

8 MONUMENT SQ

Boston, MA 02129

3/23/2023

PERMIT SET

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

04/25/2023

Design Review for the Board of Appeal
M. Cannizzo
Signature

PROJECT 3D



Design Resource Team, LLC
546 East Broadway
Boston, MA 02127
617.804.6117
info@d-r-t.co
www.d-r-t.co

Client
8-9 Monument Sq LLC

Architect
Design Resource Team, LLC,
546 East Broadway, Boston, MA 02127

Consultants

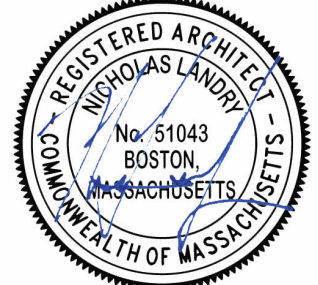
Surveyor and Civil

Neponset Valley Survey Associates Inc
95 White St, Quincy, MA 02169
(617) 472-4867

Structural Engineer

Evan Hankin
617.839.9690
elhankin@me.com

MEP Engineer
Reiter Fire Protection
60 Monroe Street, Pembroke MA 02359
781.205.9440
service@reiterfire.com



ABBREVIATIONS

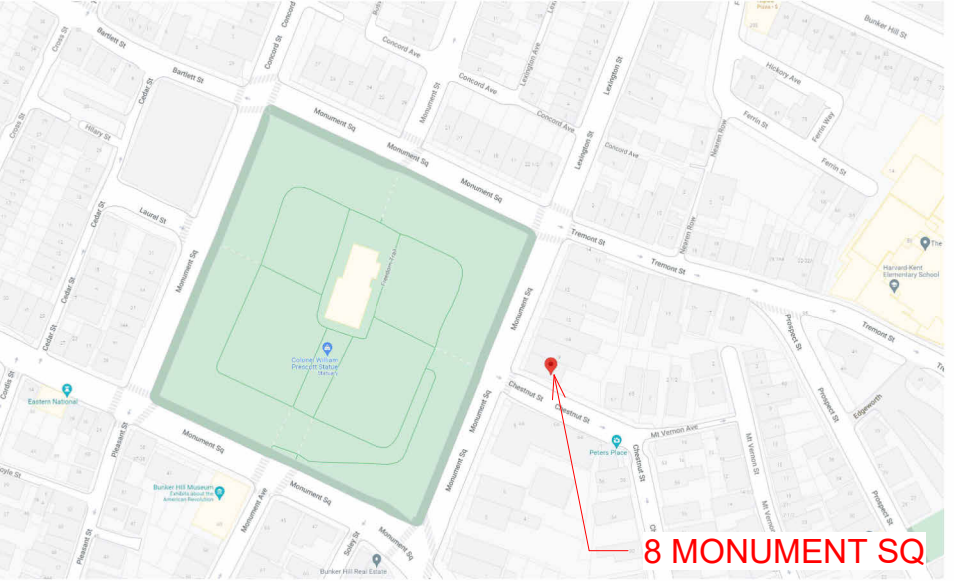
AFF	ABOVE FINISHED FLOOR
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS W/ DISABILITIES ACT
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AV	AUDIO VISUAL
BLDG	BUILDING
BLKG	BLOCKING
BO	BOTTOM OF
CAB	CABINET
CH	CEILING HEIGHT
CLR	CLEAR
CL	CENTERLINE
COL	COLUMN
CONT	CONTINUOUS
CMU	CONCRETE MASONRY UNIT
CJ	CONTROL JOINT
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
EXIST	EXISTING
ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
FD	FLOOR DRAIN
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
GFIC	GROUND FAULT INTERCEPTOR CIRCUIT
GSM	GALVANIZED SHEET METAL
GWB	GYPSUM WALL BOARD
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
HB	HOSE BIB
HM	HOLLOW METAL
MAX	MAXIMUM
MO	MASONRY OPENING
MECH	MECHANICAL
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
O/	OVER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPNG	OPENING
OPP	OPPOSITE
PG	PAINT GRADE
PLYWD	PLYWOOD
PTD	PAINTED
RD	ROOF DRAIN
REQ'D	REQUIRED
RO	ROUGH OPENING
SCHED	SCHEDULE
SG	STAIN GRADE
SIM	SIMILAR
SQ	SQUARE
SSTL	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STRUC	STRUCTURAL
T&G	TONGUE AND GROOVE
TOP	TOP OF
TP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WD	WOOD
WPM	WATERPROOFING MEMBRANE

SHEET LIST

SHEET #	SHEET NAME	REVISION	REVISION DATE
A000	COVER		
C1	CIVIL SITE PLAN - DETAILS		
C2	CIVIL SITE PLAN		
C3	SITE PLAN PROPOSED		
A001	BUILDING INFORMATION		
A002	BUILDING INFORMATION		
A010	ARCH SITE PLAN - PROPOSED		
A100	GROUND FLOOR - DEMO/PROPOSED		
A101	LEVEL 1 - DEMO/PROPOSED		
A102	LEVEL 2 - DEMO/PROPOSED		
A103	LEVEL 3 - DEMO/PROPOSED		
A104	LEVEL 4 - DEMO/PROPOSED		
A105	ROOF - DEMO/PROPOSED		
A200	ELEVATIONS - DEMO/PROPOSED		
A201	ELEVATIONS - DEMO/PROPOSED		
A202	EXTERIOR FINISHES		
A300	BUILDING SECTIONS		
A500	AXONS		
AM100	MECH LAYOUT - LEVEL G,1		
AM101	MECH LAYOUT - LEVEL 2,3		
S100	STRUCTURAL FRAMING PLANS - LEVEL G & 1		
S101	STRUCTURAL FRAMING PLANS - LEVEL 2 & 3		
S102	STRUCTURAL FRAMING PLANS - LEVEL 4 & ROOF		
FA-0	FIRE ALARM NOTES & DETAILS		
FA-1	FIRE ALARM PLANS		
FA-2	FIRE ALARM PLANS		
FP-0	NOTES & DETAILS		
FP-1	FIRE PROTECTION PLANS		
FP-2	FIRE PROTECTION PLANS		

Approved pursuant to Article 80E for projects in a Neighborhood Design Overlay District.

VICINITY MAP



LEVEL	AREA
BASEMENT	1,269
FIRST	1,267
SECOND	1,267
THIRD	1,266
FOURTH	1,268
TOTAL GSF =	6,337 GSF

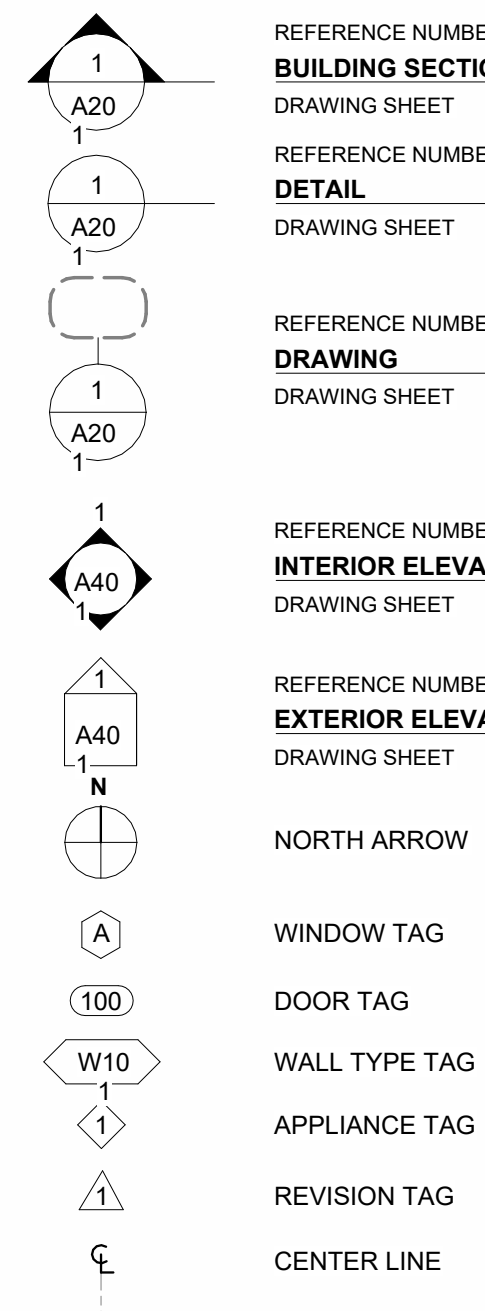
A. PROJECT DESCRIPTION: INTERIOR RENOVATION OF EXISTING DWELLING. DECKS ADDITION AT REAR YARD.
B. USE GROUP: R - RESIDENTIAL
C. GOVERNING COGE: MA 780 CMR RESIDENTIAL - 9TH EDITION, IRC 2015
D. CONSTRUCTION CLASSIFICATION: V-B
E. FULLY SPRINKLERED
F. HEIGHT AND AREA: PER BOSTON ZONING ORDINANCES

ZONING REVIEW

9 MONUMENT SQUARE ZONING SUMMARY PROPOSED THREE FAMILY RESIDENTIAL RH-2000 SUBDISTRICT				
CHARLESTOWN NEIGHBORHOOD, RH-2000 ZONING SUBDISTRICT	PERMITTED DIMENSION	EXISTING DIMENSION	PROPOSED DIMENSION	RELIEF REQUIRED
LOT AREA (SF) MINIMUM	2,000	2,900	2,900	N
ADDITIONAL LOT AREA PER DWELLING UNIT	1,000	-	-	-
LOT WIDTH (FEET) MINIMUM	20	114.91	114.91	N
LOT FRONTAGE (FEET) MINIMUM	20	25	25	N
FLOOR AREA RATIO (FAR) MAXIMUM	2.0	2.11	2.11	E/N*
BUILDING HEIGHT (STORIES) MAXIMUM	3 (2)	4	4	E/N*
BUILDING HEIGHT (FEET) MAXIMUM	35 (2)	59.1'	59.1'	E/N*
USABLE OPEN SPACE (MIN. SQUARE FEET/DW UNIT)	250+225 (3)	-	+/- 475	N
FRONT YARD MIN. DEPTH (FEET - SOUTH SIDE)	(4)	7.5	7.5	N
SIDE YARD DEPTH	NONE	0	0	N
SIDE YARD DEPTH	NONE	0	0	N
REAR YARD DEPTH (FEET - NORTH SIDE)	30	52.5	43.1	N

FOOTNOTES TO TABLE
1. * - E/N - Existing Nonconforming
2. For the purpose of determining Building Height, the floor area of a dormer on a Dwelling shall not be included in the floor area calculation for a half story; provided that such dormer is not wider than eight (8) feet and the ridge line of the dormer does not exceed the ridge line of an existing Structure of which it is a part, or a thirty-five (35) feet, whichever is less; and provided further that only the floor area of two such dormers shall not be included in the floor area calculation for a half story. However, the floor area of such dormers shall be included in Gross Floor Area of the Dwelling.
3. The minimum usable open space requirement is applicable only to Residential Uses and Dormitory/Fraternity Uses.
For any lot that exceeds the minimum lot area specified in this Table C, the required number of square feet of usable open space per dwelling unit shall be calculated by adding: (a) the minimum usable open space per dwelling unit specified in this Table C, and (b) twenty-five percent (25%) of the lot area in excess of the required minimum lot area specified in this Table C for the lot.
All ground level open space used to satisfy the minimum usable open space requirements specified in this Table C must have an unobstructed length of not less than ten (10) feet and an unobstructed width of not less than ten (10) feet, except that, for yards used to meet the open space requirements of this Table C, shorter or narrower dimensions are allowed where specifically permitted by the provisions of Section 62-30 (Application of Dimensional Requirements).
In the 3F Subdistricts and the MFR Subdistricts, up to twenty-five percent (25%) of the usable open space requirement may be met by unenclosed porches (with or without roofs) or by suitably designed and accessible space on balconies of Main Buildings or on the roofs of wings of Main Buildings or on the roofs of Accessory Buildings, provided that any such space on a porch, balcony, or roof has an unobstructed length of not less than six (6) feet and an unobstructed width of not less than six (6) feet.

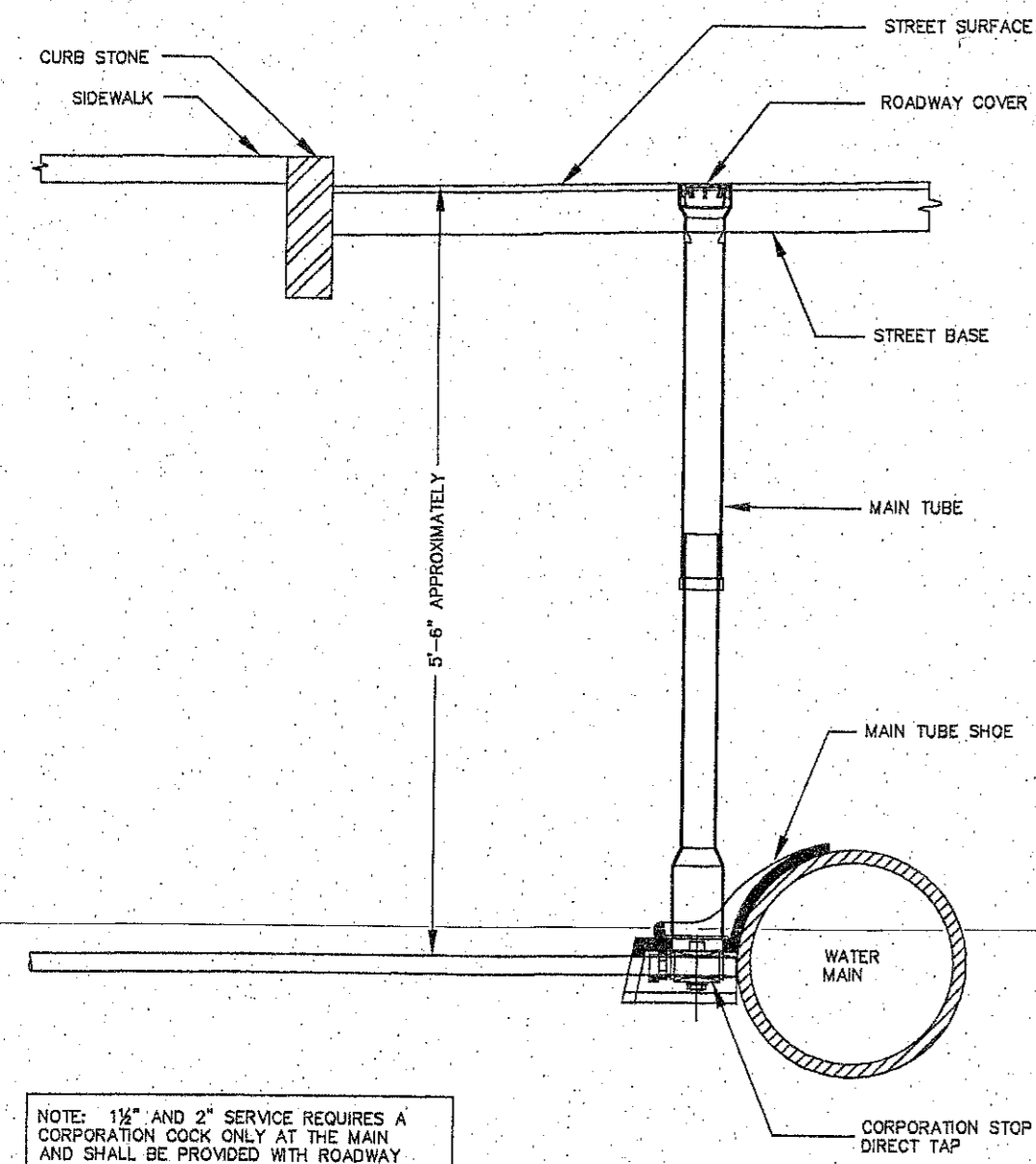
SYMBOLS



DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2015, THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015, THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018, AND THE MASSACHUSETTS BUILDING CODE 2015 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.

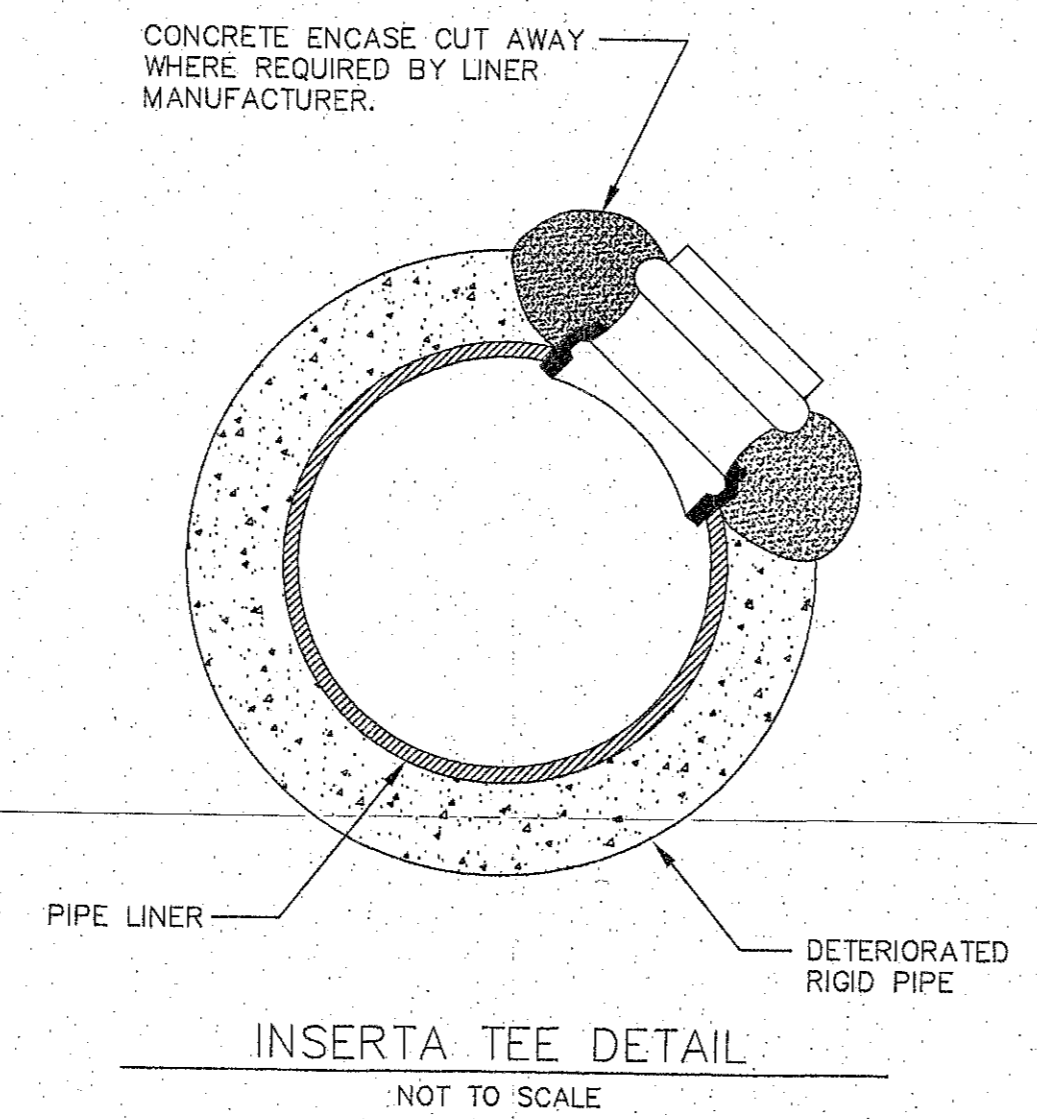
GENERAL REQUIREMENTS

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
- THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- ALL WINDOWS ARE TO BE OPERABLE FOR CLEANING UNLESS OTHERWISE NOTED.
- ALL WALL FRAMING SHALL BE 3 5/8" AT 16" ON CENTER UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

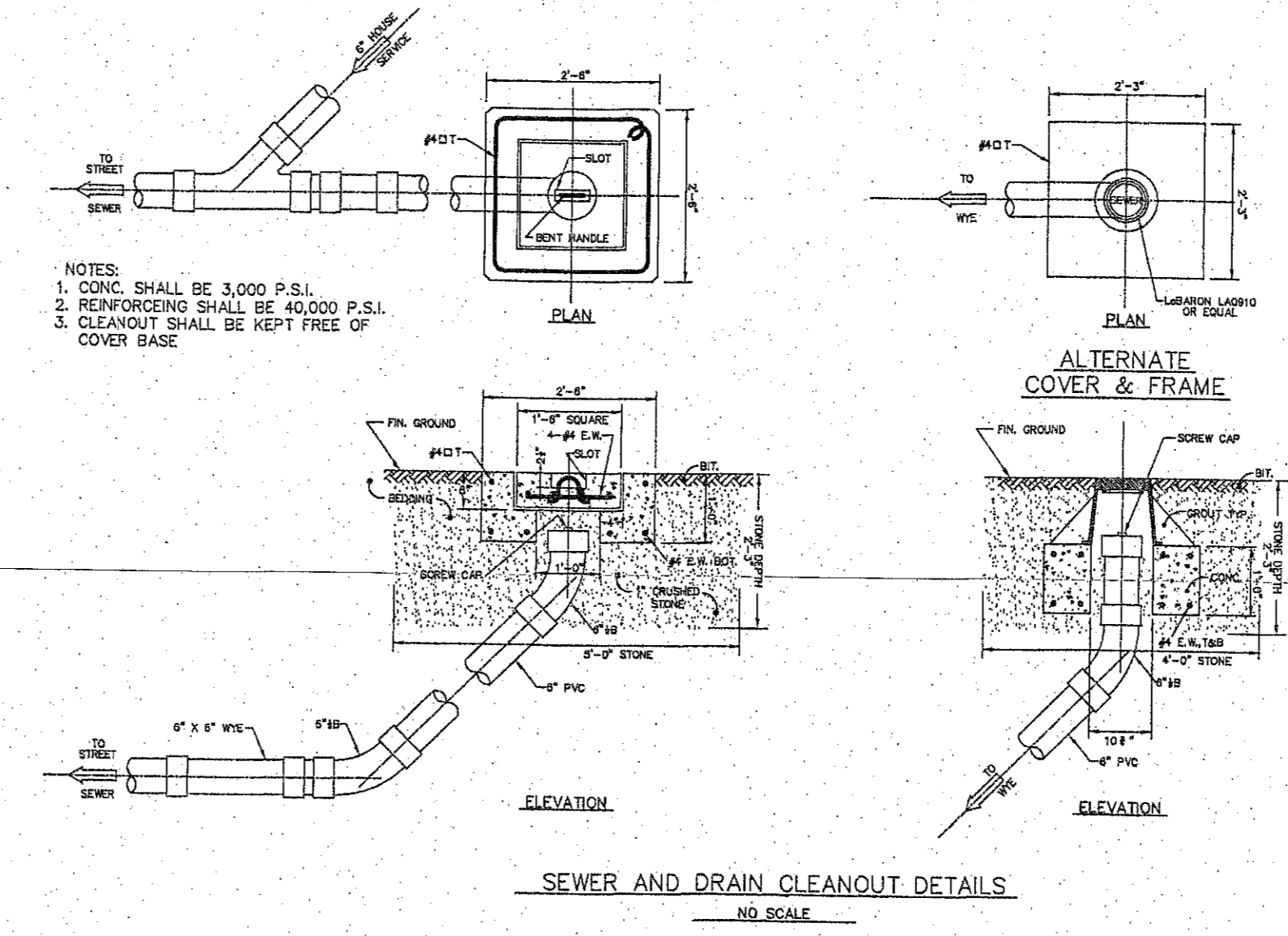


NOTE: 1 1/2" AND 2" SERVICE REQUIRES A CORPORATION COCK ONLY AT THE MAIN AND SHALL BE PROVIDED WITH ROADWAY BOX AT SURFACE.

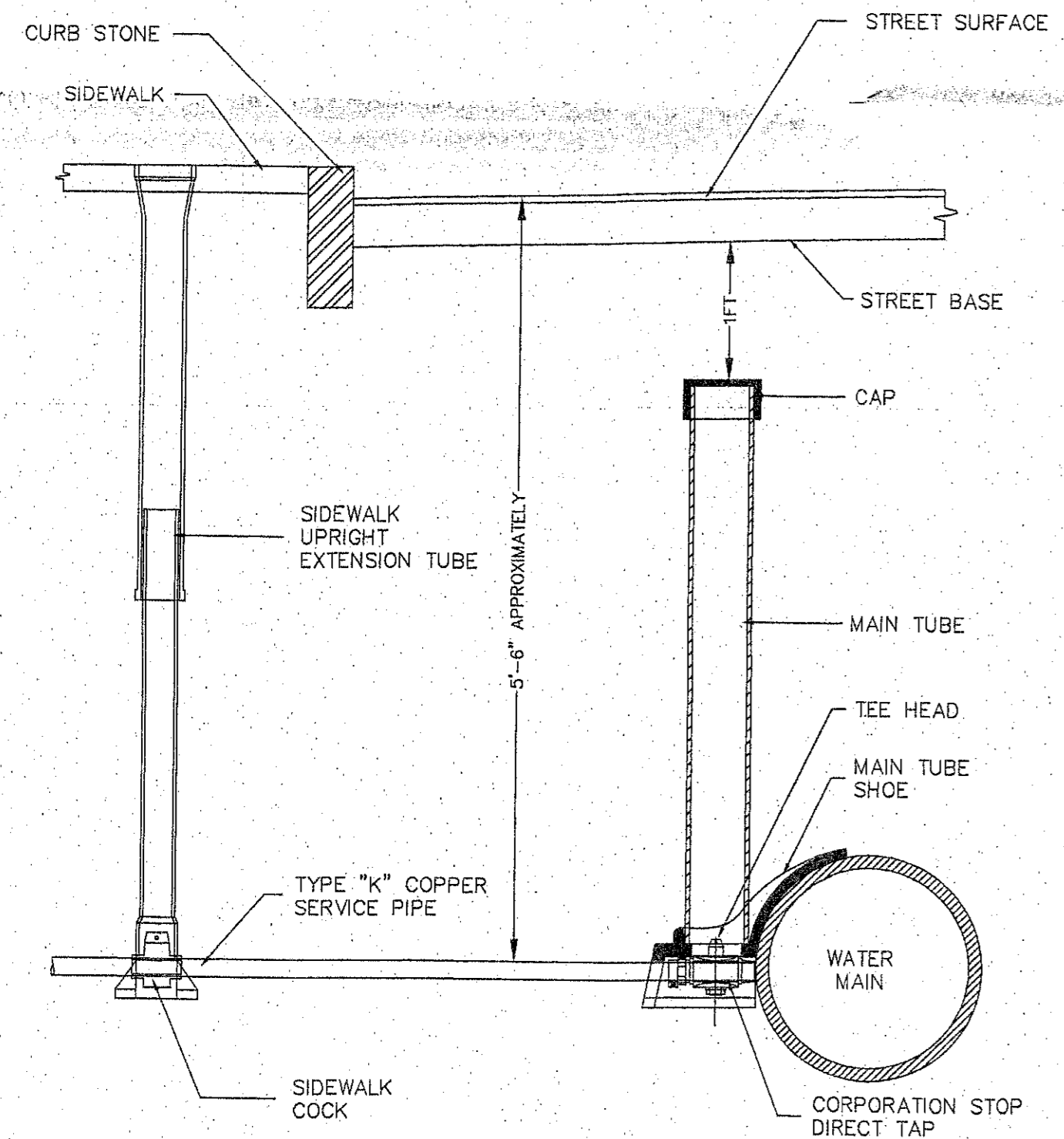
1 1/2" TO 2" WATER CONNECTION DETAIL
NOT TO SCALE



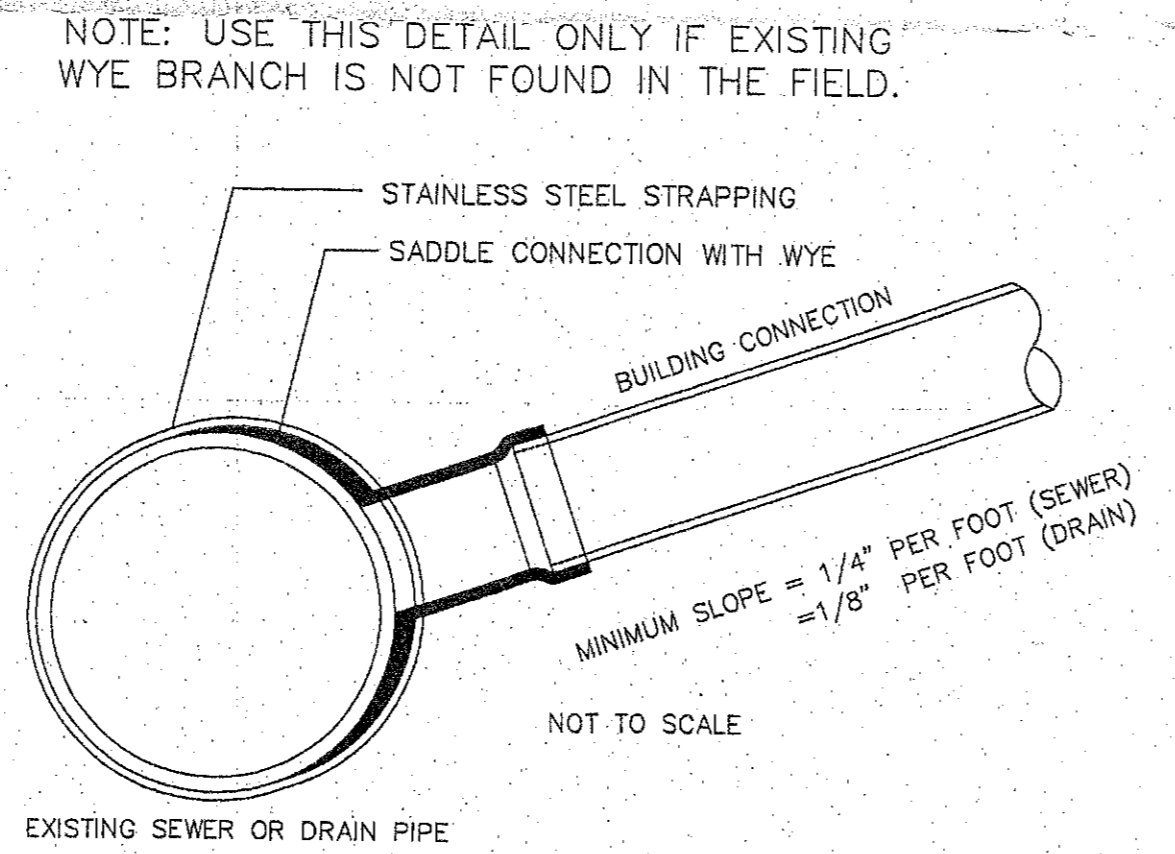
INSERTA TEE DETAIL
NOT TO SCALE



SEWER AND DRAIN CLEANOUT DETAILS
NOT TO SCALE

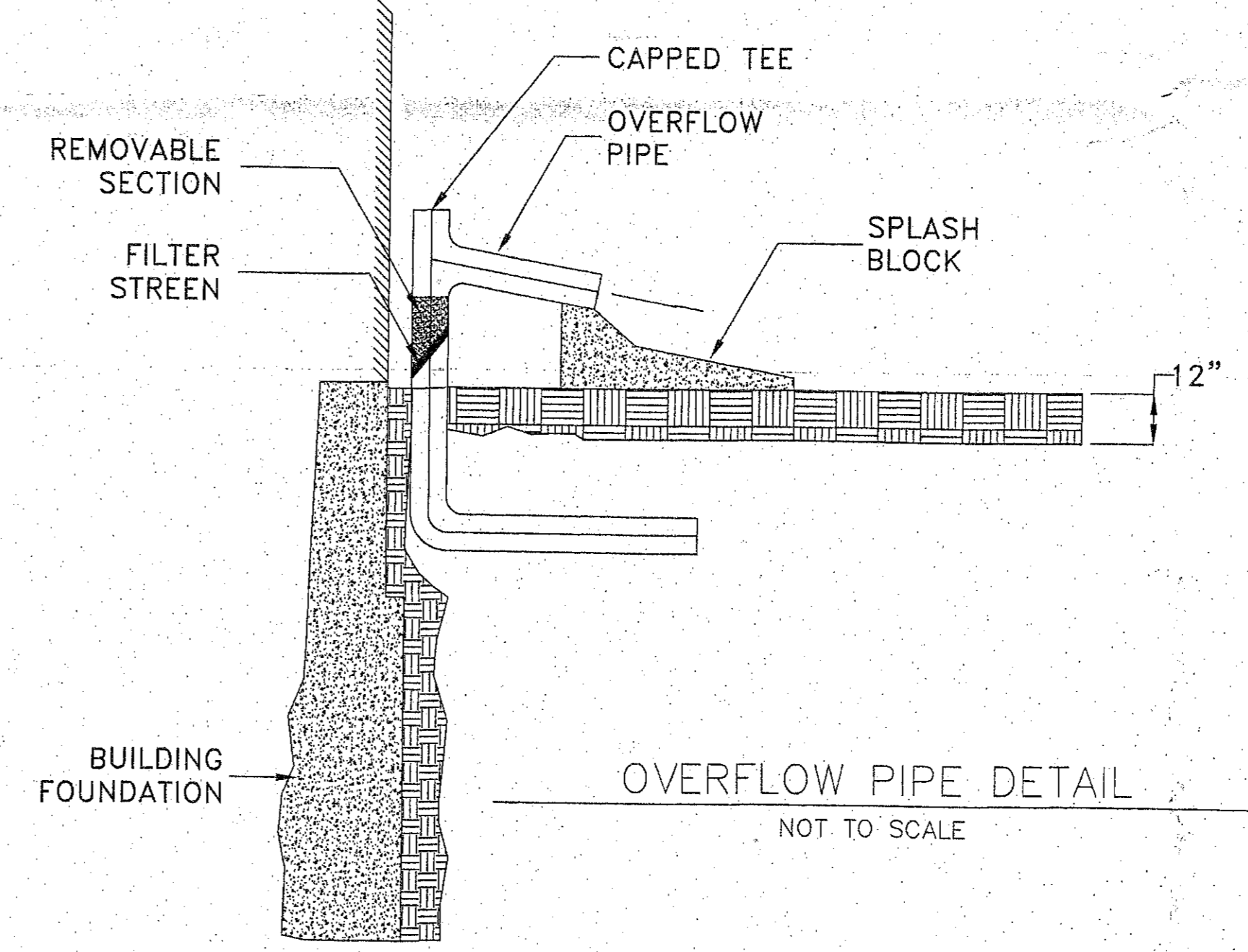


1" WATER CONNECTION DETAIL
NOT TO SCALE



- NOTE: USE THIS DETAIL ONLY IF EXISTING WYE BRANCH IS NOT FOUND IN THE FIELD.
- NOTES:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.
6. TO BE USED IF AN EXISTING WYE IS NOT FOUND.

SEWER CONNECTION DETAIL
NOT TO SCALE



OVERFLOW PIPE DETAIL
NOT TO SCALE

ACCOUNT NUMBER	1346926
PARCEL NUMBER	02792000
WARD NUMBER	2
PROPERTY LOCATION	8 MONUMENT SQUARE
NEIGHBORHOOD	CHARLESTOWN
ZIP CODE	02129
OWNER	EDWARD F. KELLY REVOCABLE TRUST OF 2016 C/O Rob Gatnik
OWNERS ADDRESS	61 MORRELL STREET WEST ROXBURY, MA 02132
OWNERS TELEPHONE NUMBER	ROB GATNIK 617-308-4889
TYPE OF PREMISE	4 FAMILY
METER SIZE	5/8"
BWSC PROJECT No.	22-065
LAND USE CODE	R4

SITE PLAN
FOR
8 MONUMENT SQUARE
IN
BOSTON, (CHAS.) MASS.
PREPARED FOR:
EDWARD F. KELLY
PREPARED BY:
NEPONSET VALLEY
SURVEY ASSOC., INC.

95 WHITE STREET QUINCY, MA.
(617) 877-8433 SCALE 1" = 10'
NOVEMBER 17, 2022 SHEET 2 OF 2

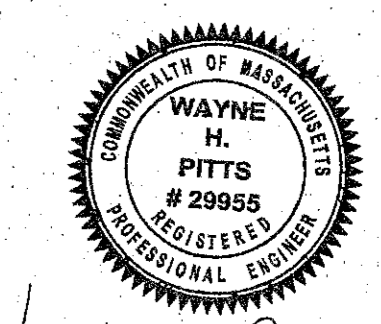
NOTES:
A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE BIDDING CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTORIAL SERVICES DEPARTMENT. IN PUBLIC WAY.

ANY EXISTING WATER AND SEWER SERVICES UNCOVERED ARE TO BE ABANDONED AND SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET BY THE GENERAL CONTRACTOR.

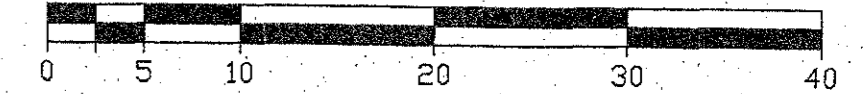
PROPOSED BUILDING CONTAINS 9 BEDROOMS WITH AN AVERAGE DAILY SANITARY SEWAGE FLOW OF 110 GALLONS FOR A TOTAL OF 990 GALLONS PER DAY.

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A FIELD SURVEY AND COMPILATION OF RECORD UTILITY PLANS. N.V.S.A., INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL OR ANY OF THE UTILITIES DEPICTED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY CONTACTING "DIG SAFE" AT (800) 322-4844 PRIOR TO COMMENCEMENT OF CONSTRUCTION.

TBM - SMH INV.=59.54 @ STA 0+00
CITY OF BOSTON L-PLAN - NONE (MONUMENT SQUARE)

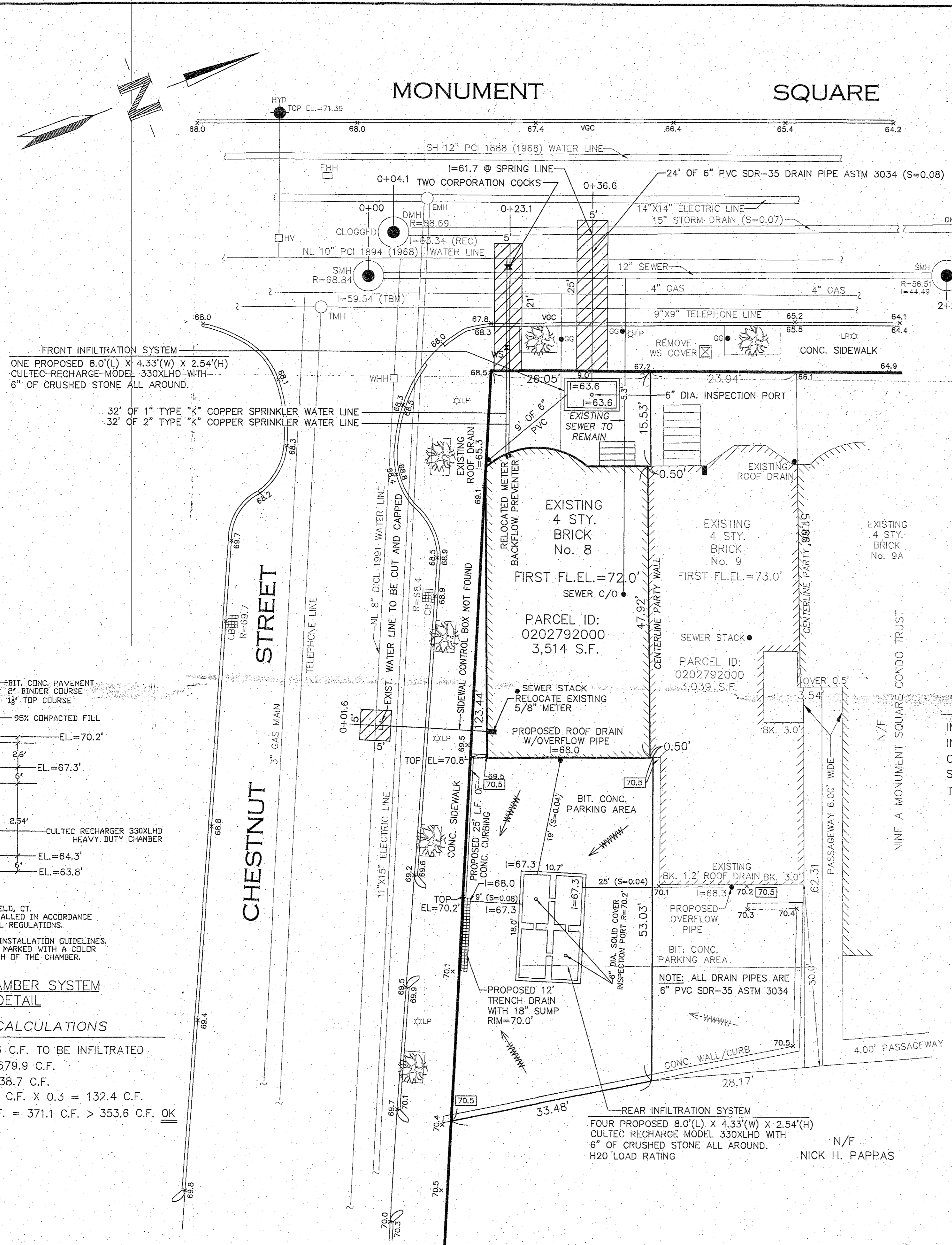


Wayne H. Pitts, PE

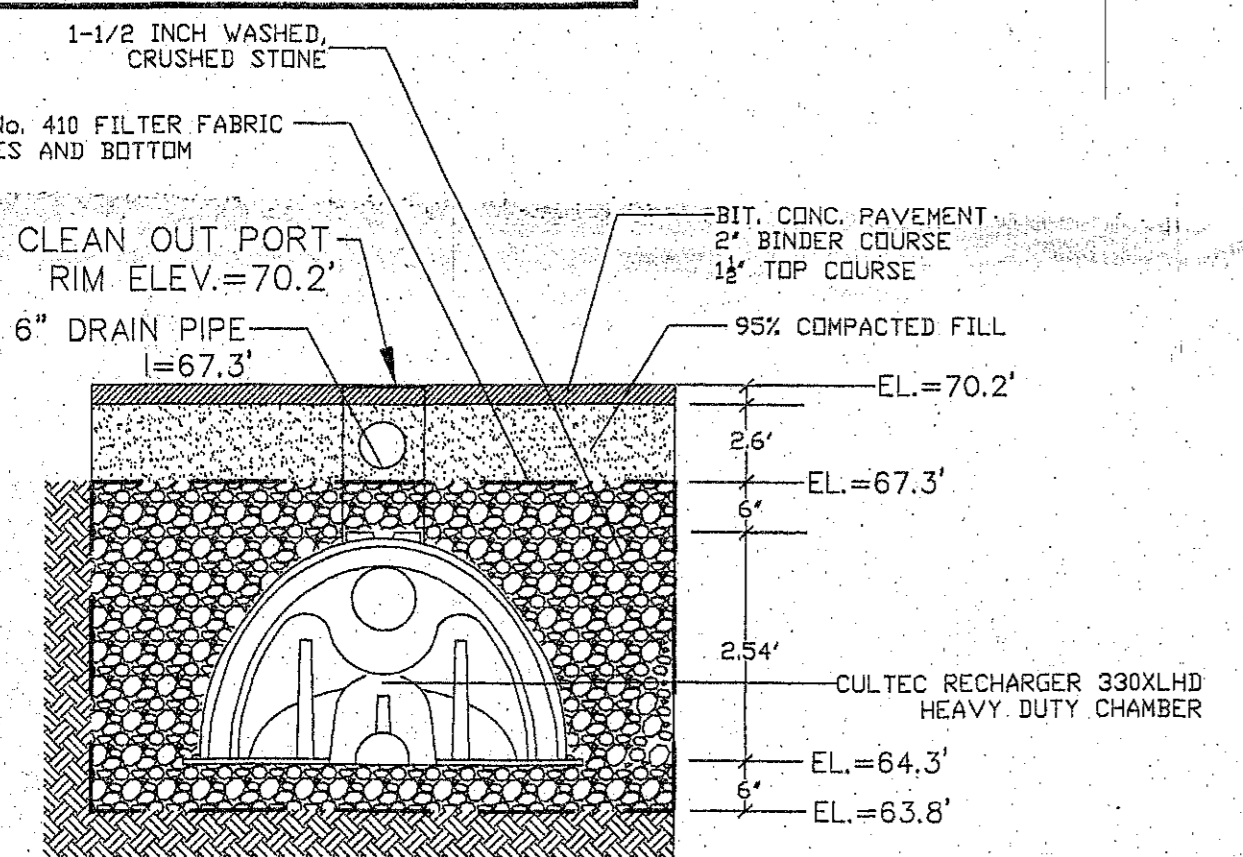


(22-004H) JMH

- INSPECTIONS**
- DYE TEST DRAIN
DATE: _____
INSPECTOR: _____
 - 6" DRAIN LINE INSTALLATION
DATE: _____
INSPECTOR: _____
 - FRONT YARD INFILTRATION SYSTEM
DATE: _____
INSPECTOR: _____
 - REAR INFILTRATION SYSTEM INSTALLATION
DATE: _____
INSPECTOR: _____
 - ROOF DRAIN WITH OVERFLOW
DATE: _____
INSPECTOR: _____
 - 2" SPRINKLER LINE INSTALLATION
DATE: _____
INSPECTOR: _____
 - 1" WATER LINE INSTALLATION
DATE: _____
INSPECTOR: _____
 - CUT AND CAP EXISTING WATER LINE
DATE: _____
INSPECTOR: _____
 - TRENCH DRAIN W/18" SUMP INSTALLATION
DATE: _____
INSPECTOR: _____
 - AS-BUILT PREPARATION FEE
DATE: _____
INSPECTOR: _____



FRONT INFILTRATION SYSTEM
ONE PROPOSED 8.0'(L) X 4.33'(W) X 2.54'(H)
CULTEC RECHARGE MODEL 330XLHD WITH
6" OF CRUSHED STONE ALL AROUND.



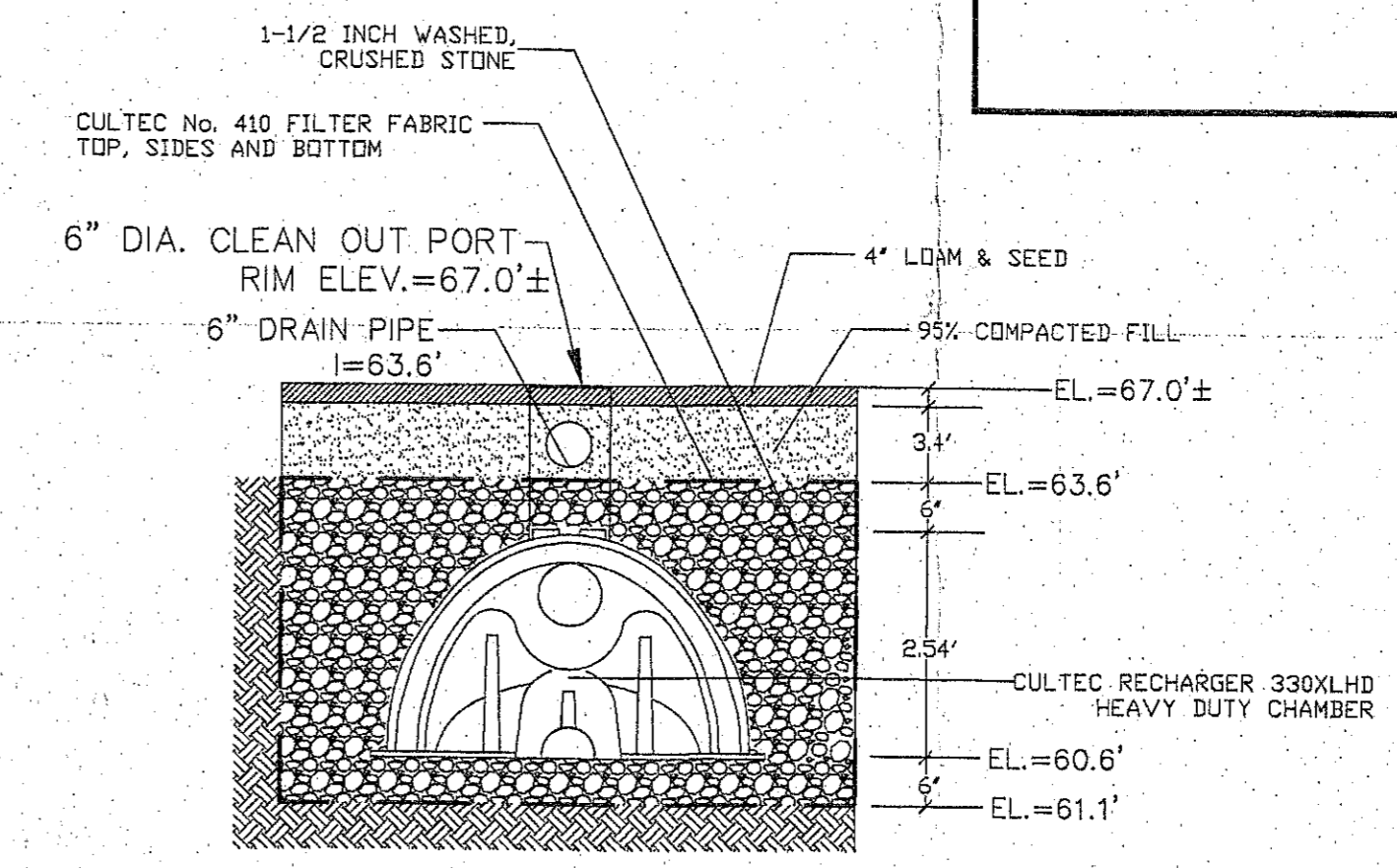
CULTEC RECHARGER 330XLHD CHAMBER SYSTEM
TYPICAL CROSS SECTION DETAIL

REAR INFILTRATION SYSTEM CALCULATIONS

IMPERVIOUS AREA = 4,242.6 SQ. FT. X 1/12 = 353.6 C.F. TO BE INFILTRATED
INFILTRATION BED AREA = 10.67' X 18.0' X 3.54' = 679.9 C.F.
CULTEC PIPE CAPACITY = 7.46 C.F./FT X 32 FT = 238.7 C.F.
STONE CAPACITY = 679.9 C.F. - 238.7 C.F. = 441.2 C.F. X 0.3 = 132.4 C.F.
TOTAL INFILTRATION CAPACITY = 132.4 C.F. + 238.7 C.F. = 371.1 C.F. > 353.6 C.F. **OK**

LEGEND

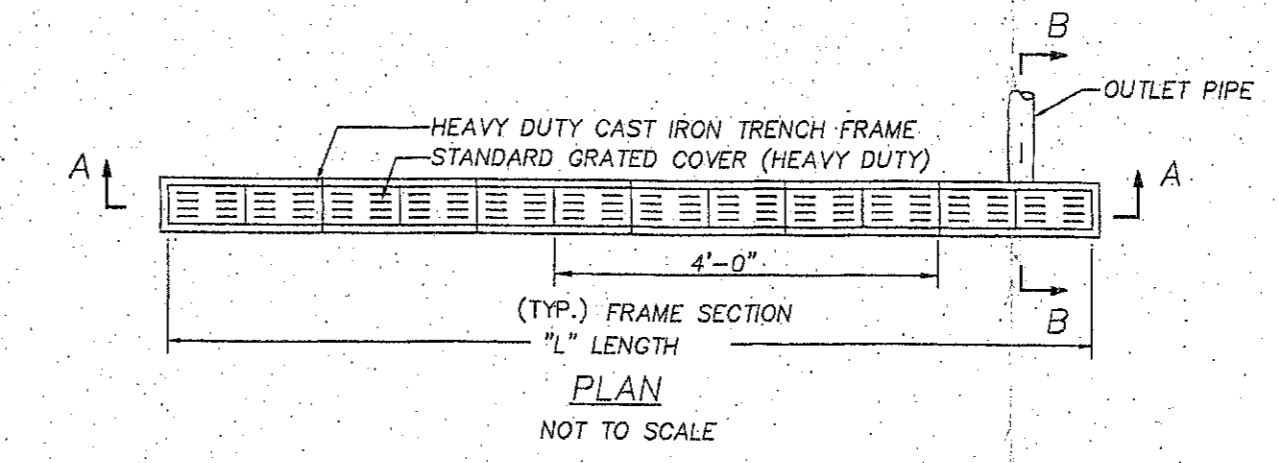
- Water Main Valve
- Water Service/Fire/Hydrant Valve
- Hydrant
- Water Meter
- Drain Manhole
- Catch Basin
- Sewer Manhole



CULTEC RECHARGER 330XLHD CHAMBER SYSTEM
TYPICAL CROSS SECTION DETAIL

FRONT INFILTRATION SYSTEM CALCULATIONS

IMPERVIOUS AREA = 669.9 SQ. FT. X 1/12 = 55.8 C.F. TO BE INFILTRATED
INFILTRATION BED AREA = 9.0' X 5.33' X 3.54' = 169.9 C.F.
CULTEC PIPE CAPACITY = 7.46 C.F./FT X 8 FT = 59.7 C.F.
STONE CAPACITY = 169.9 C.F. - 59.7 C.F. = 110.2 C.F. X 0.3 = 33.1 C.F.
TOTAL INFILTRATION CAPACITY = 33.1 C.F. + 59.7 C.F. = 92.8 C.F. > 55.8 C.F. **OK**



TRENCH DRAIN DETAIL
(W/ HEAVY DUTY FRAME AND GRATED COVER)
MANUFACTURER: NEEHAH FOUNDRY CO. OR APPROVED EQUAL

NOTE: PROVIDE BOTTOM OUTLET, LENGTH L = 20'-0"

BOSTON WATER AND SEWER COMMISSION
Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for issue of Building Permit Only. Additional Permits must be obtained from BWSJC prior to Connection to BWSJC facilities. See Form BWSJC-100 (a period of one (1) year from date of approval).
JOHN SULLIVAN, JR. P.E. Chief Engineer
BOSTON WATER & SEWER COMMISSION
Cross Connection Approval: _____ Date: 2/2/23
Discharge Enforcement Approval: _____ Date: _____

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PARCEL NUMBER	02792000
WARD NUMBER	2
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ZIP CODE	02129
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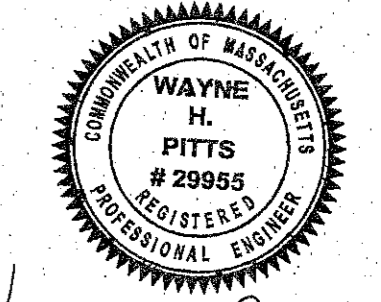
95 WHITE STREET QUINCY, MA.
(617) 877-8433 SCALE 1" = 10'
NOVEMBER 17, 2022 SHEET 1 OF 2

NOTES:
A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE BOSTON CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTION SERVICES DEPARTMENT. INDICATES 5' WIDE TRENCH, MAXIMUM EXCAVATION IN PUBLIC WAY.

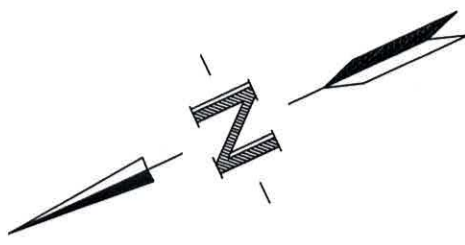
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TBM - SMH INV.=59.54 @ STA 0+00
CITY OF BOSTON L-PLAN - NONE (MONUMENT SQUARE)



Wayne H. Pitts, PE
0 5 10 20 30 40



N/F
NICK H. PAPPAS

PARCEL ID:
0202792000
3,514 S.F.

PROPOSED
2nd, 3rd &
4th STY.
DECKS

DS

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal

M. Cannizzo
Signature

04/25/2023

EDWARD F. KULLY R/OCCABLE
TRUST OF 2016

EXISTING
4 STY.
BRICK
No. 9

EXISTING
4 STY.
BRICK
No. 8

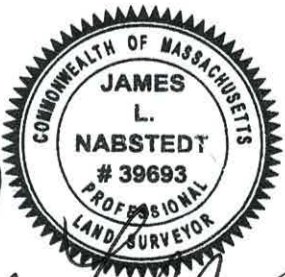
CENTERLINE PARTY WALL

CHESTNUT
STREET

MONUMENT

SQUARE

Approved pursuant
to Article 80E for
projects in a
Neighborhood
Design Overlay
District.



JAMES L. NABSTEDT

PLS No. 39693

PLOT PLAN
SHOWING
PROPOSED DECK
AT
8 MONUMENT SQUARE
IN
BOSTON (CHAS.), MASS.

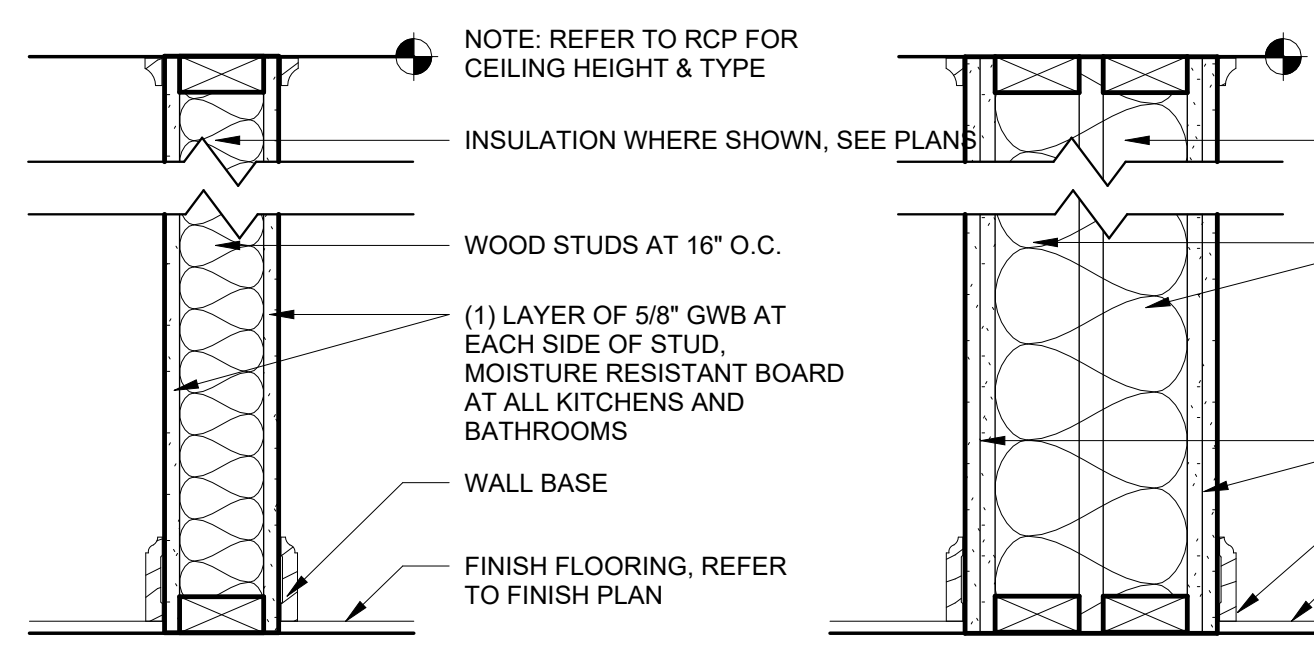
PREPARED BY:
NEPONSET VALLEY SURVEY ASSOC., INC.
95 WHITE STREET
QUINCY, MA 02169

SCALE:
1"=20'

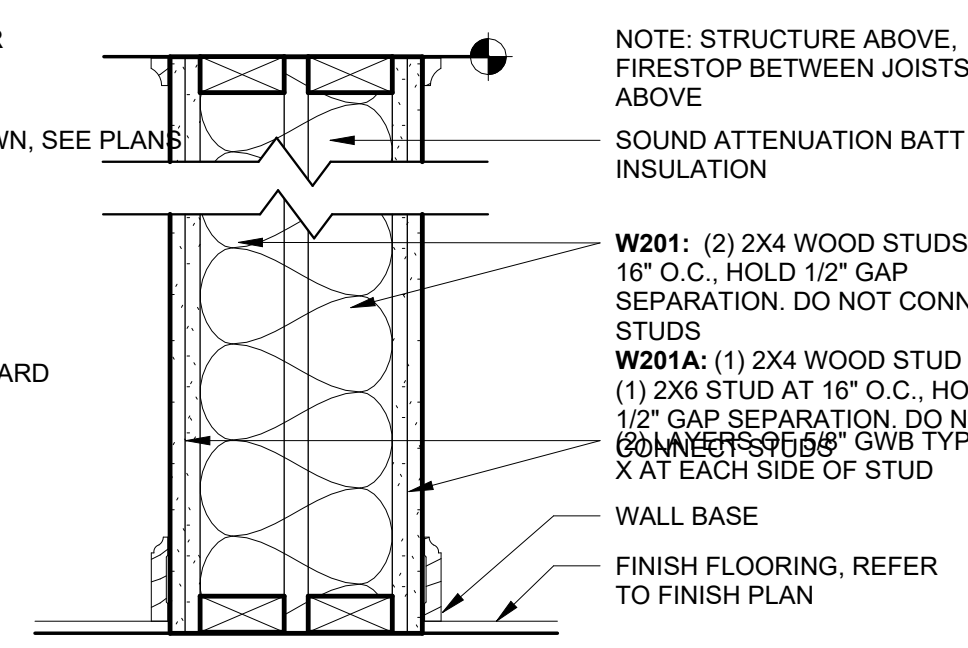
DATE:
MARCH 27, 2023

SHEET
1 OF 1

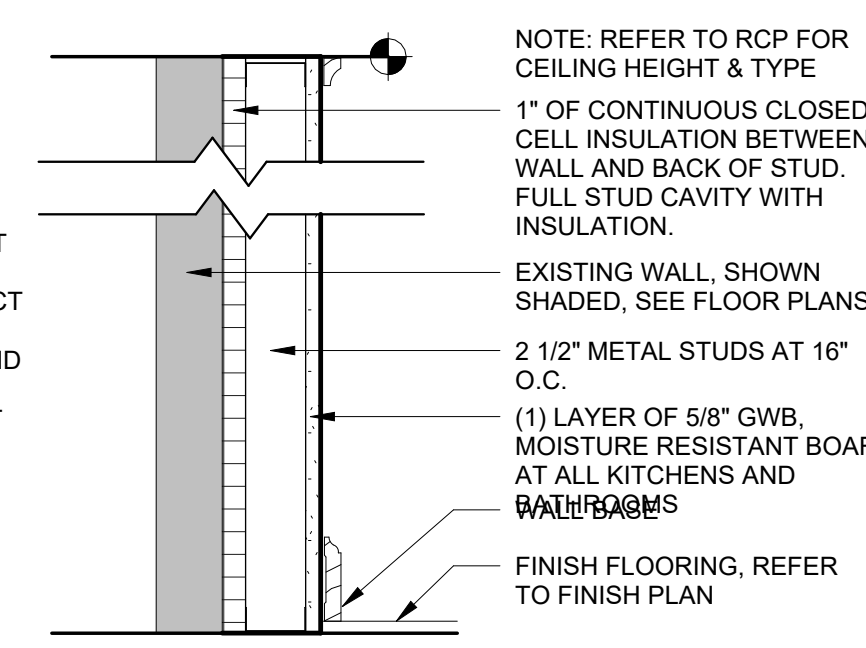




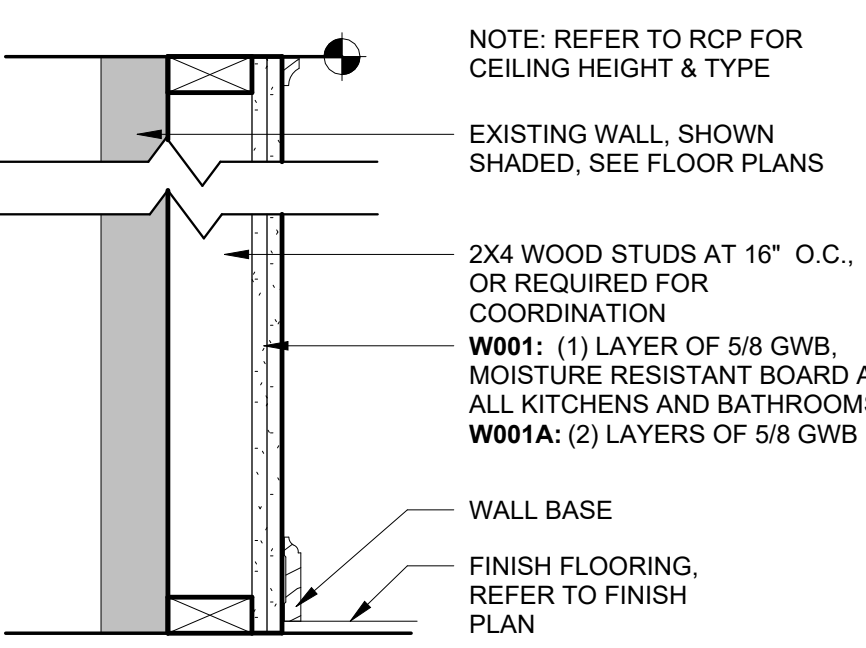
W011: TYPICAL PARTITION - 2X4 STUD
W011A: TYPICAL PARTITION - 2X6 STUD



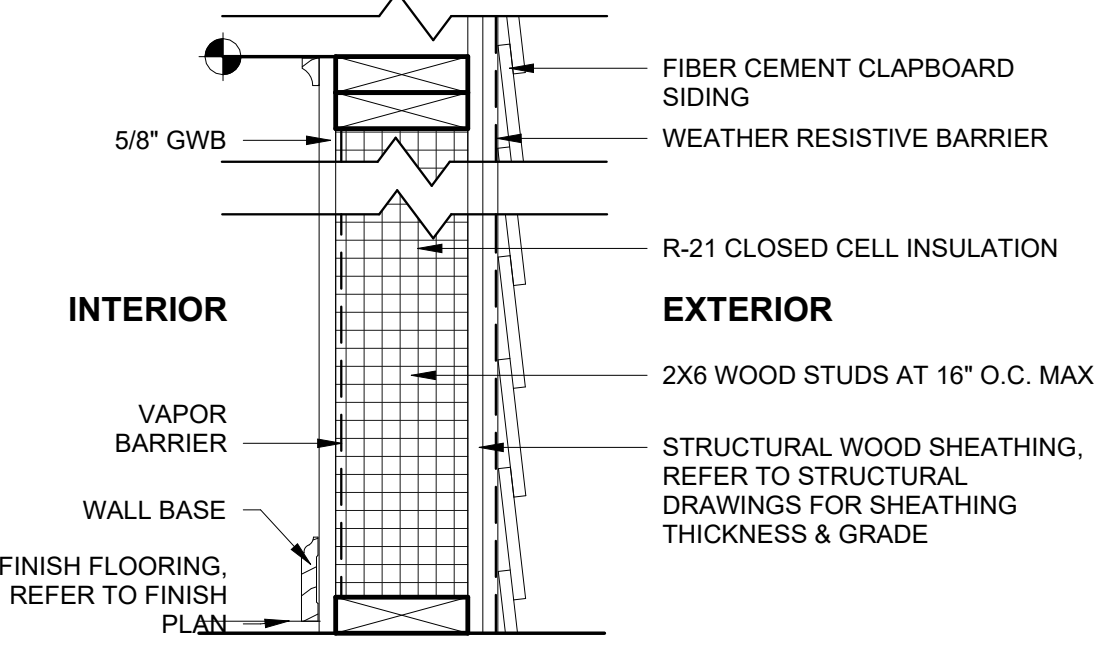
W201: TYPICAL PARTITION - (2)2X4 STUD
W201A: TYPICAL PARTITION - (1)2X4&(1)2X6 STUD



M001: TYPICAL FURRING PARTITION AT EXISTING EXTERIOR WALLS

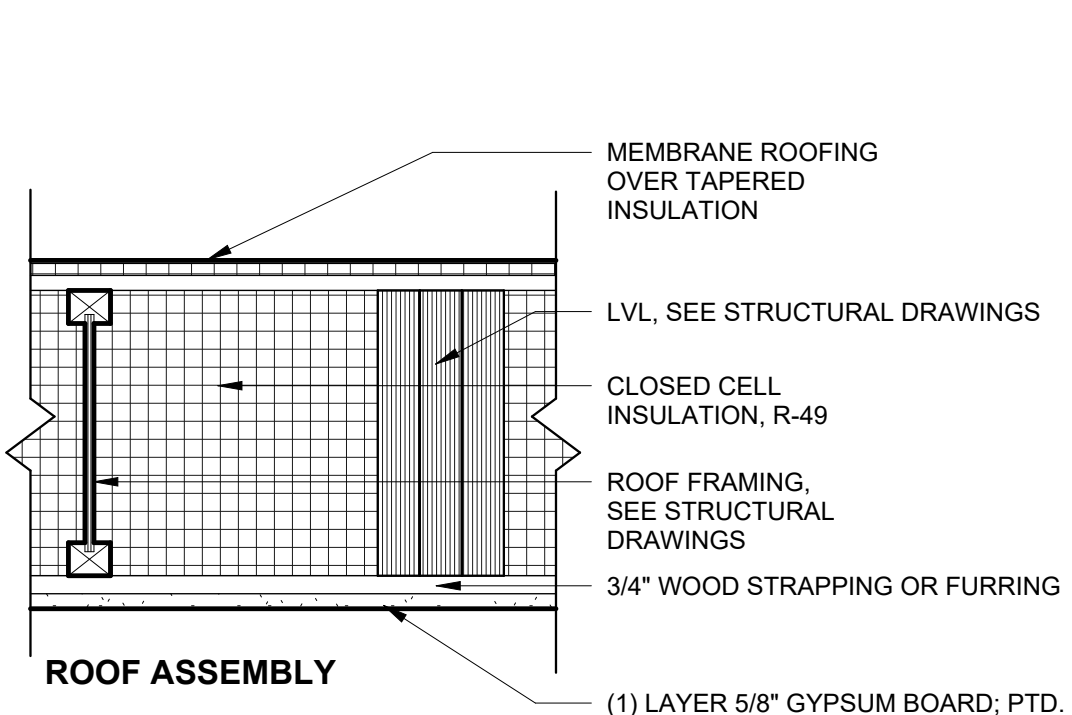
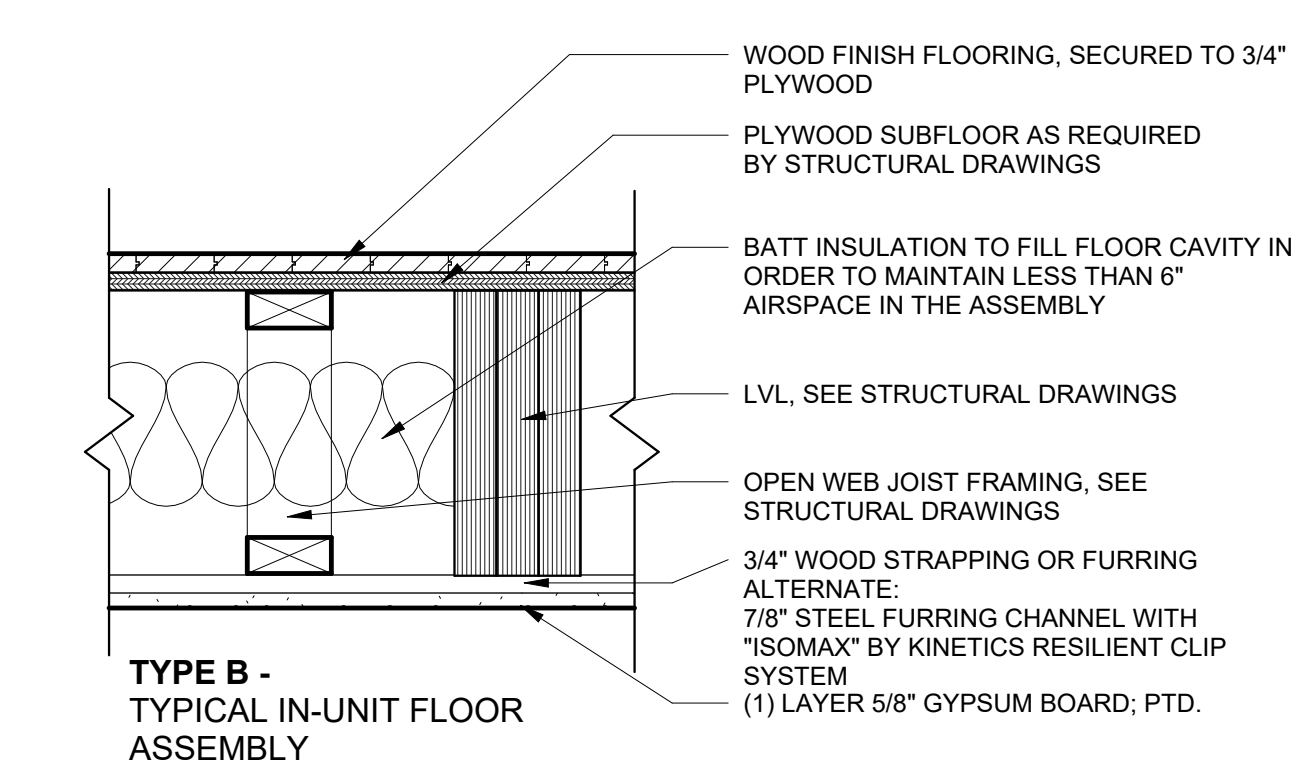
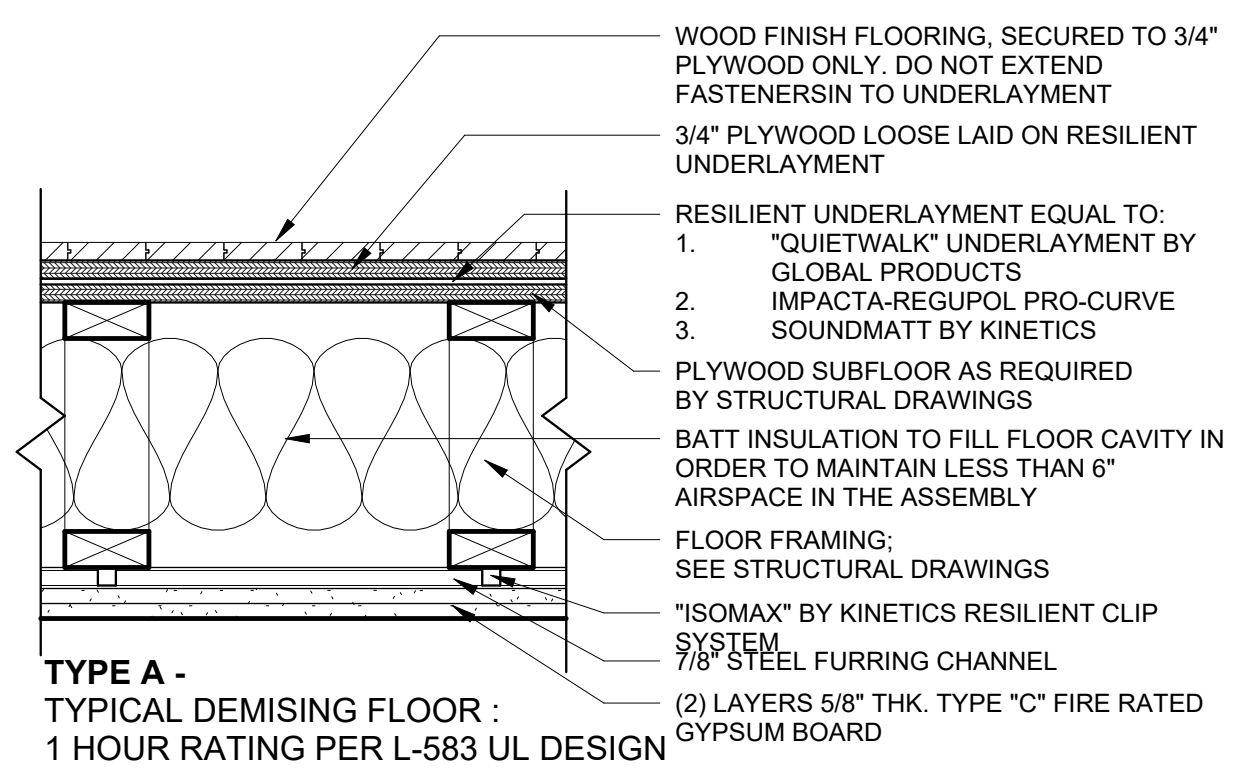
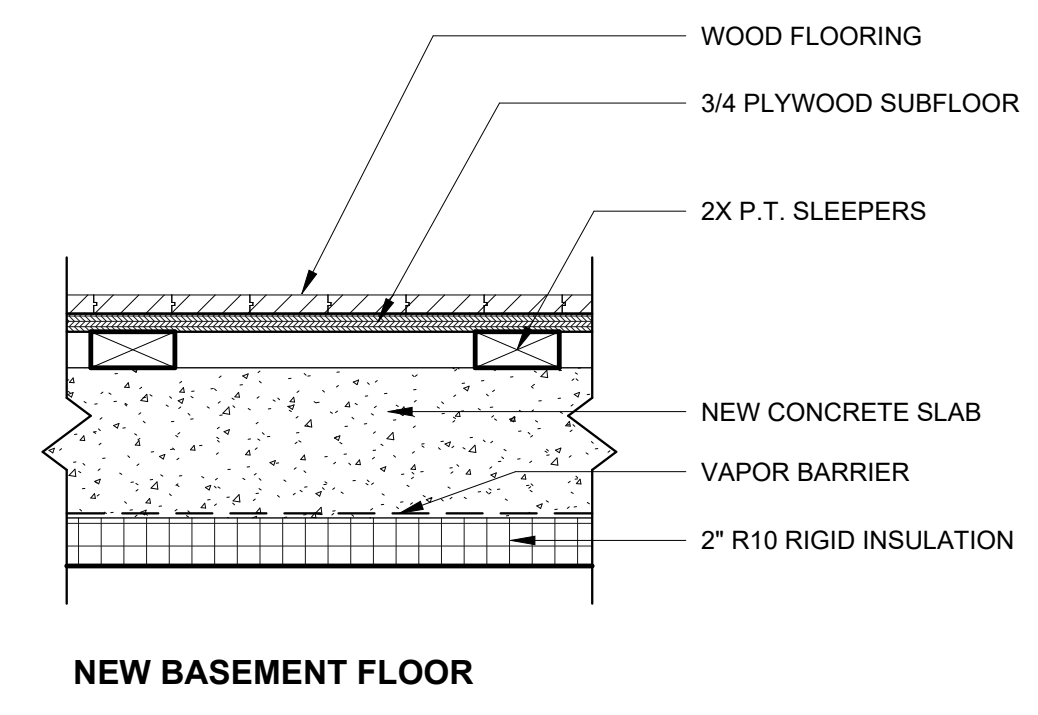


W001: WOOD FURRING PARTITION WITH 2X4 STUDS AT EXISTING PARTY WALLS
W001A: WOOD FURRING PARTITION WITH 2X4 STUDS AT EXISTING PARTY WALLS - (2) LAYERS GWB



W301: 2X6 WOOD STUD @ 16 O.C. W/ FIBER CEMENT CLAPBOARD SIDING

WALL TYPES

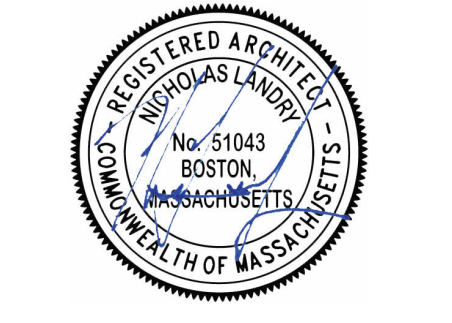


FLOOR ASSEMBLIES

1. SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.
2. SEE FLOOR PLANS FOR LOCATIONS OF SOUND INSULATION.
3. PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS; RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE RESISTANCE DIRECTORY.
4. RATED PARTITIONS SHALL HAVE U.L. HEAD DESIGNS, SEALANT, AND FILL MATERIAL OF THE SAME RATING.
5. ALL THROUGH-WALL PENETRATIONS MUST BE COMPLETED TO PREVENT DIRECT CONTACT WITH FRAMING MEMBERS AND SHALL BE ACOUSTICALLY SEALED WITH A RESILIENT, NON-HARDENING CAULK. IF THE PENETRATION IS THROUGH A FIRE-RATED PARTITION, AN ACOUSTICAL FIRE-RATED CAULK SHALL BE USED.
6. SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS FOR REINFORCING, BRACING AND OTHER SPECIAL REQUIREMENTS.
7. PROVIDE LATERAL BRACING AND CROSS-BRIDGING AS RECOMMENDED BY STUD MANUFACTURER FOR EACH CONDITION
8. COORDINATE FINISHES APPLIED TO PARTITIONS AS INDICATED IN THE FINISH SCHEDULE, INTERIOR ELEVATIONS AND ELSEWHERE IN THE CONTRACT DOCUMENTS.
9. PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASEWORK, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC. WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE.
10. SUBSTITUTE MOISTURE-RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND LAUNDRY ROOMS.
11. WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE STAGGERED.
12. FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.



Design Resource Team, LLC
546 East Broadway
Boston, MA 02127
617.804.6117
info@drteam.com
www.drteam.com



No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
BUILDING INFORMATION

Project number: 221062A
Date: 3/23/2023
Drawn by: NC
Checked by: NPL

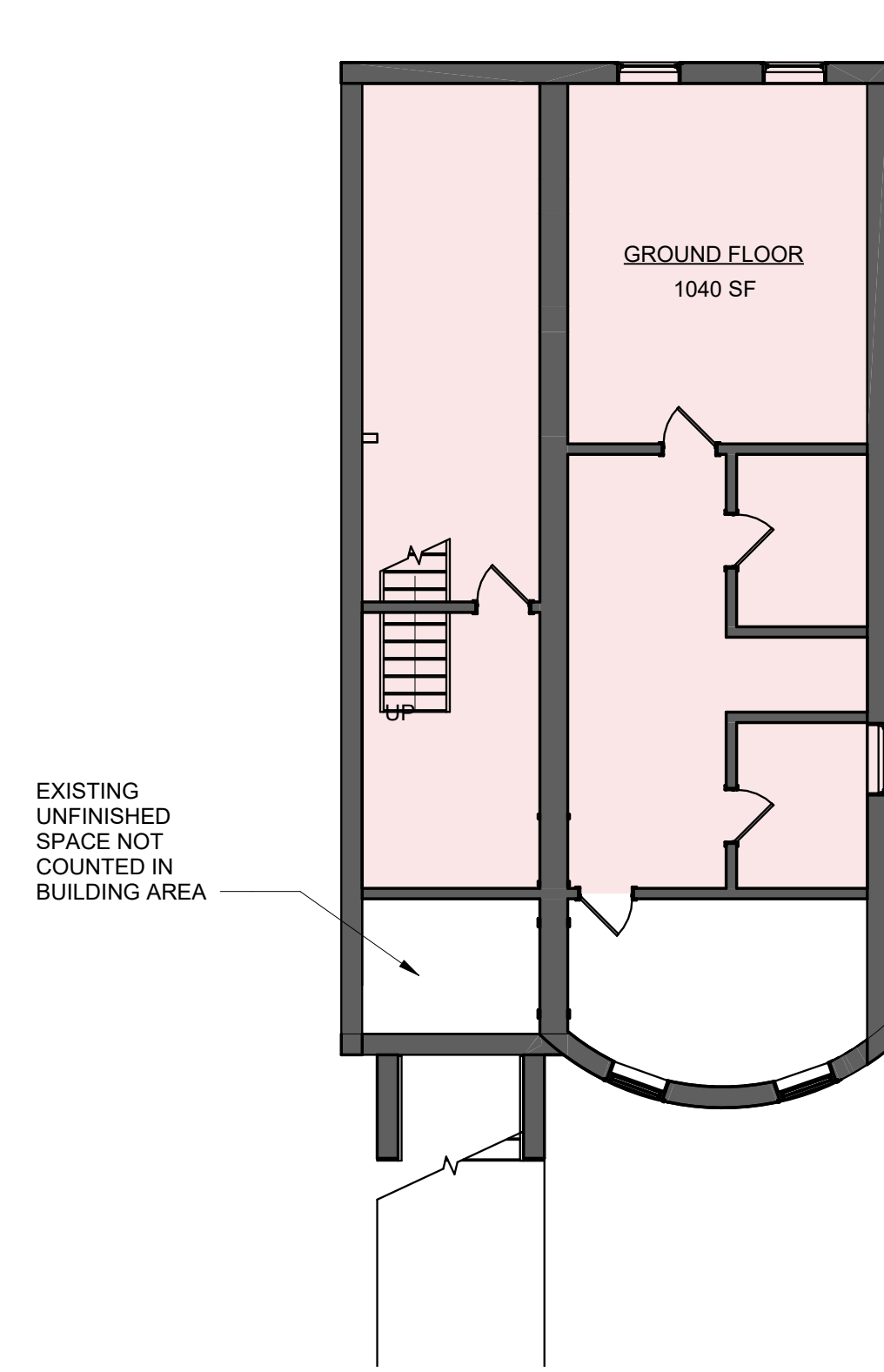
A001

Scale: 1 1/2" = 1'-0"

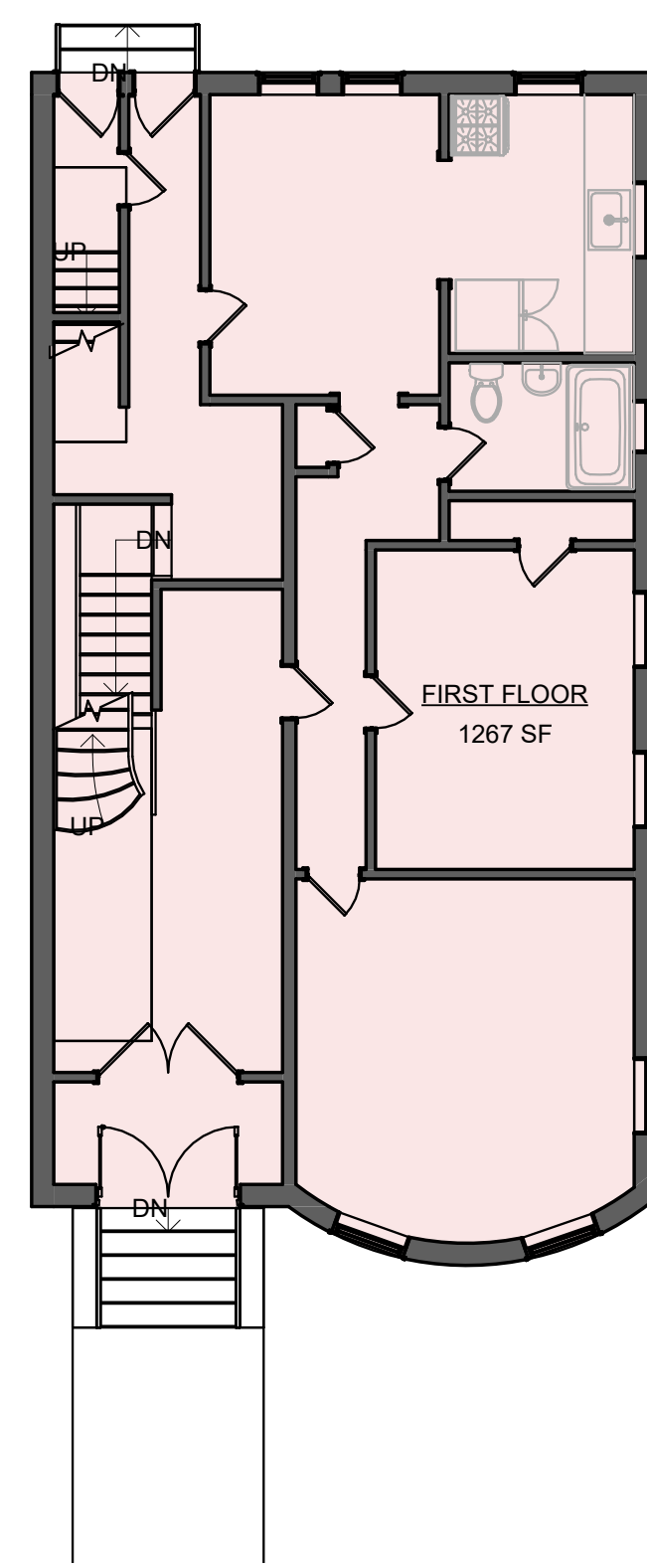
Existing Gross Building	
FAR	GSF/LOT AREA=2.11
Name	Area
GROUND FLOOR	1040 SF
FIRST FLOOR	1267 SF
SECOND FLOOR	1268 SF
THIRD FLOOR	1268 SF
FOURTH FLOOR	1270 SF
	6114 SF



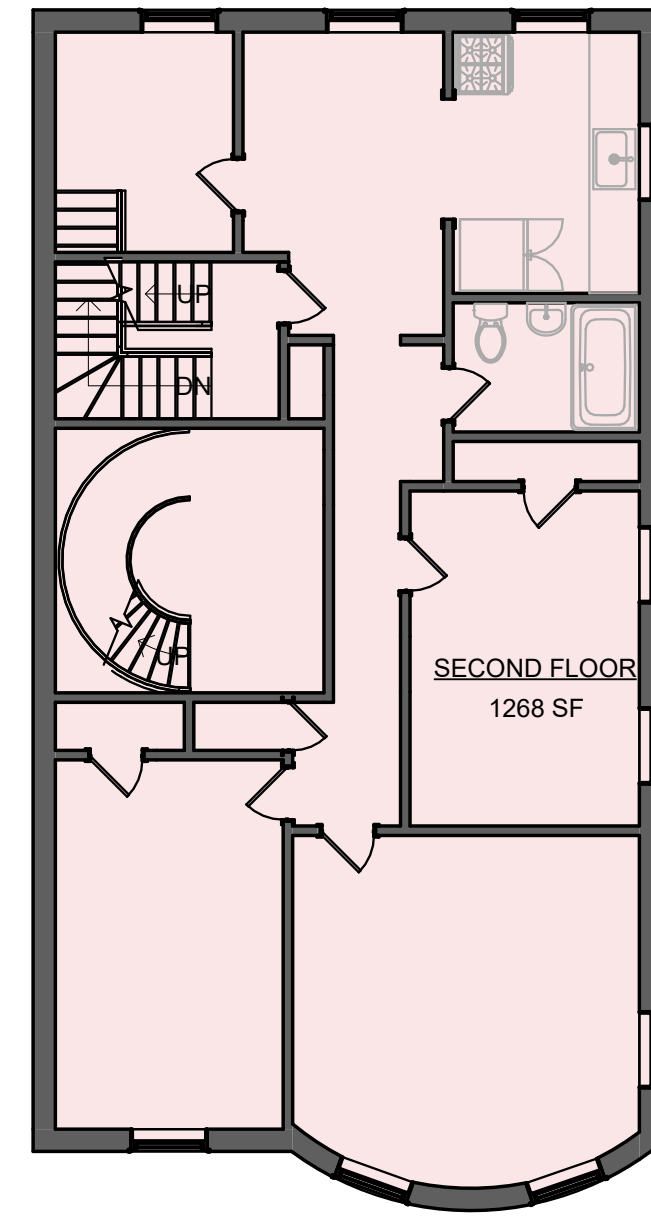
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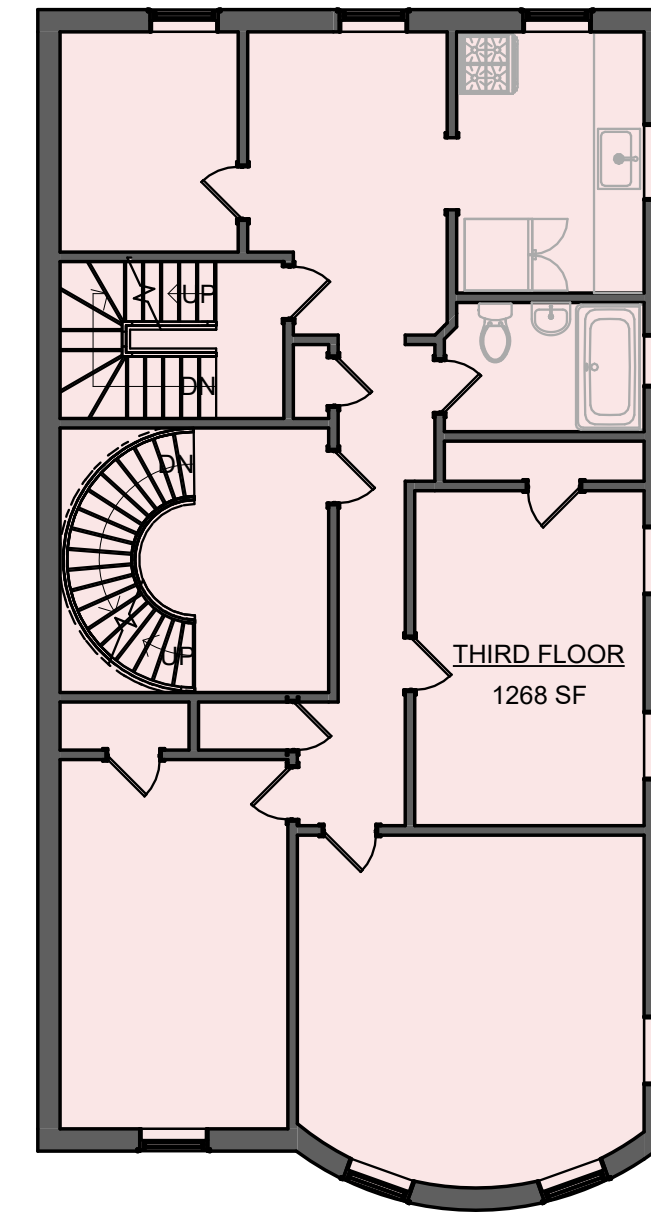
① Basement
1/8" = 1'-0"



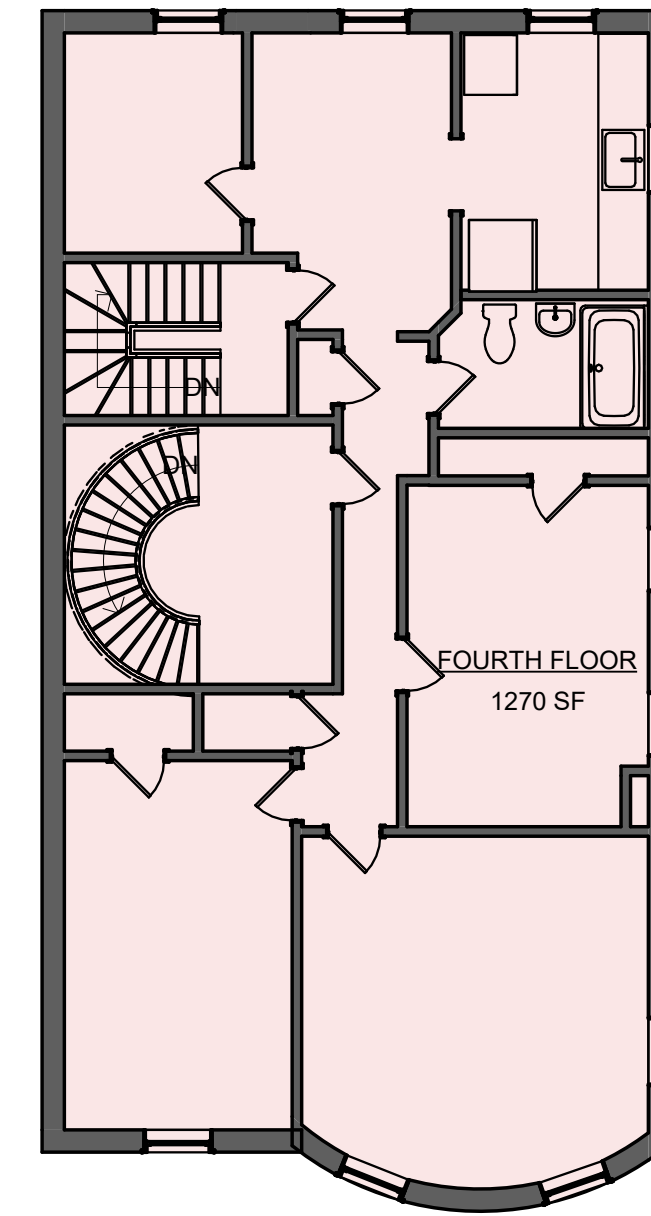
② Level 1
1/8" = 1'-0"



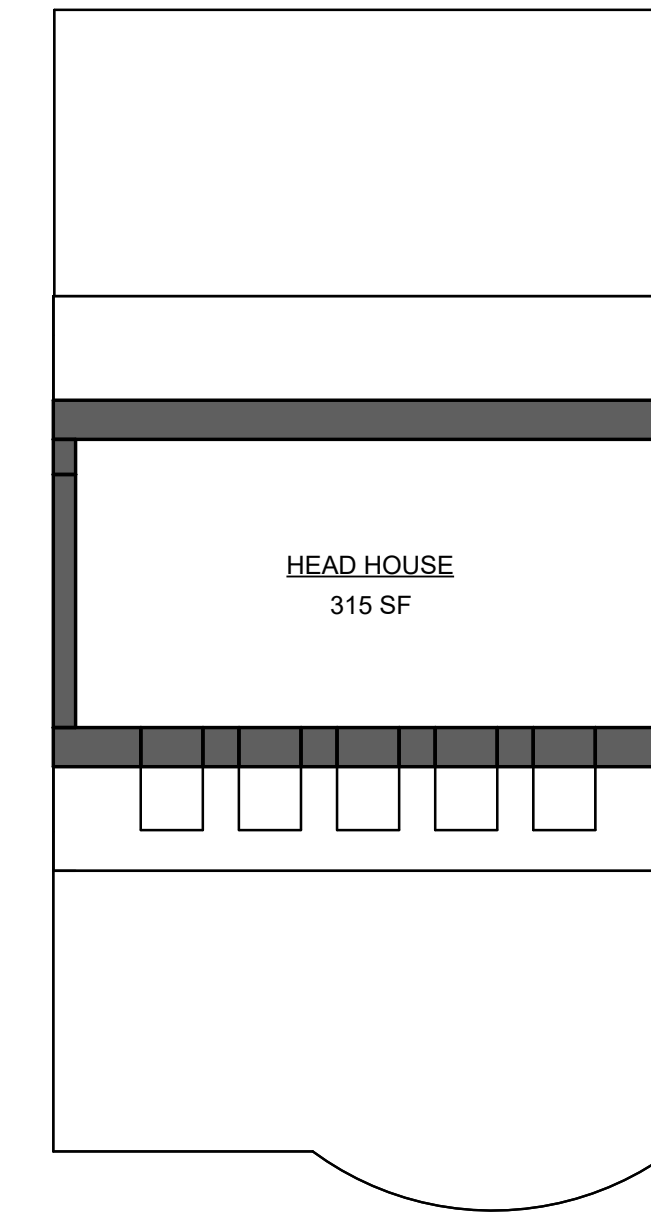
③ Level 2
1/8" = 1'-0"



④ Level 3
1/8" = 1'-0"

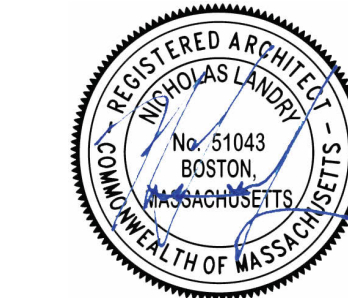


⑤ Level 4
1/8" = 1'-0"

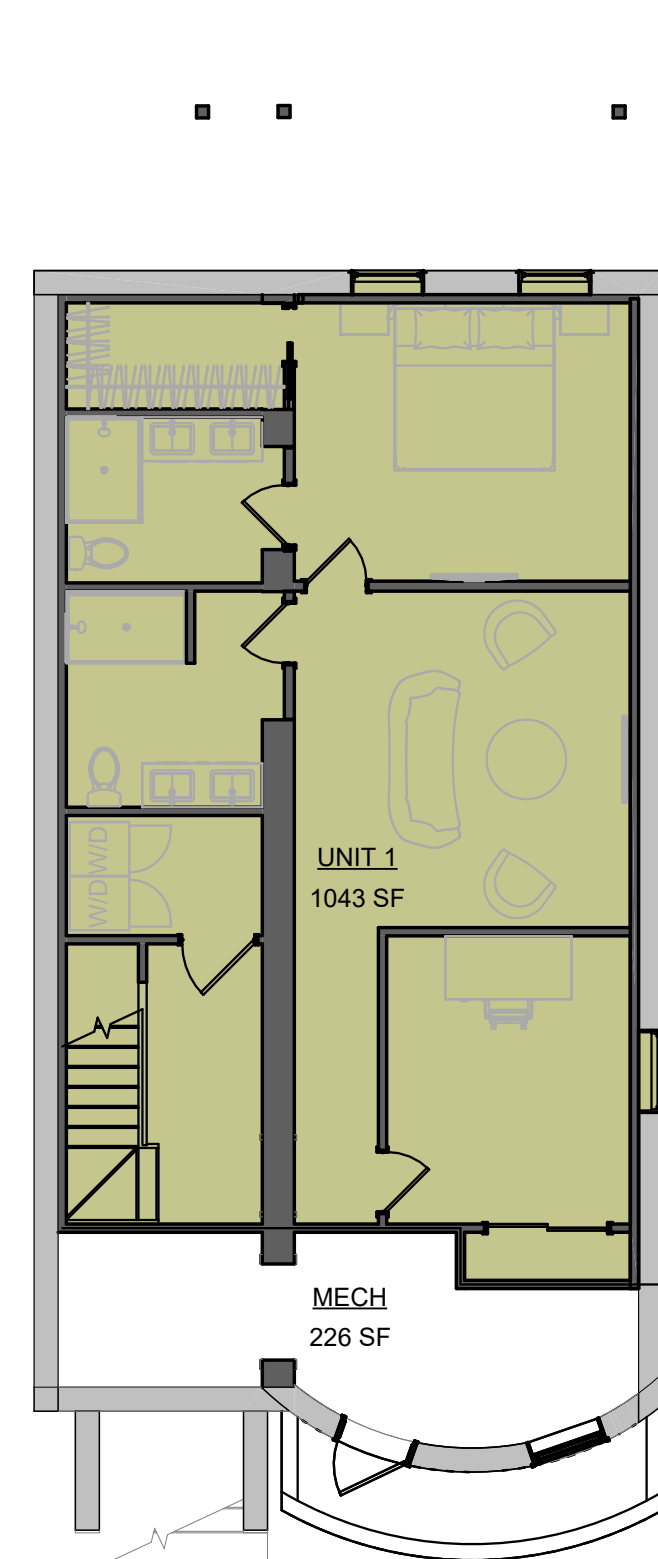


⑥ Roof
1/8" = 1'-0"

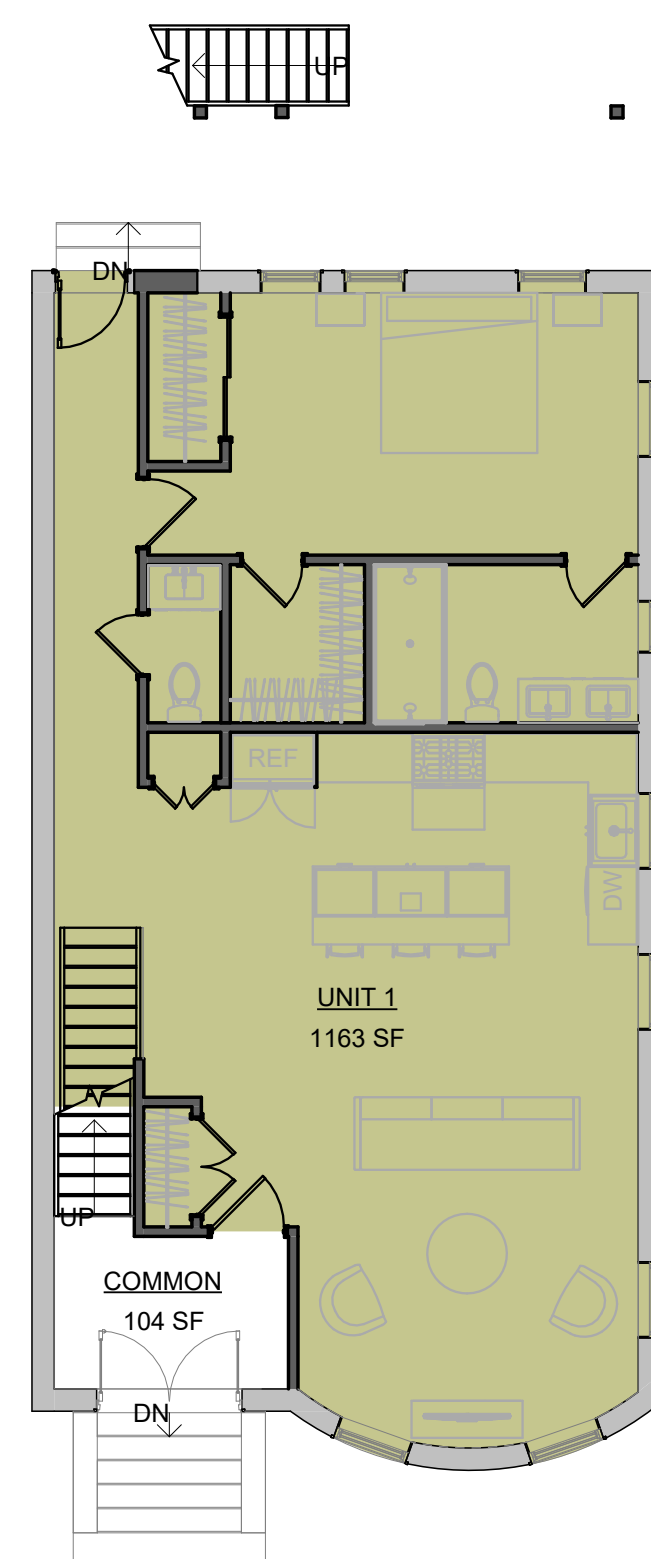
Proposed Gross Building	
FAR	GSF/LOT AREA=2.11
Name	Area
COMMON	327 SF
UNIT 1	2205 SF
UNIT 2	1129 SF
UNIT 3	1129 SF
UNIT 4	1321 SF
FINISHED	6112 SF
MECH	226 SF
UNFINISHED	226 SF



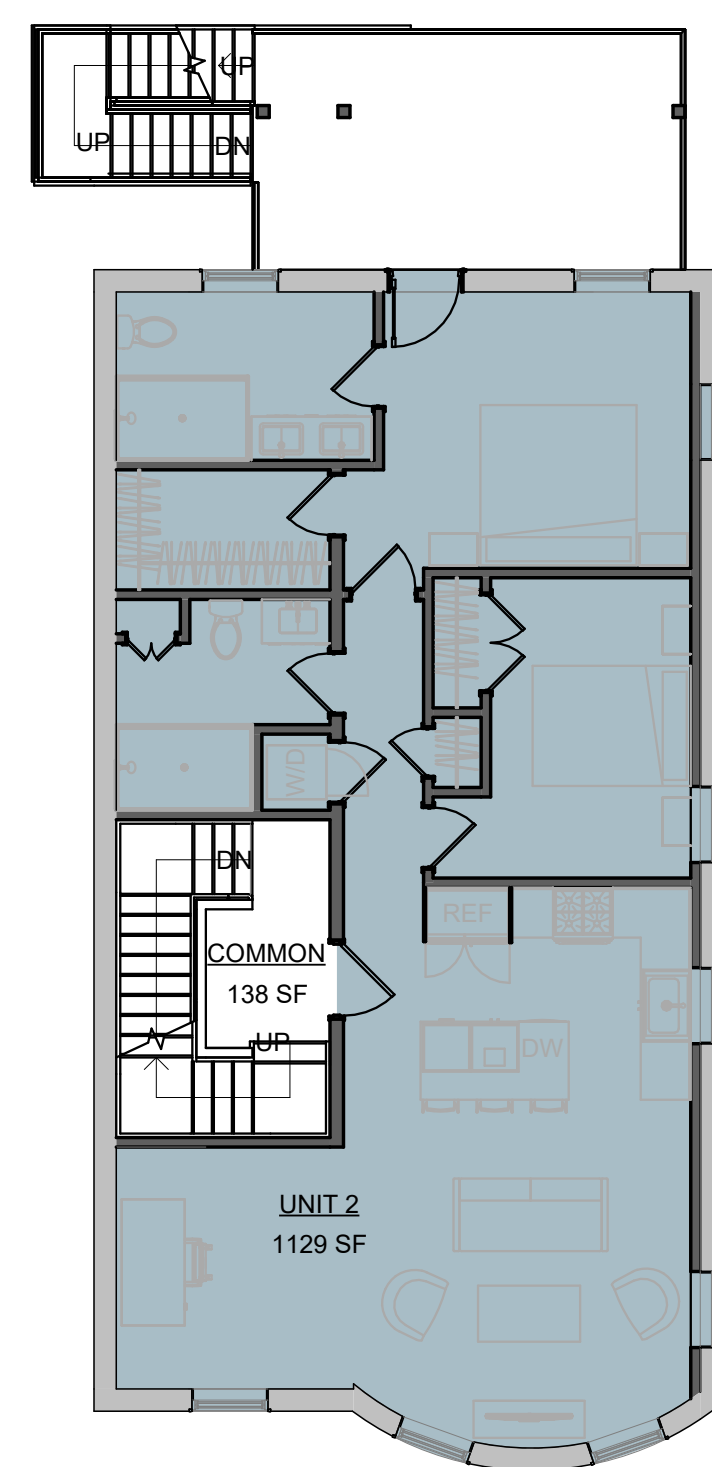
- COLOR KEY:**
- UNIT 1
 - UNIT 2
 - UNIT 3
 - UNIT 4
 - COMMON OR MECH



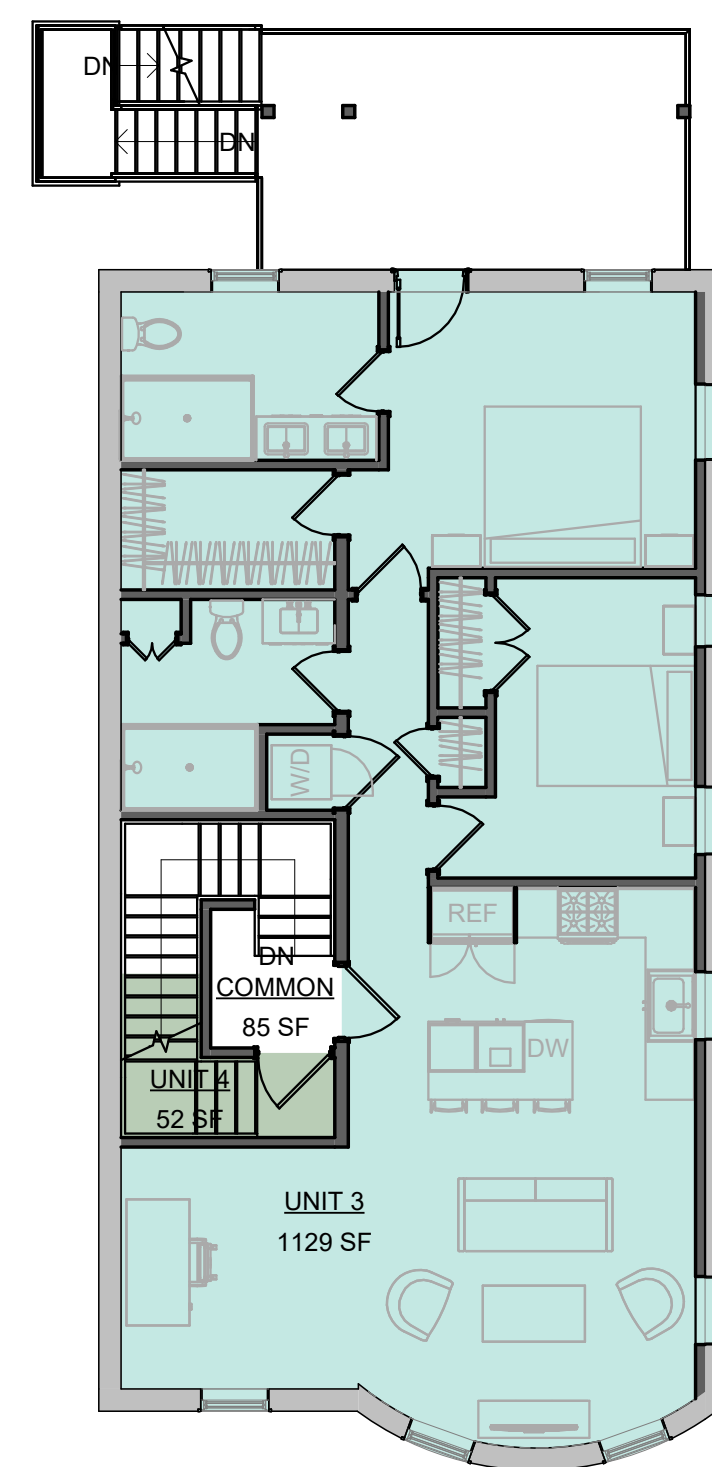
⑦ Basement
1/8" = 1'-0"



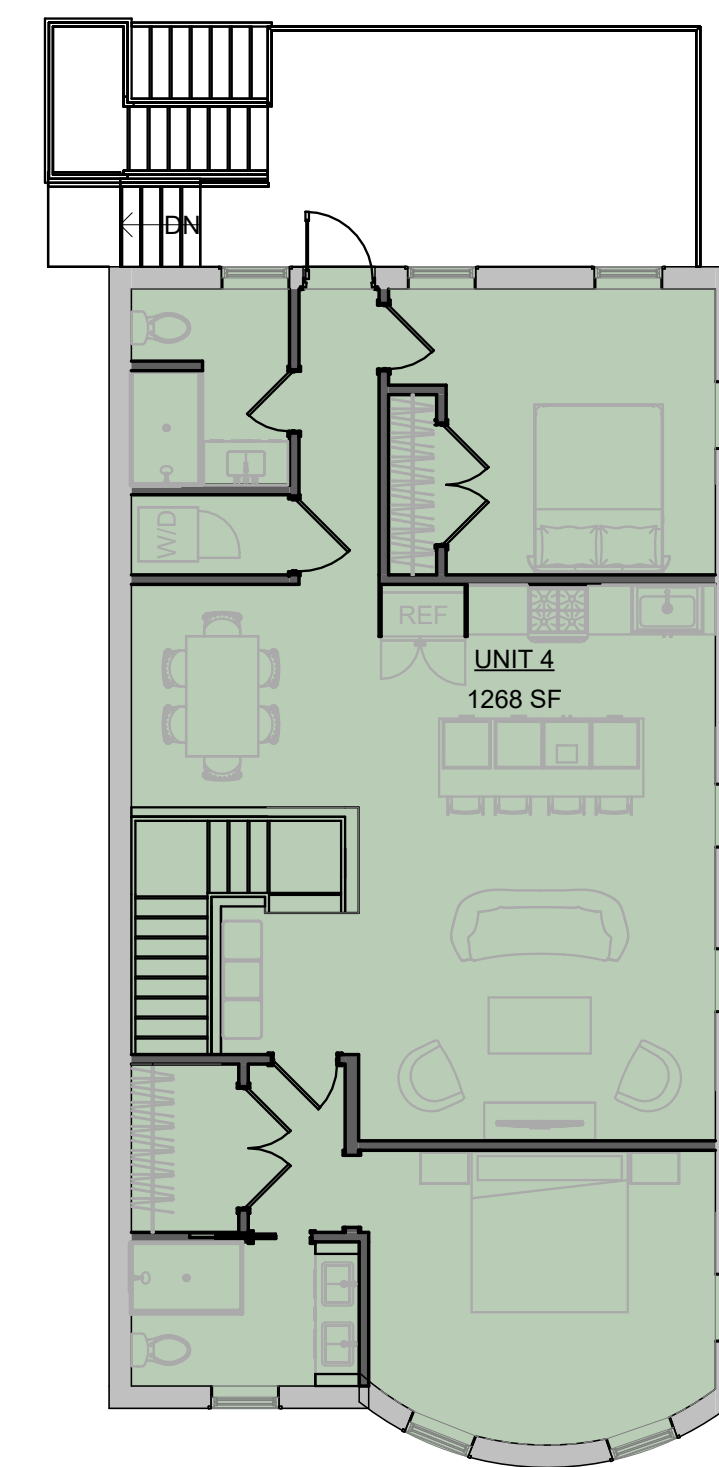
⑧ Level 1
1/8" = 1'-0"



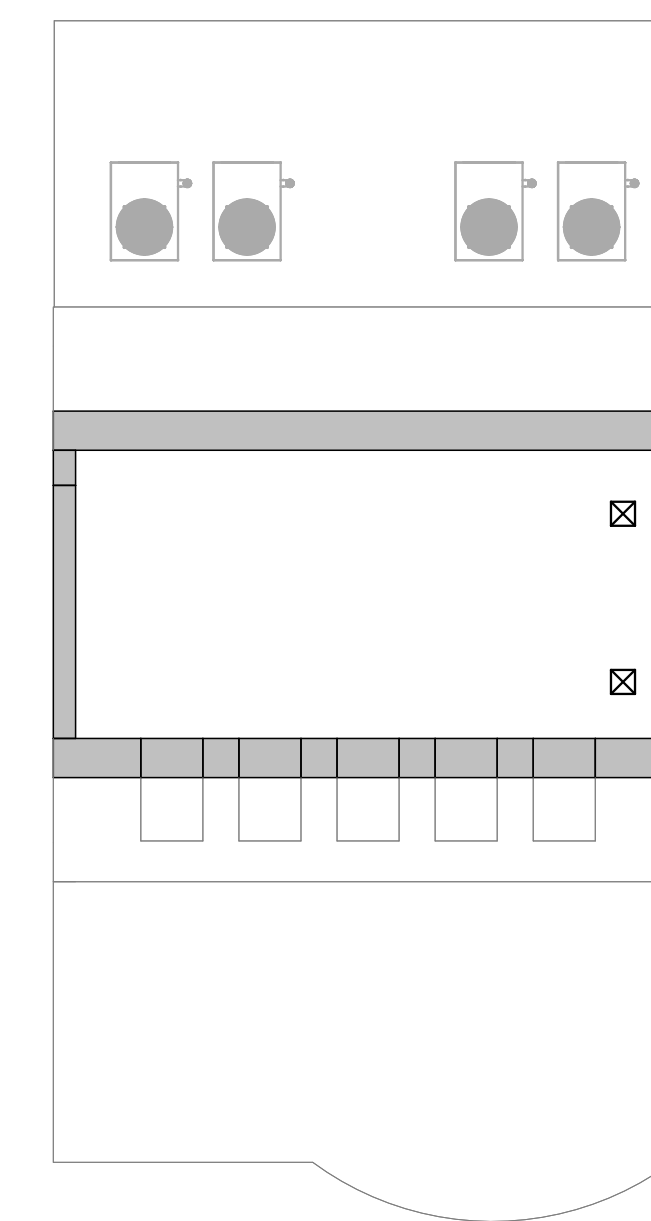
⑨ Level 2
1/8" = 1'-0"



⑩ Level 3
1/8" = 1'-0"



⑪ Level 4
1/8" = 1'-0"



⑫ Roof
1/8" = 1'-0"



No.	Description	Date

8-9 MONUMENT SQ LLC
 8 MONUMENT SQ
 BUILDING INFORMATION

Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL

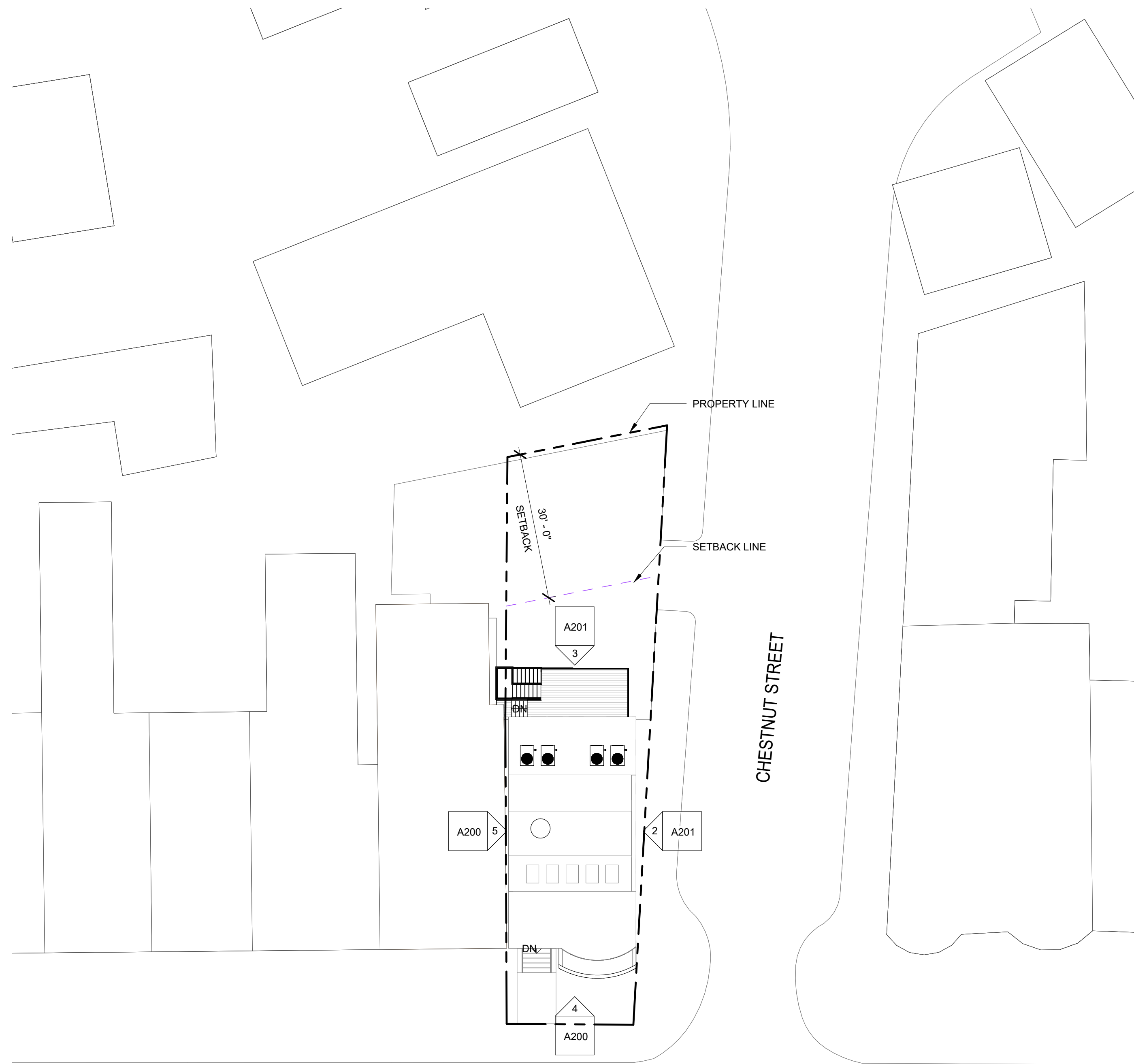
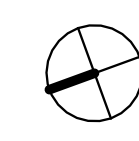
A002

Scale 1/8" = 1'-0"



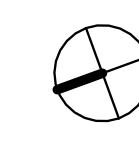
MONUMENT SQUARE

① Site - Existing/Demo
1/16" = 1'-0"

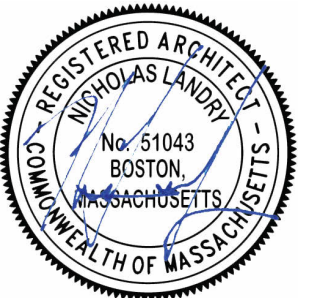


MONUMENT SQUARE

② Site - Proposed
1/16" = 1'-0"



Design Resource Team, LLC
548 East Broadway
Boston, MA 02127
617.804.6117
info@drt.boston
www.drt.boston



No.	Description	Date

8-9 MONUMENT SQ LLC

8 MONUMENT SQ

ARCH SITE PLAN - PROPOSED

Project number 221062A
Date 3/23/2023
Drawn by NC
Checked by NPL

A010

Scale 1/16" = 1'-0"



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546 East Broadway
Boston, MA 02127
617.804.6117
info@drteam.com
www.drteam.com

GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY. DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE

PLAN NOTES

- WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS. FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
- HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEM MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

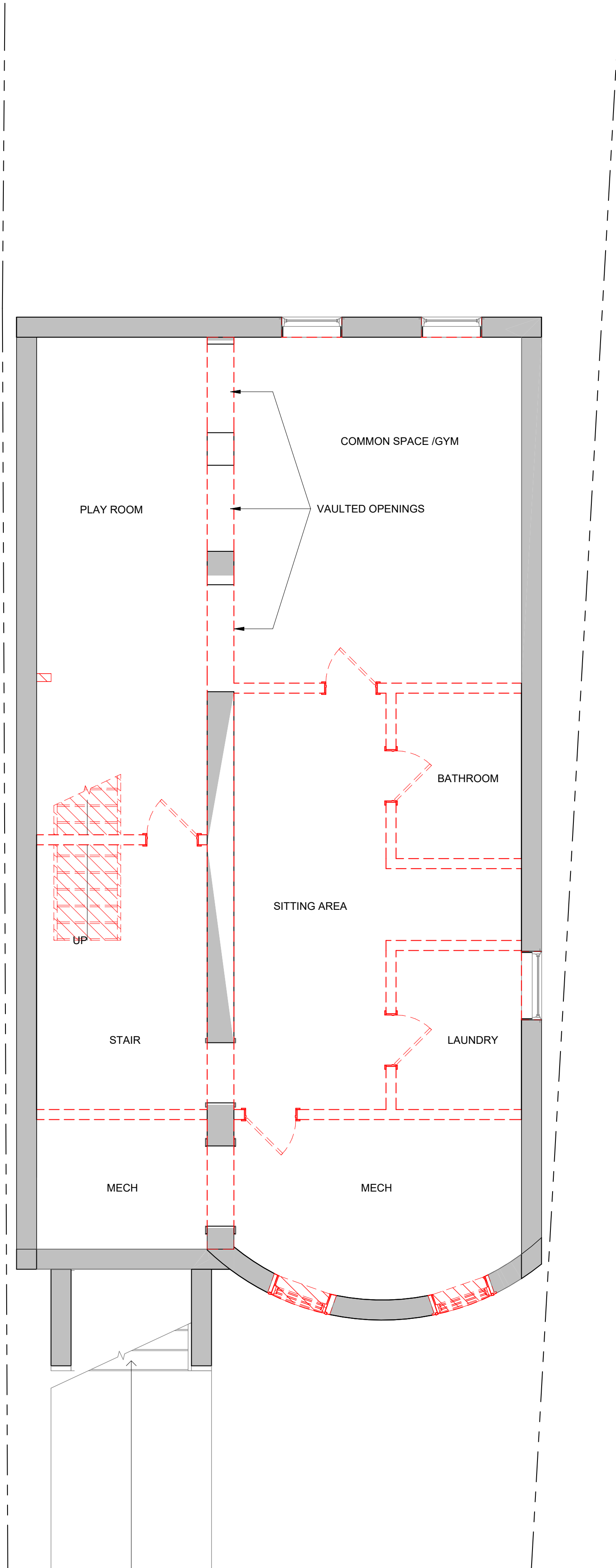
ELECTRICAL NOTES

- ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
- ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION. REVIEW FINAL LOCATION WITH ARCHITECT AND OWNER.
- ALL DISTRIBUTION PANELS ARE TO BE NEW.
- LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
- PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
- ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY LIGHTING.
- OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT INTERCEPTORS.
- ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
- ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED.
 - MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD TRIM.
 - MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

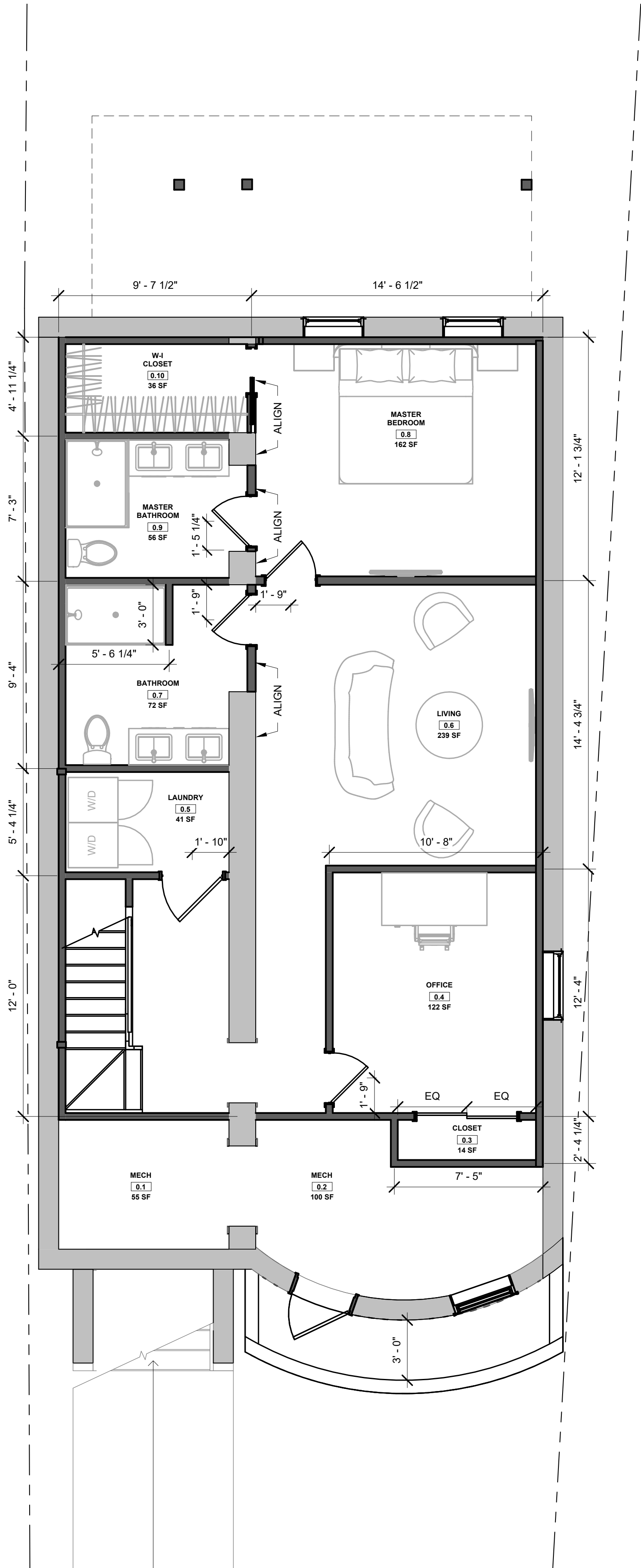
DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
- DEMOLISHED FLOOR FINISH/CEILING

TRIPLE DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING



1 Basement - Existing/Demo
1/4" = 1'-0"



2 Basement - Proposed
1/4" = 1'-0"



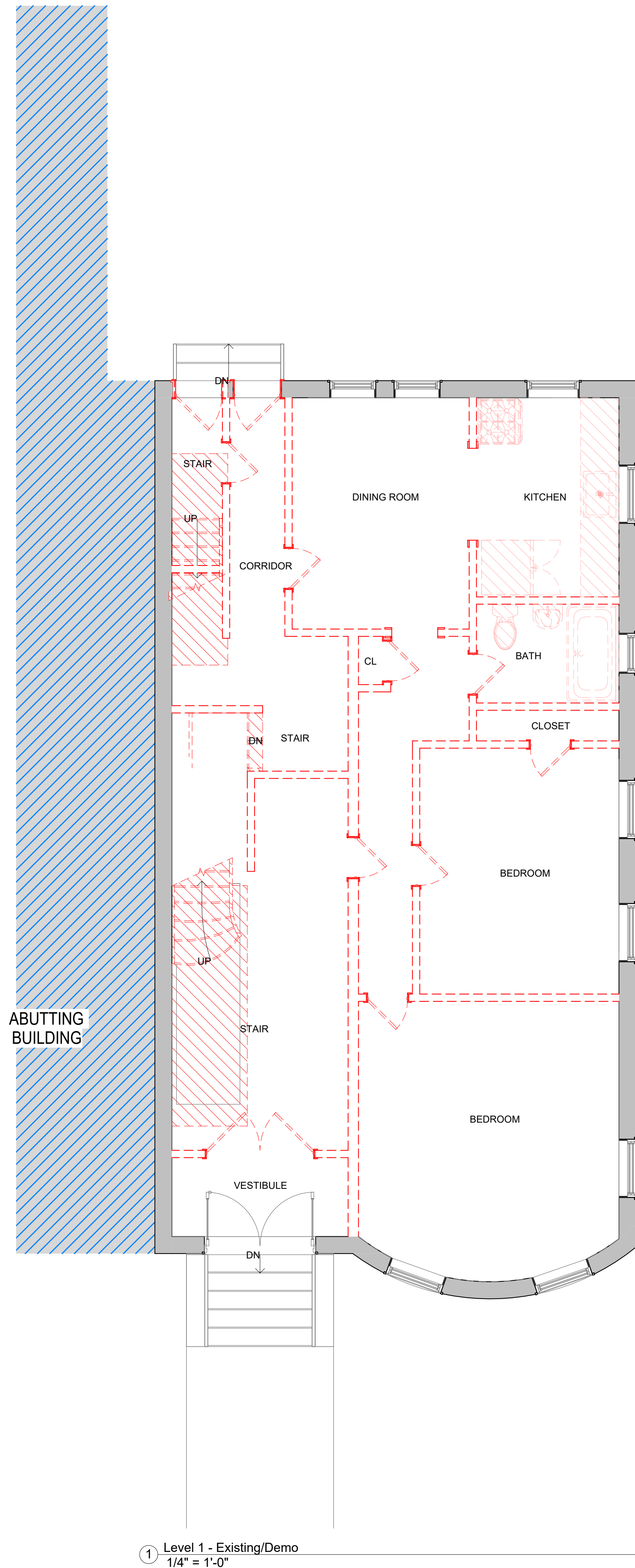
No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
GROUND FLOOR - DEMO/PROPOSED

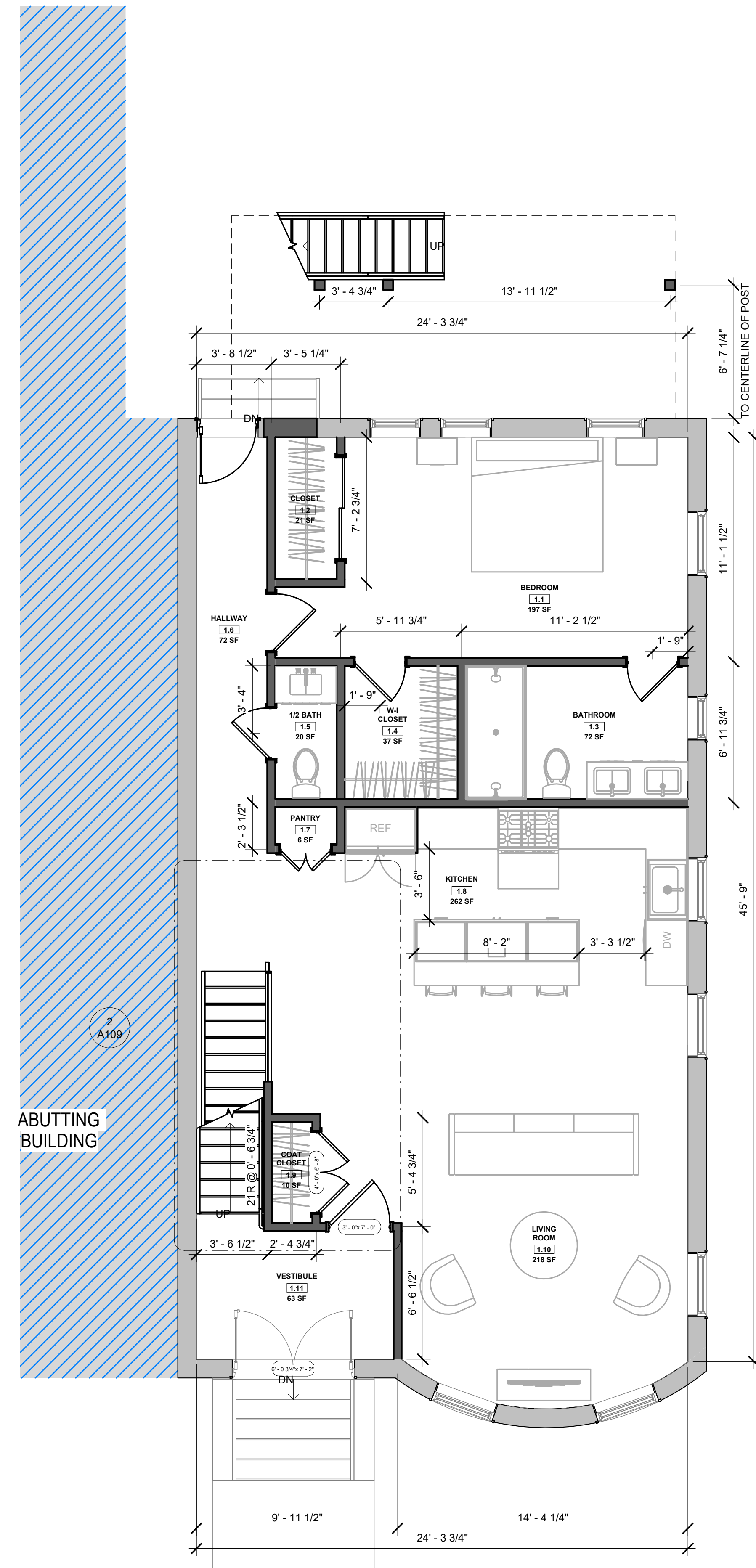
Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL

A100

Scale As indicated



① Level 1 - Existing/Demo
1/4" = 1'-0"



② Level 1 - Proposed
1/4" = 1'-0"

GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE

PLAN NOTES

- WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
- HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEM MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

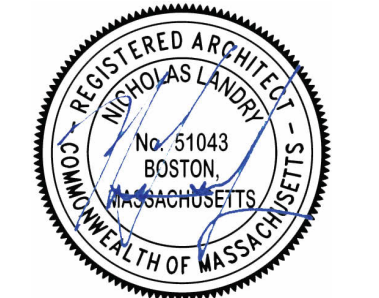
- ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
- ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION. REVIEW FINAL LOCATION WITH ARCHITECT AND OWNER.
- ALL DISTRIBUTION PANELS ARE TO BE NEW.
- LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
- PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
- ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY LIGHTING.
- OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT INTERCEPTORS.
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DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
 - NEW WALL/INFILL
 - AREA NOT IN CONTRACT
 - DEMOLISHED BUILDING ELEMENT
 - DEMOLISHED FLOOR FINISH/CEILING
- TRIPLE DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING



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No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
LEVEL 1 - DEMO/PROPOSED

Project number: 221062A
Date: 3/23/2023
Drawn by: NC
Checked by: NPL

A101

Scale: As indicated



GENERAL NOTES

1. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
2. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
3. ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
4. ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
5. PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
6. ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
7. ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE.

PLAN NOTES

1. WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

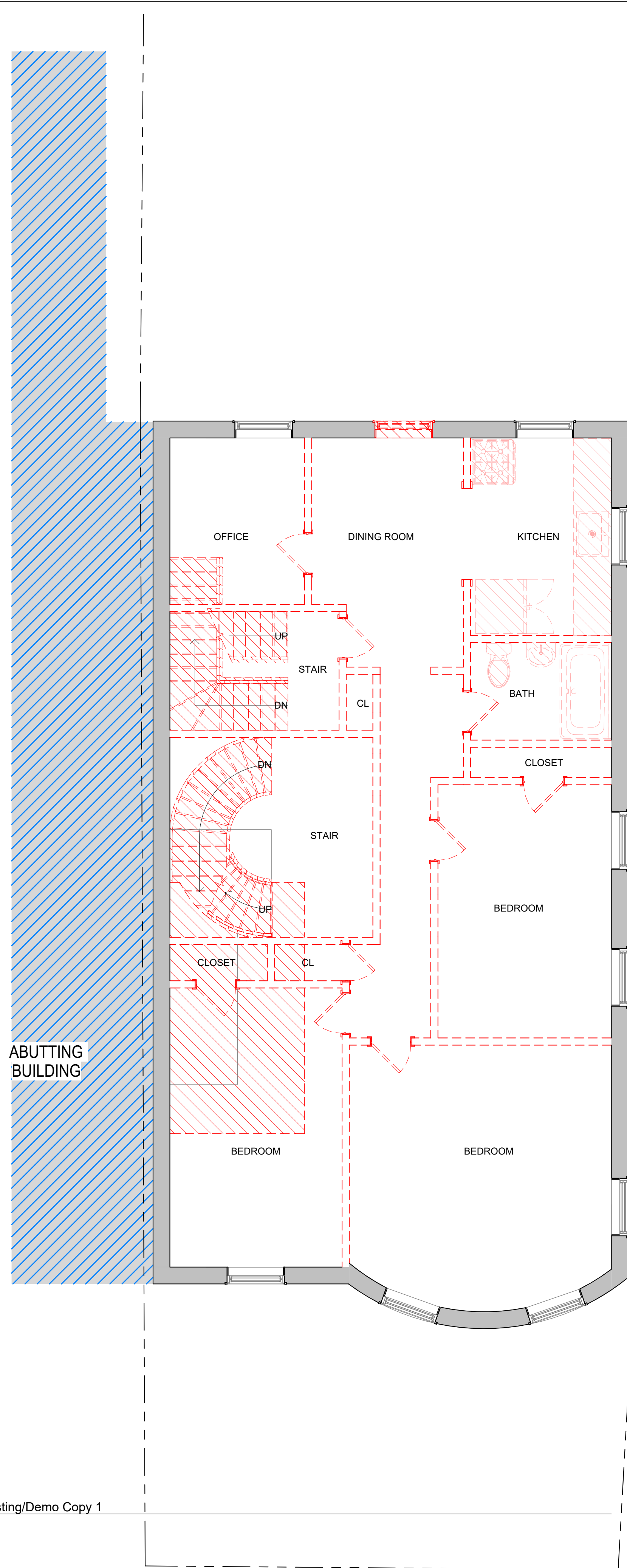
1. PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
2. PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
3. HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
4. HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEM MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
5. HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

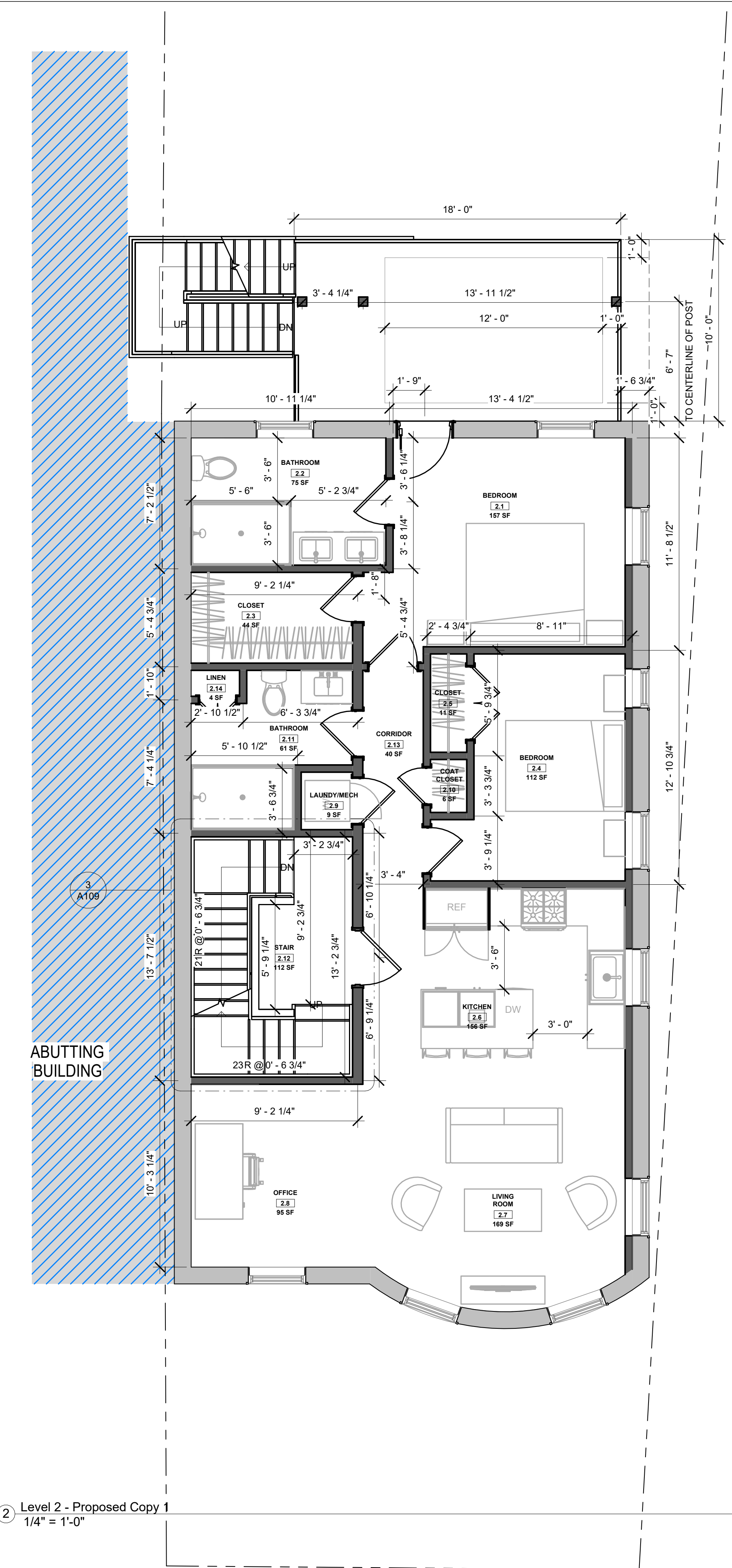
1. ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
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5. LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
6. PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
7. ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY LIGHTING.
8. OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT INTERCEPTORS.
9. ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
10. ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED.
 - A. MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD TRIM.
 - B. MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - C. VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
 - NEW WALL/INFILL
 - AREA NOT IN CONTRACT
 - DEMOLISHED BUILDING ELEMENT
 - DEMOLISHED FLOOR FINISH/CEILING
- TRIPLE DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING



① Level 2 - Existing/Demo Copy 1
1/4" = 1'-0"



② Level 2 - Proposed Copy 1
1/4" = 1'-0"

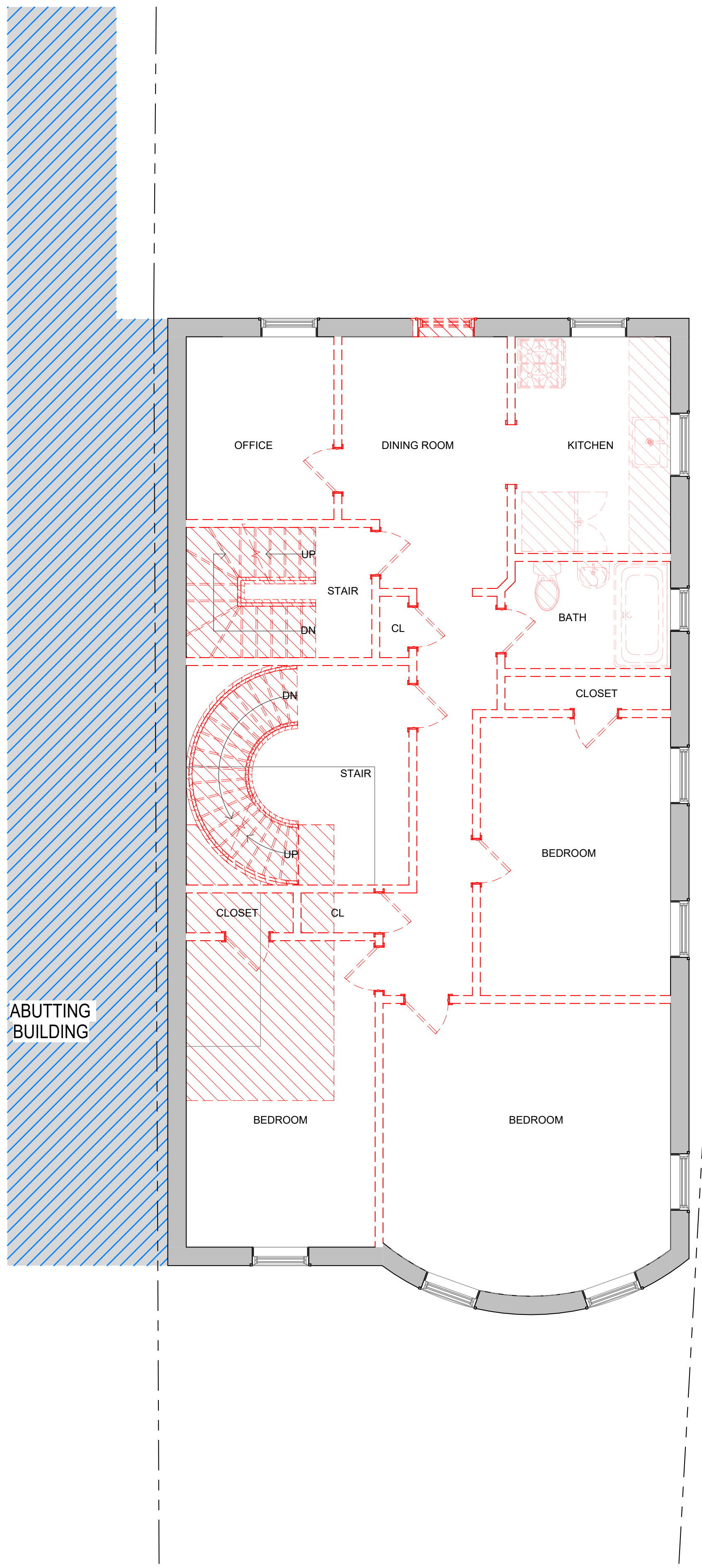
No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
LEVEL 2 - DEMO/PROPOSED

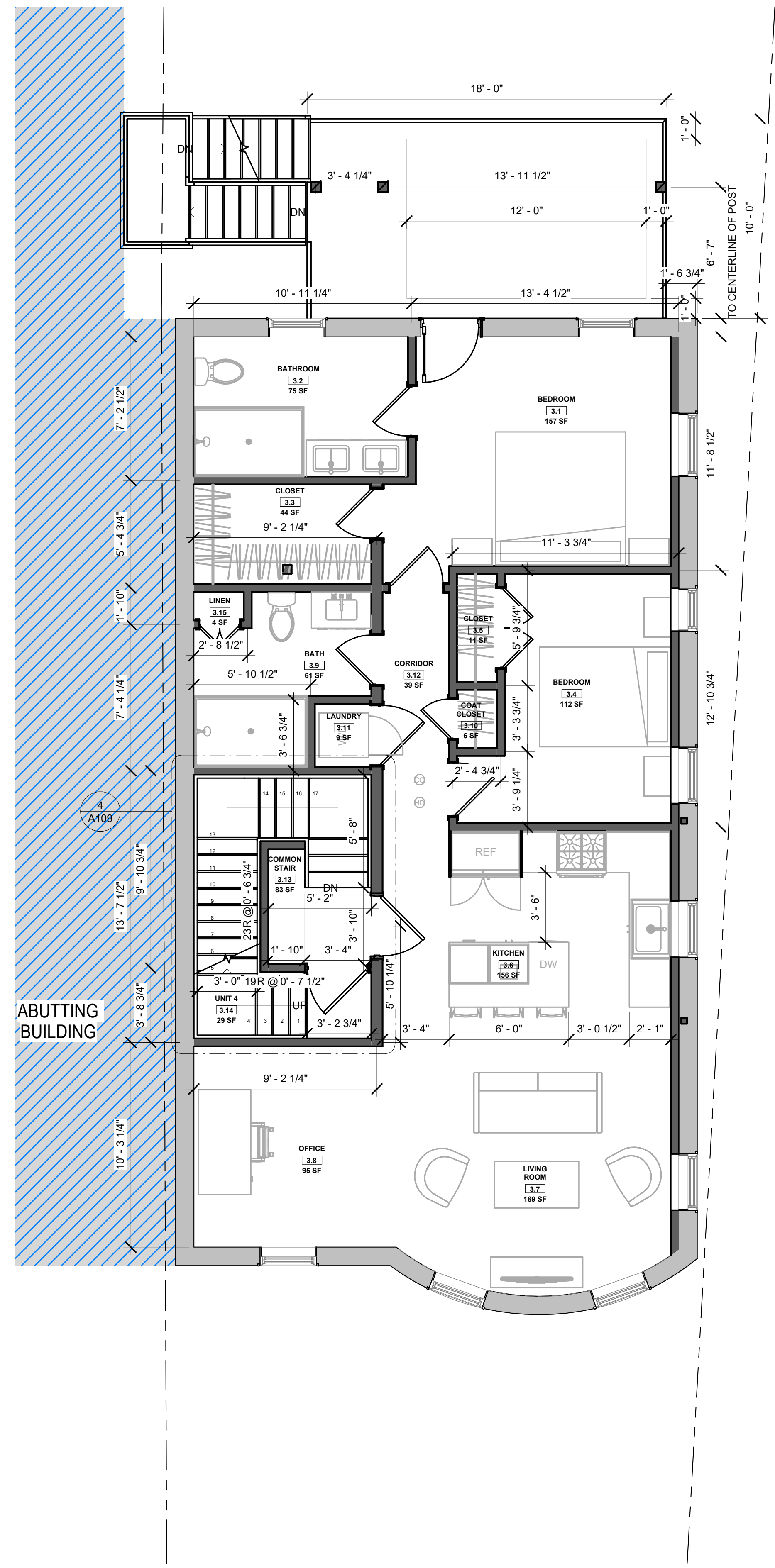
Project number: 221062A
Date: 3/23/2023
Drawn by: Author
Checked by: Checker

A102

Scale: As indicated



1 Level 3 - Existing/Demo
 1/4" = 1'-0"



2 Level 3 - Proposed
 1/4" = 1'-0"

GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY. DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE

PLAN NOTES

- WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS. FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
- HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEM MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

- ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
- ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION. REVIEW FINAL LOCATION WITH ARCHITECT AND OWNER.
- ALL DISTRIBUTION PANELS ARE TO BE NEW.
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DEMO/PROPOSED PLAN GRAPHIC KEY

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- NEW WALL/INFILL
- AREA NOT IN CONTRACT
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TRIPLE DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING



No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
LEVEL 3 -
DEMO/PROPOSED

Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL

A103
 Scale As indicated



GENERAL NOTES

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MECHANICAL | SECURITY NOTES

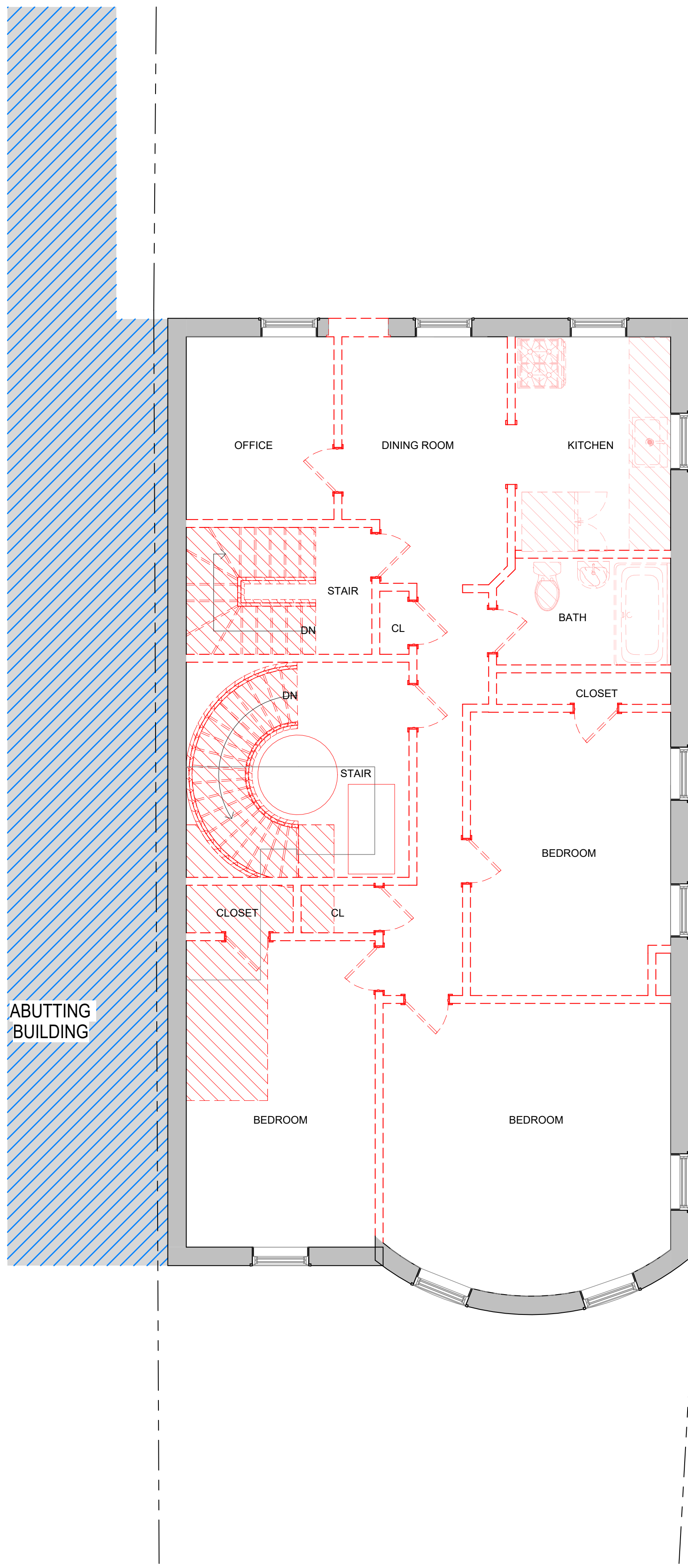
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- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

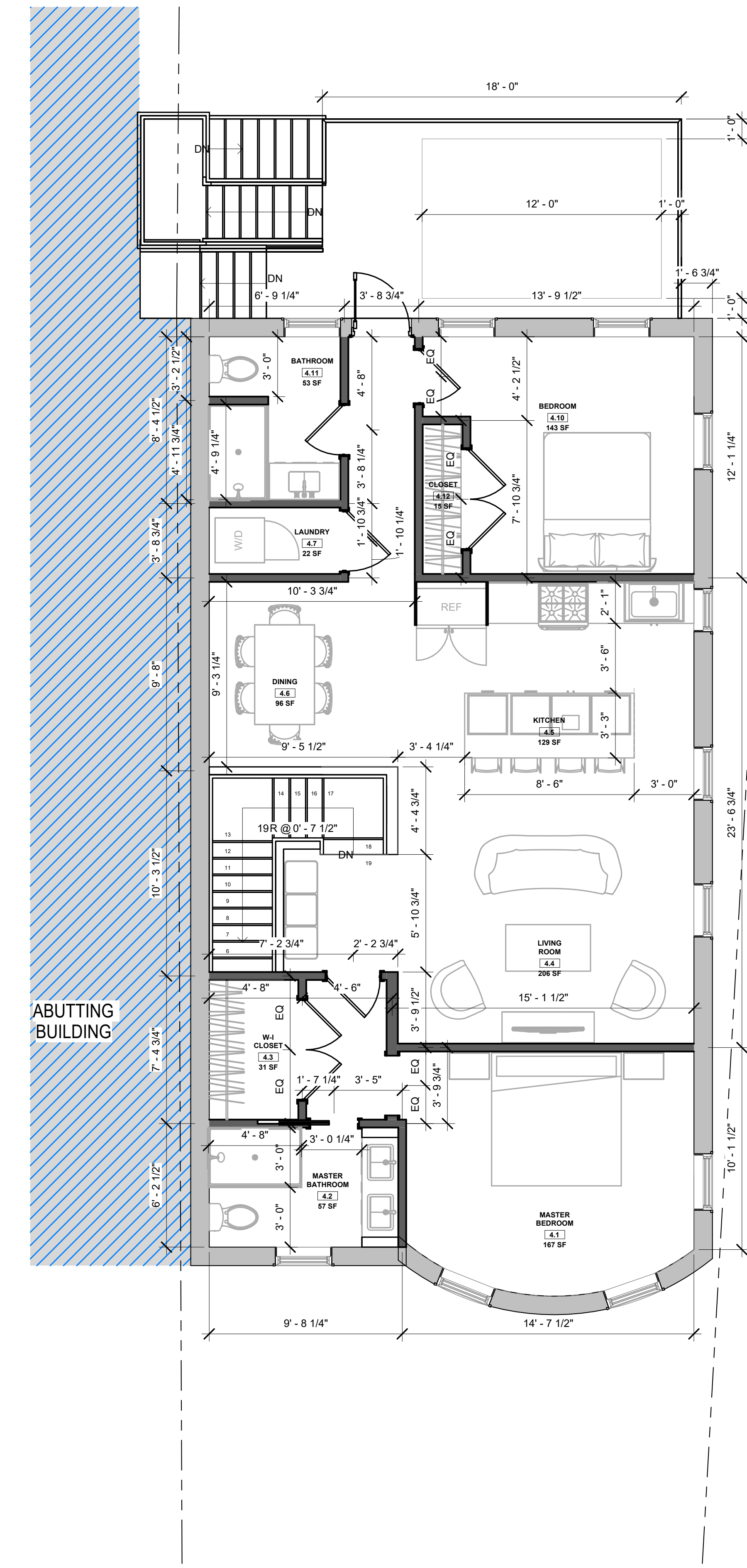
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- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 8" STUD DIMENSION. REVIEW FINAL LOCATION WITH ARCHITECT AND OWNER.
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1 Level 4 - Existing/Demo
 1/4" = 1'-0"



2 Level 4 - Proposed
 1/4" = 1'-0"

No.	Description	Date

8-9 MONUMENT SQ LLC

8 MONUMENT SQ

LEVEL 4 - DEMO/PROPOSED

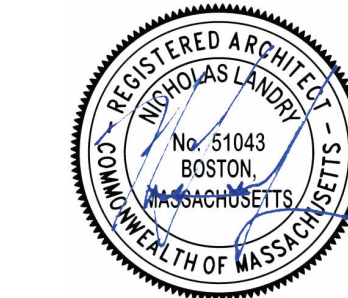
Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL

A104

Scale As indicated



Design Resource Team, LLC
546 East Broadway
Boston, MA 02127
617.804.6117
info@drteam.com
www.drteam.com



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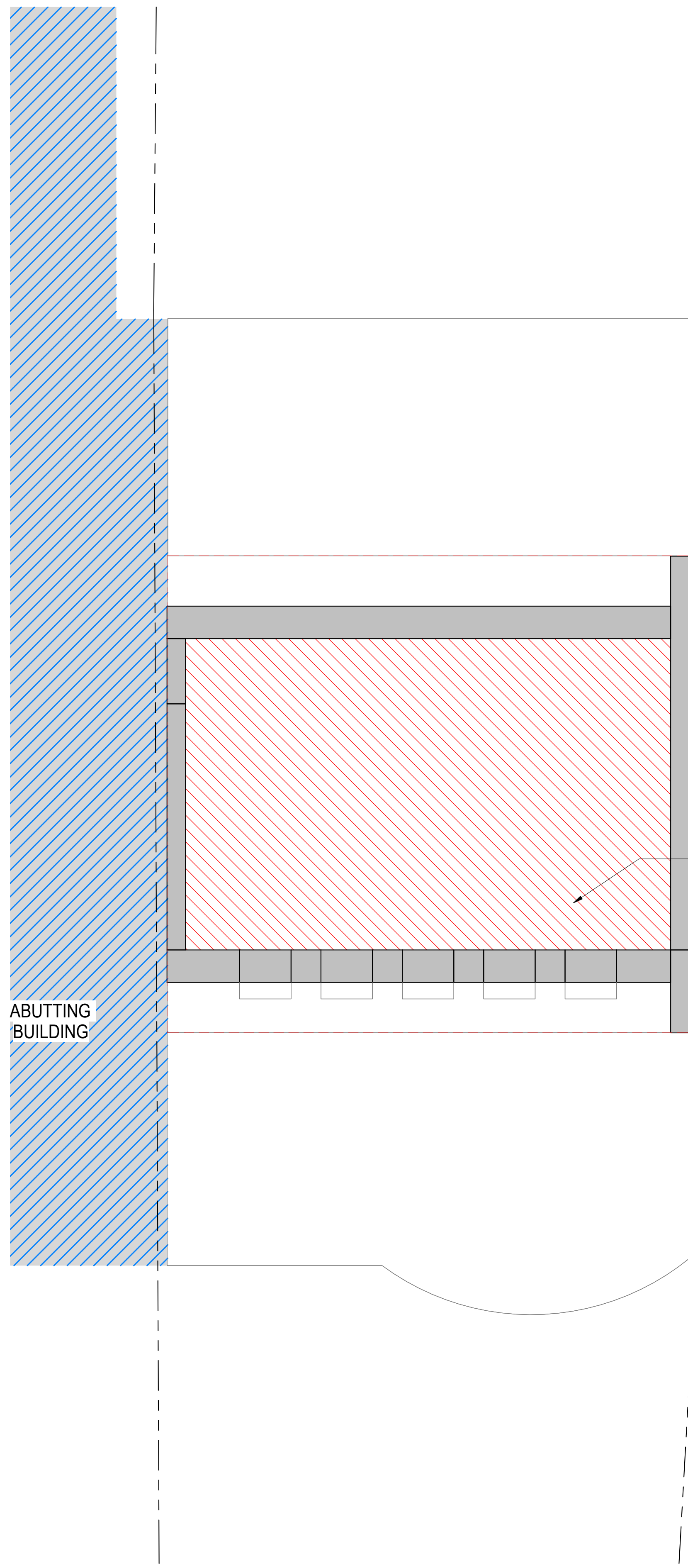
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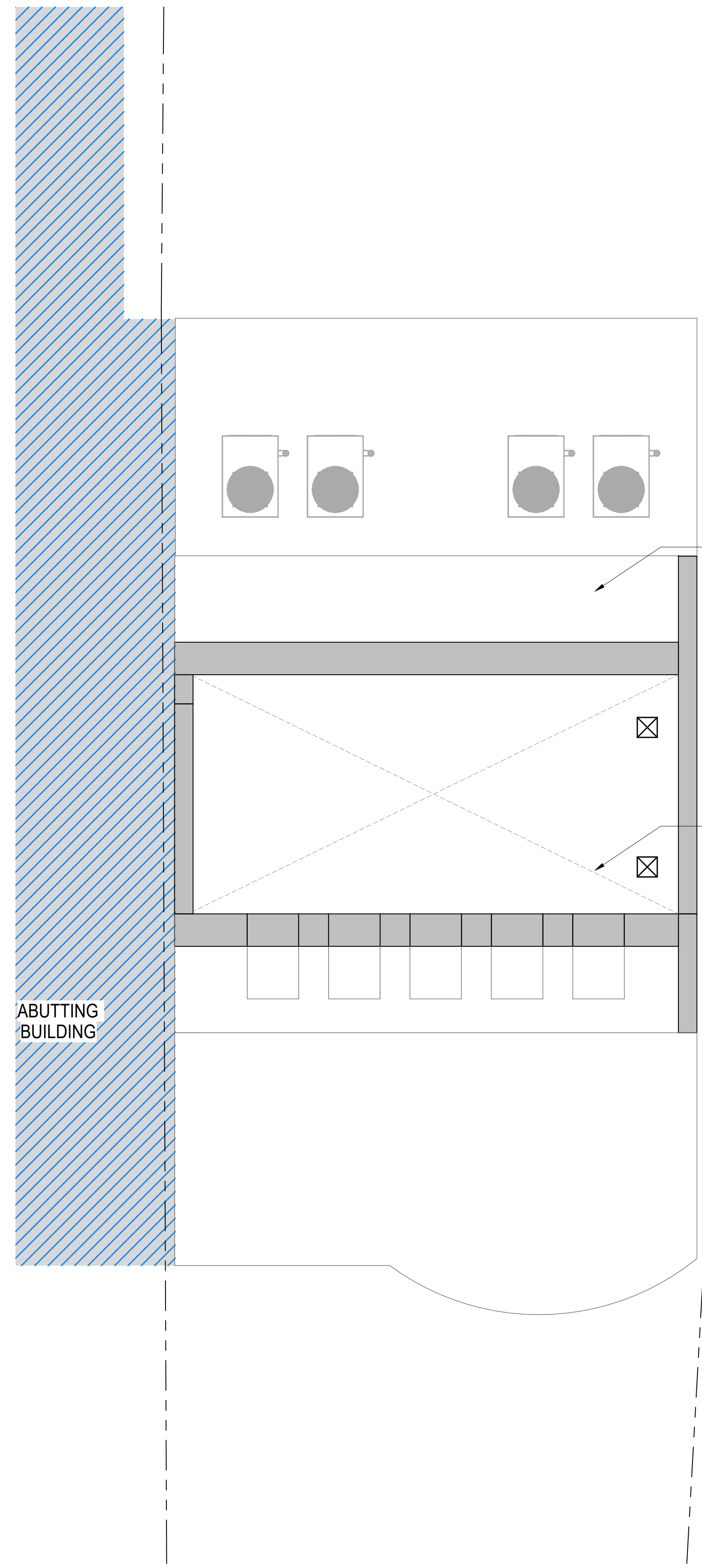
DEMO/PROPOSED PLAN GRAPHIC KEY

-  - EXISTING WALL TO REMAIN
-  - NEW WALL/INFILL
-  - AREA NOT IN CONTRACT
-  - DEMOLISHED BUILDING ELEMENT
-  - DEMOLISHED FLOOR FINISH/CEILING

TRIPLE DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING



1 Roof - Existing/Demo
1/4" = 1'-0"



2 Roof - Proposed
1/4" = 1'-0"

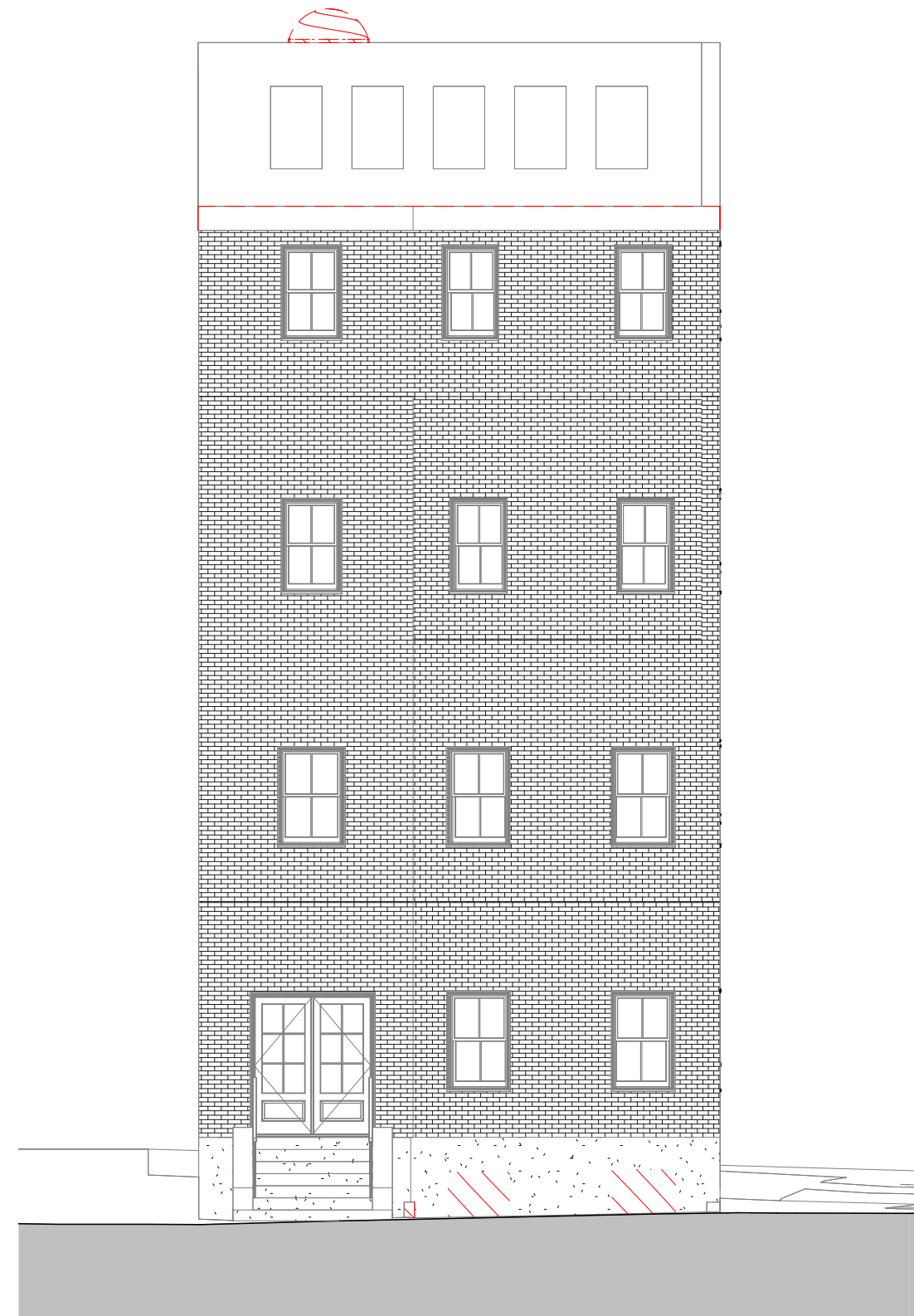
No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
ROOF - DEMO/PROPOSED

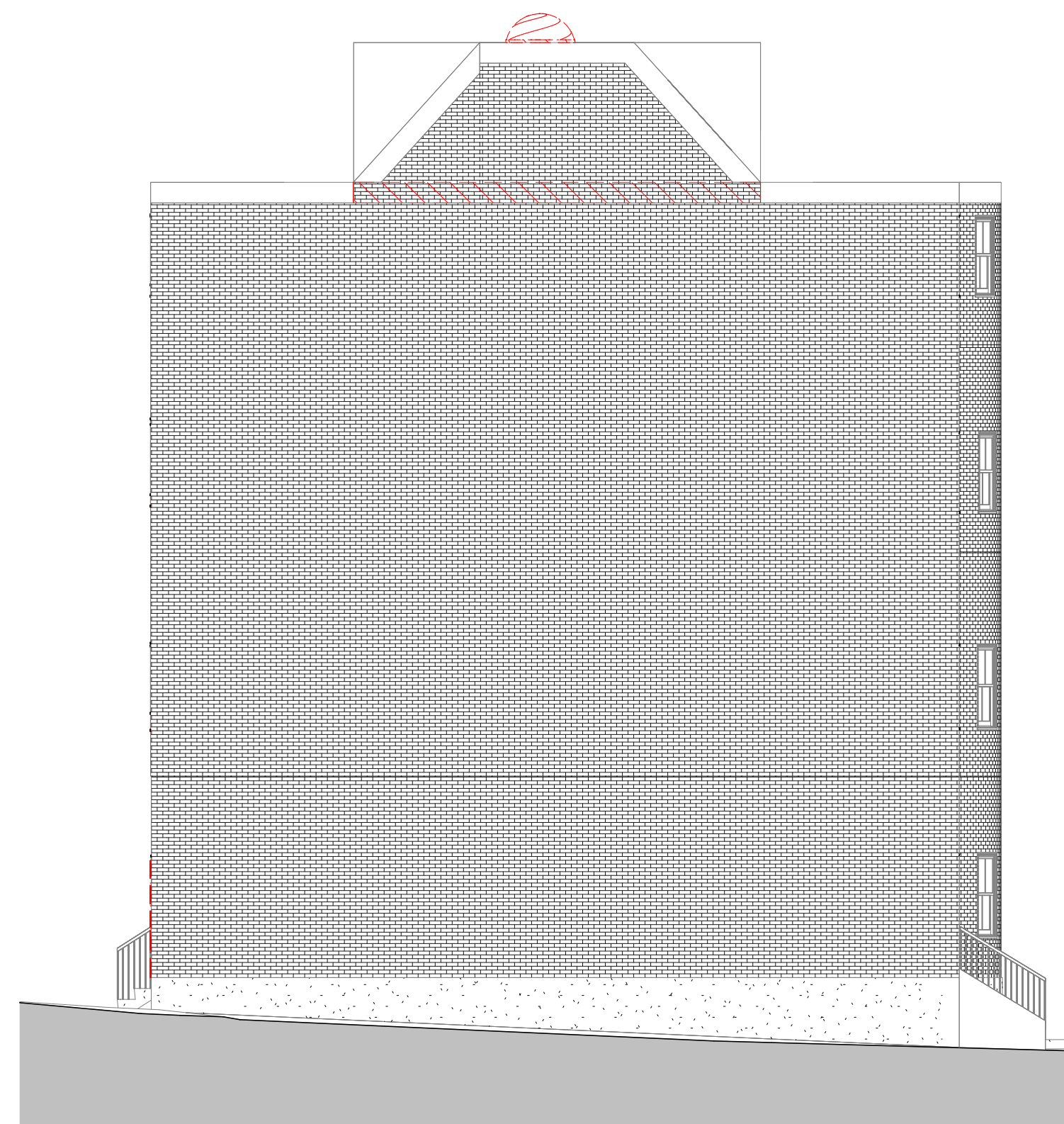
Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL
A105	
Scale	As indicated

FINISH GRADE NOTE:

ALL GRADING SHOWN ON THE ELEVATIONS SHALL BY NO MEANS BE ASSUMED AS THE ACTUAL GRADING CONDITIONS AROUND THE BUILDING. REFER TO SITE PLAN PREPARED BY OTHERS FOR FINAL GRADING.

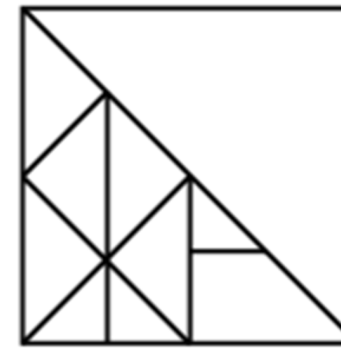


① South Elevation - Existing/Demo
1/8" = 1'-0"



③ West Elevation - Existing/Demo
1/8" = 1'-0"

DS

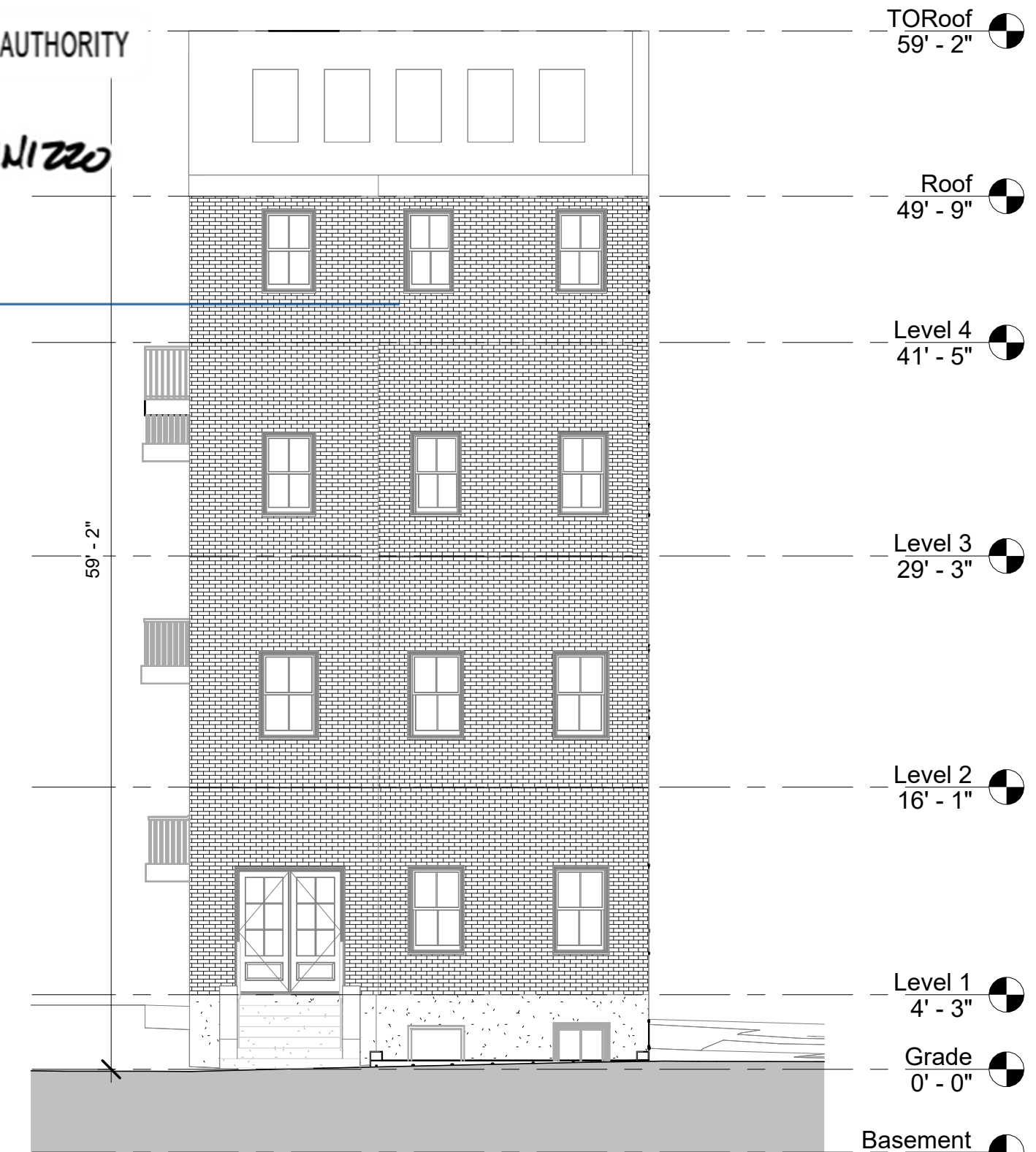


APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

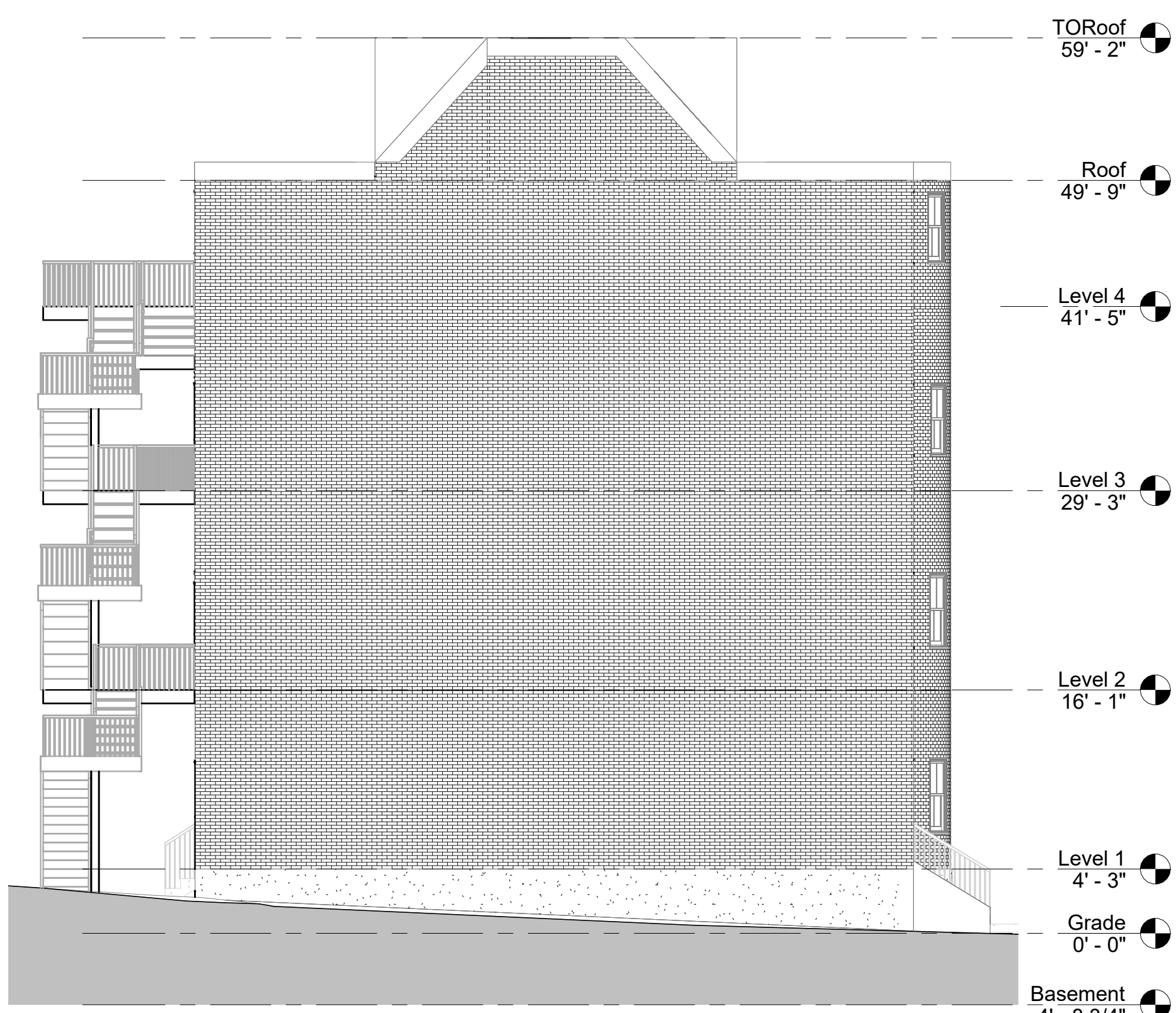
SIGNATURE *M. Cannizzo*

04/26/2023

Approved pursuant to Article 80E for projects in a Neighborhood Design overlay District.



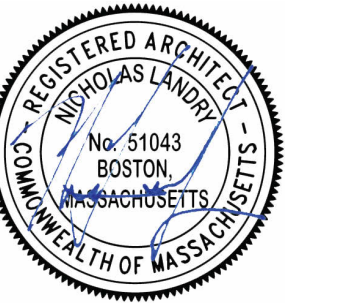
② South Elevation - Proposed
1/8" = 1'-0"



④ West Elevation - Proposed
1/8" = 1'-0"



Design Resource Team, LLC
546 East Broadway
Boston, MA 02127
617.804.6117
info@drteam.com
www.drteam.com



No.	Description	Date

8-9 MONUMENT SQ LLC

8 MONUMENT SQ

ELEVATIONS - DEMO/PROPOSED

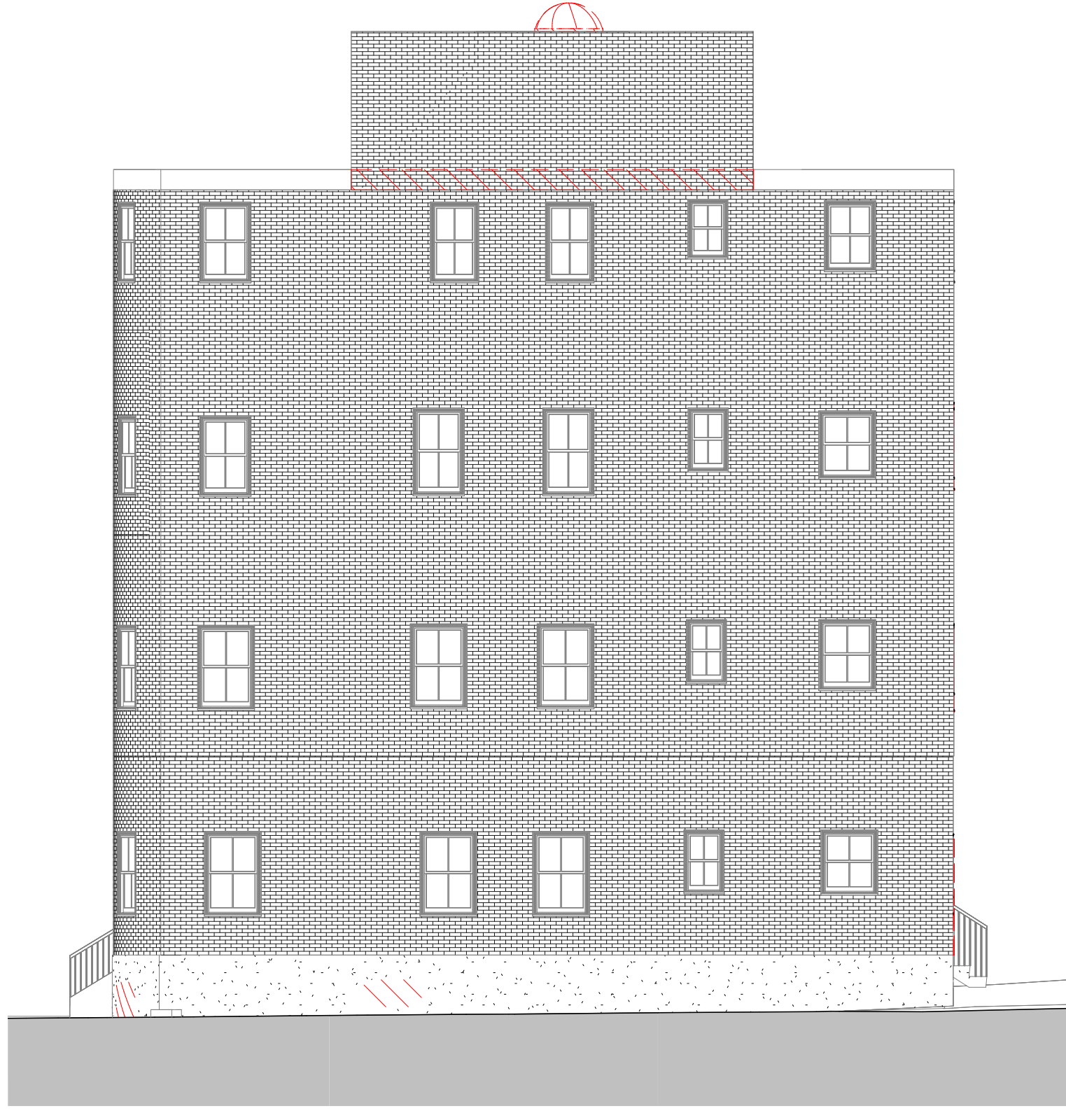
Project number 221062A
Date 3/23/2023
Drawn by NC
Checked by NPL

A200

Scale 1/8" = 1'-0"

FINISH GRADE NOTE:

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① East Elevation - Existing/Demo
1/8" = 1'-0"

DS

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

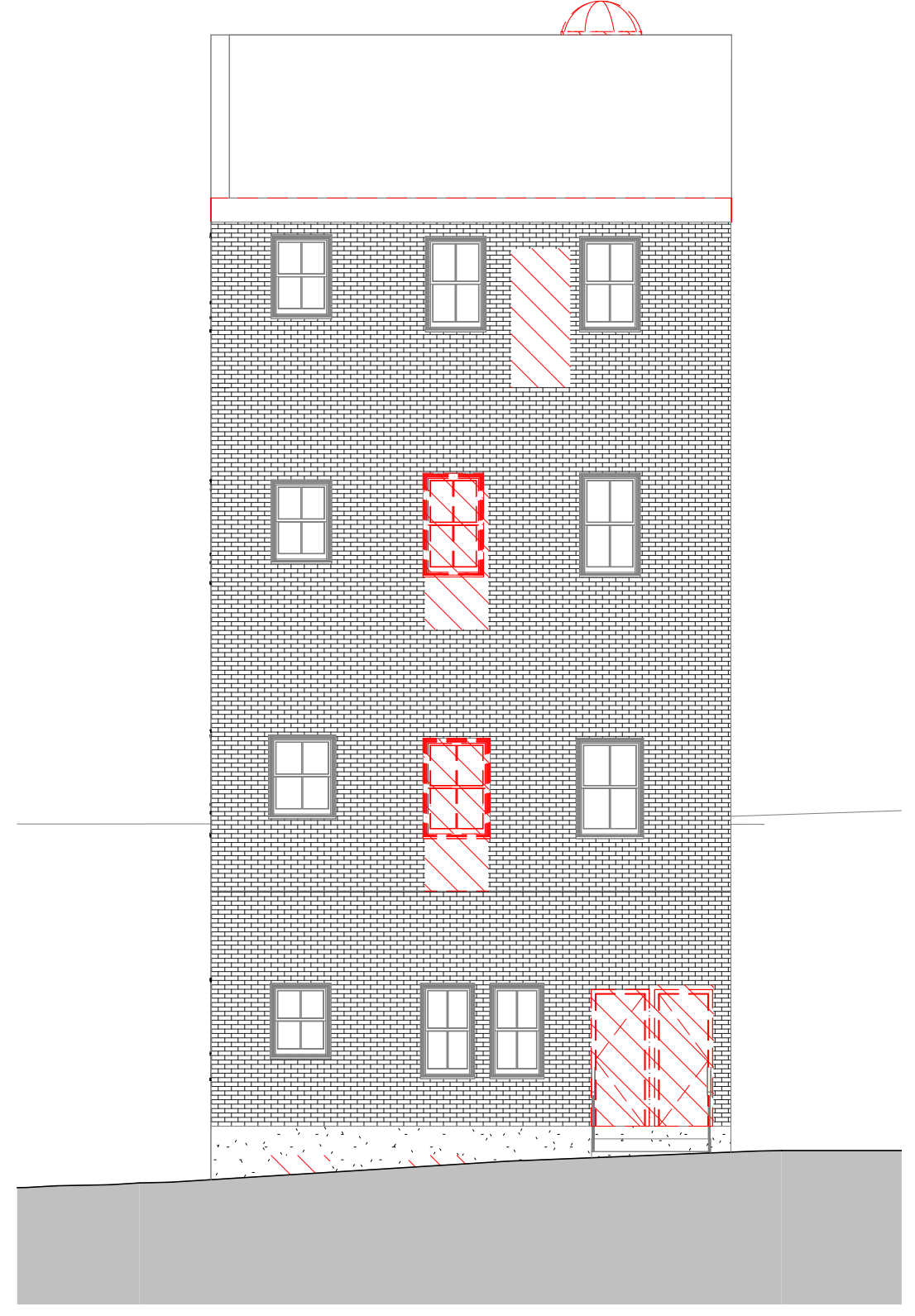
Design Review
for the
Board of Appeal

M. Cannizzo
Signature

04/25/2023

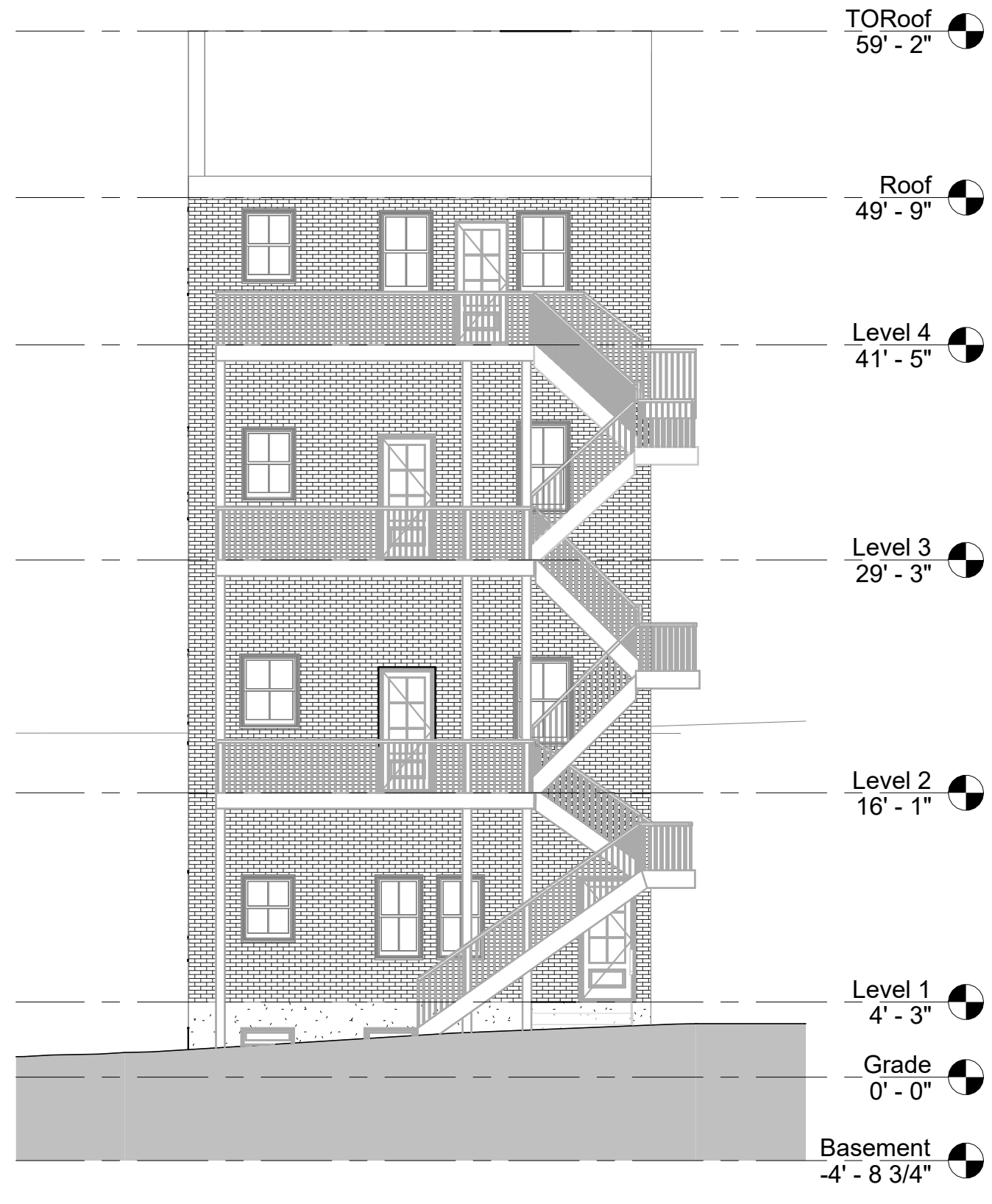


② East Elevation - Proposed
1/8" = 1'-0"



③ North Elevation - Existing/Demo
1/8" = 1'-0"

Approved pursuant to Article 80E for projects in a Neighborhood Design overlay District.



④ North Elevation - Proposed
1/8" = 1'-0"

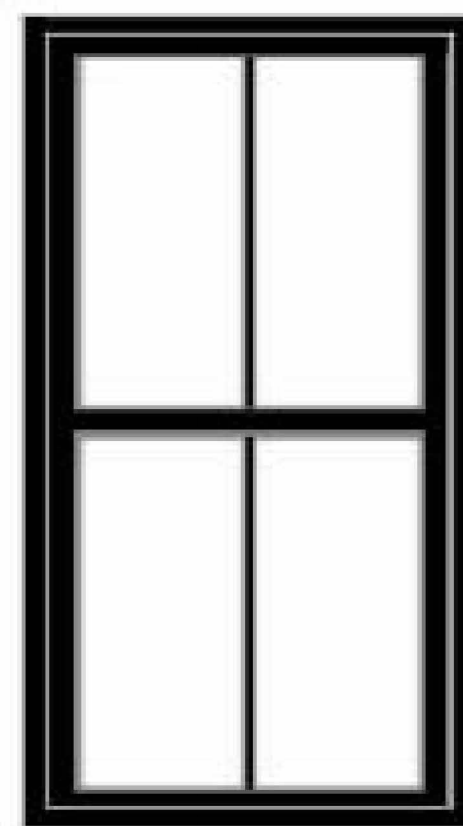
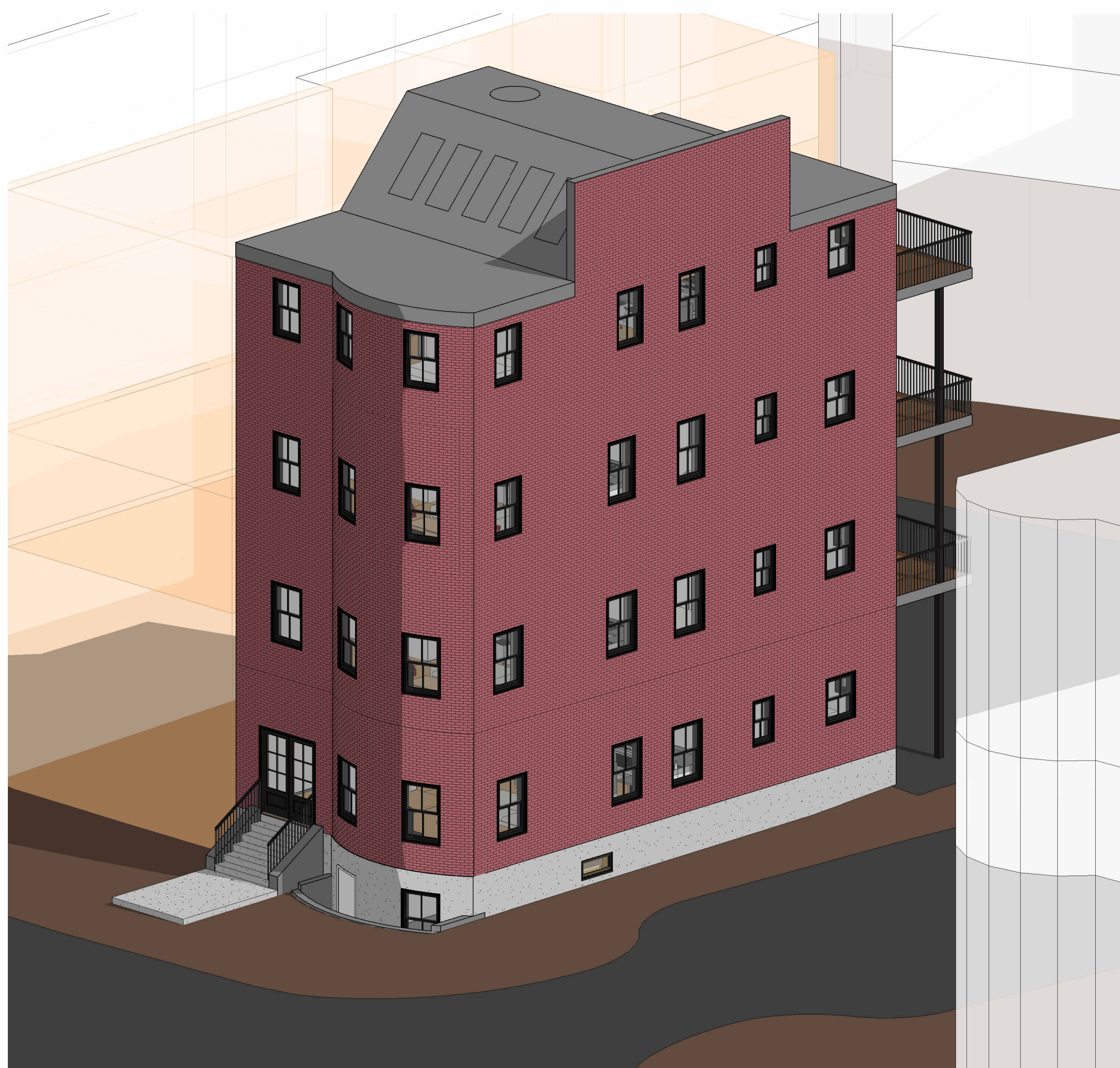


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No.	Description	Date

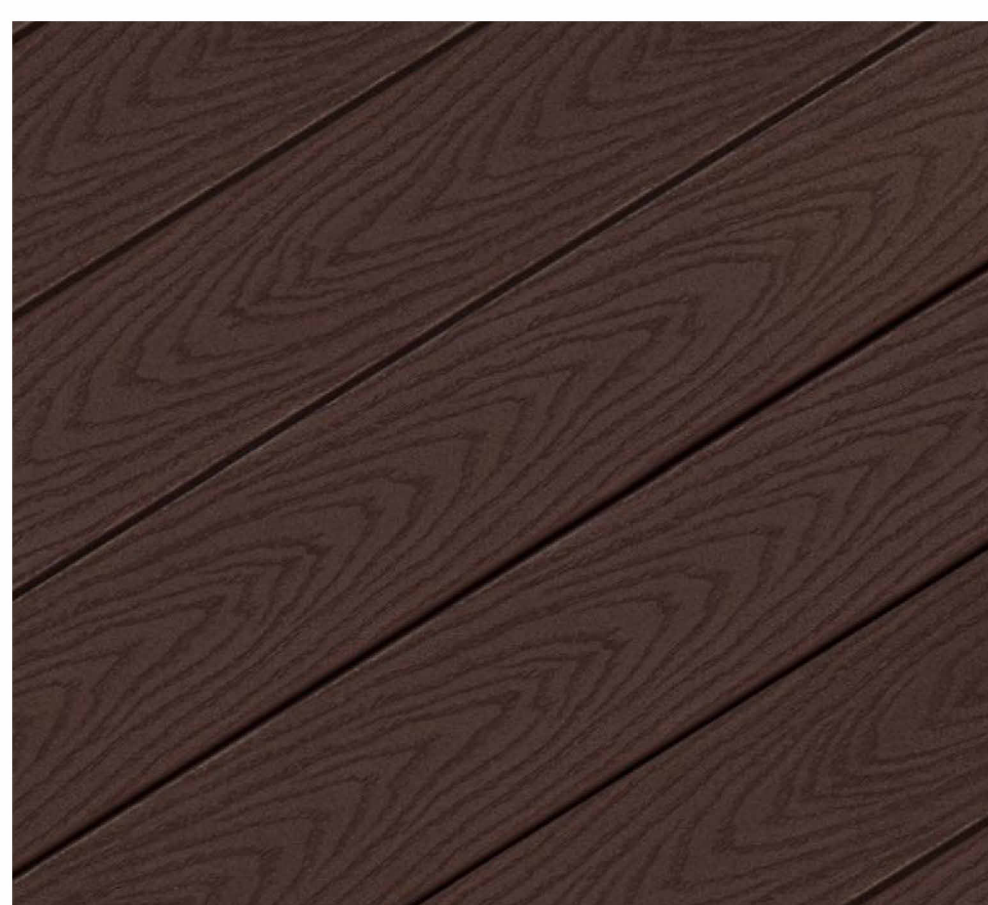
8-9 MONUMENT SQ LLC	
8 MONUMENT SQ	
ELEVATIONS - DEMO/PROPOSED	
Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL
A201	
Scale	1/8" = 1'-0"



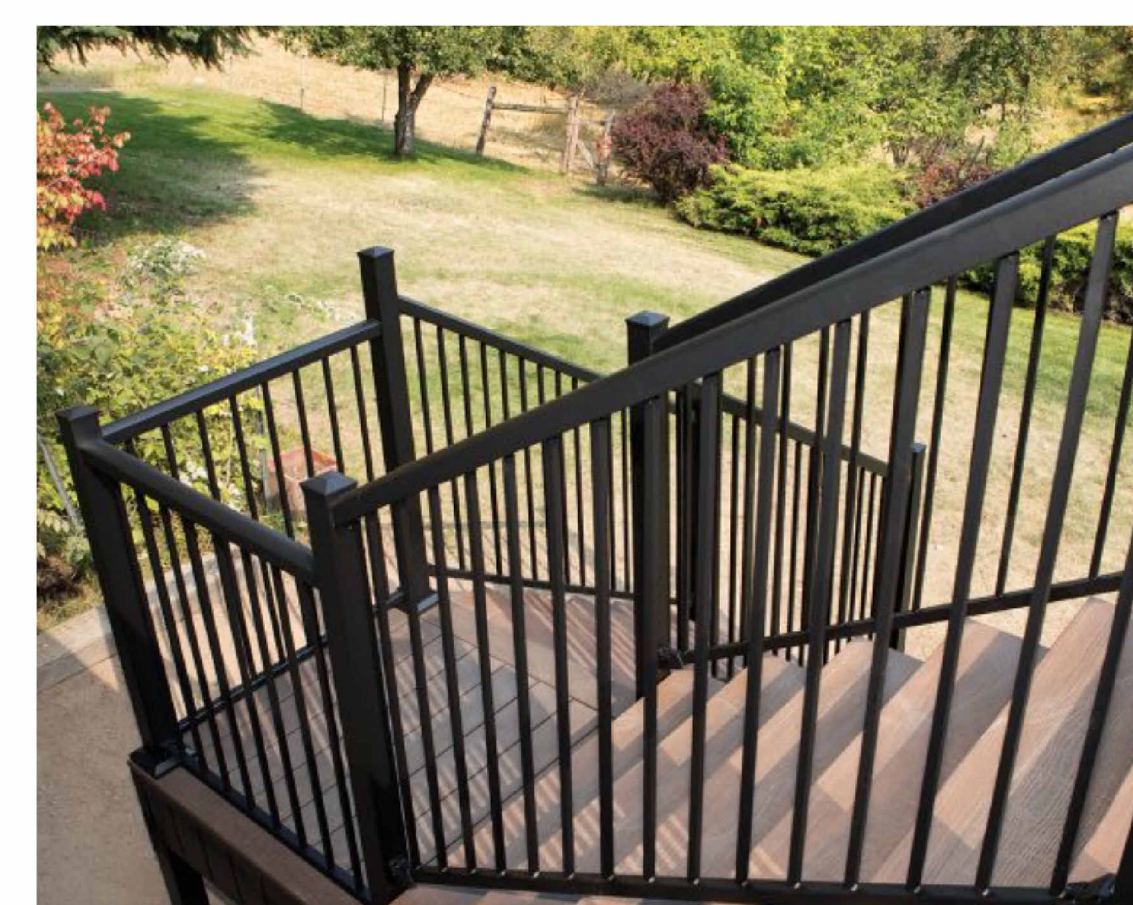
PELLA LIFESTYLE CLAD WINDOWS - BLACK EXTERIOR



BROSCO FIBERGLASS DOORS -BLACK



TREX SELECT COMPOSITE DECKING - WOODLAND BROWN



AL 13 ALUMINUM RAILING - BLACK



6 x 6 PRESSURE TREATED WOOD WRAPPED WITH PVC - BLACK



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www.drt.boston

1 3D VIEW - Front.



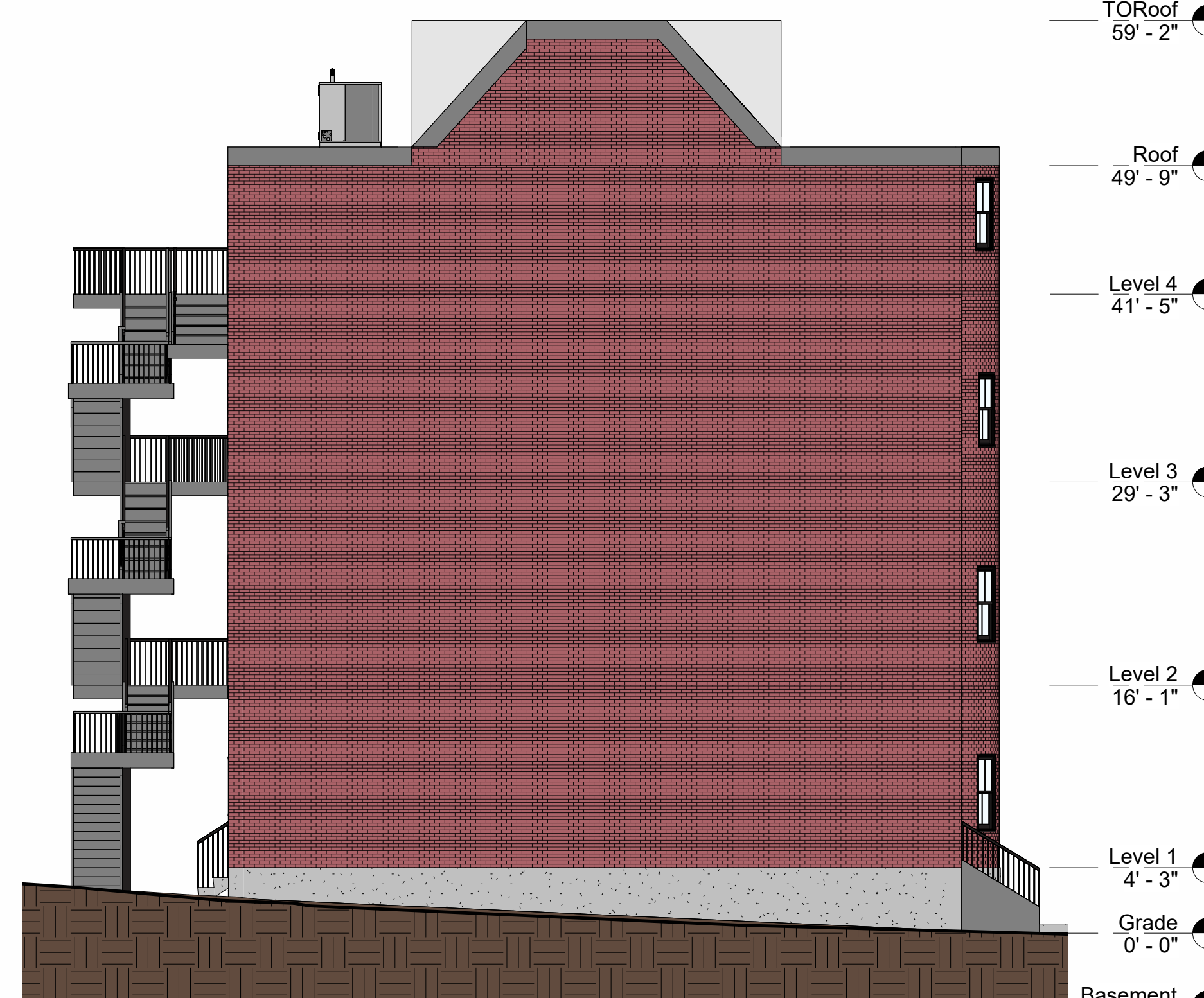
2 East Elevation - Proposed.
1/8" = 1'-0"



3 North Elevation - Proposed.
1/8" = 1'-0"



4 South Elevation - Proposed.
1/8" = 1'-0"



5 West Elevation - Proposed.
1/8" = 1'-0"

APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
M. Carullo
Signature

04/25/2023

Approved pursuant to Article 80E for projects in a Neighborhood Design Overlay District. Consider screening HVAC units, especially if street trees on Chestnut St. are removed.

No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
EXTERIOR FINISHES

Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL
A202	
Scale	1/8" = 1'-0"



ENERGY CODE REQUIREMENTS (IECC 2018 EDITION)

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (a)

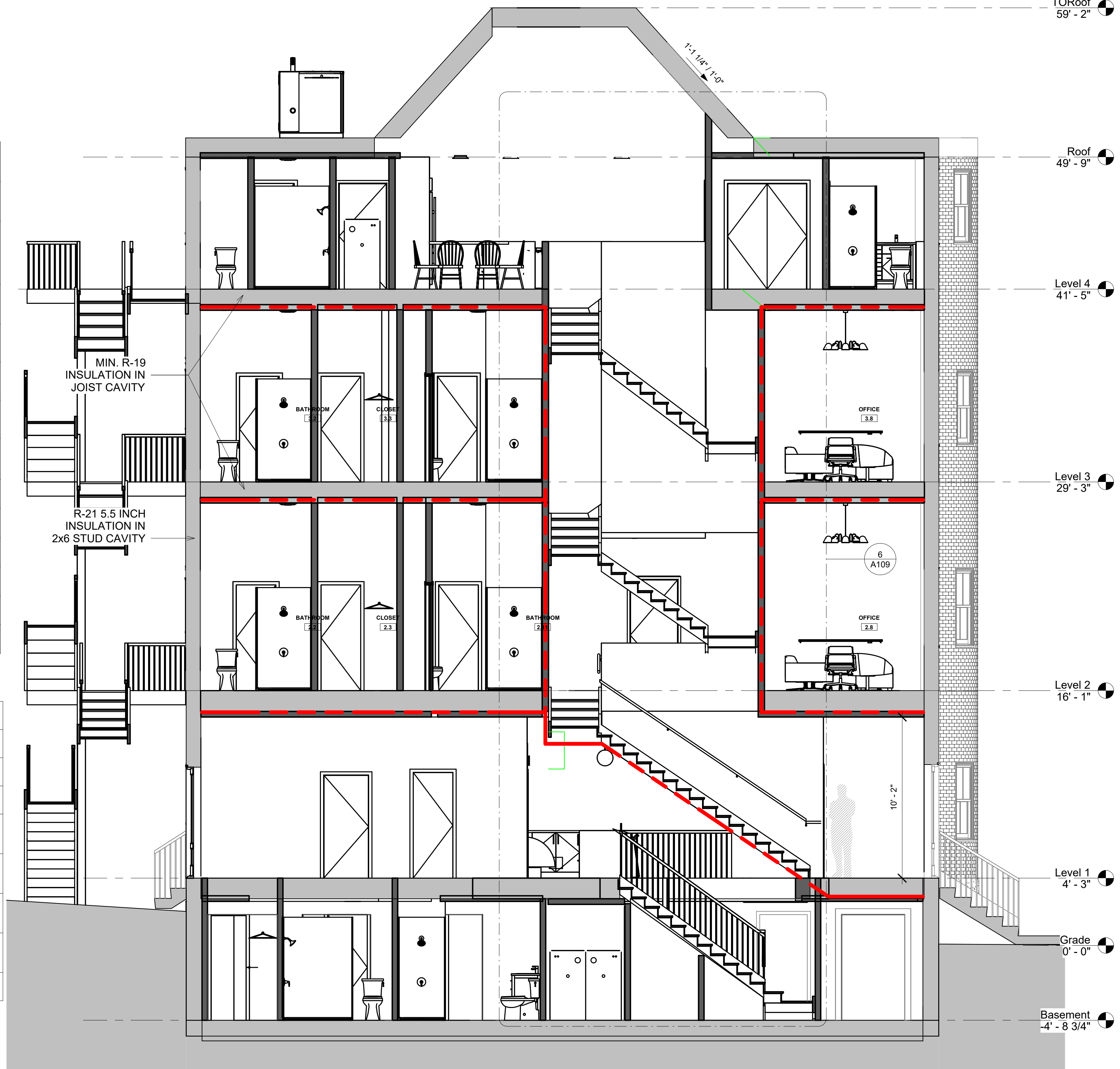
CLIMATE ZONE	FENESTRATION U-FACTOR (b)	SKYLIGHT(b) U-FACTOR	GLAZED FENESTRATION SHGC (b, e)	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE (i)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB (d) R-VALUE & DEPTH	CRAWL SPACE (c) WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5(h)	13/17	30(g)	15/19	10, 2 ft	15/19

NR - Not Required; For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

INSULATION NOTES - Section 1

1. PRESCRIPTIVE CONFORMANCE TO IECC SECTION 402 SELECTED FOR COMPLIANCE WITH IRC CHAPTER 11 N1101.2
2. MINIMUM WINDOW PERFORMANCE: U-0.30 OR BETTER
3. MINIMUM SKYLIGHT PERFORMANCE: U-0.55 OR BETTER
4. ROOF AND CEILING INSULATION: PERFORMANCE R-49 OR BETTER. EXTEND FULL DEPTH INSULATION TO EXTERIOR WALL SHEATHING TO ELIMINATE COLD CORNERS AND PREVENT ICE DAM FORMATIONS
5. WOOD FRAME EXTERIOR WALLS: HIGH PERFORMANCE R-21 WALL INSULATION IN 2x6 WD STUD WALLS OR FLASH AND BATT WITH SPRAY FOAM AND FIBERGLAS ATT INSULATION TO MEET MINIMUM REQUIREMENT IN TABLE 402.1.1
6. MASS WALLS: R-17 MINIMUM PERFORMANCE IF INSTALLED INSIDE OF WALL CENTERLINE, R-13 MINIMUM IF INSTALLED ON THE OUTSIDE AS MEASURED FROM THE WALL CENTERLINE
7. FLOOR INSULATION: R-30 INSULATION BETWEEN JOISTS. INSULATION MUST BE INSTALLED FOR PERMANENT DIRECT CONTACT BETWEEN SUB-FLOOR AND INSULATION. INSTALLATIONS THAT ALLOW FUTURE SAGGING OF INSULATION AWAY FROM FLOOR DECK NOT PERMITTED
8. FOUNDATION AND SLAB INSULATION AT BASEMENT: R-30 INSULATION UNDER SLAB



1 Section 1
 1/4" = 1'-0"

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
- DEMOLISHED FLOOR FINISH/CEILING

TRIPLE DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING

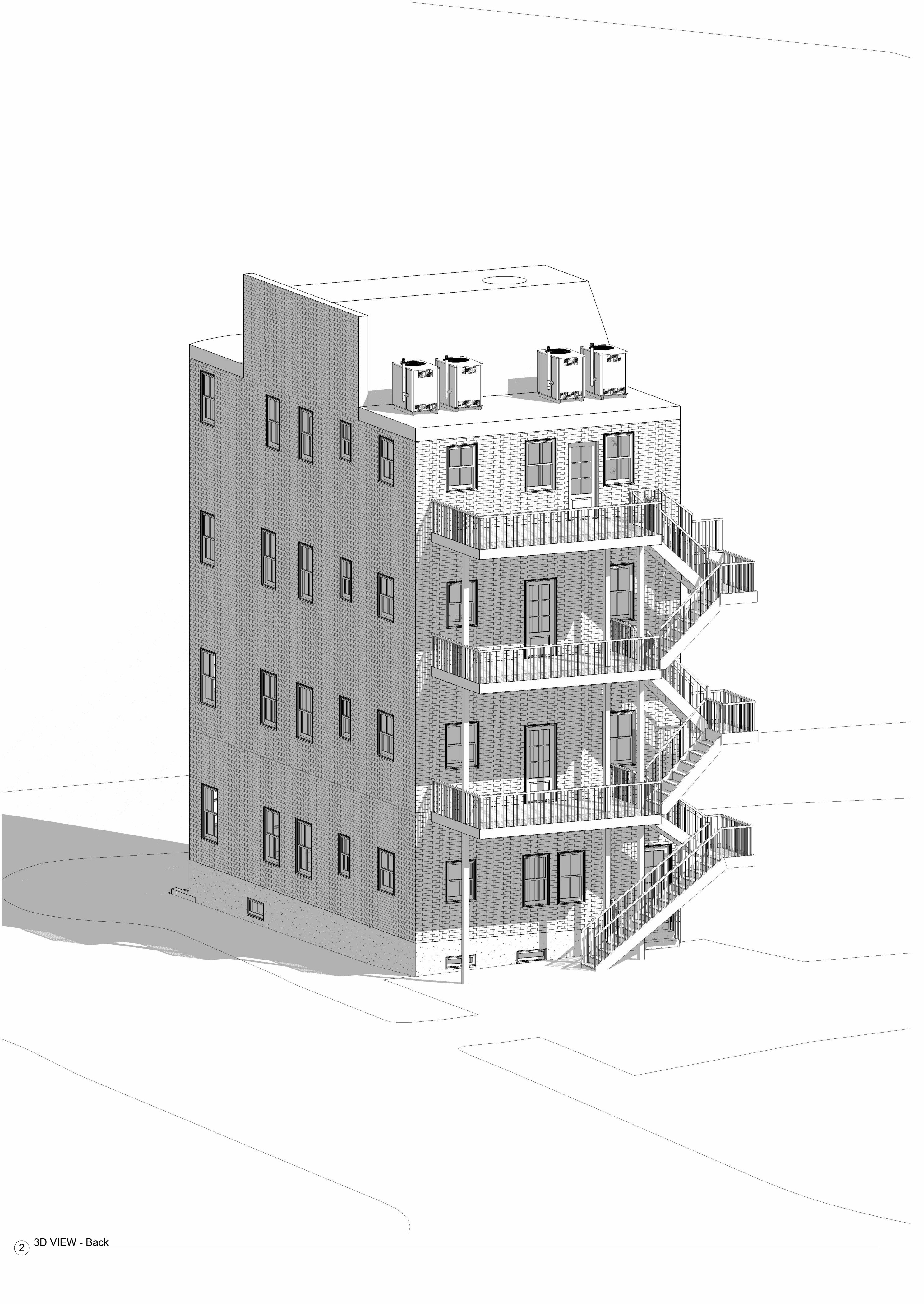
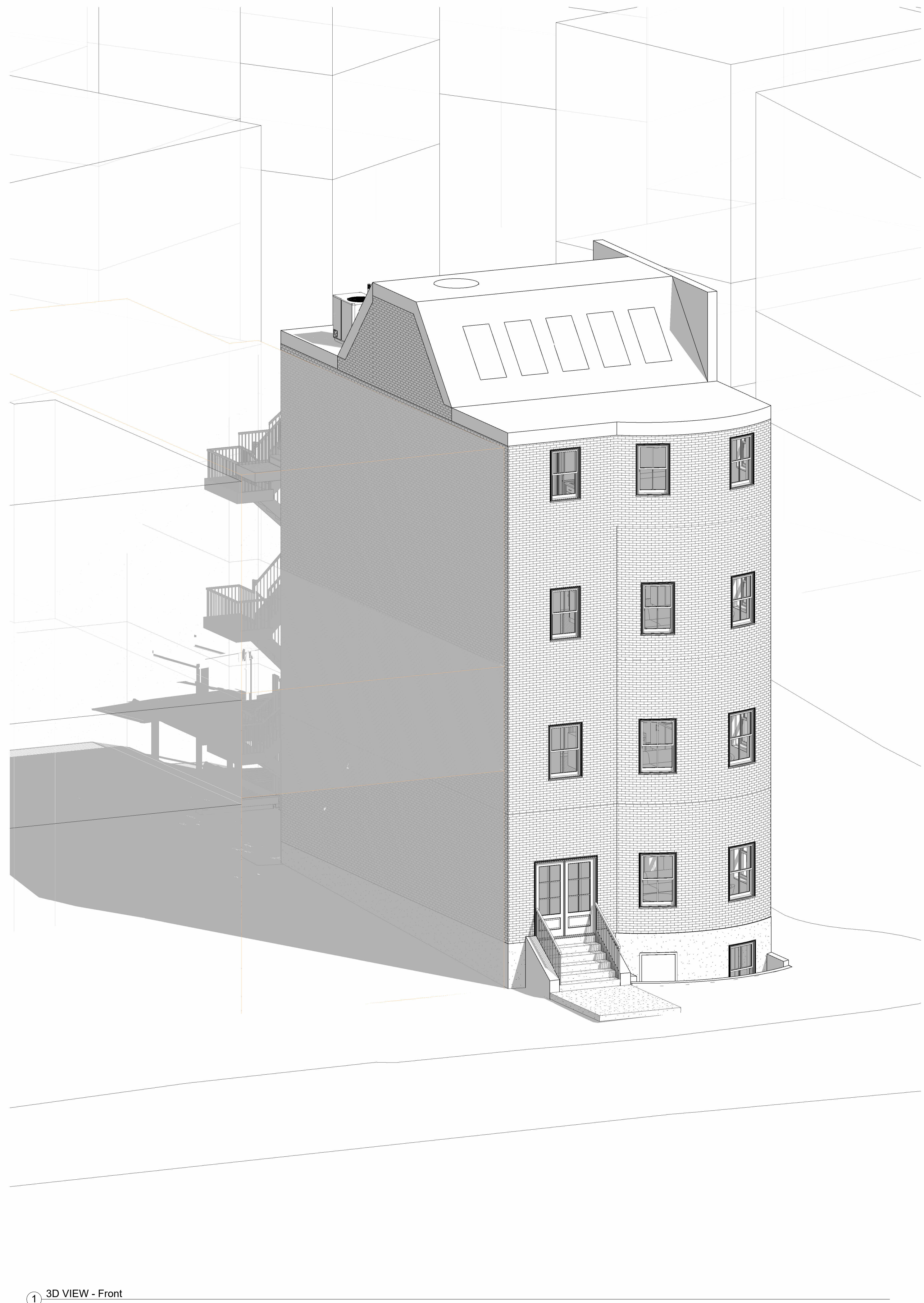
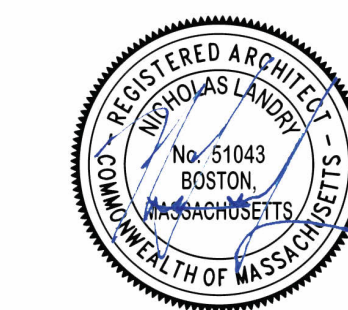
No.	Description	Date

8-9 MONUMENT SQ LLC 8 MONUMENT SQ BUILDING SECTIONS

Project number 221062A
 Date 3/23/2023
 Drawn by NC
 Checked by NPL

A300

Scale As indicated



① 3D VIEW - Front

② 3D VIEW - Back

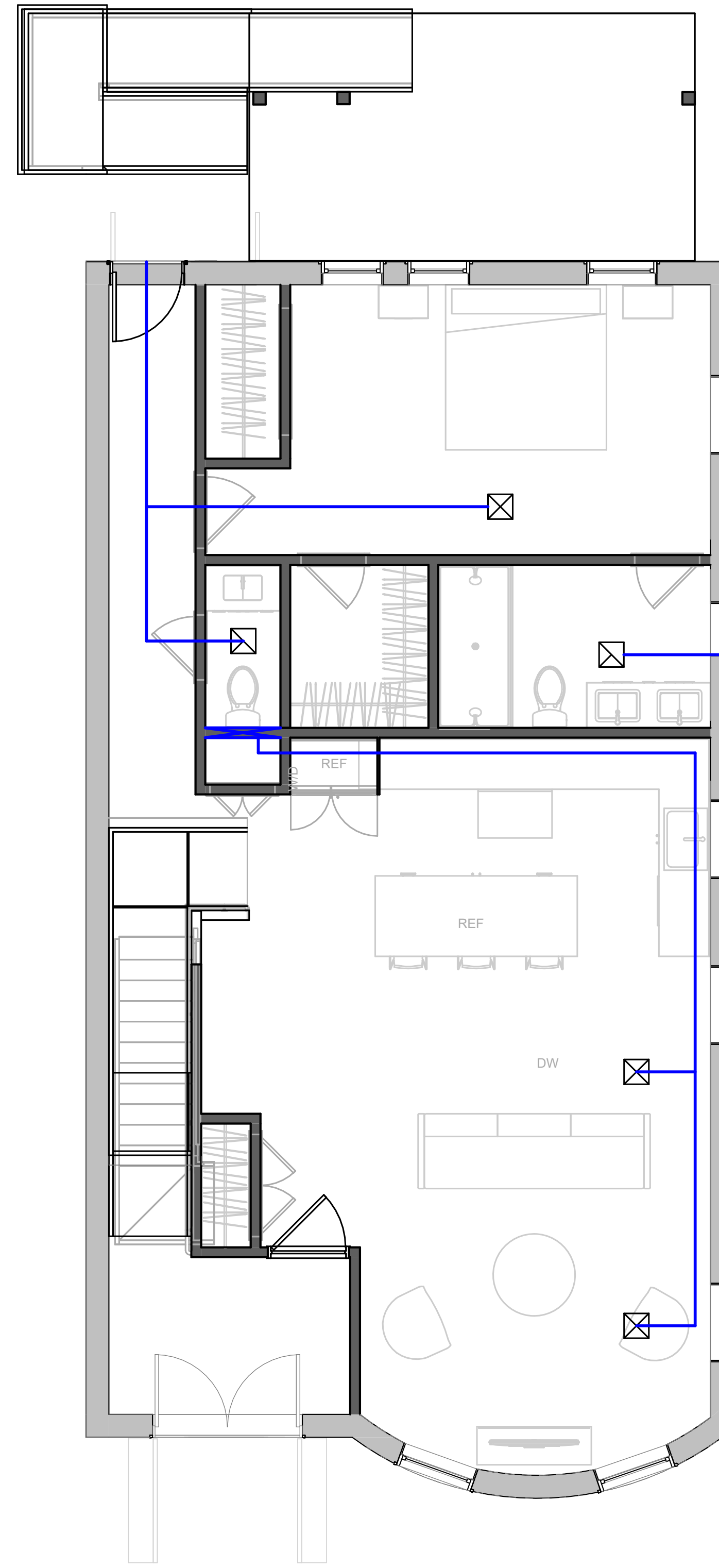
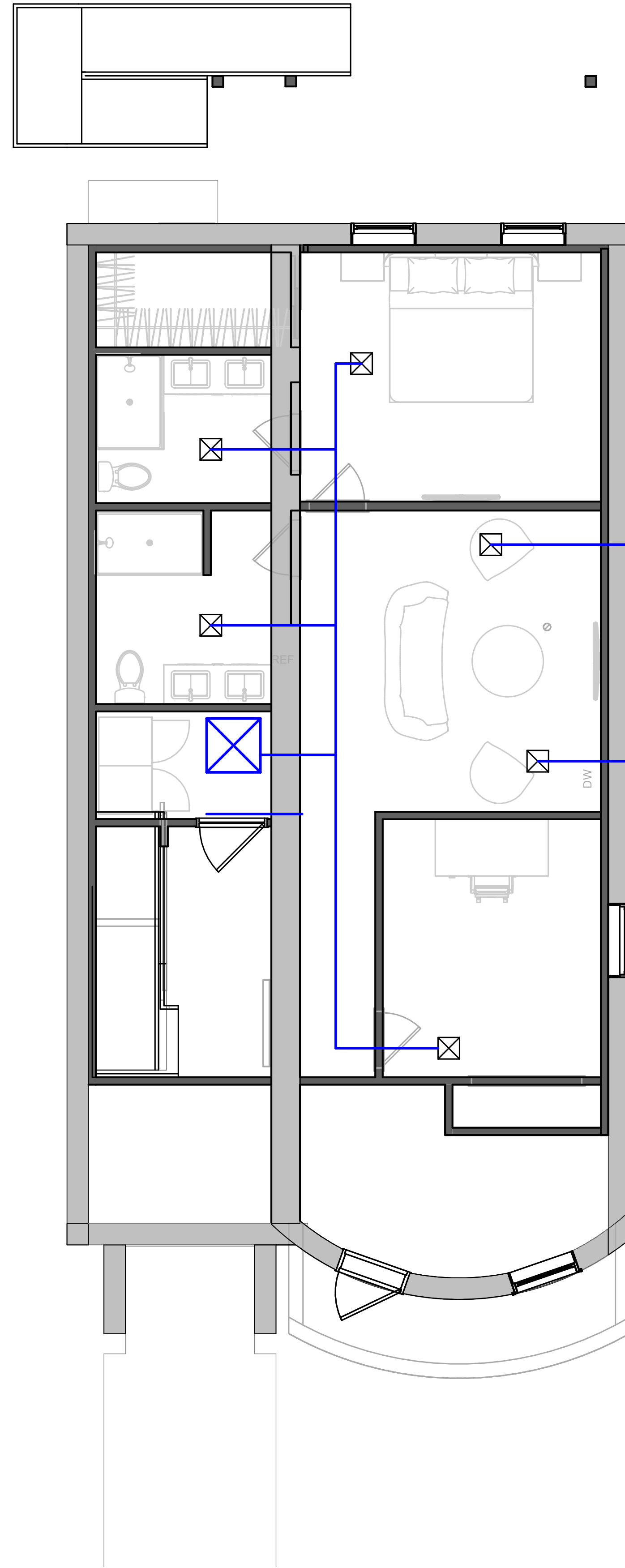
No.	Description	Date

8-9 MONUMENT SQ LLC
8 MONUMENT SQ
AXONS




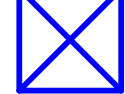
Project number: 221062A
Date: 3/23/2023
Drawn by: NC
Checked by: NPL

A500

Scale



HVAC GRAPHIC KEY

-  SUPPLY DIFFUSER
-  EXHAUST FAN
-  AIR SUPPLY DUCT PATH
-  MECH UNITS

NOTE:

REFER TO HVAC NOTES AND PLANS FOR PLACEMENT REQUIREMENTS, TYP.



Design Resource Team, LLC
 546 East Broadway
 Boston, MA 02127
 617.804.6117
 info@drt.boston
 www.drt.boston



① MECH - Basement - Proposed
 1/4" = 1'-0"

② MECH - Level 1 - Proposed
 1/4" = 1'-0"

No.	Description	Date




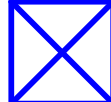
8-9 MONUMENT SQ LLC
8 MONUMENT SQ
MECH LAYOUT - LEVEL G, 1

Project number	221062A
Date	3/23/2023
Drawn by	NC
Checked by	NPL

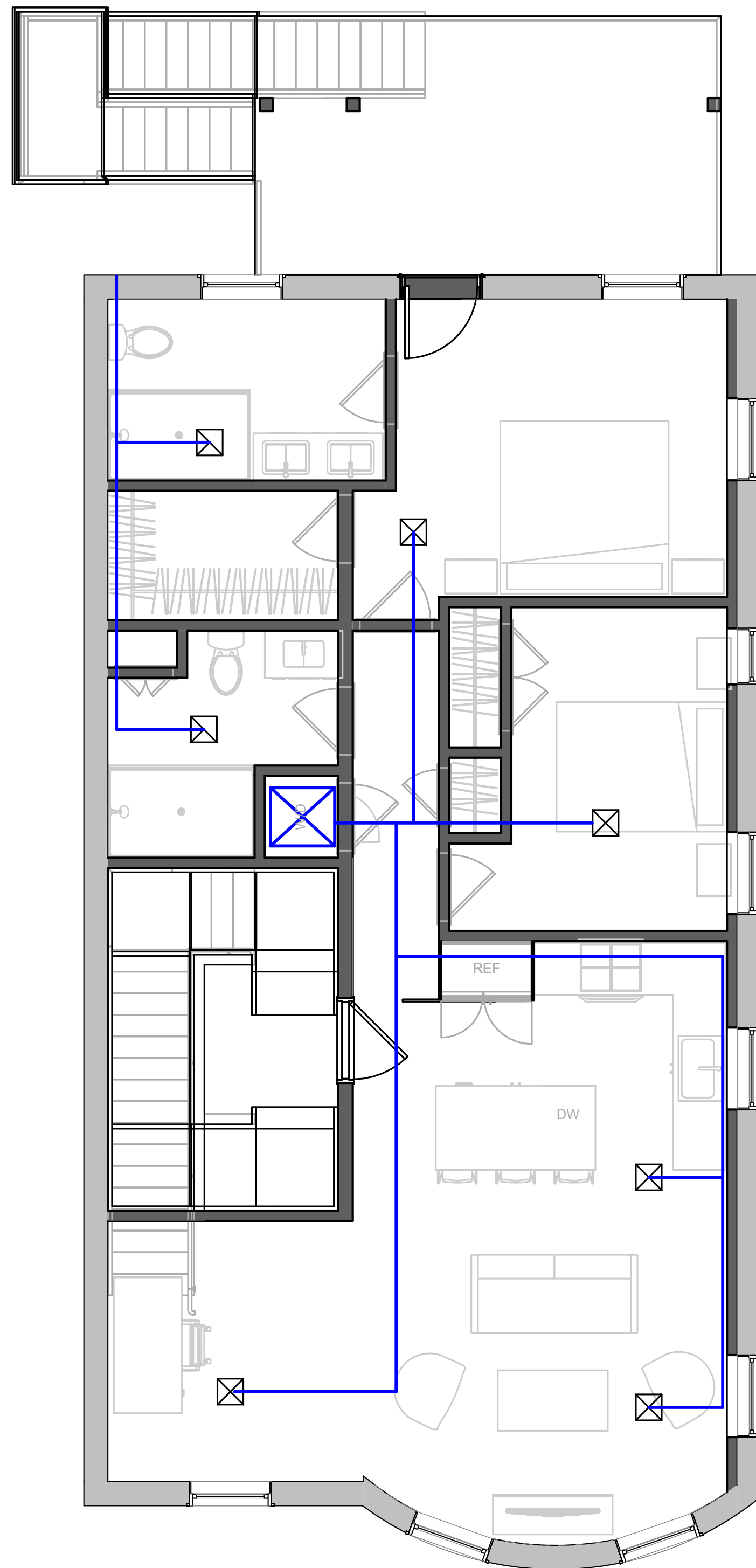
AM100

Scale	1/4" = 1'-0"
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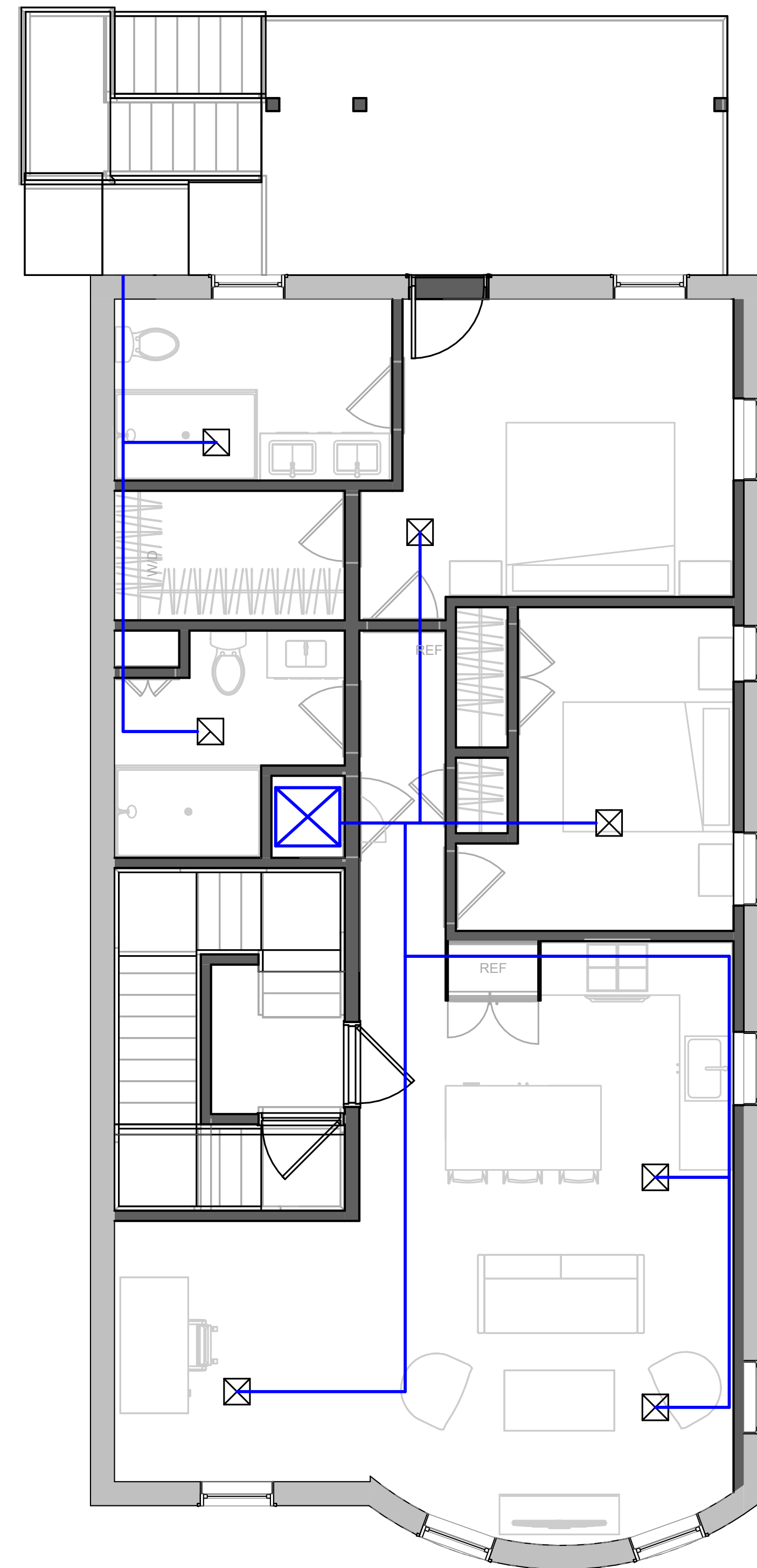
HVAC GRAPHIC KEY

-  SUPPLY DIFFUSER
-  EXHAUST FAN
-  AIR SUPPLY DUCT PATH
-  MECH UNITS

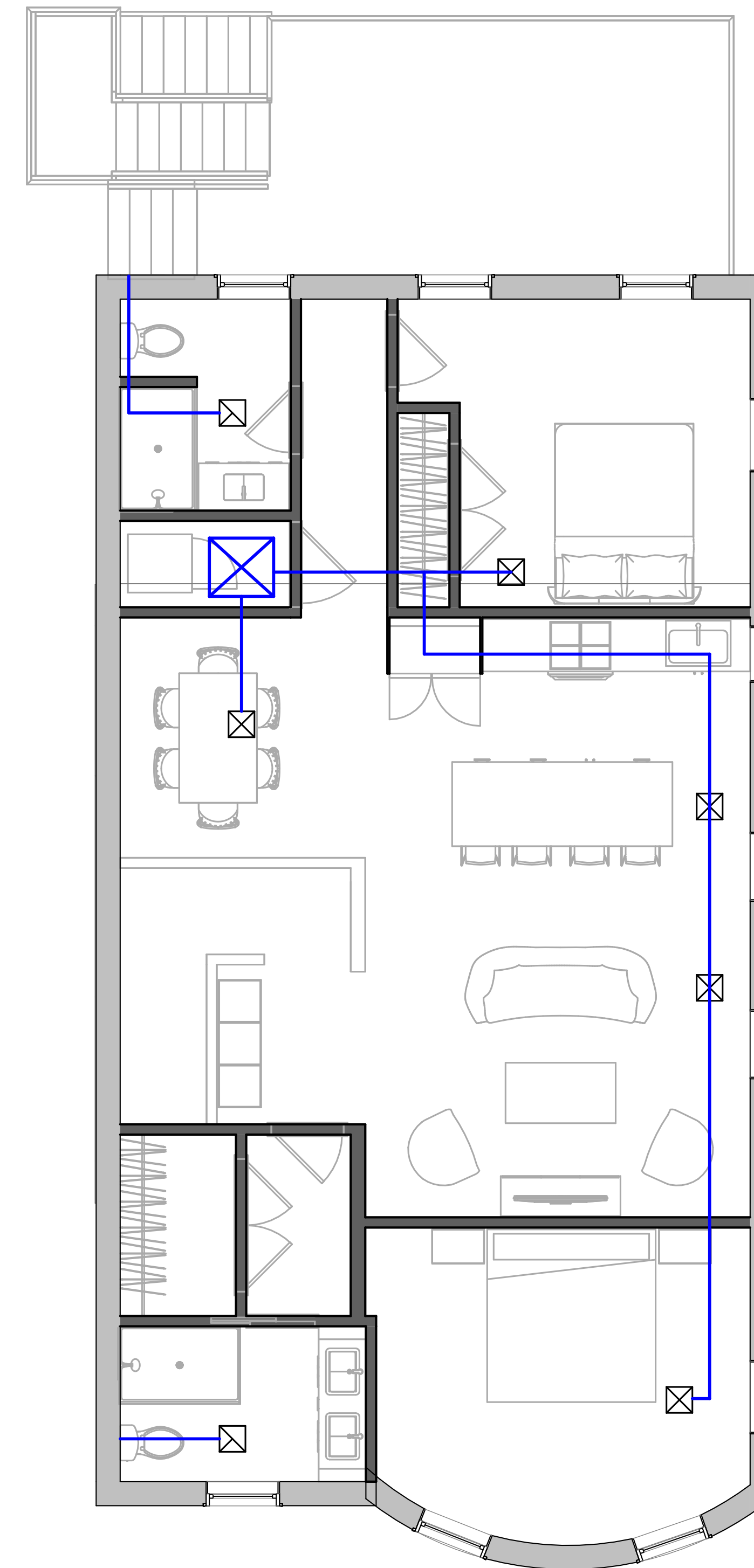
NOTE:
 REFER TO HVAC NOTES AND PLANS FOR
 PLACEMENT REQUIREMENTS, TYP.



① MECH - Level 2 - Proposed
 1/4" = 1'-0"



② MECH - Level 3 - Proposed
 1/4" = 1'-0"



③ MECH - Level 4 - Proposed
 1/4" = 1'-0"



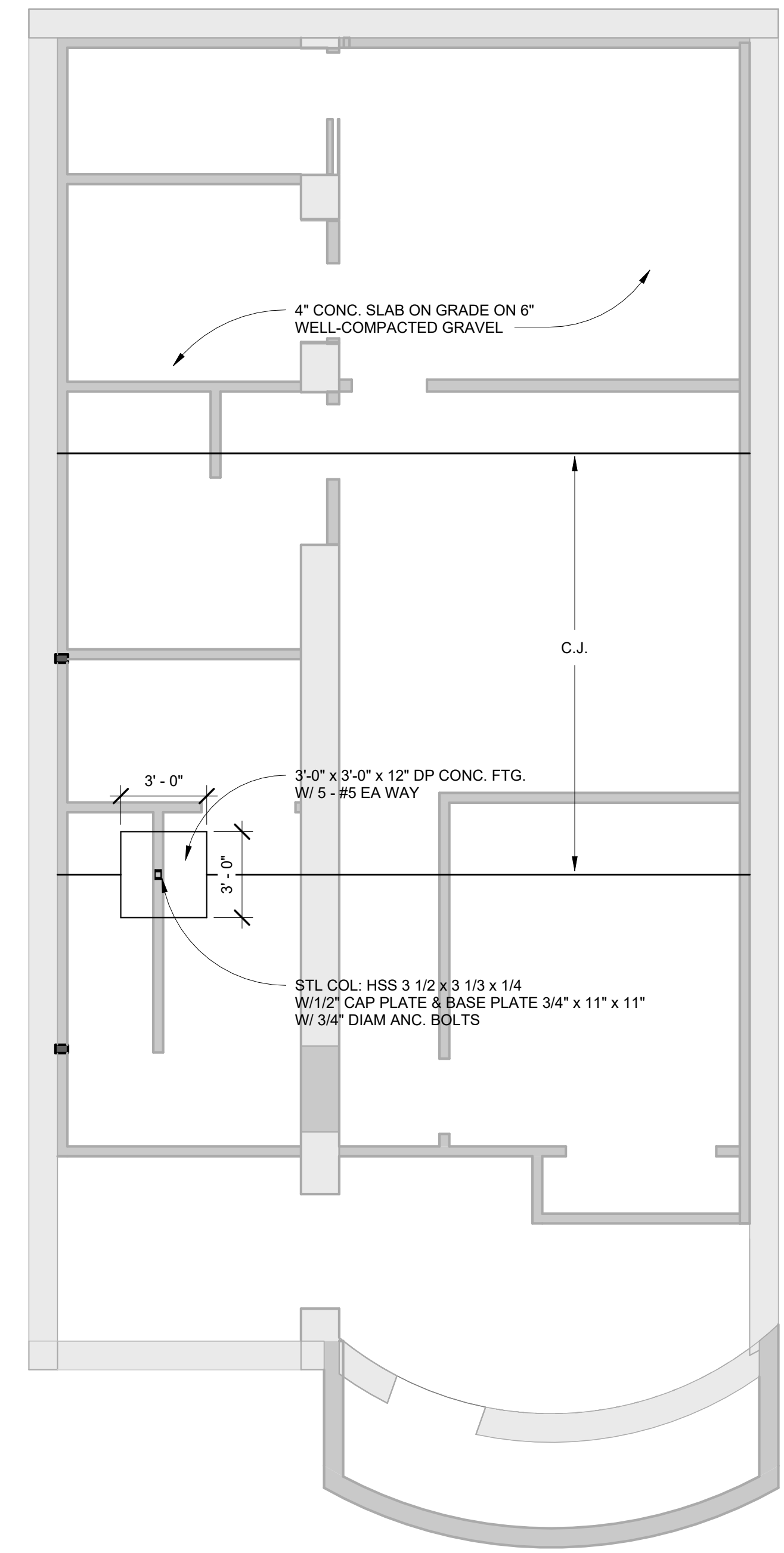
No.	Description	Date

8-9 MONUMENT SQ LLC
 8 MONUMENT SQ
 MECH LAYOUT - LEVEL 2,3

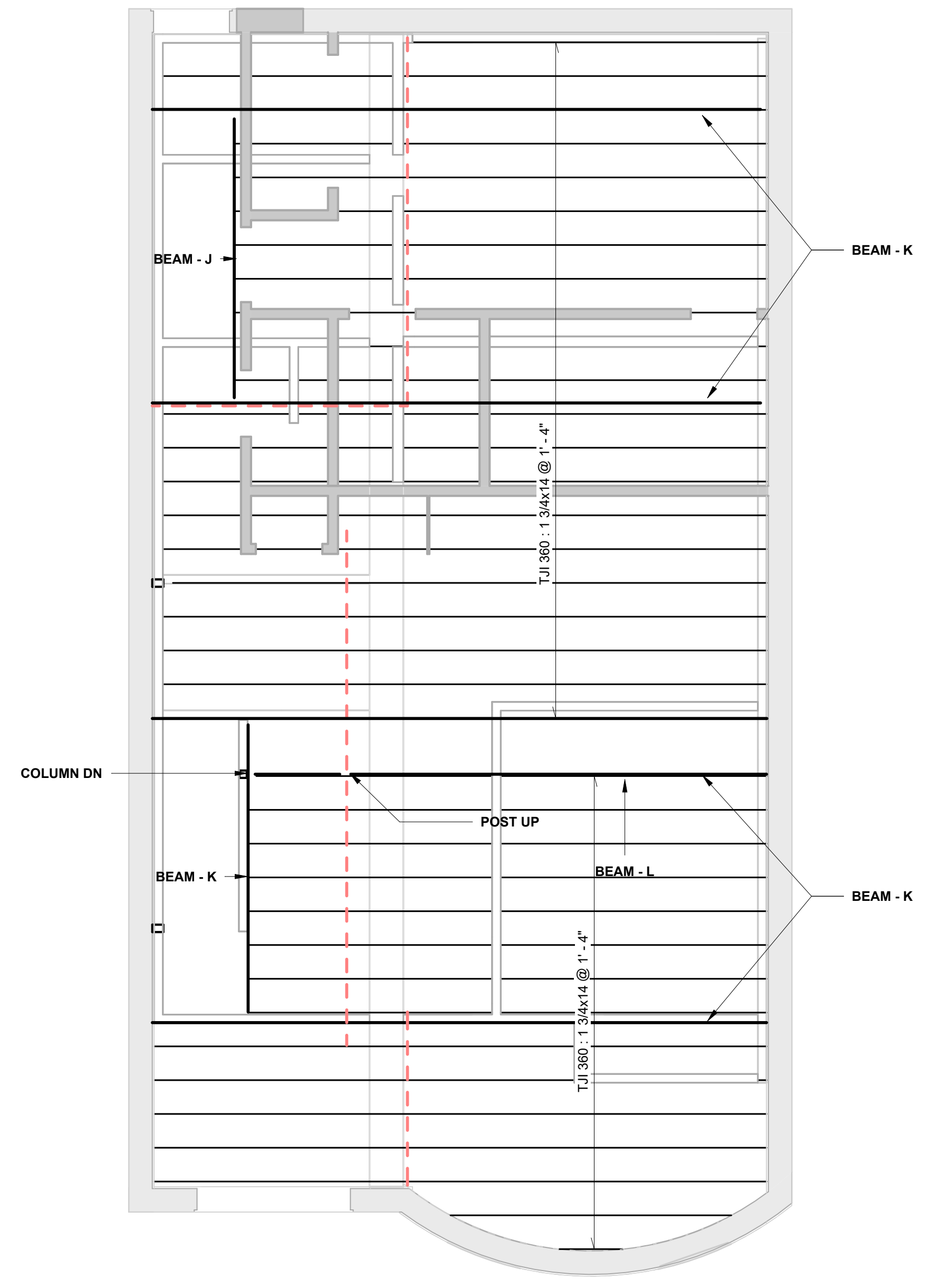
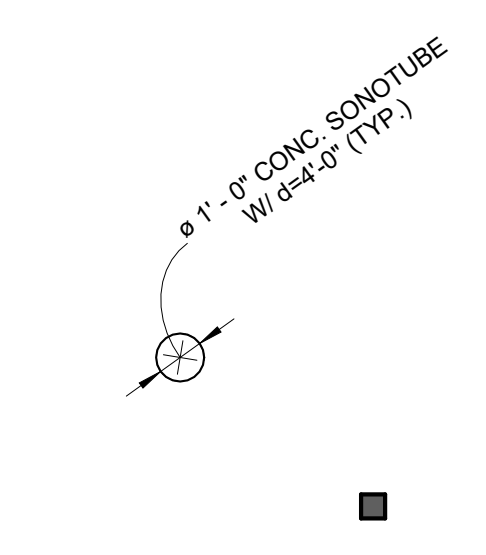
Project number 221062A
 Date 3/23/2023
 Drawn by NC
 Checked by NPL

AM101

Scale 1/4" = 1'-0"



1 Basement
1/4" = 1'-0"



BEAM - SIZE

J	-	2 - 1 3/4"x14" LVL
K	-	3 - 1 3/4"x14" LVL
L	-	3 - 1 3/4"x14" LVL

2 Level 1
1/4" = 1'-0"

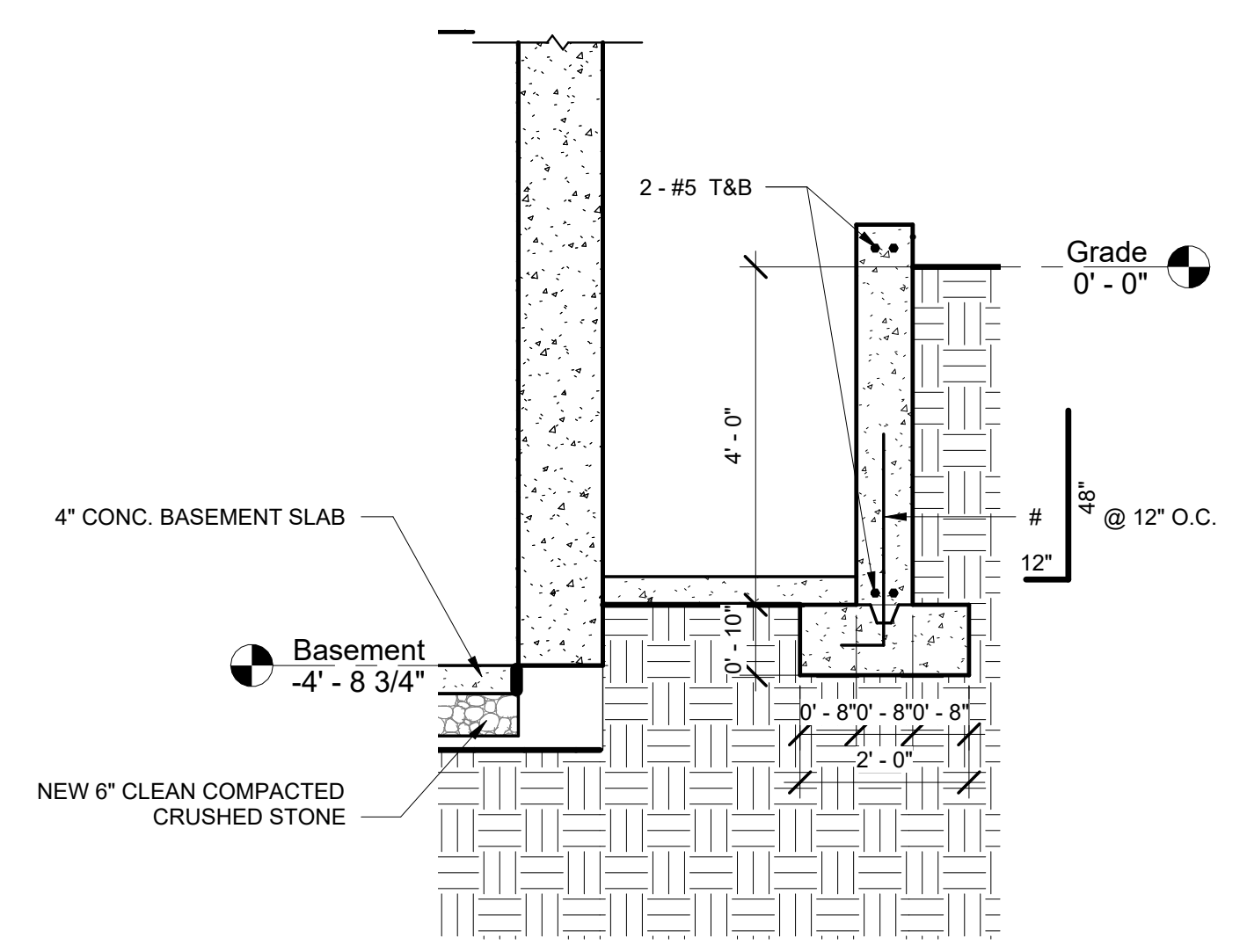
STRUCTURAL NOTES

- All work shall be done in accordance with the MSBC, 9th edition.
- Provide temporary support prior to demolition.
- Allowable soil bearing pressure : 1.50 ksf.
- Loading: LL = 40 psf.; LL(deck) = 100 psf.; P_s = 40 psf.; P_i = 30 psf.; V_W = 128 mph. (Cat II); S_s = 0.217; S_i = 0.069
- Material:
 - Lumber: LVL: F_v = 2,800 psi; E = 2.0x10⁶ psi.
Posts: PSL
Wood (joists & rafters): Hem-Fir No. 1 & btr.;
Studs (bearing wall): construction grade, P.T. at ext. exposure
 - Metal connectors: Simpson or approved equal;
Corrosion resistant @ ext. exposure.
 - Concrete: f'_c = 3,500 psi; Re-bar: GR 60.
 - Structural Steel: A36/A500; and A992 if needed

HEADER SCHEDULE

R.O.	SIZE
<= 4'-0"	2 - 2x8
<= 6'-0"	2 - 2x10
<= 8'-0"	2 - 2x12

- BEARING PARTITION BELOW
- PROVIDE 3/4" PLYWOOD SUBFLOORING
 - INFILL FLR FRAMING W/ 2x12 @16" O.C. @ STAIR OPENINGS (TYP)
 - DBL FLR JOISTS @ PARALLEL PARTITIONS



3 Section B
1/2" = 1'-0"



Design Resource Team, LLC.
546 E Broadway
Boston, MA 02127
617.804.6117
mlandry@d-r-t.co
www.d-r-t.co

Evan Hankin
617.839.9690
elhankin@me.com



No.	Description	Date

8-9 MONUMENT SQ LLC

8 MONUMENT SQ

STRUCTURAL FRAMING PLANS - LEVEL G & 1

Project number 221062A
Date 3/23/2023
Drawn by CB
Checked by ELH

S100

Scale As indicated

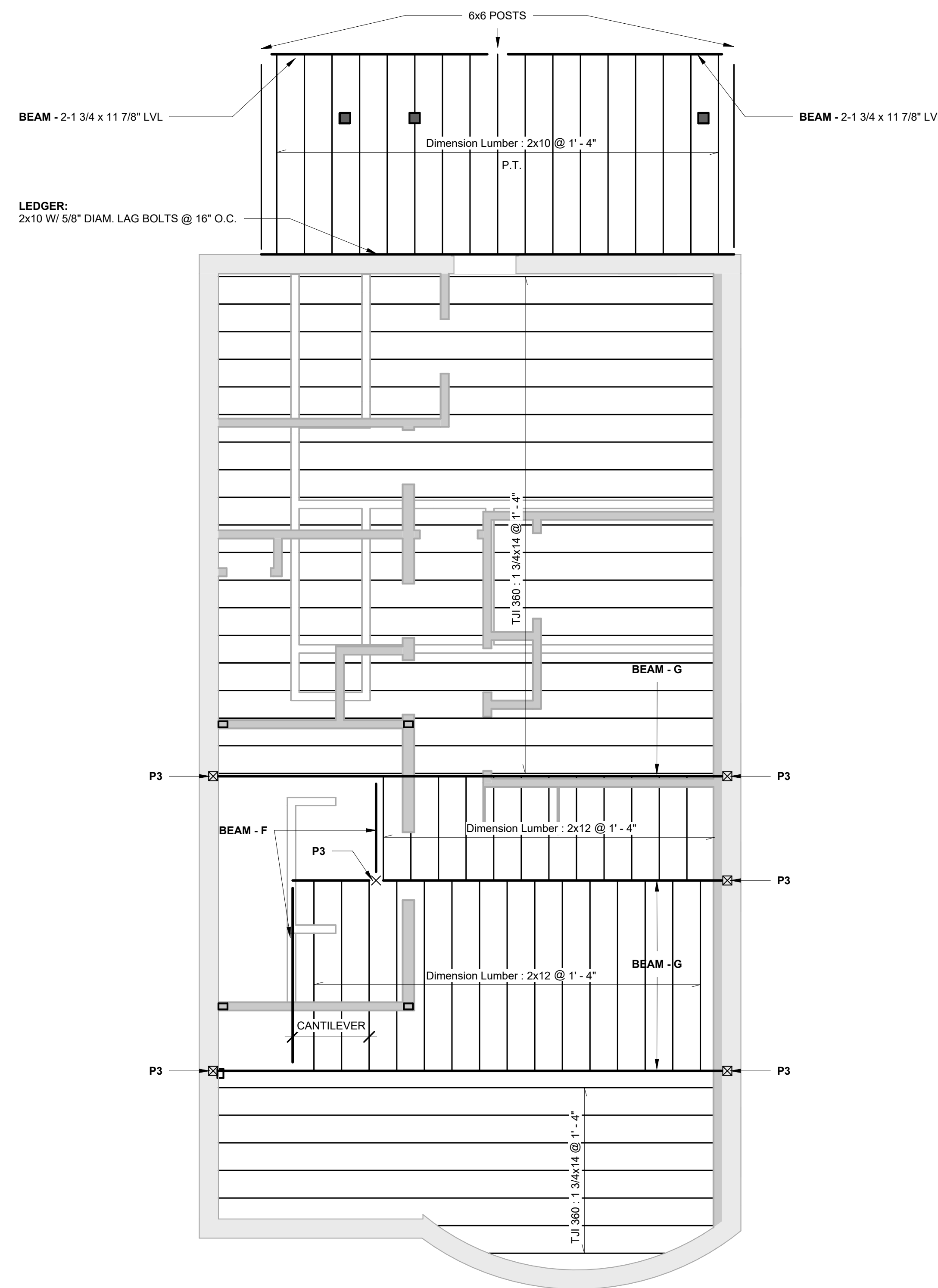


STRUCTURAL NOTES

- All work shall be done in accordance with the MSBC, 9th edition.
- Provide temporary support prior to demolition.
- Allowable soil bearing pressure : 1.50 ksf.
- Loading: LL = 40 psf.; LL(deck) = 100 psf.; P_s = 40 psf.;
P_i = 30 psf.
V_W = 128 mph. (Cat II)
S_s = 0.217; S₁ = 0.069
- Material:
 - Lumber: LVL: F_b = 2,800 psi; E = 2.0x10⁶ psi.
Posts: PSL
Wood (joists & rafters): Hem-Fir No. 1 & btr.;
Studs (bearing wall): construction grade,
P.T. at ext. exposure
 - Metal connectors: Simpson or approved equal;
Corrosion resistant @ ext. exposure.
 - Concrete: f'_c = 3,500 psi; Re-bar: GR 60.
 - Structural Steel: A36/A500; and A992 if needed

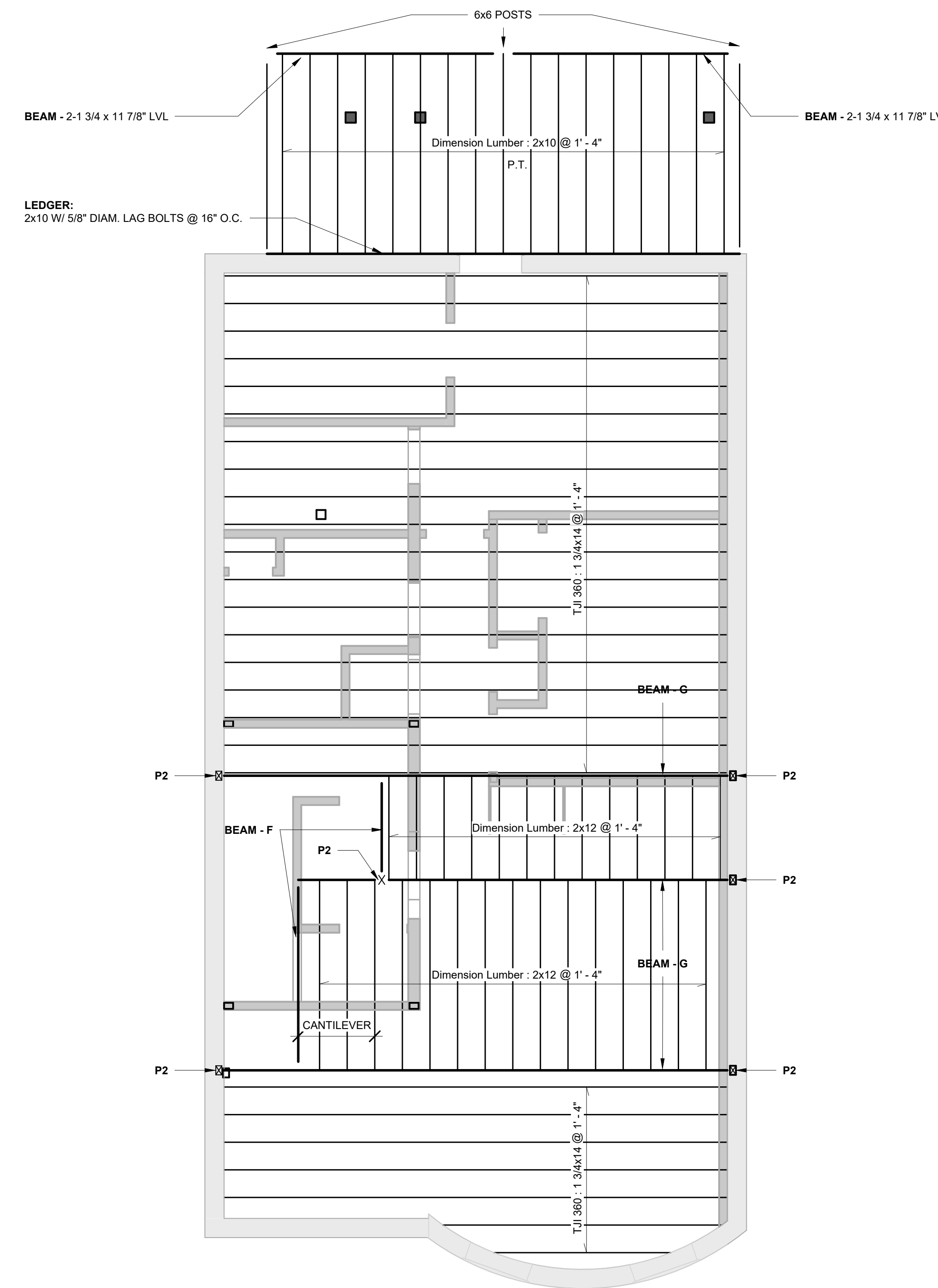
HEADER SCHEDULE	
R.O.	SIZE
<= 4'-0"	2 - 2x8
<= 6'-0"	2 - 2x10
<= 8'-0"	2 - 2x12

- - - BEARING PARTITION BELOW
- PROVIDE 3/4" PLYWOOD SUBFLOORING
- INFILL FLR FRAMING W/ 2x12 @ 16" O.C. @ STAIR OPENINGS (TYP)
- DBL FLR JOISTS @ PARALLEL PARTITIONS



BEAM	SIZE	POST	SIZE
F	2 - 1 3/4" x 11 7/8" LVL	P3	5 1/4" x 5 1/4" PSL
G	2 - 1 3/4" x 11 7/8" LVL		

① Level 2
1/4" = 1'-0"



BEAM	SIZE	POST	SIZE
F	2 - 1 3/4" x 11 7/8" LVL	P2	3 1/2" x 5 1/4" PSL
G	2 - 1 3/4" x 11 7/8" LVL		

② Level 3
1/4" = 1'-0"

8-9 MONUMENT SQ LLC
8 MONUMENT SQ

STRUCTURAL FRAMING
PLANS - LEVEL 2 & 3

Project number	221062A
Date	3/23/2023
Drawn by	CB
Checked by	ELH

S101

Scale As indicated

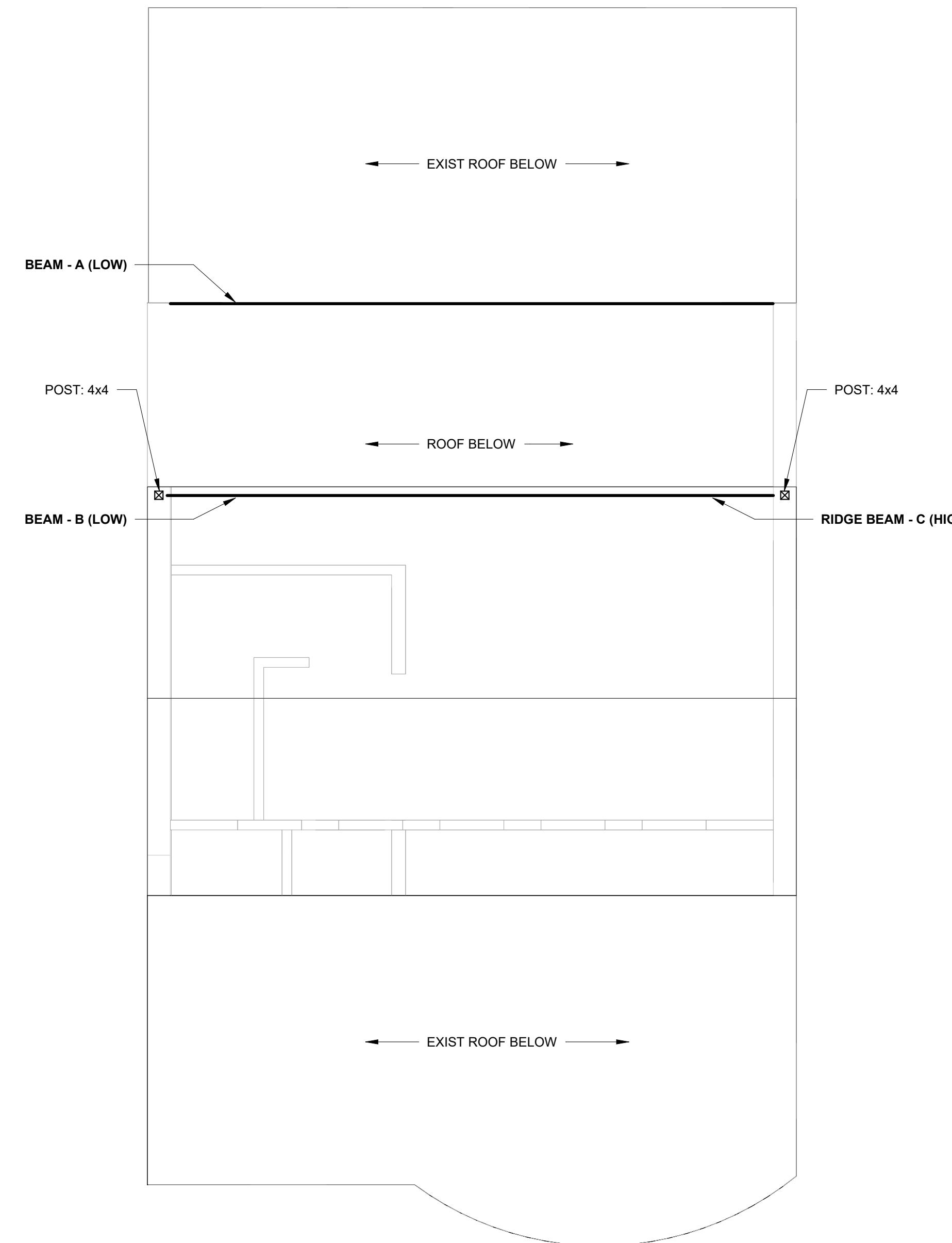
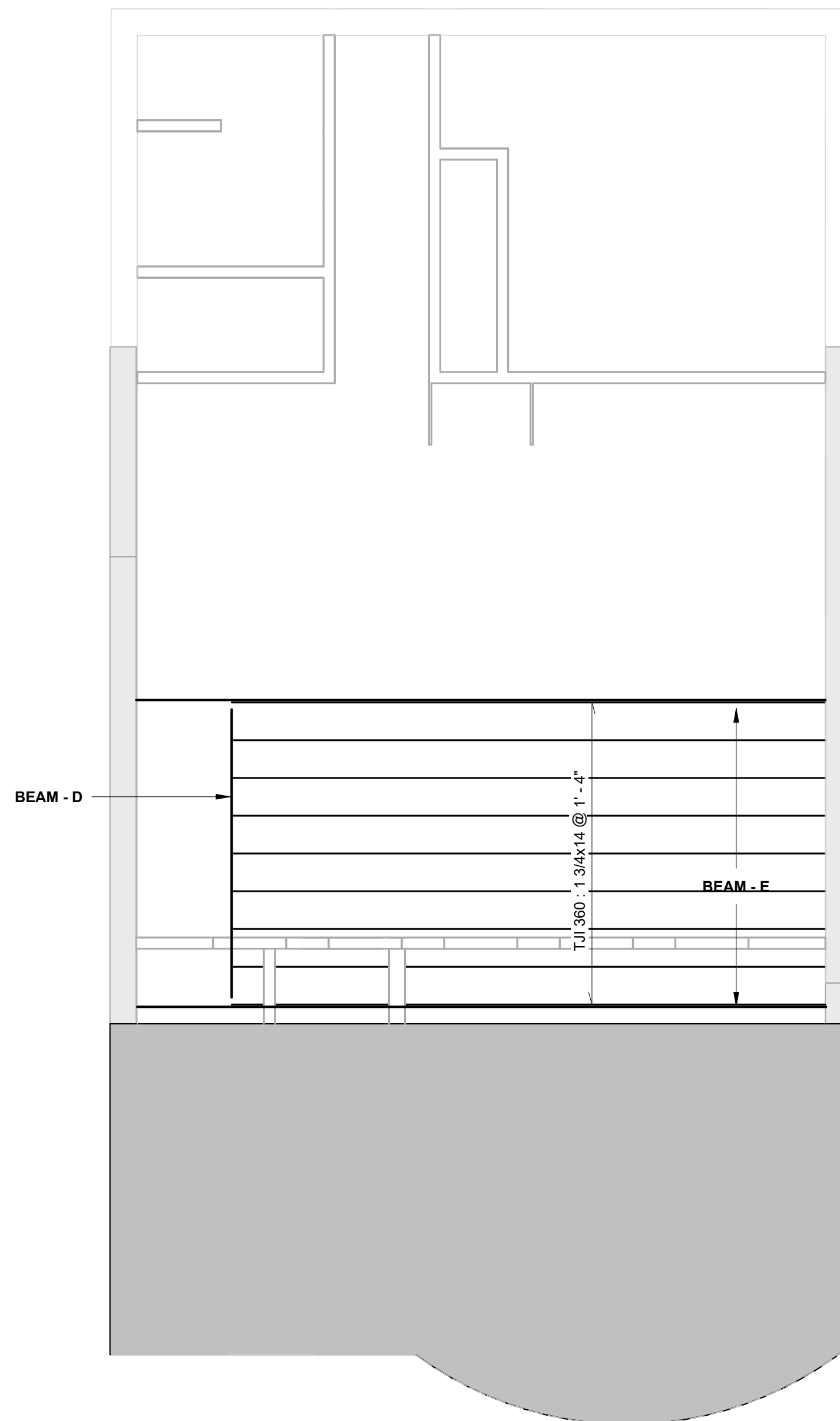
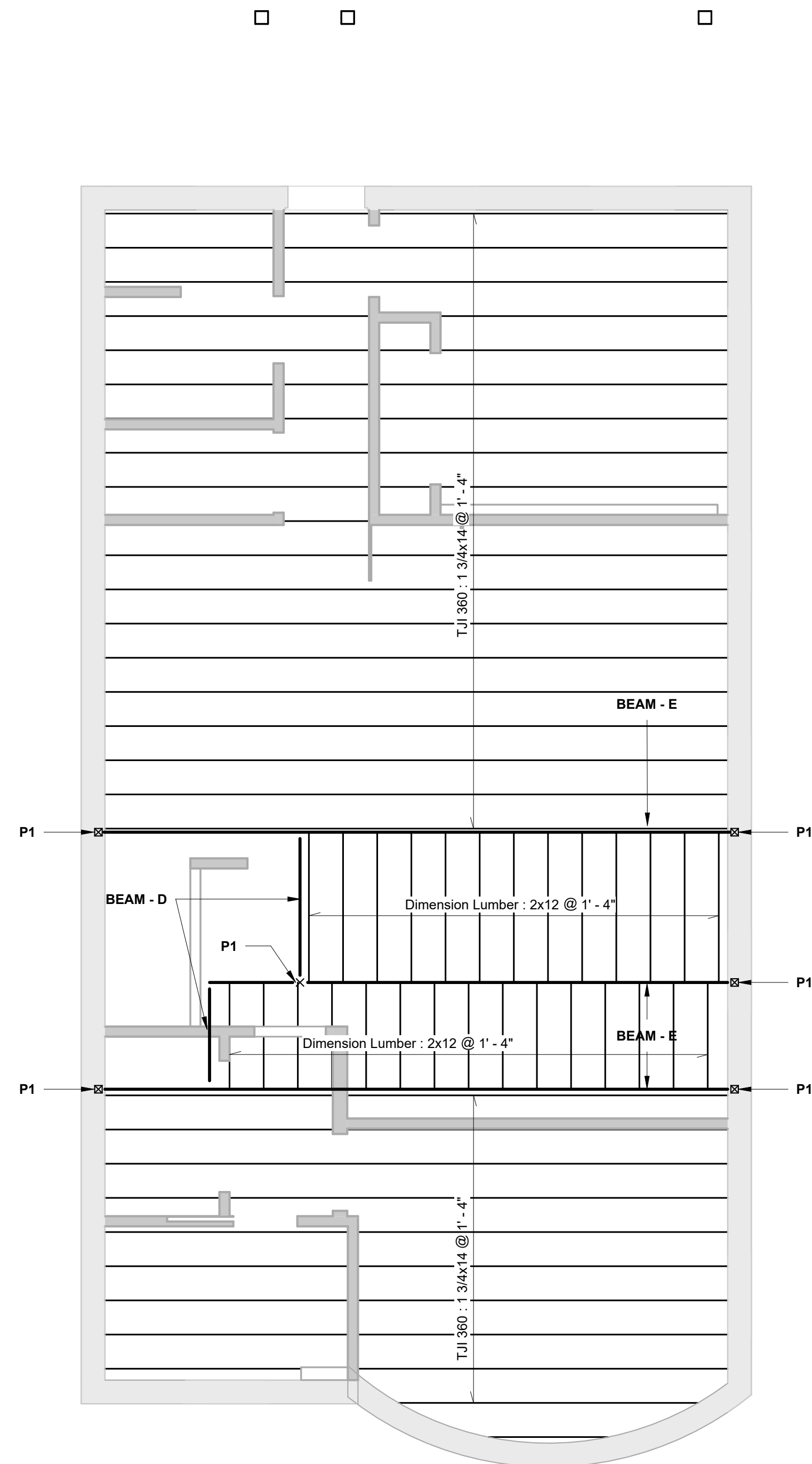


STRUCTURAL NOTES

- All work shall be done in accordance with the MSBC, 9th edition.
- Provide temporary support prior to demolition.
- Allowable soil bearing pressure : 1.50 ksf.
- Loading: LL = 40 psf.; LL(deck) = 100 psf.; P_s = 40 psf.;
P_i = 30 psf.
V_W = 128 mph. (Cat II)
S_s = 0.217; S₁ = 0.069
- Material:
 - Lumber: LVL: F_b = 2,800 psi; E = 2.0x10⁶ psi.
Posts: PSL
Wood (joists & rafters): Hem-Fir No.1 & btr.;
Studs (bearing wall): construction grade,
P.T. at ext. exposure
 - Metal connectors: Simpson or approved equal;
Corrosion resistant @ ext.exposure.
 - Concrete: f'_c = 3,500 psi; Re-bar: GR 60.
 - Structural Steel: A36/A500; and A992 if needed

HEADER SCHEDULE	
R.O.	SIZE
<= 4'-0"	2 - 2x8
<= 6'-0"	2 - 2x10
<= 8'-0"	2 - 2x12

- - - - - BEARING PARTITION BELOW
- PROVIDE 3/4" PLYWOOD SUBFLOORING
- INFILL FLR FRAMING W/ 2x12 @16" O.C. @ STAIR OPENINGS (TYP)
- DBL FLR JOISTS @ PARALLEL PARTITIONS



BEAM	SIZE	POST	SIZE
E	2 - 1 3/4" x 11 7/8" LVL	P1	3 1/2" x 3 1/2" PSL
D	2 - 2x12		

*NOTE:
FLUSH FRAME LVL'S SUPPORTING DECK POST IN PLAN OF ROOF FRAMING

BEAM	SIZE
A	3 - 1 3/4" x 11 7/8" LVL
B	3 - 1 3/4" x 14" LVL
C	2 - 1 3/4" x 11 7/8" LVL

② Level 4
1/4" = 1'-0"

① Roof
1/4" = 1'-0"

③ TORoof
1/4" = 1'-0"

8-9 MONUMENT SQ LLC

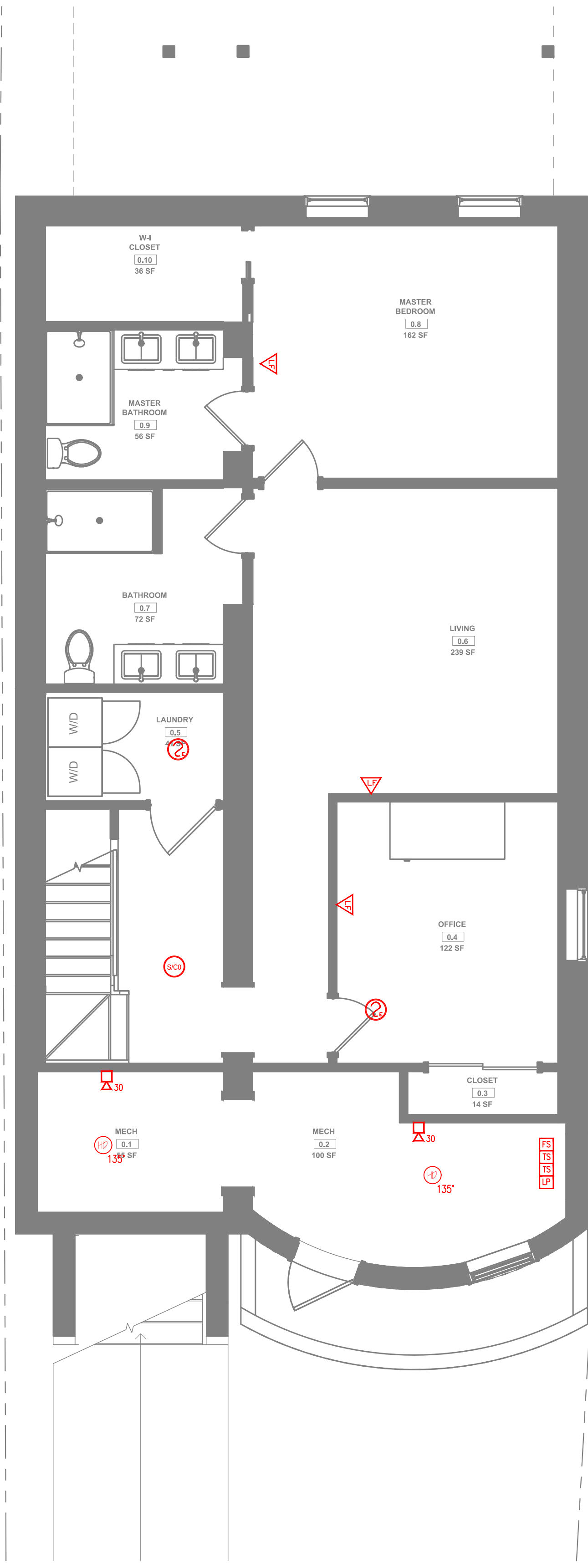
8 MONUMENT SQ

STRUCTURAL FRAMING
PLANS - LEVEL 4 & ROOF

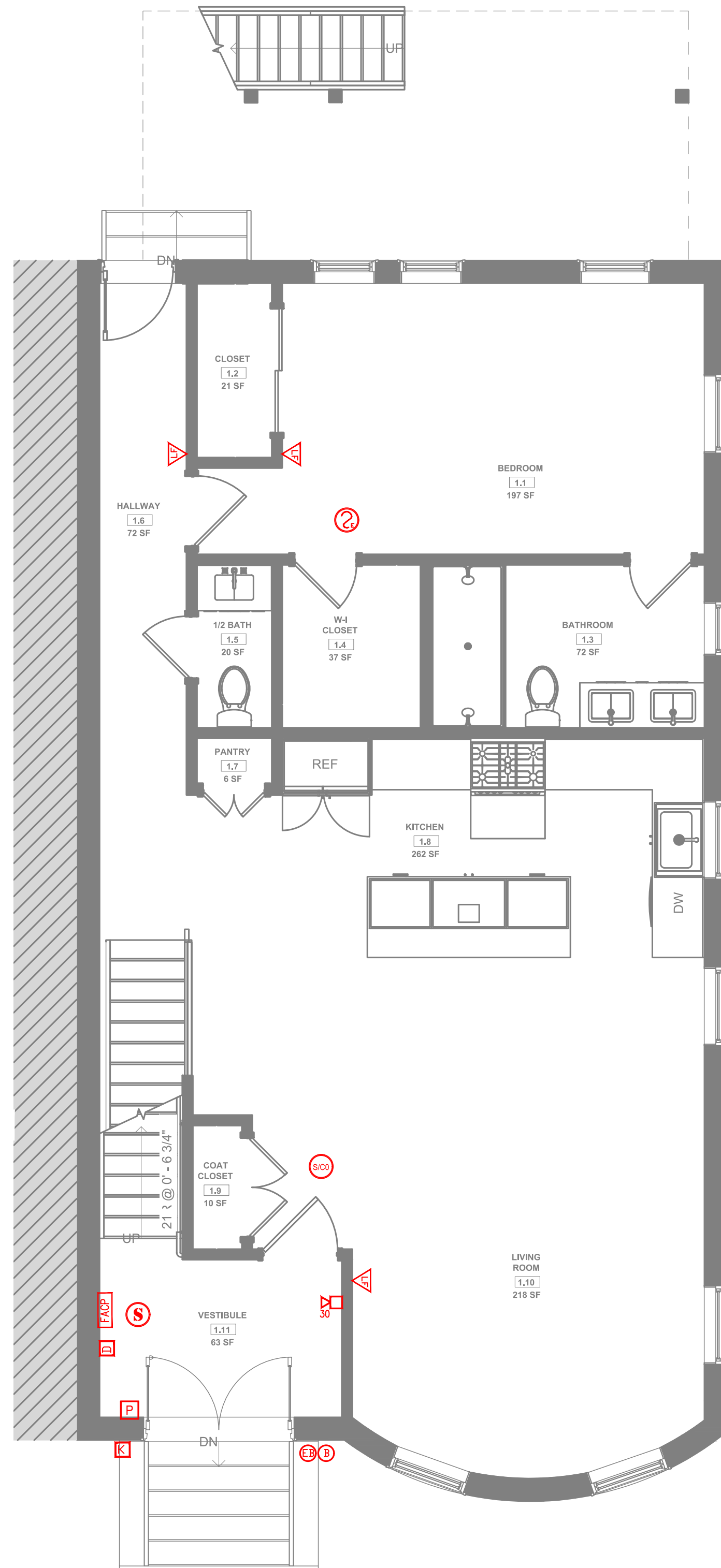
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Date	3/23/2023
Drawn by	CB
Checked by	ELH

S102

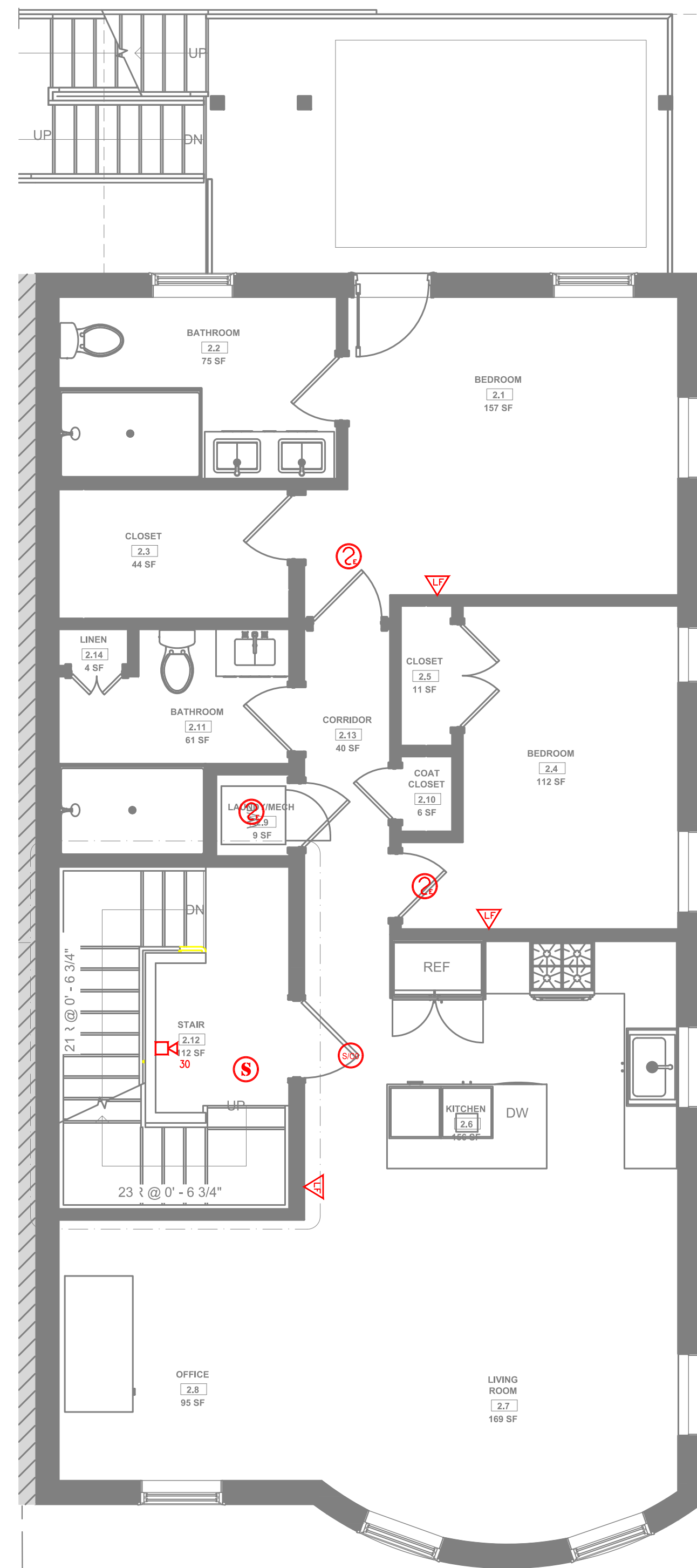
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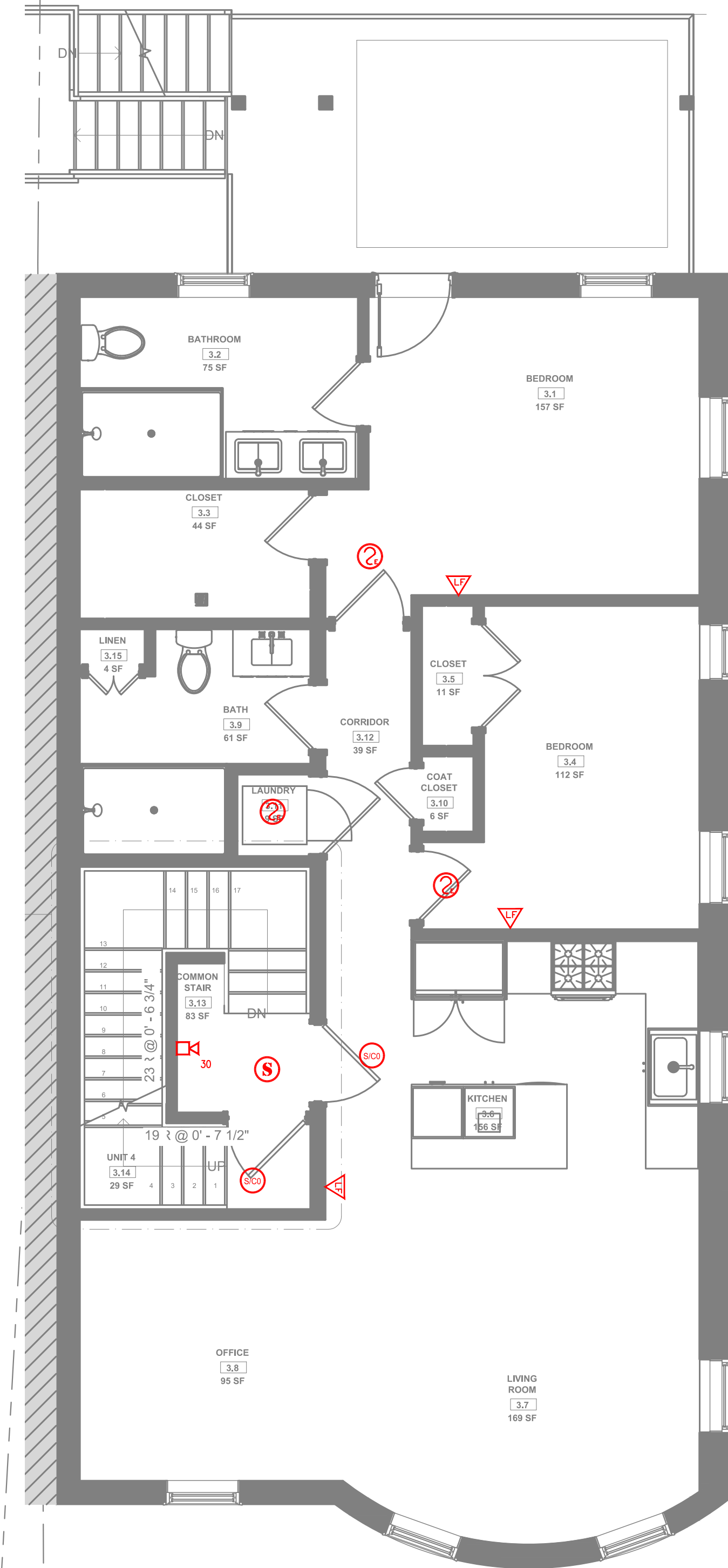
GROUND FA PLAN
SCALE: 1/4" = 1'-0"



1st LEVEL FA PLAN
SCALE: 1/4" = 1'-0"



2nd LEVEL FA PLAN
SCALE: 1/4" = 1'-0"



3rd LEVEL FA PLAN
SCALE: 1/4" = 1'-0"

NO	DATE	REVISIONS

dt
design | resource | team
Design Resource Team, LLC
379 East Broadway
Boston, MA 02127
617-804-6117
info@dt-r-t.com
www.d-t.com

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FIRE PROTECTION
Reiter Fire Protection
60 Monroe Street
Pembroke, MA 02359
781-205-9440
service@reiterfire.com

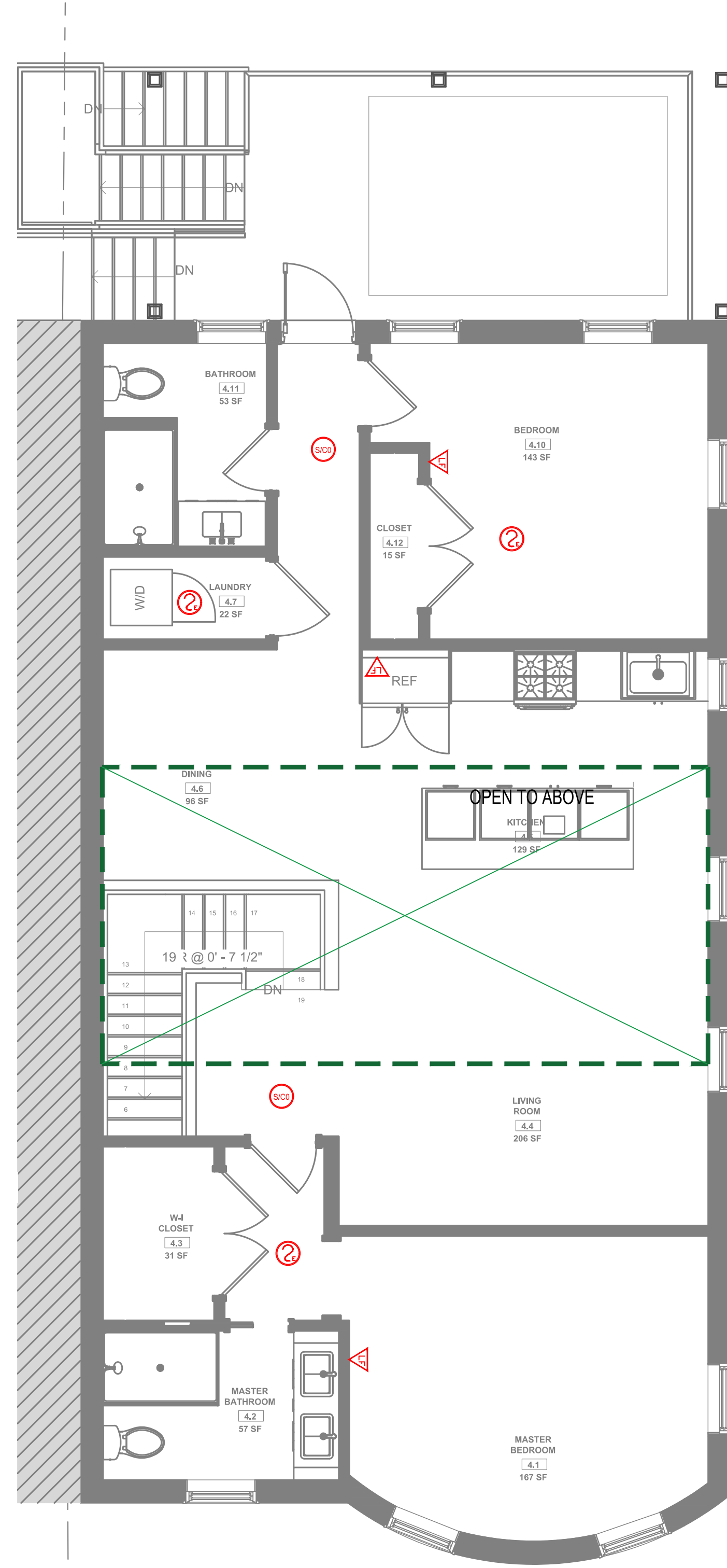
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Contractor: LANDWORDS LLC



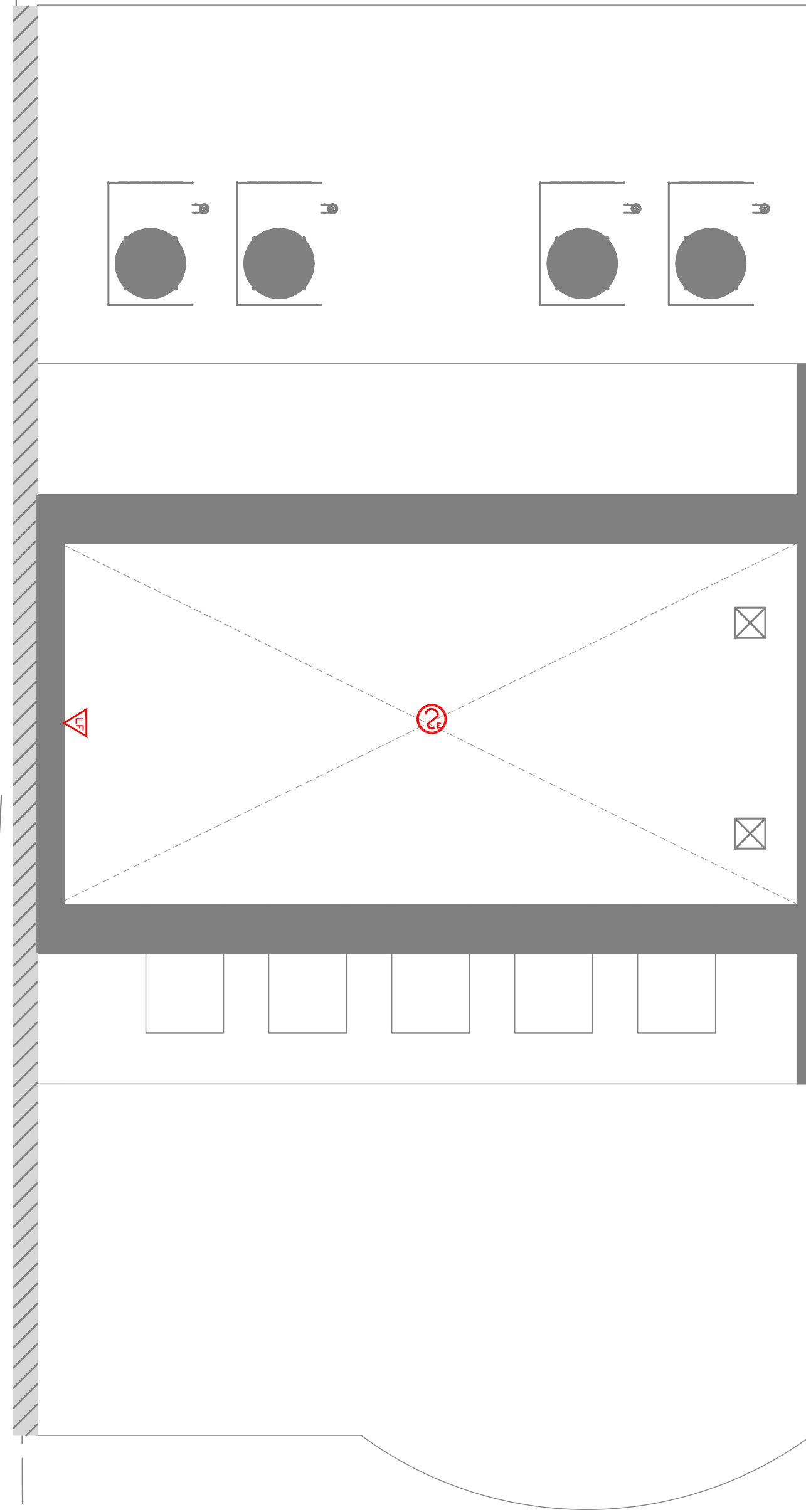
Project Name and Address
3-UNIT RESIDENCE
8 MONUMENT SQUARE
BOSTON, MA

Sheet Title
FA PLANS

FA-1



4th LEVEL FA PLAN
SCALE: 1/4" = 1'-0"



4th FLOOR PEAKED ROOF FA PLAN
SCALE: 1/4" = 1'-0"

NO	DATE	REVISIONS

dt
design | resource | team
Design Resource Team, LLC
579 East Broadway
Boston, MA 02127
617-804-6117
info@d-r-t.com
www.d-r-t.com

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FIRE PROTECTION
Reiter Fire Protection
60 Monroe Street
Pembroke, MA 02359
781-205-9440
service@reiterfire.com

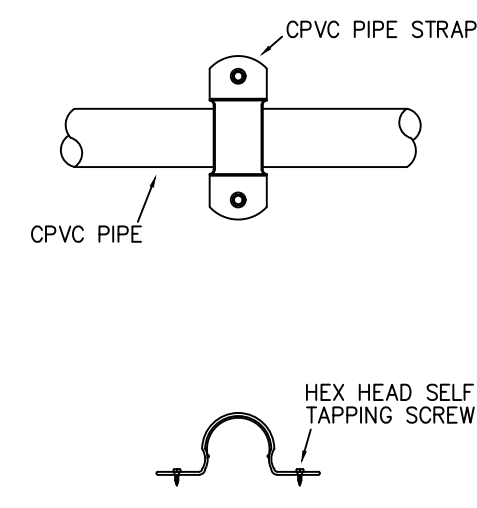
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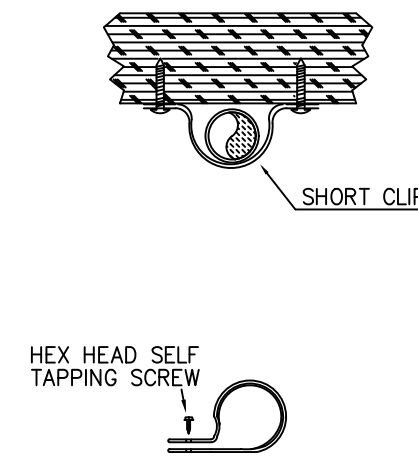
Project Name and Address
3-UNIT RESIDENCE
8 MONUMENT SQUARE
BOSTON, MA

Sheet Title
FA PLANS

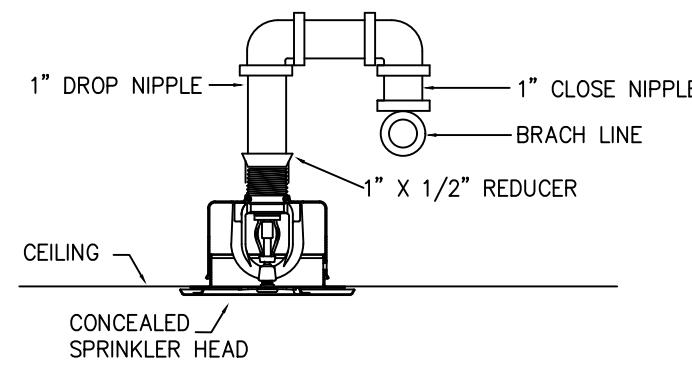
FA-2



CPVC TWO HOLE STRAP - HANGER DETAIL
SCALE: NOT TO SCALE



CPVC ONE HOLE STRAP - HANGER DETAIL
SCALE: NOT TO SCALE



CONCEALED SPRINKLER HEAD
SCALE: NOT TO SCALE

TABLE 8.3.2.5(C) TEMPERATURE RATINGS OF SPRINKLER IN SPECIFIED RESIDENTIAL AREAS		
HEAT SOURCE	MINIMUM DISTANCE FROM EDGE OF SOURCE TO ORDINARY TEMPERATURE SPRINKLER	MINIMUM DISTANCE FROM EDGE OF SOURCE TO INTERMEDIATE TEMPERATURE SPRINKLER
SIDE OF OPEN OR RECESSED FIREPLACE	36	12
FRONT OF RECESSED FIREPLACE	60	36
COAL OR WOOD-BURNING STOVE	42	12
KITCHEN RANGE	18	9
WALL OVEN	18	9
HOT AIR FLUES	18	9
UNINSULATED HEAT DUCTS	18	9
UNINSULATED HOT WATER PIPES	12	6
SIDE OF CEILING OR WALL MOUNTED	24	12
HOT AIR DIFFUSERS	36	18
HOT WATER HEATER OR FURNACE	6	3
LIGHT FIXTURE 0W - 250W	6	3
LIGHT FIXTURE 250W - 499W	12	6

TABLE 8.10.6.1.2 POSITIONING OF SPRINKLERS TO AVOID OBSTRUCTIONS TO DISCHARGE (RESIDENTIAL UPRIGHT AND PENDANT SPRAY SPRINKLERS)

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (B) (IN.)
LESS THAN 1 FT	0
1 FT TO LESS THAN 1 FT 6 IN	0
1 FT 6 IN TO LESS THAN 2 FT	1
2 FT TO LESS THAN 2 FT 6 IN	1
2 FT 6 IN TO LESS THAN 3 FT	1
3 FT TO LESS THAN 3 FT 6 IN	3
3 FT 6 IN TO LESS THAN 4 FT	3
4 FT TO LESS THAN 4 FT 6 IN	5
4 FT 6 IN TO LESS THAN 5 FT	7
5 FT TO LESS THAN 5 FT 6 IN	7
5 FT 6 IN TO LESS THAN 6 FT	7
6 FT TO LESS THAN 6 FT 6 IN	9
6 FT 6 IN TO LESS THAN 7 FT	11
7 FT AND GREATER	14

FDR SI UNITS, 1 IN = 25.4MM, 1 FT = 0.3048 M

NOTE: FOR A AND B, REFER TO FIGURE 8.10.7.1.3

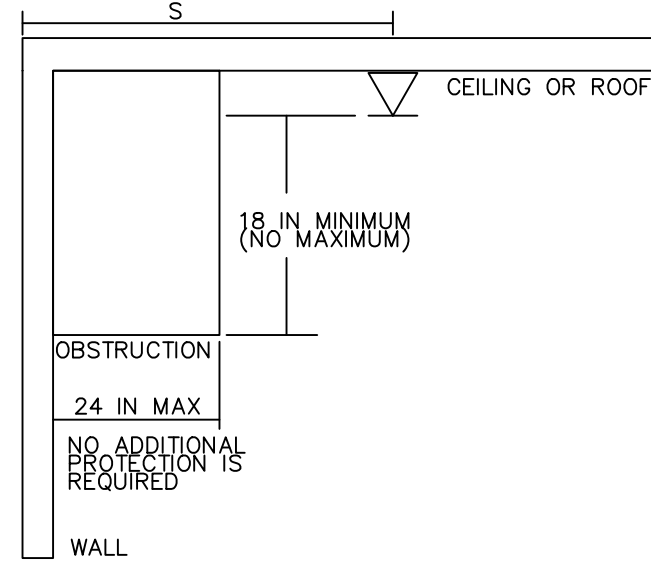


FIGURE 8.10.6.1.2(C) OBSTRUCTIONS AGAINST WALL (MEASUREMENTS FOR RESIDENTIAL UPRIGHT AND PENDENT SPRAY SPRINKLERS)

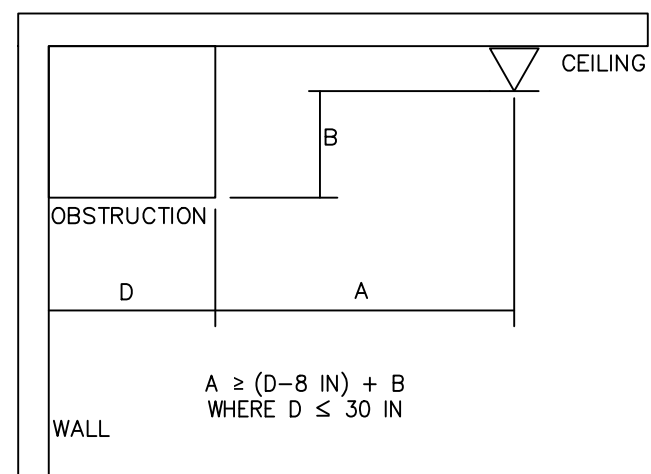


FIGURE 8.10.6.1.2(B) OBSTRUCTIONS AGAINST WALL (RESIDENTIAL UPRIGHT AND PENDENT SPRAY SPRINKLERS)

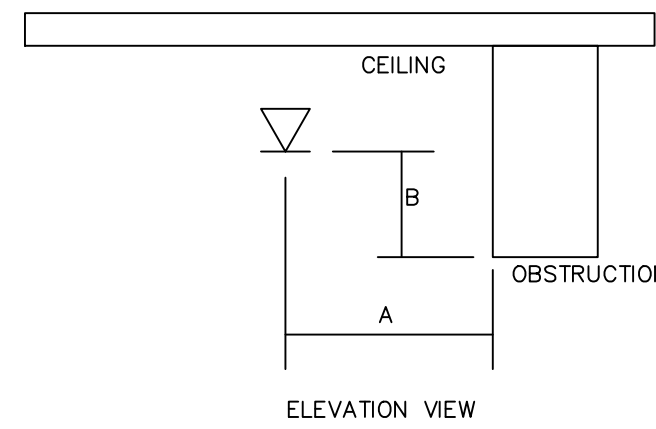


FIGURE 8.10.6.1.2(A) POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE (RESIDENTIAL UPRIGHT AND PENDENT SPRAY SPRINKLERS)

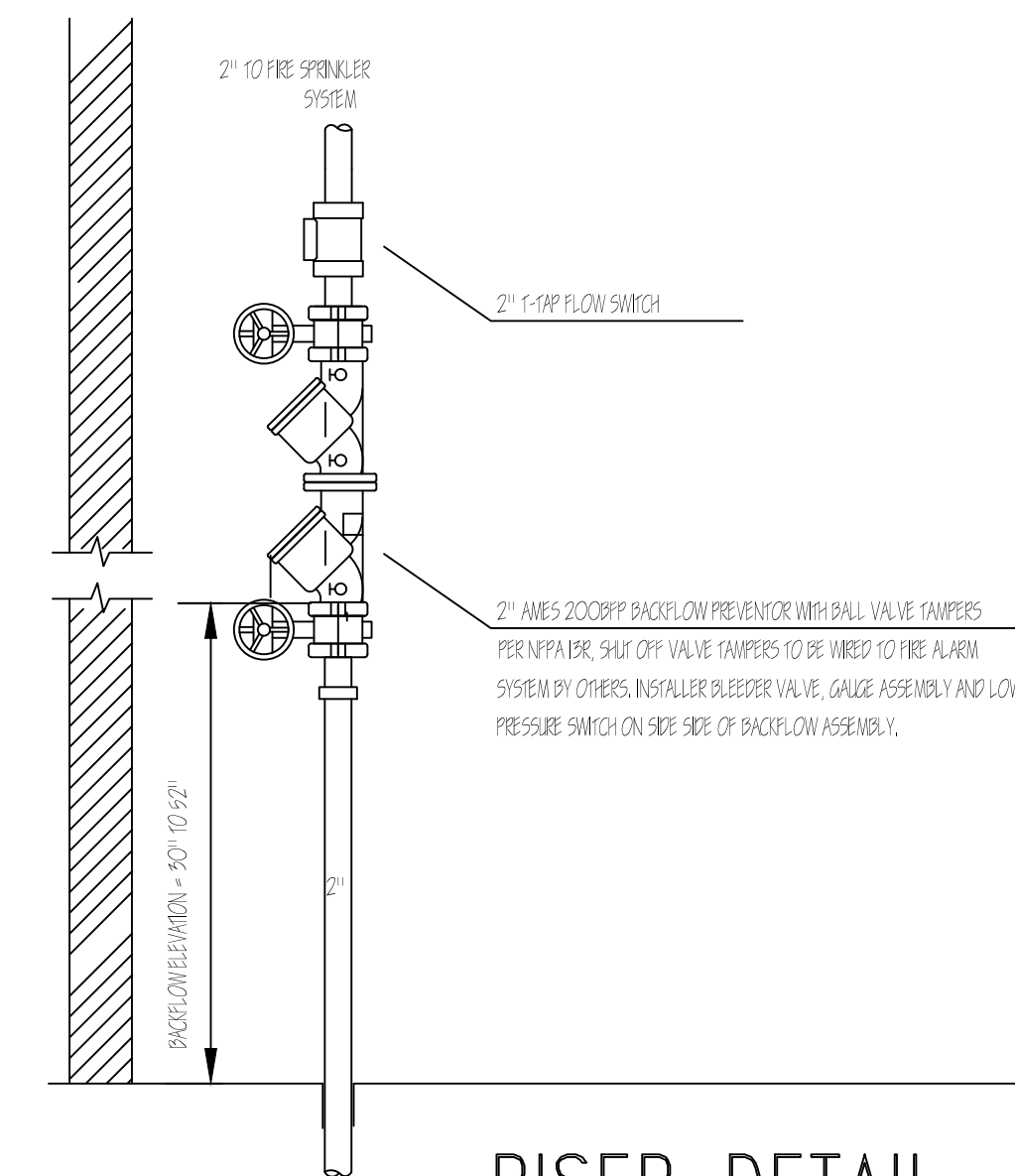
Calculation results for Design Area 1 - 4th Floor
This system as shown on _____ company print no _____ dated 11-14-22 for 8 Monument Sq at 8 Monument Sq contract no _____ is designed to discharge at a rate of 0.05 gpm/ft² (L/min/m²) of floor area over a maximum area of 4 ft² when supplied with water at a rate of 53.5 gpm at 46.3 psi at the base of the riser. Hose stream allowance of _____ is included in the above.
Occupancy classification: Residential Number of heads flowing: 4
Commodity classification: _____ System Type: Wet
Maximum storage height: _____ Maximum velocity: 8.79 ft/s
Storage arrangement: _____
Flow from In-Rack sprinklers: 0 gpm Pressure Required at Source: 46.3 psi
Flow from Overhead sprinklers: 53.5 gpm Pressure Available at Source: 53.9 psi
Flow from Inside Hoses: 0 gpm Surplus Pressure at Source: 7.6 psi
Flow from Outside Hoses: 0 gpm
Other fixed flows: 0 gpm
Total flow in system piping: 53.5 gpm
Additional flow at/beyond source: 100 gpm
Total of all flows: 153.5 gpm

Calculation results for Design Area 2 - 4th Floor - High Roof
This system as shown on _____ company print no _____ dated 11-14-22 for 8 Monument Sq at 8 Monument Sq contract no _____ is designed to discharge at a rate of 0.05 gpm/ft² (L/min/m²) of floor area over a maximum area of 2 ft² when supplied with water at a rate of 24.2 gpm at 45.5 psi at the base of the riser. Hose stream allowance of _____ is included in the above.
Occupancy classification: Residential Number of heads flowing: 2
Commodity classification: _____ System Type: Wet
Maximum storage height: _____ Maximum velocity: 4.12 ft/s
Storage arrangement: _____
Flow from In-Rack sprinklers: 0 gpm Pressure Required at Source: 45.5 psi
Flow from Overhead sprinklers: 24.2 gpm Pressure Available at Source: 53.9 psi
Flow from Inside Hoses: 0 gpm Surplus Pressure at Source: 8.4 psi
Flow from Outside Hoses: 0 gpm
Other fixed flows: 0 gpm
Total flow in system piping: 24.2 gpm
Additional flow at/beyond source: 100 gpm
Total of all flows: 124.2 gpm

Calculation results for Design Area 3 - 3rd Floor
This system as shown on _____ company print no _____ dated 11-14-22 for 8 Monument Sq at 8 Monument Sq contract no _____ is designed to discharge at a rate of 0.05 gpm/ft² (L/min/m²) of floor area over a maximum area of 4 ft² when supplied with water at a rate of 53.6 gpm at 42 psi at the base of the riser. Hose stream allowance of _____ is included in the above.
Occupancy classification: Residential Number of heads flowing: 4
Commodity classification: _____ System Type: Wet
Maximum storage height: _____ Maximum velocity: 13.24 ft/s
Storage arrangement: _____
Flow from In-Rack sprinklers: 0 gpm Pressure Required at Source: 42 psi
Flow from Overhead sprinklers: 53.6 gpm Pressure Available at Source: 53.9 psi
Flow from Inside Hoses: 0 gpm Surplus Pressure at Source: 11.9 psi
Flow from Outside Hoses: 0 gpm
Other fixed flows: 0 gpm
Total flow in system piping: 53.6 gpm
Additional flow at/beyond source: 100 gpm
Total of all flows: 153.6 gpm

HEAD BLOCK

SYM	CNT	POSITION	FINISH	TEMP	K	NPT	SIN	MFG.	MODEL#
●	57	PEND	WHITE	155	4.90	1/2"	VK494	VIKING	FREEDOM
◀	2	SIDEWALL	WHITE	155	4.20	1/2"	VK486	VIKING	FREEDOM
◀	7	SIDEWALL	WHITE	155	5.60	1/2"	VK156	VIKING	DRY



FLOW TEST DATA
STATIC - 55psi
RESIDUAL - 50psi
FLOW - 1,002gpm
DATE OF TEST - 3/1/22
TEST CONDUCTED BY BWSC

RISER DETAIL
SCALE: NTS



ELEVATION PLAN
SCALE: NTS

GENERAL NOTES:

- THESE DRAWINGS ARE TIER 1 DRAWINGS ISSUED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT AND BID PRICING FROM INSTALLING CONTRACTOR. TYPE OF SYSTEMS AND APPROXIMATE LOCATIONS ARE SHOWN. INSTALLING CONTRACTOR SHALL DEVELOP FULLY COORDINATED TIER 2 DRAWINGS FOR SUBMITTAL AND APPROVAL BY OWNER, ARCHITECTURAL AND ENGINEERING TEAM.
- REMOVE AREA 1 - RESIDENTIAL - 4th FLOOR
WET PIPE HYDRAULICALLY CALCULATED PER NFPA 13R & MA STATE BUILDING CODE, 8TH EDITION OVER A FOUR SPRINKLER HEAD REMOVE AREA TO PROVIDE 13GPM @ 7PSI WITH SPRINKLERS SPACED AT 16'x16' MAXIMUM WITH 100GPM OUTSIDE HOSE ALLOWANCE.

REMOVE AREA 2 - RESIDENTIAL - 4th FLOOR - RAISED CEILING
WET PIPE HYDRAULICALLY CALCULATED PER NFPA 13R & MA STATE BUILDING CODE, 8TH EDITION OVER A TWO SPRINKLER HEAD REMOVE AREA TO PROVIDE 12GPM @ 9PSI WITH SIDEWALL SPRINKLERS SPACED AT 14'x14' MAXIMUM WITH 100GPM OUTSIDE HOSE ALLOWANCE.

REMOVE AREA 3 - RESIDENTIAL - 3rd FLOOR
WET PIPE HYDRAULICALLY CALCULATED PER NFPA 13R & MA STATE BUILDING CODE, 8TH EDITION OVER A FOUR SPRINKLER HEAD REMOVE AREA TO PROVIDE 13GPM @ 7PSI WITH SPRINKLERS SPACED AT 16'x16' MAXIMUM WITH 100GPM OUTSIDE HOSE ALLOWANCE.
- INSTALLING CONTRACTOR TO PRODUCE FIRE PROTECTION PLANS AND HYDRAULIC CALCULATIONS FOR TIER 2 SUBMITTAL. THE CONTRACTOR SHALL FOR, SECURE AND PAY FOR ALL PERMITS, FEES AND APPROVALS REQUIRED. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR ANY ADDITIONAL ITEMS REQUIRED BY ANY AUTHORITY HAVE JURISDICTIONS.
- INSTALLING CONTRACTOR SHALL COMPLETE A CURRENT HYDRANT FLOW TEST AND MAKE ANY/ALL ADJUSTMENTS BASED ON DEGRADATION OF WATER SOURCE SINCE FLOW PROVIDED BY BWSC.
- SPRINKLER SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13R, BOSTON FIRE PREVENTION, THE MA BUILDING CODE, 9TH EDITION AND ANY OTHER APPLICABLE AUTHORITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION AND FINAL PIPING LAYOUT AND DIMENSIONS. INCLUDING LOCATION AND QUANTITY OF SPRINKLER HEADS AND/OR PIPING
- OCCUPANCY IS RESIDENTIAL
- PIPING SCHEDULE:
 - ALL EXPOSED PIPING SHALL BE BLK. STEEL SCHEDULE 10 OR SCHEDULE 40 WITH THREADED OR GROOVED FITTINGS.
 - ALL CONCEALED PIPING SHALL BE CPVC PIPE WITH CPVC FITTINGS (BLAZEMASTER OR EQUIVALENT)
- SPRINKLER HEADS.
 - SPRINKLER HEADS SHALL BE QUICK RESPONSE OR RESIDENTIAL TYPE 155F UNLESS NOTED OTHERWISE.
 - SPRINKLER HEAD SHALL BE FULLY CONCEALED TYPE WITH WHITE COVER PLATES.
 - SPRINKLER PROTECTION SHALL BE OMITTED IN CLOTHES CLOSETS, LINEN CLOSETS AND PANTRIES THAT DO NOT EXCEED 24 SF, THE LEAST DIMENSION DOES NOT EXCEED 3'-0" AND THE WALLS AND CEILINGS ARE SURFACED WITH NON-COMBUSTIBLE OR LIMITED COMBUSTIBLE MATERIALS.
 - SPRINKLERS SHALL NOT BE REQUIRED IN ATTICS, CRAWL SPACES AND OTHER CONCEALED SPACES THAT ARE NOT USED OR INTENDED FOR LIVING PURPOSES.
 - IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN A TEMPERATURE AT OR ABOVE 40F IN AREAS WITH WATER FILLED SPRINKLER PIPING.

NO	DATE	REVISIONS

dt
design | resource | team
Design Resource Team, LLC
379 East Broadway
Boston, MA 02127
617-804-6117
info@dt-r.com
www.d-t.com

REITER
FIRE PROTECTION

Reiter Fire Protection
60 Monroe Street
Pembroke, MA 02359
781-205-9440
service@reiterfire.com

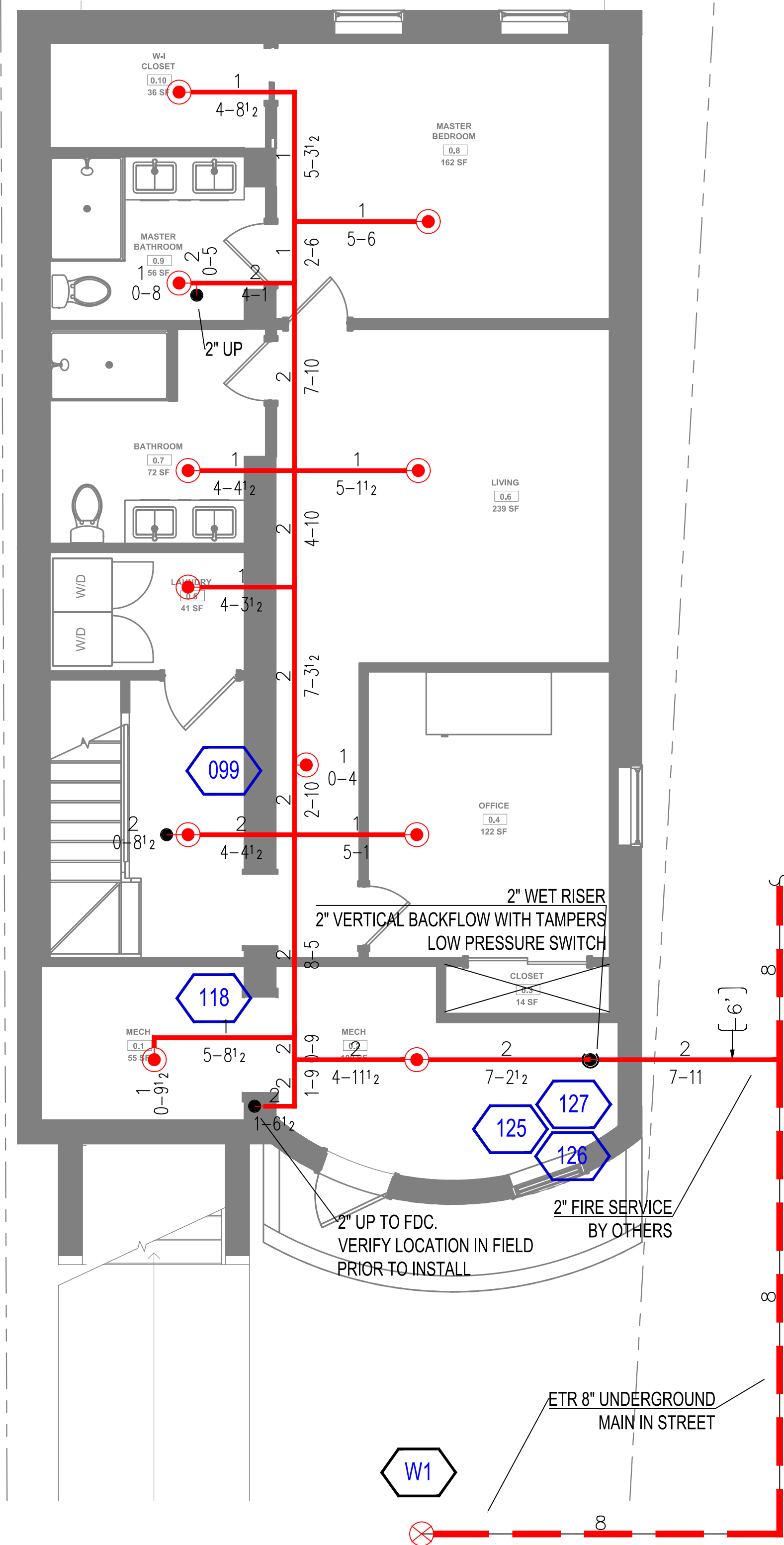
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Drawn By: KR
Scale: 1/4" = 1'-0"
Contractor: LANDWORDS LLC



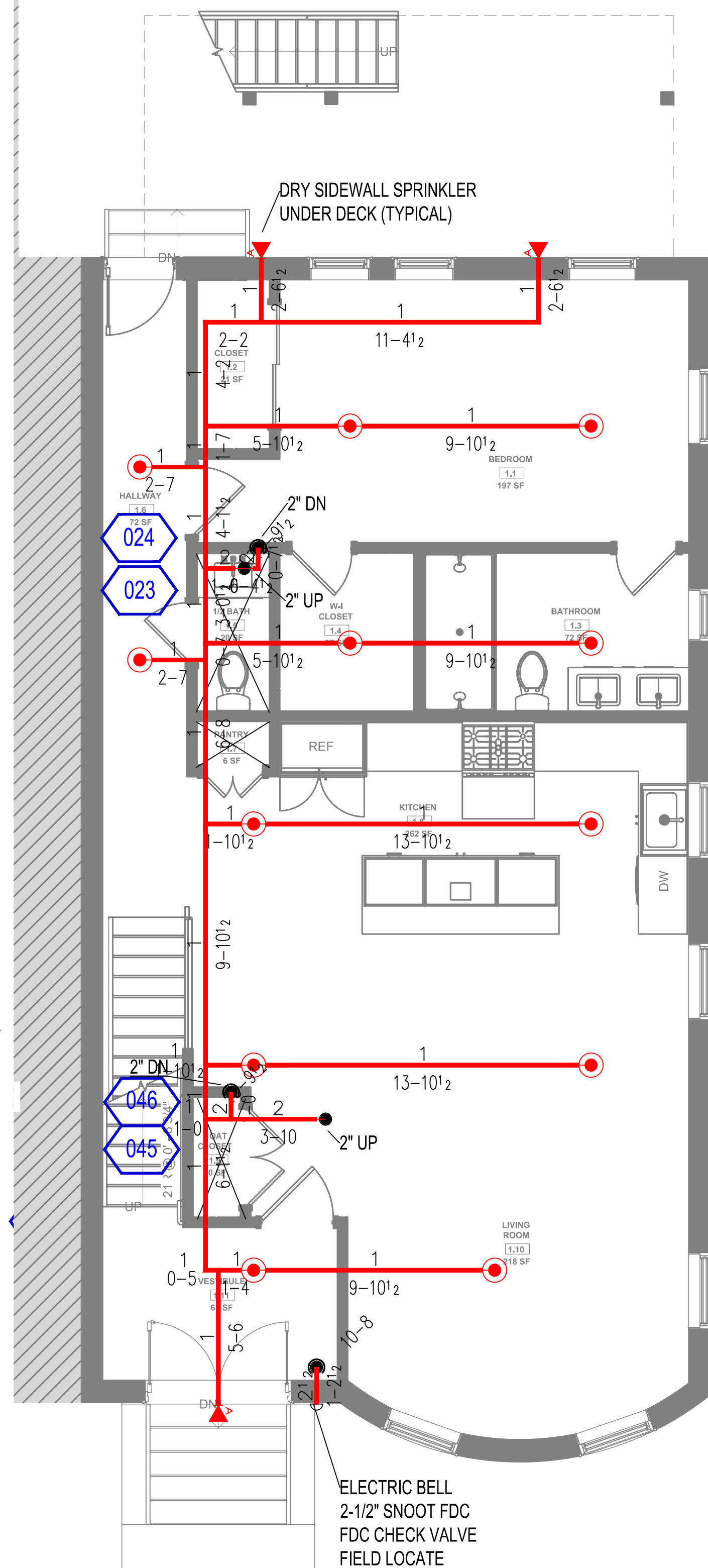
Project Name and Address
3 - UNIT RESIDENCE
8 MONUMENT SQUARE
BOSTON, MA

Sheet Title
NOTES & DETAILS

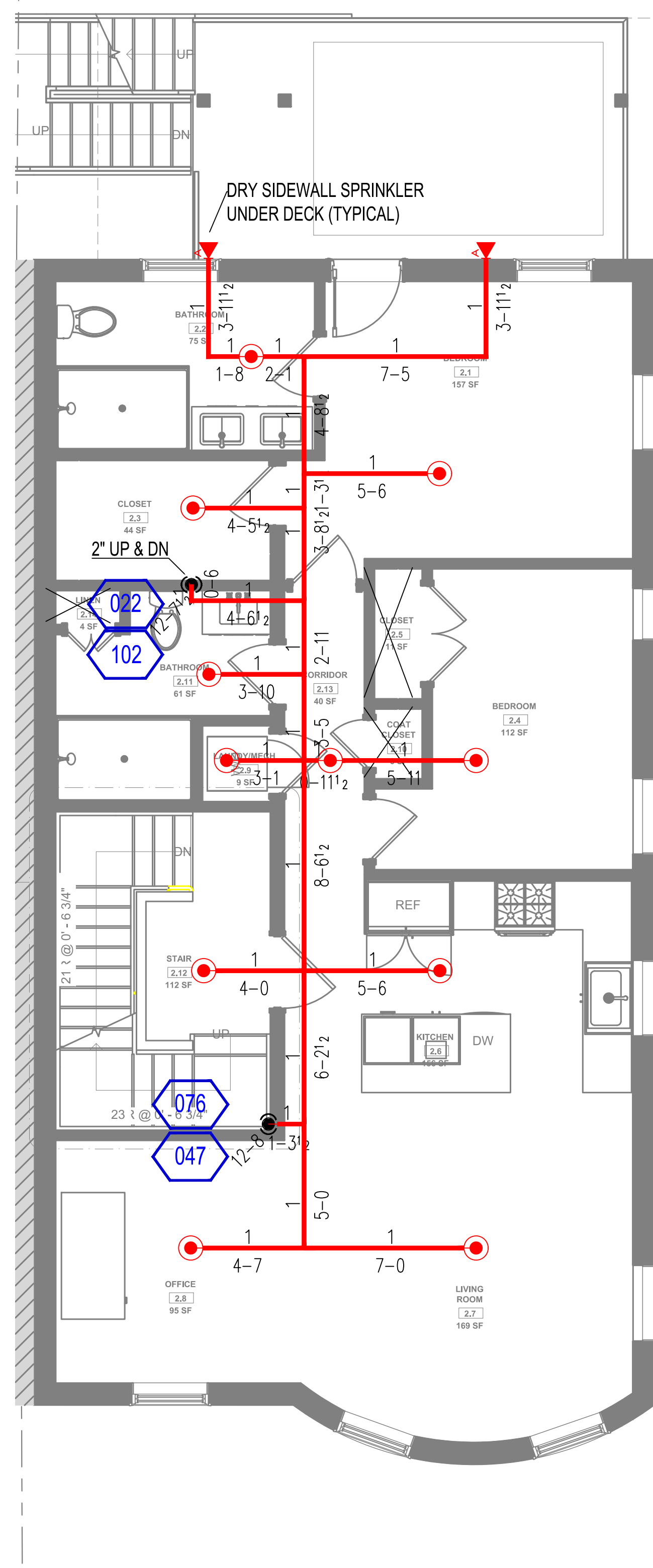
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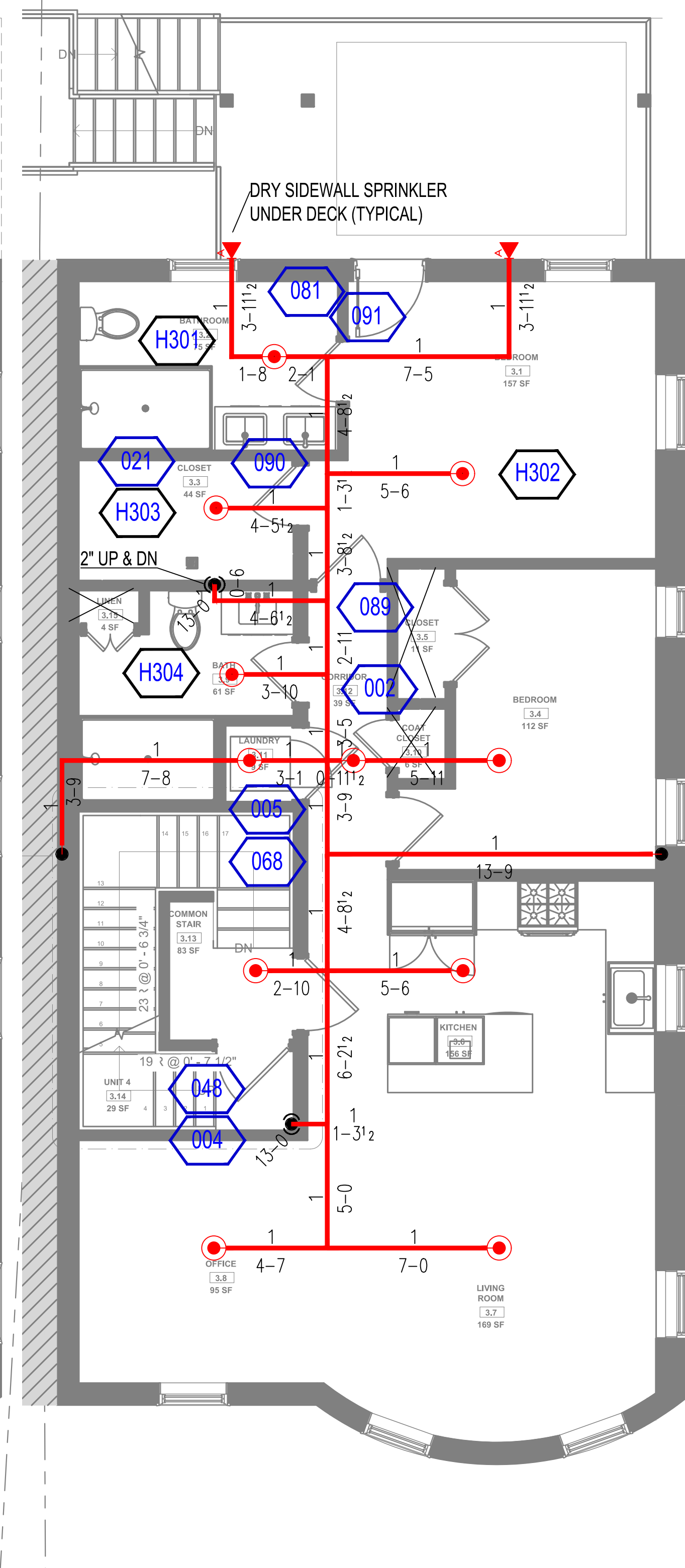
GROUND FP PLAN
SCALE: 1/4" = 1'-0"



1st LEVEL FP PLAN
SCALE: 1/4" = 1'-0"
HEAD BLOCK



2nd LEVEL FP PLAN
SCALE: 1/4" = 1'-0"



3rd LEVEL FP PLAN
SCALE: 1/4" = 1'-0"

SYM	CNT	POSITION	FINISH	TEMP	K	NPT	SIN	MFG.	MODEL #
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◄	7	SIDEWALL	WHITE	155	5.60	1/2"	VK156	VIKING	DRY

NO.	DATE	REVISIONS

drt
design | resource | team
Design Resource Team, LLC
875 East Broadway
Boston, MA 02127
617-804-6117
info@d-r-t.com
www.d-r-t.com

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FIRE PROTECTION

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60 Monroe Street
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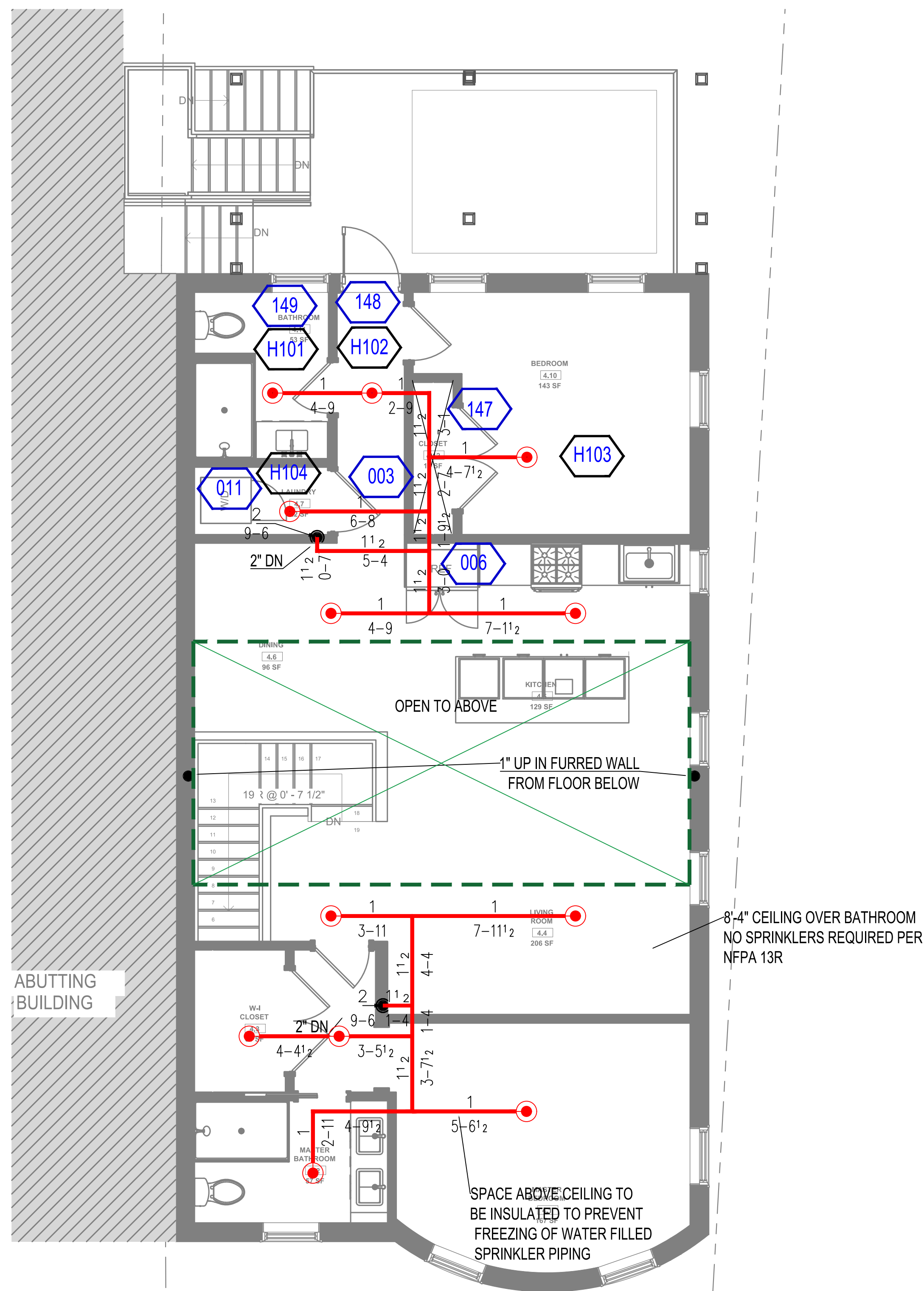
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Drawn By: KR
Scale: 1/4" = 1'-0"
Contractor: LANDWORDS LLC



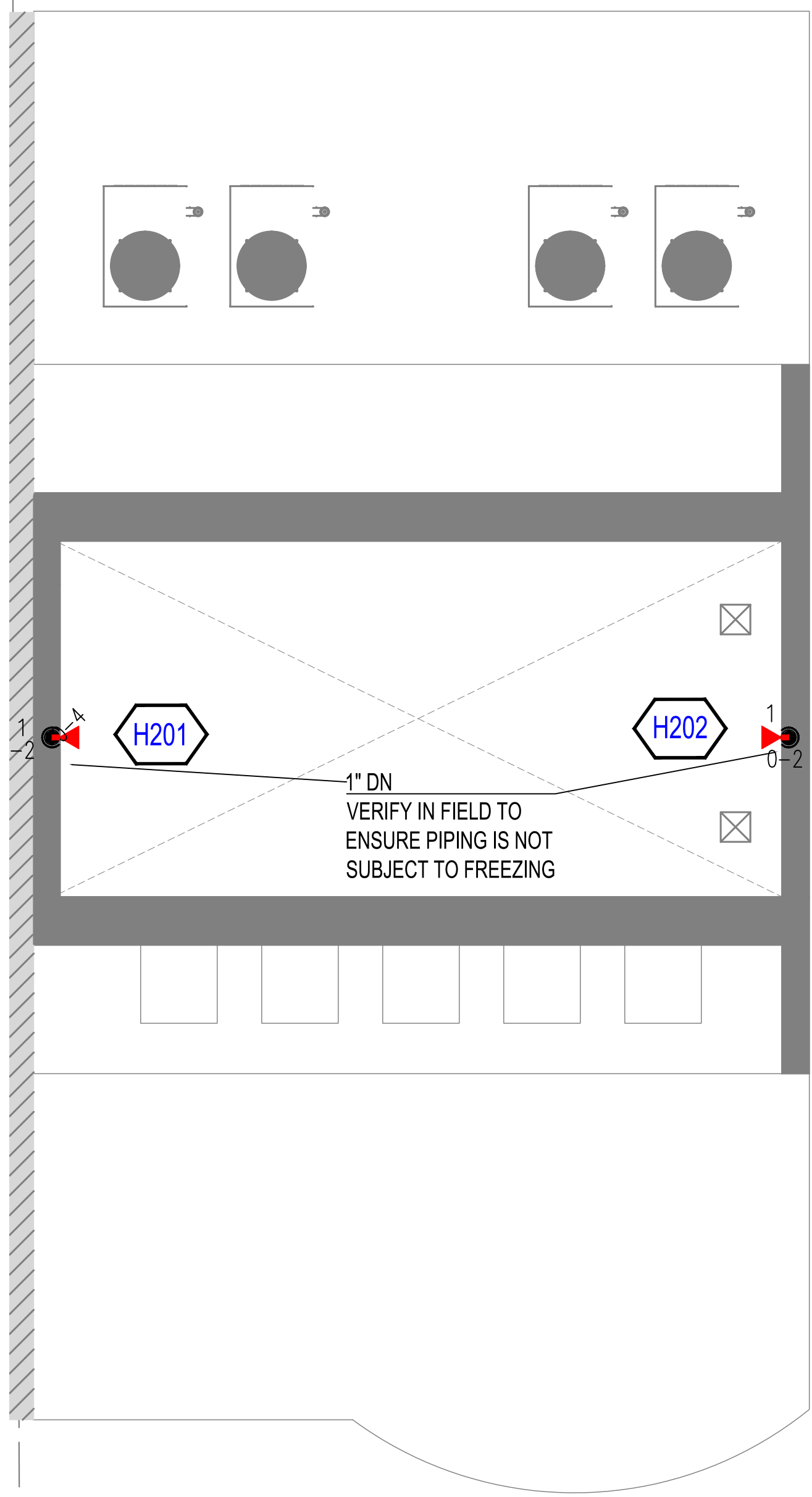
Project Name and Address
3-UNIT RESIDENCE
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BOSTON, MA

Sheet Title
FP PLANS

FP-1



4th LEVEL FP PLAN
SCALE: 1/4" = 1'-0"



4th FLOOR PEAKED ROOF FP PLAN
SCALE: 1/4" = 1'-0"

HEAD BLOCK

SYM	CNT	POSITION	FINISH	TEMP	K	NPT	SIN	MFG.	MODEL#
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▲	2	SIDEWALL	WHITE	155	4.20	1/2"	VK486	VIKING	FREEDOM
▲	7	SIDEWALL	WHITE	155	5.60	1/2"	VK156	VIKING	DRY

NO	DATE	REVISIONS

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www.d-t.com

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Project Name and Address
3-UNIT RESIDENCE
8 MONUMENT SQUARE
BOSTON, MA

Sheet Title
FP PLANS

FP-2