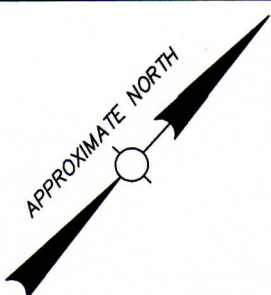
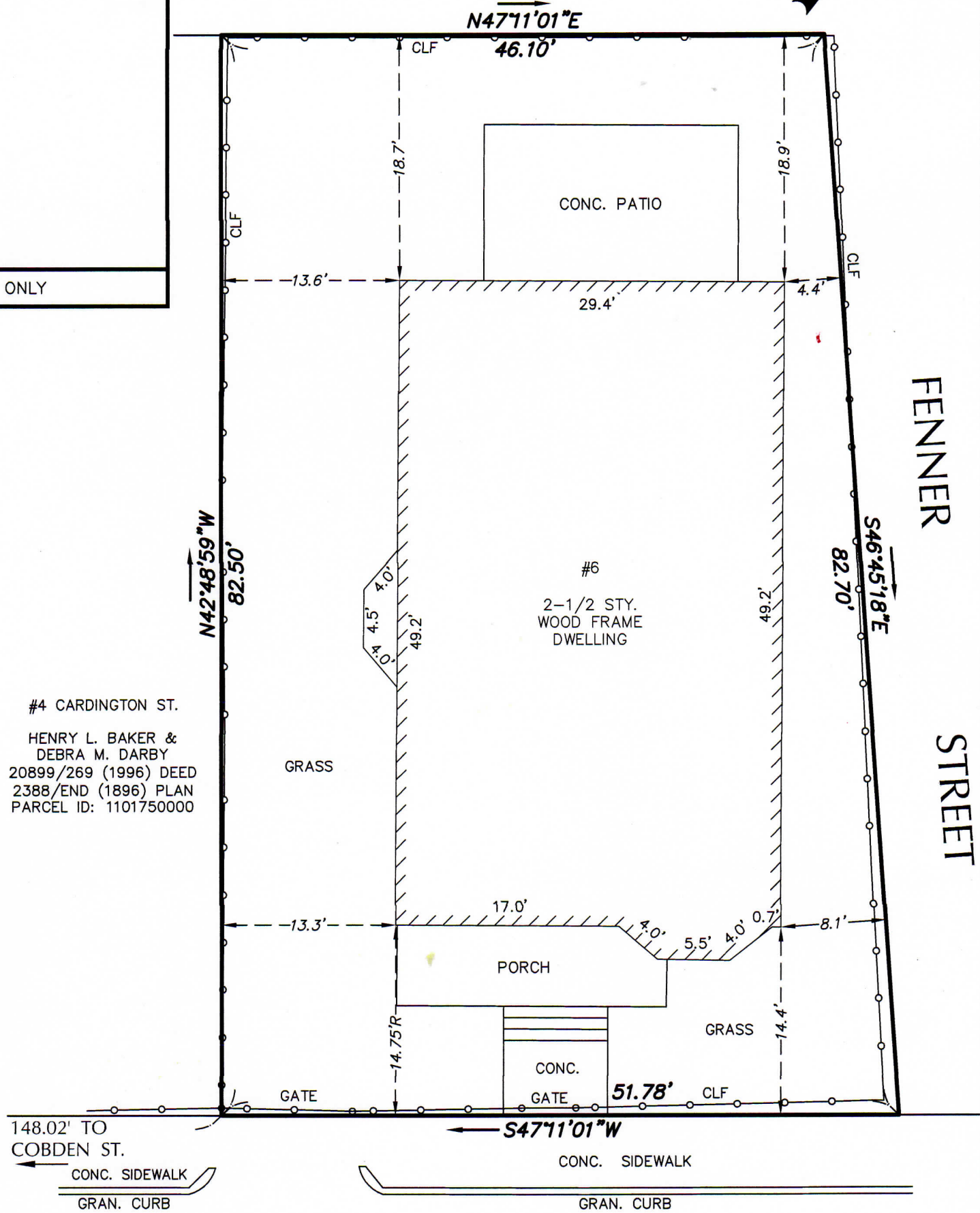


#3 DUNFORD ST.

LENNY A. ISAAC &
CASSANDRA F. HUDSON
218029/142 (1993) DEED
2134/545 (1893) PLAN
PARCEL ID: 1101748000



FOR REGISTRY USE ONLY



#4 CARDINGTON ST.
HENRY L. BAKER &
DEBRA M. DARBY
20899/269 (1996) DEED
2388/END (1896) PLAN
PARCEL ID: 1101750000

LEGEND

- CLF CHAIN LINK FENCE
- CONC. CONCRETE
- GRAN. GRANITE
- STY. STORY

REFERENCE

OWNER OF RECORD:
n/f 6 CARDINGTON STREET, LLC
60901/155 (2019) DEED
PLAN 2388/END (1896)
TOTAL AREA = 4,038± S.F.
PARCEL ID: 1101749000

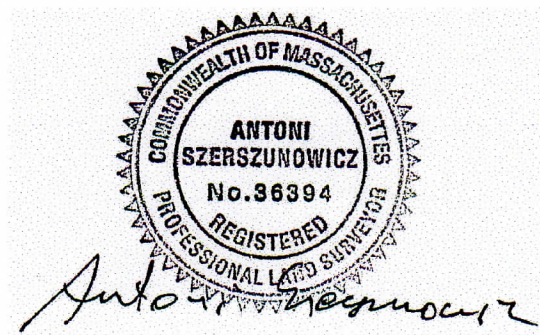
NOTES

- 1) FIELD SURVEY PERFORMED: MAY 29, 2019.
- 2) THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS AND AGREEMENTS OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.

I HEREBY CERTIFY:

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE PROPERTY LINES DEPICTED ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS DEPICTED ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW STREETS AND WAYS ARE DEPICTED. (MASS. GEN. LAWS, CHAP. 41, SECT. 81-X)

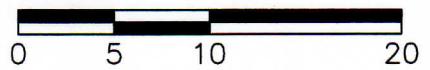
THAT THIS PLAN WAS PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



PLAN REFERENCE

L-3233 (1898)

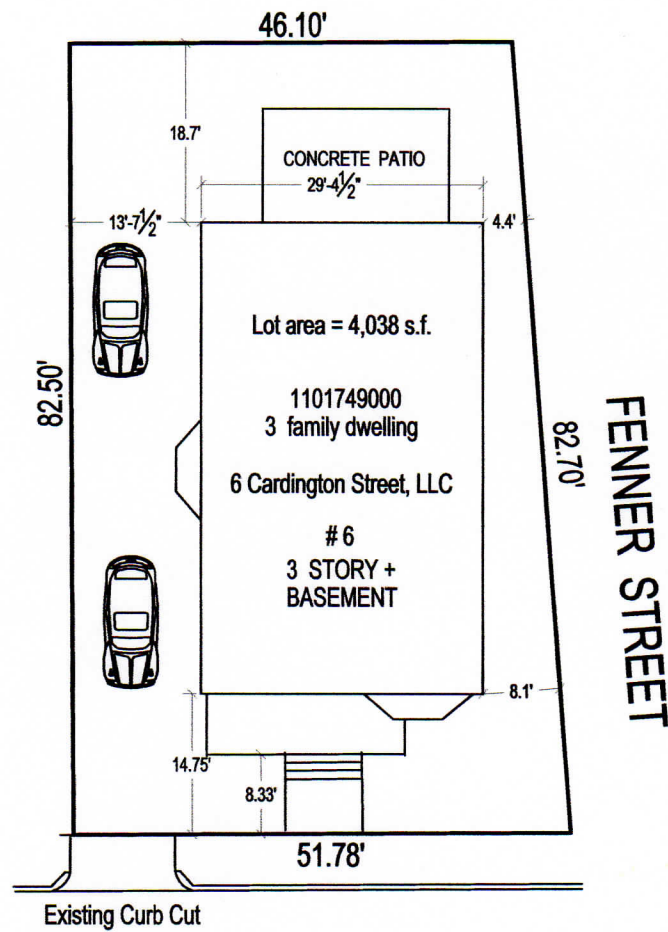
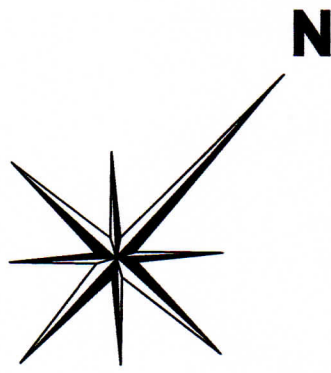
SCALE: 1" = 10'



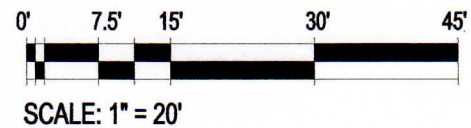
SITE PLAN
6 CARDINGTON STREET
DORCHESTER, MASS.

1" = 10' JUNE 7, 2019

Paul Lindholm, P.E.
Civil/Environmental Consulting
80 Tarbox Street, Dedham, MA 02026
(781) 724-5669 Fax: (781) 461-0274



6 CARDINGTON STREET, WARD 11



Zoning District: Roxbury Neighborhood

Zoning Sub District : 3F - 4000

Overlays: Neighborhood Design Review

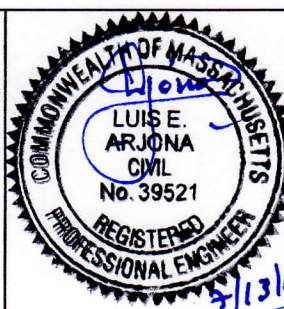
	REQUIRED	2 FAMILY EXISTING	2 FAMILY PROPOSED
Lot size	2,000 s.f.	4,038 s.f.	Same
Additional lot area	2,000 s.f.	N/A	Same
Lot Width Min.	25'	51.78'	Same
Lot frontage	25'	51.78'	Same
Floor Area Ratio	0.8	3,976/4,038 = 0.985	Same
Building Height	3 Stories - 35'	3 Stories - 41.65' Average	Same
Usable Open space	650	733 s.f./ unit	Same
Front Yard Min. Depth	20'	14.5' House / 8.4' Porch	Same
Side Yard Min. Width	10' (f)	13.4' Left / 6.25' Right. Avg	Same
Rear Yard Min. Depth	30'	18.8' Average	Same
Rear Yard Max. Occup.	25%	0%	Same
Off street parking	1 per unit	1 per unit	Same

NOTE: LOT CONFIGURATION AND STRUCTURE LOCATION(S) ARE BASED ON DEED, ASSESSOR'S MAP, AND ACTUAL OCCUPATION, AS OF 09/13/18. A MORE ACCURATE REPRESENTATION WILL REQUIRE AN INSTRUMENT SURVEY. THIS ZONING PLAN WAS NOT MADE FROM AN INSTRUMENT SURVEY AND IS NOT FOR CONSTRUCTION PURPOSES. UNDER NO CIRCUMSTANCES ARE OFFSETS TO BE USED FOR ADDITIONS, FENCES, WALLS, ETC. MORE INFORMATION WAS TAKEN FROM EXISTING PLOT PLAN DRAWN BY PAUL LINDHOLM, P.E., CIVIL/ ENVIRONMENTAL CONSULTING FROM 80 TALBOR ST, DEDHAM, MA 02026 AND SIGNED BY ANTONI SZERSZUNOWICZ, REGISTERED LAND SURVEYOR AND DATED 06/07/19 DEED/CERT: 60901/155 (2019) PLAN: 2388 / END (1896)

CERTIFICATION

I, Luis Arjona, Professional Engineer, Do hereby certify that the above zoning plan was prepared for 6 Cardington St, LLC, and it is not intended or represented to be a land or property line survey. No corners were set. It cannot be used for establishing fence, hedge or building lines. The land as shown hereon is based on client furnished information and may be subject to further outsales, takings easements and rights of way. No responsibility is extended herein to the land owner or occupant, it is not intended to be recorded.

Owner: 6 Cardington St., LLC
Address: 6 Cardington St.
Boston, MA 02119
Date: 06/12/19

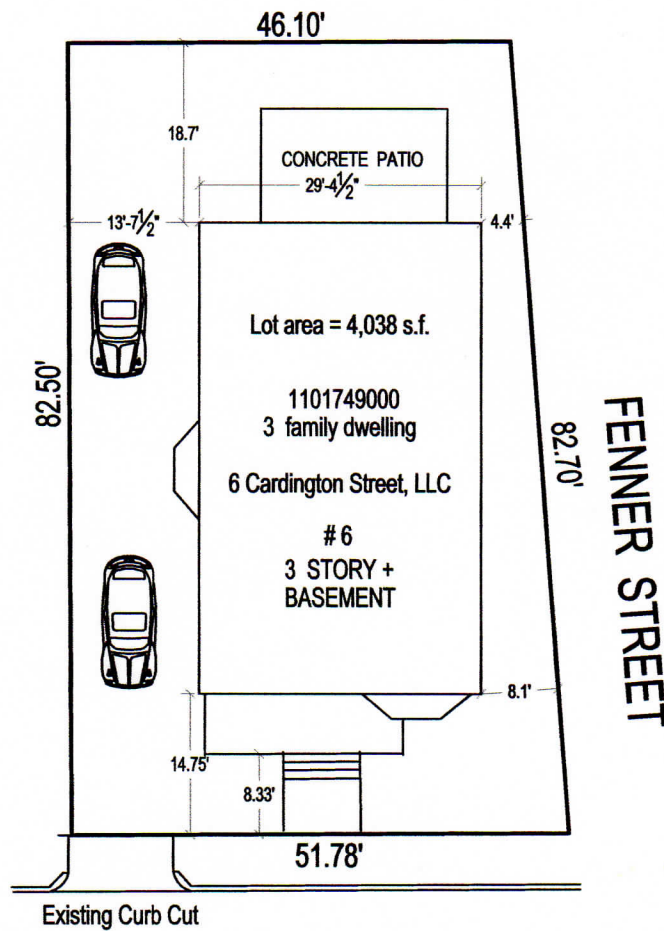
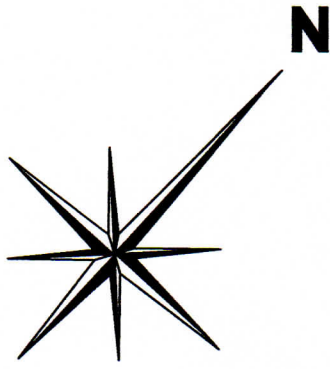


MORUY CIVIL ENGINEERING SERVICES

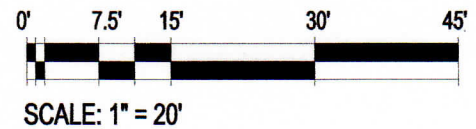
LUIS ARJONA, M. Sc., P.E.

2 East Concord Street # 3
Boston, MA 02118





6 CARDINGTON STREET, WARD 11



Zoning District: Roxbury Neighborhood
 Zoning Sub District : 3F - 4000
 Overlays: Neighborhood Design Review

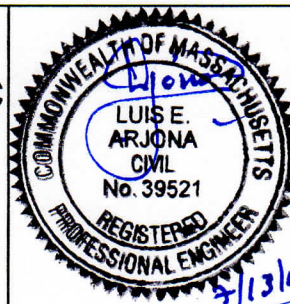
	REQUIRED	2 FAMILY EXISTING	2 FAMILY PROPOSED
Lot size	2,000 s.f.	4,038 s.f.	Same
Additional lot area	2,000 s.f.	N/A	Same
Lot Width Min.	25'	51.78'	Same
Lot frontage	25'	51.78'	Same
Floor Area Ratio	0.8	3,976/4,038 = 0.985	Same
Building Height	3 Stories - 35'	3 Stories - 41.65' Average	Same
Usable Open space	650	733 s.f./ unit	Same
Front Yard Min. Depth	20'	14.5' House / 8.4' Porch	Same
Side Yard Min. Width	10' (f)	13.4' Left / 6.25' Right. Avg	Same
Rear Yard Min. Depth	30'	18.8' Average	Same
Rear Yard Max. Occup.	25%	0%	Same
Off street parking	1 per unit	1 per unit	Same

NOTE: LOT CONFIGURATION AND STRUCTURE LOCATION(S) ARE BASED ON DEED, ASSESSOR'S MAP, AND ACTUAL OCCUPATION, AS OF 09/13/18. A MORE ACCURATE REPRESENTATION WILL REQUIRE AN INSTRUMENT SURVEY. THIS ZONING PLAN WAS NOT MADE FROM AN INSTRUMENT SURVEY AND IS NOT FOR CONSTRUCTION PURPOSES. UNDER NO CIRCUMSTANCES ARE OFFSETS TO BE USED FOR ADDITIONS, FENCES, WALLS, ETC. MORE INFORMATION WAS TAKEN FROM EXISTING PLOT PLAN DRAWN BY PAUL LINDHOLM, P.E., CIVIL/ ENVIRONMENTAL CONSULTING FROM 80 TALBOR ST, DEDHAM, MA 02026 AND SIGNED BY ANTONI SZERSZUNOWICZ, REGISTERED LAND SURVEYOR AND DATED 06/07/19 DEED/CERT: 60901/155 (2019) PLAN: 2388 / END (1896)

CERTIFICATION

I, Luis Arjona, Professional Engineer, Do hereby certify that the above zoning plan was prepared for 6 Cardington St, LLC, and it is not intended or represented to be a land or property line survey. No corners were set. It cannot be used for establishing fence, hedge or building lines. The land as shown hereon is based on client furnished information and may be subject to further outsales, takings easements and rights of way. No responsibility is extended herein to the land owner or occupant, it is not intended to be recorded.

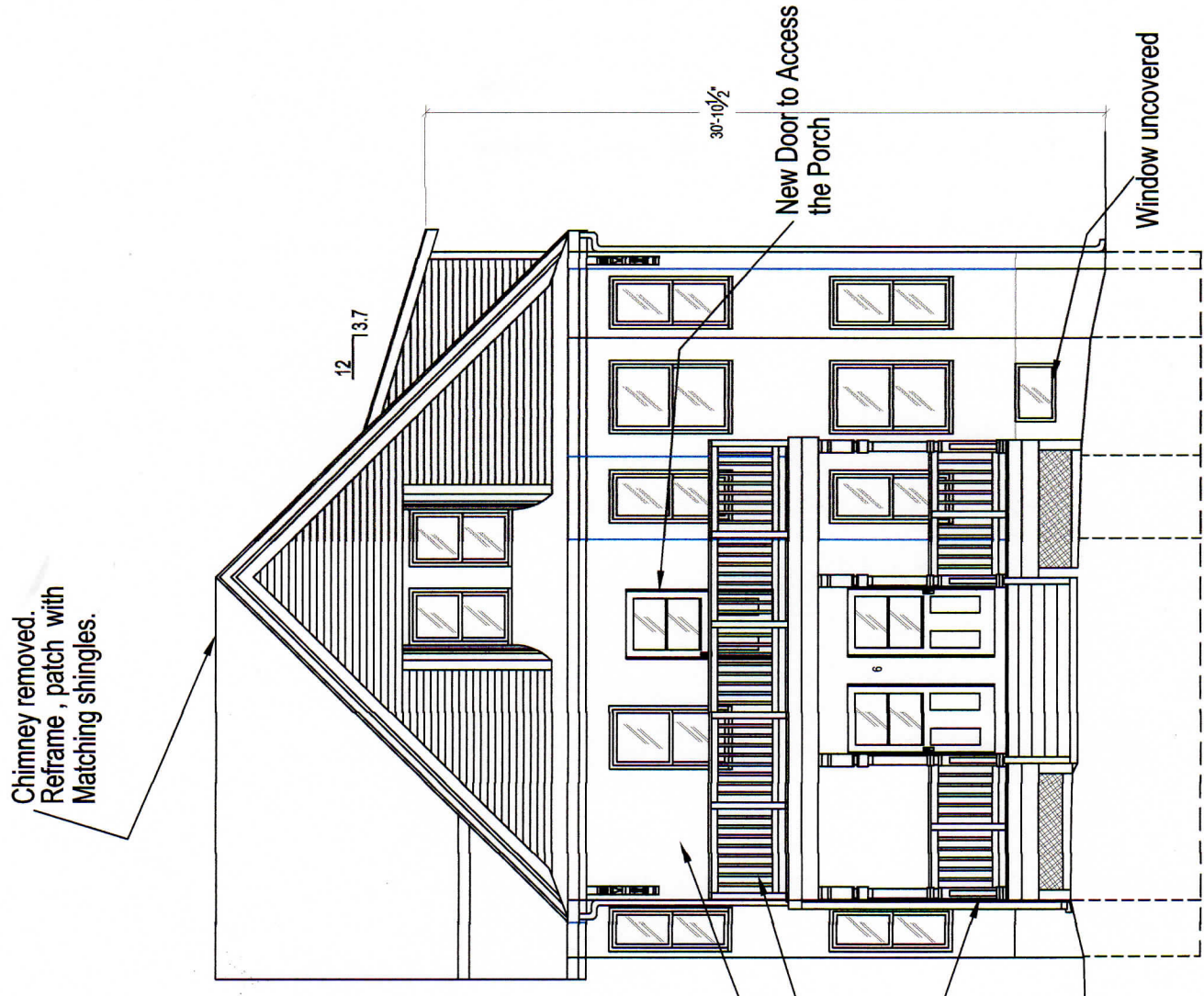
Owner: 6 Cardington St., LLC
 Address: 6 Cardington St.
 Boston, MA 02119
 Date: 06/12/19



MORUY CIVIL ENGINEERING SERVICES

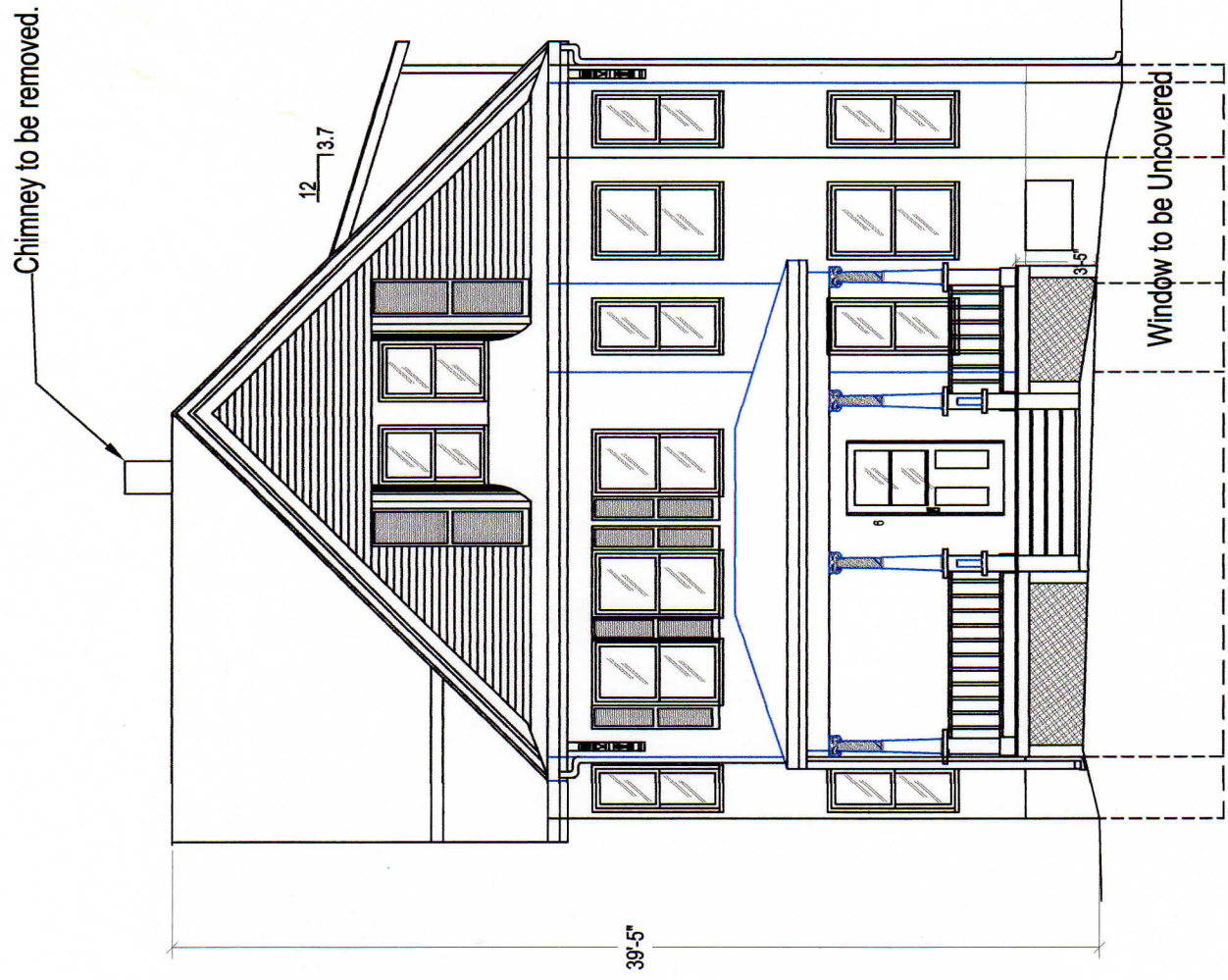
LUIS ARJONA, M. Sc., P.E.
 2 East Concord Street # 3
 Boston, MA 02118





FRONT ELEVATION - PROPOSED CONDITION

SCALE 1/8" = 1'-0"

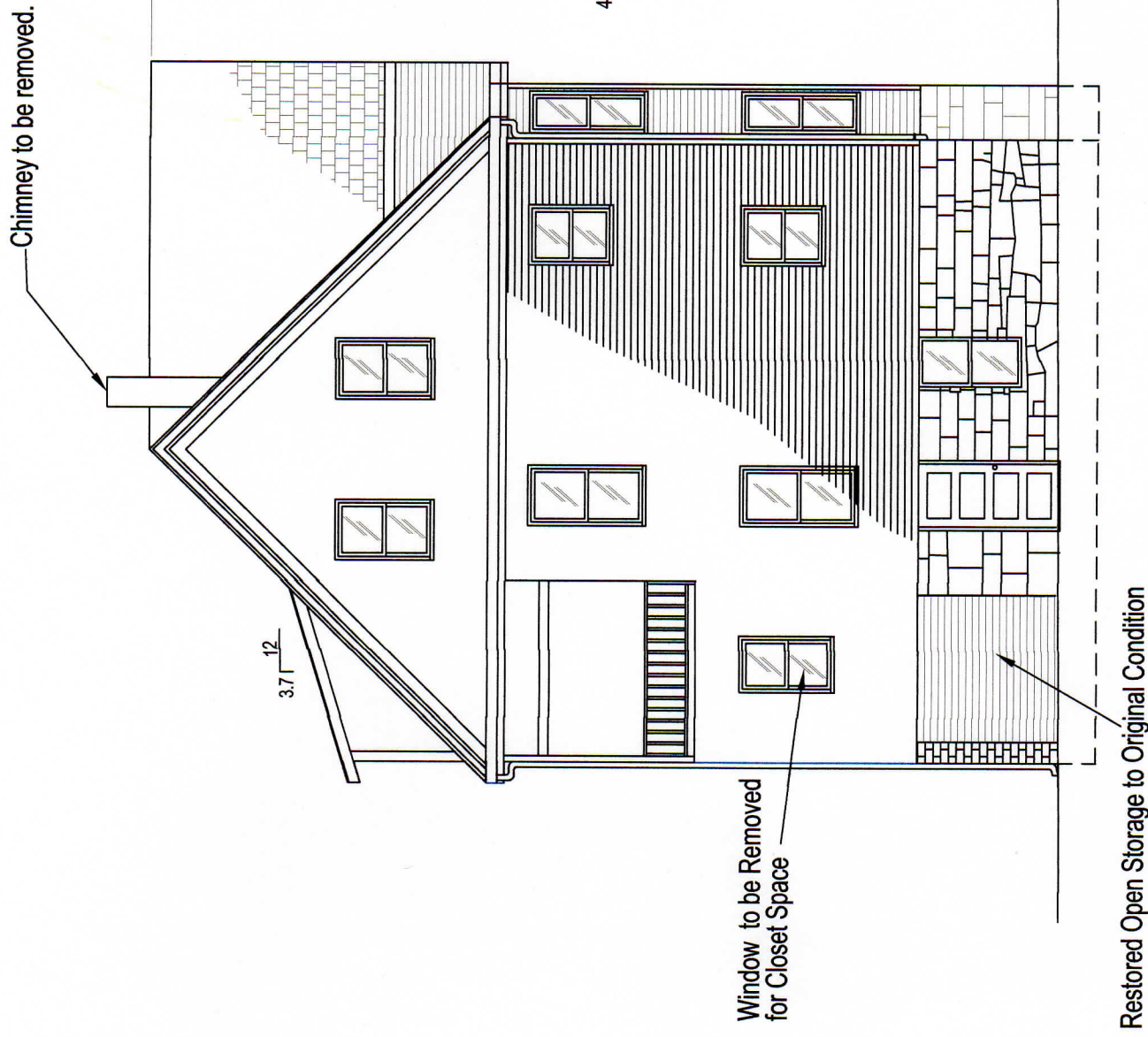


FRONT ELEVATION - EXISTING CONDITION

SCALE 1/8" = 1'-0"

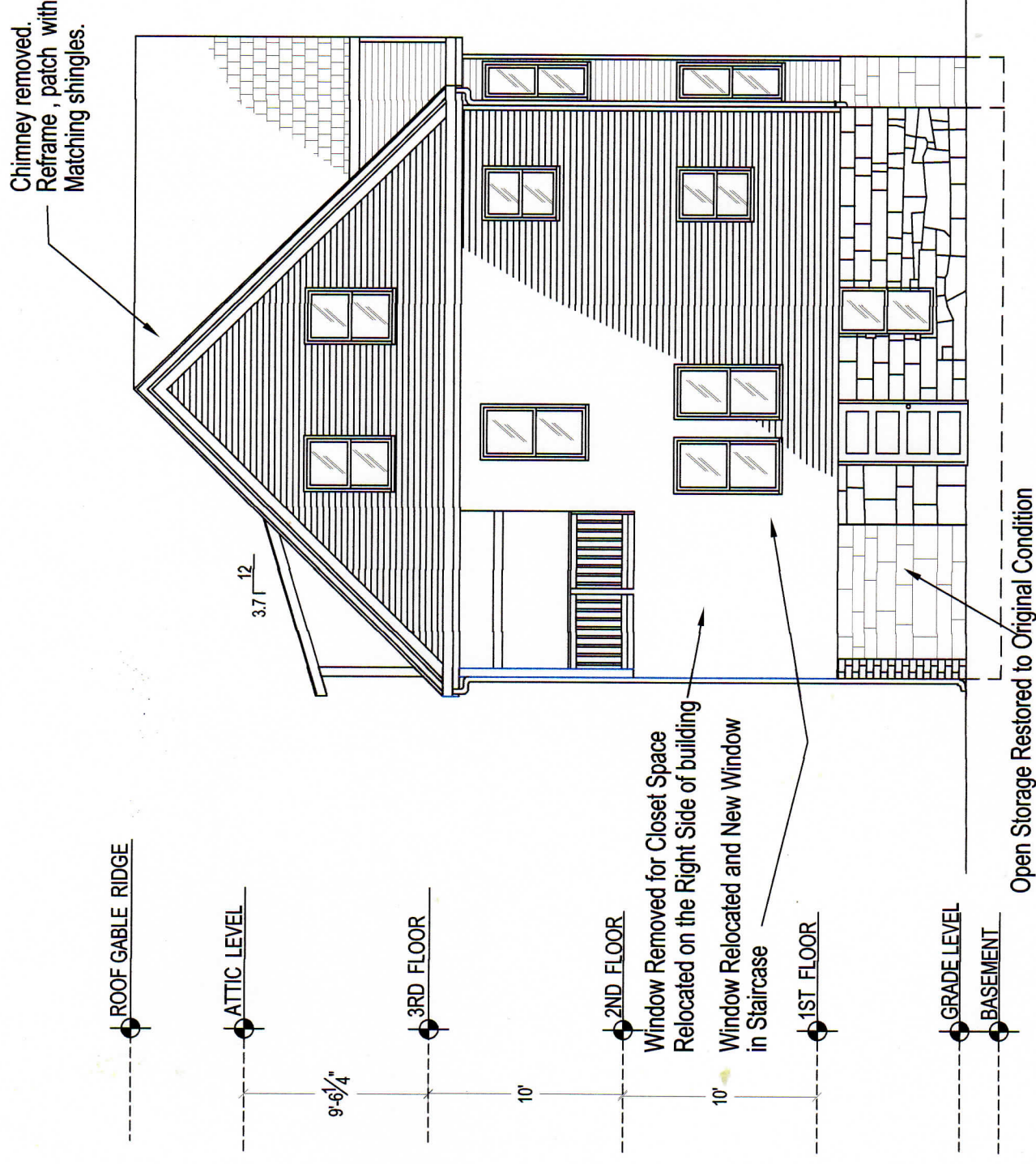
6 CARDINGTON STREET, WARD 11

E 1	Project No. 190702	Drawn By: L.A.	6 Cardington Street LLC 6 Cardington Street Boston, MA 02119	ELEVATIONS			MORUY CIVIL ENGINEERING SERVICES Luis Arjona, M.Sc., P.E. 2 East Concord Street # 3 Boston, MA 02118	Revision and Description	No.	Date
	Checked By: L.A.	Scale: 1/8" = 1'								



REAR ELEVATION - EXISTING CONDITION

SCALE 1/8" = 1'-0"



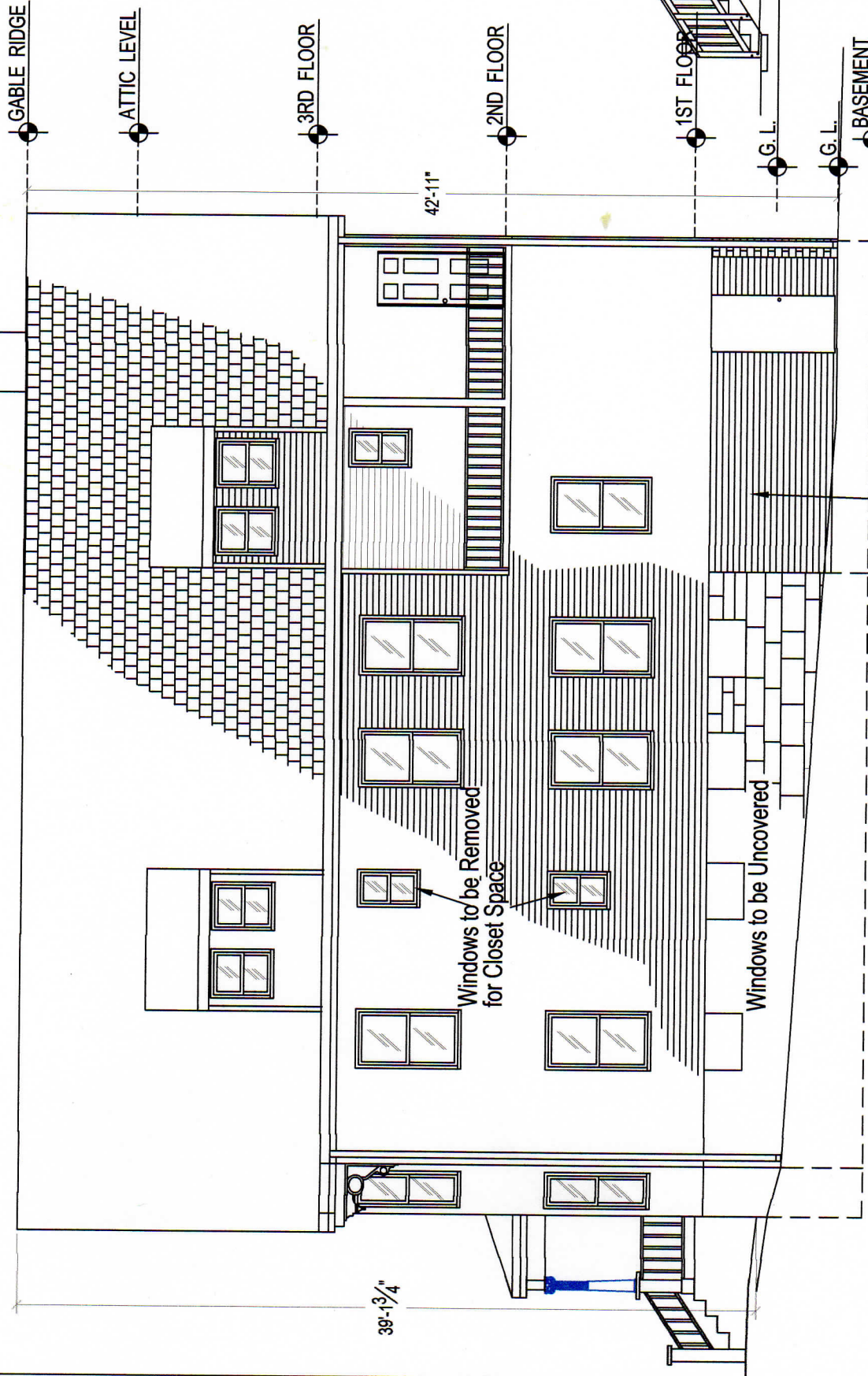
REAR ELEVATION - PROPOSED CONDITION

SCALE 1/8" = 1'-0"

6 CARDINGTON STREET, WARD 11

E 2	Project No. 190702	Drawn By: L.A.	6 Cardington Street LLC 6 Cardington Street Boston, MA 02119	ELEVATIONS		MORUY CIVIL ENGINEERING SERVICES Luis Arjona, M.Sc., P.E. 2 East Concord Street # 3 Boston, MA 02118 	No.	Revision and Description	Date
		Checked By: L.A.							
		Scale: 1/8" = 1'							

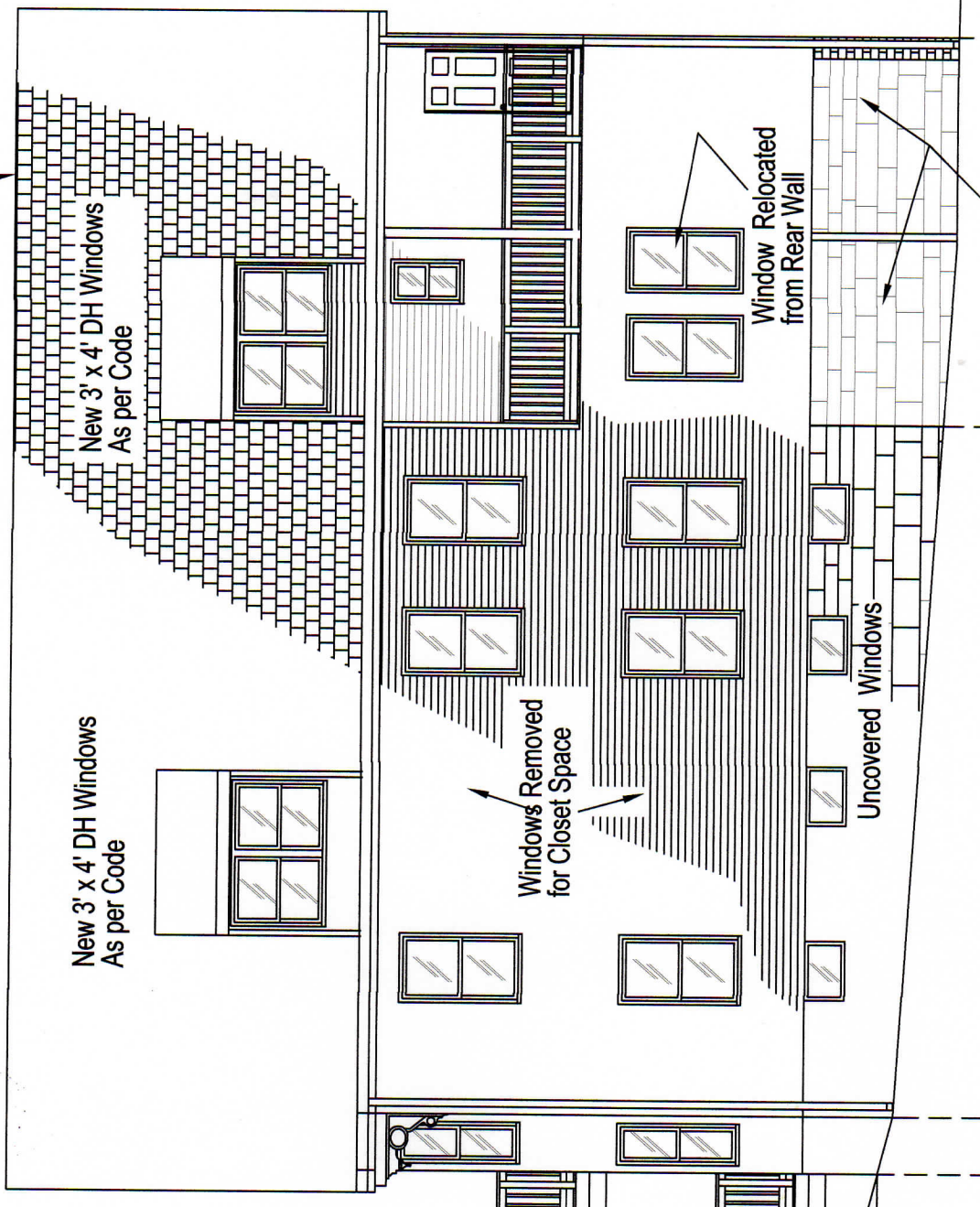
Chimney to be removed.



RIGHT SIDE ELEVATION - EXISTING CONDITION

SCALE 1/8" = 1'-0"

Chimney removed.
Reframe, patch with
Matching shingles.



RIGHT SIDE ELEVATION - PROPOSED CONDITION

SCALE 1/8" = 1'-0"

6 CARDINGTON STREET, WARD 11

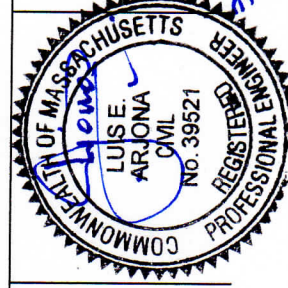
6 Cardington Street LLC
6 Cardington Street
Boston, MA 02119

Drawn By:
L.A.
Checked By:
L.A.
Scale:
1/8"= 1'

Project No.
190702

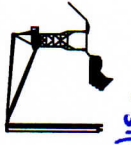
E 3

ELEVATIONS



MORUY CIVIL ENGINEERING SERVICES

Luis Arjona, M.Sc., P.E.
2 East Concord Street # 3
Boston, MA 02118



No.

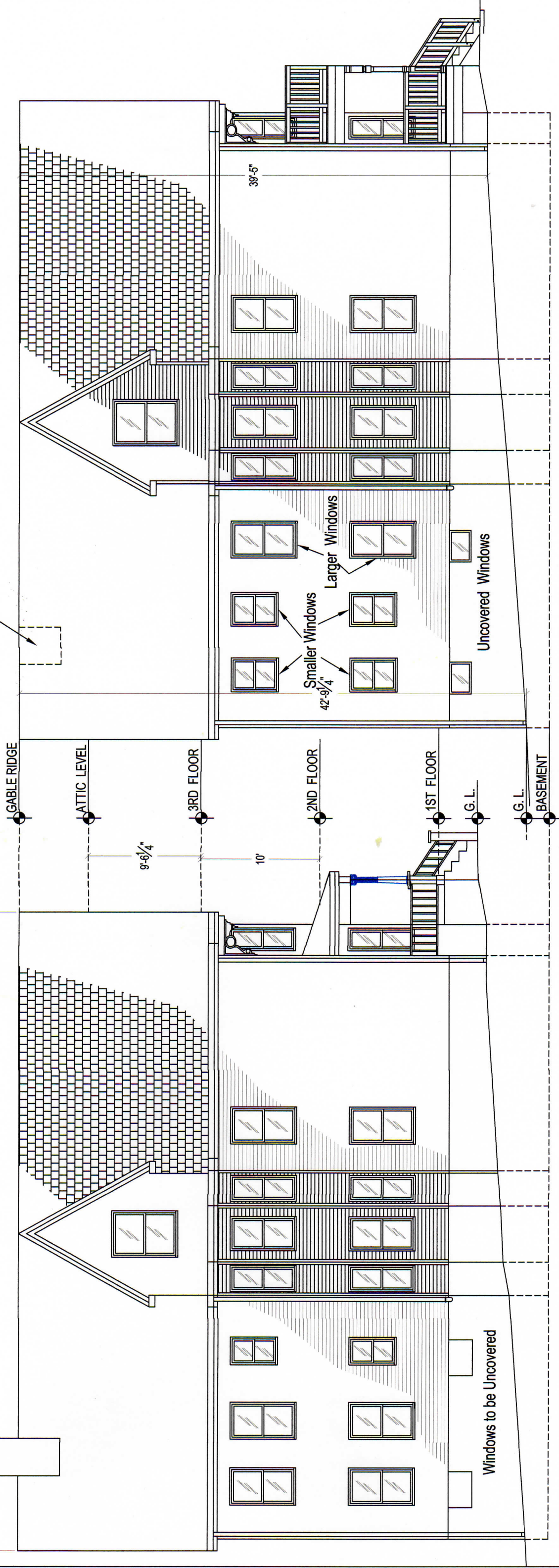
Revision and Description

Date

07/12/19

Chimney removed.
Reframe, patch with
Matching shingles.

Chimney to be removed.
53'-8³/₄"



LEFT SIDE ELEVATION - EXISTING CONDITION
SCALE 1/8" = 1' - 0"

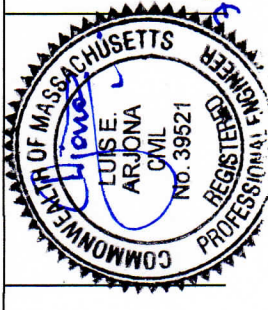
LEFT SIDE ELEVATION - PROPOSED CONDITION
SCALE 1/8" = 1' - 0"

6 CARDINGTON STREET, WARD 11

E 4	Project No.	190702	Drawn By:	L.A.	Revision and Description	No.	Date
			Checked By:	L.A.			07/12/19
			Scale:	1/8" = 1'			

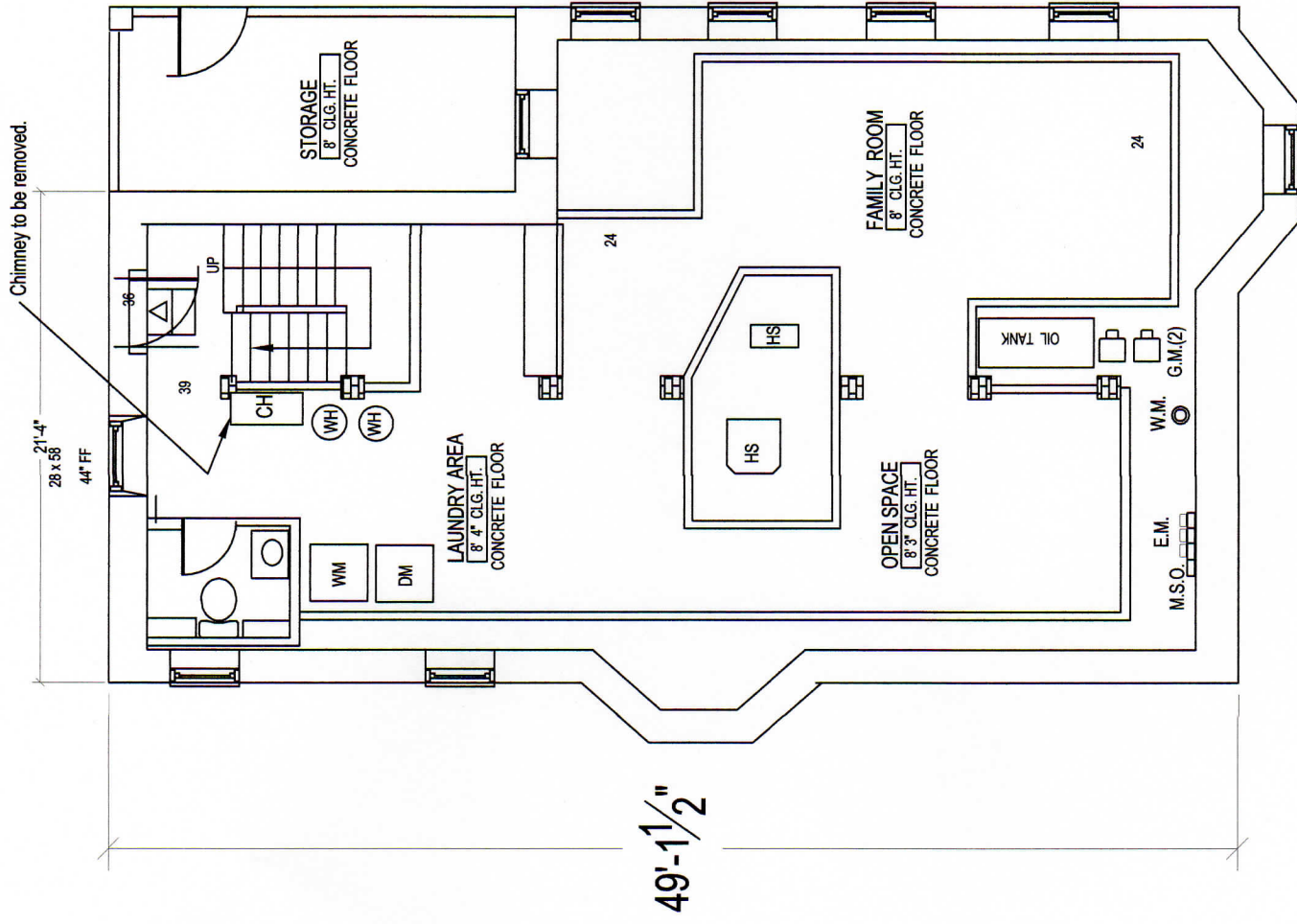
6 Cardington Street LLC
6 Cardington Street
Boston, MA 02119

ELEVATIONS



MORUY CIVIL ENGINEERING SERVICES
Luis Arjona, M.Sc., P.E.
2 East Concord Street # 3
Boston, MA 02118





49'-1 1/2"

BASEMENT PLAN - EXISTING CONDITION
SCALE 1/8" = 1' - 0"

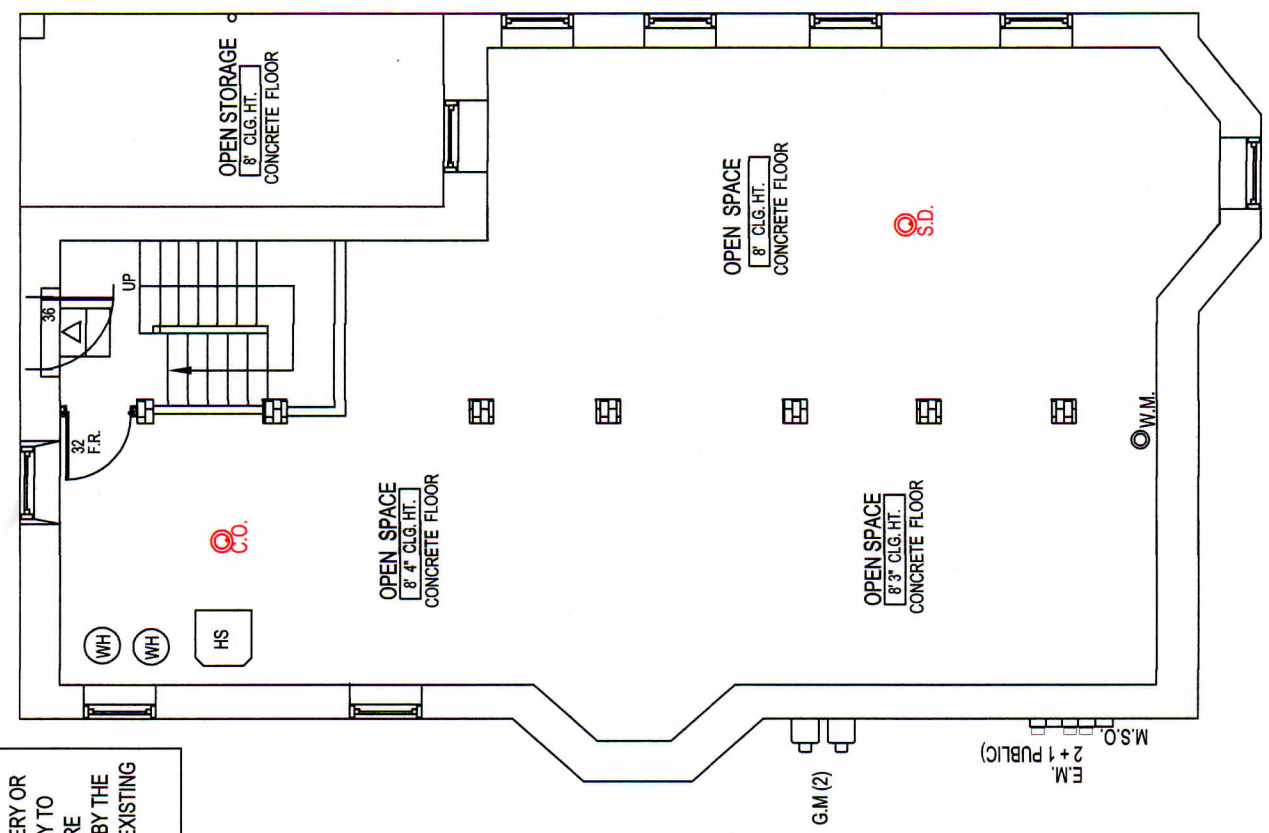
GROSS AREA = 1,483.83 S.F.

GROSS AREA = 1,342.26 S.F.

REMOVE ILLEGAL BATHROOM
REMOVE ILLEGAL PARTITIONS
RELOCATE HEATING SYSTEM
RELOCATE WATER HEATER TANKS
OPEN UP AREA UNDER DECK BY
REMOVING ILLEGAL ENCLOSING
PARTITIONS AND DOOR.
REMOVE COVER FROM WINDOWS

SMOKE DETECTORS
ALL EXISTING SMOKE DETECTORS EITHER BATTERY OR
HARDWIRED SHALL BE UPGRADED ACCORDINGLY TO
LOCATION, AND THE TYPE REQUIRED BY THE FIRE
DEPARTMENT, BY THE BUILDING DEPARTMENT, BY THE
ELECTRICAL DEPARTMENT AND BY ANY OTHER EXISTING
ORDINANCE / REGULATION IN THIS REGARD.

- LEGENDS**
- CL Closet
 - Mech. Ventilation
 - Photoelectric smoke detector
 - Combo/CO and smoke detector
 - 1.5 Hr Fire Rated Door
 - Gas Meter
 - Electrical Panel
 - Electrical Meter
 - Main Shut Off
 - Water Meter
 - Water Heater
 - Heating System
 - Heating System
 - Unit entry
 - Unit exit
 - New 2 x 4 Fire Separation Partition
packed w/ Thermofiber and 5/8"
Gypsum X both sides



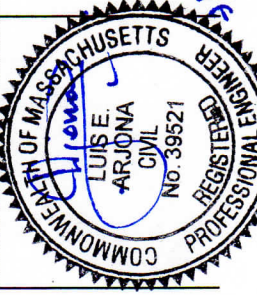
BASEMENT PLAN - PROPOSED CONDITION
SCALE 1/8" = 1' - 0"

6 CARDINGTON STREET, WARD 11

Project No.	190702
Drawn By:	L.A.
Checked By:	L.A.
Scale:	1/8" = 1'

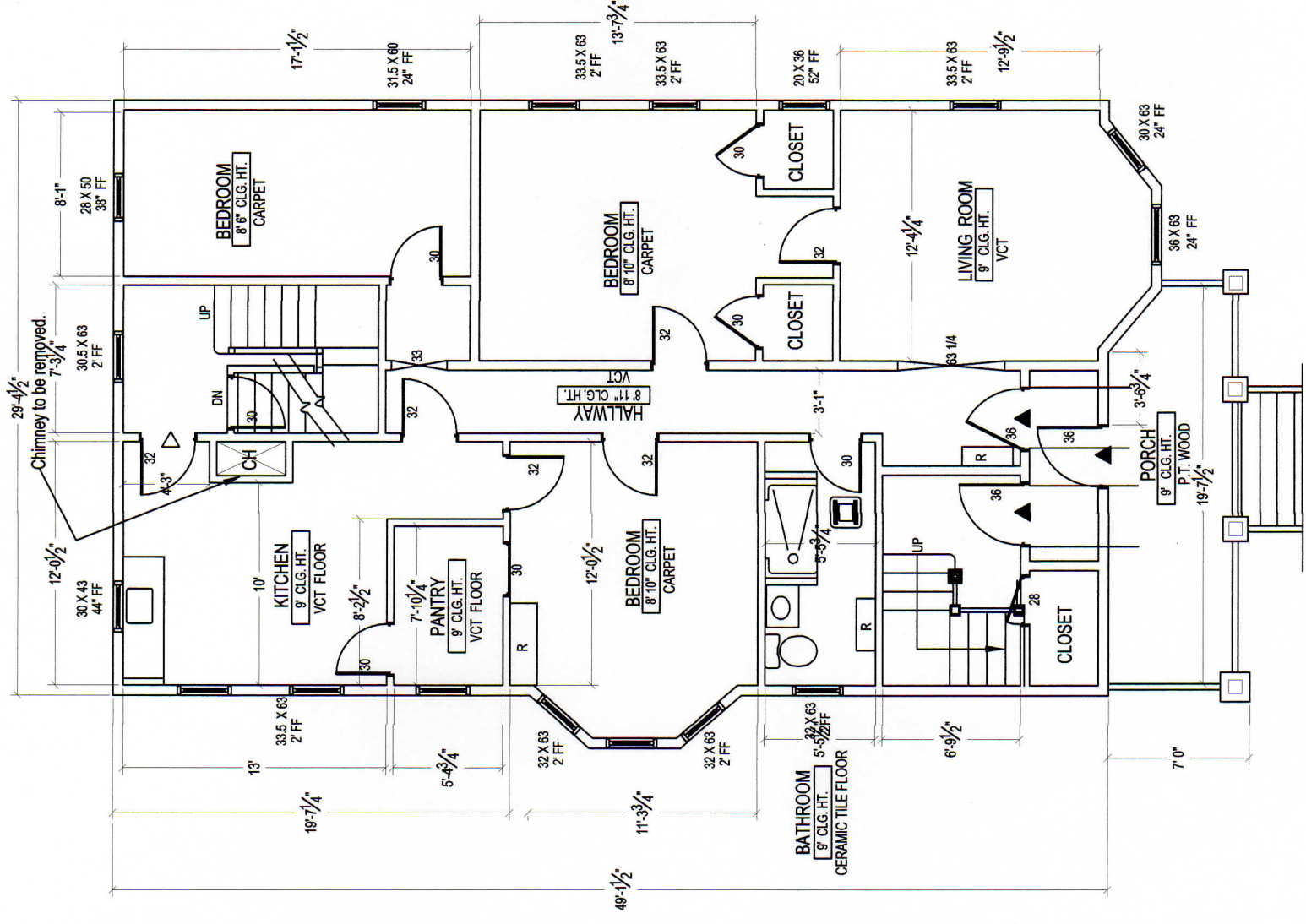
6 Cardington Street LLC
6 Cardington Street
Boston, MA 02119

LAYOUTS



MORUY CIVIL ENGINEERING SERVICES
Luis Arjona, M.Sc., P.E.
2 East Concord Street # 3
Boston, MA 02118

No.	Revision and Description	Date
		07/12/19

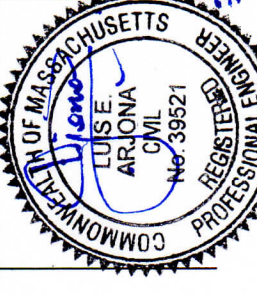


1ST FLOOR - EXISTING CONDITION
SCALE 1/8" = 1' - 0"

L 2	Project No.	190702
	Drawn By:	L.A.
	Checked By:	L.A.
Scale:		1/8" = 1'

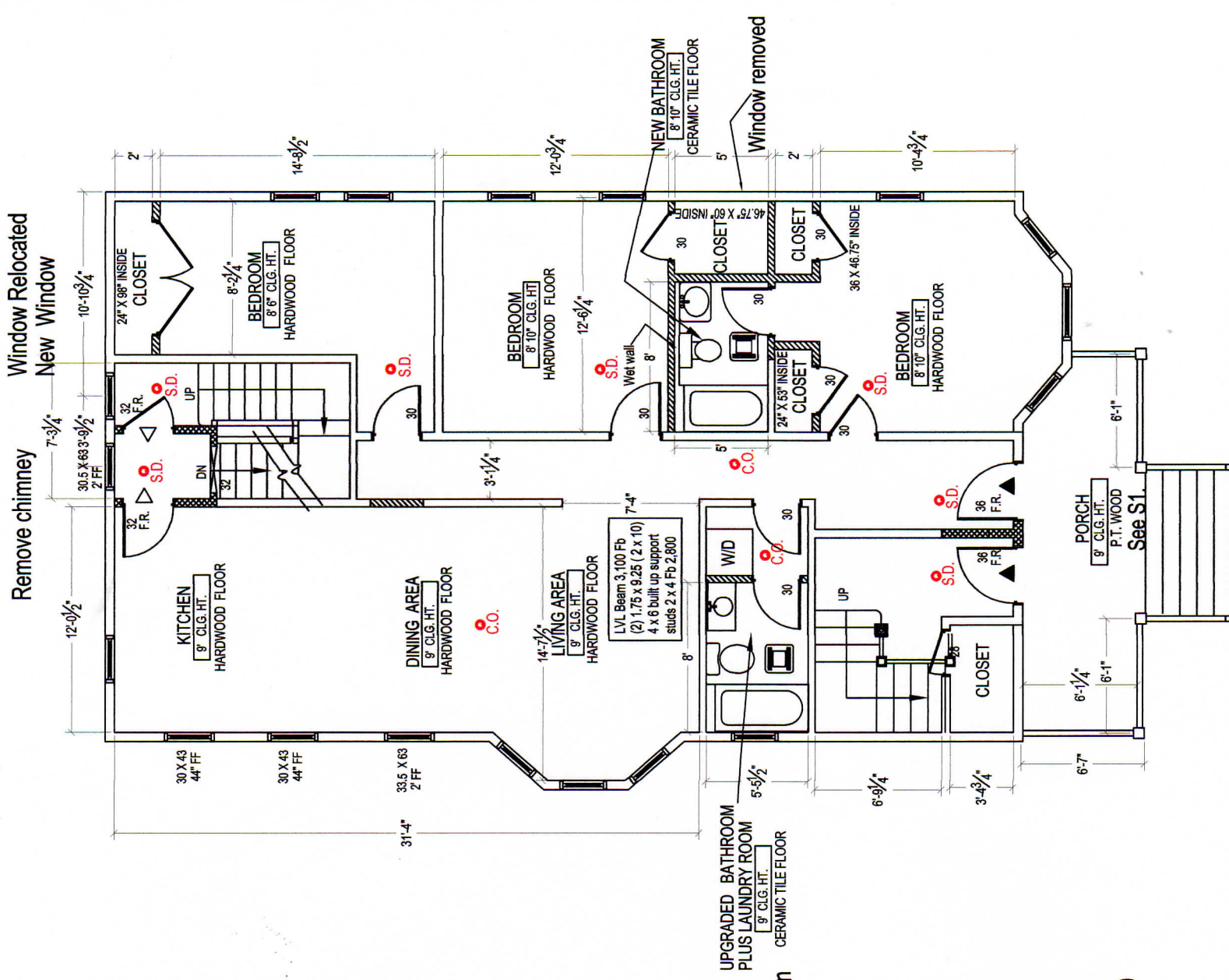
6 Cardington Street LLC
6 Cardington Street
Boston, MA 02119

LAYOUTS



MORUY CIVIL ENGINEERING SERVICES
Luis Arjona, M.Sc., P.E.
2 East Concord Street # 3
Boston, MA 02118

No.	Revision and Description	Date
		07/12/19



1ST FLOOR - PROPOSED CONDITION
SCALE 1/8" = 1' - 0"

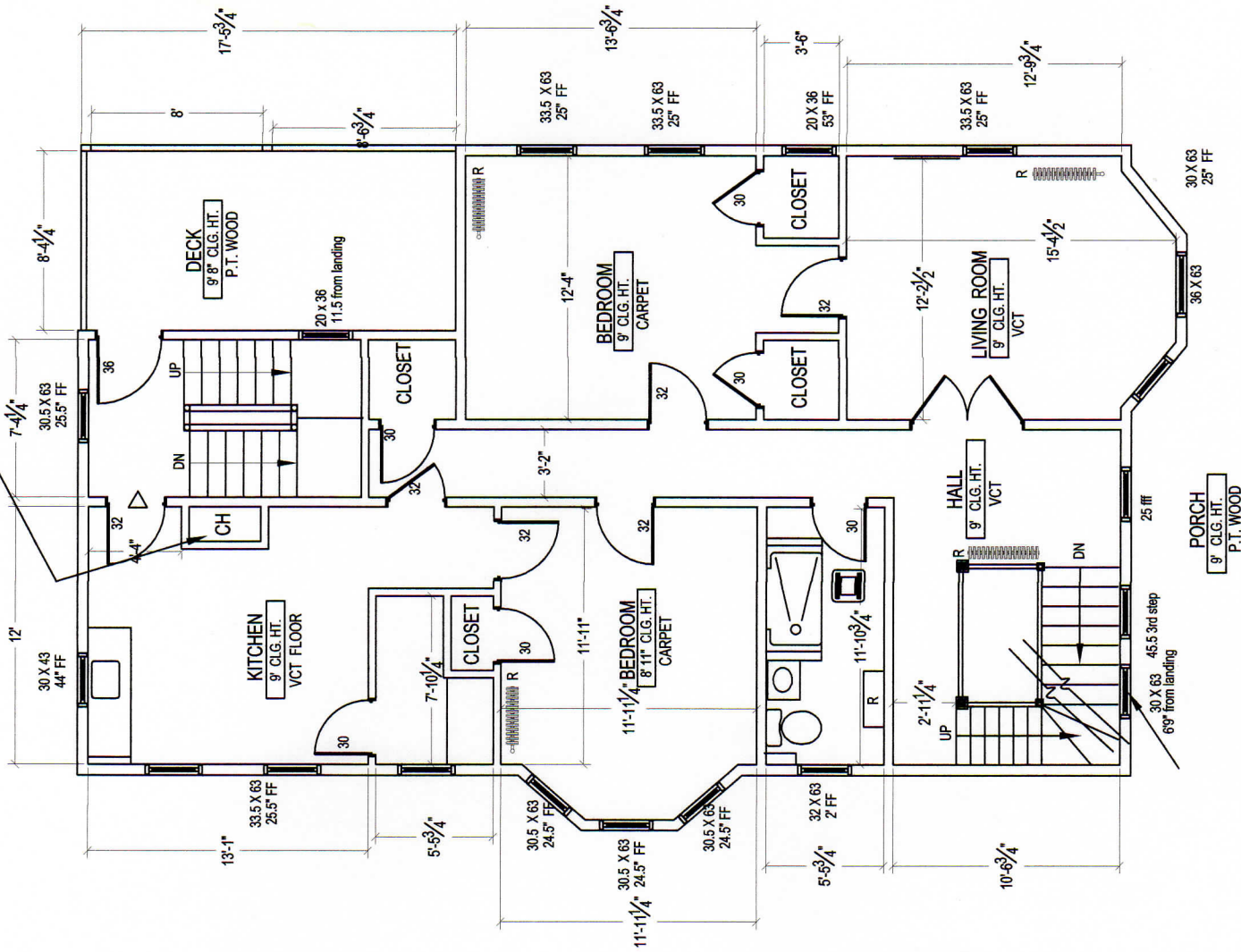
GROSS AREA = 1,484.30 S.F. +/-

FRONT PORCH AREA = 96 S.F. (NO INCLUDED)

SMOKE DETECTORS
ALL EXISTING SMOKE DETECTORS EITHER BATTERY OR HARDWIRED SHALL BE UPGRADED ACCORDINGLY TO LOCATION, AND THE TYPE REQUIRED BY THE FIRE DEPARTMENT, BY THE BUILDING DEPARTMENT, BY THE ELECTRICAL DEPARTMENT AND BY ANY OTHER EXISTING ORDINANCE / REGULATION IN THIS REGARD.

- LEGENDS**
- CL Closet
 - Mech. Ventilation
 - Photoelectric smoke detector
 - Combo/CO and smoke detector
 - 1 Hr Fire Rated Door
 - Chase (Ducts)
 - Electrical Panel
 - Radiator
 - Unit entry
 - Unit exit
 - New 2 x 4 partition
 - New 2 x 4 Fire Separation Partition packed w/ Thermofiber and 5/8" Gypsum X both sides

Chimney to be removed.



2ND FLOOR - EXISTING CONDITION
SCALE 1/8" = 1'-0"

SMOKE DETECTORS
ALL EXISTING SMOKE DETECTORS EITHER BATTERY OR HARDWIRED SHALL BE UPGRADED ACCORDINGLY TO LOCATION, AND THE TYPE REQUIRED BY THE FIRE DEPARTMENT, BY THE BUILDING DEPARTMENT, BY THE ELECTRICAL DEPARTMENT AND BY ANY OTHER EXISTING ORDINANCE / REGULATION IN THIS REGARD.

LEGENDS

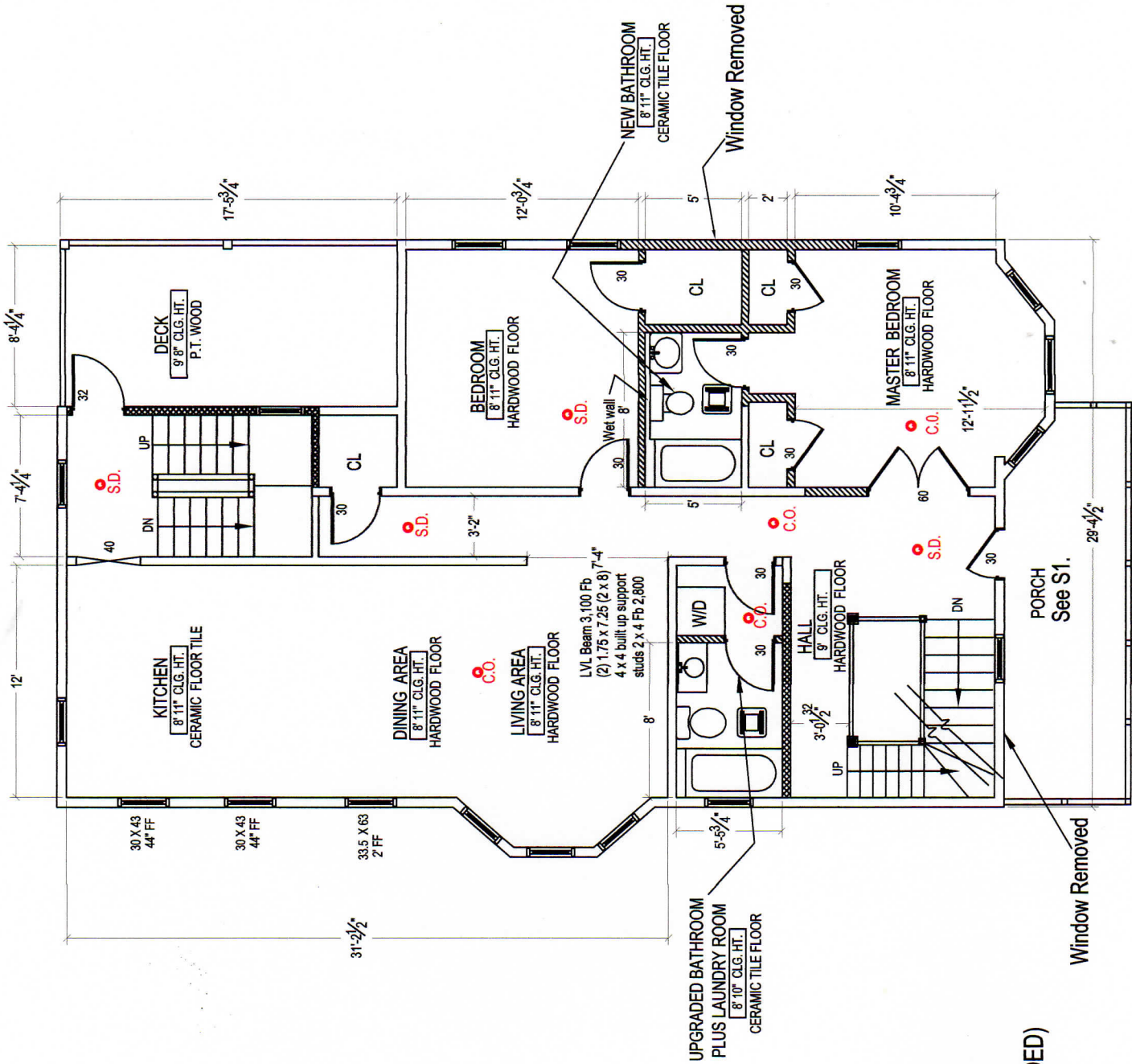
- CL Closet
- Mech. Ventilation
- Photoelectric smoke detector
- Combo/CO and smoke detector
- 1 Hr Fire Rated Door
- Chase (Ducts)
- Electrical Panel
- Heating System
- Radiator
- Unit entry
- Unit exit
- New 2 x 4 partition
- New 2 x 4 Fire Separation Partition packed w/ Thermofiber and 5/8" Gypsum X both sides

GROSS AREA = 1,484.30 S.F +/-

FRONT PORCH AREA = 96 S.F. (NO INCLUDED)

DECK AREA = 151.56 S.F.

NET AREA = 1,332.74 S.F +/-



2ND FLOOR - PROPOSED CONDITION
SCALE 1/8" = 1'-0"

6 CARDINGTON STREET, WARD 11

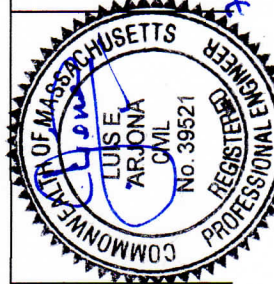
6 Cardington Street LLC
6 Cardington Street
Boston, MA 02119

Project No. 190702
Drawn By: L.A.
Checked By: L.A.
Scale: 1/8"= 1'

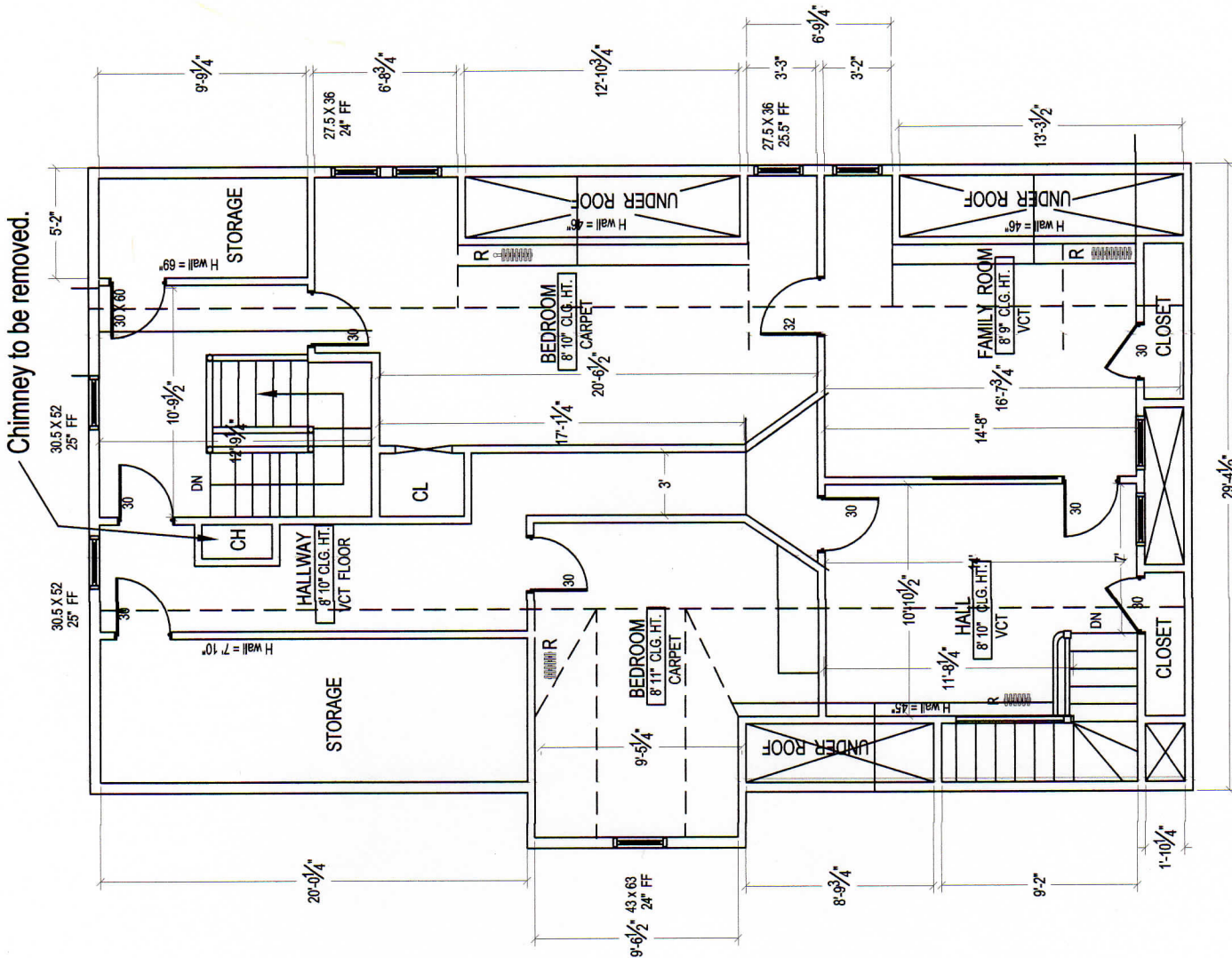
LAYOUTS

MORUY CIVIL ENGINEERING SERVICES

Luis Arjona, M.Sc., P.E.
2 East Concord Street # 3
Boston, MA 02118



No.	Revision and Description	Date
		07/12/19



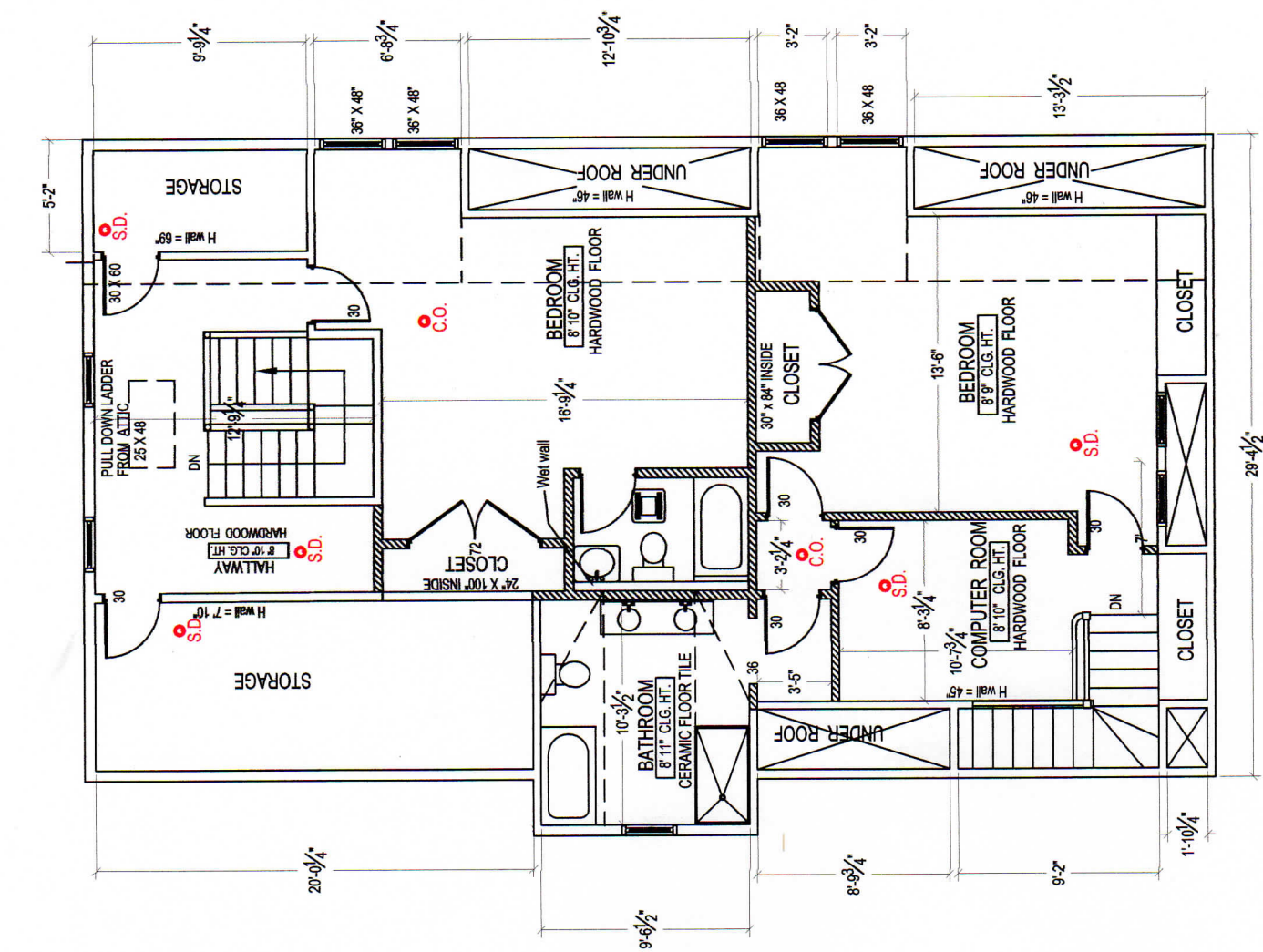
3RD FLOOR PLAN - EXISTING CONDITION
SCALE 1/8" = 1' - 0"

SMOKE DETECTORS
ALL EXISTING SMOKE DETECTORS EITHER BATTERY OR HARDWIRED SHALL BE UPGRADED ACCORDINGLY TO LOCATION, AND THE TYPE REQUIRED BY THE FIRE DEPARTMENT, BY THE BUILDING DEPARTMENT, BY THE ELECTRICAL DEPARTMENT AND BY ANY OTHER EXISTING ORDINANCE / REGULATION IN THIS REGARD.

- LEGENDS**
- CL Closet
 - Mech. Ventilation
 - Photoelectric smoke detector
 - Combo/CO and smoke detector
 - 1 Hr Fire Rated Door
 - Ch Chase for Ducts
 - EP Electrical Panel
 - R Radiator
 - CH Chimney
 - Unit entry
 - Unit exit

- New 2 x 4 partition
- New 2 x 4 Fire Separation Partition packed w/ Thermofiber and 5/8" Gypsum X both sides

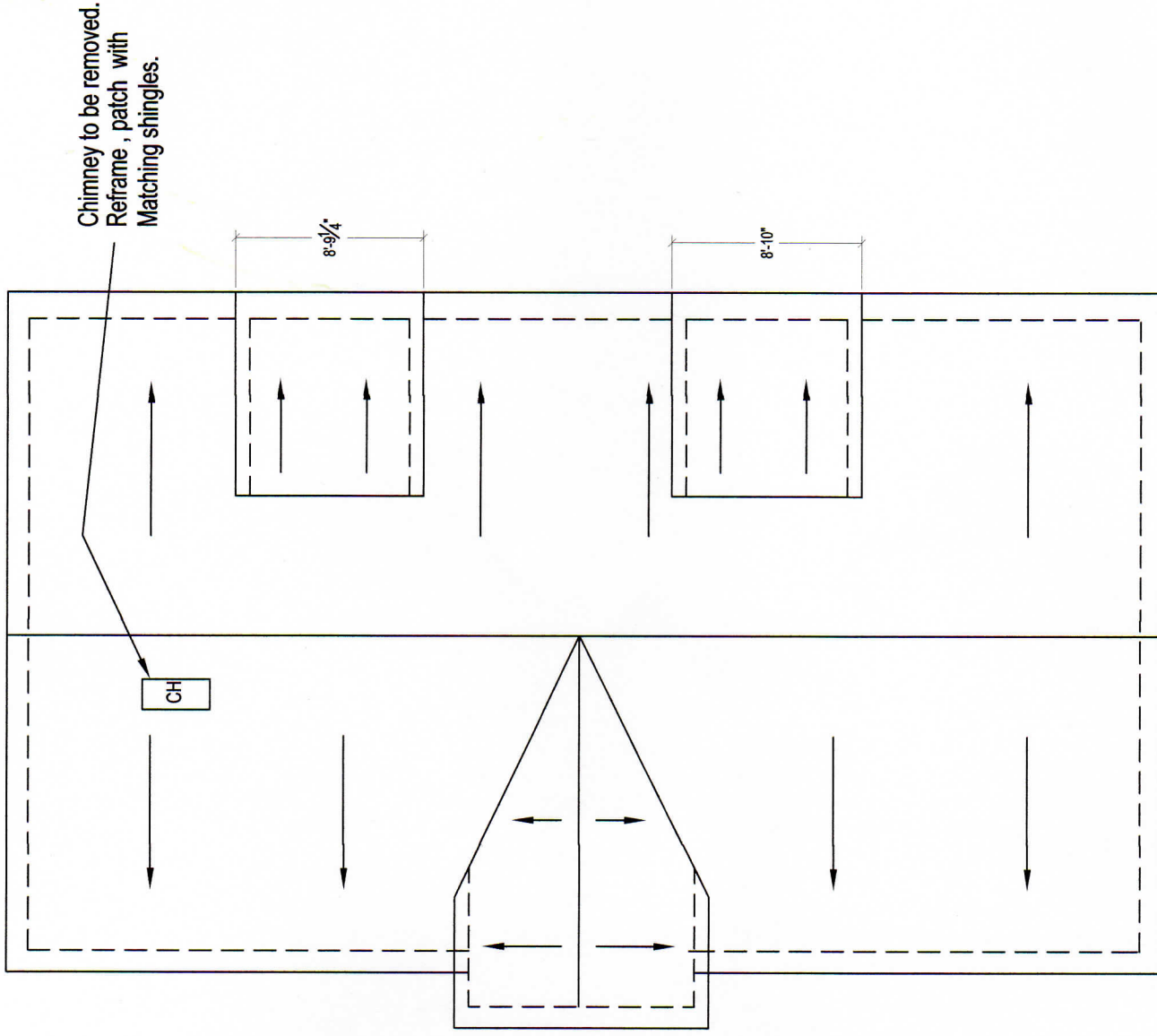
GROSS AREA = 1,546.50 S.F +/-
STORAGE AREA = 212.39 S.F.
UNDER ROOF / X AREA = 139.85 S.F.
UNDER 5' HEIGHT AREA = 35.41 S.F.
NET AREA = 1,158.85 S.F.



3RD FLOOR - PROPOSED CONDITION
SCALE 1/8" = 1' - 0"

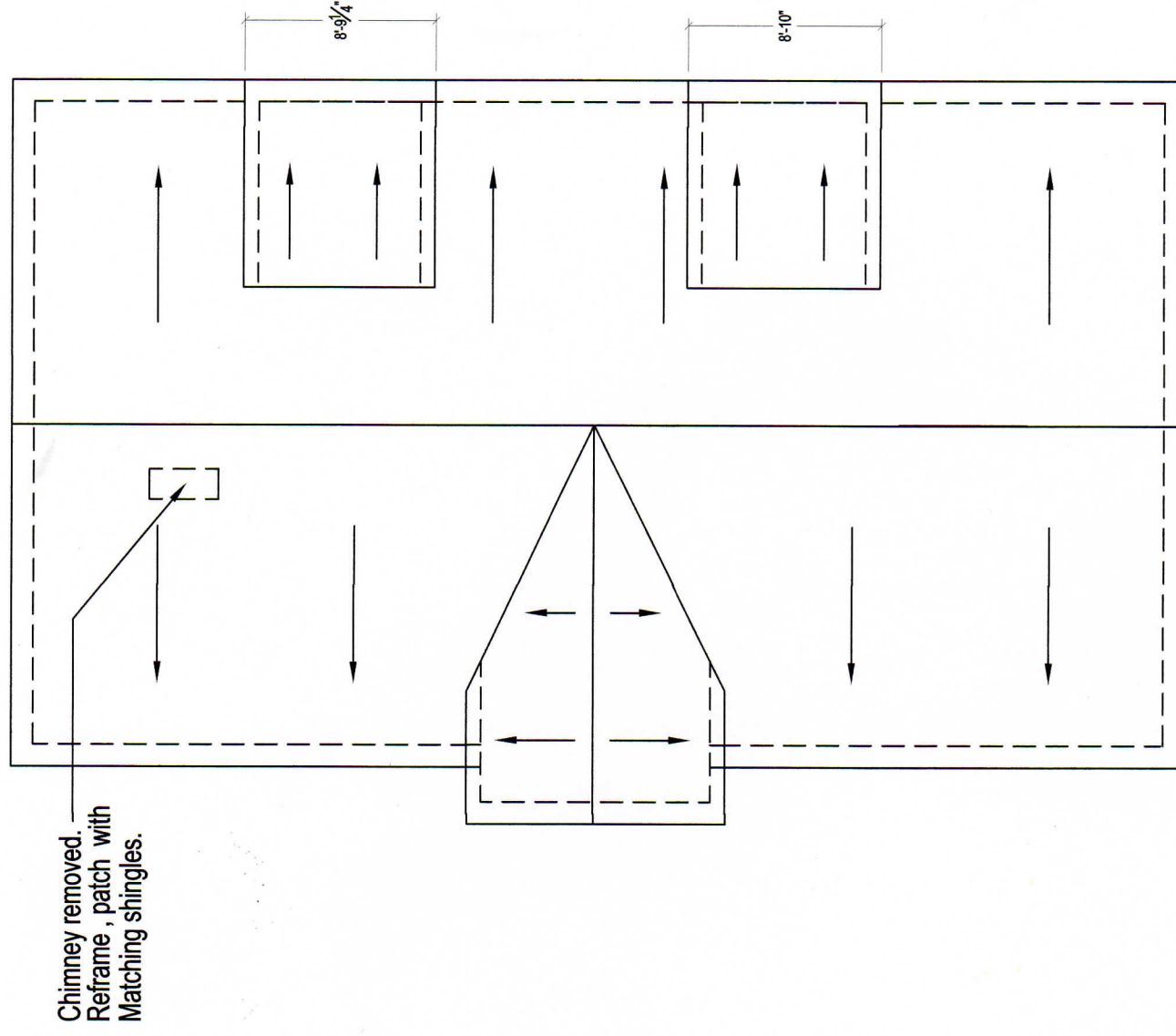
6 CARDINGTON STREET, WARD 11

L 4	Project No. 190702	Drawn By: L.A.	6 Cardington Street LLC 6 Cardington Street Boston, MA 02119	LAYOUTS		MORUY CIVIL ENGINEERING SERVICES Luis Arjona, M.Sc., P.E. 2 East Concord Street # 3 Boston, MA 02118		Revision and Description	Date
		Checked By: L.A.							



ROOF PLAN - EXISTING CONDITION

SCALE 3/16" = 1' - 0"



ROOF PLAN - PROPOSED CONDITION

SCALE 3/16" = 1' - 0"

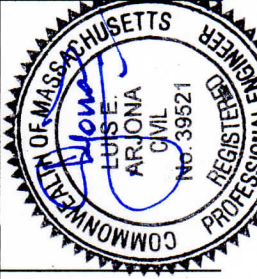
6 CARDINGTON STREET, WARD 11

L	5
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Project No.	190702
Drawn By:	L.A.
Checked By:	L.A.
Scale:	1/8" = 1'

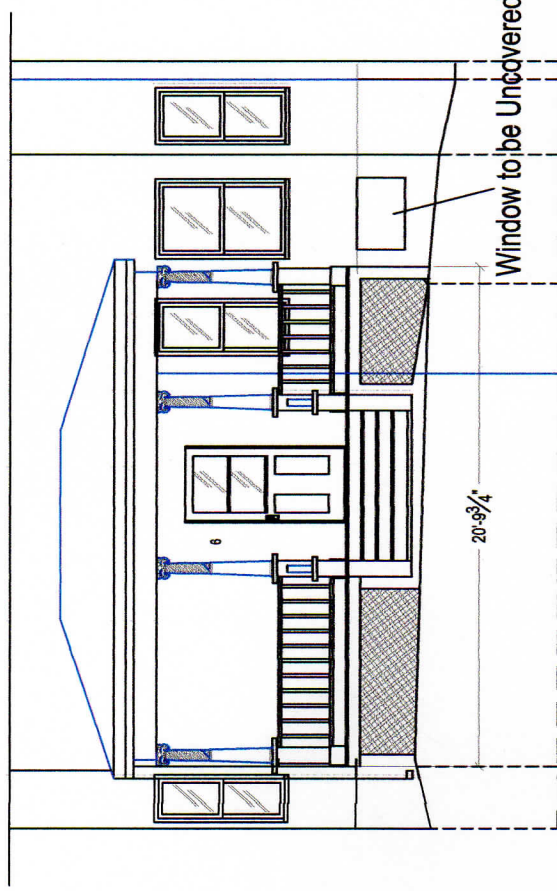
6 Cardington Street LLC
 6 Cardington Street
 Boston, MA 02119

LAYOUTS



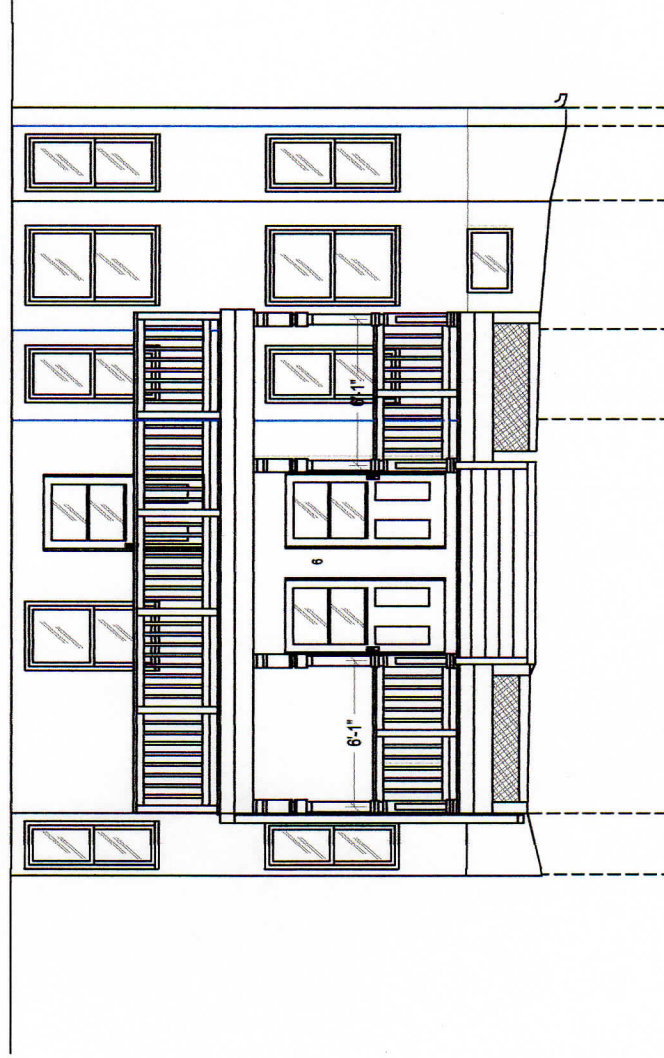
MORUY CIVIL ENGINEERING SERVICES
 Luis Arjona, M.Sc., P.E.
 2 East Concord Street # 3
 Boston, MA 02118

No.	Revision and Description	Date
		07/12/19



FRONT PORCH - EXISTING CONDITION

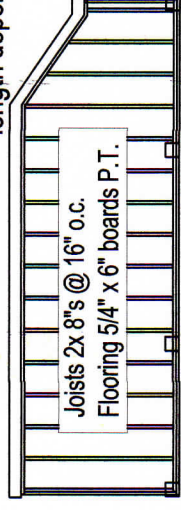
SCALE 1/8" = 1' - 0"



FRONT PORCH - PROPOSED CONDITION

SCALE 1/8" = 1' - 0"

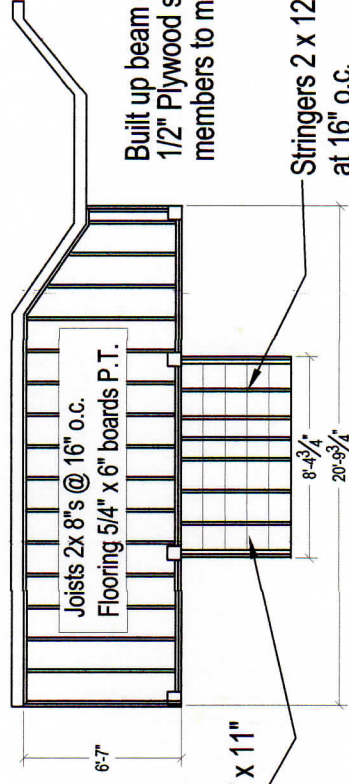
Ledger to building, built up w/ (2) 2"x 8" glued and nailed as per code.
Ledger bolted @ each bay with 2 lags screws length depending on nailer on site



2ND FLOOR FRAMING PLAN

SCALE 1/8" = 1' - 0" PROPOSED CONDITION

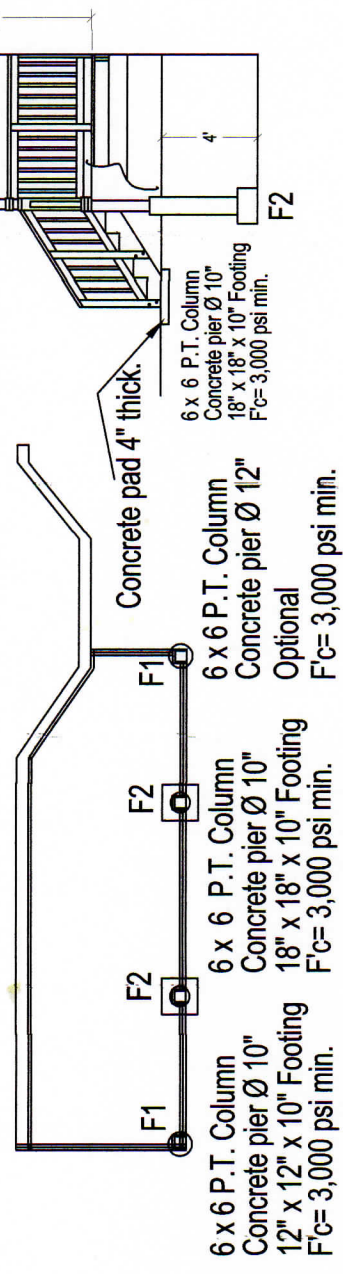
Built up beam (2) 2 x 10 Southern Pine # 1 or better 1/2" Plywood spacer shall be used with 2x's members to match column width.



1ST FLOOR FRAMING PLAN

SCALE 1/8" = 1' - 0" PROPOSED CONDITION

Joists 2 x 8 at 16" o.c.
Built up beam (2) 2 x 10 Ormate column (10 kips)

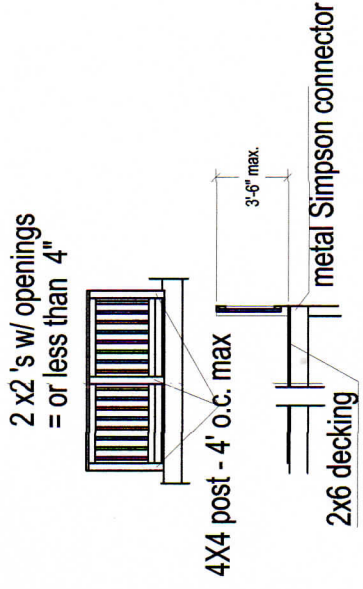


FOOTING PLAN - PROPOSED CONDITION

SCALE 1/8" = 1' - 0"

GENERAL NOTES:

- Live load = 60 psf
- Soil = 2,000 psf assumed
- Built up beams glued and nailed as per code, with Southern Pine # 1
- Joists hangers by Simpson or similar shall be used in framing the floors
- Railing height = 42" max.
- Columns connected to beams with indicated col/beam connectors from Simpson or similar.
- Bolt ledger to house using 5 1/2" long lag screws into rim joist and built up ledger, using (2) 1/2" bolts per bay
- Posts/columns = 6"x 6" (Ormate Cols. Optional) railing posts = 4" x 4"
- All lumber to be preservative-treated or naturally durable Southern Pine # 1 or better, unless notice otherwise.
- Flooring 5/4"x 6" boards P.T.
- Concrete F'c= 3,000 psi minimum.
- If concrete is mixed on site use F'c= 5,000 psi ready mix, and follow instructions indicated on package/bag.

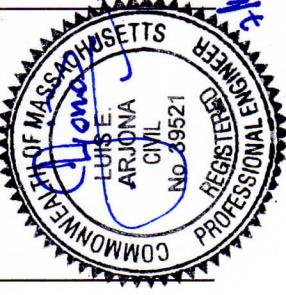


DETAILS
SCALE: N/A

6 CARDINGTON STREET, WARD 11

6 Cardington Street LLC
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FRONT PORCH
FRAMING



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Luis Arjona, M.Sc., P.E.
2 East Concord Street # 3
Boston, MA 02118

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		07/12/19

Project No. 190702	Drawn By: L.A.
	Checked By: L.A.
	Scale: 1/8"= 1'

GENERAL

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS FOR COORDINATING INFORMATION NOT SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS SO AS TO COMPLETE THE INTENDED WORK.

THE STRUCTURAL DESIGN OF THE STRUCTURE IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR FURNISHING AND INSTALLING TEMPORARY SUPPORTS AND BRACING NECESSARY TO PREVENT ANY INSTABILITIES AND/OR UNDUE STRESSES DURING ERECTION.

THE CONTRACTOR SHALL VERIFY AND/OR OBTAIN FIELD DIMENSIONS, ELEVATIONS AND OTHER PERTINENT INFORMATION NECESSARY TO COMPLETE THE WORK. FIELD INFORMATION UNCOVERED DURING CONSTRUCTION THAT IS FOUND TO BE INCONSISTENT WITH THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE ABOVE INFORMATION WITH THE RESPECTIVE TRADES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING AND OFF-SITE DISPOSAL OF DEBRIS RESULTING FROM DEMOLITION AND NORMAL CONSTRUCTION ACTIVITIES. PROVISIONS SHALL BE INCORPORATED TO MAINTAIN A SAFE PASSAGEWAY FOR THE BUILDING OCCUPANTS AT ALL TIMES. UPON COMPLETION OF CONSTRUCTION WORK, AREAS AFFECTED BY CONSTRUCTION ACTIVITIES SHALL BE LEFT BROOM CLEANED.

SECTIONS AND DETAILS SHOWN SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.

COMMONWEALTH OF MASSACHUSETTS BUILDING CODE 8TH EDITION AND IBC 15.

DESIGN LIVE LOADS: L.L. SNOW : 45 # / S.F.
L.L. FLOOR: 40 # / S.F.
D.L. FLOOR: 20 # / S.F.

CONCRETE

CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.

CONCRETE SHALL BE CONTROLLED CONCRETE CAPABLE OF ATTAINING A MINIMUM 28-DAY COMPRESSIVE STRENGTHS EQUAL TO 3,000 P.S.I.

CEMENT SHALL CONFORM TO "SPECIFICATION FOR PORTLAND CEMENT" ASTM C-150

MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 3/4", AND SHALL CONFORM TO "SPECIFICATION FOR CONCRETE AGGREGATES" ASTM C-33

WATER USED IN THE MIXING OF CONCRETE SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OILS, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS OR OTHER SUBSTANCES DELETERIOUS TO CONCRETE OR REINFORCEMENT.

THE MAXIMUM SLUMP OF CONCRETE SHALL NOT EXCEED 4". CONCRETE SHALL BE AIR ENTRAINED CONCRETE WITH A TOTAL AIR CONTENT AS DELIVERED EQUALING 5% +/- 1.5%.

CONCRETE SHALL BE APPROPRIATELY COMPACTED BY THE PROPER USE OF VIBRATORS.

THE CONCRETE FINISH FOR THE NEW SLAB ON GRADE SHALL CONSIST OF BULL FLOATING IMMEDIATELY AFTER SCREEDING OPERATIONS ARE COMPLETED AND BEFORE ANY EXCESS MOISTURE OR BLEED WATER IS PRESENT ON THE SURFACE. BULL FLOATING OPERATIONS SHALL BE STARTED WHEN THE CONCRETE CAN SUPPORT A FINISHER AND KNEE BOARD WITHOUT INDENTING THE SURFACE MORE THAN 1/4".

WOOD NOTES:

1. ALL FRAMING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENT OF THE MASS STATE BUILDING CODE, EIGHT EDITION (CHAPTER 23).

2. ALL STRUCTURAL LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE AFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND THE SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION".

3. ALL FRAMING SHALL BE DRESSED FOUR SIDES (S4S) SOUTHERN-PINE-FIR (SPF) NO. 2 (UNLESS NOTED OTHERWISE) (KD-19) 19% MAX MOISTURE CONTENT (Fb = 875 PSI) OR APPROVED EQUAL.

4. "LVL" INDICATES LAMINATED VENEER LUMBER WITH ALLOWABLE STRESS (Fb= 3100 PSI), Fv = 285 PSI, E= 2 KSI, OR APPROVED EQUAL.

5. DO NOT CUT, NOTCH OR DRILL HOLES IN LVL.

6. STUDS SHALL BE DOUBLED UP ADJACENT TO OPENINGS, TYPICAL UNLESS OTHERWISE NOTED.

7. ALL SILLS AND WOOD MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE PRESSURE TREATED SOUTHERN PINE (SP) NO. 2 OR BETTER.

8. PROVIDE LIGHT GAUGE STEEL HANGERS AT ALL JOIST AND BEAM CONNECTIONS TO BE FLUSH FRAMED.

9. LIGHT GAUGE FRAMING HANGER CONNECTORS SHALL BE OF SIZE, TYPE AND MATERIAL TO MET IBC APPROVAL FOR INDICATED DESIGN LOADS. UNLESS INDICATED OTHERWISE ON SECTIONS AND DETAILS FOLLOW THE RECOMMENDED CONNECTION DETAILS AS INDICATED ON THE LVL AND WOOD JOISTS CATALOG.

10. NAILING SHALL CONFORM TO THE REQUIREMENTS OF THE MASS STATE BUILDING CODE TABLE 2305.2 (CHAPTER 23) AND IBC 2015.

11. ROOF DIAPHRAGM SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, 5/8" C-DX STR | PLYWOOD TONGUE AND GROOVE WITH 8d NAILS AT 6" O.C. AT EDGES AND 8" O.C. AT INTERMEDIATE SUPPORTS, GLUE ALONG T & G SEAMS.

12. FLOOR DIAPHRAGM SHALL BE APA RATED, 3/4" C-D INT-STR | PLYWOOD TONGUE AND GROOVE WITH 8d NAILS 6" O.C. AT EDGES AND 8" O.C. AT INTERMEDIATE SUPPORTS, GLUE ALONG T & G SEAMS.

13. EXTERIOR WALL SHEATHING SHALL BE APA RATED EXTERIOR EXPOSURE SHEATHING, 1/2" PLYWOOD WITH 8d NAILS 6" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS U.N.O. USE 8d NAILS 4" O.C. AT EDGES FOR FIRST STORY (FRONT AND BACK WALLS ONLY).

14. PROVIDE VERA-RIM 98 @ EXTERIOR WALLS AND SOLID BLOCKING @ INTERIOR WALL TO TRANSFER VERTICAL LOAD OF 3000 PLF (MIN).

15. ALL PLYWOOD SHALL HAVE STAGGERED JOINTS AND ALL NAILS SHALL BE THREADED.

16. GENERAL CONTRACTOR SHALL IDENTIFY THE CROWN FOR ALL LUMBER AND INSTALL IT WITH THE SIDE UP.

17. ALL INTERIOR STUD WALLS SHALL BE AS FOLLOWS UON. (SEE FRAMING PLANS FOR EXCEPTIONS).
- 2x4 @ 16" W/ 2" X 4" CONT SOLE PLATE & 2-2x4 CONT TOP PL UON.

18. NOT ALL WOOD MEMBERS OR MISCELLANEOUS STUD WALLS ARE SHOWN ON THE STRUCTURAL PLANS. GC SHALL COORDINATE ALL DRAWINGS TO DETERMINE THE GEOMETRY REQUIRED AND SIZE UP ALL MISCELLANEOUS PIECES AS NECESSARY TO COMPLETE THE JOB, INCLUDING LEDGER BEAMS.

19. "DOUBLE" UP JOISTS UNDER ALL MECH HVAC OR PLUMBING UNITS UON.
GC SHALL COORDINATE.

20. ALL EXTERIOR WALLS SHALL BE CONSIDERED BRACED WALLS AND SHALL BE CONSTRUCTED SO AS TO MEET THE REQUIREMENTS OF MASSACHUSETTS BUILDING CODE SECTION 2305.8, 23305.9 AND 2305.10.

21. SHEATHING INSTALLATION FOR BRACED WALLS: ALL VERTICAL JOINTS OF THE PANEL SHEATHING (WOOD OR GWB) SHALL OCCUR OVER STUDS, AND ALL HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING AT LEAST EQUAL IN SIZE TO STUDS.

IMMEDIATELY AFTER COMPLETION OF THE FLOATING OPERATIONS, TWO STEEL TROWELING OPERATIONS SHALL BE COMPLETED ON THE SLABS. CURING SHALL BE ACCOMPLISHED BY THE APPLICATION OF A CURING COMPOUND. THE CURING COMPOUND SHALL BE A CLEAR WATER-WHITE, RESIN-BASED, SOLVENT SOLUTION CONFORMING TO ASTM C-309, AND ITS APPLICATION SHALL BE IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

NON-SHRINK GROUT SHALL BE A CEMENT GROUT HAVING A MINIMUM COMPRESSIVE STRENGTH OF 5,000 POUND PER SQUARE INCH, AND SHALL BE AS MANUFACTURED BY FIVE STAR PRODUCTS, INC.

ACRYLIC ANCHORS SHALL CONSIST OF A307 THREADED RODS OR REINFORCING DOWELS ANCHORED TO BRICK MASONRY WITH AN EPON ACRYLIC 7 ADHESIVE AS MANUFACTURED BY ITW RAMSET/RED HEAD. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

DRILLED CONCRETE ANCHORS SHALL BE TRIBOLT WEDGE ANCHORS MANUFACTURED BY ITW RAMSET/RED HEAD, OR SIMILAR. WEDGE ANCHORS SHALL MEET THE PHYSICAL REQUIREMENTS OF THE FEDERAL SPECIFICATIONS FF-S-325 GROUP II, TYPE 4, CLASS 1, AND BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153, CLASS C. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

REINFORCING STEEL

DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI-315.

REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.

PROVIDE AND SCHEDULE WITH SHOP DRAWINGS ALL NECESSARY ACCESSORIES TO HOLD THE REINFORCING SECURELY AND ACCURATELY IN POSITION.

WHERE CONTINUOUS REINFORCING BARS ARE CALLED FOR INDICATED OR REQUIRED, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTING WALLS, LAPPED AT NECESSARY SPLICES (STAGGERED WHEREVER POSSIBLE) AND HOOKED AT DISCONTINUOUS ENDS. LAPPING OF REINFORCING IS NOT REQUIRED FOR THIS PROJECT AND SHALL NOT BE USED WITHOUT THE APPROVAL OF THE ENGINEER.

STRUCTURAL STEEL

FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN AND THE CODE OF STANDARD PRACTICE OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION STRUCTURAL STEEL SHALL BE NEW STRUCTURAL CARBON STEEL CONFORMING TO THE FOLLOWING ASTM DESIGNATIONS:

- ASTM A36
- ASTM A500, GRADE B, HSS
- ASTM A53, GRADE B, PIPE

WELDING SHALL BE PERFORMED BY ONLY CERTIFIED WELDERS, AND SHALL CONFORM TO THE SPECIFICATIONS OF THE AMERICAN WELDING SOCIETY AWS D.1.1

WELDING ELECTRODES SHALL BE LOW HYDROGEN, E70XX SERIES CONFORMING TO AWS A5.1 "SPECIFICATIONS FOR MILD STEEL COVERED ARC WELDING ELECTRODES".

6 CARDINGTON STREET, WARD 11

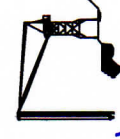
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Project No:
190702

Drawn By:
L.A.
Checked By:
L.A.
Scale:
1/8" = 1'

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GENERAL NOTES



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