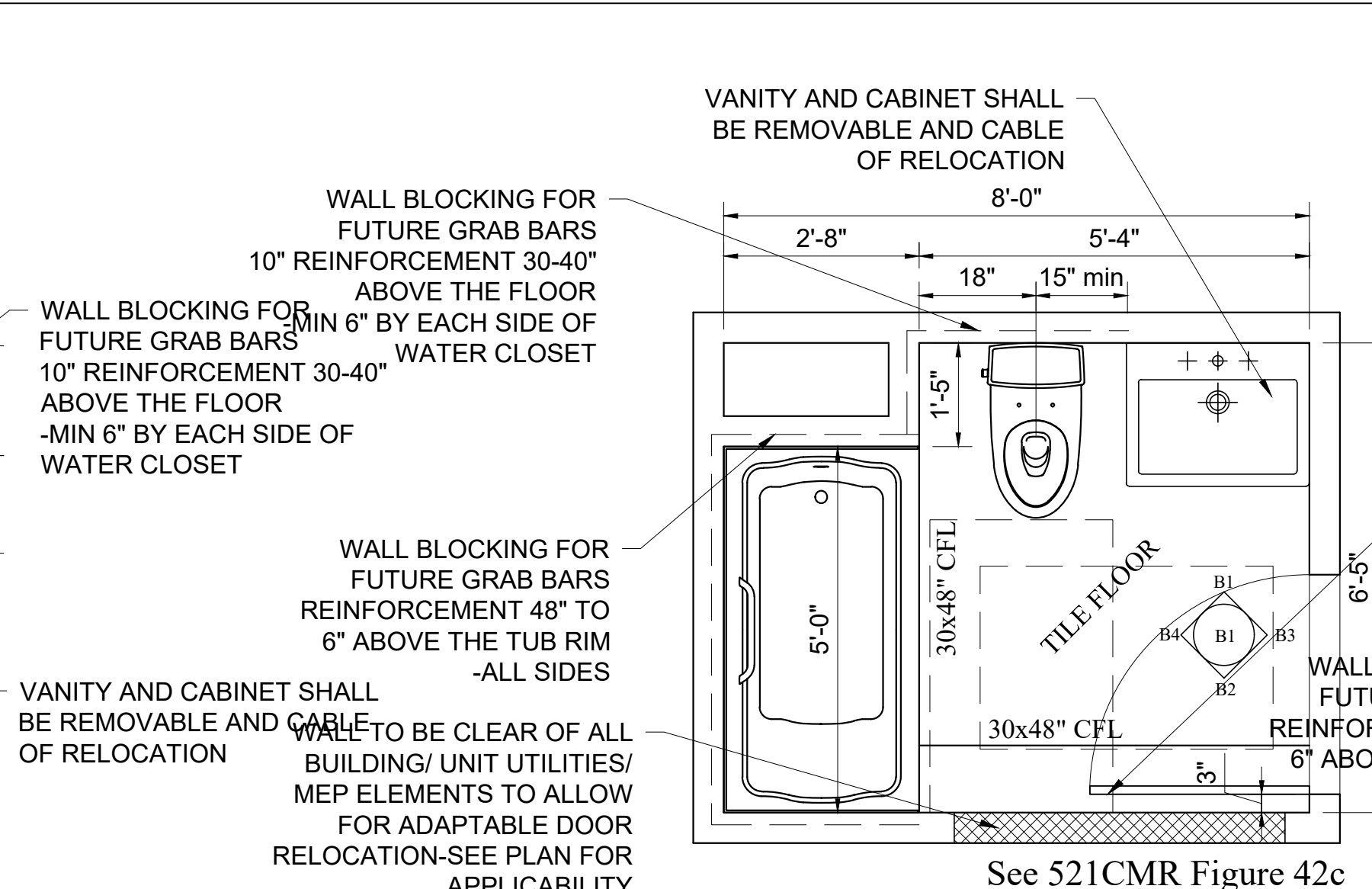
**PROPOSED
DETAILS**

Sheet No.

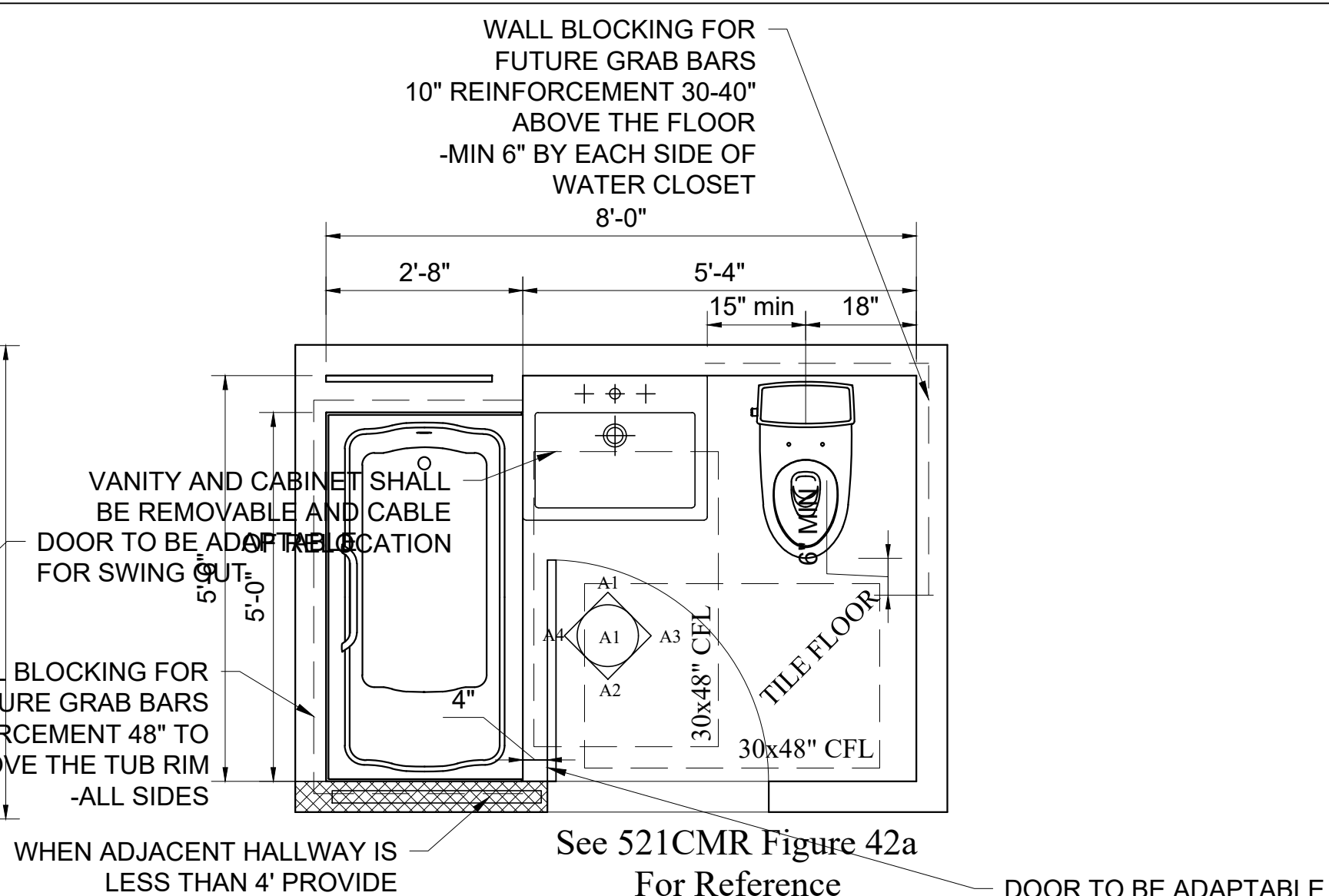
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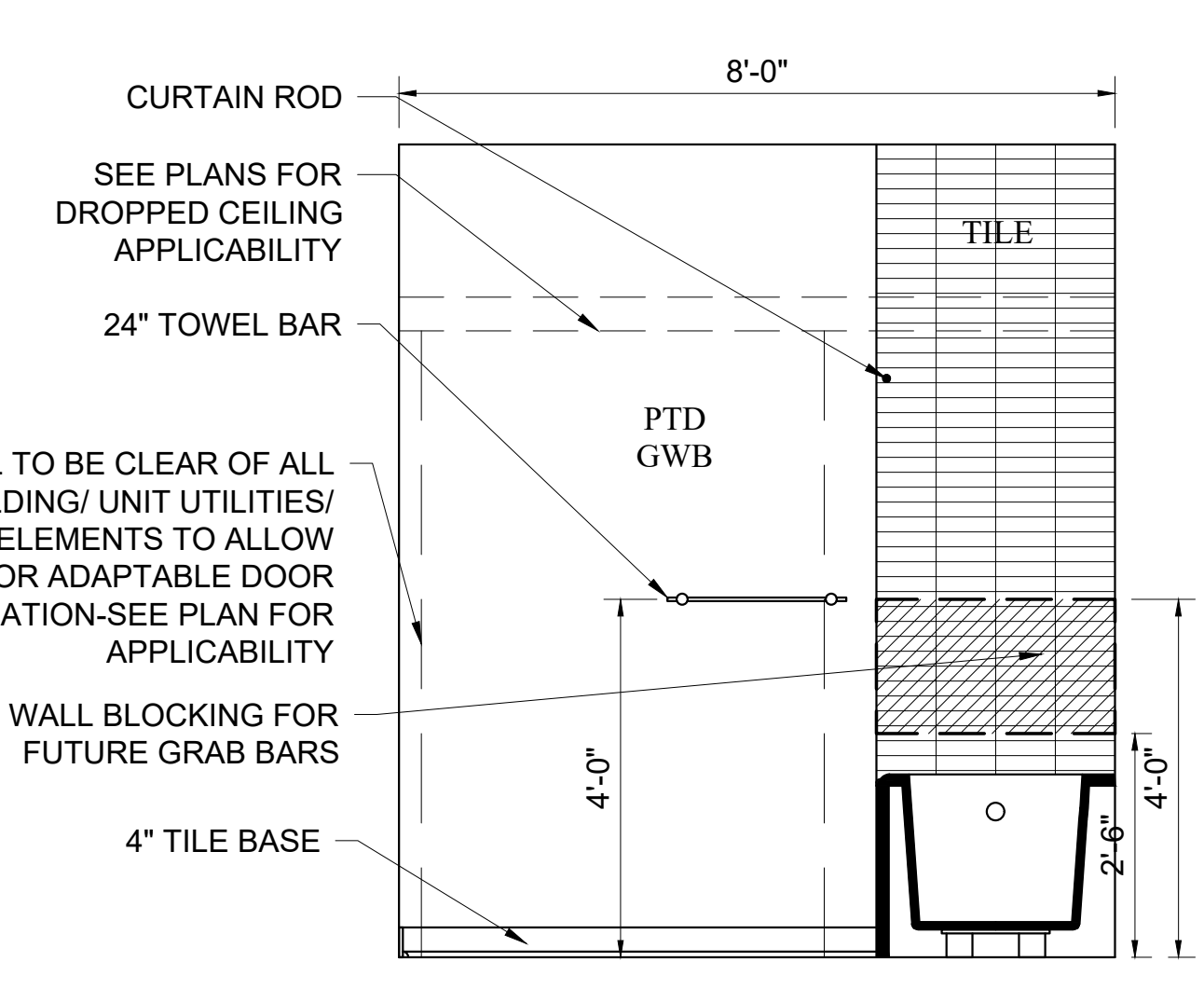
C BATHROOM TYPE C-AAB TYPE 1 ADAPTABLE
1/2" = 1'-0"



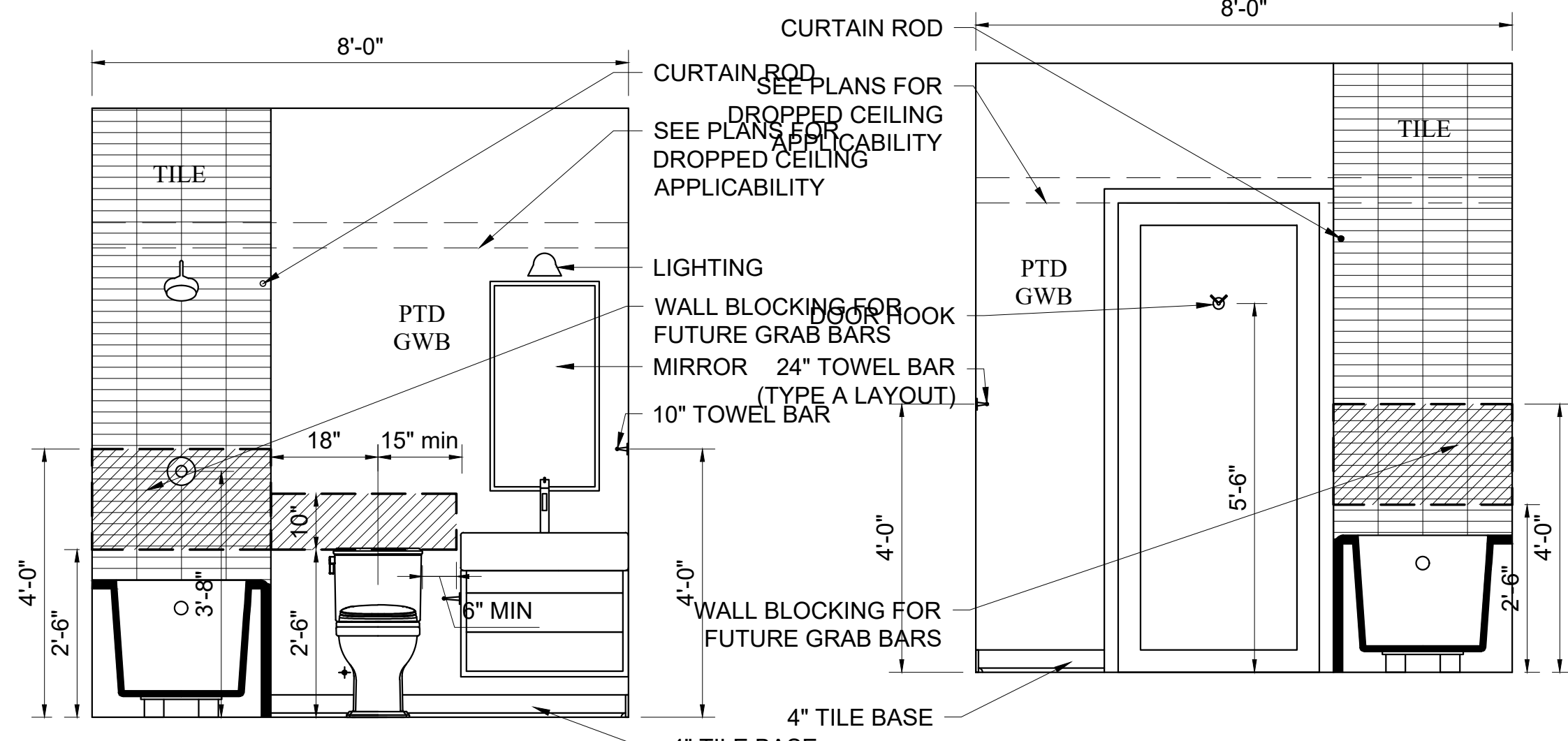
B BATHROOM TYPE B-AAB TYPE 1 ADAPTABLE
1/2" = 1'-0"



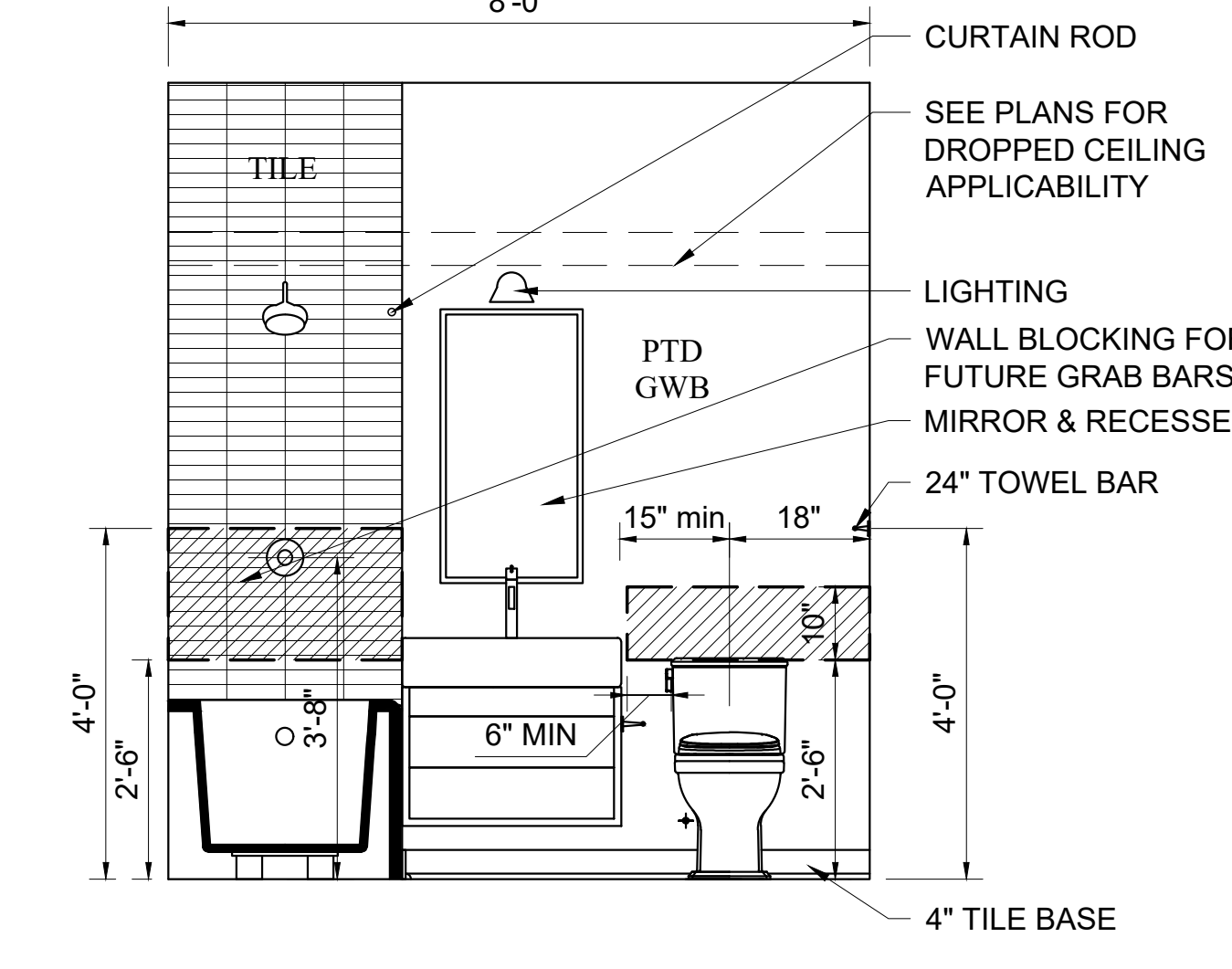
A BATHROOM TYPE A-AAB TYPE 1 ADAPTABLE
1/2" = 1'-0"



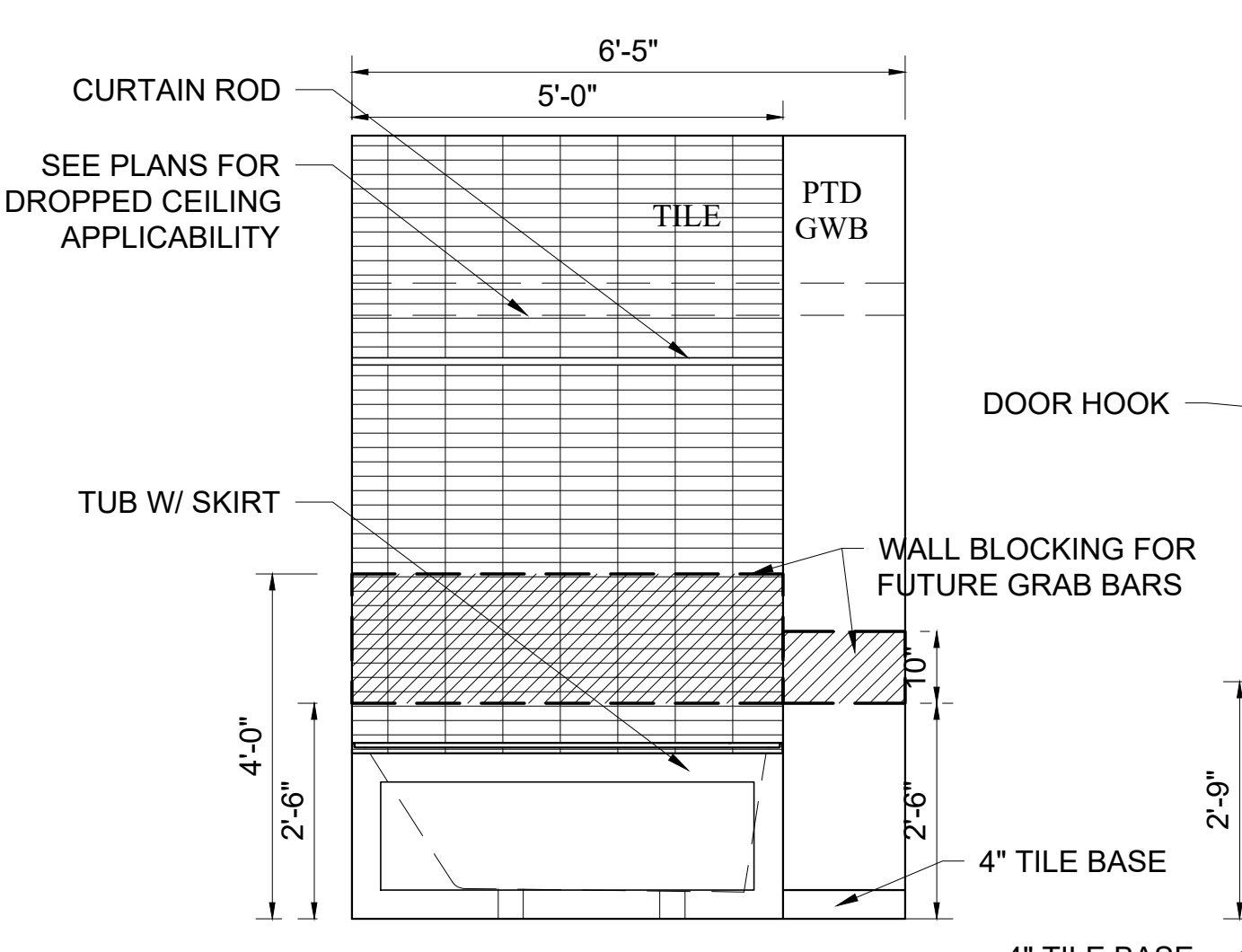
B2 BATHROOM TYPE B ELEVATION 2
1/2" = 1'-0"



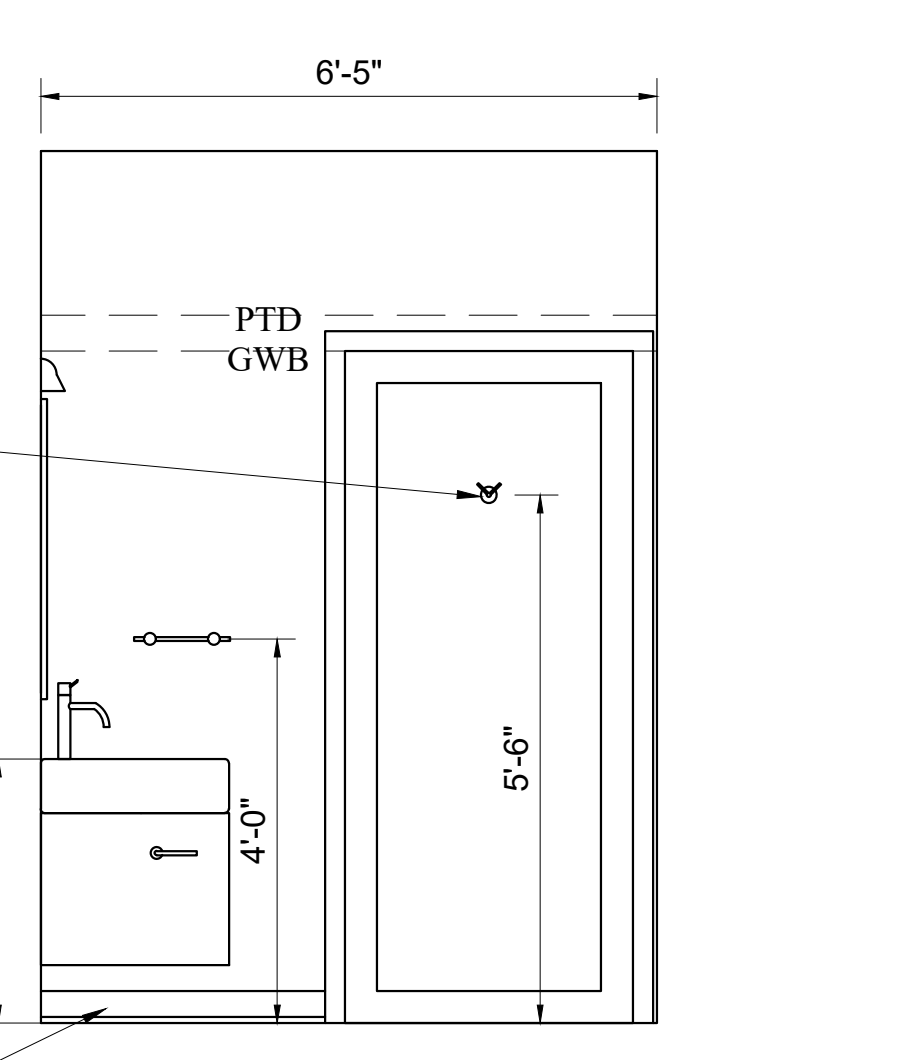
B1 BATHROOM TYPE B ELEVATION 1
1/2" = 1'-0"



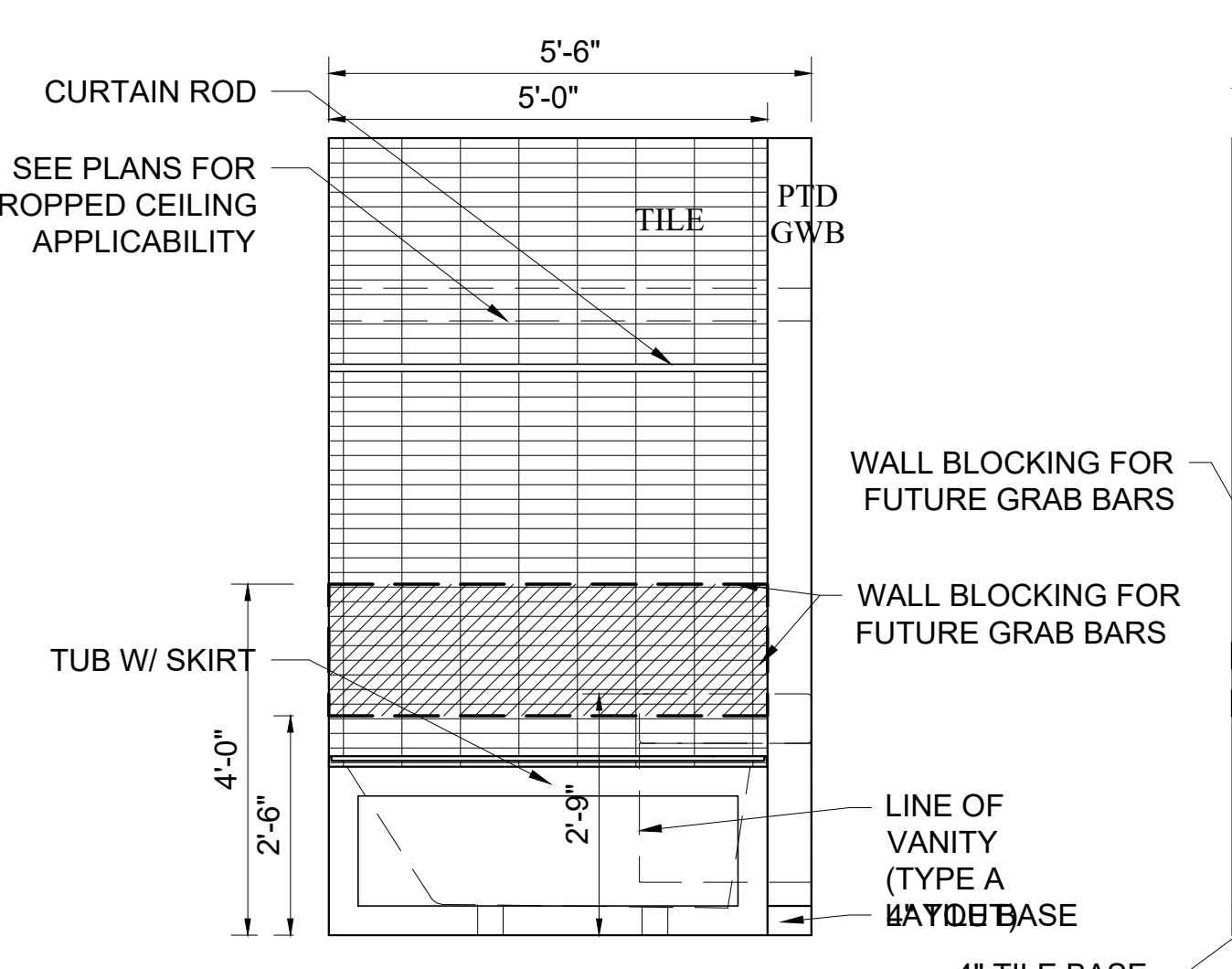
A1 BATHROOM TYPE A ELEVATION 1
1/2" = 1'-0"



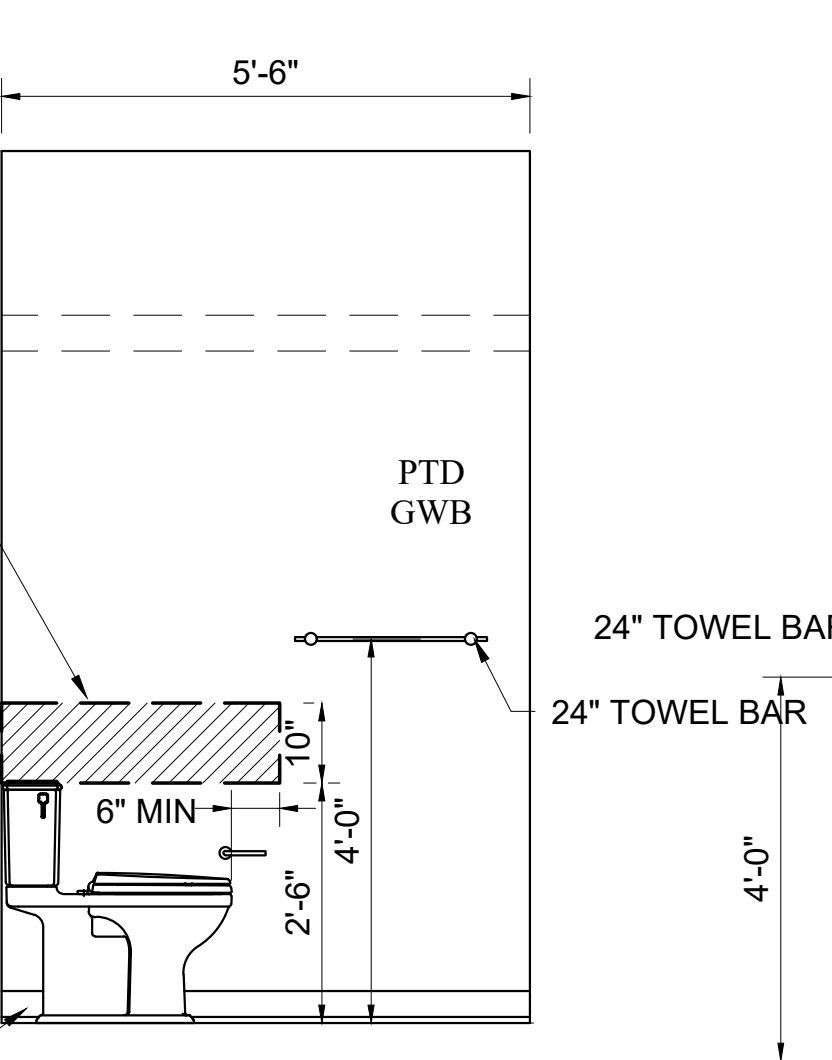
B4 BATHROOM TYPE B ELEVATION 4
1/2" = 1'-0"



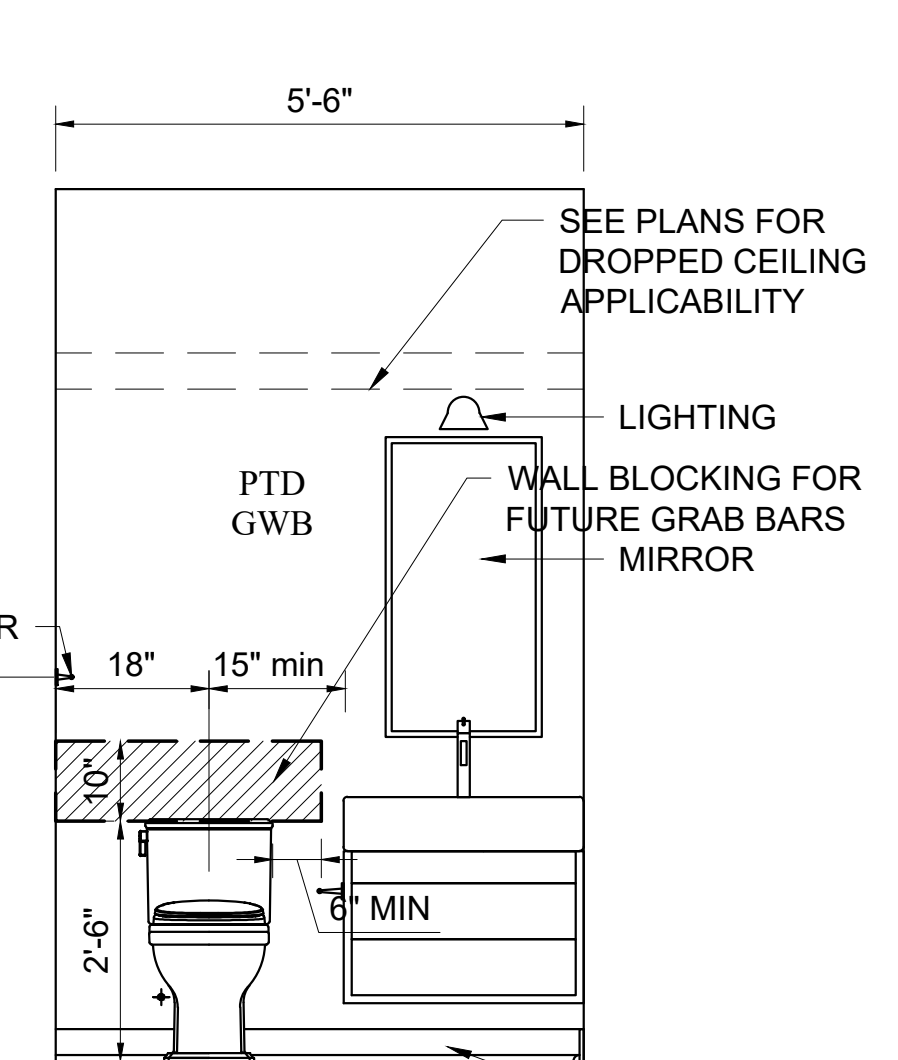
B3 BATHROOM TYPE B ELEVATION 3
1/2" = 1'-0"



A4 BATHROOM TYPE A ELEVATION 4
1/2" = 1'-0"



A3 BATHROOM TYPE A ELEVATION 3
1/2" = 1'-0"



C1 BATHROOM TYPE C ELEVATION 1
1/2" = 1'-0"

Location

PROPOSED ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

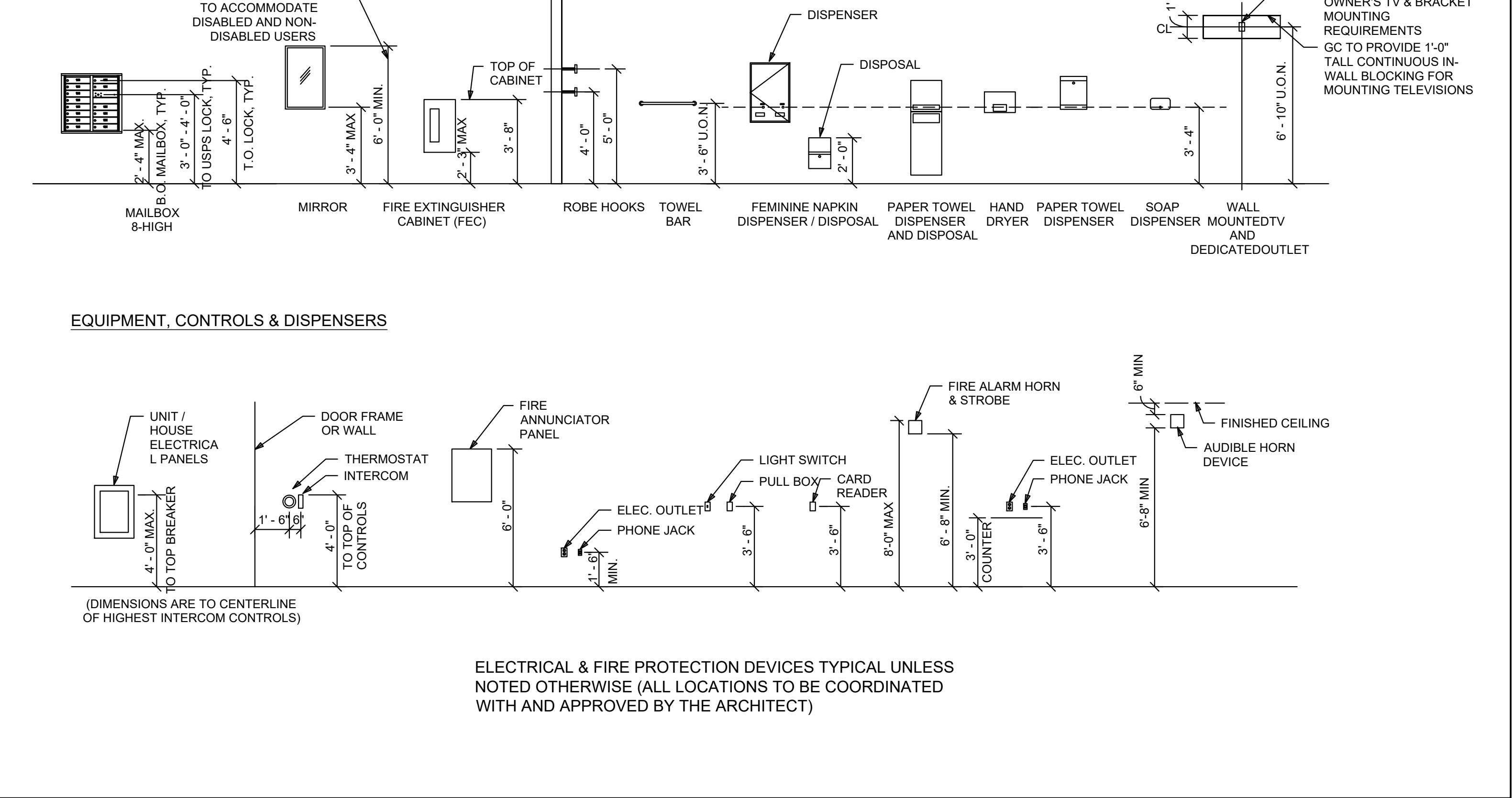
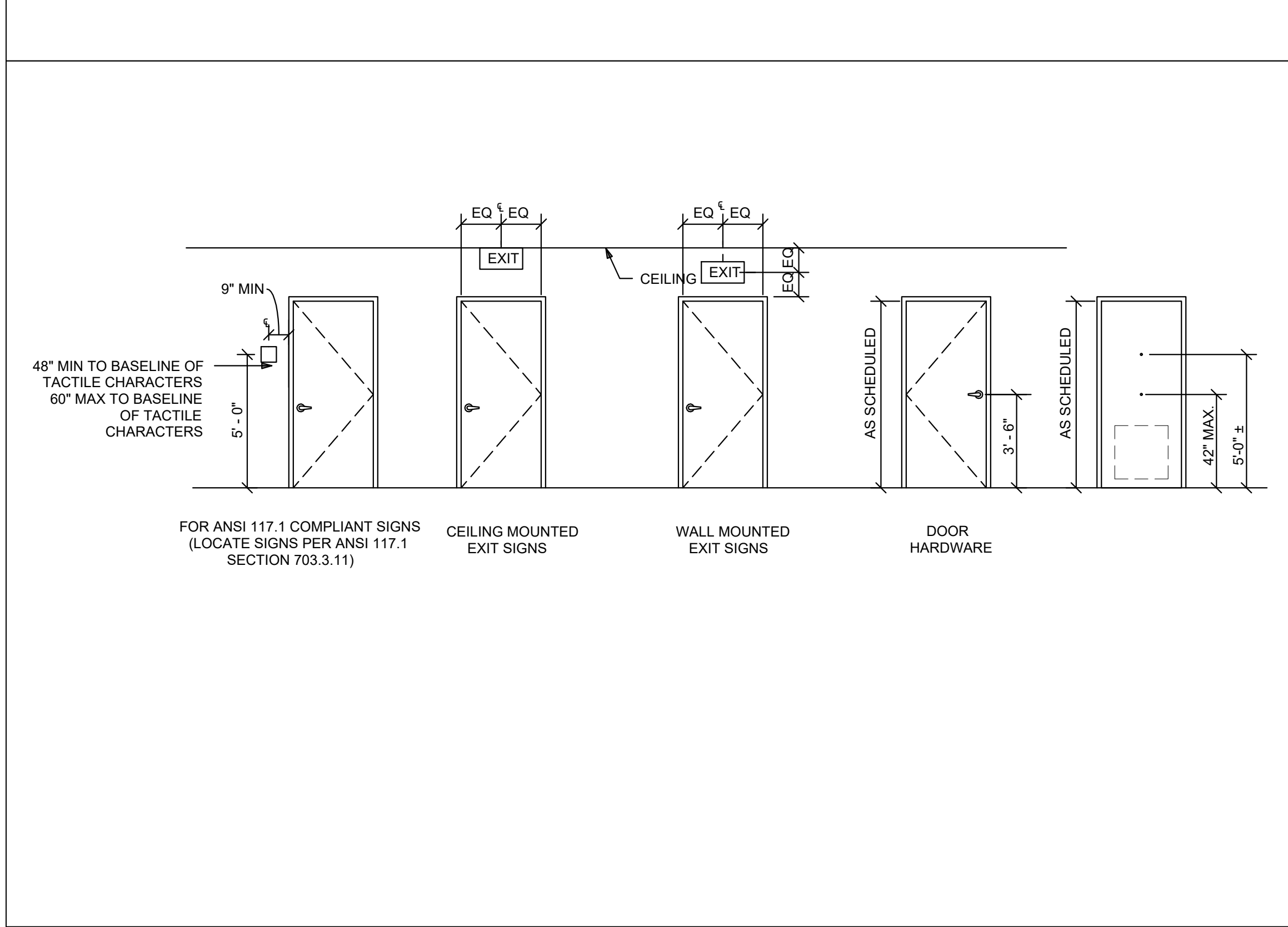
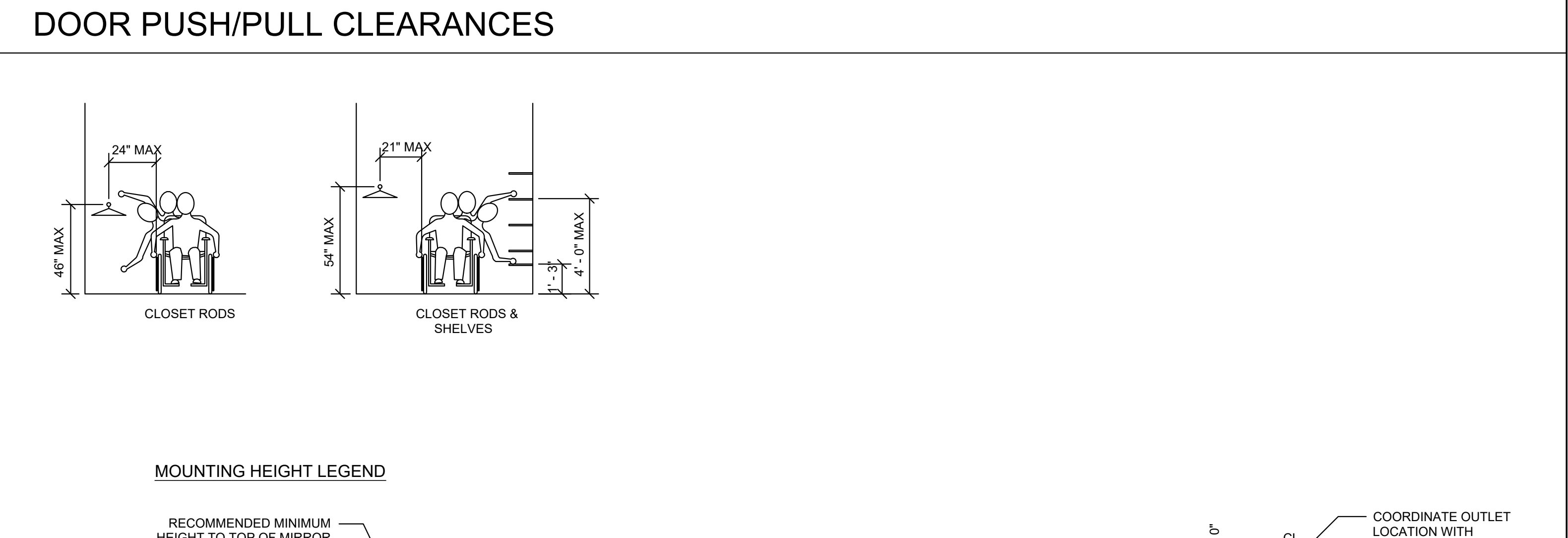
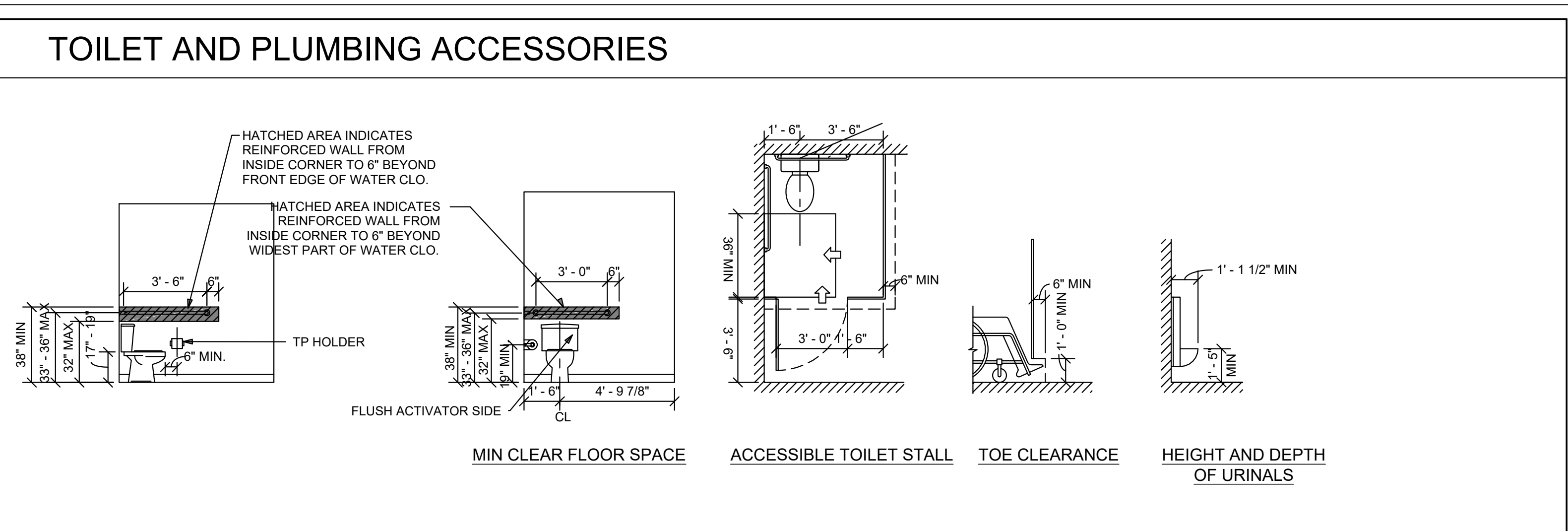
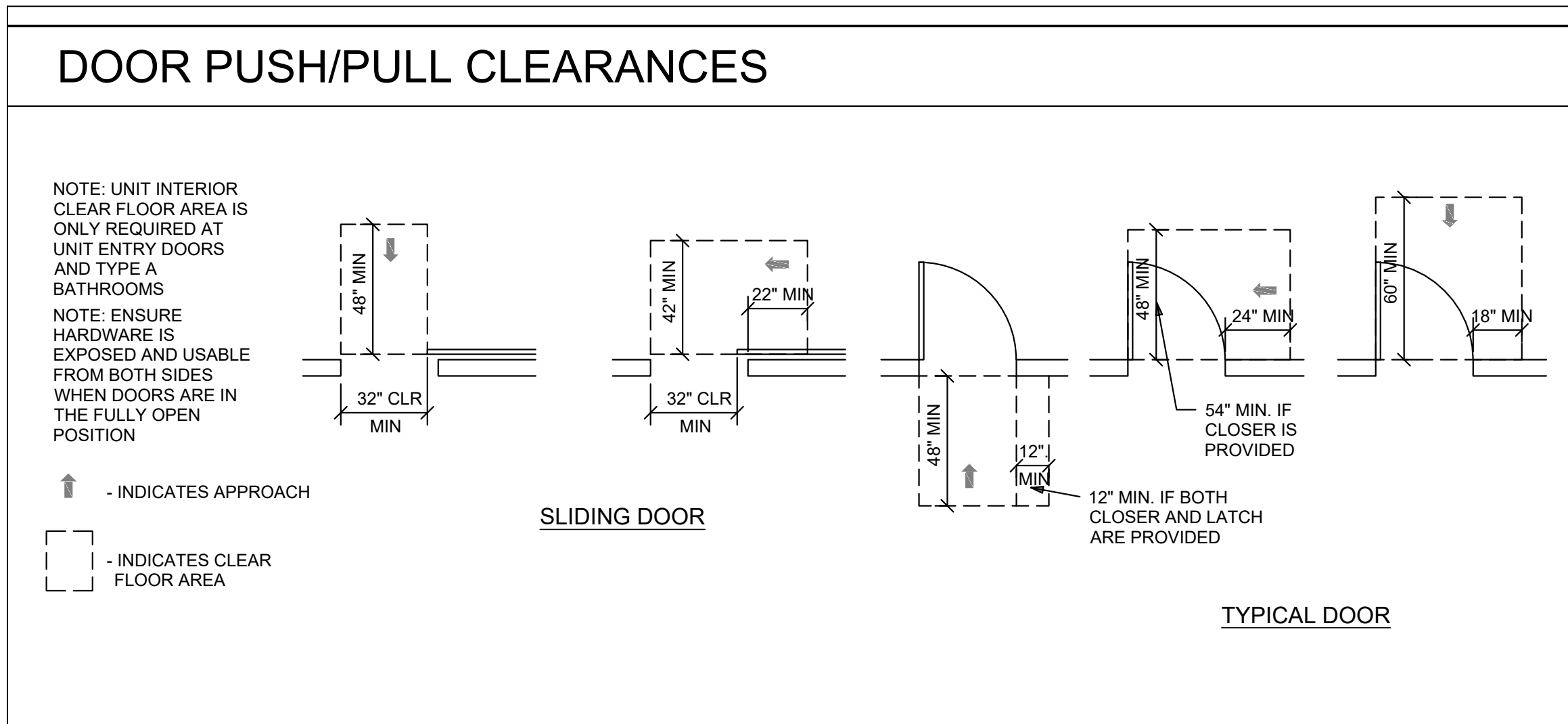
REGISTERED ARCHITECT
ARTHUR K.F. CHOO
No. 9319
BOSTON MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

Project No: 2020113
Scale: AS NOTED
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Drawing Name
PROPOSED DETAILS

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A-3-3.2



ELECTRICAL & FIRE PROTECTION DEVICES TYPICAL UNLESS NOTED OTHERWISE (ALL LOCATIONS TO BE COORDINATED WITH AND APPROVED BY THE ARCHITECT)

Location

PROPOSED ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
 ARTHUR K.F. CHOO
 No. 8319
 BOSTON MA
 COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

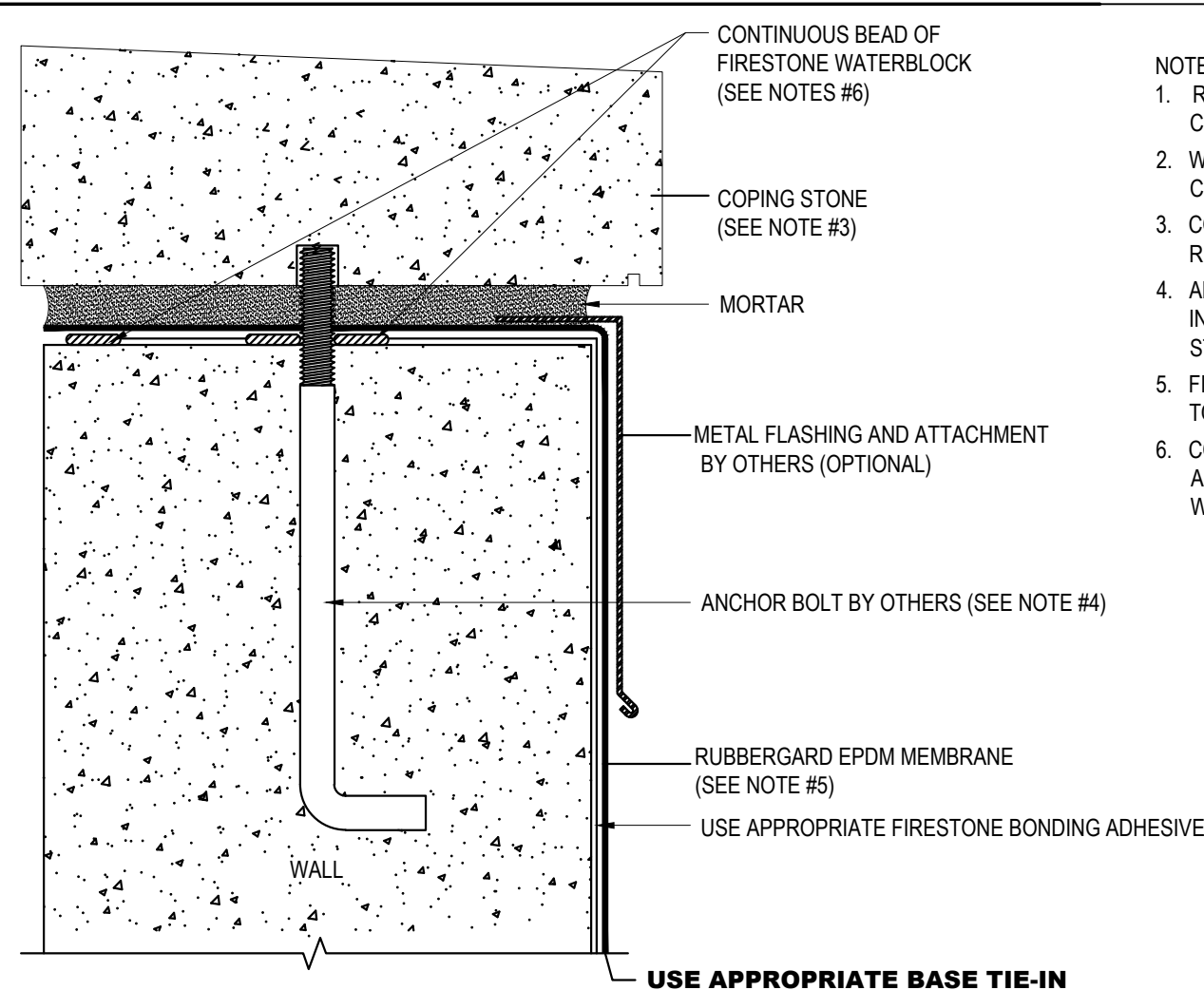
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Drawing Name

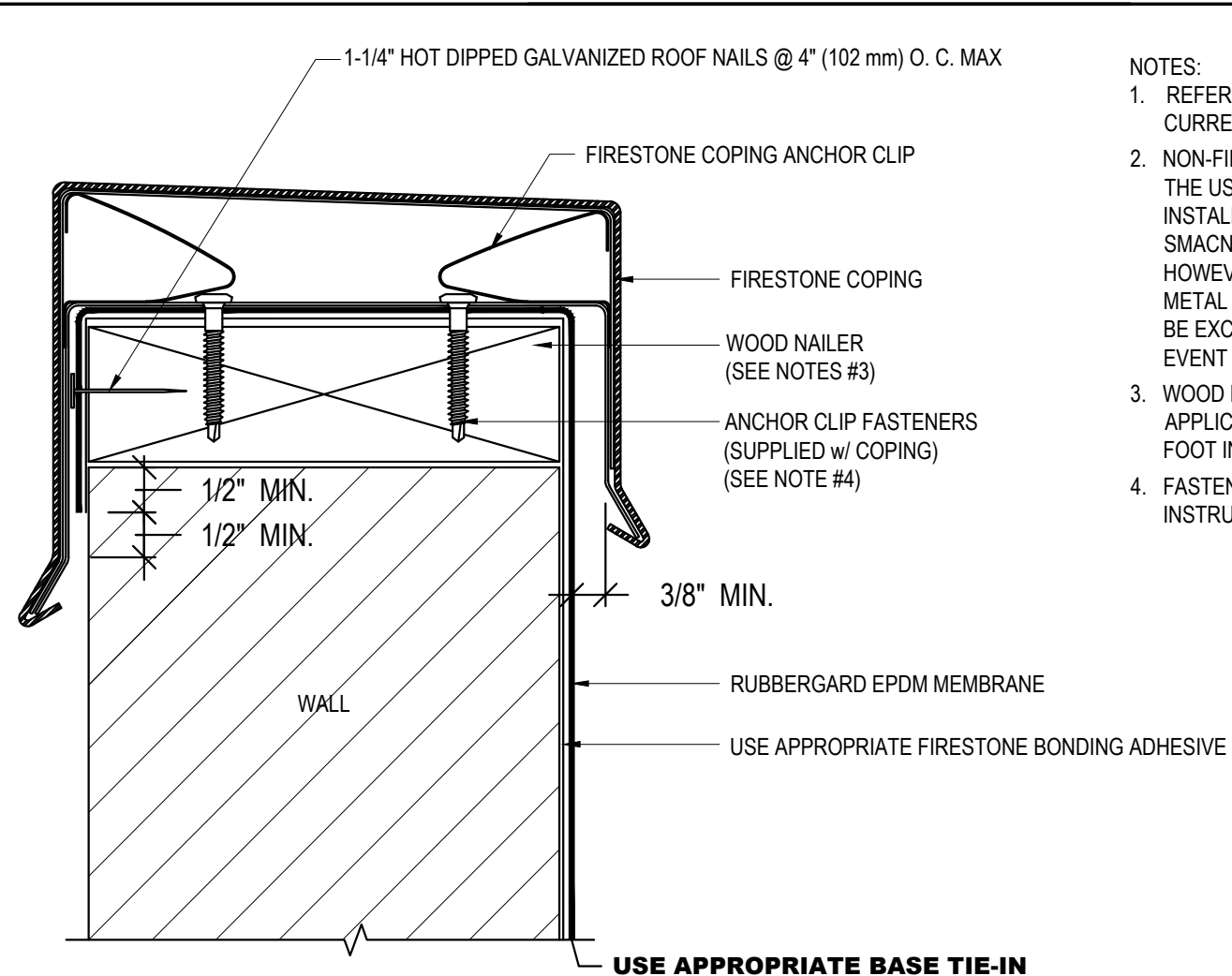
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Sheet No.

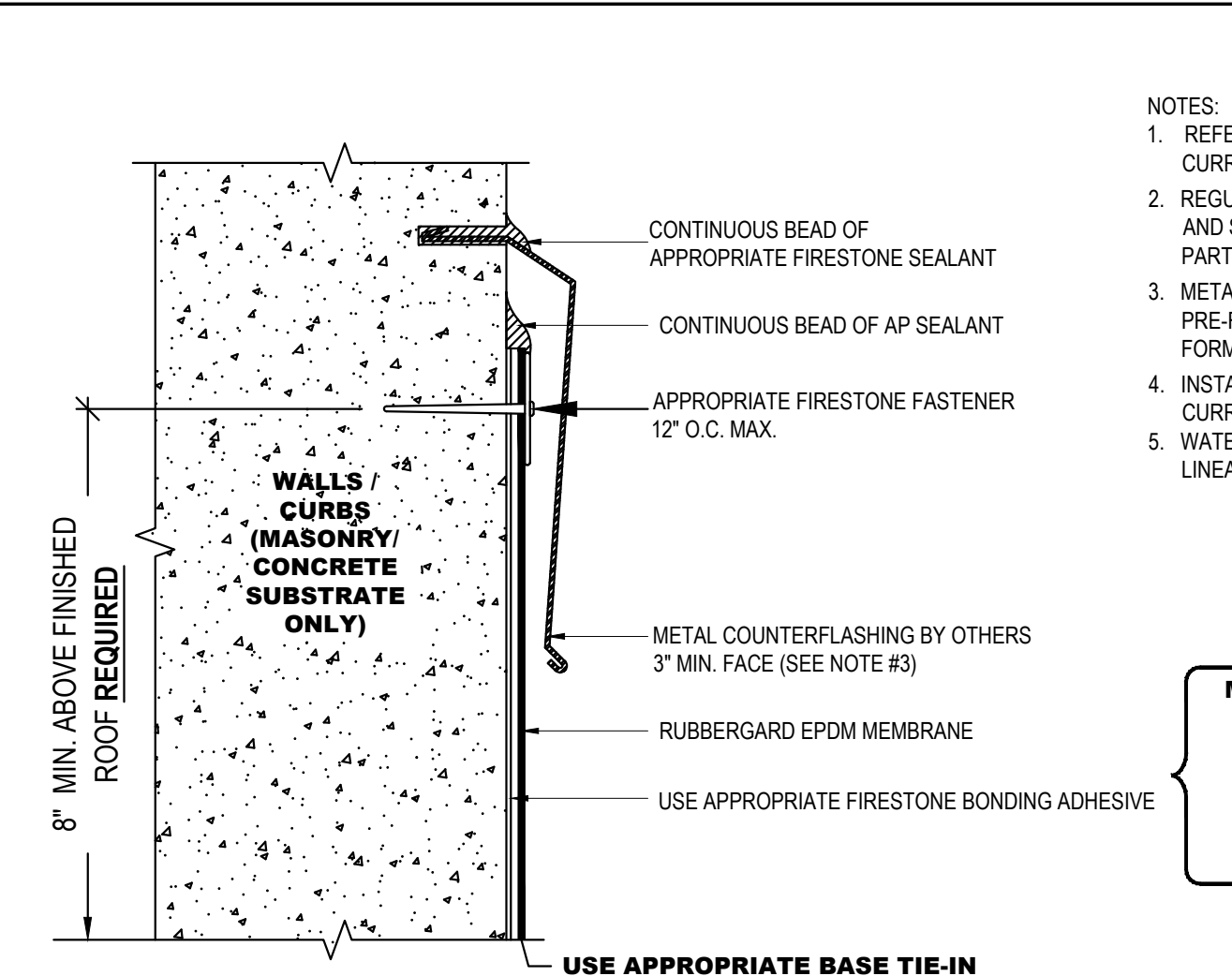
A-3-3.3



- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
 2. WATERTIGHT INTEGRITY OF THE WALL AND COPING MUST BE MAINTAINED BY OTHERS.
 3. COPING STONE ATTACHMENT IS THE RESPONSIBILITY OF THE SPECIFIED CONTRACTOR.
 4. ANCHOR BOLT SECUREMENT LUG MUST BE INSTALLED IN ACCORDANCE WITH MASONRY STANDARDS AND LOCAL BUILDING CODES.
 5. FIRESTONE EPDM MEMBRANE EXTENDING TO FACE OF WALL.
 6. CONTINUOUS BEAD OF FIRESTONE WATERBLOCK ALONG ENTIRE EDGE OF EPDM AND WALL. WATERBLOCK ALSO APPLIED AROUND ANCHOR.



- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
 2. NON-FIRESTONE METAL COPING IS ACCEPTABLE FOR THE USE IN THIS DETAIL PROVIDED FABRICATION AND INSTALLATION IS IN ACCORDANCE WITH CURRENT SMACNA RECOMMENDATIONS. HOWEVER, WATERTIGHT INTEGRITY OF WALL AND METAL COPING SHALL BE ENSURED BY OTHERS AND BE EXCLUDED FROM WARRANTY COVERAGE IN THE EVENT NON-FIRESTONE COPING IS UTILIZED.
 3. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT IN ANY GIVING DIRECTION.
 4. FASTEN COPING CLEAR AS PER SUPPLIED INSTRUCTIONS.



- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
 2. REGULAR MAINTENANCE OF COUNTERFLASHING AND SEALANT REQUIRED. NOT INCLUDED AS PART OF THE FIRESTONE WARRANTY.
 3. METAL COUNTERFLASHING SHALL BE 24 GAUGE PRE-FINISHED STEEL OR .032\"/>

MASONRY AND CONCRETE WALLS / CURBS MUST BE WATERPROOFED AND MAINTAINED IN ORDER FOR ANY SURFACE MOUNTED TERMINATION TO BE EFFECTIVE.

1 COPING STONE TERMINATION

SCALE: 6"=1'-0"

FIRESTONE BUILDING PRODUCTS

2 CAP FLASHING TERMINATION

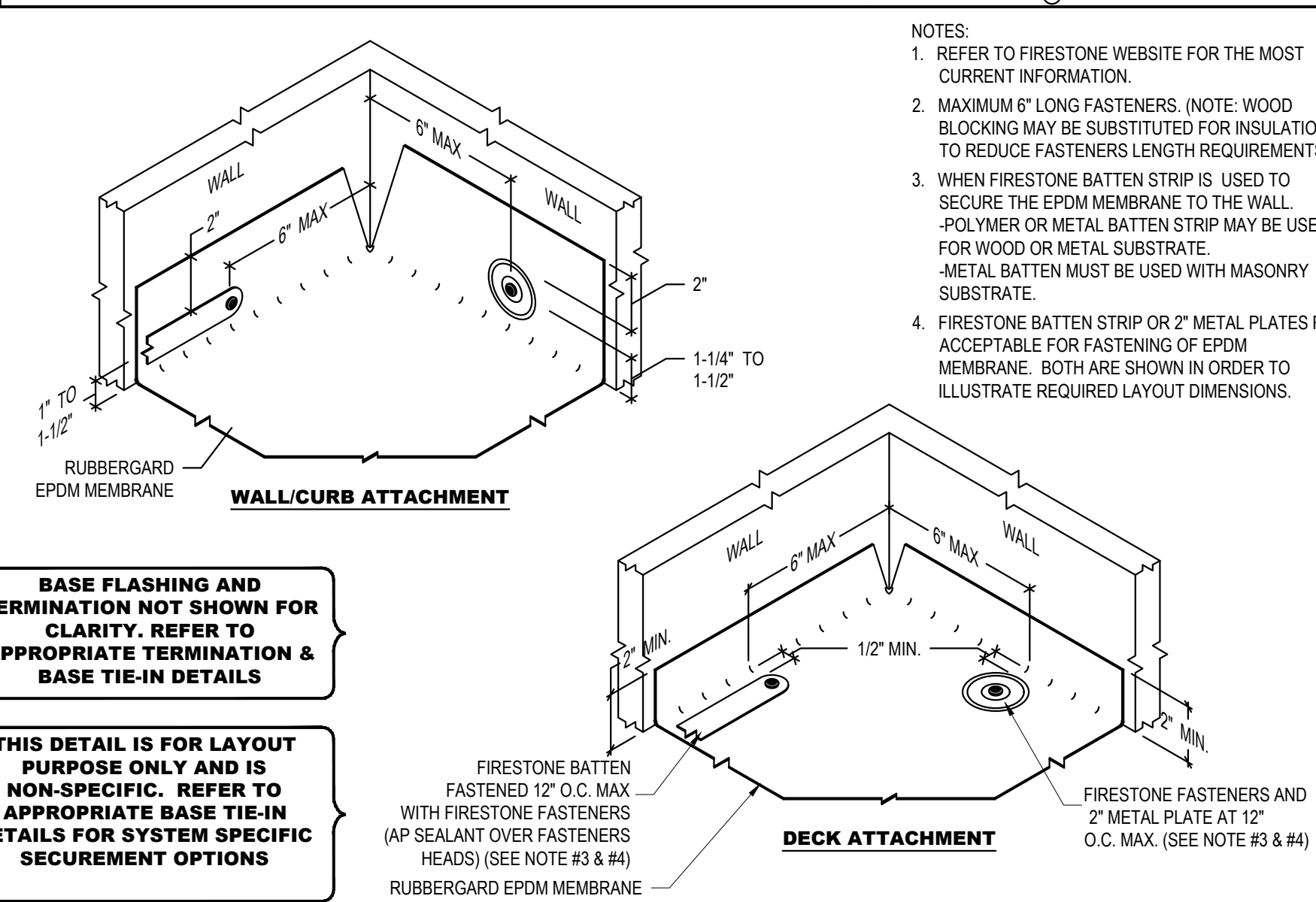
SCALE: 6"=1'-0"

FIRESTONE BUILDING PRODUCTS

3 COUNTER FLASHING TERMINATION

SCALE: 6"=1'-0"

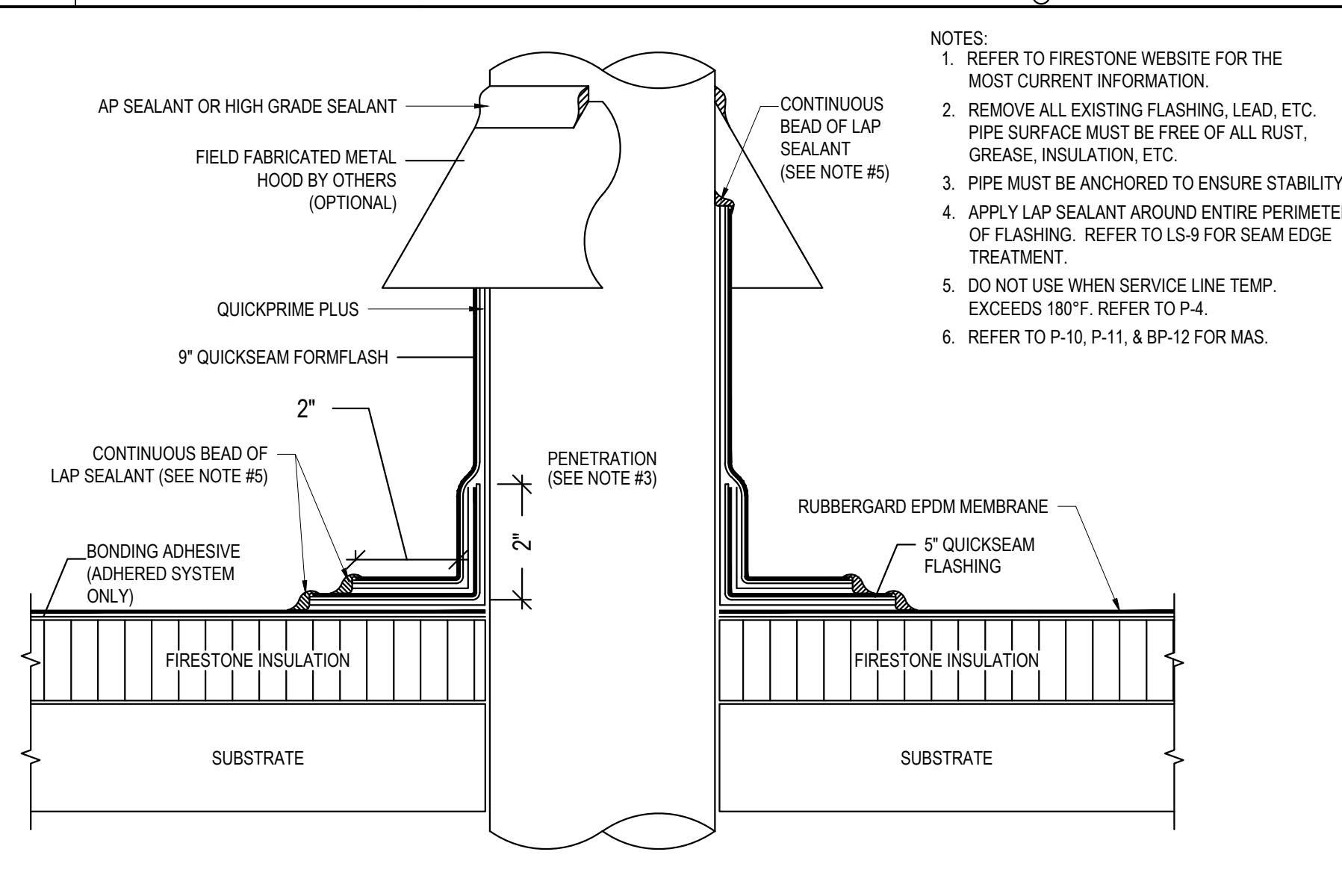
FIRESTONE BUILDING PRODUCTS



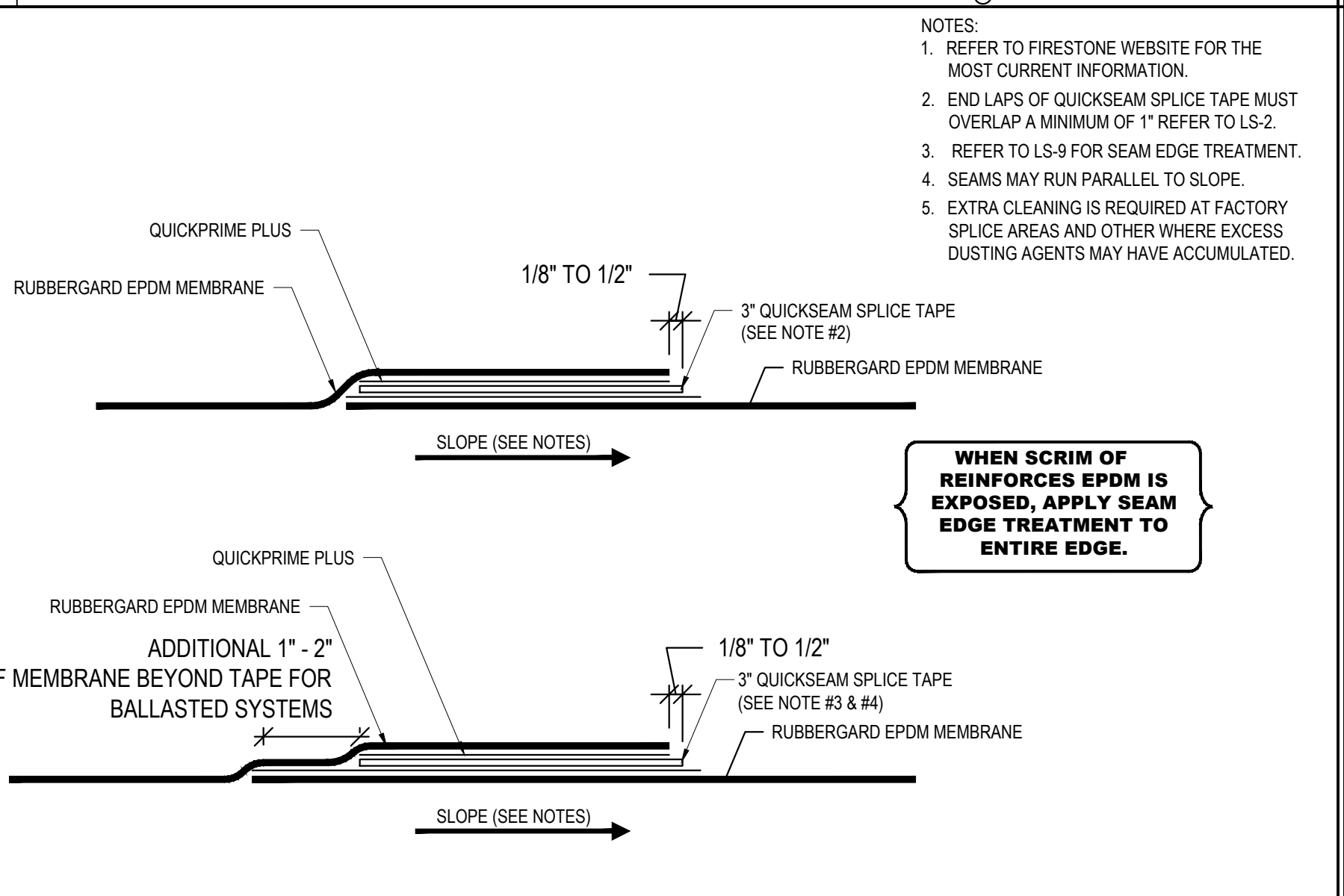
- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. MAXIMUM 6\"/>

BASE FLASHING AND TERMINATION NOT SHOWN FOR CLARITY. REFER TO APPROPRIATE TERMINATION & BASE TIE-IN DETAILS

THIS DETAIL IS FOR LAYOUT PURPOSE ONLY AND IS NON-SPECIFIC. REFER TO APPROPRIATE BASE TIE-IN DETAILS FOR SYSTEM SPECIFIC SECUREMENT OPTIONS



- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. REMOVE ALL EXISTING FLASHING, LEAD, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, INSULATION, ETC.
 3. PIPE MUST BE ANCHORED TO ENSURE STABILITY.
 4. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF FLASHING. REFER TO LS-9 FOR SEAM EDGE TREATMENT.
 5. DO NOT USE WHEN SERVICE LINE TEMP. EXCEEDS 180°F. REFER TO P-4.
 6. REFER TO P-10, P-11, & BP-12 FOR MAS.



- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. END LAPS OF QUICKSEAM SPLICE TAPE MUST OVERLAP A MINIMUM OF 1\"/>

WHEN SCRIM OF REINFORCES EPDM IS EXPOSED, APPLY SEAM EDGE TREATMENT TO ENTIRE EDGE.

4 INSIDE CORNER CONTINUOUS FLASHING EPDM WALL FLASHING

SCALE: NTS

FIRESTONE BUILDING PRODUCTS

5 FIELD FABRICATED PIPE SEAL

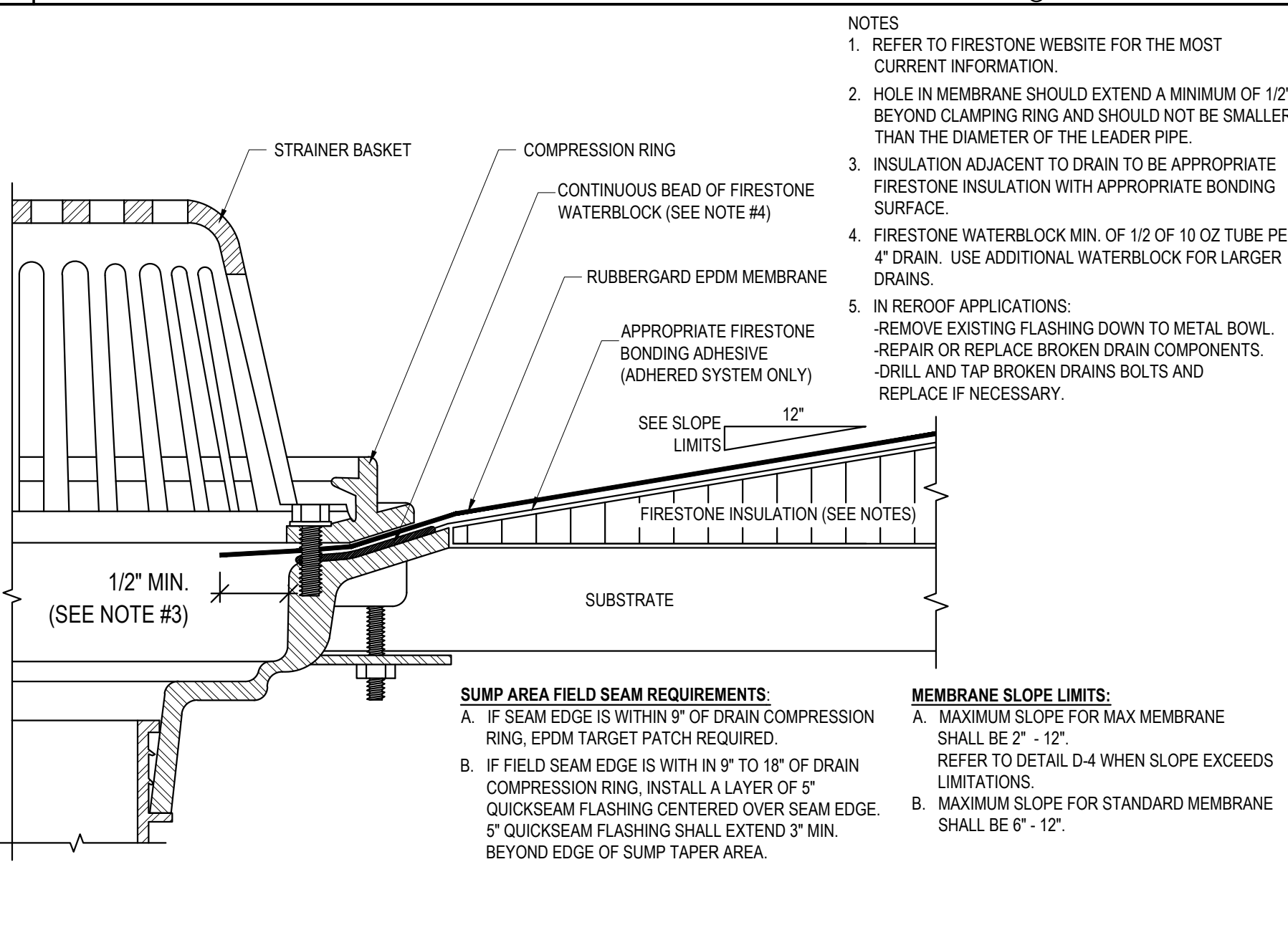
SCALE: 6"=1'-0"

FIRESTONE BUILDING PRODUCTS

6 MEMBRANE SPLICE WITH SPLICING CEMENT

SCALE: 6"=1'-0"

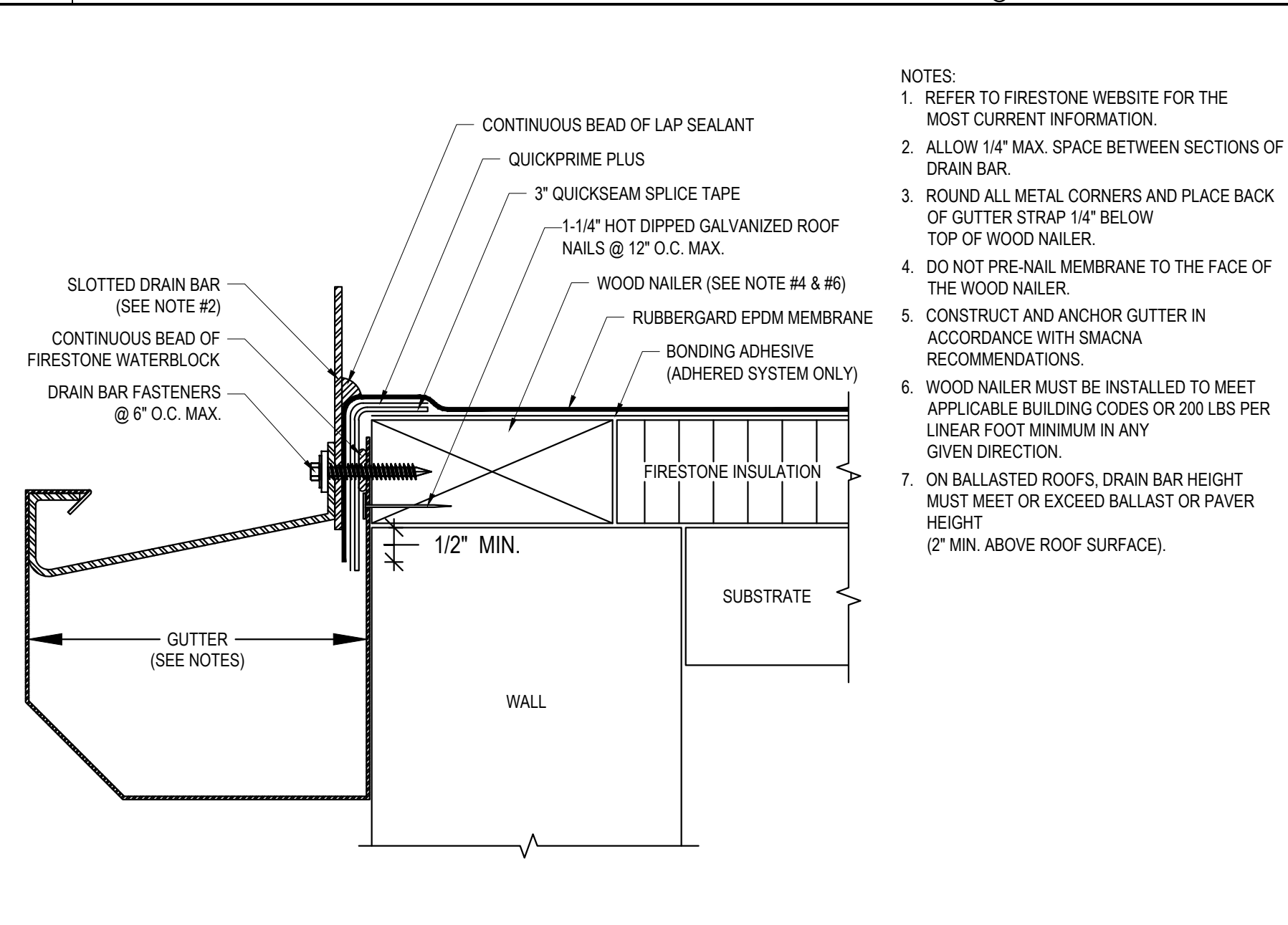
2003 CARLISLE SYNTEC INCORPORATED



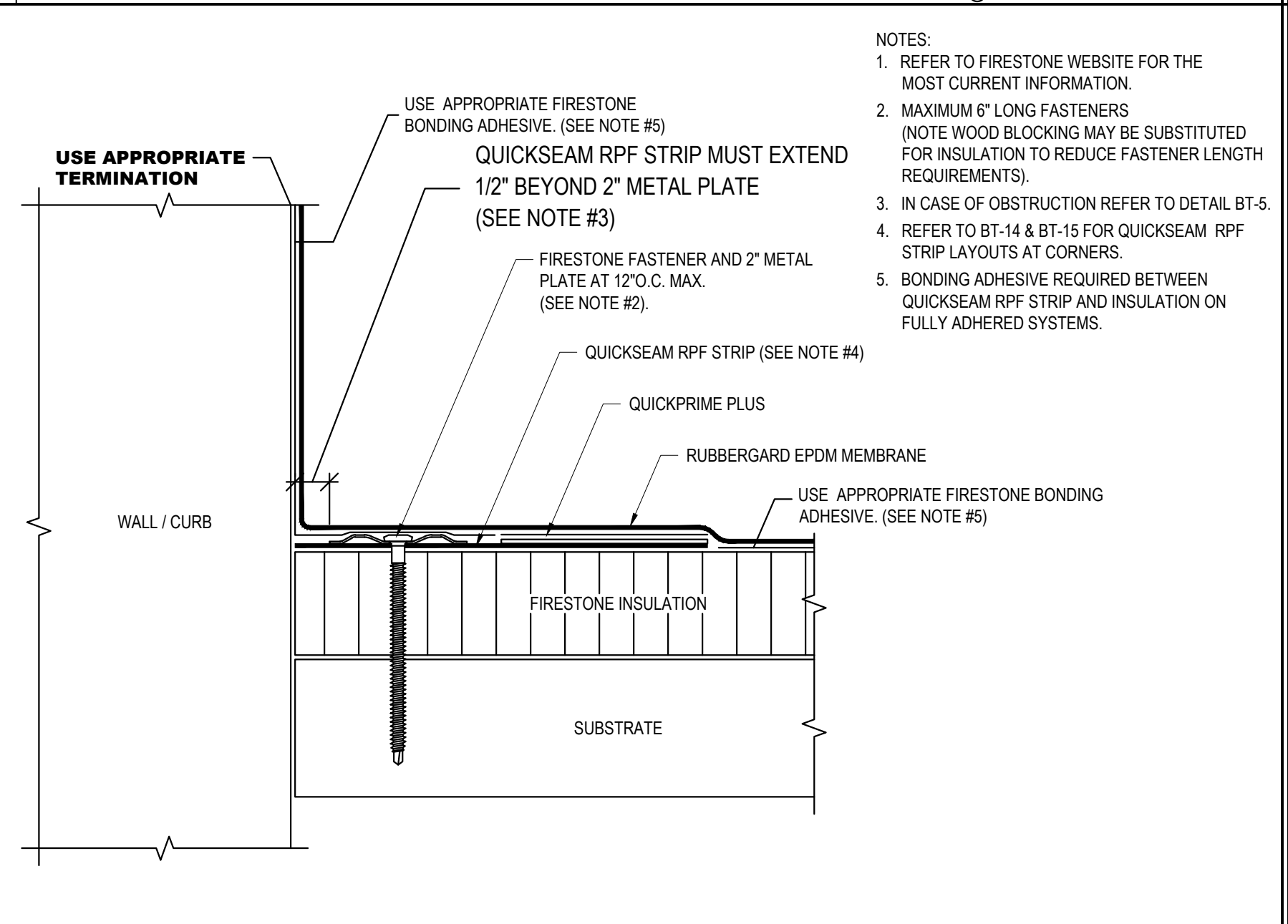
- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. HOLE IN MEMBRANE SHOULD EXTEND A MINIMUM OF 1/2\"/>

SUMP AREA FIELD SEAM REQUIREMENTS:
 A. IF SEAM EDGE IS WITHIN 9\"/>

MEMBRANE SLOPE LIMITS:
 A. MAXIMUM SLOPE FOR MAX MEMBRANE SHALL BE 2\"/>



- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. ALLOW 1/4\"/>



- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. MAXIMUM 6\"/>

7 ROOF DRAIN

SCALE: 6"=1'-0"

FIRESTONE BUILDING PRODUCTS

8 ROOF EDGE GUTTER WITH SLOTTED DRAIN BAR

SCALE: 6"=1'-0"

FIRESTONE BUILDING PRODUCTS

9 CURB FLASHING

SCALE: 6"=1'-0"

FIRESTONE BUILDING PRODUCTS

Location

PROPOSED ADDITION 57 BLUEHILL AVENUE ROXBURY, MASS

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
ARTHUR K.F. CHOO
No. 9319
BOSTON MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

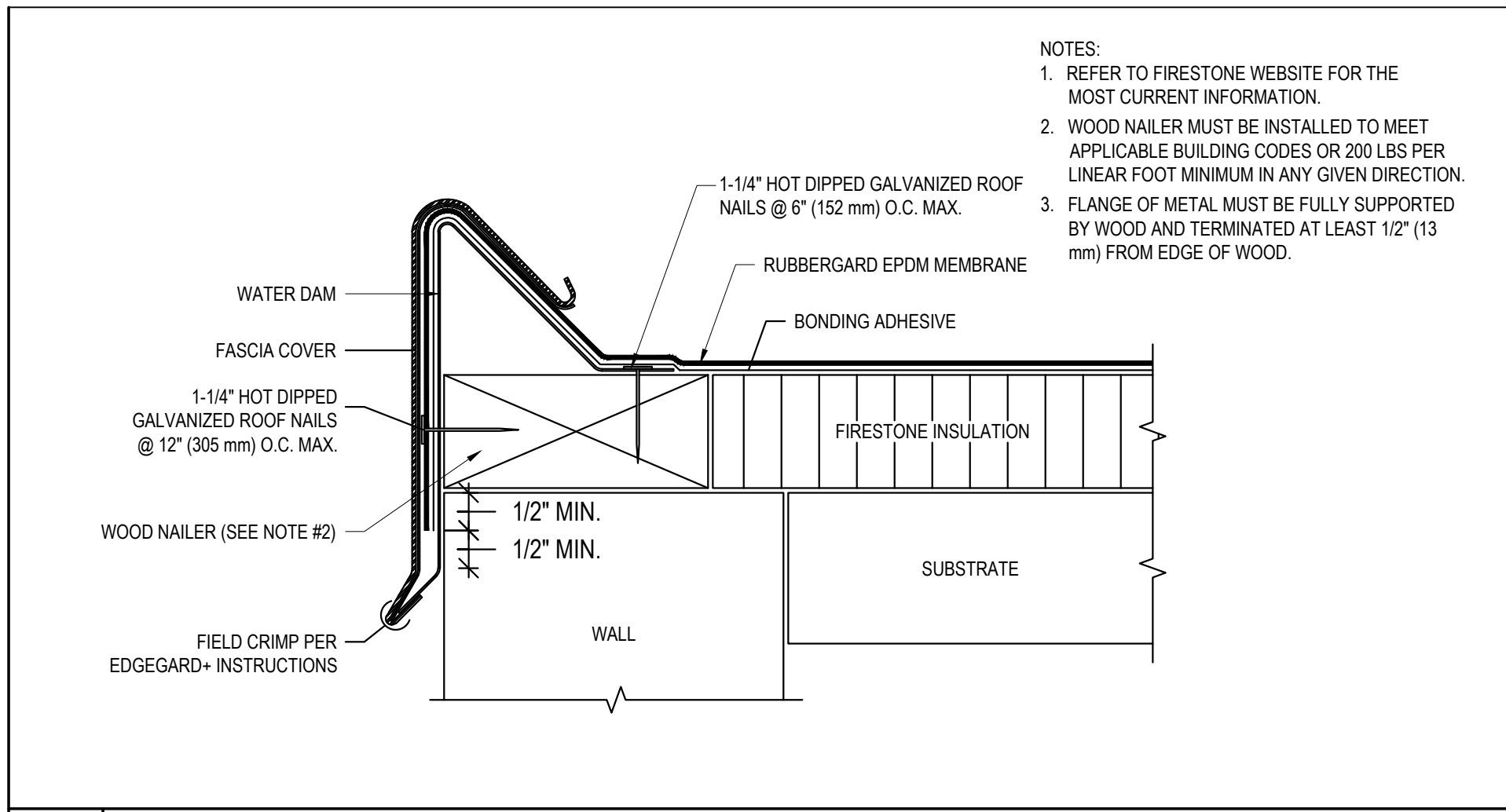
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 Scale: AS NOTED
 Date: 05-09-2022
 Drawn By: SL

Drawing Name

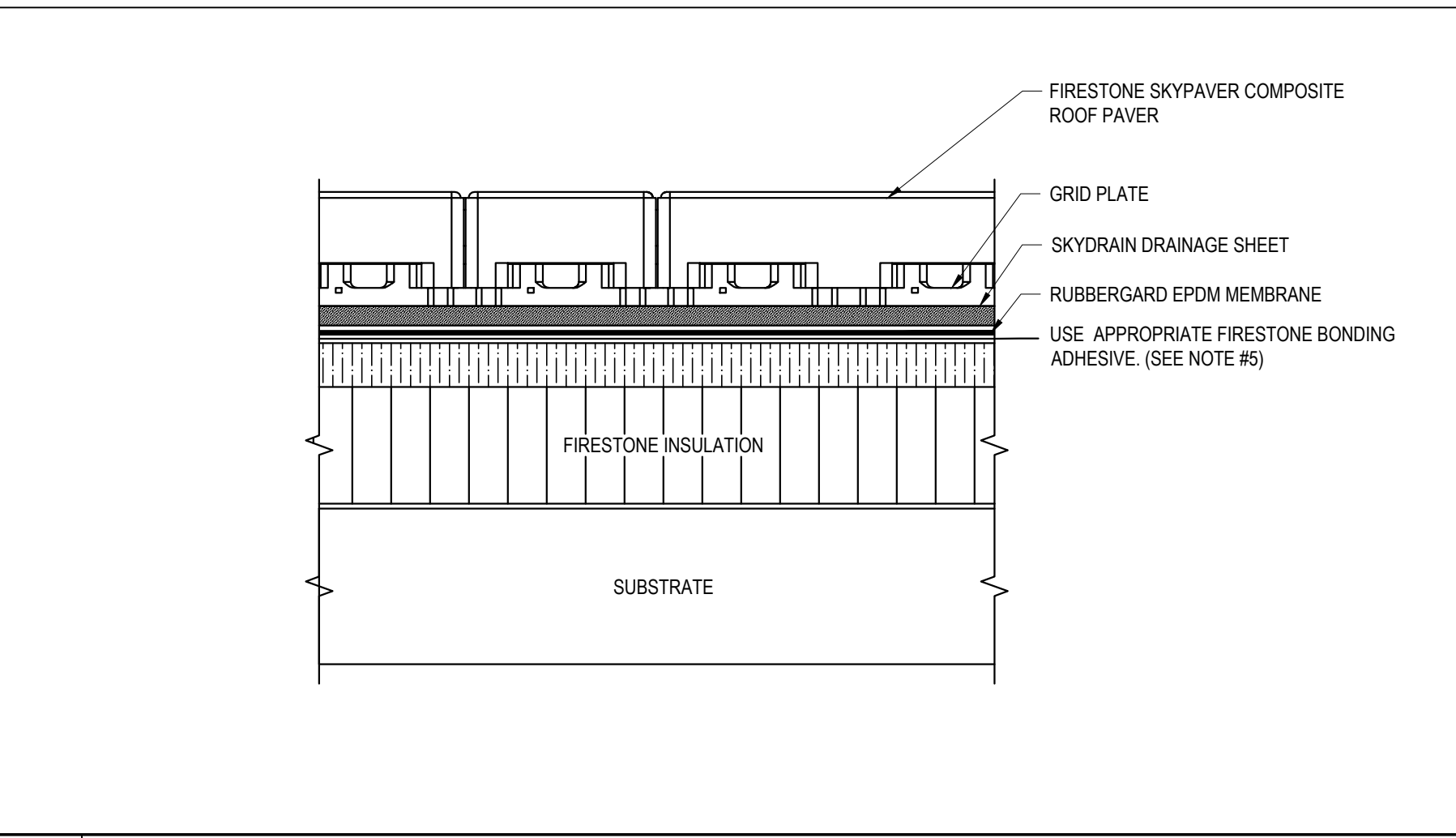
PROPOSED DETAILS

Sheet No.

A-3-4.1

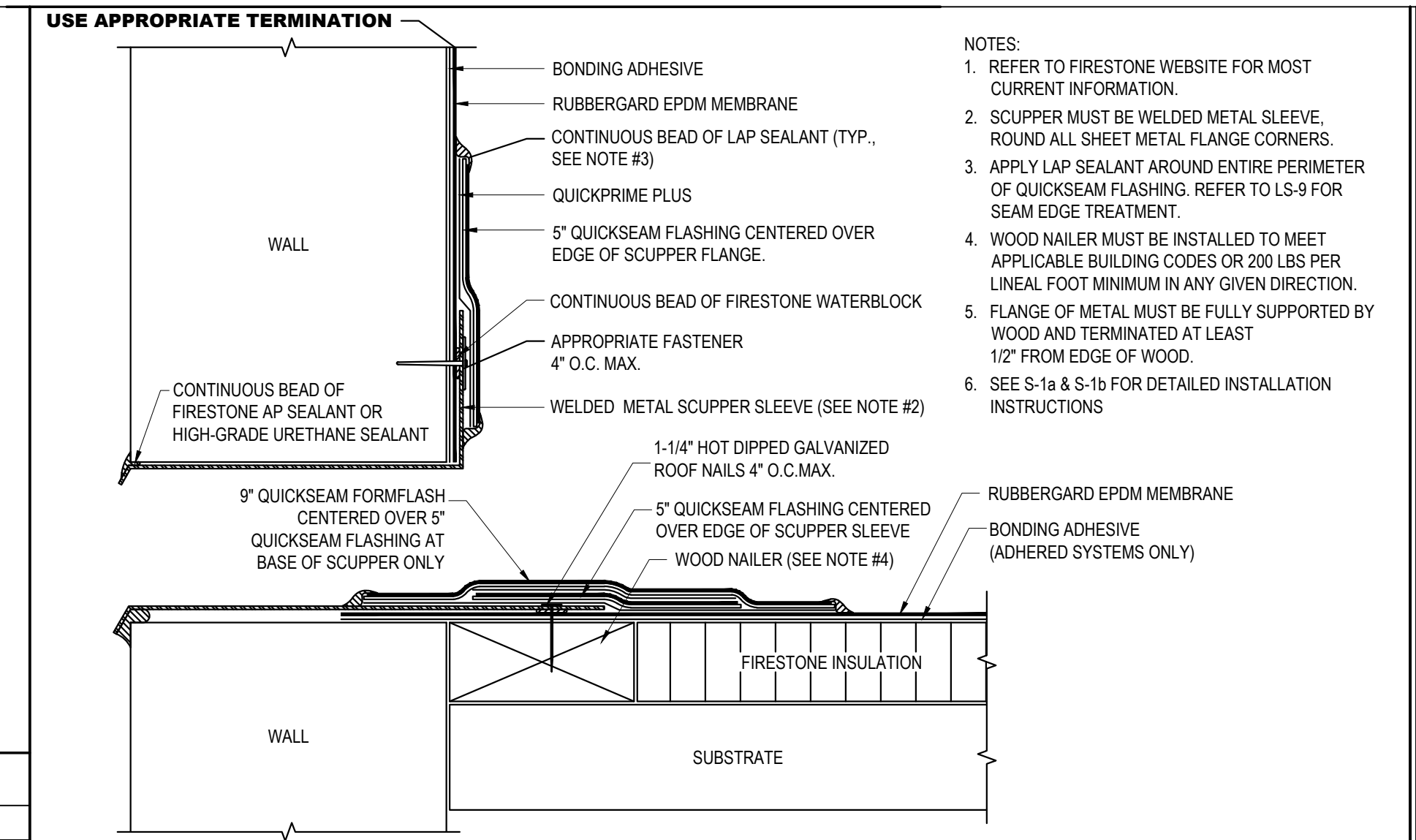


- NOTES:
 1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAL FOOT MINIMUM IN ANY GIVEN DIRECTION.
 3. FLANGE OF METAL MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 1/2" (13 mm) FROM EDGE OF WOOD.



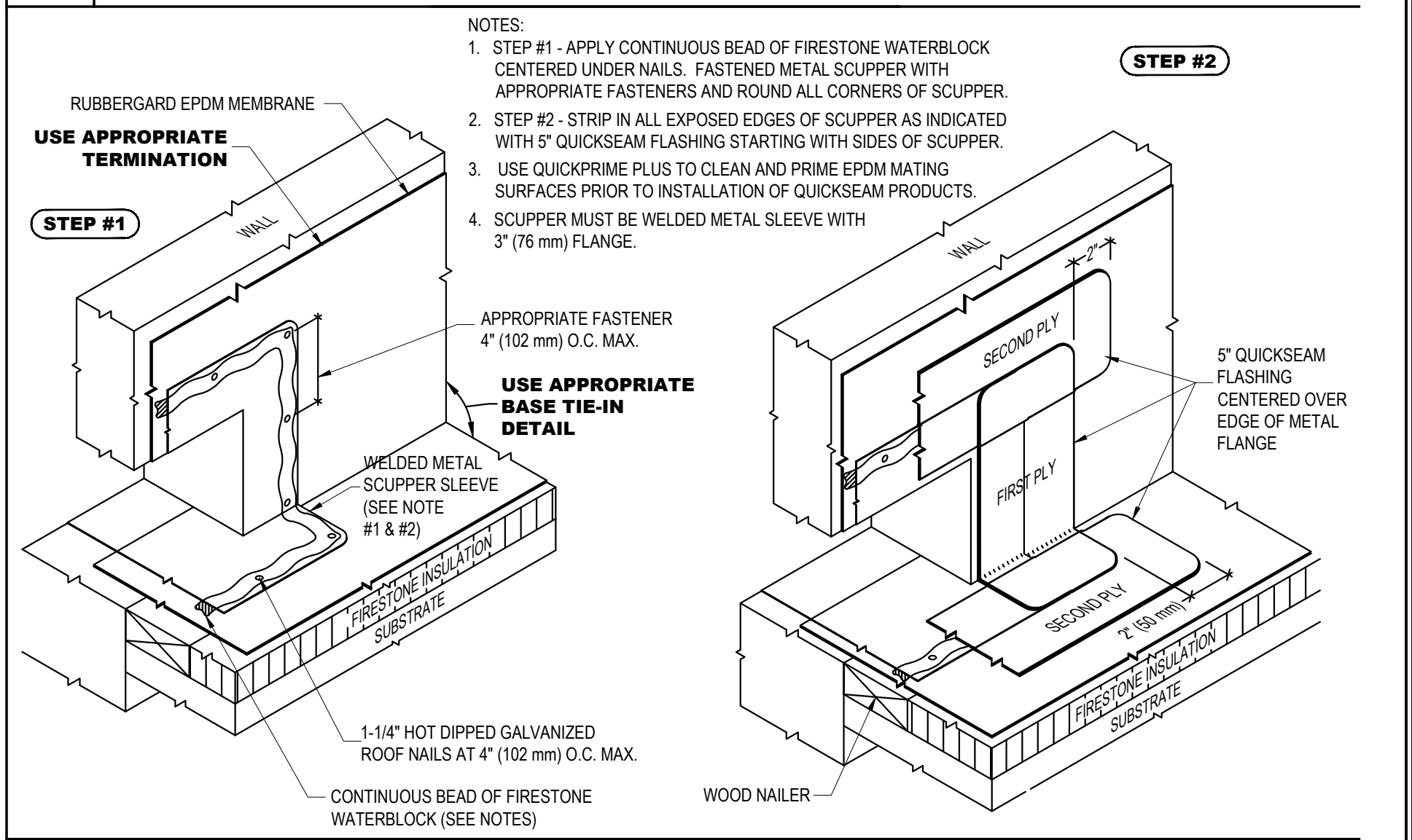
4 ROOF EDGE WITH FIRESTONE EDGEGLARD
 SCALE: 6"=1'-0"

5 SKYPAVER ROOFING ASSEMBLY SECTION
 SCALE: NTS



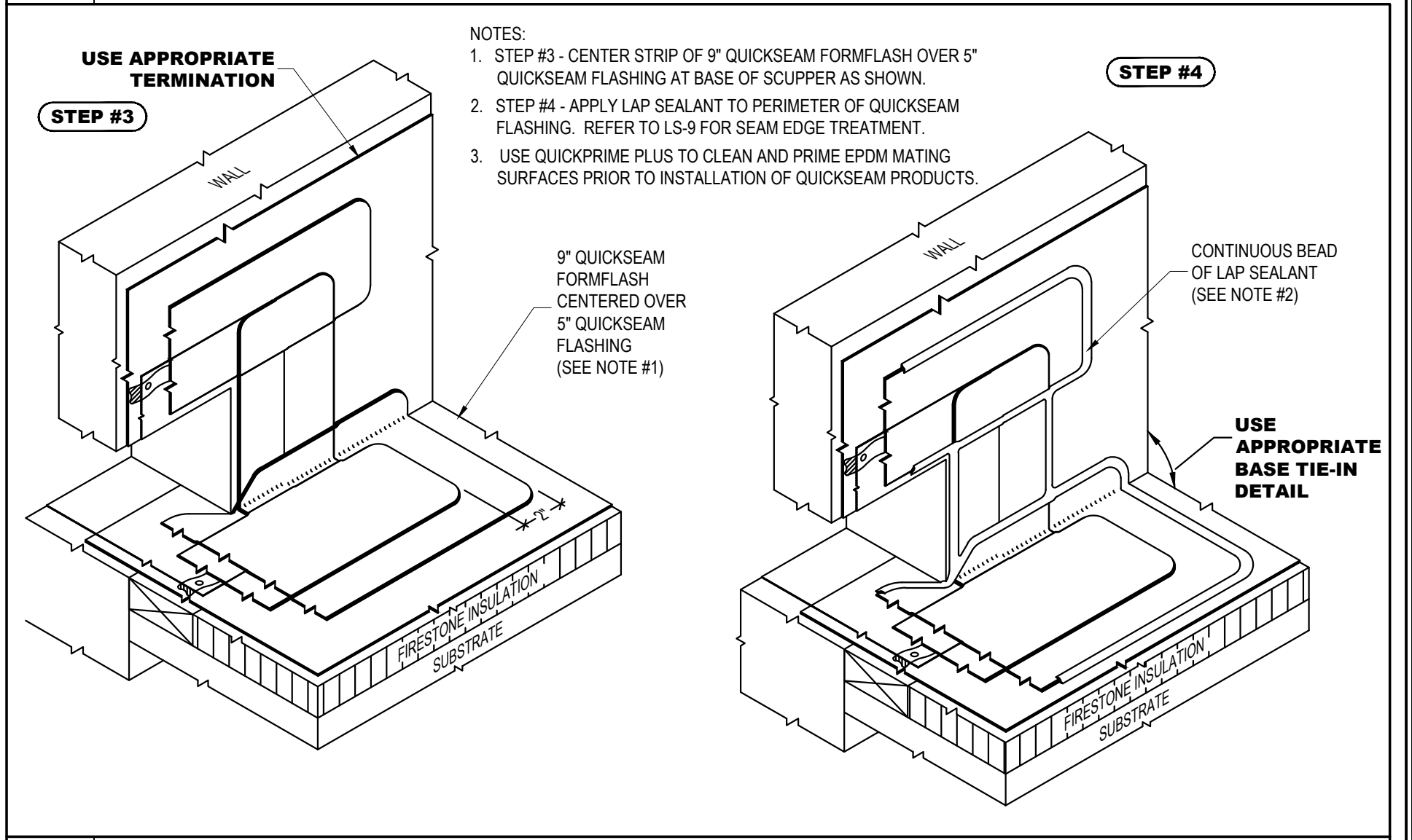
- NOTES:
 1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
 2. SCUPPER MUST BE WELDED METAL SLEEVE, ROUND ALL SHEET METAL FLANGE CORNERS.
 3. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF QUICKSEAM FLASHING. REFER TO LS-9 FOR SEAM EDGE TREATMENT.
 4. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAL FOOT MINIMUM IN ANY GIVEN DIRECTION.
 5. FLANGE OF METAL MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 1/2" FROM EDGE OF WOOD.
 6. SEE S-1a & S-1b FOR DETAILED INSTALLATION INSTRUCTIONS

1 THRU-WALL SCUPPER (WELDED SLEEVE)



- NOTES:
 1. STEP #1 - APPLY CONTINUOUS BEAD OF FIRESTONE WATERBLOCK CENTERED UNDER NAILS. FASTENED METAL SCUPPER WITH APPROPRIATE FASTENERS AND ROUND ALL CORNERS OF SCUPPER.
 2. STEP #2 - STRIP IN ALL EXPOSED EDGES OF SCUPPER AS INDICATED WITH 5\"/>

2 THRU-WALL SCUPPER INSTALLATION STEPS 1 & 2



- NOTES:
 1. STEP #3 - CENTER STRIP OF 9\"/>

3 THRU-WALL SCUPPER INSTALLATION STEPS 3 & 4
 SCALE: NTS

Location

PROPOSED ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS

Choo & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

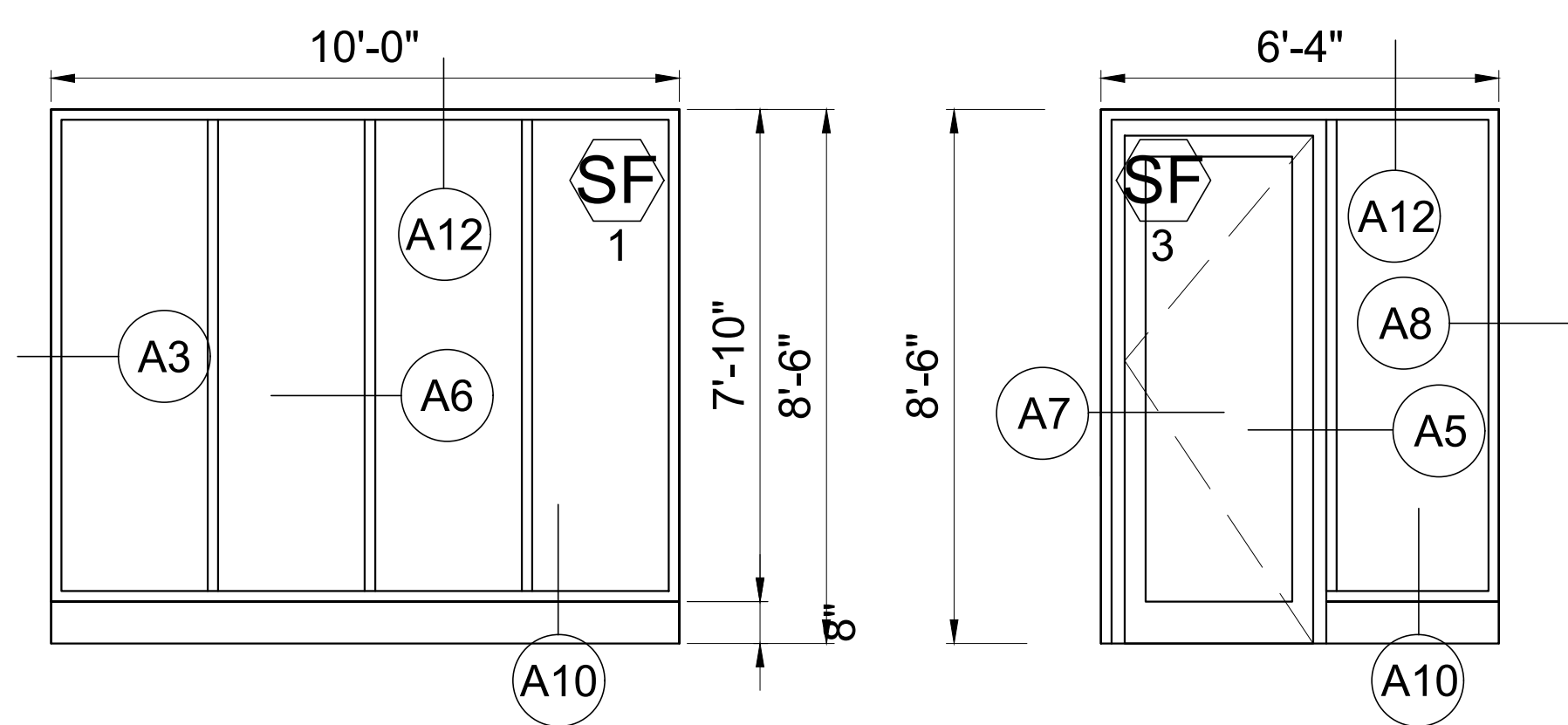
REGISTERED ARCHITECT
 ARTHUR K.F. CHOO
 No. 8319
 BOSTON MA
 COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

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PROPOSED DETAILS

Sheet No.
A-3-4.2

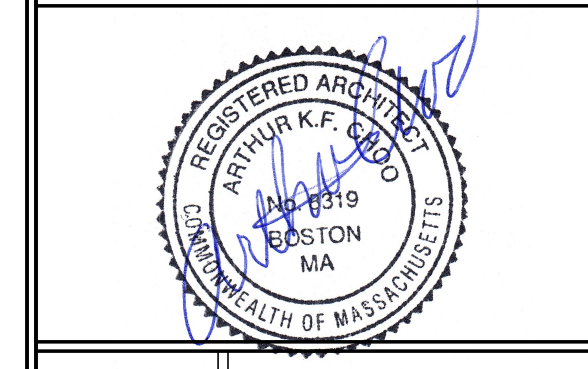


Location

**PROPOSED
ADDITION
57 BLUEHILL AVENUE
ROXBURY, MASS**

**Choo
& Company, Inc.**

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date
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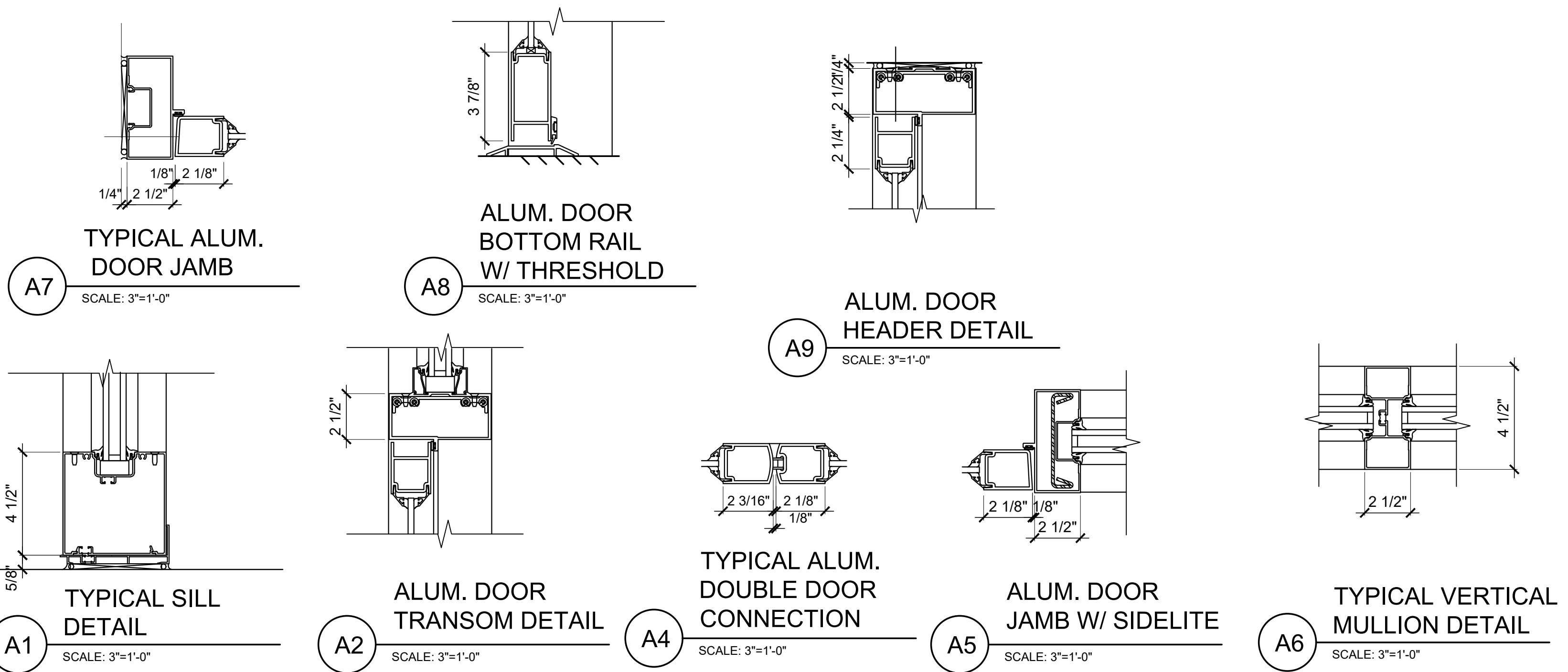
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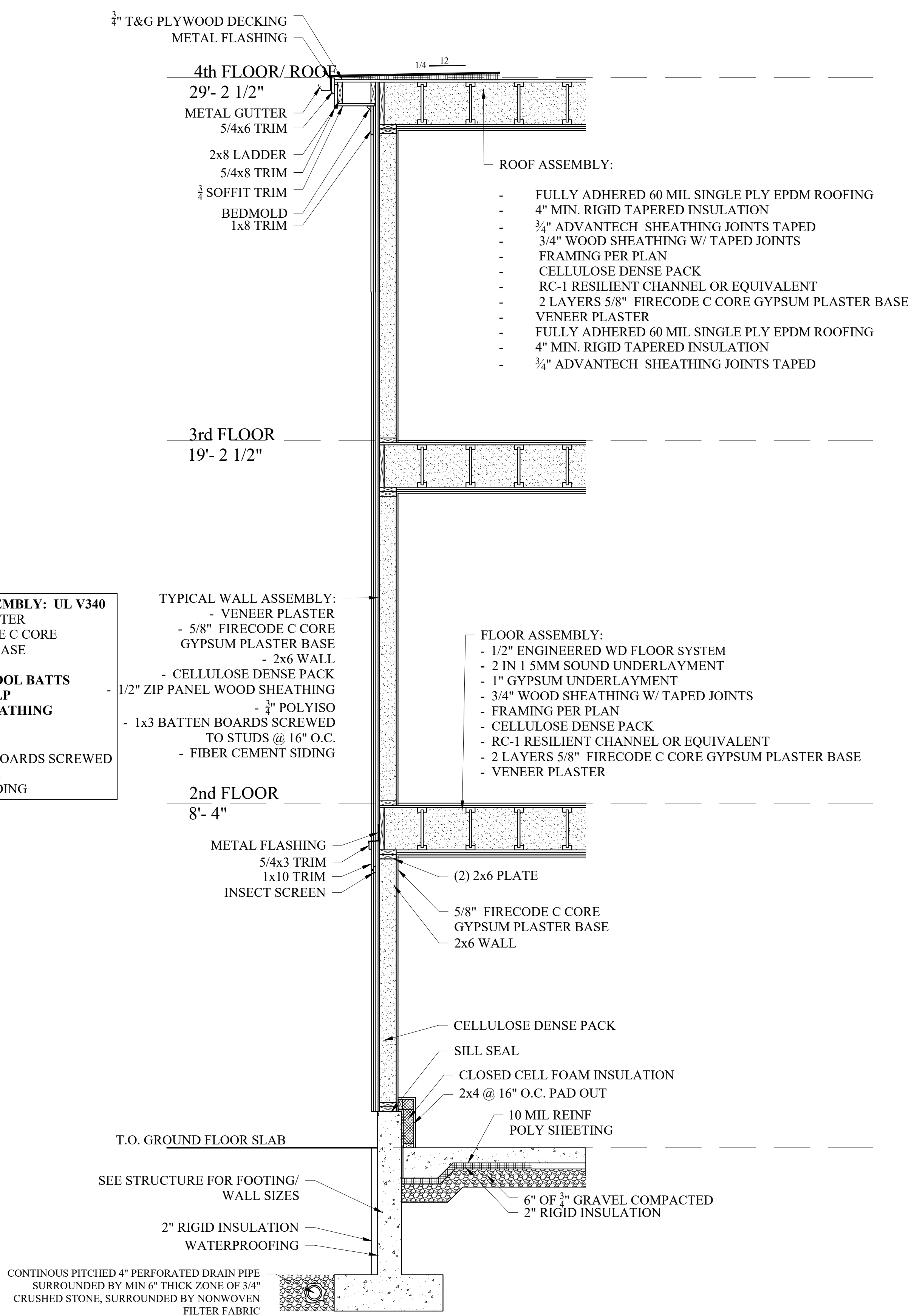
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**PROPOSED
DETAILS**

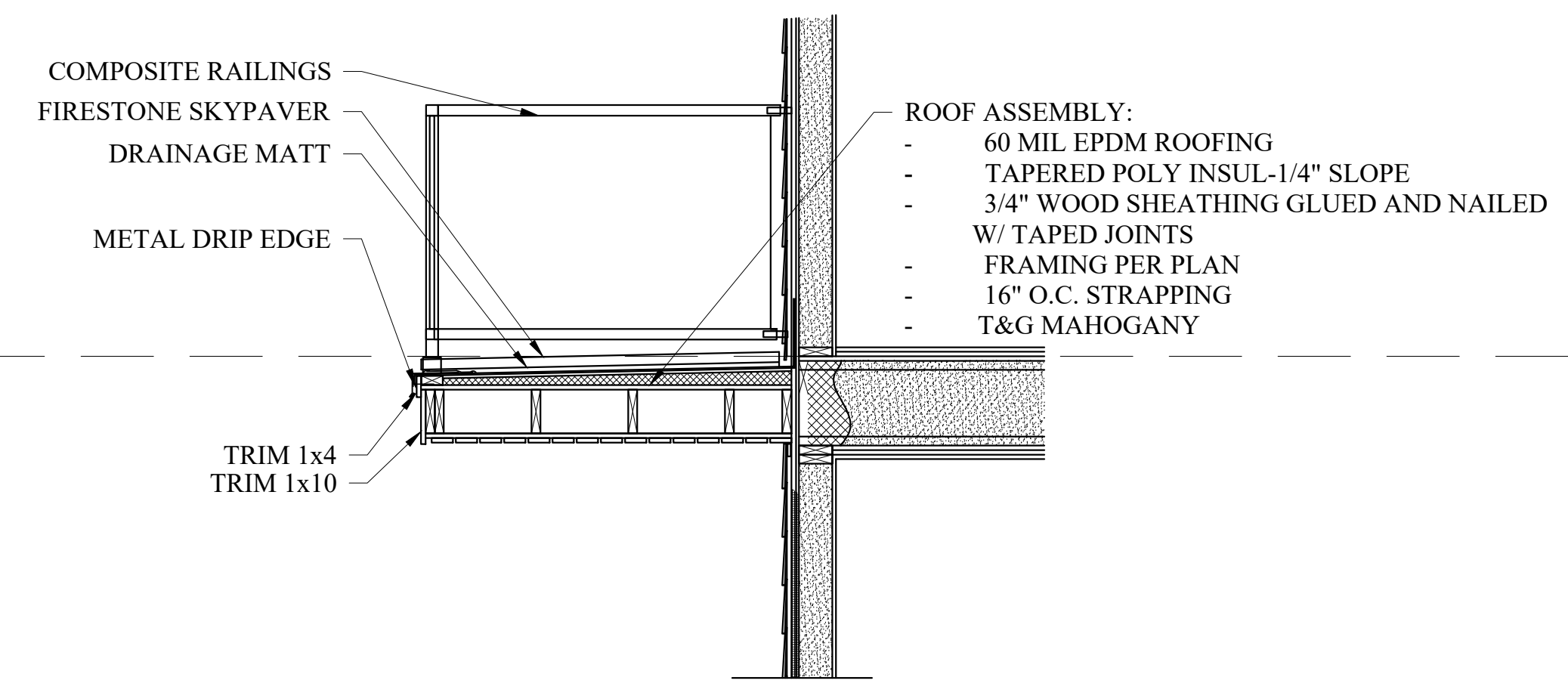
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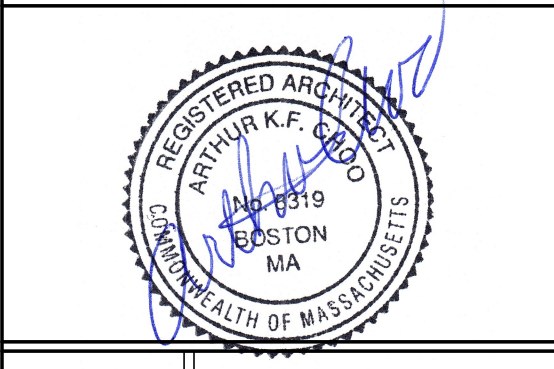
A TYP ADDITION WALL SECTION
1/2"=1'-0"



B SECTION AT CANT DECKS
1/2"=1'-0"

Location
**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

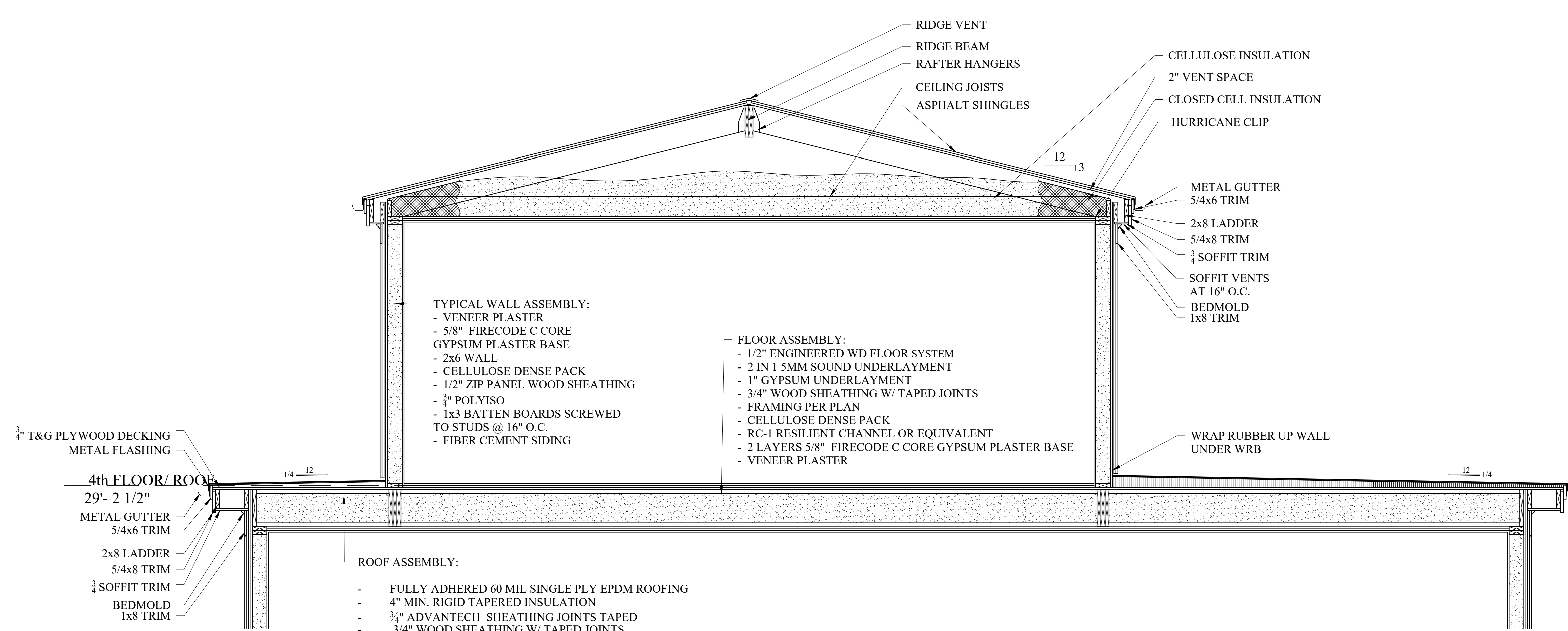


No.	Revision Date
	11-15-2021

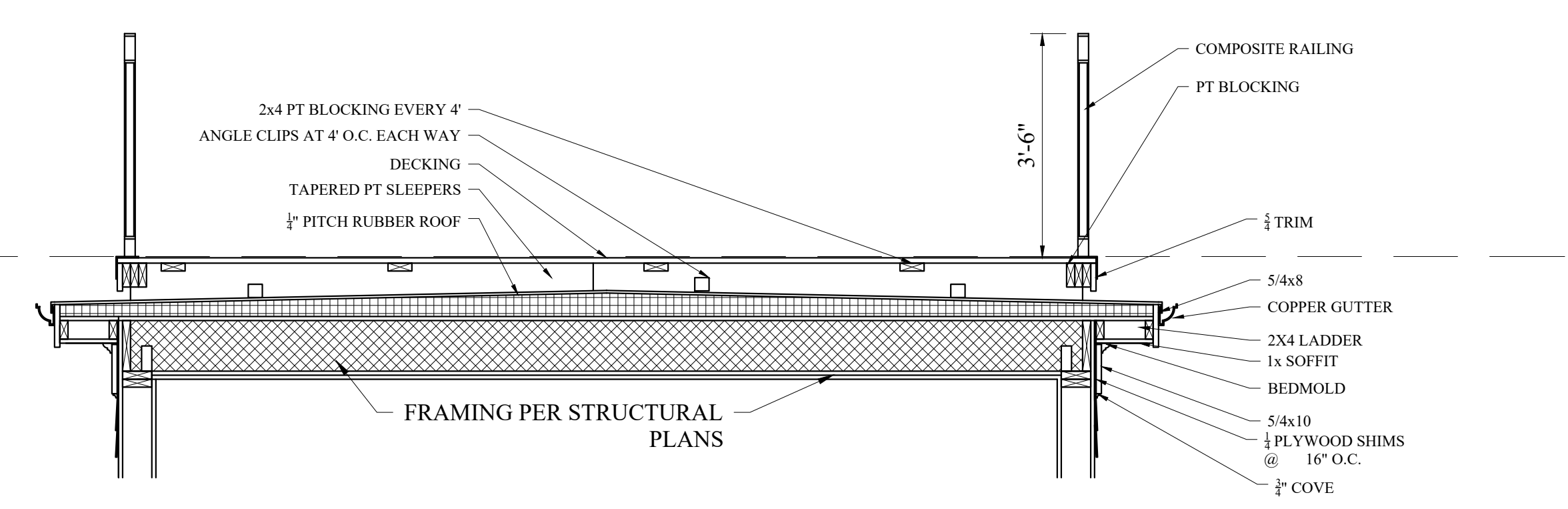
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Date: 10-15-2020
Drawn By:

Drawing Name
PROPOSED SECTIONS

Sheet No.
A-4.1



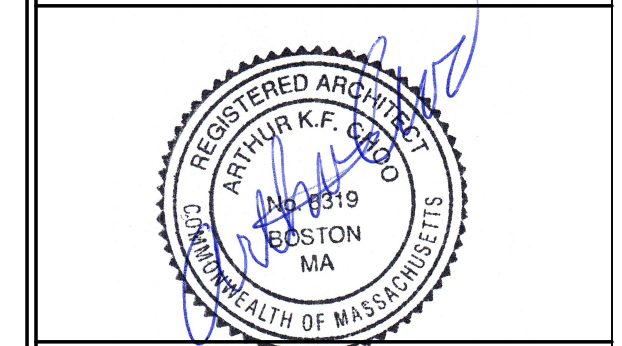
E SECTION AT 4TH FLOOR ADDITION
1/2"-1'-0"



F ROOF DECK SECTION DETAIL
1/2"-1'-0"

Location
PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

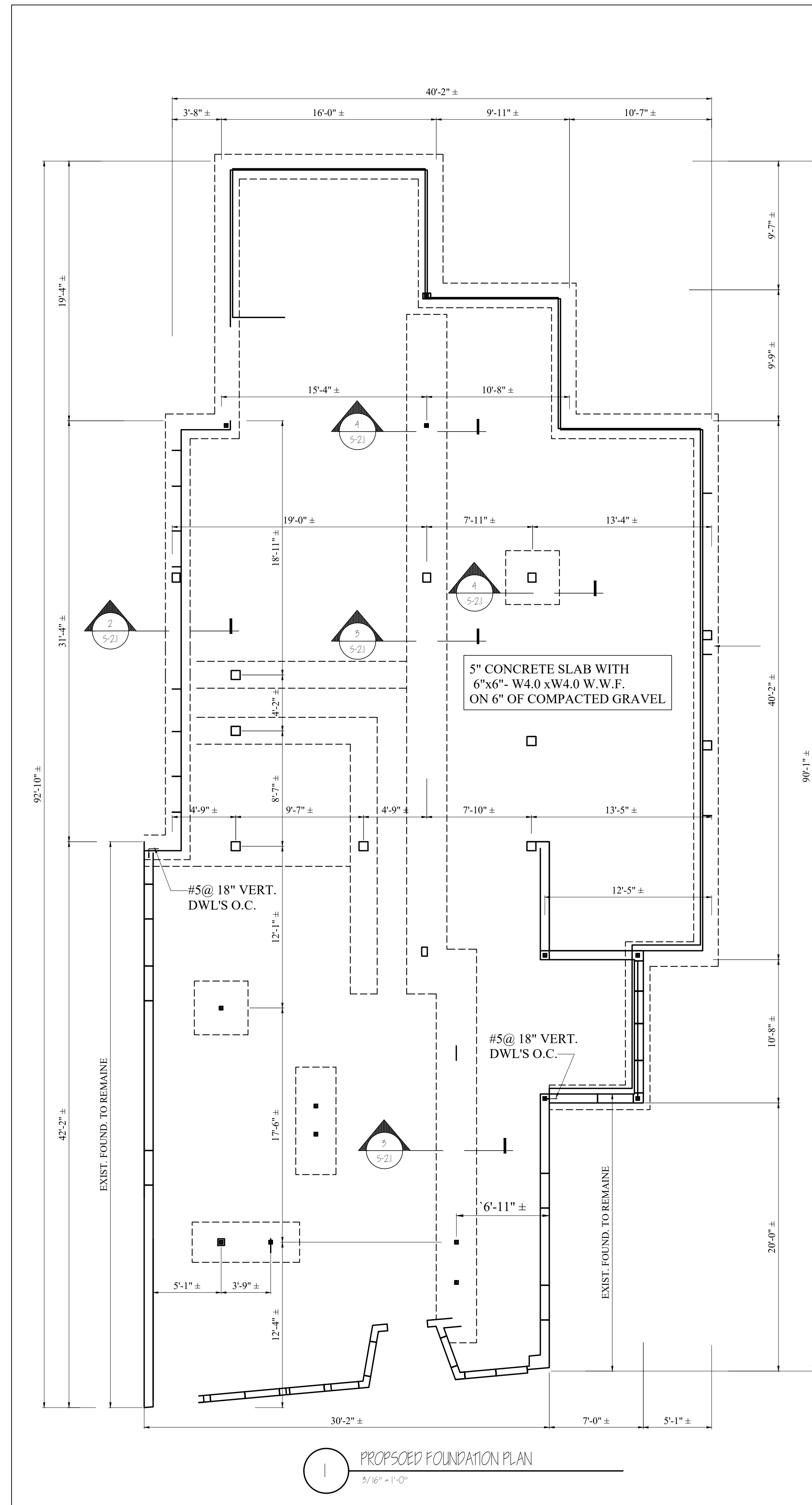


No.	Revision Date
	11-15-2021

Project No: 2020113
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Date: 10-15-2020
Drawn By:

Drawing Name
PROPOSED SECTIONS

Sheet No.
A-4.2



DESIGN CRITERIA:

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE 9TH EDITION AND ALL REFERENCED CODES
- ROOF:
LIVE LOAD: BASE SNOW LOAD (Pg) = 45 PSF + DRIFT WHERE APPLICABLE
FLAT ROOF SNOW LOAD (PF) = 32 PSF
- DEAD LOADS FOR NEW CONSTRUCTION:
INSULATION 3.0 PSF
METAL DEC 7.0 PSF
FRAM 7.0 PSF
MECH.; LIGHTS; MIS 7.0 PSF
TOTAL DEAD L 15.0 PSF
- WIND LOAD 105 MPH
MEAN ROOF HEIGHT 70 FT
BASIC VELOCITY PRESSURE P_v 23 PSF
- DEFLECTION LIMITS: ROOF L/240 LIVE LOAD ONLY
L/180 DEAD LOAD + LIVE LOAD
L/600 DEAD LOAD + LIVE LOAD

GENERAL NOTES:

- THE INTENT OF THE STRUCTURAL DRAWINGS IS TO SHOW THE MAIN STRUCTURAL FEATURES AND DESIGN FOR THE COMPLETED PROJECT. ARCHITECTURAL DETAILS AND OTHER COMPONENTS THAT MAY BE NECESSARY TO CONSTRUCT THE PROJECT ARE SHOWN INCIDENTALLY ONLY, AND NOT COMPLETELY. THEREFORE ALL CONTRACT DRAWINGS AND SPECIFICATIONS MUST BE USED IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS DURING ALL PHASES OF CONSTRUCTION. DISCREPANCIES BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, IF NOT CLARIFIED IN THE ADDENDA AT THE REQUEST OF THE CONTRACTOR, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING CONSTRUCTION FOR CLARIFICATIONS. THE CONTRACTOR SHALL TAKE THIS INTO CONSIDERATION IN HIS BID.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT OF ALL DISCREPANCIES BETWEEN DRAWINGS OF DIFFERENT TRADES, PRIOR TO INITIATION OF ANY WORK.
- THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT STRUCTURES, PROPERTY AND THE PUBLIC.
- REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR VERIFICATION OF LOCATIONS AND DIMENSIONS OF ALL CHASES, SLOTS, INSERTS, CURBS, OPENINGS, SLEEVES, ANCHOR BOLTS, FLOOR PITCHES, ANGLE FRAMES AND ALL OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.
- WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING LOCATION, SHALL BE INCLUDED.
- DETAILS SHOWN AS TYPICAL ARE APPLICABLE TO ALL SIMILAR CONDITIONS.
- ALL CONTRACTORS ARE REQUIRED TO EXAMINE THE DRAWINGS AND SPECIFICATIONS CAREFULLY, VISIT THE SITE AND FULLY INFORM THEMSELVES AS TO ALL EXISTING CONDITIONS AND LIMITATIONS, PRIOR TO SUBMITTING THE PROPOSAL. FAILURE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND LIMITATIONS WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER FROM FURNISHING ANY MATERIALS OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL FIELD MEASURE ALL EXISTING CONDITIONS AND COORDINATE THEIR FINDINGS WITH THE NEW WORK.

SHOP DRAWINGS AND SUBMITTALS

- THESE DRAWINGS SHALL BE CHECKED AND COORDINATED WITH OTHER MATERIALS AND CONTRACTS BY THE GENERAL CONTRACTOR AND SHOP AND SUBMITTALS SHALL BEAR THE CONTRACTOR'S REVIEW STAMP WITH THE CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- WHEN THE FABRICATOR HAS BEEN AUTHORIZED TO USE THE ARCHITECTS AND ENGINEERS DRAWINGS AS ERECTION DRAWINGS, THE FABRICATOR MUST REMOVE ALL TITLE BLOCKS, PROFESSIONAL SEALS AND ANY OTHER REFERENCES TO THE ARCHITECT AND ENGINEER FROM THAT ERECTION DRAWINGS.
- WHERE DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION COULD AFFECT THE NEW CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE FIELD MEASUREMENTS IN TIME FOR THEIR INCORPORATION IN THE SHOP DRAWINGS

REINFORCED CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE AND TO THE INTERNATIONAL BUILDING CODE 2009. IN CASE OF CONFLICT, THE INTERNATIONAL BUILDING CODE 2009 SHALL GOVERN.
- ALL CONCRETE SHALL BE CONTROLLED, MIXED AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONCRETE TESTING AGENCY.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL CONTAIN AN AIR ENTRAINMENT ADMIXTURE.
- UNLESS OTHERWISE NOTED ON PLANS, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH AT THE END OF 28 DAYS. CONCRETE SLABS ON GRADE SHALL BE NORMAL WEIGHT AND HAVE MINIMUM COMPRESSIVE STRENGTH OF 4,000 P.S.I.
- CONCRETE QUALITY IN ACCORDANCE WITH THE REQUIREMENTS OF THESE DRAWINGS AND SPECIFICATIONS IS ESSENTIAL TO THE STRUCTURAL PERFORMANCE OF THIS BUILDING. CONCRETE THAT IS NOT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS WILL NOT BE ACCEPTED.
- CONCRETE MUST REACH THE FOLLOWING PERCENTAGES OF ITS 28 DAY COMPRESSIVE STRENGTH (f_c) BEFORE FORMS OR SHORES MAY BE REMOVED:
WALLS 40%
- CONSTRUCTION JOINT LOCATIONS OTHER THAN SHOWN ON THE DRAWINGS ARE PERMITTED SUBJECT TO PRIOR APPROVAL OF THE ENGINEER. EXPANSION JOINT AND CONTROL JOINT LOCATIONS ARE MANDATORY, AS SHOWN.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 WITH 60,000 PSI YIELD STRENGTH, AS INDICATED AND SHALL HAVE THE FOLLOWING CONCRETE COVER, UNLESS NOTED OTHERWISE ON THE DRAWINGS:
A. SURFACES PLACED IN CONTACT WITH THE GROUND.....3"
B. FORMED SURFACE EXPOSED TO GROUND.....2"
C. INSIDE FACE OF FORMED WALL.....1 1/2"
D. WALL PIER TIES.....1 1/2"
E. SLAB REINFORCING.....3/4"
- WELDED WIRE FABRIC WILL CONFORM TO ASTM A185; LAP TWO SQUARES AT ALL SPLICES AND TIE AT 3 FOOT CENTERS.
- PROVIDE CLASS B SPLICE FOR ALL CONTINUOUS REINFORCEMENT, UNLESS OTHERWISE INDICATED.
- PROVIDE BAR SUPPORTS, SPACERS AND ACCESSORIES RECOMMENDED IN THE LATEST ADDITION OF THE ACI DETAILING MANUAL, PUBLICATION SP-66. ALL REINFORCEMENT DETAILING, LAP SPLICES AND EMBEDMENT WILL CONFORM TO THIS MANUAL. ALL ACCESSORIES, SUCH AS SLAB BOLSTERS AND BEAM AND SLAB CHAIRS IN CONTACT WITH EXPOSED SURFACES SHALL BE ZINC COATED OR PLASTIC TYPE.
- PIPES OR CONDUITS PLACED IN SLABS ON GRADE SHALL NOT BE PLACED CLOSER THAN 3 DIAMETER ON CENTER AND SHALL HAVE AN OUTSIDE DIAMETER LESS THAN 1/3 OF THE SLAB THICKNESS. ALUMINUM CONDUITS SHALL NOT BE PLACED IN CONCRETE.
- DETAILING OF REINFORCEMENT SHALL BE ACCORDING TO THE LATEST EDITION OF ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
- SET AND TIE ALL REINFORCEMENT BEFORE PLACING CONCRETE. SETTING DOWELS AND REINFORCEMENT INTO WET CONCRETE IS PROHIBITED.
- EXPOSED EDGES OF CONCRETE ELEMENTS, SUCH AS PILASTERS, CURBS AND EQUIPMENT PADS WILL HAVE 1 INCH CHAMFER.
- NOT ALL OPENINGS THROUGH CONCRETE SLABS AND WALLS ARE SHOWN ON STRUCTURAL DRAWINGS. OPENINGS INDICATED, OR ANY ADDITIONAL OPENINGS OR INSERTS REQUIRED, SHALL BE VERIFIED WITH RESPECTIVE TRADES BEFORE POURING OF CONCRETE.
- USE NON-SHRINK, NON-METALLIC GROUT, WHERE INDICATED. (SEE SECTION 03300, CAST-IN-PLACE CONCRETE OF THE SPECIFICATIONS FOR ALL THE REQUIREMENTS).
- FLOOR SLOPES WILL BE AN INTEGRAL PART OF STRUCTURAL SLABS. SEPARATE CONCRETE FILL IS NOT PERMITTED UNLESS SPECIFICALLY INDICATED ON THE STRUCTURAL DRAWINGS. CONCRETE CAST ON SLOPED SURFACES SHALL BEGIN AT THE LOWEST ELEVATION AND CONTINUE MONOLITHICALLY TOWARD THE HIGHER ELEVATIONS UNTIL THE INTENDED POUR IS COMPLETED.
- SEE ARCHITECTURAL DRAWINGS FOR FINISHES, DEPRESSIONS, REGLETS, NOTCHES AND OTHER ARCHITECTURAL FEATURES.
- SET ANCHOR BOLTS AND EMBEDDED PLATES REQUIRED FOR CONNECTION OF WORK BY OTHERS.
- PROVIDE CONCRETE PADS FOR MECHANICAL EQUIPMENT ACCORDING TO THE REQUIREMENTS OF THE MANUFACTURER AND IN ACCORDANCE WITH THE TYPICAL DETAILS. ALWAYS PROVIDE MINIMUM REINFORCEMENT FOR PADS, UNLESS NOTED OTHERWISE. COORDINATE LOCATIONS WITH MECHANICAL DRAWINGS.
- NO CONCRETE SHALL BE CAST BEFORE REVIEW AND APPROVAL OF THE REINFORCING AND EMBEDDED ITEMS HAVE BEEN OBTAINED FROM THE ARCHITECT.

CONVENTIONAL WOOD FRAMING

- ALL SAWN LUMBER FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR WITH THE FOLLOWING MINIMUM GRADES:
A. JOISTS, RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS AND LINTELS; NO. 1 GRADE.
B. SILLS AND PLATES; STUD GRADE.
C. SOLID WOOD POSTS; NO. 1 GRADE.
D. BRIDGING, BLOCKING AND NAILERS; STUD GRADE.
- ALL "MICRO LAM" (ML) MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
A. E = 2,000,000 PSI
B. F_b = 2800 PSI
C. F_t = 1850 PSI
D. F_c (perpendicular) = 500 PSI
E. F_c (parallel) = 2700 PSI
F. F_v = 285 PSI
- UNLESS OTHERWISE NOTED, ALL NAILING AND FASTENING SHALL BE IN ACCORDANCE WITH SECTION 2305.2 FASTENING SCHEDULE, MASSACHUSETTS BUILDING CODE.
- WOOD SILLS BENEATH ALL INTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER OR MOISTURE SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE "AMERICAN WOOD PRESERVERS ASSOCIATION, STANDARD C1". U.O.N. ON DRAWING
- ALL STUD WALLS, BEARING AND NON-BEARING, SHALL HAVE ONE ROW OF CONTINUOUS 2X SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT. BLOCKING SIZE TO MATCH STUD SIZE.
- FRAMING MEMBERS SHALL NOT BE NOTCHED, CUT OR ALTERED IN THE FIELD WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.
- ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE "SIMPSON STRONG-TIE" SPECIFICATION.
- ALL ROOF SHEATHING SHALL BE 5/8" INCH APA RATED PLYWOOD SHEATHING 32/16. USE EXPOSURE 1, STRUCTURAL 1, C-D, PANELS, EXCEPT USE EXTERIOR PANELS FOR STARTER STRIPS ALONG EAVES AND WHEN LONG CONSTRUCTION DELAYS ARE ANTICIPATED. APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE RAFTERS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. INSTALL 2x6 BLOCKING ALONG PANEL ENDS BETWEEN EACH RAFTER OR TRUSS. ATTACH PANELS WITH GLUE AND 10d COMMON NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 10 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.
- ALL FLOOR SHEATHING SHALL BE 3/4" APA RATED "STUR-I-FLOOR", 24 OC, TONGUE AND GROOVE. USE EXPOSURE 1 PANELS, APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE JOISTS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. ATTACH PANELS BY GLUE-NAILING AS FOLLOWS:
A. SPREAD GLUE IN ACCORDANCE WITH RECOMMENDATIONS OF GLUE MANUFACTURER AND INDUSTRY PRACTICE.
B. STAGGER END JOINTS IN EACH SUCCEEDING ROW, LEAVING 1/8 INCH SPACE BETWEEN ALL END AND END JOINTS, INCLUDING TONGUE AND GROOVE EDGES.
C. COMPLETE ALL NAILING OF EACH PANEL BEFORE GLUE SETS WITH 6d RING OR SCREW SHANK NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES AT INTERMEDIATE SUPPORTS.
- ALL EXTERIOR WALL SHEATHING SHALL BE 1/2 INCH APA RATED, EXPOSURE 1, STRUCTURAL 1, PLYWOOD C-D PANELS. ATTACH PANELS WITH 8d COMMON NAILS @ 4" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS. ALL PLYWOOD WALL SHEATHING SHALL BE BLOCKED AT PANEL EDGES.
BELOW TRUSS PLYWOOD SHEATHING SHALL BE 1/2 INCH APA RATED, EXPOSURE 1, TONGUE AND GROOVE PLYWOOD A-C PANELS. ATTACH PANELS WITH 10d COMMON NAILS @ 6" ON CENTER AT PANEL EDGES AND 10" OC AT INTERMEDIATE SUPPORTS, ALL BELOW TRUSS SHEATHING SHALL BE BLOCKED AT PANEL EDGES.
- "BOI/XX" REFERS TO A WOOD I - JOIST MANUFACTURED BY BOISE CASCADE BOISE, IDAHO OR APPROVED EQUAL. REFER TO MANUFACTURERS RECOMMENDATIONS REGARDING ATTACHMENTS, BRACING, WEB STIFFENERS, BLOCKING, ETC.
- "TIMBERSTRAND RIM BOARD" REFERS TO A MANUFACTURED WOOD EDGE BEAM, CONTINUOUS BLOCKING OR LINTEL AS MANUFACTURED BY TRUSS JOIST MACMILLAN, BOISE, IDAHO OR APPROVED EQUAL WITH THE FOLLOWING MINIMUM PROPERTIES.
A. E = 1,300,000 PSI
B. F_b = 1,700 PSI
C. F_v = 400 PSI
D. F_{c ⊥} = 680 PSI
E. VERTICAL LOAD TRANSFER CAPACITY = 3450 PLF (1/4" THICK).

**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.

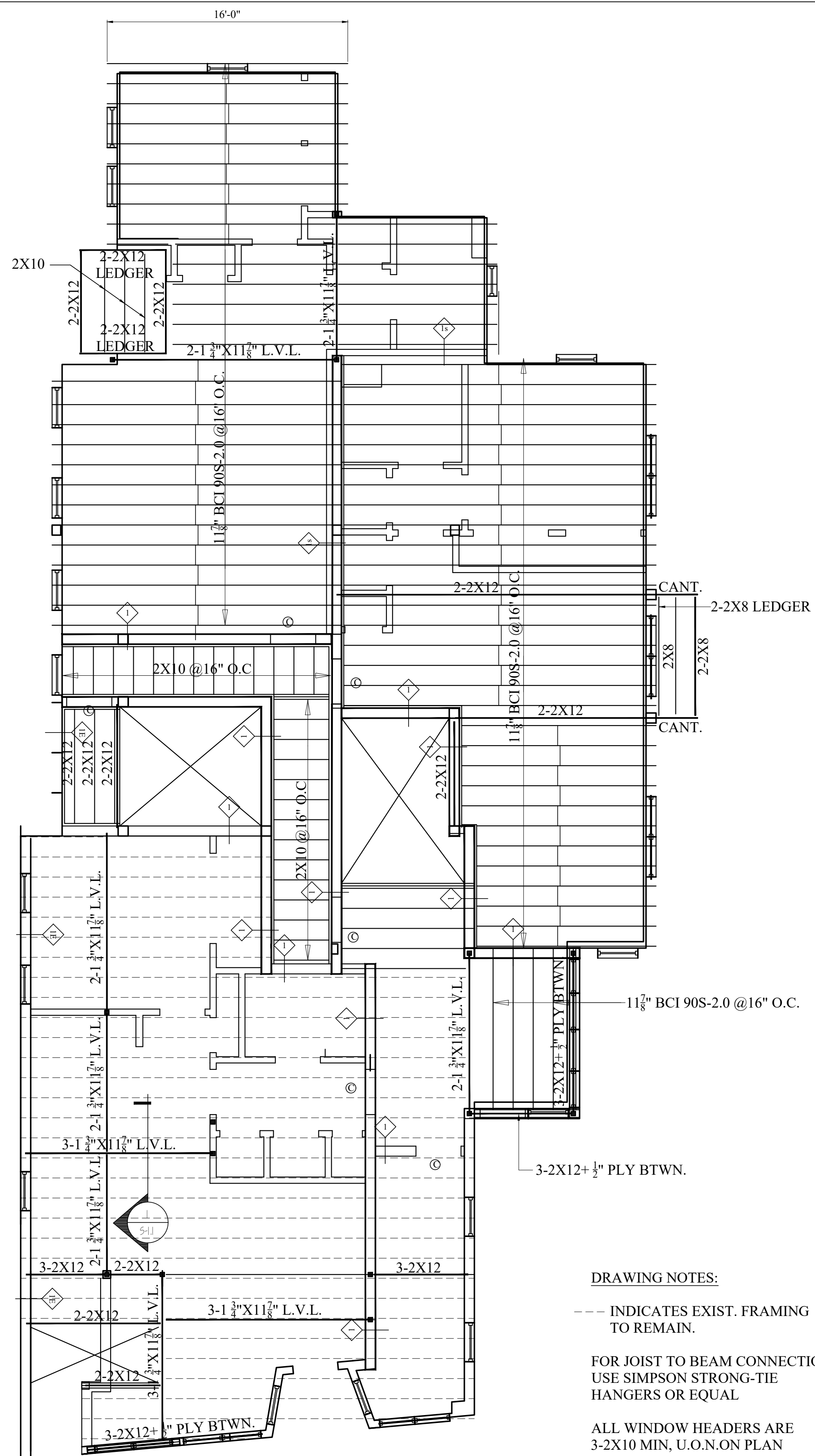
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision/Date

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Drawn By: SL

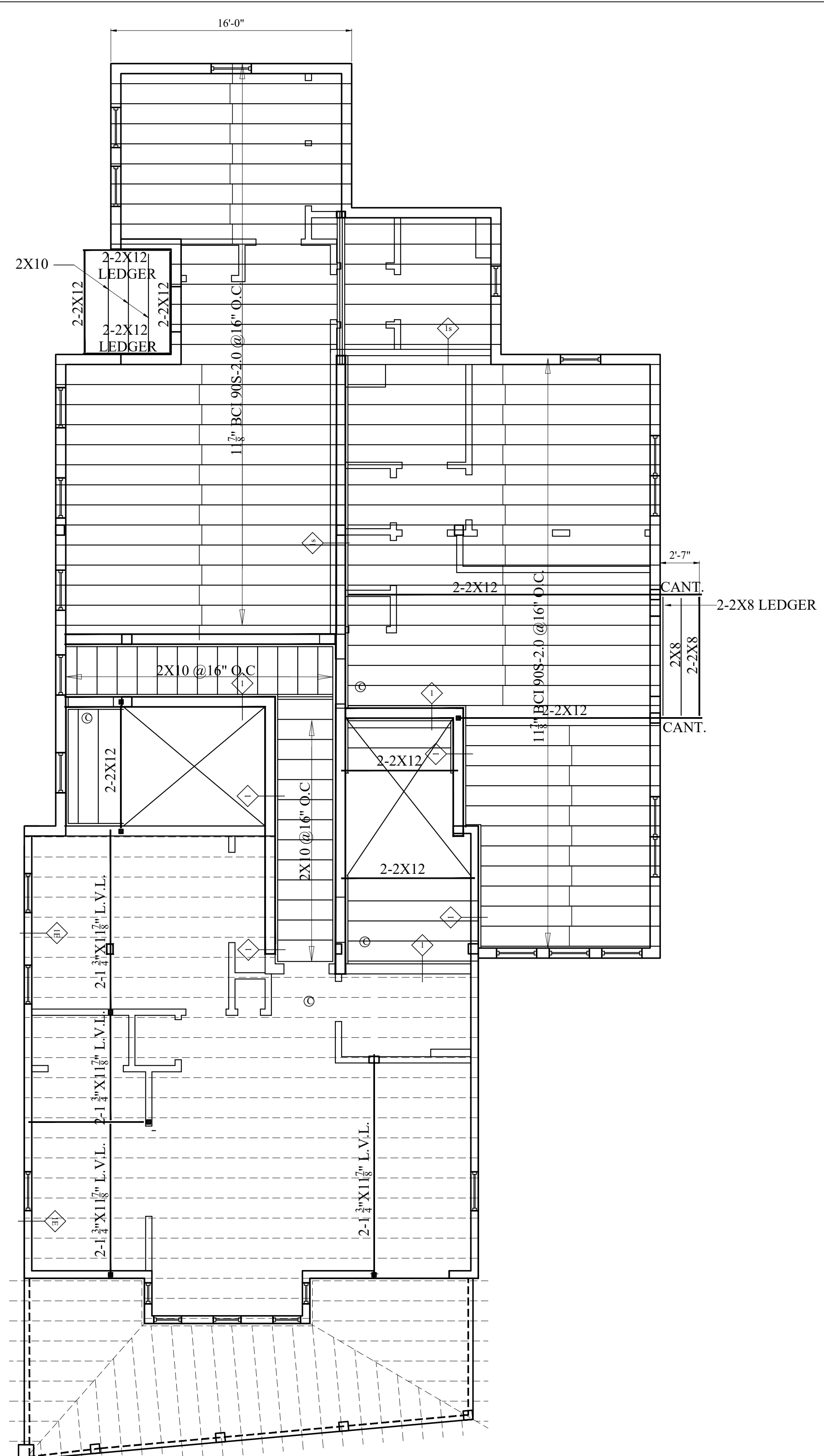
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Sheet No. **S-11**



1 PROPOSED 2ND FLOOR FRAMING PLAN
 3/16" = 1'-0"

DRAWING NOTES:
 --- INDICATES EXIST. FRAMING TO REMAIN.
 FOR JOIST TO BEAM CONNECTION USE SIMPSON STRONG-TIE HANGERS OR EQUAL
 ALL WINDOW HEADERS ARE 3-2X10 MIN, U.O.N.ON PLAN
 | INDICATES JOIST BRIDGING



1 PROPOSED 3RD FLOOR FRAMING PLAN
 3/16" = 1'-0"

Location
PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA

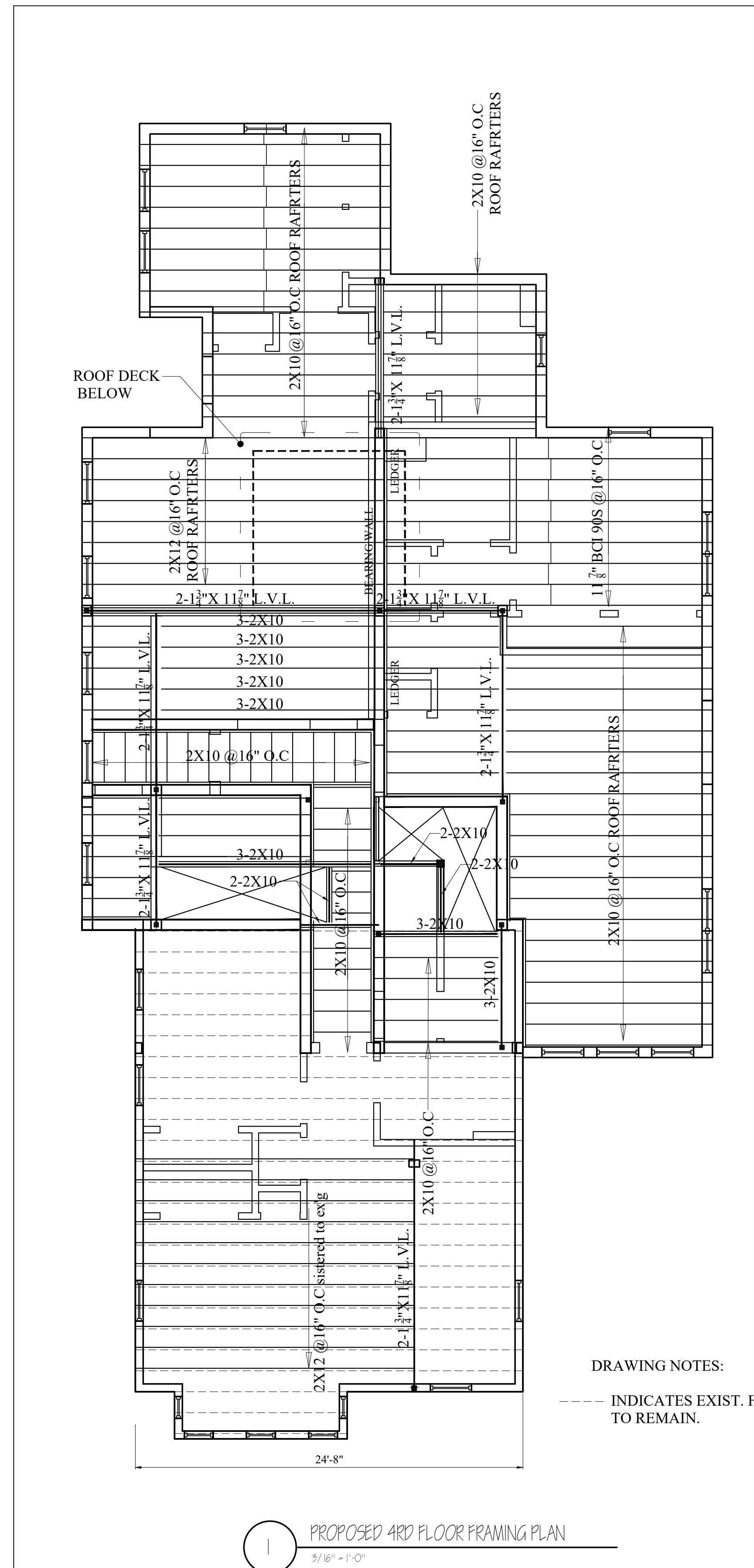
Chocho & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

No.	Revision	Date

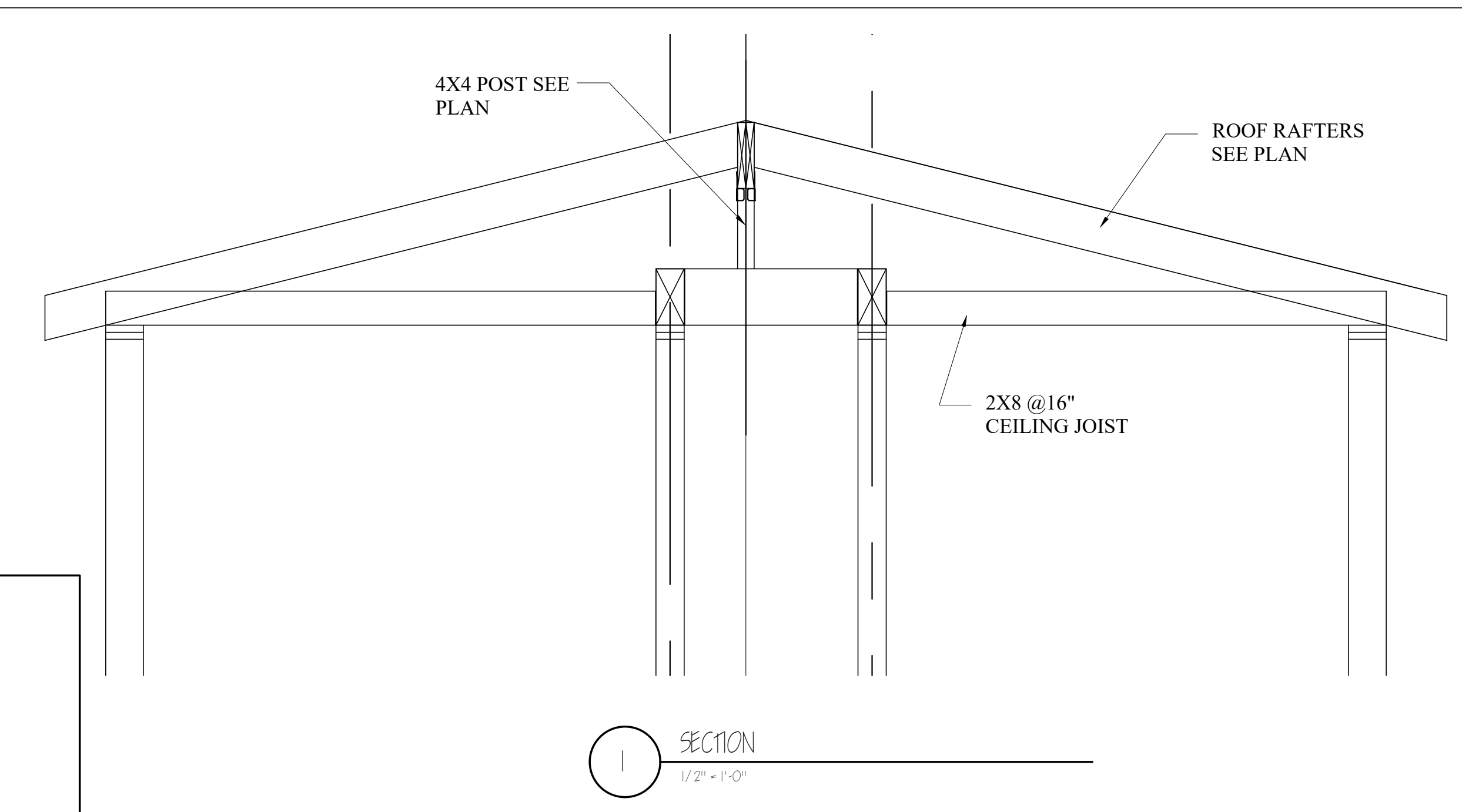
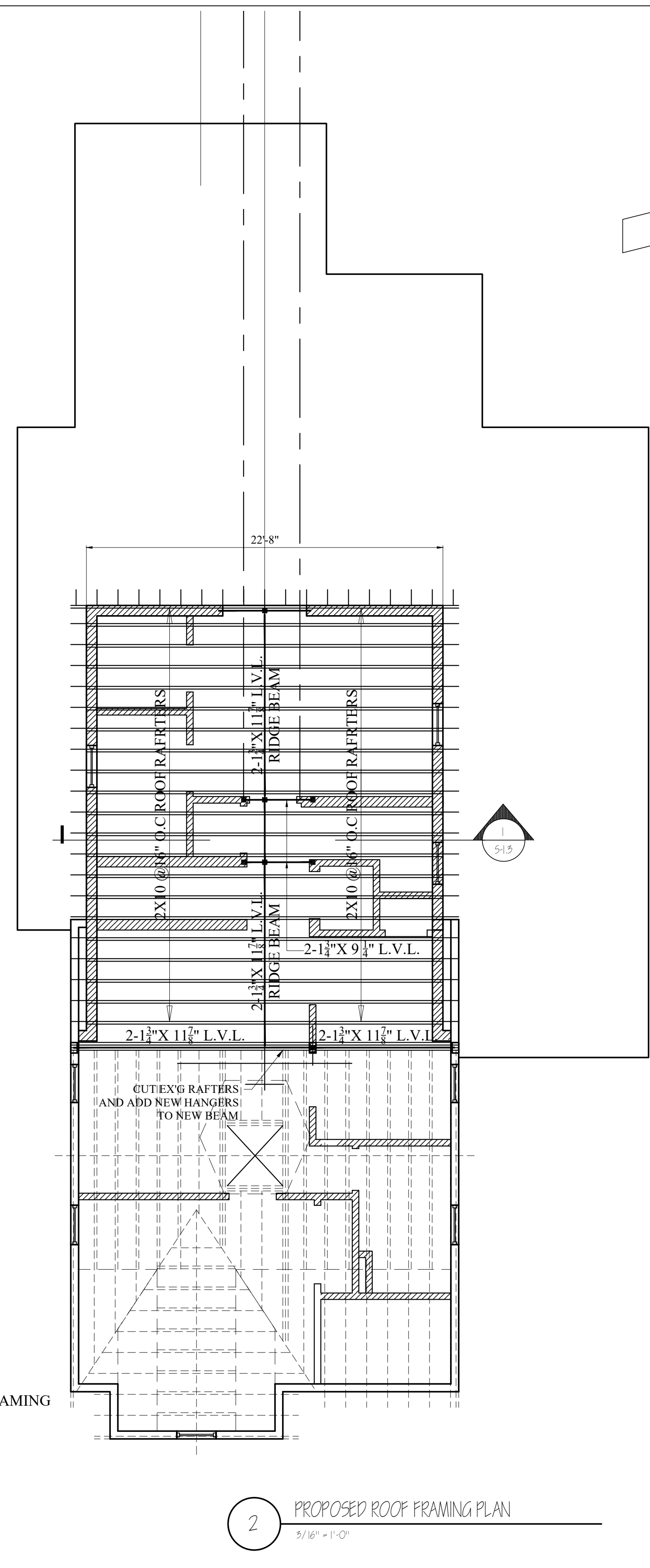
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 Scale: AS NOTED
 Date: 10-15-2020
 Drawn By: SL

Drawing Name
PROPOSED FRAMING PLANS

Sheet No.
S-1.2



DRAWING NOTES:
----- INDICATES EXIST. FRAMING TO REMAIN.



Location

PROPOSED ADDITION 57 BLUE HILL AVENUE ROXBURY, MA

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision	Date

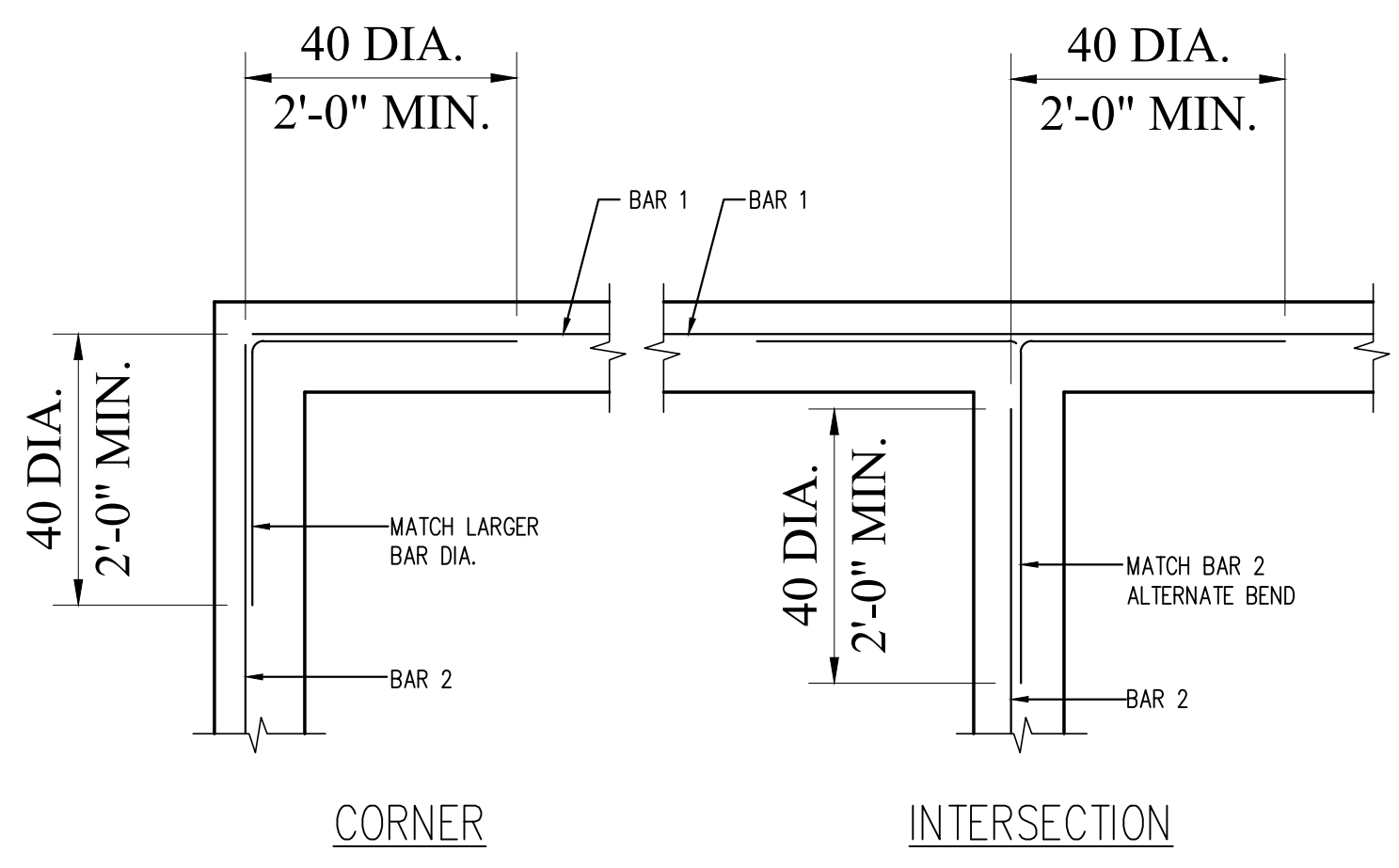
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Date: 10-15-2020
Drawn By: SL

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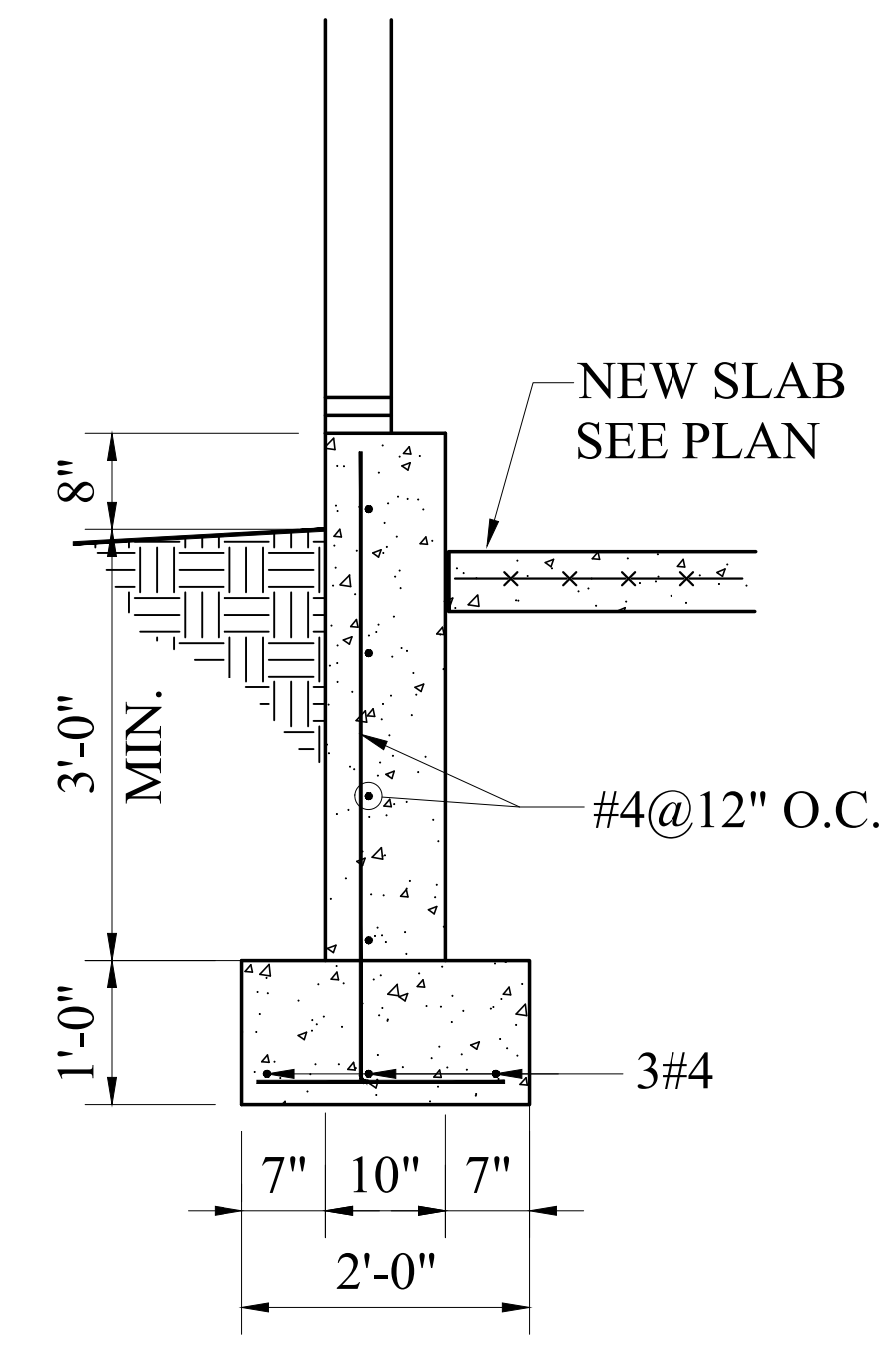
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Sheet No.

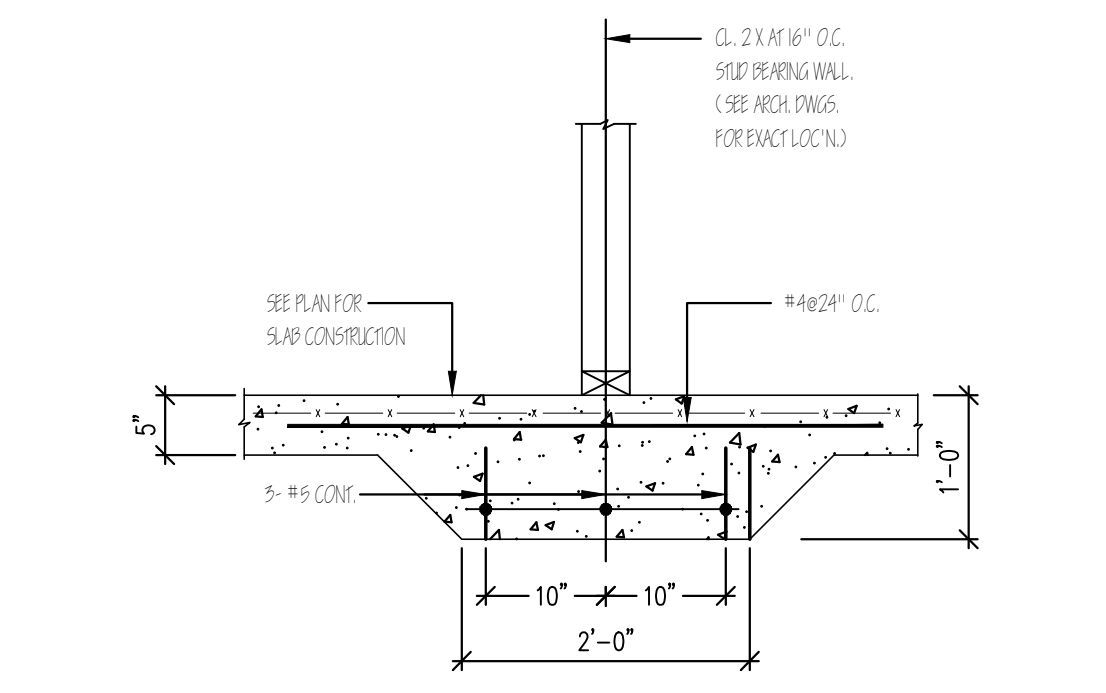
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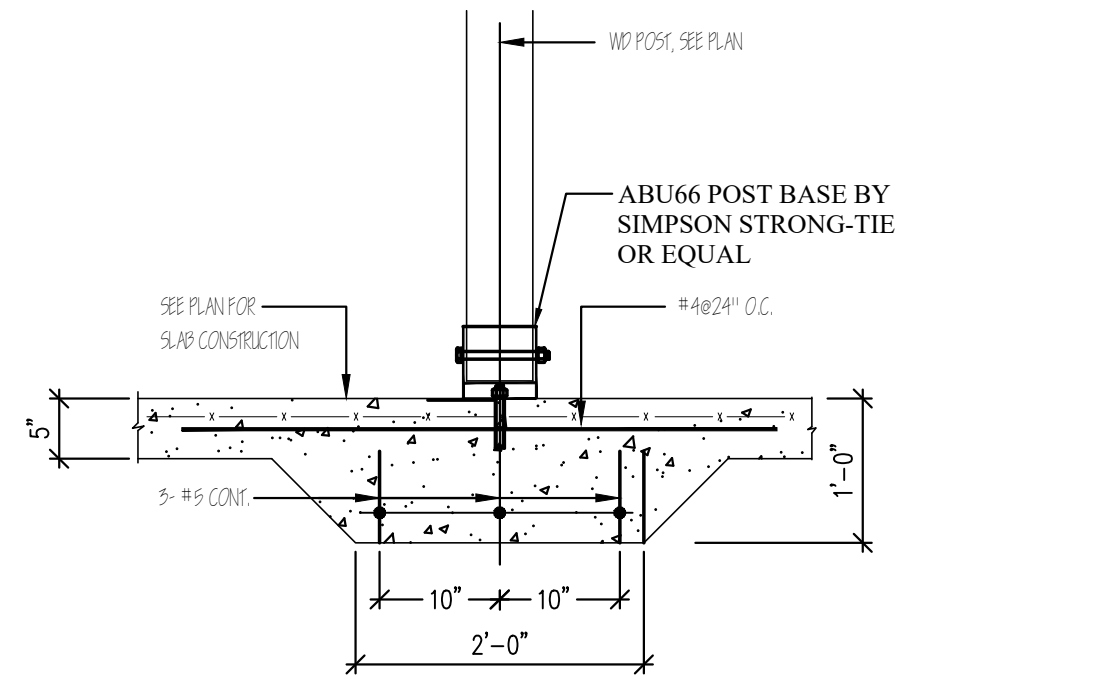
1 PLAN OF HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS OF CONCRETE WALLS
SCALE: 3/4"=1'-0"



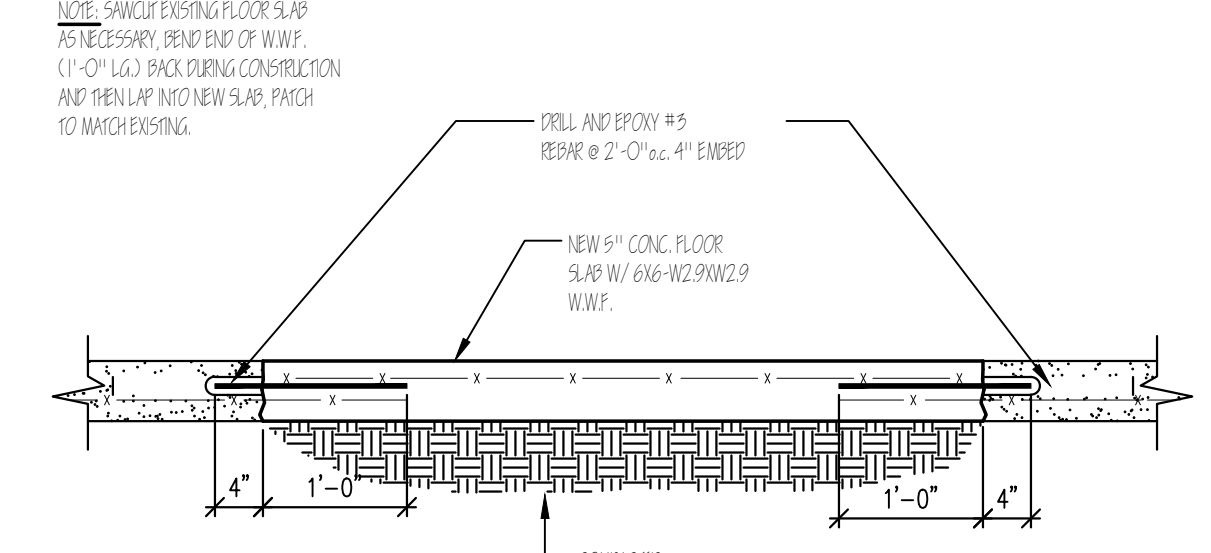
2 FOUNDATION WALL AT ADDITION
3/4"=1'-0"



3 SECTION
3/4"=1'-0"



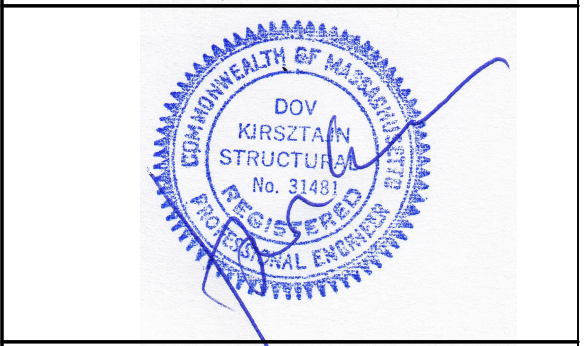
4 SECTION
3/4"=1'-0"



5 SLAB PATCH DETAIL
3/4"=1'-0"

Location
**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

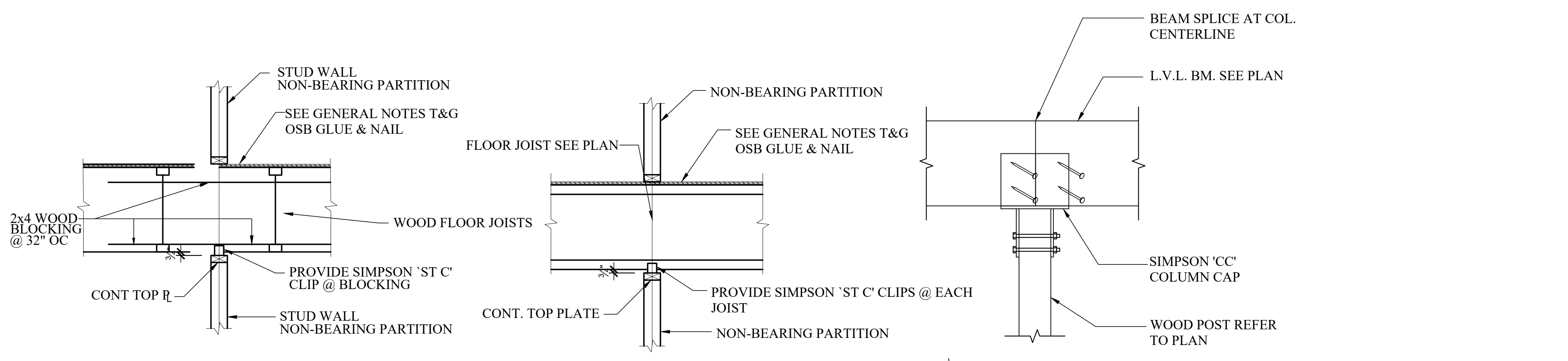


No.	Revision	Date

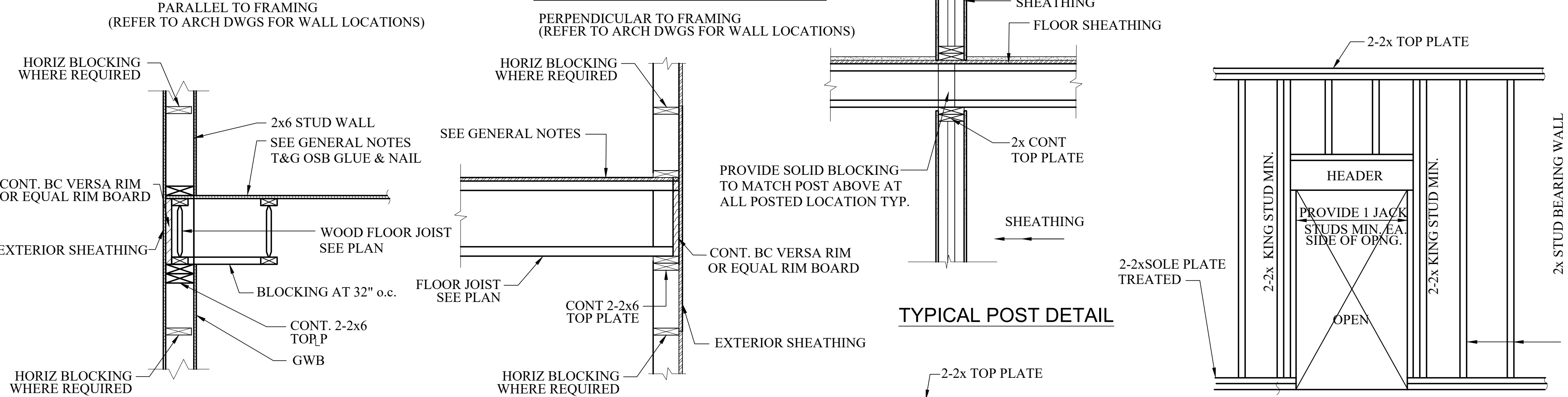
Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By: SL

Drawing Name
**PROPOSED
DETAILS**

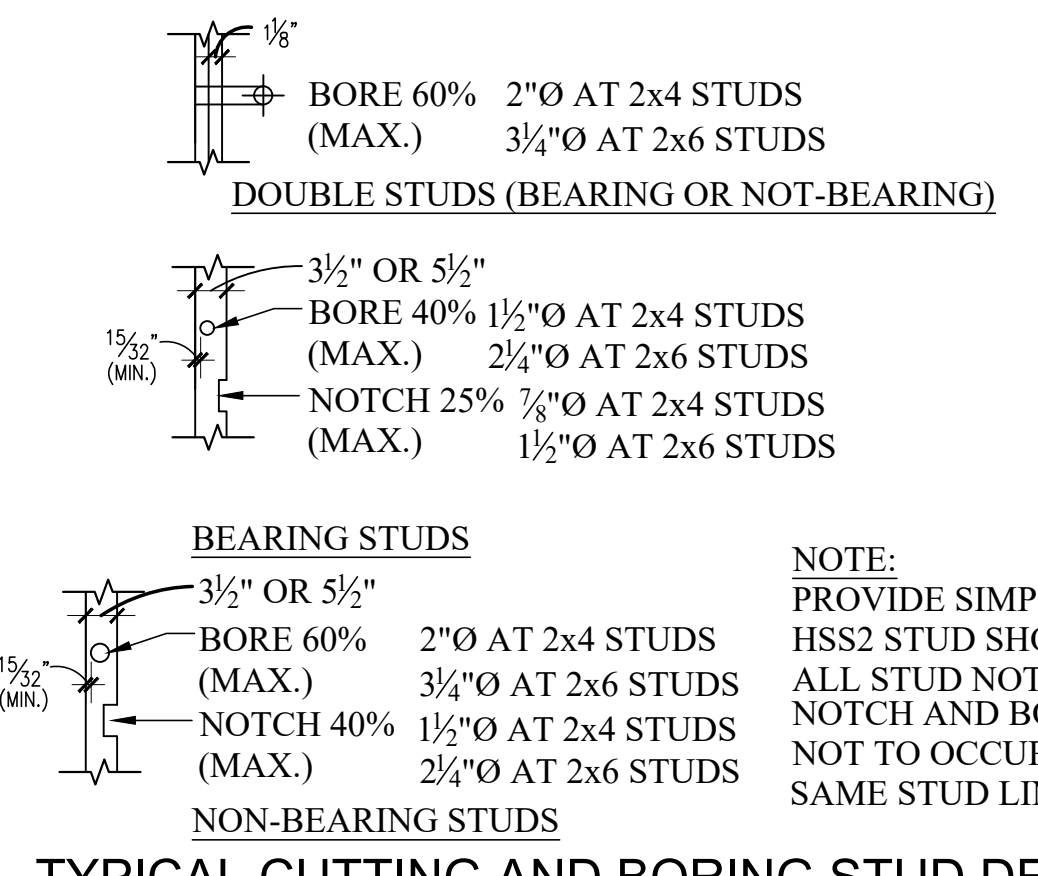
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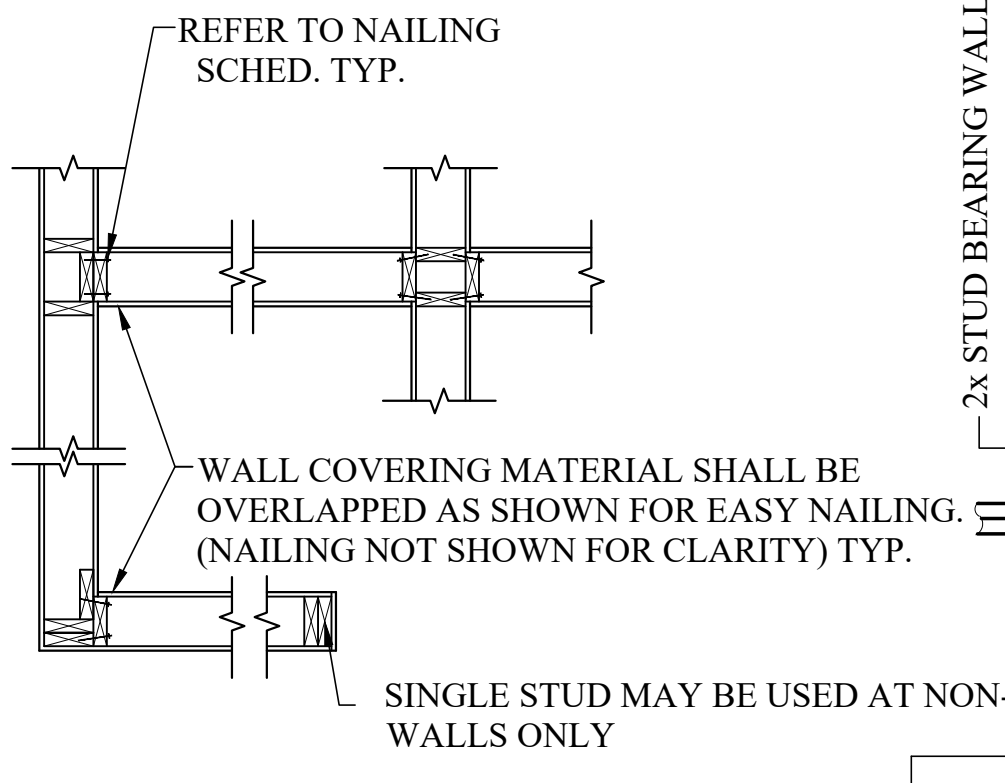
TYPICAL FRAMING AT NON-BEARING PARTITIONS
TYPICAL FRAMING AT NON-BEARING PARTITIONS



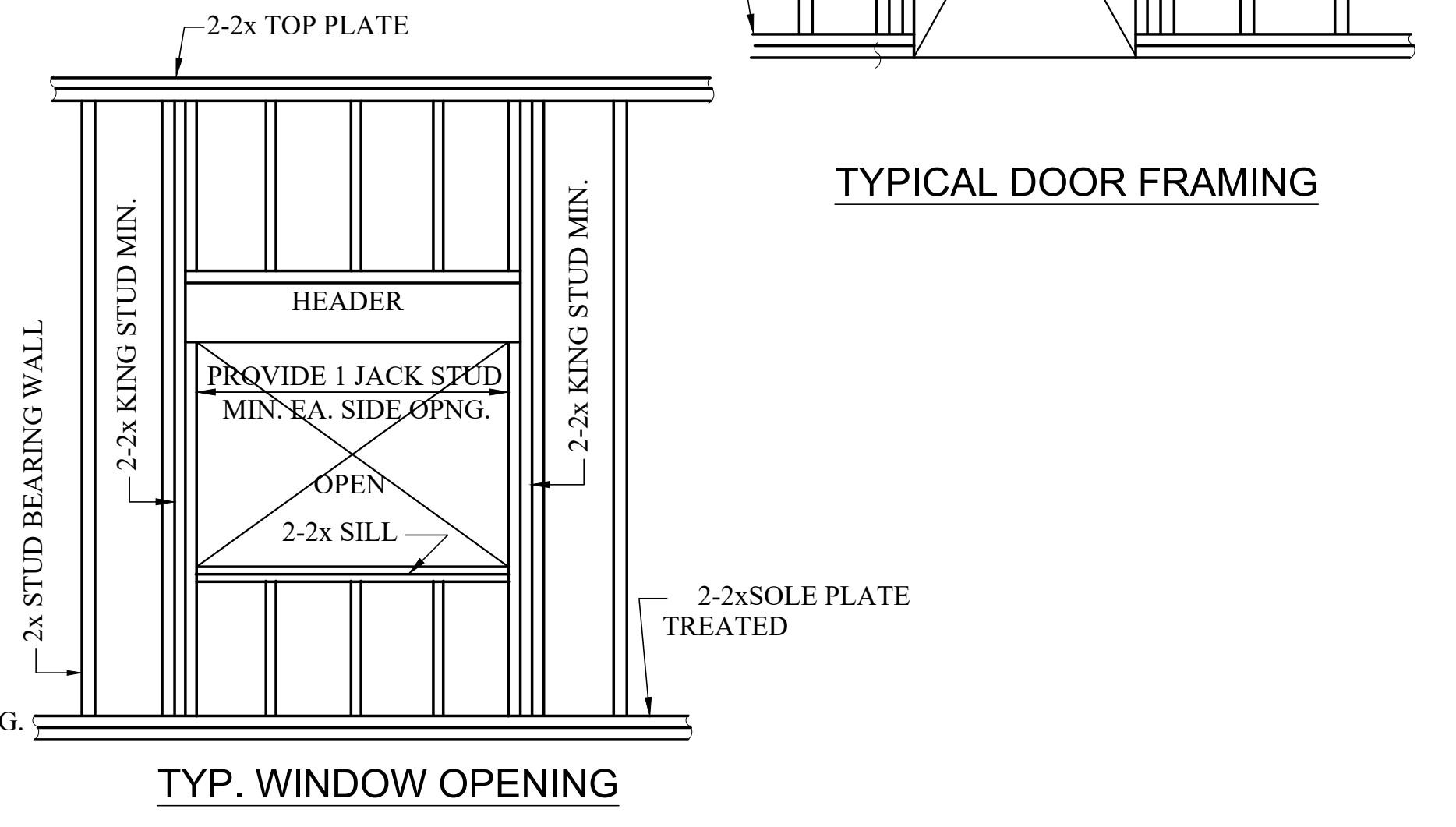
TYPICAL SECTION AT EXTERIOR WALL
TYPICAL SECTION AT EXTERIOR WALL



TYPICAL CUTTING AND BORING STUD DETAIL



TYPICAL PLAN DETAILS



HEADER SCHEDULE (U.N.O.)

BEARING WALLS			
OPNG. WIDTH	HDR. DEPTH	KING STUDS	TRIMMER
3'-6" OR LESS	6"	2-2x6	1-2x6
3'-6" TO 6'-6"	6"	3-2x6	1-2x6
6'-6" TO 8'-6"	SEE PLAN	5-2x6	2-2x6
8'-6" TO 16'-0"	SEE PLAN	7-2x6	3-2x6
NON-BEARING WALLS			
OPNG. WIDTH	HDR. DEPTH	KING STUDS	TRIMMER
4'-0" OR LESS	6"	2-2x6	1-2x6
4'-0" TO 7'-6"	6"	3-2x6	1-2x6
7'-6" TO 10'-0"	10"	5-2x6	2-2x6
10'-0" TO 14'-0"	12"	6-2x6	3-2x6

RECOMENDED FASTENING SCHEDULE

BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
STUD TO SOLE PLATE	8D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
STUD TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE STUDS	10D COMMON	12" O.C. DIRECT
CORNER STUDS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	16" O.C.
DOUBLE CAP PLATE	10D COMMON	16" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
RIBBON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
RIBBON STRIP, 6" OR MORE	10D COMMON	3 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	3 TOE-NAIL
JACK RAFTER TO RIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HIP	10D COMMON 16D COMMON	3 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO STUDS (NO CEILING JOISTS)	10D COMMON 10D COMMON	5 DIRECT OR 3 DIRECT
FLOOR JOISTS TO STUDS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO SILL OR GIRDER	3D COMMON	3 TOE-NAIL
LEDGER STRIP	16D COMMON	3 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	3 TOE-NAIL
CEILING JOISTS (LAPS OVER PARTITION)	10D COMMON	3 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	3 DIRECT
COLLAR BEAM	10D COMMON	3 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO STUD AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
TAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 8 SQ. FT. FLOOR AREA
HEADER BEAMS TO TRIMMERS	20D COMMON	1 EACH END 8 SQ. FT. FLOOR AREA
1" ROOF DECKING (OVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 3 EACH DIRECT RAFTER
1" SUBFLOORING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SUBFLOORING (8" OR MORE)	8D COMMON	3 EACH DIRECT JOIST
2" SUBFLOORING	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (8" OR LESS IN WIDTH)	8D COMMON	2 EACH DIRECT STUD
1" WALL SHEATHING (OVER 8" IN WIDTH)	8D COMMON	3 EACH DIRECT STUD
PLYWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/16", 3/8", OR 1/2")	6D COMMON 8D COMMON 16 GAUGE GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN, LENGTH OF 1" PLUS PLYWOOD THICKNESS SAME AS IMMEDIATELY ABOVE	6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 5" O.C. INTERMEDIATE
(OVER 6" IN WIDTH)	6D COMMON OR 6D ANNULAR OR SPIRAL THREAD (1/2", 3/4", 1", 1 1/8")	6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE
PLYWOOD SUBFLOORING (1/2", 3/4", 1", 1 1/8")	6D COMMON OR 6D ANNULAR OR SPIRAL THREAD (1/2", 3/4", 1", 1 1/8") 10D COMMON OR 8D RING SHANK OR 8D ANNULAR OR SPIRAL THREAD (3/8")	6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 4" O.C. EDGES & 7" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
BUILT-UP GIRDERS AND BEAMS	20D COMMON	32" O.C. DIRECT
CONTINUOUS HEADER TO STUD	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GYPSUM SHEATHING	12 GAUGE 1 3/4" LARGE HEAD CORROSION-RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAYMENT (1/4", 3/4")	6D ANNULAR THREADED	6" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING 1/2" OR LESS	6D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SUBFLOORING (5/8" OR GREATER)	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHINGLES, WOOD*	NO. 14 B&S GAGE CORROSION RESISTIVE	2 EACH BEARING
WEATHER BOARDING	8D CORROSION	2 EACH BEARING

NOTE * SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 3/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN 780 CMR 1225.4.4.

Location
PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA

Dooy & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision	Date

Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By: SL

Drawing Name
PROPOSED DETAILS

Sheet No.
S-2.2