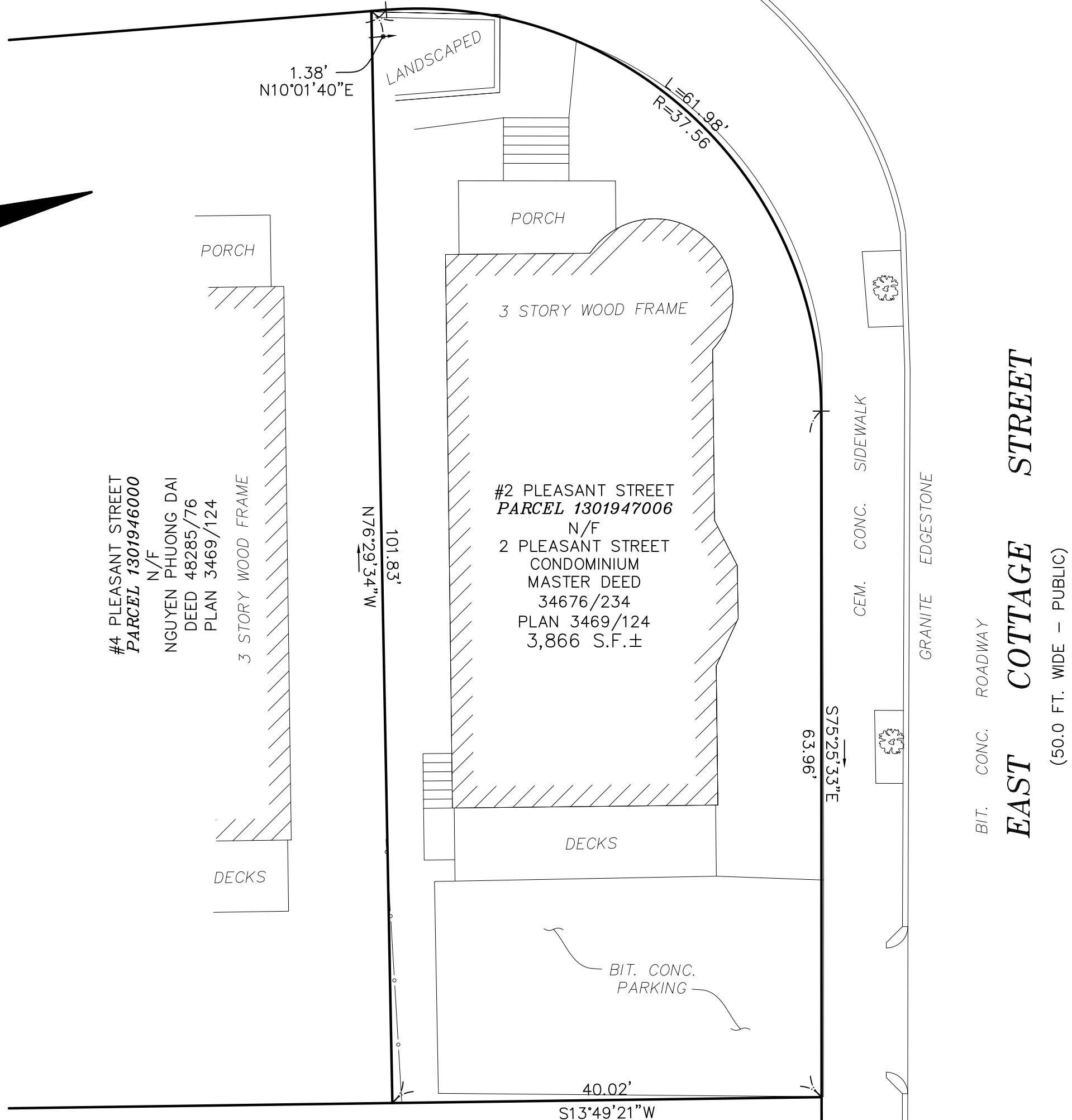
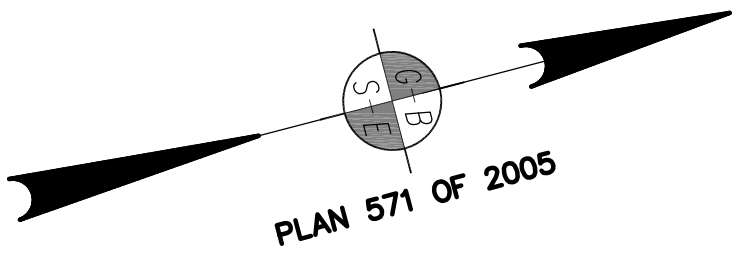


# PLEASANT STREET

(60.0 FT. WIDE - PUBLIC)

BIT. CONC. ROADWAY  
GRANITE EDGESTONE  
GRASS

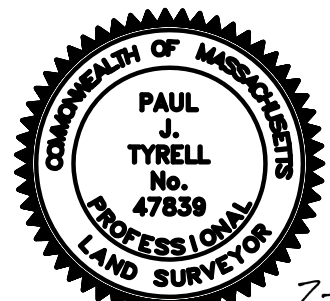
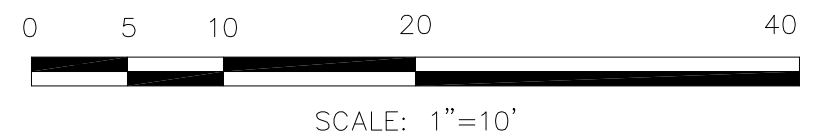
CEM. CONC. SIDEWALK



#4 PLEASANT STREET  
PARCEL 1301946000  
N/F  
NGUYEN PHUONG DAI  
DEED 48285/76  
PLAN 3469/124  
3 STORY WOOD FRAME

#2 PLEASANT STREET  
PARCEL 1301947006  
N/F  
2 PLEASANT STREET  
CONDOMINIUM  
MASTER DEED  
34676/234  
PLAN 3469/124  
3,866 S.F.±

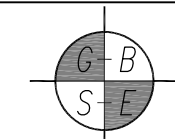
3 STORY WOOD FRAME  
#253 EAST COTTAGE STREET  
PARCEL 1301948006  
N/F  
253 EAST COTTAGE STREET  
CONDOMINIUM  
MASTER DEED 24450/80  
PLAN 3258/158



*PJT* 7-23-24

## PLAN OF LAND 2 PLEASANT STREET BOSTON, MASSACHUSETTS (DOCHESTER DISTRICT)

PREPARED FOR  
MR. TONY GALE  
2 PLEASANT STREET  
BOSTON, MA 02129



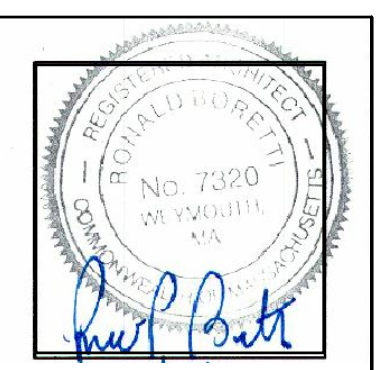
**GREATER BOSTON SURVEYING AND ENGINEERING**  
19 FREDITH ROAD  
WEYMOUTH, MA 02189  
(781) 331-6128

CALC BY: PJT

DATE: JULY 29, 2024

SCALE: 1"=10'

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX

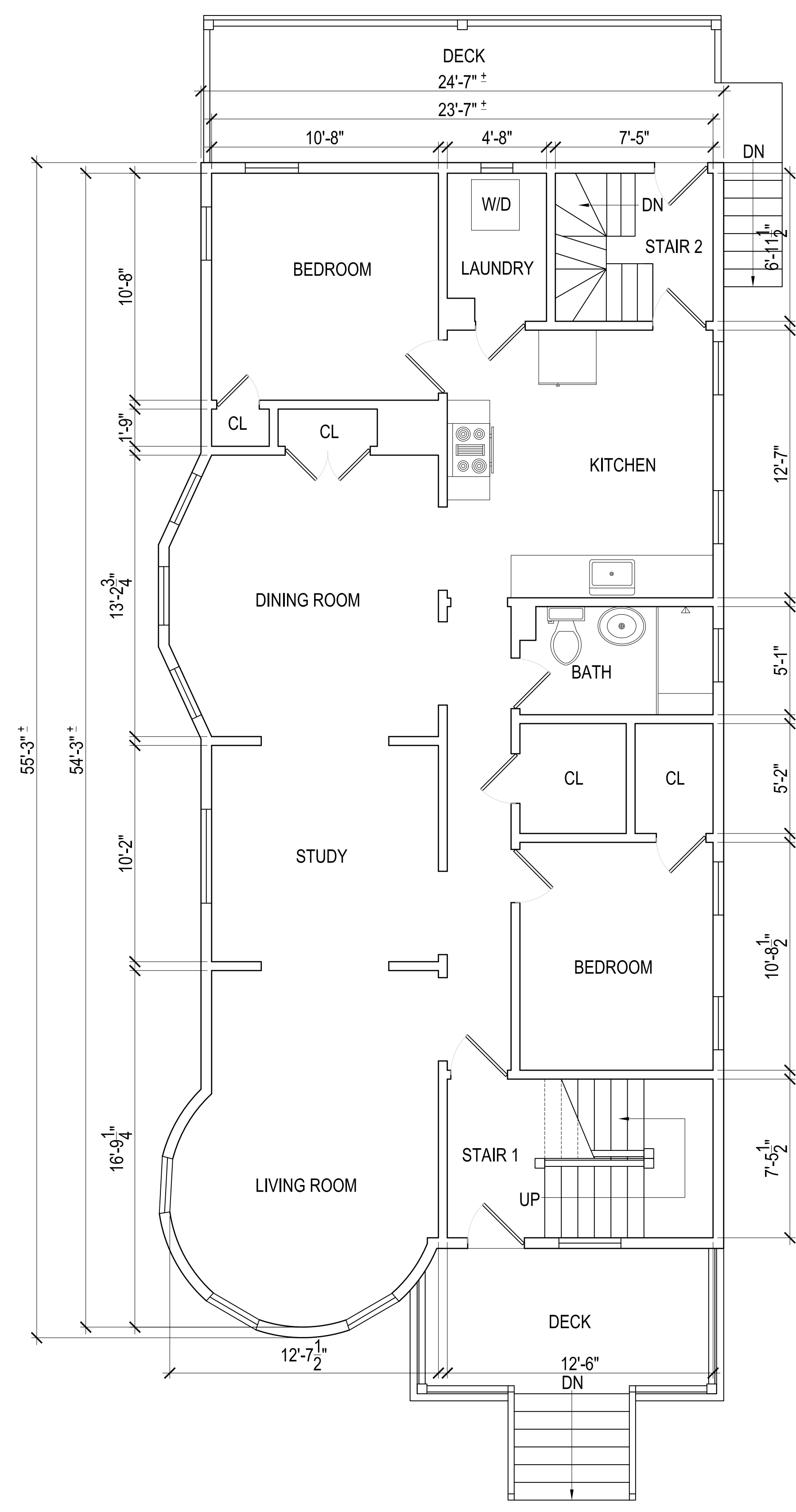


2 PLEASANT STREET  
DORCHESTER, MA  
ZONING REVIEW

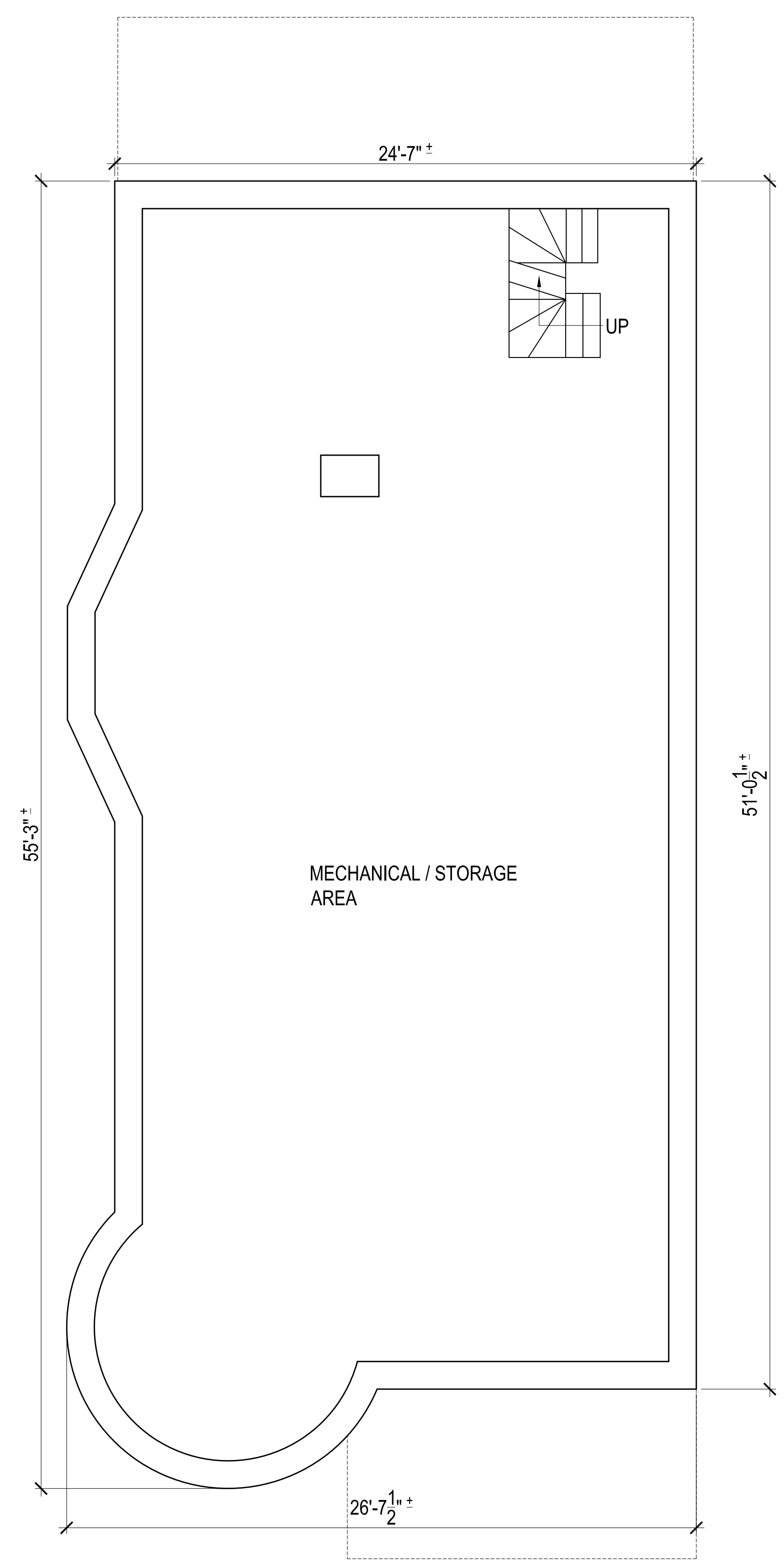
ITEM	
ZONING DISTRICT	ARTICLE 65 / 3F-D-3000
EXISTING USE	3 FAMILY
PROPOSED USE	3 FAMILY
LOT SIZE	3,866 ± S.F.

DIMENSIONAL REGULATIONS  
TABLE C

ITEM	REQUIRED	EXISTING
MIN. LOT AREA	3,000 S.F.	3,866 S.F.
MIN. LOT WIDTH	30'	37.56' ±
MIN. LOT FRONTAGE	30'	37.56' ±
MAX. FLOOR AREA RATIO	1.3	1.03 (3,969 S.F. ±)
MAX. ALLOWABLE BUILDING HEIGHT	40'-0"	35'-11" ±
MAX. BUILDING STORIES	3	3
MIN. FRONT YARD	5'	6.0' ± / 23.0' ±
MIN. SIDE YARD	5'	(L) 7.5' ± / (R) 6.0' ±
MIN. REAR YARD	15'	27.5' ±
MIN. USABLE OPEN SPACE	300 PER UNIT (900 S.F.)	900 ± S.F.



FIRST FLOOR PLAN



BASEMENT PLAN

686 ARCHITECTS  
10 Forbes Road West - Suite 210 Braintree, Massachusetts 02184 T: 617-282-0030

Tony Gale  
2 Pleasant Street  
Dorchester, MA 02125

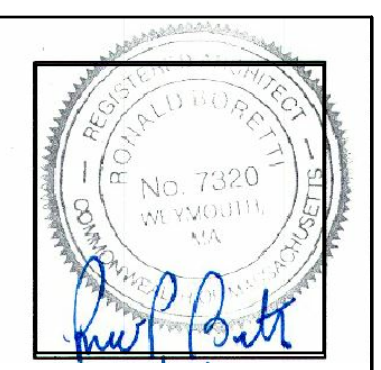
PROJECT #  
24-046  
DATE: 7-10-24  
REV:  
SCALE:  
1/4" = 1'-0"  
DRAWN BY:  
KB  
CHECKED BY:  
R.P.B.

EXISTING FLOOR PLANS

EX1

GENERAL NOTE: 1 0 1 5 10  
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



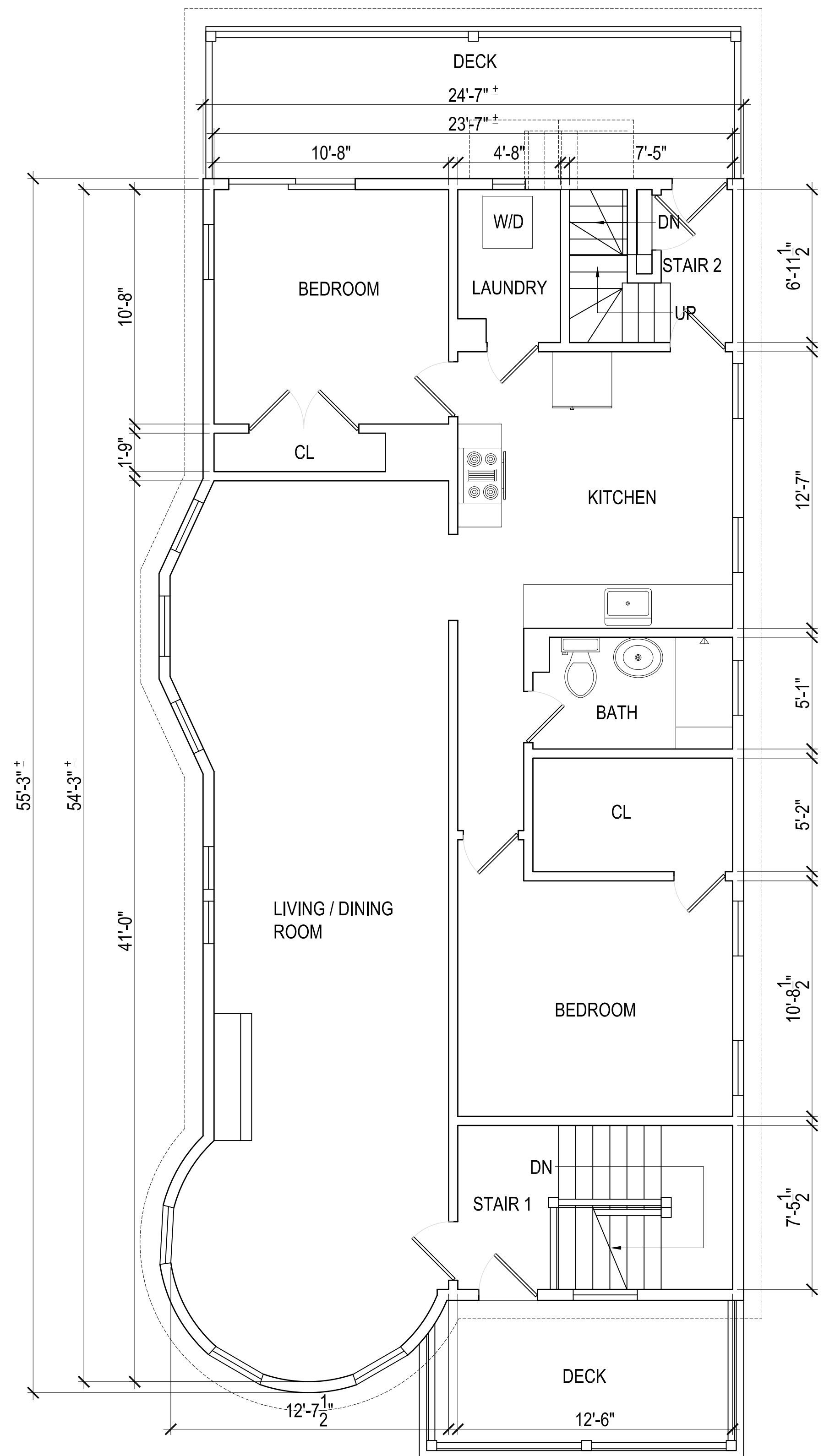
**686 ARCHITECTS**  
 10 Forbes Road West - Suite 210 Braintree, Massachusetts 02184 T: 617-282-0030

**Tony Gale**  
 2 Pleasant Street  
 Dorchester, MA 02125

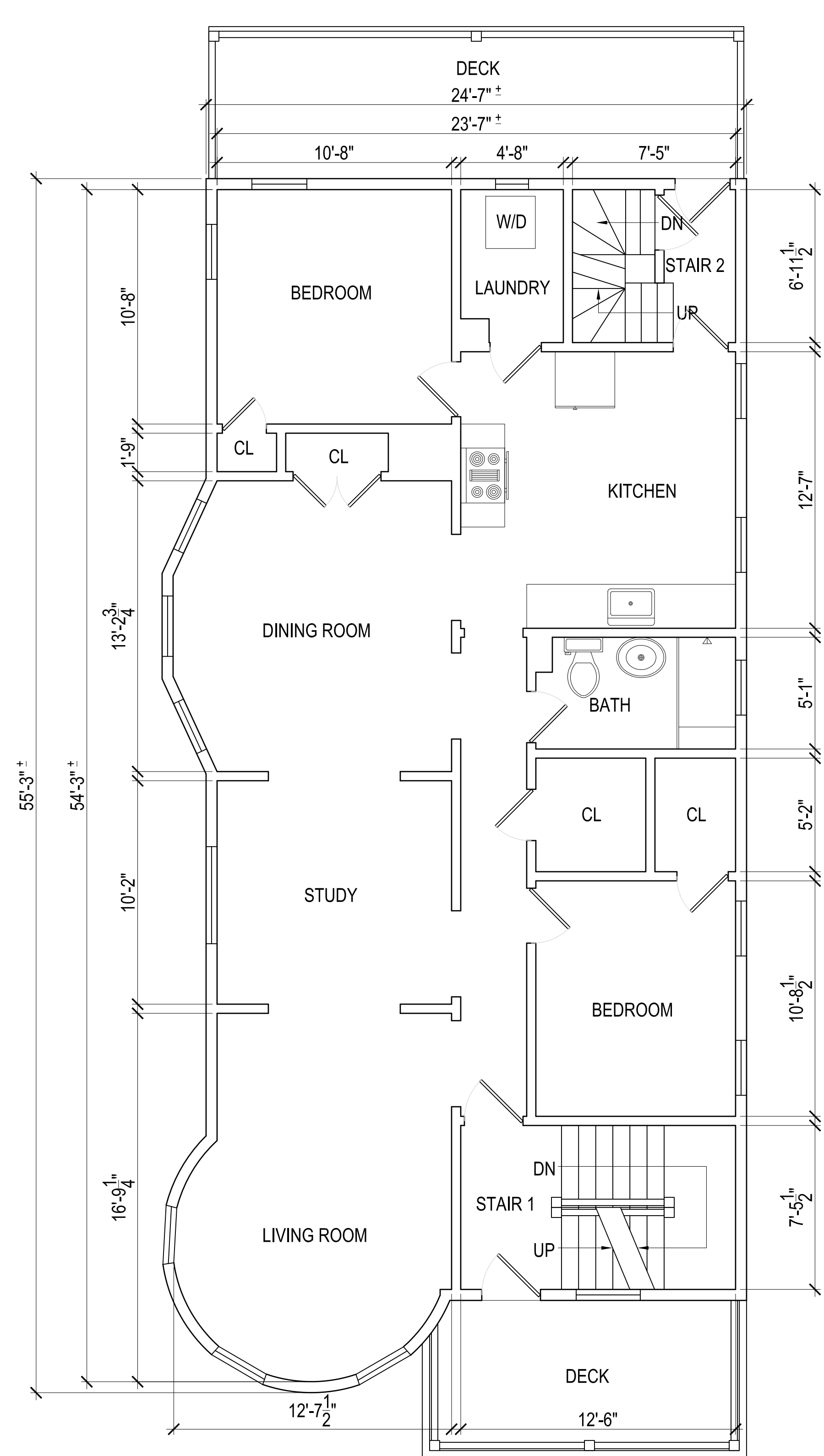
PROJECT #  
 24-046  
 DATE: 7-10-24  
 REV:  
 SCALE:  
 1/4" = 1'-0"  
 DRAWN BY:  
 KB  
 CHECKED BY:  
 R.P.B.

**EXISTING FLOOR PLANS**

**EX2**



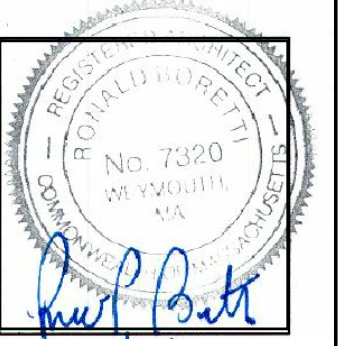
**THIRD FLOOR PLAN**



**SECOND FLOOR PLAN**

GENERAL NOTE: 1 0 1 5 10  
 VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



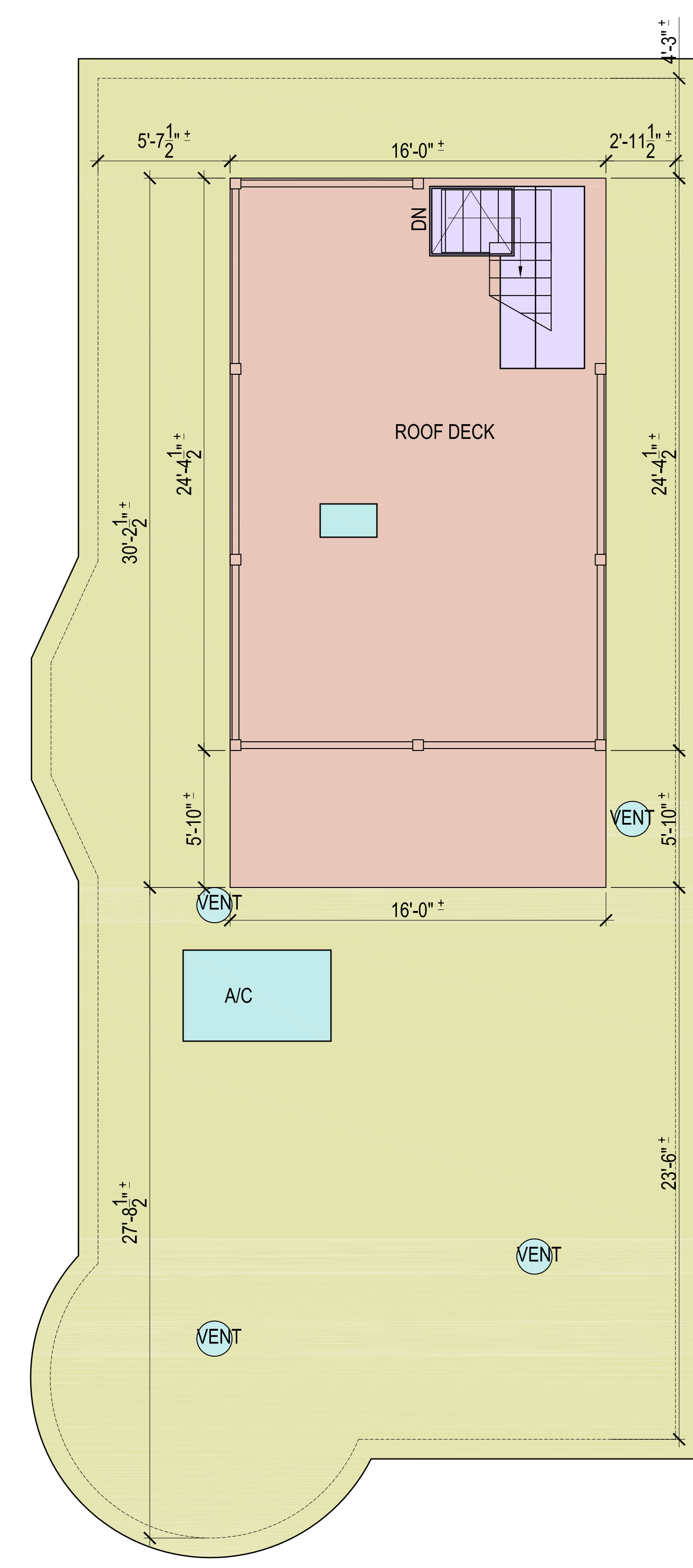
**686 ARCHITECTS**  
 10 Forbes Road West - Suite 210 Braintree, Massachusetts 02184 T: 617-282-0030

Tony Gale  
 2 Pleasant Street  
 Dorchester, MA 02125

PROJECT #  
 24-046  
 DATE: 7-10-24  
 REV:  
 SCALE:  
 1/4" = 1'-0"  
 DRAWN BY:  
 KB  
 CHECKED BY:  
 R.P.B.

EXISTING ROOF DECK PLAN

EX3



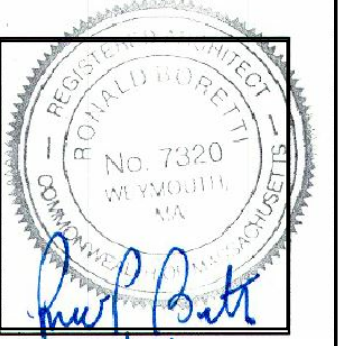
- HATCH DENOTES ROOF AREA: 1,124 ± SQ. FT.
  - HATCH DENOTES ROOF DECK AREA: 443 ± SQ. FT.
  - HATCH DENOTES ROOF HATCH AREA: 37 ± SQ. FT.
  - HATCH DENOTES MECHANICAL / CHIMNEY / VENT AREA: 35 ± SQ. FT.
- TOTAL ROOF AREA: 1,639 ± SQ. FT.**

ROOF DECK PLAN

GENERAL NOTE: VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.



REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



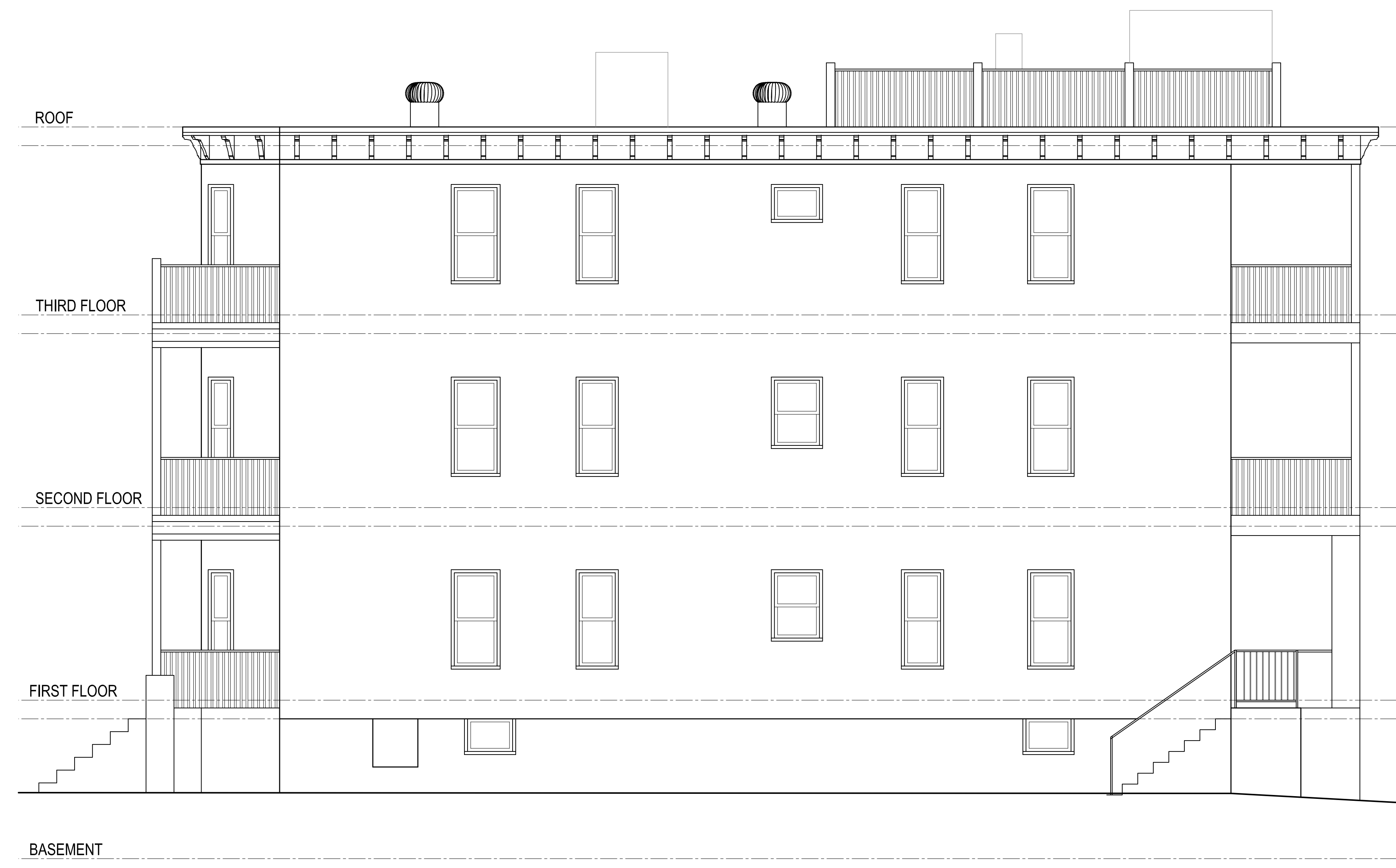
**686 ARCHITECTS**  
 10 Forbes Road West - Suite 210 Braintree, Massachusetts 02184 T: 617-282-0030

Tony Gale  
 2 Pleasant Street  
 Dorchester, MA 02125

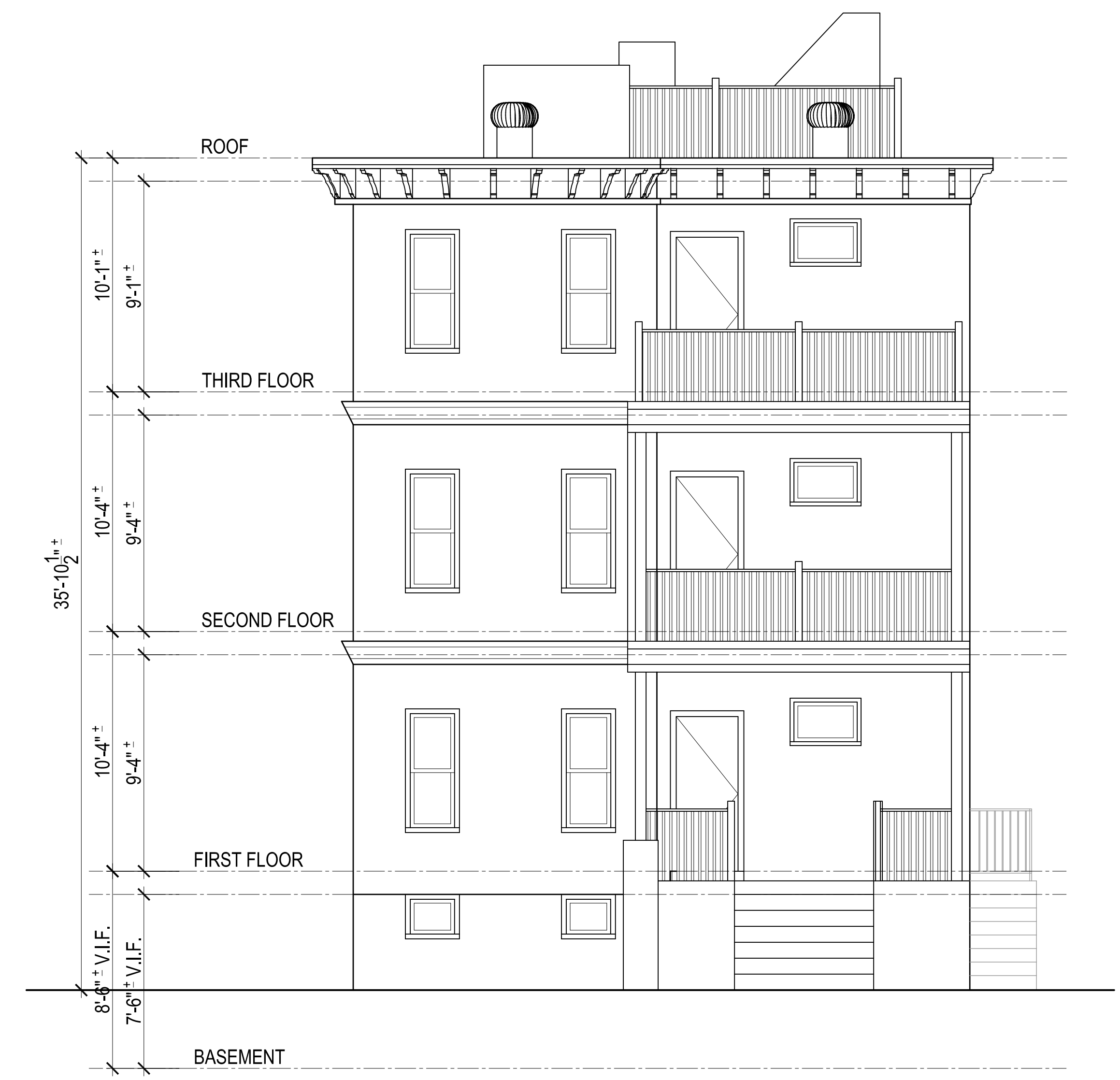
PROJECT #  
 24-046  
 DATE: 7-10-24  
 REV:  
 SCALE:  
 1/4" = 1'-0"  
 DRAWN BY:  
 KB  
 CHECKED BY:  
 R.P.B.

EXISTING ELEVATIONS

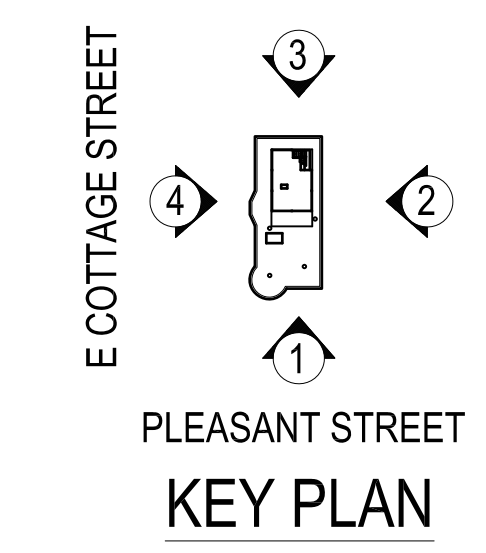
EX4



ELEVATION 2



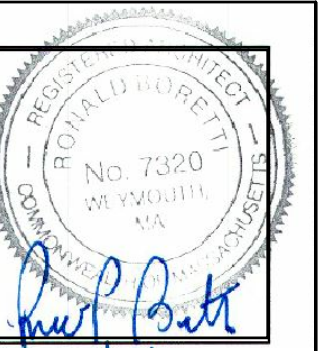
ELEVATION 1  
 ALONG PLEASANT STREET



KEY PLAN

GENERAL NOTE: 1 0 1 5 10  
 VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

REV.	DATE	DESCRIPTION
1	X-XX-XX	XXX



**686 ARCHITECTS**

10 Forbes Road West - Suite 210 Braintree, Massachusetts 02184 T: 617-282-0030

Tony Gale  
2 Pleasant Street  
Dorchester, MA 02125

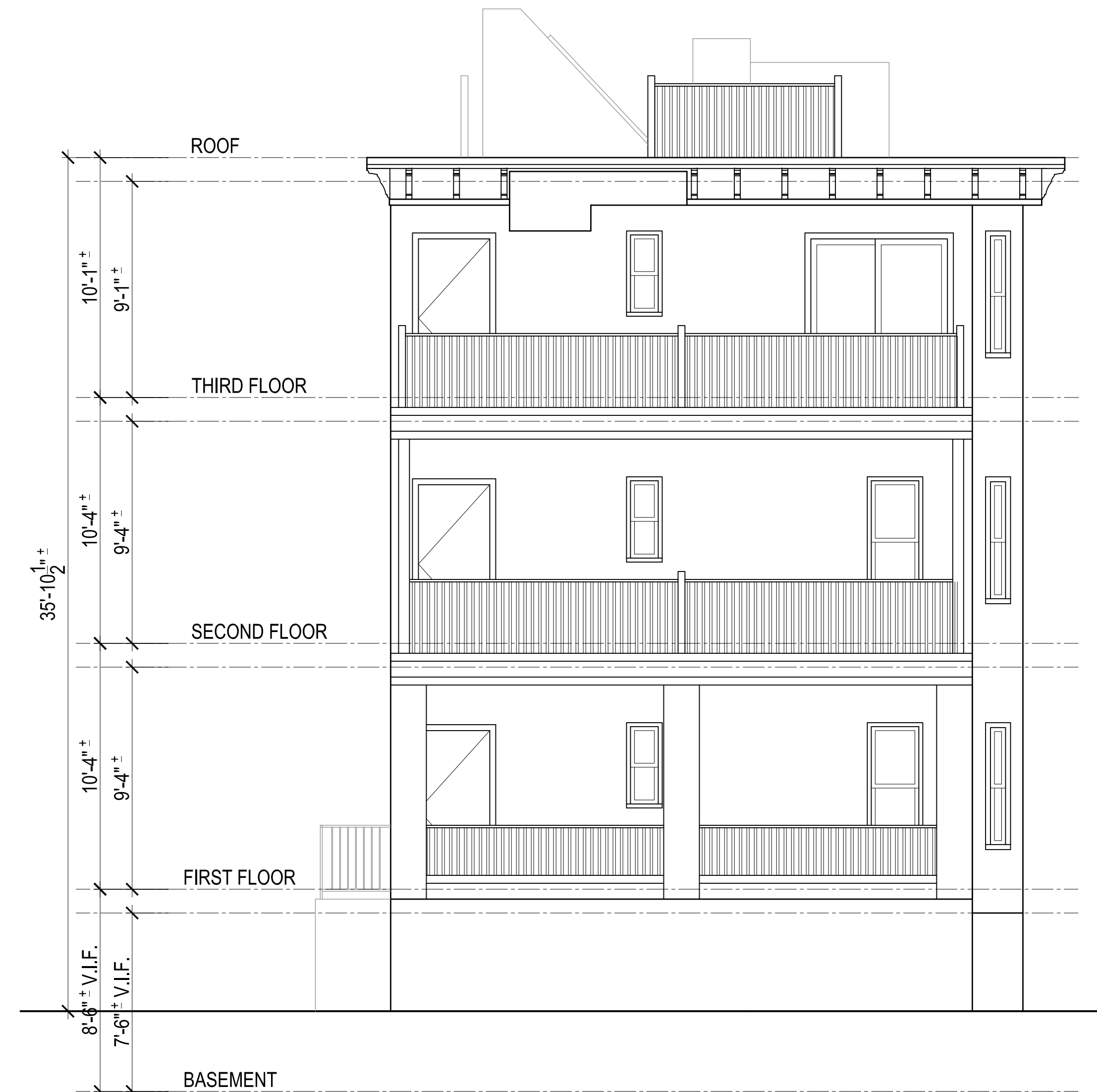
PROJECT #	24-046
DATE:	7-10-24
REV:	
SCALE:	1/4" = 1'-0"
DRAWN BY:	KB
CHECKED BY:	R.P.B.

EXISTING ELEVATIONS

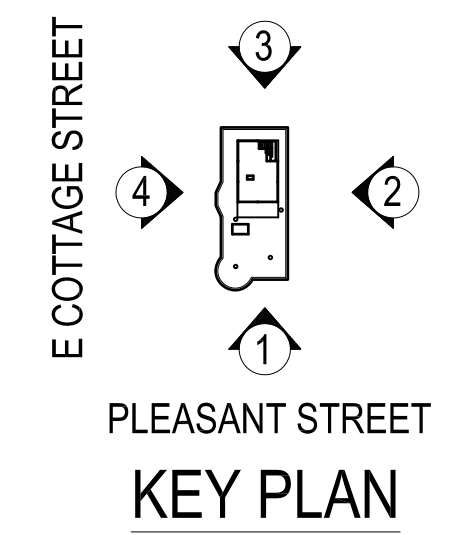
**EX5**



**ELEVATION 4**  
ALONG EAST COTTAGE STREET



**ELEVATION 3**



**KEY PLAN**

GENERAL NOTE: 1 0 1 5 10  
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