

PREPARED FOR:
 OWNERS OF RECORD:
 CEMAL A. KOZAK
 CEMAL A. KOZAK
 54 OAK STREET
 HYDE PARK, MA 02136

DEED: BK 70965; PG 218
 BK 4030; PG END
 BK 6982; PG 539
 BK 7143; PG 246
 PL B; S; PG 32 (NORFOLK)
 PL B; S; PG 24 (NORFOLK)
 BK 887; PG 247 (NORFOLK)
 2321-B
 18149-A
 27212-A
 31288-A

REFERENCES:
 BK 70965; PG 218
 BK 4030; PG END
 BK 6982; PG 539
 BK 7143; PG 246
 PL B; S; PG 32 (NORFOLK)
 PL B; S; PG 24 (NORFOLK)
 BK 887; PG 247 (NORFOLK)
 2321-B
 18149-A
 27212-A
 31288-A

NOTES:
 PARCEL ID: 1809050000

CITY OF BOSTON ENGINEERING RECORDS
 FB 1228; PGS 84-142

NO. 57-61 FARMQUAIT AVENUE
 N/F
 G.S.-57 REALTY TRUST
 BR 23294; PG 78

NO. 65 FARMQUAIT AVENUE
 N/F
 ROBIN B. FORTMAN
 BR 20546; PG 179

NO. 73-79 FARMQUAIT AVENUE
 N/F
 G.S.-79 REALTY TRUST
 BR 23105; PG 190

NO. 81-87 FARMQUAIT AVENUE
 N/F
 FARMQUAIT TERRACE
 CONDOMINIUM
 BR 14855; PG 195

NO. 50 OAK STREET
 N/F
 GUIDO FERROTTA
 BR 22053; PG 349

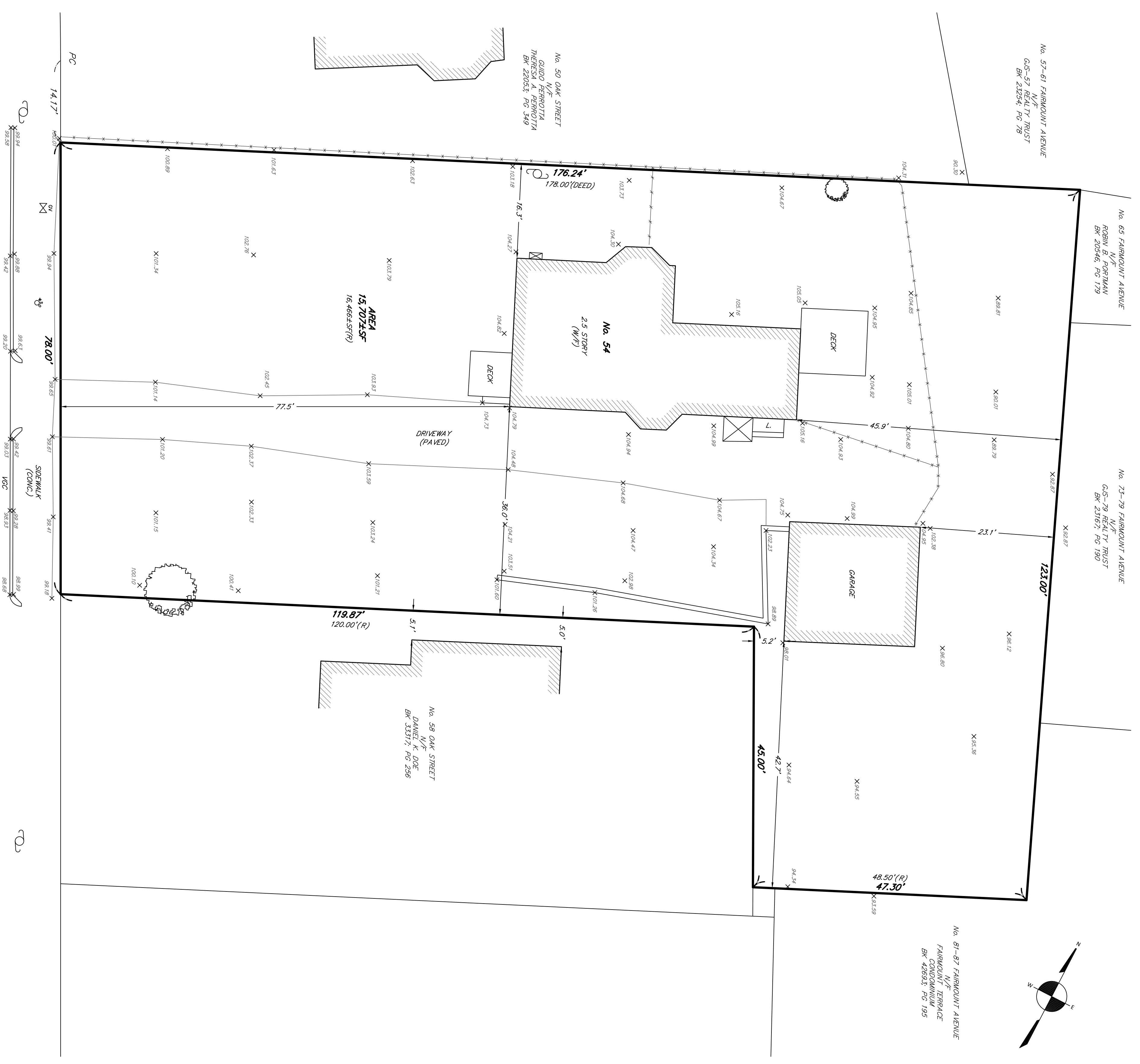
NO. 54 OAK STREET
 2.5 STORY
 (N/F)

NO. 58 OAK STREET
 DANIEL K. DOE
 BR 13117; PG 296

SITE PLAN OF LAND

LOCATED AT
54 OAK STREET
 HYDE PARK, MA

DATE: JANUARY 8, 2025 SCALE: 1.0 INCH = 100 FEET



PREPARED FOR:
OWNERS OF RECORD:
CELANA A. KOZAK
CORN WALLS
54 OAK STREET
HYDE PARK, MA 02136

REFERENCES:
DEED: BK 70965; PG 218
PLAN: BK 4030; PG END
BK 6982; PG 539
BK 7143; PG 246
PL B-3; PG 32 (NORFOLK)
PL B-3; PG 24 (NORFOLK)
BK 887; PG 247 (NORFOLK)
2321-B
11669-A
18149-A
27212-A
31288-A

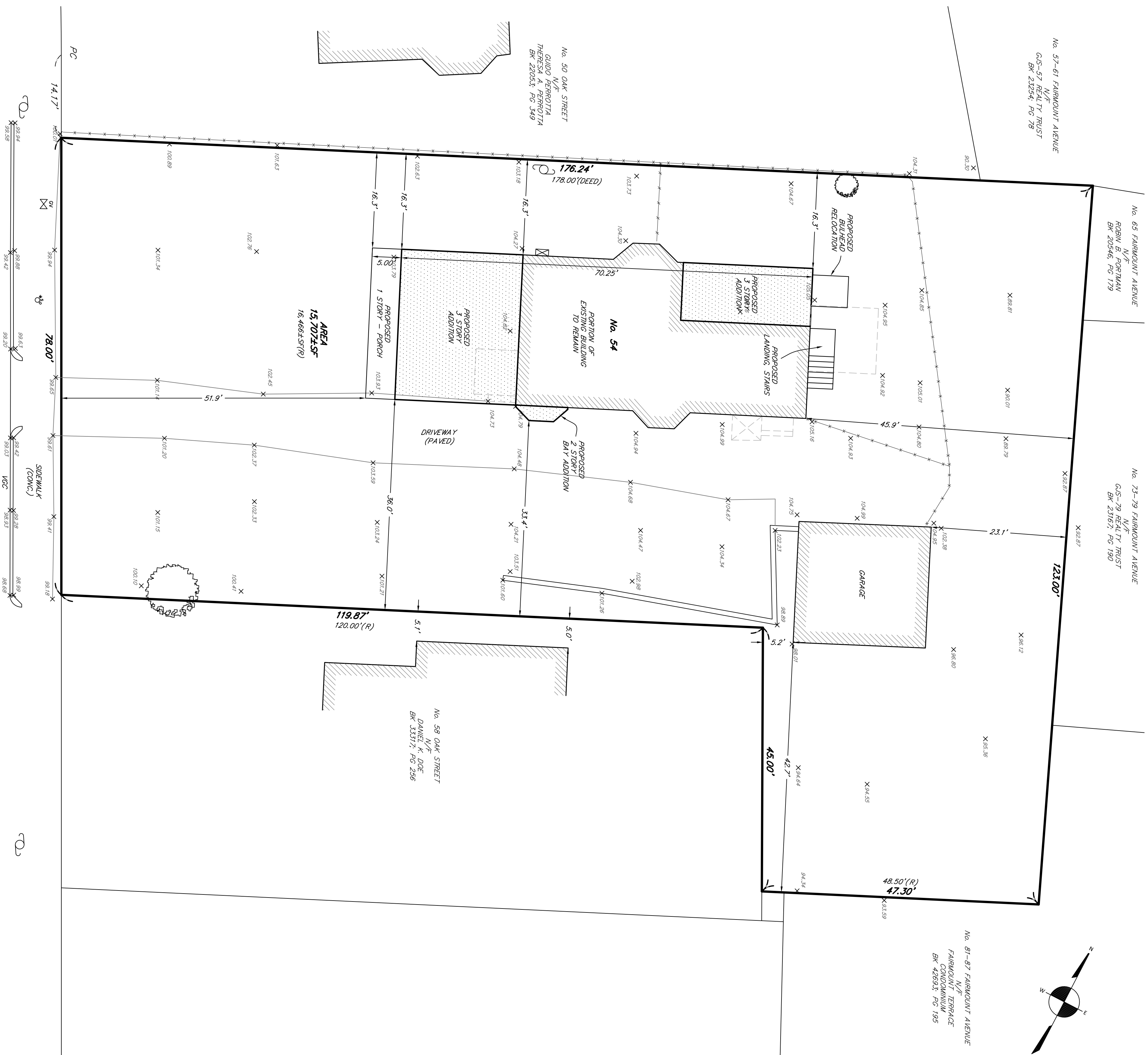
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FB 1228; PGS 84-142
L-9103 FARMINGTON AVENUE
L-10409 OAK STREET
L-10410 OAK STREET
L-10411 OAK STREET

NOTES:
PARCEL ID: 1809050000

SITE PLAN OF LAND

LOCATED AT
54 OAK STREET
HYDE PARK, MA

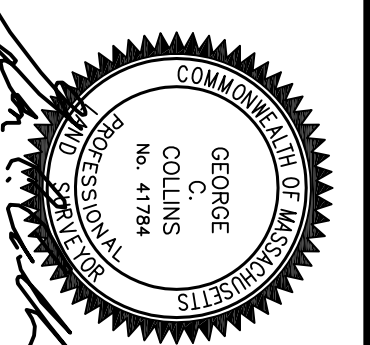
DATE: JANUARY 9, 2025 SCALE: 1.0 INCH = 100 FEET



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF DECEMBER 26, 2024 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

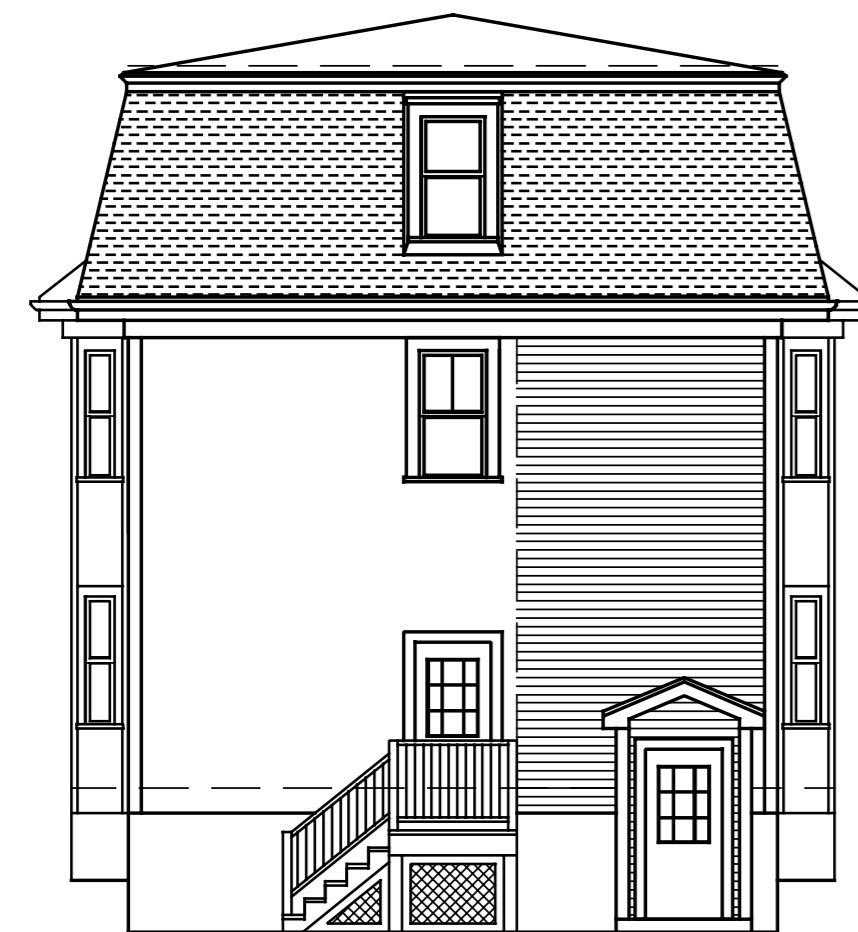
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAPS, THE MAPS SHOWED THIS PROPERTY AS AN INUNDATION AREA DESIGNATED AS X ZONE. COMMUNITY PANEL: 25025G0088H EFFECTIVE DATE: 7/3/2024

FIELD:	JHT/K
DRAWN:	NPH
CHECK:	GCC
DATE:	01/09/25
JOB #	24-00888



3 Unit Renovation & Addition

54 Oak Street – Boston, Massachusetts



List of Drawings:

- Title Sheet
- EX1 Existing Floor Plans
- A1 Basement, First Floor Plan & Wall Types
- A2 Second, Third Floor Plan & Details
- A3 Building Sections & Details
- A4 Exterior Elevations
- A5 First, Second Floor Framing Plan & Details
- A6 Third Floor & Roof Framing Plan
- A7 Basement & First Floor Power Plan
- A8 Second & Third Floor Power Plan

New Gross Floor Area

Basement	1,839 s.f. – gross floor area (excluded)
1st Floor	1,839 s.f. – gross floor area
2nd Floor	1,839 s.f. – gross floor area
Third Floor	1,788 s.f. – gross floor area
Gross Floor Area	5,466 s.f.
Lot Area	16,518 s.f.
Floor Area Ratio	.33 FAR

ADDITIONAL INFORMATION:

1. USE GROUP CLASSIFICATION: R-2
2. CONSTRUCTION TYPE CLASSIFICATION TYPE 5B
3. SQUARE FOOTAGE AREA OF BUILDING PER FLOOR
GROSS TOTAL AREA: 7,305 SF
BASEMENT GROSS FLOOR AREA: 1,839 SF
FIRST GROSS FLOOR AREA: 1,839 SF
SECOND FLOOR GROSS AREA: 1,839 SF
THIRD FLOOR GROSS AREA: 1,788 SF
4. AMOUNT OF ENCLOSED SPACE
GROSS TOTAL VOLUME: 69,384 CU. FT.
BASEMENT: 17,764 CU. FT.
FIRST FLOOR: 17,764 CU. FT.
SECOND FLOOR: 17,764 CU. FT.
THIRD FLOOR: 16,092. FT.
5. HEIGHT OF BUILDING ABOVE GRADE: 3 STORIES & 32.33 FT.
6. DESIGNED OCCUPANT LOAD
RESIDENTIAL 200 SF PER OCCUPANT REQUIRED
7,227 SF / 200 SF PER OCC. = 36.135
7. SPECIAL SYSTEMS:
TYPE OF FIRE SUPPRESSION:
NFPA 13R SPRINKLER SYSTEM:
DRY SYSTEM IN EAVES;
WET SYSTEM IN ALL OTHER SPACES
8. MECHANICAL INFORMATION:
TYPE OF HVAC SYSTEM & EQUIPMENT:

9. ENERGY CODE COMPLIANCE:
STRETCH CODE REQUIREMENTS APPLY
METHOD: RESCHECK 4.6.4
CLIMATE ZONE 5, 6333 HDD
17% GLAZING
U-VALUES (SEE RESCHECK FOR AREAS & R-VALUES)
PROVIDE BLOWER TEST ON SITE
10. DATA PLATE INFORMATION:
THE FOLLOWING WILL BE INSTALLED IN A KITCHEN OR BATHROOM
CABINET OR CLOSET:
1 DATA PLATE PER BOX
1 STALE LABEL PER BOX
1 PFS LABEL PER BOX
11. ACCESSIBILITY
ALL NEW UNITS SHALL COMPLY WITH GROUP 1
ACCESSIBILITY AND SHALL COMPLY WITH CMR 521 RULES
AND REGULATIONS OF THE ARCHITECTURAL BARRIER BOARD.
SEE PLANS FOR REQUIRED 30x48 SPACE AT BATHROOM
FIXTURES AND 40x48 SPACE AT KITCHENS. ALL
APPLIANCES & FIXTURES SHALL BE ABLE TO BE ADJUSTED
TO CONFORM TO GROUP1 REQUIREMENTS.
12. APPLICABLE CODES:
THE INTERNATIONAL BUILDING CODE (IBC) 2015
THE MASSACHUSETTS STATE BUILDING CODE (780 CMR),
9TH EDITION THE MASSACHUSETTS ARCHITECTURAL ACCESS
BOARD (521 CMR)

INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2015
WITH MASSACHUSETTS AMENDMENTS
NATIONAL ELECTRIC CODE (NEC) 2017 WITH
MASSACHUSETTS AMENDMENTS
INTERNATIONAL MECHANICAL CODE (IMC), 2015
248 CMR 10.00 UNIFORM STATE PLUMBING CODE
(MASSACHUSETTS)
248 CMR 4.00 MASSACHUSETTS FUEL GAS CODE

TABLE OF 5B CONSTRUCTION FIRE RESISTANCE

1. STRUCTURAL FRAMING; COLUMNS, GIRDERS, TRUSSES	OHR
2. BEARING WALLS EXTERIOR	OHR
< 10' FROM ADJACENT STRUCTURE	1HR EACH DIRECTION
3. BEARING WALLS, INTERIOR	OHR
4. NONBEARING WALLS & PARTITIONS, EXTERIOR	
<10' FROM ADJACENT STRUCTURES	1HR
10'-30' FROM ADJACENT STRUCTURES	OHR
30' OR GREATER FROM ADJACENT STRUCTURES	OHR
NONBEARING WALLS INTERIOR	OHR
FLOOR CONSTRUCTION INCLUDING SUPPORTS BEAMS & JOISTS	OHR
5. ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	OHR
6. HORIZONTAL SEPARATION BETWEEN DWELLING UNIT	.5HR
7. VERTICAL SEPARATION BETWEEN DWELLING UNITS	.5HR
8. STAIR ENCLOSURE CONNECTING 4 OR MORE STORIES	2HR
9. STAIR ENCLOSURE CONNECTING LESS THAN 4 STORIES	1HR
10. CORRIDOR FIRE RESISTANCE RATING	.5HR
11. MAXIMUM EXIT ACCESS TRAVEL DISTANCE	250'

Architect:

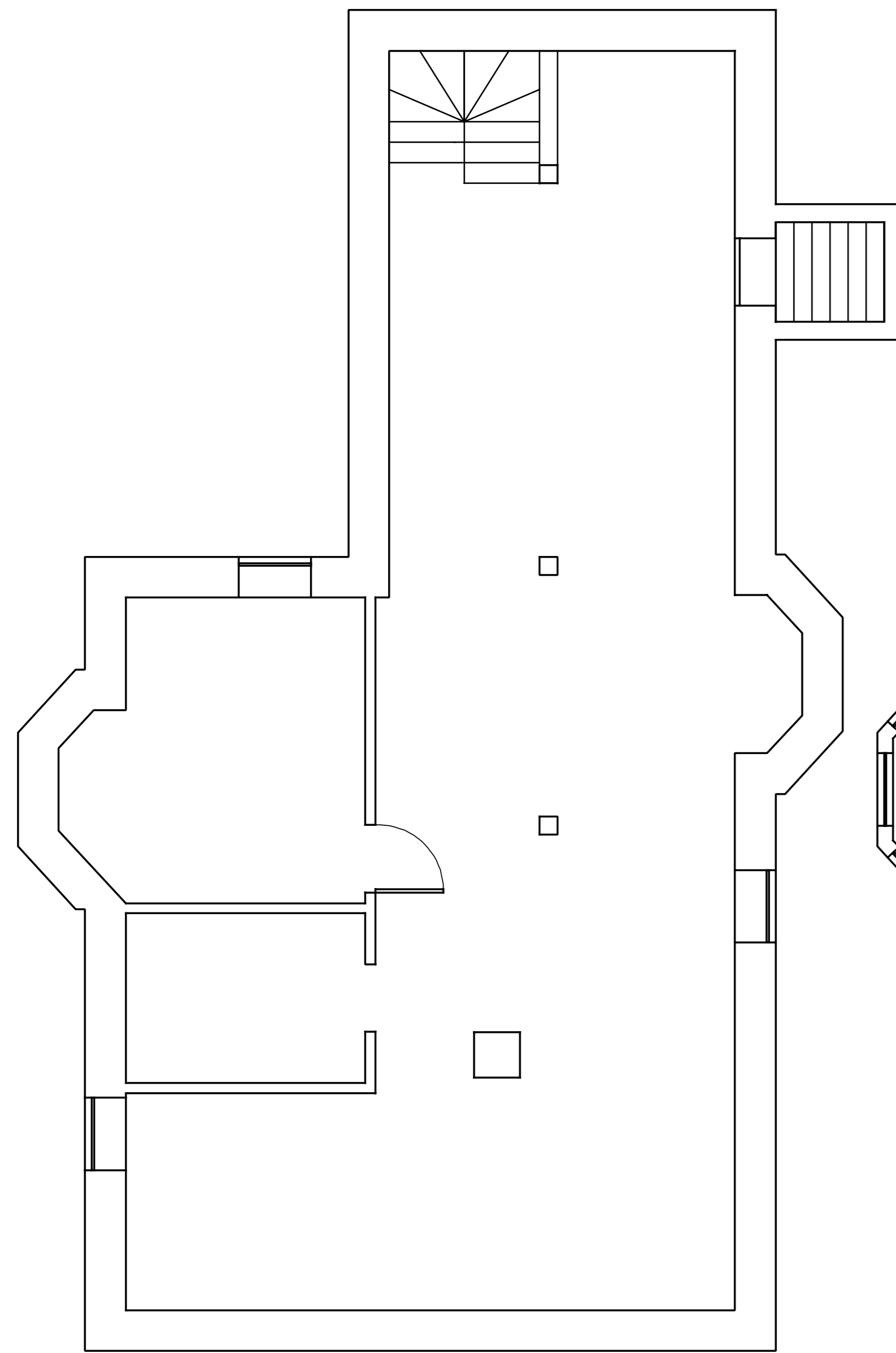
AESTHETIC IMAGES

Architects / Planners

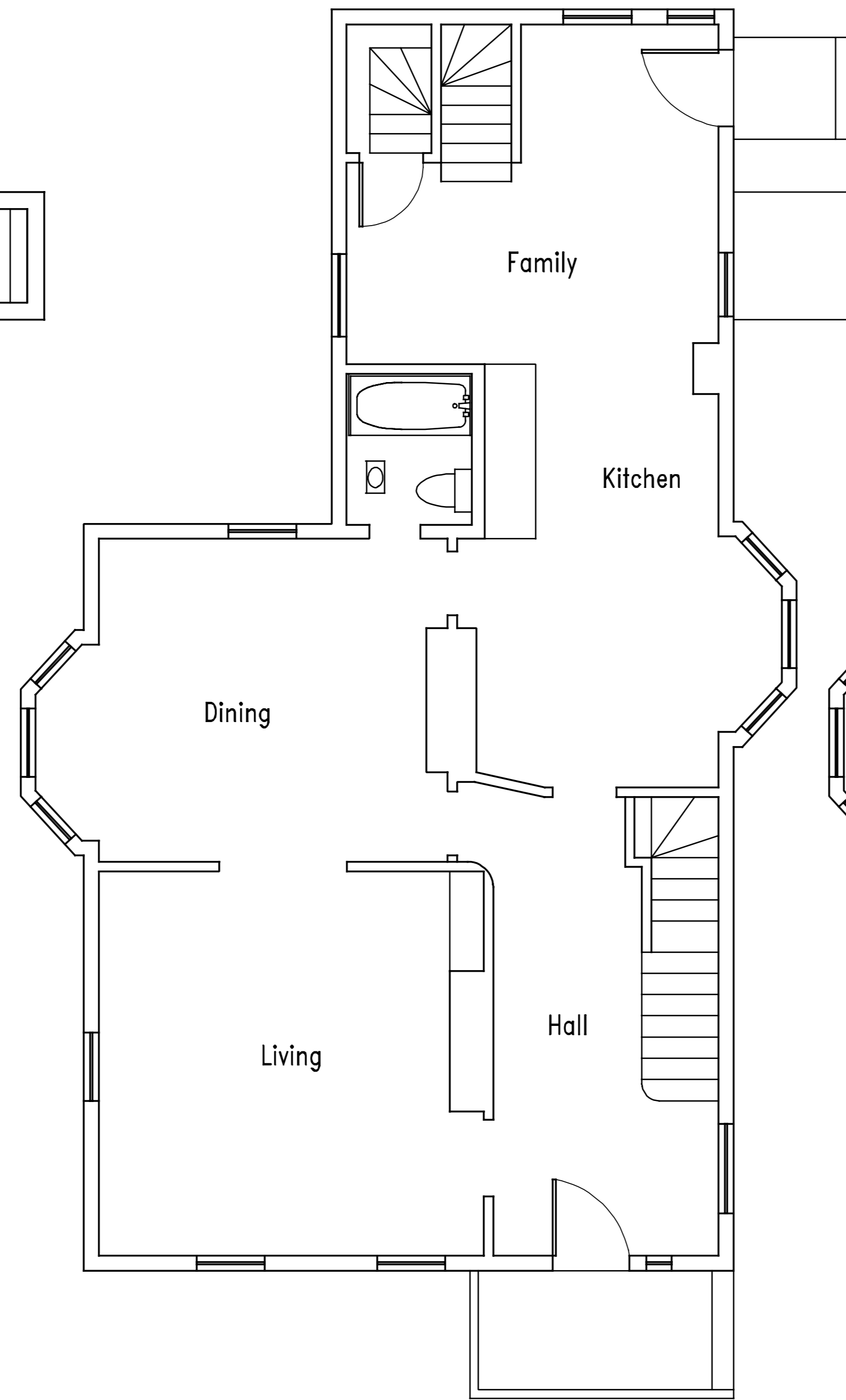
7 Stimson Street
Boston, MA 02132

Phone: (617) 323-6081
Fax: (617) 323-6081

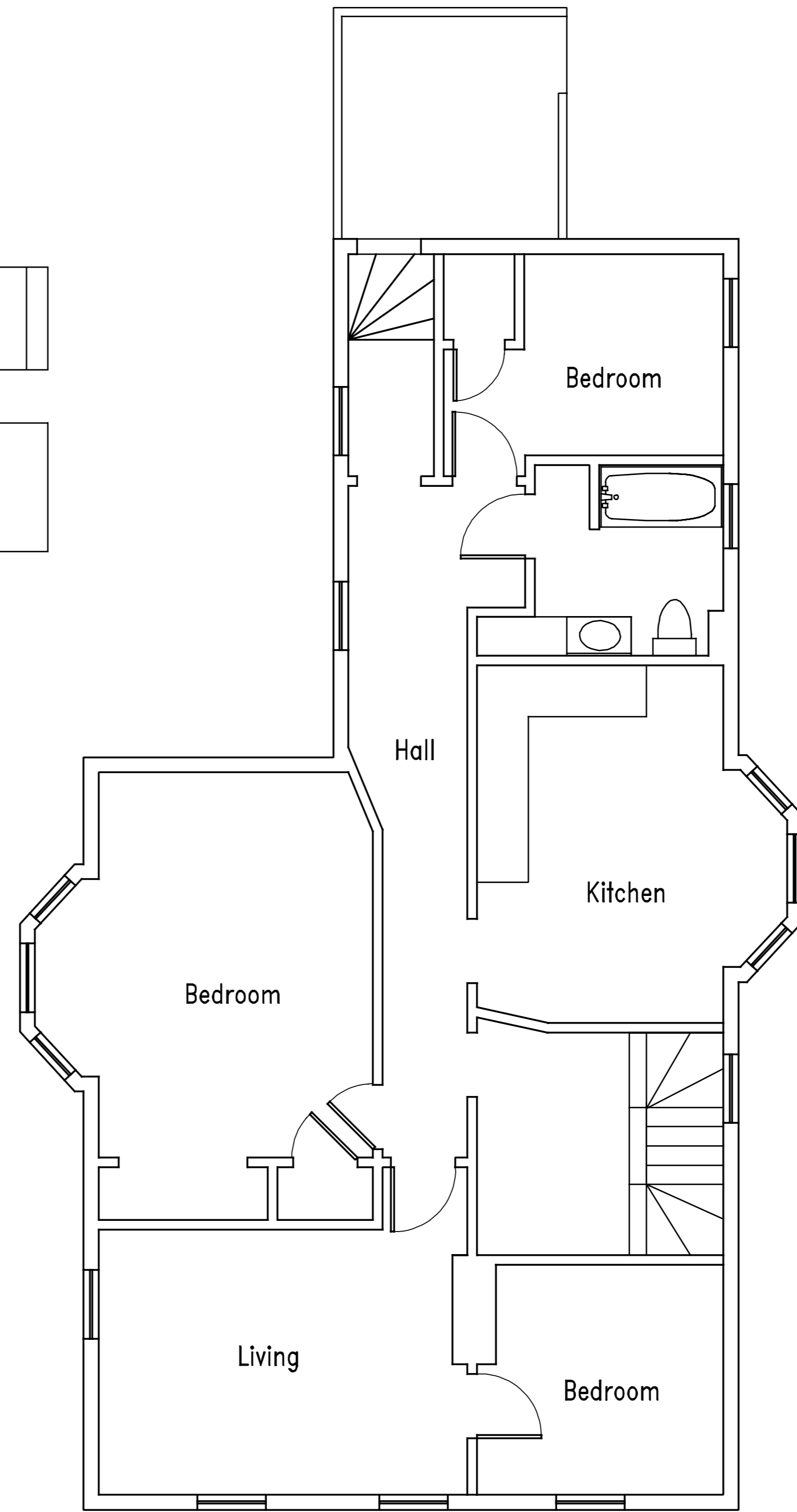
Permit Document 12/26/2024



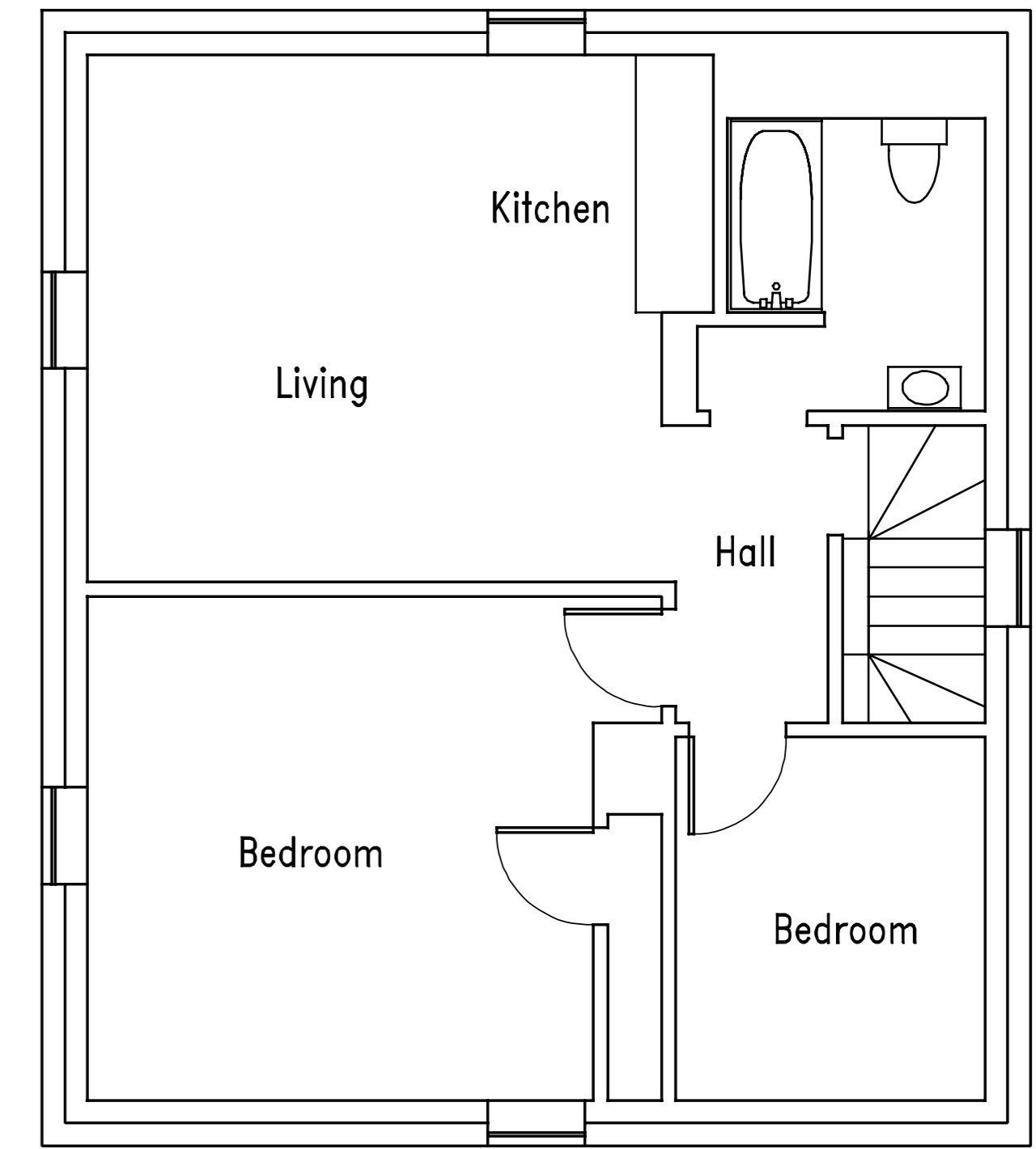
1 Basement Floor Plan
Scale: 1/4" = 1'-0"



2 First Floor Plan
Scale: 1/4" = 1'-0"



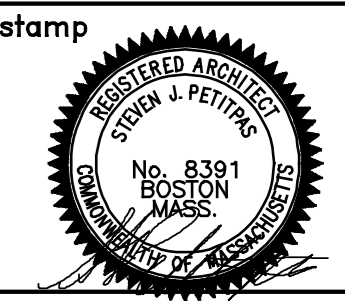
3 Second Floor Plan
Scale: 1/4" = 1'-0"



4 Third Floor Plan
Scale: 1/4" = 1'-0"

north arrow

AESTHETIC IMAGES
Architects / Planners
7 Stinson Street
Boston, Massachusetts 02132
Phone: (617) 323-6081
Fax: (617) 323-6081



Project
Three Unit Renovation
45 Oak Street
Boston, Massachusetts

revisions

date
11/19/2024

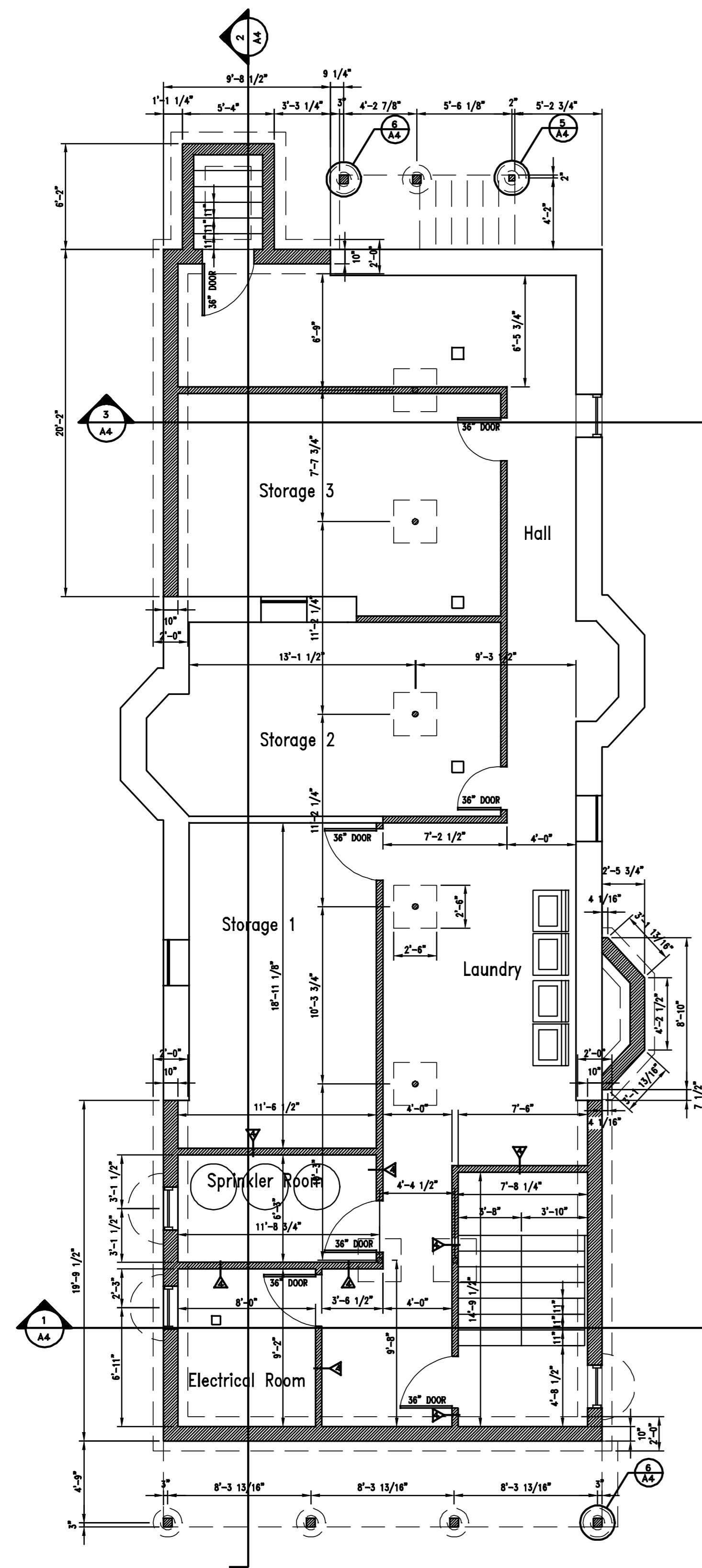
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drawn
SJP

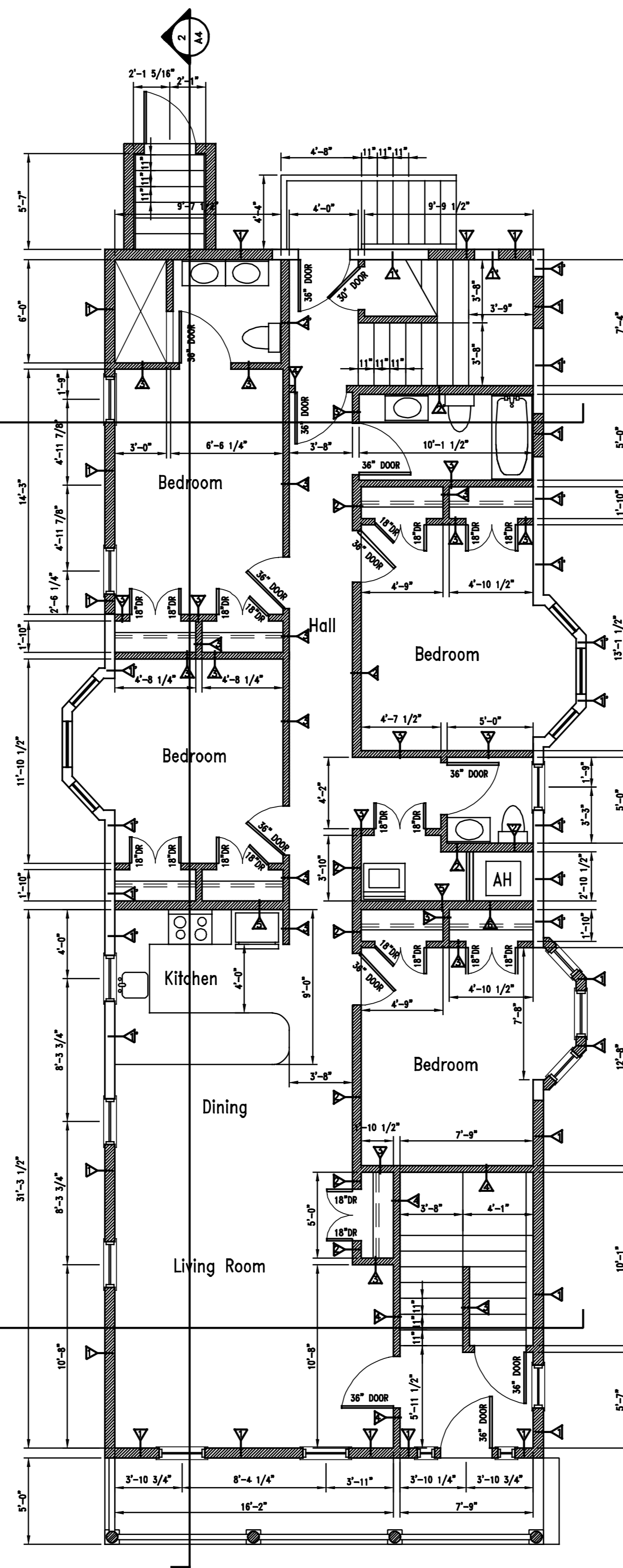
job no.

title
Existing Floor Plans

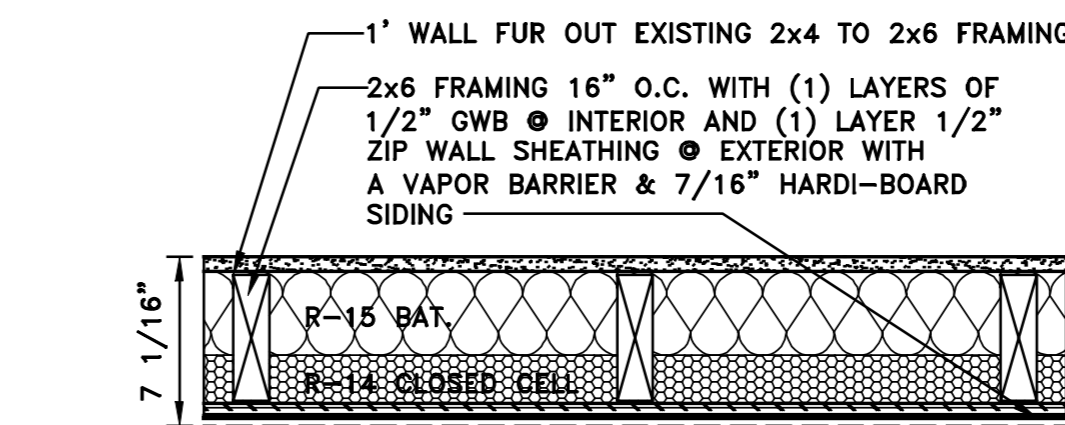
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EX1



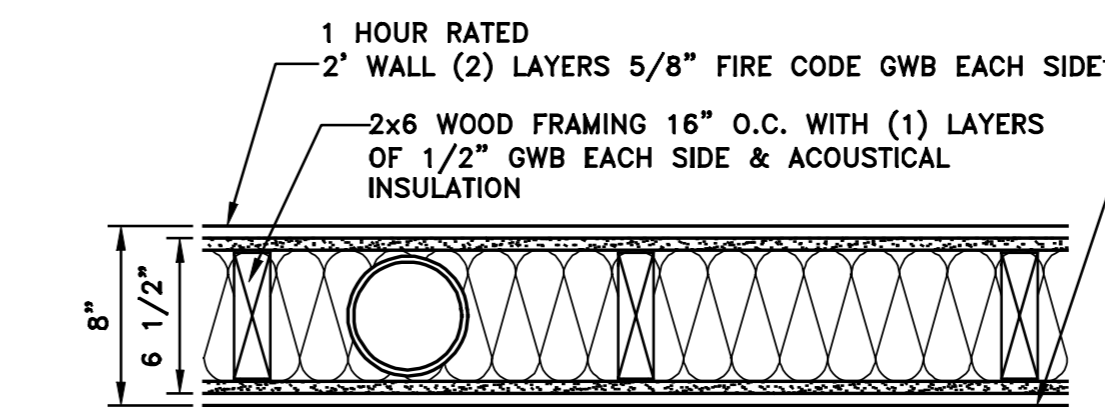
1 Basement Plan
Scale: 3/16" = 1'-0"



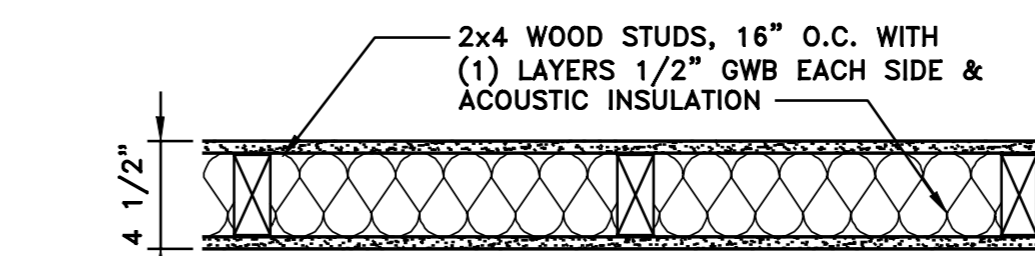
2 First Floor Plan
Scale: 3/16" = 1'-0"



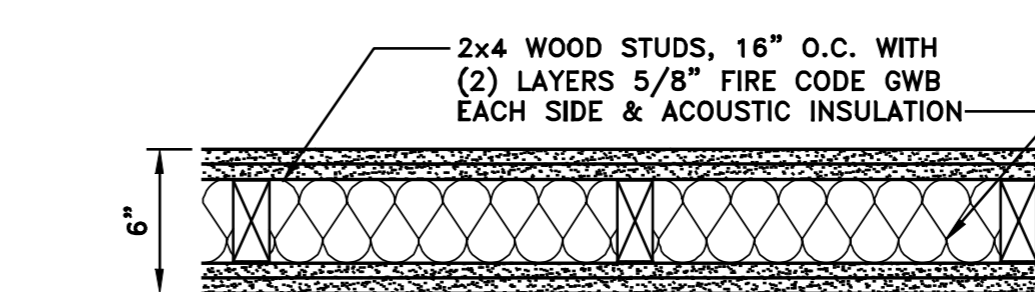
1 NR Exterior Wall
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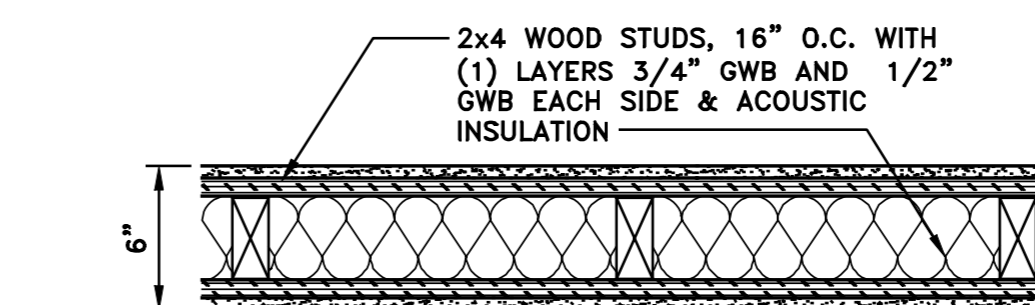
2 Wide Interior Wall
Scale: 1-1/2" = 1'-0"



3 Interior Partition
Scale: 1-1/2" = 1'-0"



4 2 Hour Rated Wall
Scale: 1-1/2" = 1'-0"



5 Interior Shear Wall
Scale: 1-1/2" = 1'-0"

General Notes:

- ITEMS TO BE REMOVED
- NEW ITEMS INSTALLED
- EXISTING ITEMS TO REMAIN

1. It is required that the contractor and all subs inspect the project and verify all existing conditions. They will be held responsible for the full extent of all required work prior to bid and during construction.
2. The contractor and all the subs shall confirm and verify in the field all conditions, dimensions, quantities and locations prior to submitting their final bid and installation of ANY items or materials, all through the construction process. Failure to do so will result in the contractor being solely responsible for the cost of making all required corrections.
3. The contractor and subs shall notify the owner or architect in writing of any and all conflicts in the field.
4. Drawn information is taken from existing and random field measurements and is provided only to assist the contractor and the subs in establishing the scope of work and therefore not to be relied upon. Do not scale drawings for quantities, lengths, sizes or areas.
5. The contractor and subs shall report in writing any and all deviations in the existing conditions, dimensions, quantities and locations etc. to the architect/owner prior to installation of ANY items or materials. Failure to do so prior to the start of construction shall make the contractor solely responsible for cost of making all required corrections.
6. It is NOT intended that these drawings show every cut and/or condition of the building system, however, the contractor and all the subs shall furnish a complete product in accordance with the best practice of the trade, to the satisfaction of the architect/owner and in strict conformance with all applicable state and local building code requirements.
7. All materials and notes refer to new materials unless otherwise noted or indicated existing.
8. The contractor and subs shall temporarily disconnect and remove all existing building services that interfere with the proper installation of the new construction. The contractor and subs are responsible to notify the architect/owner in writing of these services before disconnection. Reinstall and reconnect all temporary disconnected and removed items to the satisfaction of the architect and owner.
9. All existing areas, not to be demolished, disturbed or damaged as a result of the new construction are to be patched or replaced and finished to match adjacent work areas.
10. See plans, elevations, details and specifications (if part of this project) for additional specific project requirements.
11. Verify all existing items to be removed as shown on plan.
12. Provide required insulation as per code:
All perimeter walls of heated space R-20
All floor framing of heated space R-30
All roof framing of heated spaces R-45
All exterior doors R-2.5
All insulated windows R-1.54
13. All new new flooring shall be as shown on plans 16" o.c. with rim joist and 3/4" T & G plywood underlayment. All floors shall be finished 3/4" oak.
14. All exterior walls shall consist of 2x6 framing 16" o.c. with 1/2" CDX plywood sheathing & painted 1/2" GWB interior with skim coat plaster finish.
15. All roofing shall be as shown on plans 16" o.c. with 3/4" T & G plywood decking rubber membrane roofing.
16. All new interior ceilings & walls shall be painted 1/2" GWB with skim coat plaster.
17. All new interior doors shall be solid wood six panel colonial doors with painted solid wood trim with plinth blocks. At rooms base and ceiling crown molding as per owners request.
18. All new exterior doors shall be solid wood painted wood with weather stripping, painted wood thresholds and metal full lite screen doors with removable screen/window panel.
19. All kitchens shall have granite counters with granite tile back splash. Verify with owner final cabinet layout and style.
20. All bathrooms shall have tile full tub surround. All full bathrooms shall have vanity base cabinets and all 1/2 baths shall have pedestal sinks as per Owner's request.
21. All new windows shall be solid wood windows to match existing, style, sizes & detail. Manufacturer shall be Anderson 400 Architectural Series or as requested by owner.
22. Each unit shall be supplied with a new fire suppression and alarm system as required by code.
23. The owner and contractor is solely responsible for the location of the building on the site and shall hire a site engineer & surveyor to verify all zoning & site conditions & requirements. If adjustments to the building is required the architect shall be notified in writing prior to construction of any building item or foundation. Failure to do so will result in the owner & contractor being solely & collectively responsible for the costs any required corrections.
24. All appliances and construction methods shall comply with all Energy Star Rating requirements.
25. All other requirements to be verified with owner.

north arrow

AESTHETIC IMAGES
Architects / Planners

Phone: (617) 323-4955
Fax: (617) 323-6081
7 Stimson Street
Boston, Massachusetts 02132



project

3 Unit Renovation
54 Oak Street
Boston, Massachusetts

revisions

date

12/26/2024

scale

3/16"=1'-0"

drawn

SJP

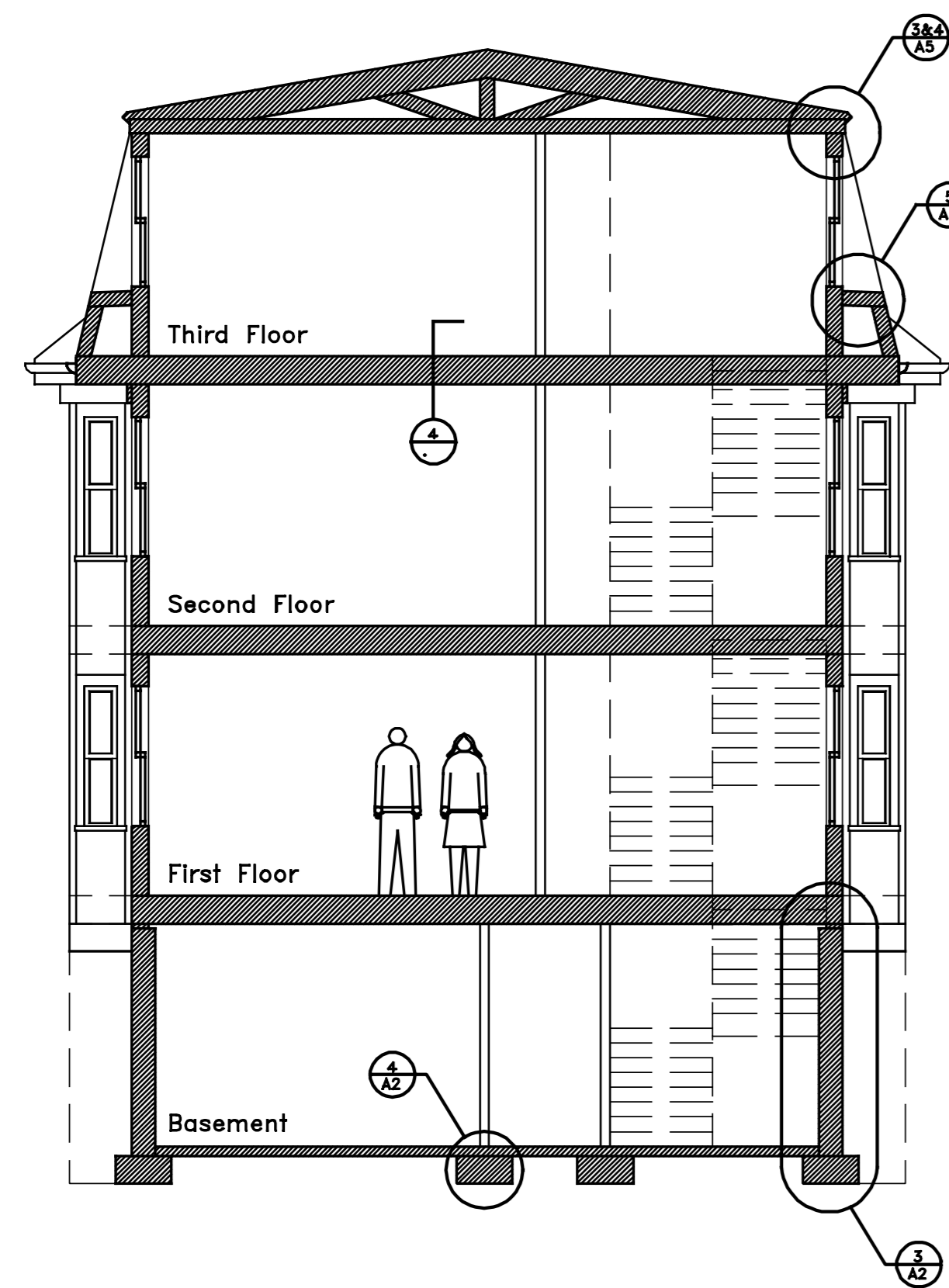
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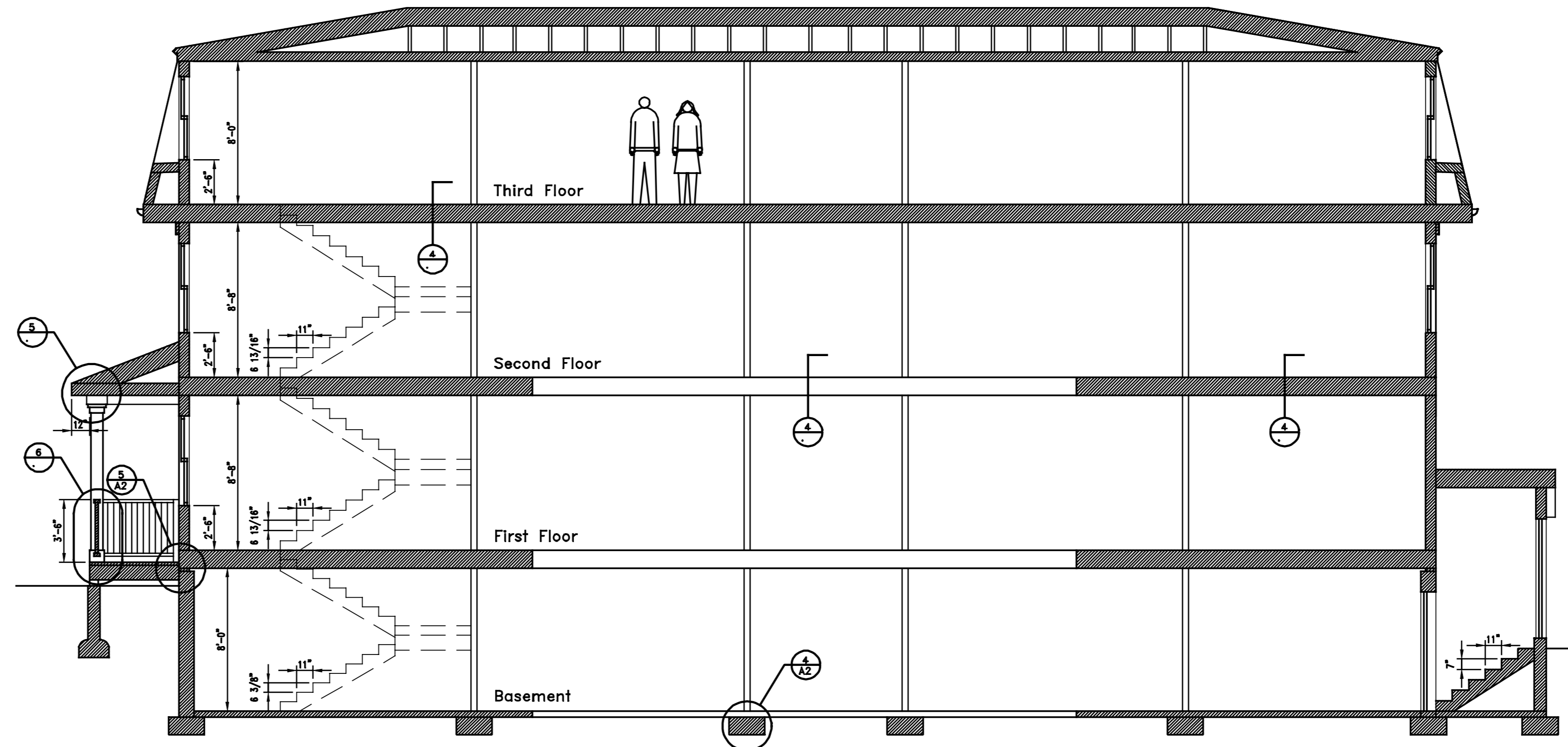
Basement, First Floor Plan, Wall Types & Details

sheet no.

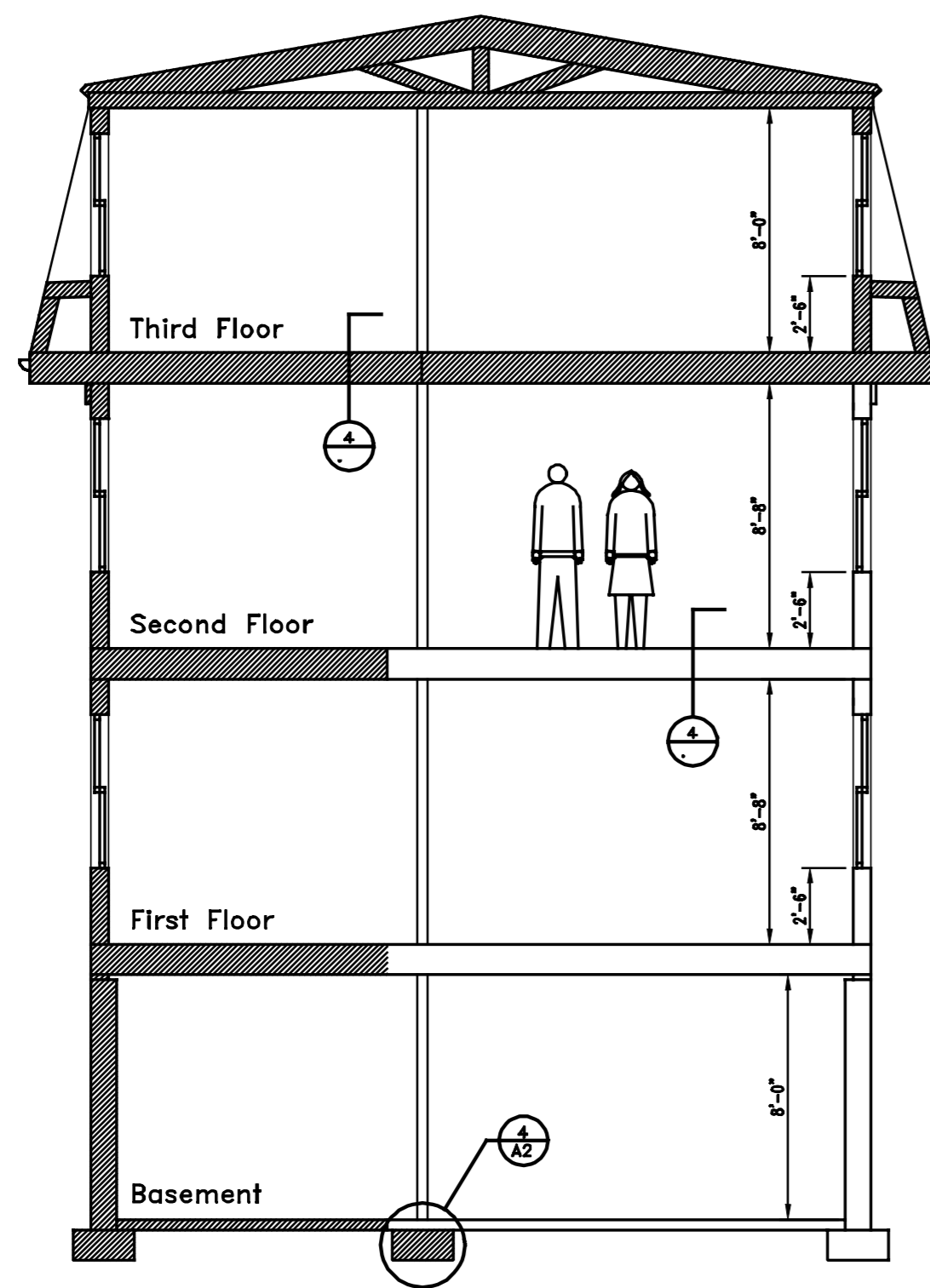
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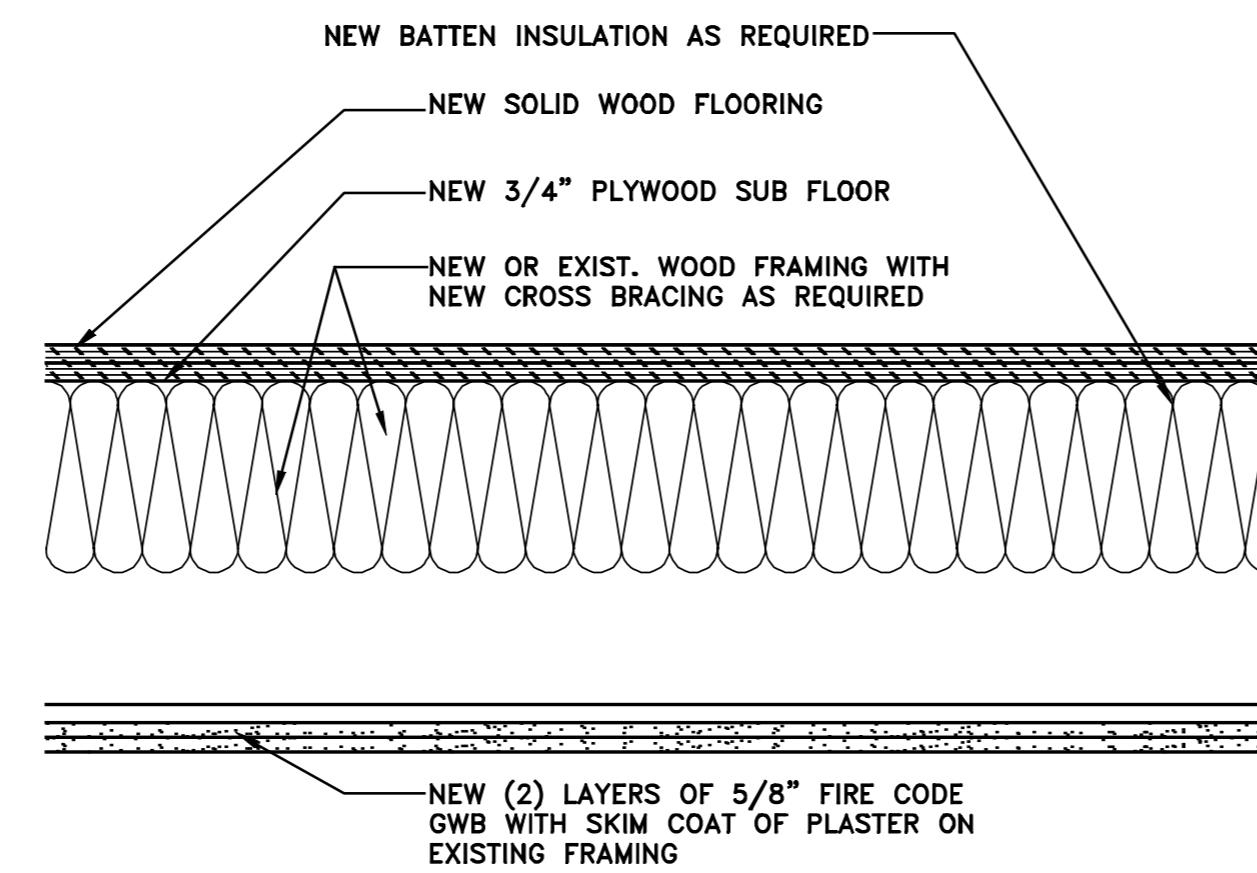
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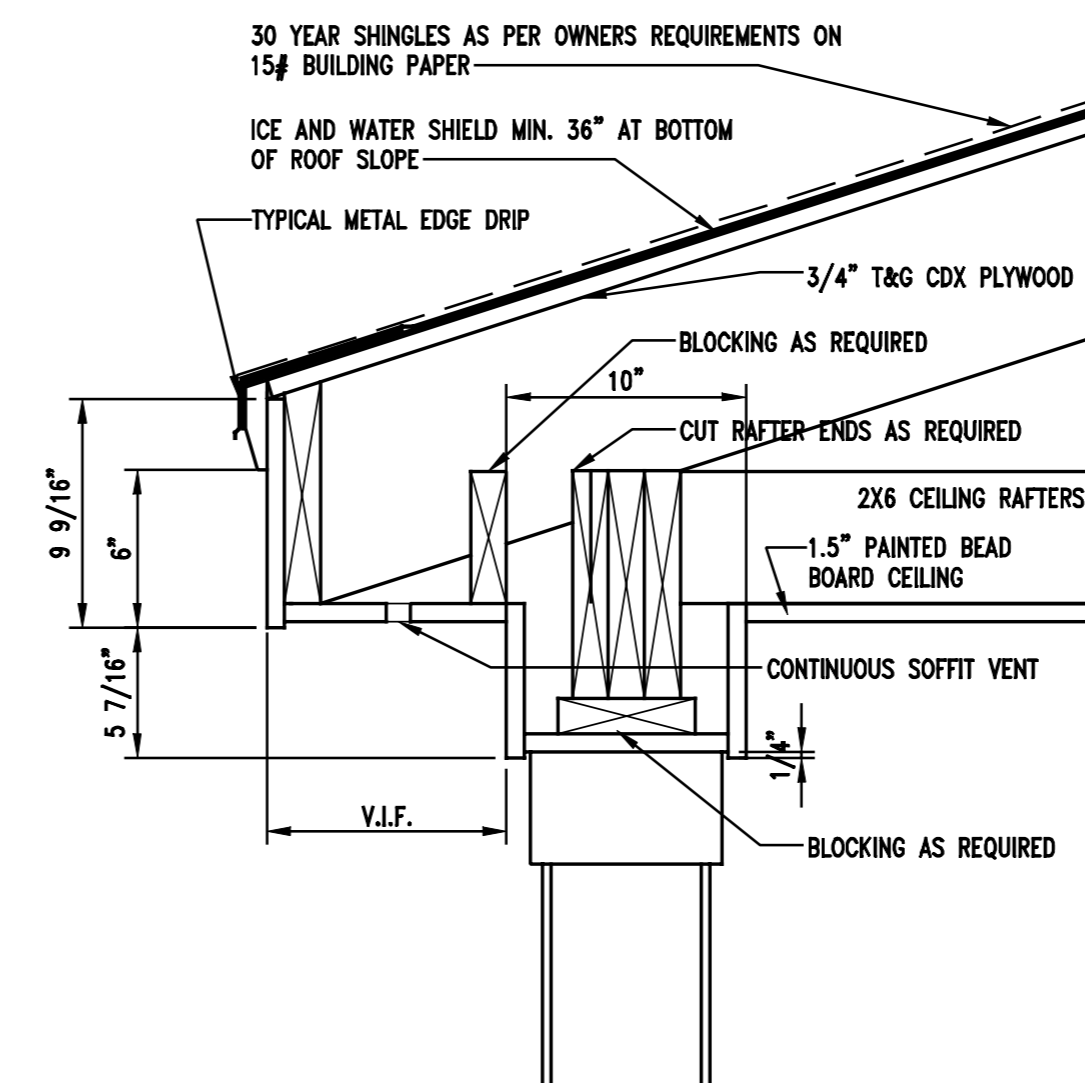
2 Longitudinal Section
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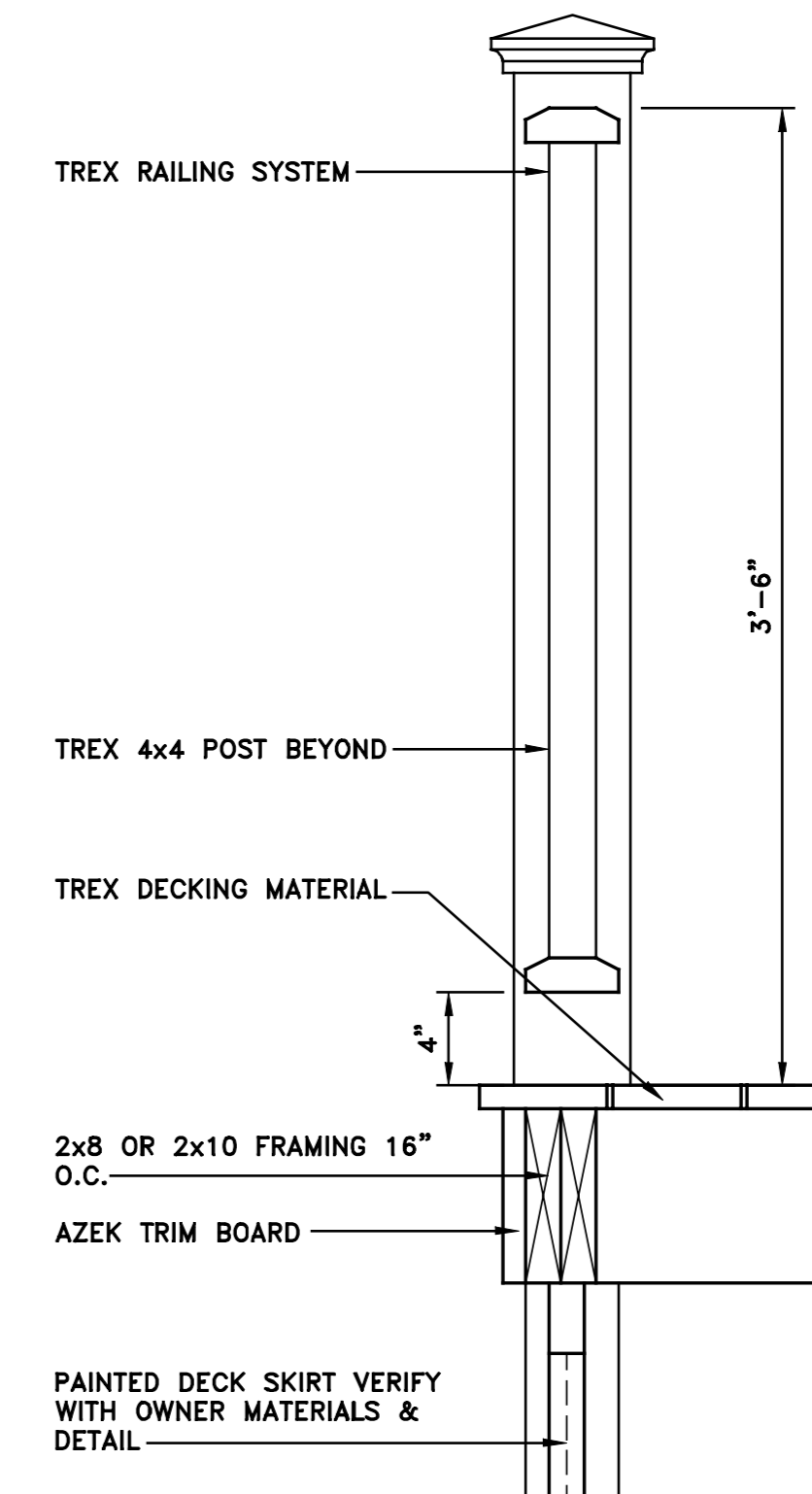
3 Rear Cross Section
Scale: 3/16" = 1'-0"



4 Floor Assembly
Scale: 1-1/2" = 1'-0"



5 Porch Roof Detail
Scale: 1-1/2" = 1'-0"



6 Deck Rail Detail
Scale: 1-1/2" = 1'-0"

north arrow

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job no.

title

Building Sections & Details

sheet no.

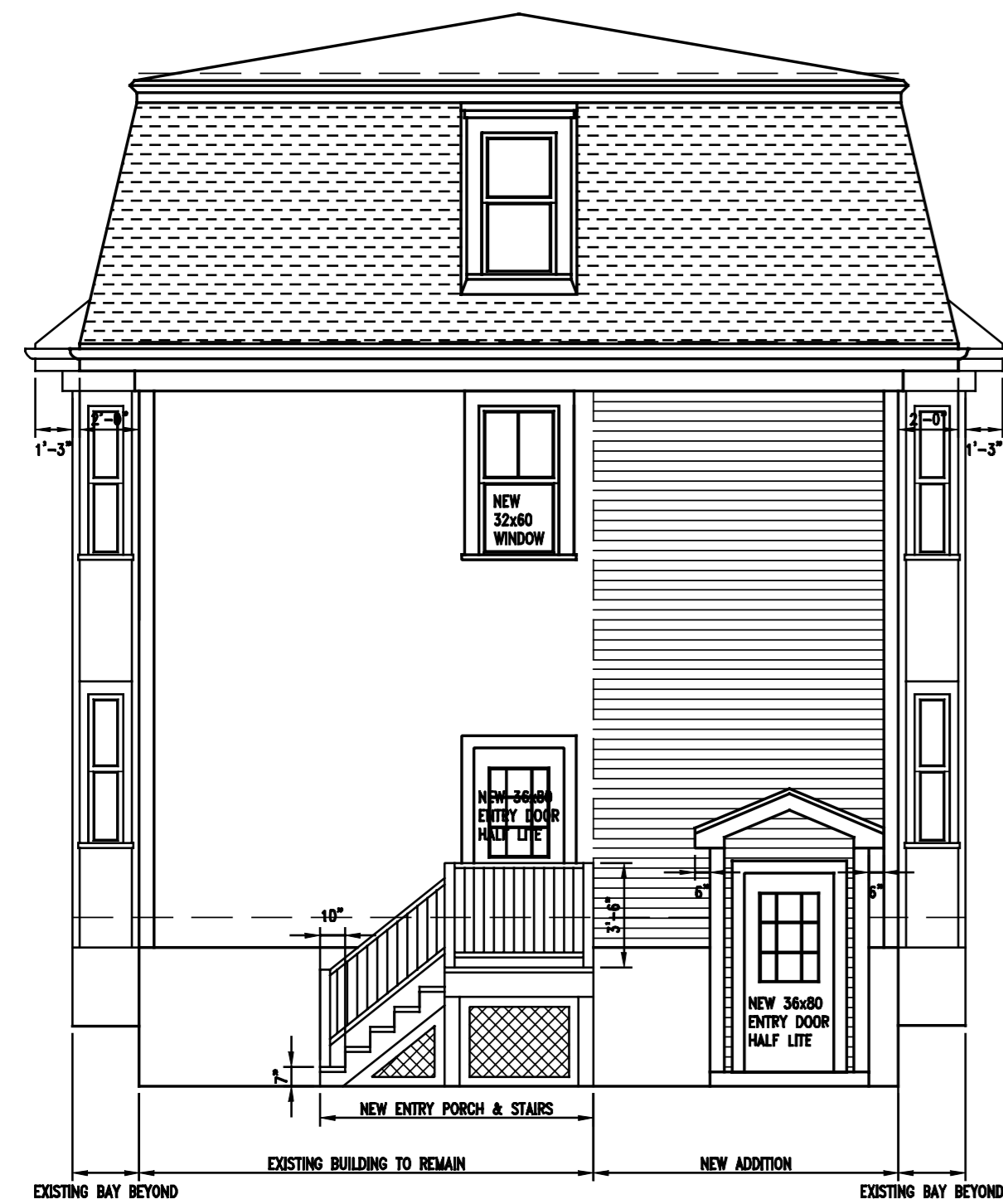
A3



1 Front Elevation
Scale: 3/16" = 1'-0"



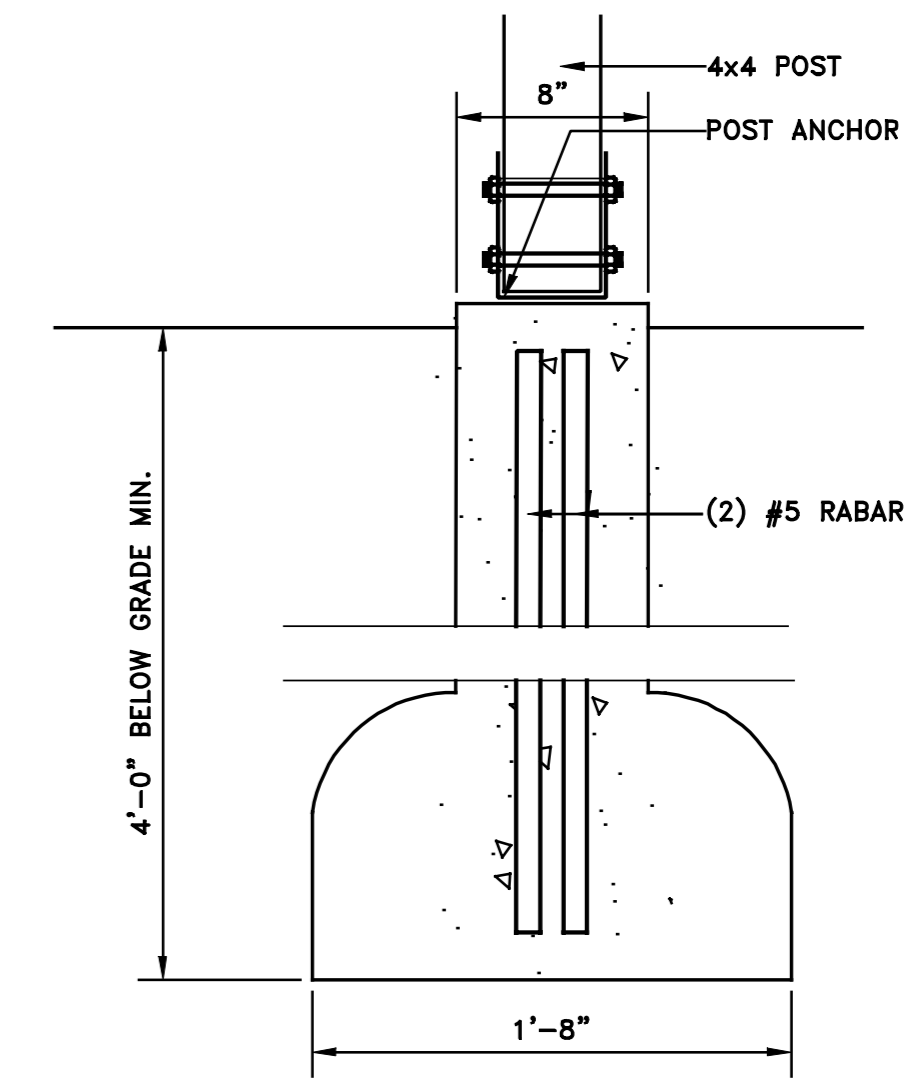
2 Neighbor's Elevation
Scale: 3/16" = 1'-0"



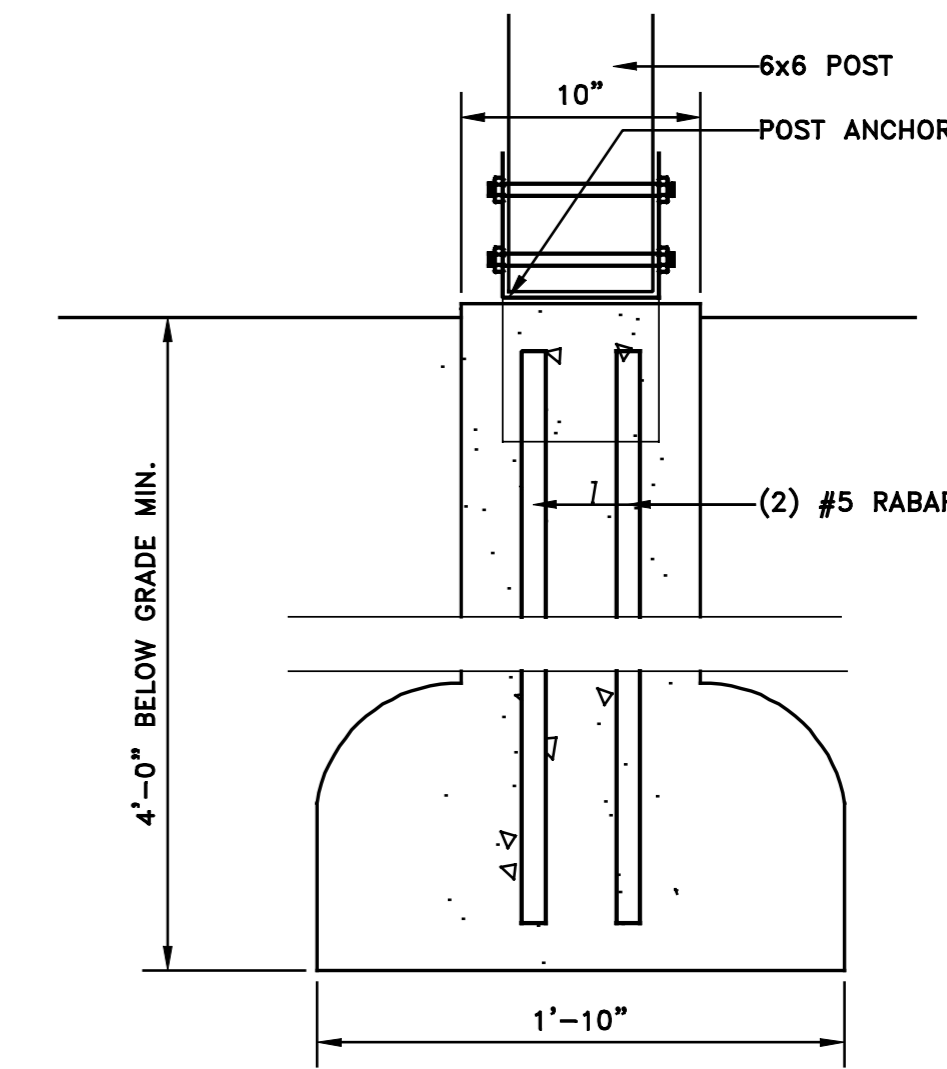
3 Rear Elevation
Scale: 3/16" = 1'-0"



4 Driveway Elevation
Scale: 3/16" = 1'-0"



5 Small Post Footing
Scale: 1-1/2" = 1'-0"



6 Large Post Footing
Scale: 1-1/2" = 1'-0"

General Notes:

- All new exterior window's shall be double hung wood painted with fixed top panel. Provide removable black vinyl insect screen at bottom panel only.
- All exterior trim shall be Azek or as required by the Client.
- All new entry porch columns shall be painted fiberglass.
- Decks & Porches shall be painted solid PT wood composite decking and rails.
- Sloped roof shall be 30 year fiberglass shingles with 48" min. ice and water shield at bottom of slope and as per owner's requirements.
- Provide all new gutters & down spouts tied into storm drain system as required & as per owner's request, coordinate locations with new storm drain system.
- All siding shall be new Hardi-Board siding with 4.5" exposure.

north arrow

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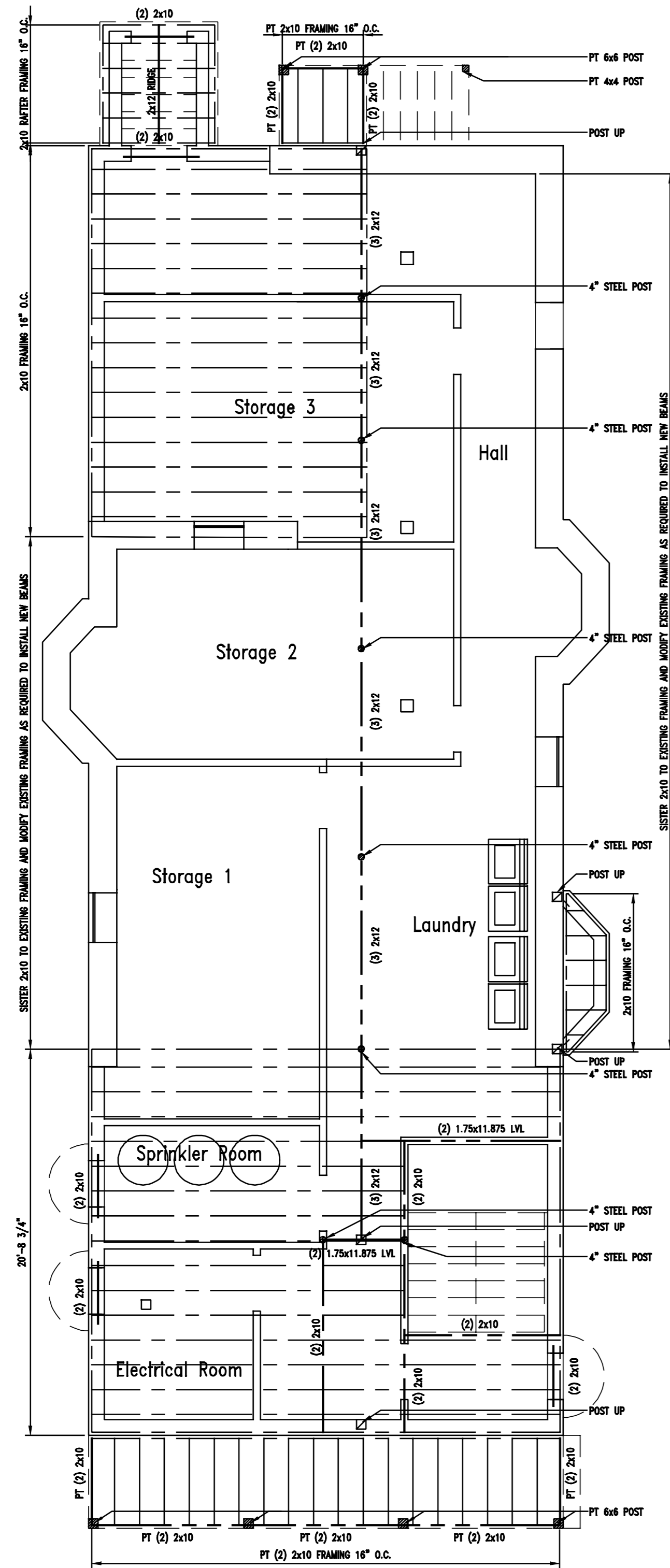
job no.

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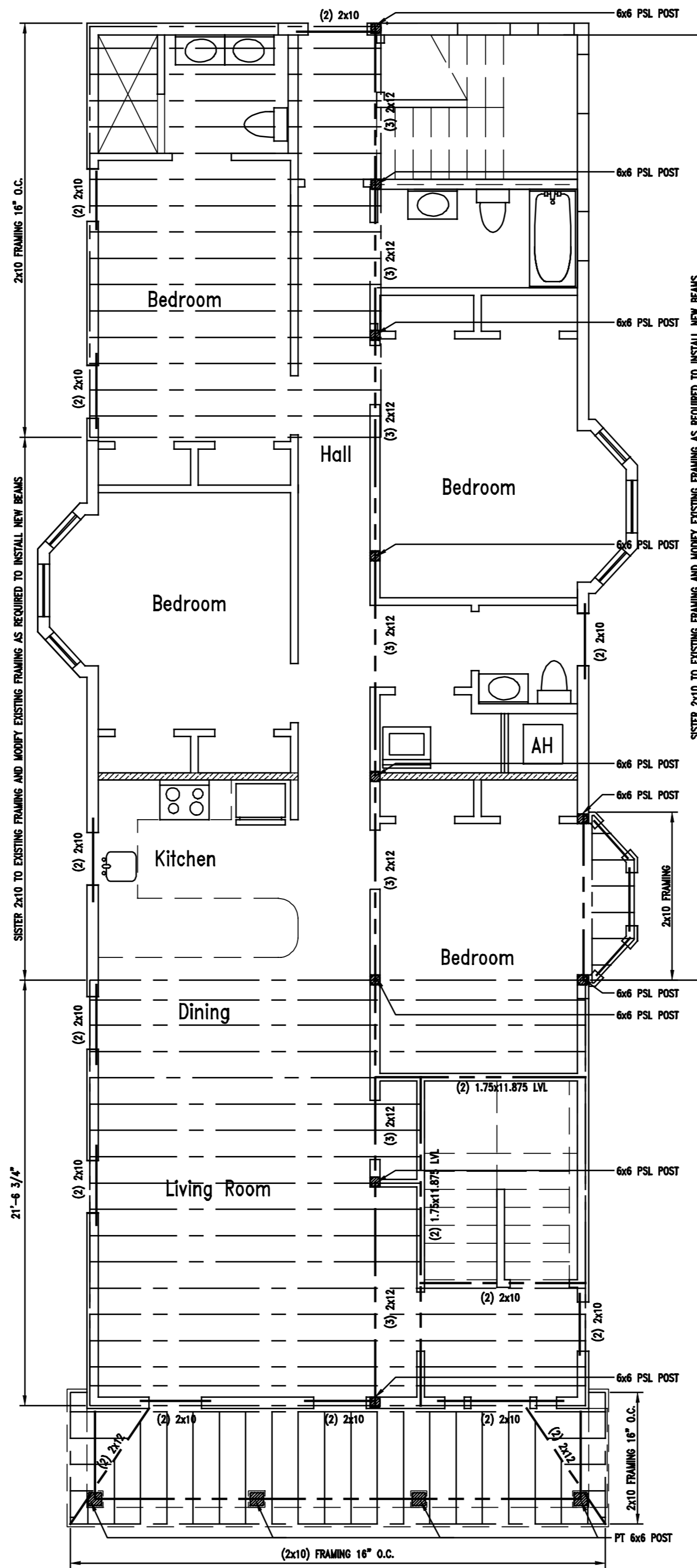
Exterior Elevations

sheet no.

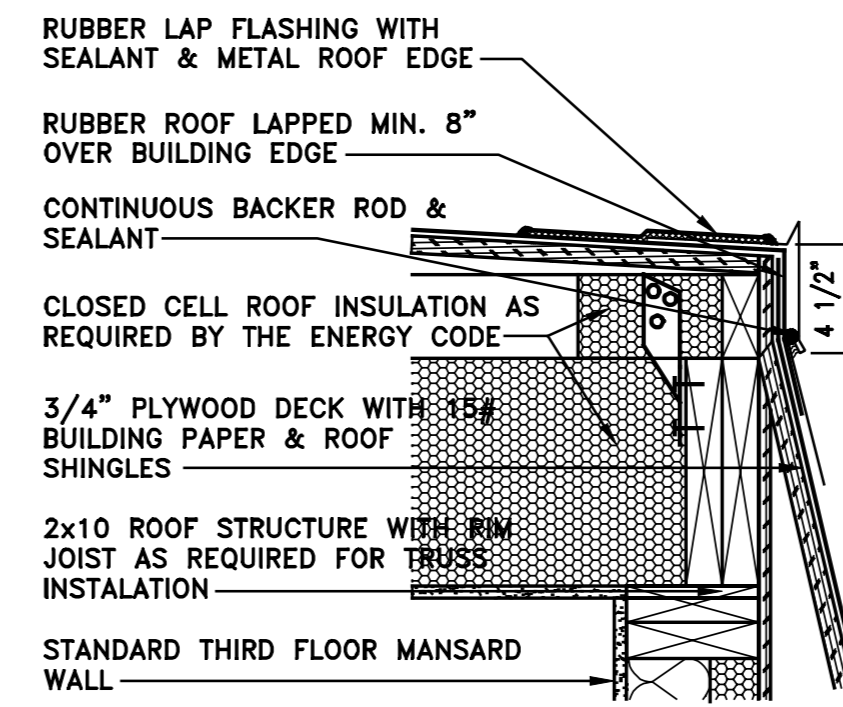
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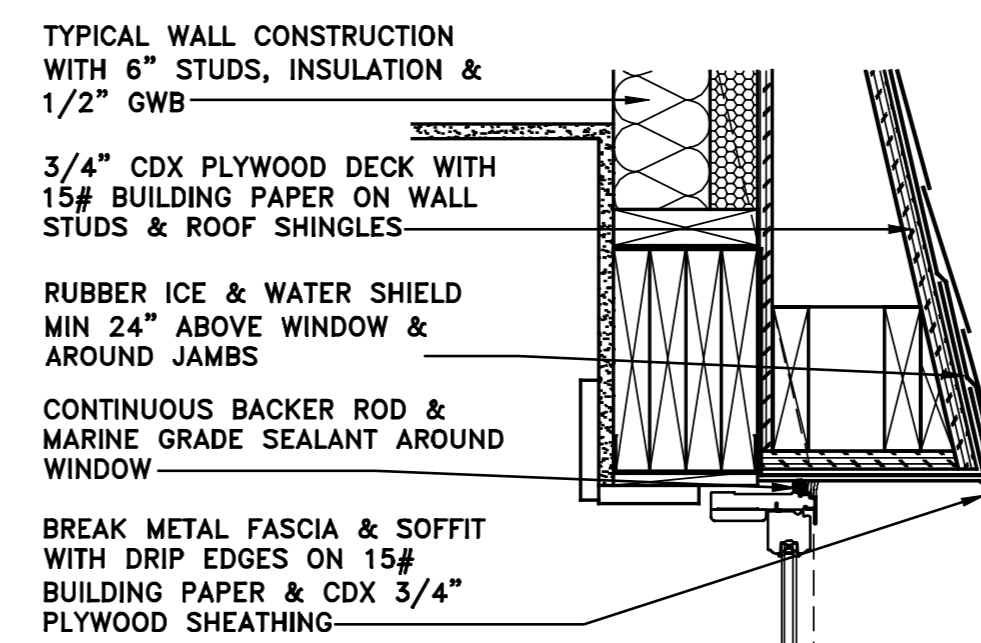
1 1st Floor Framing
Scale: 3/16" = 1'-0"



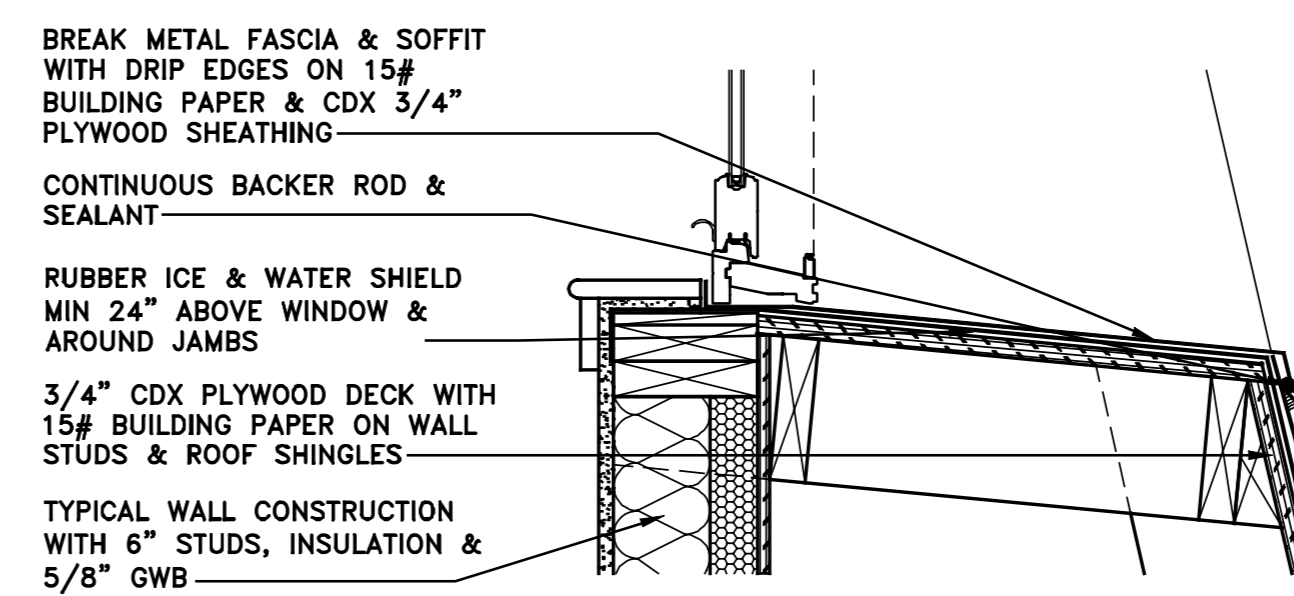
2 2nd Floor Framing
Scale: 3/16" = 1'-0"



3 Mansard Roof Edge
Scale: 1-1/2" = 1'-0"



4 Mansard Window Head
Scale: 1-1/2" = 1'-0"



5 Mansard Window Sill
Scale: 1-1/2" = 1'-0"

Framing Notes:

- NEW BEAMS & HEADERS (as notes)
- NEW FRAMING MEMBERS
- BRIDGING AS REQUIRED
- ▨ BRIDGING AS REQUIRED

1. All structural work shall be performed by qualified licensed professional builder only and not by the Owner. Any deviation from these plans shall be the sole responsibility of the Builder & Owner.
2. All applicable building codes shall be followed and are the responsibility of the contractor.
3. All lumber for new framing shall conform to that as required for multi-family construction. The Contractor shall verify with a structural engineer all requirements and any additional requirements and shall review these drawings prior to construction.
4. All pre-engineered laminated beams shall be sized as per manufacturers recommendation and provide the local Building Inspector with all applicable cuts and specifications for their review prior to installation.
5. All concrete foundations shall be 3,000 PSI concrete at 28 days 4'-0" below grade min.
6. Align and make flush height of all floor framing at new addition with existing floor joists and align and make flush height of new ceiling framing. The contractor shall be solely responsible for aligning and making flush all floor finishes and ceiling/s. Misaligned floor finishes and ceiling/s WILL NOT BE ACCEPTABLE.
7. All LVL's: Fb=3100 psi.
All framing lumber Fb=1300 psi, Fc=1650 psi
All new floor joists shall be as shown on plans with required bridging as per manufacturers requirements. All structural steel to be fy=50 ksi
All new roof trusses shall be installed as per manufacturers requirements.
8. All rebar Gr60 ASTM - 60,000 PSI.
9. Provide corner bracing at all corners, Simpson model # WB106 installed as per manuf. specifications.
10. Soil capacity assumed at 1 tons psf, verify by Owner.
11. All bearing walls 2x6 at 16" o.c. and as noted on framing plans & details.
12. All multiple LVL's to be bolted together as per manuf. specifications.
13. Contractor to provide all necessary shoring as required to install all new work as indicated on plans and shall be solely responsible for it's design and implementation.
14. Framing plans show only the minimal or requirements for pricing only. All other requirements shall be verified by the structural engineer and shall be the sole responsibility of the Contractor.

north arrow

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project
3 Unit Renovation
54 Oak Street
Boston, Massachusetts

revisions

date

12/26/2024

scale

3/16"=1'-0"

drawn

SJP

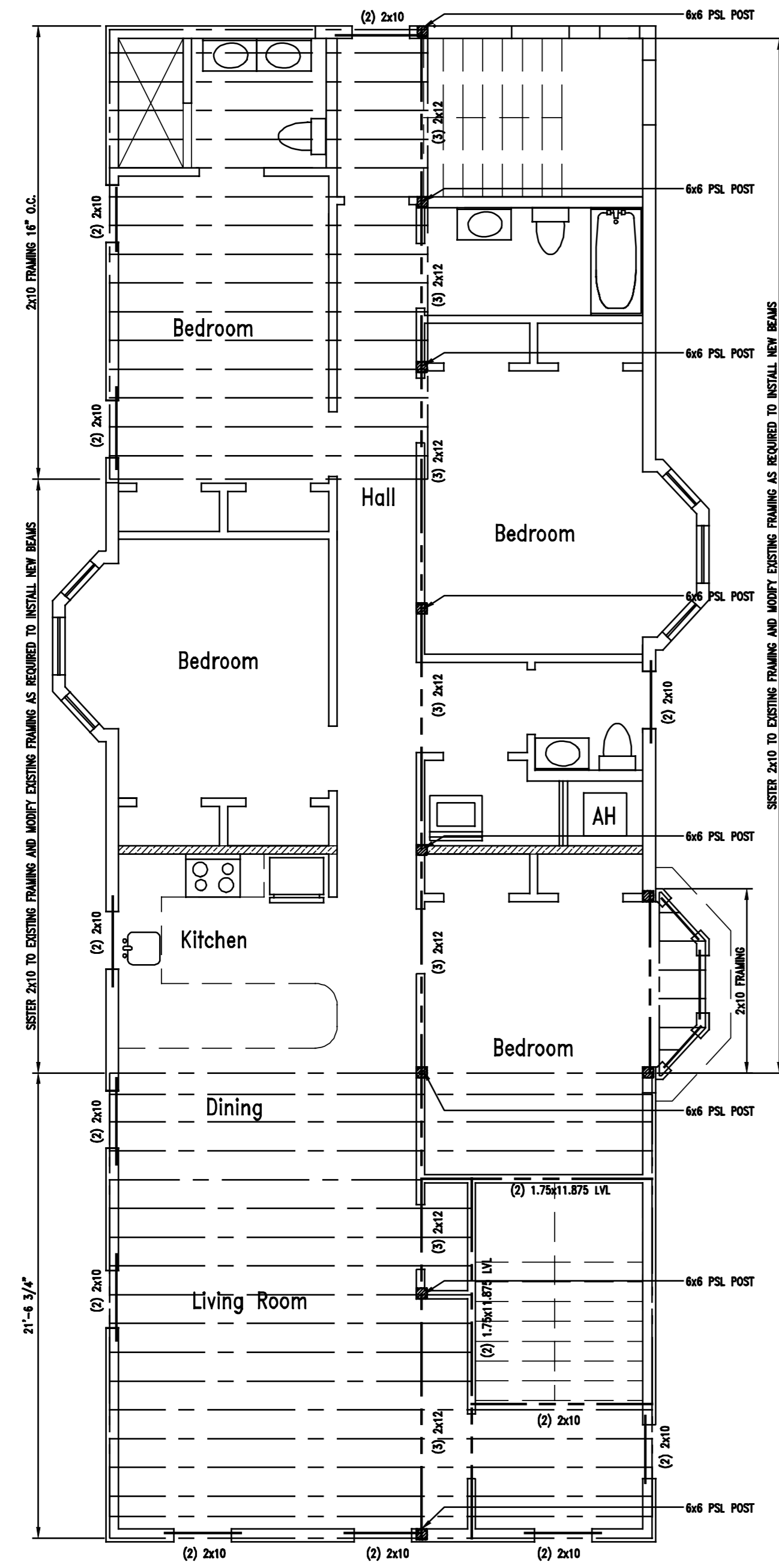
job no.

title

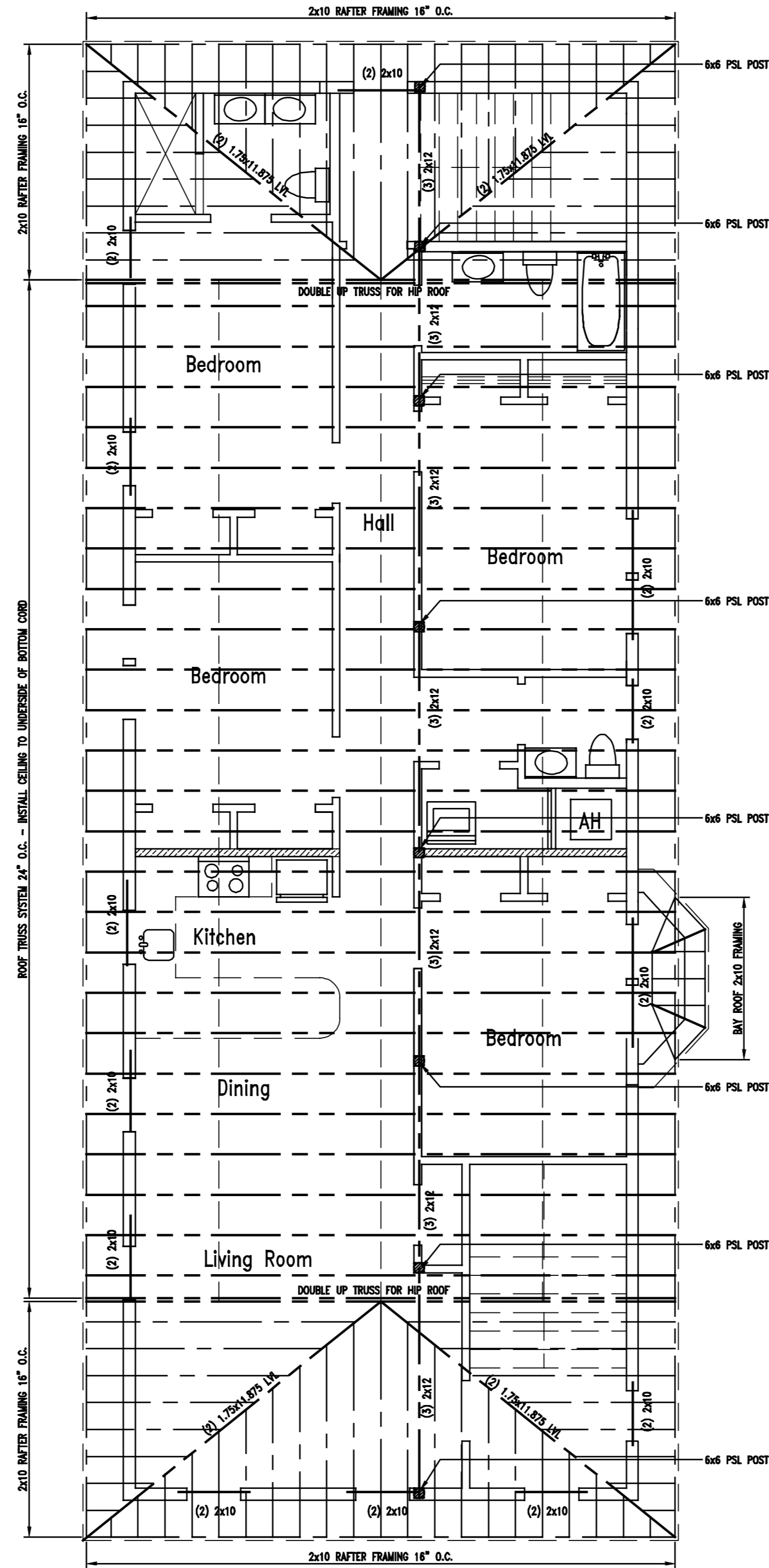
First & Second
Floor Framing
Plan

sheet no.

A5



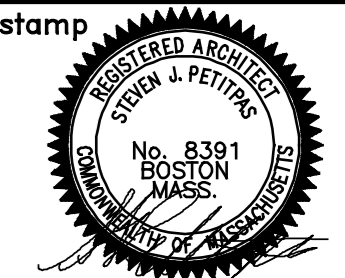
1 3rd Floor Framing
Scale: 3/16" = 1'-0"



2 Roof Framing
Scale: 3/16" = 1'-0"

north arrow

AESTHETIC IMAGES
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7 Stimson Street
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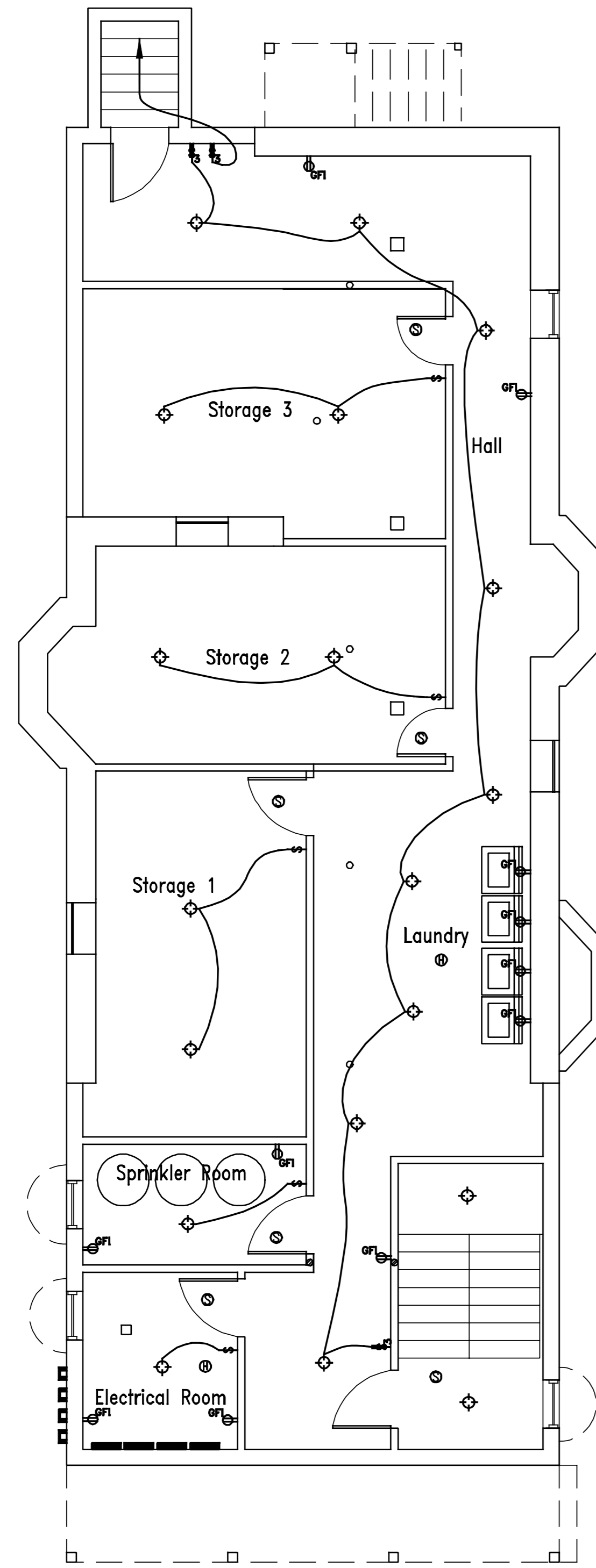
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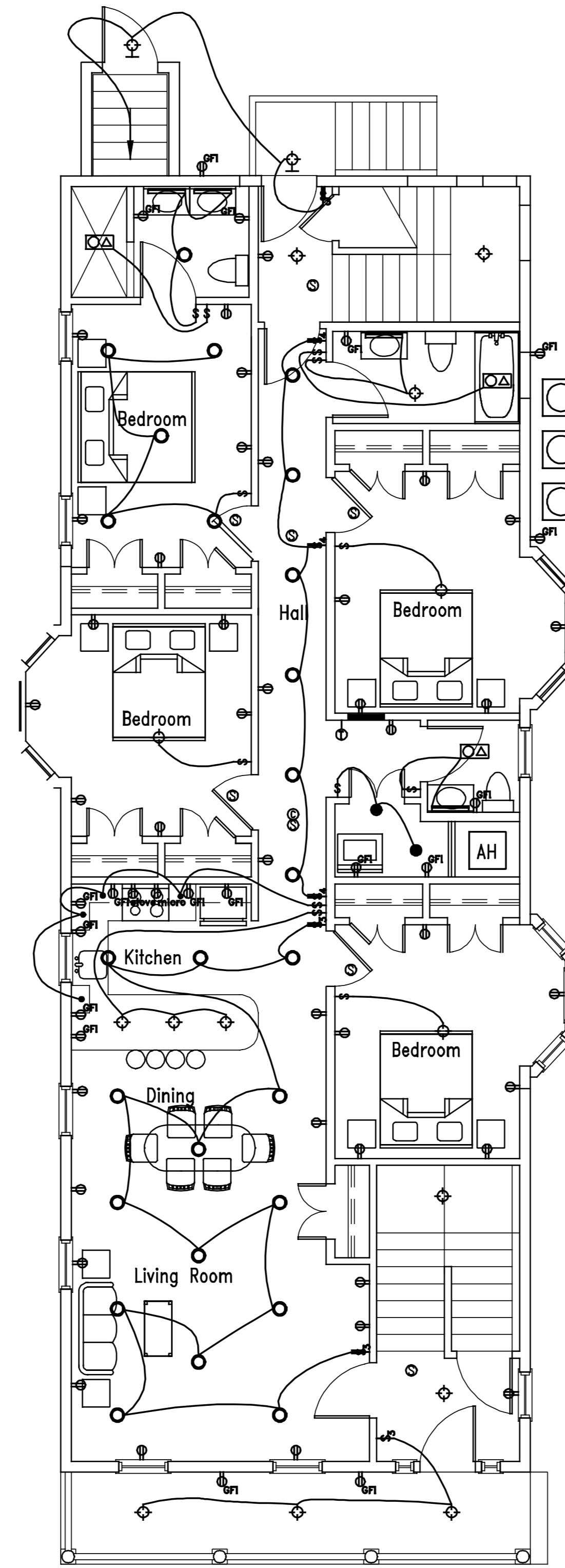
job no.

title
Third Floor & Roof Framing Plan

sheet no.
A6



1 1st Floor Power
Scale: 3/16" = 1'-0"



2 2nd Floor Power
Scale: 3/16" = 1'-0"

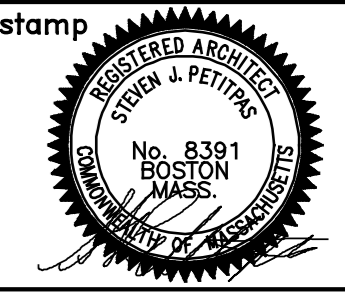
Power General Notes:

- DUPLEX OUTLET
- GROUND FAULT OUTLET
- WALL SWITCH
- THREE WAY WALL SWITCH
- FOUR WAY WALL SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED DIRECTIONAL LIGHT
- INCANDESCENT CEILING LIGHT
- EXTERIOR WALL MOUNTED SCONCE
- UNDER CABINET LIGHT
- NEW THERMOSTAT
- FLUORESCENT CEILING LIGHT
- SMOKE DETECTOR
- CARBON DETECTOR
- HEAT DETECTOR
- FAN LIGHT UNIT
- VANITY LIGHT
- NEW ELECTRICAL METER
- NEW ELECTRIC PANEL
- NEW DECK LIGHTS
- A.C. COMPRESSOR
- AIR HANDLER

POWER & MECHANICAL WORK:

1. Contractor shall verify all requirements for outlet quantity, plans show min. design requirements only. Provide \$50.00 allowance for each light fixture.
2. Provide hard wired smoke detectors and other safety devices as shown on plan and as per required by code.
3. All outlet and switch cover plated to be verified by owner.
4. Verify with the owner all other requirements prior to submission of price and again prior to start of construction.
5. Install new forced hot air heating and A.C. system at all units.
6. Provide dimmer switches at all bedrooms, dining areas, living areas & kitchen. Verify all dimmer switch locations with owner prior to pricing & construction.
7. Verify location & size and any required soffits for duct runs. Provide high velocity small sized duct work throughout building as required.
8. Provide 200 amp. electrical service to each unit, verify with owner.
9. Provide phone jacks, computer network & cable TV outlets as required and verify all locations with owner prior to installation.
10. Provide dedicated electrical outlets at master bedroom whirlpool tub, one for the pump and one for the heater.
11. All applicable codes shall be followed and are the responsibility of the contractor. These plans are intended to show the very minimal design requirements.

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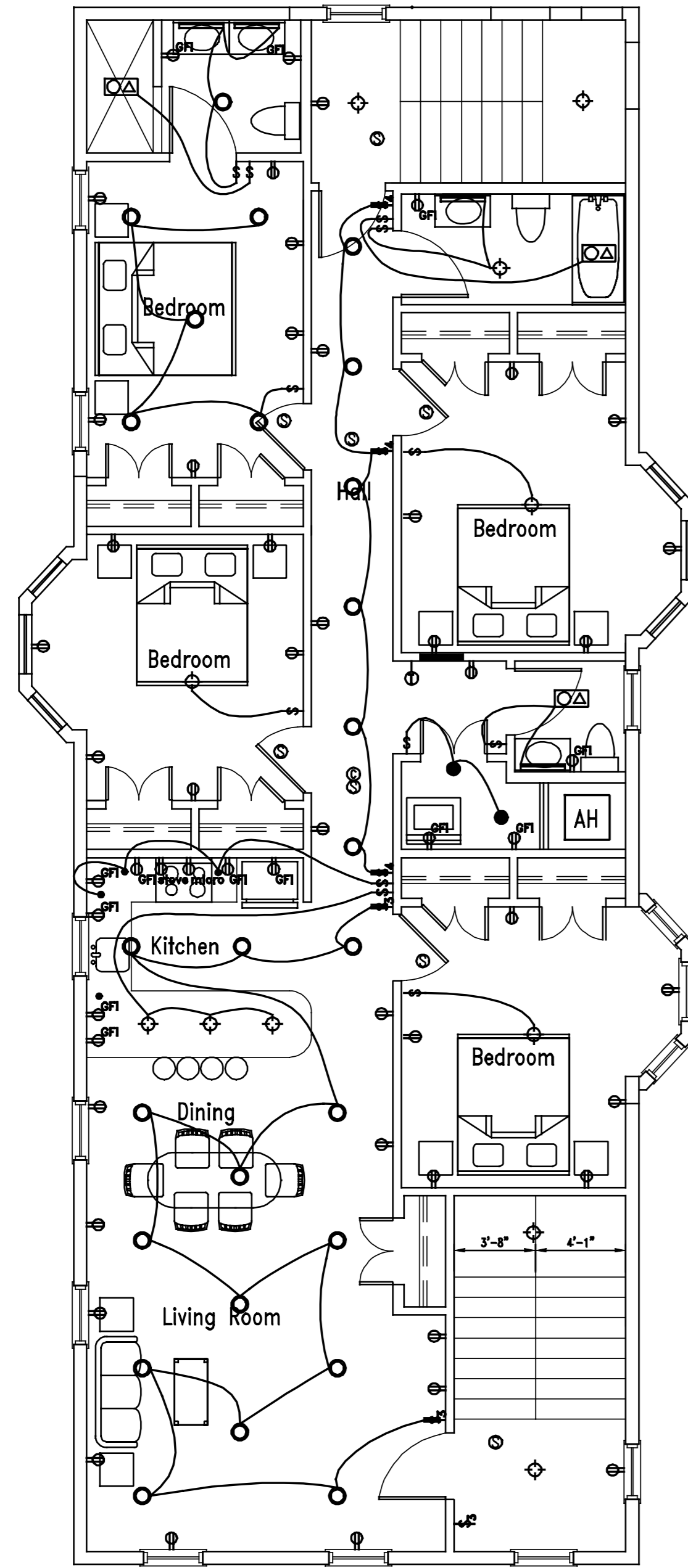
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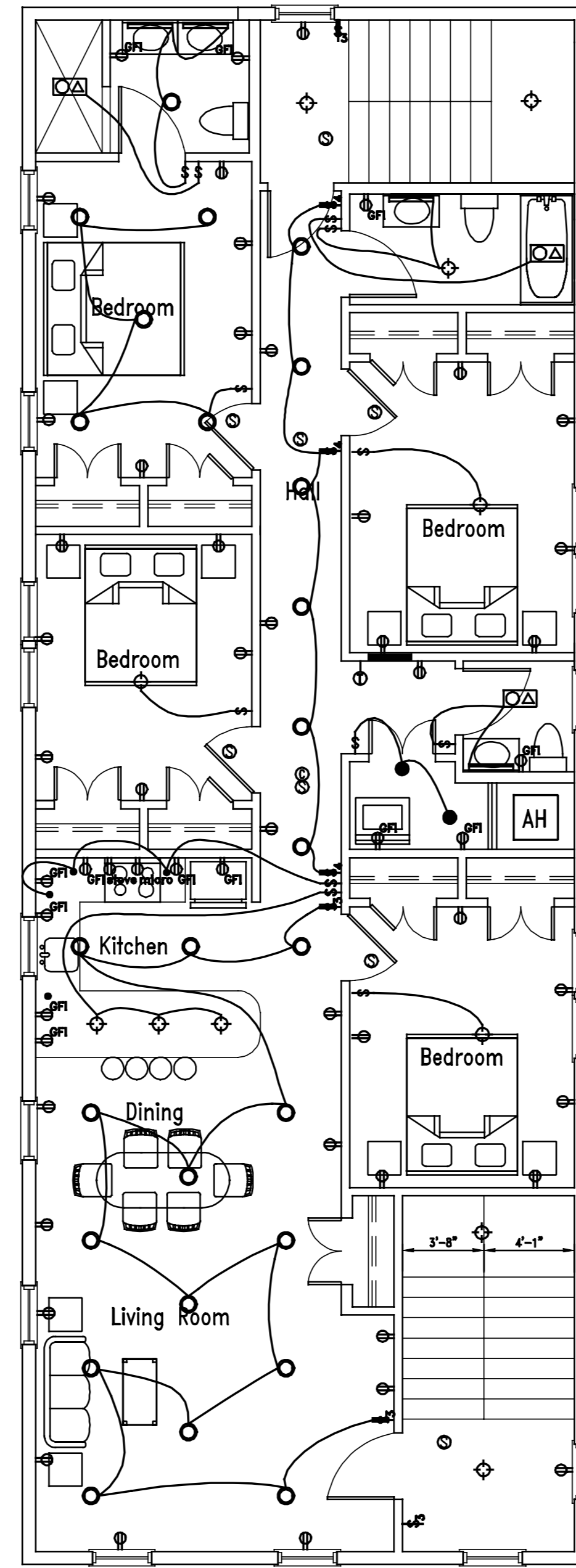
job no.

title
First & Second Floor Power Plan

sheet no.
A7



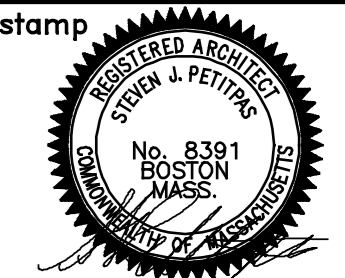
1 3rd Floor Power
Scale: 3/16" = 1'-0"



2 4th Floor Power
Scale: 3/16" = 1'-0"

north arrow

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job no.

title
First & Second
Floor Power
Plan

sheet no.
A8