

PROPOSED CHANGE OF USE ADDITION & RENOVATION

12 CENTRE AVENUE, DORCHESTER, MASSACHUSETTS

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL WARRANT HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT. FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3". AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
3. ALL CONCRETE SLABS SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

STEEL NOTES:

1. ALL COLUMNS: A36, STEEL PIPE, A46 STEEL TUBE.
2. BOLTS: A325, ANCHOR BOLTS: A307.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

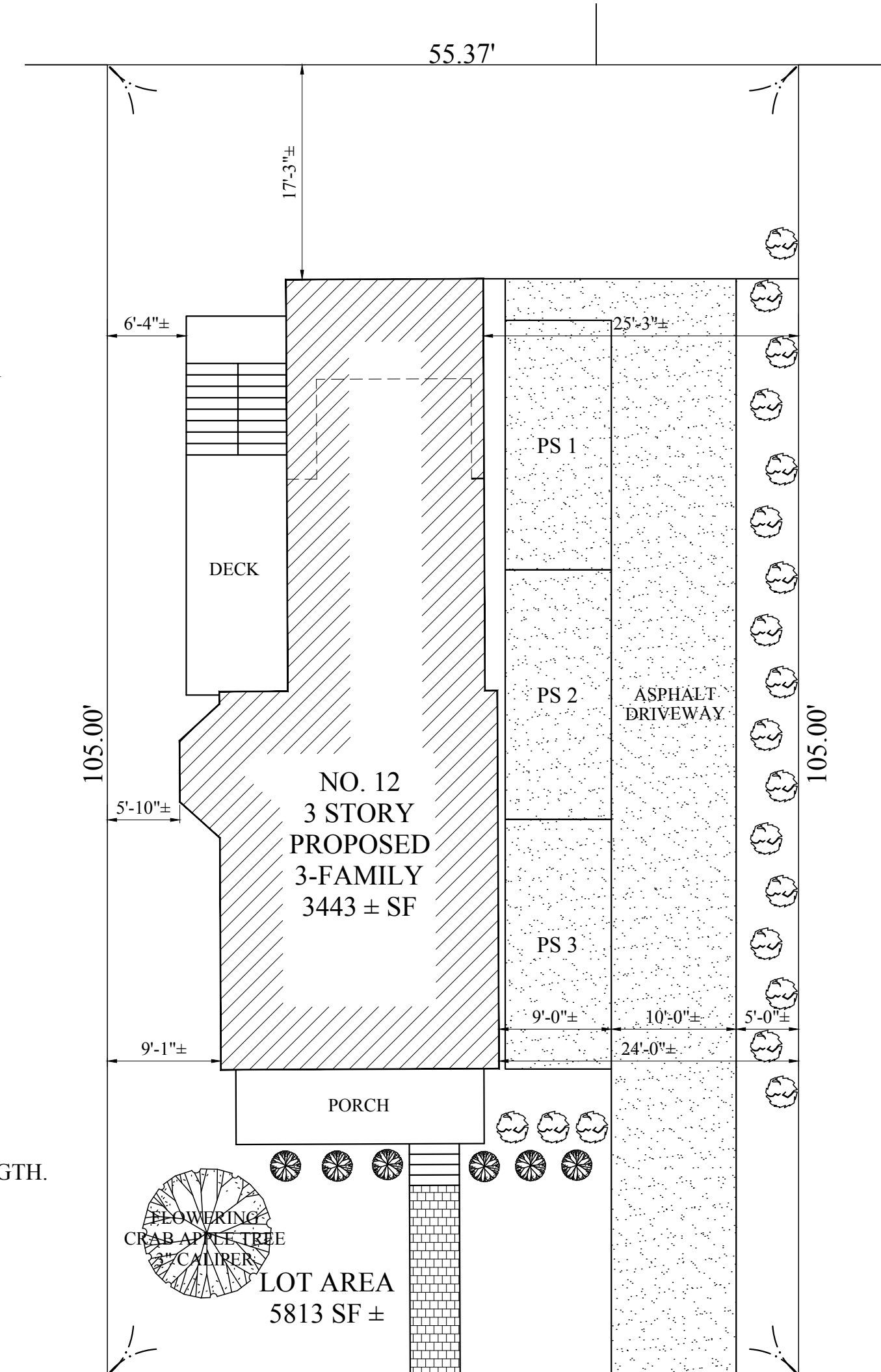
REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OF HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT A REPRODUCIBLE SEPIA AND FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - A. FOOTINGS 3 INCHES
 - B. SIDES OF FOUNDATIONS WALLS.
EXPOSED FACES OF FOUNDATIONS.
SIDES OF COLUMNS/PIERS, SLABS
ON GRADE FROM TOP SURFACE 2 INCHES
 - C. INTERIOR FACES OF FOUNDATIONS,
TOP REINFORCING IN SLABS EXPOSED
TO THE WEATHER 1-1/2 INCHES
 - D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM: FB=1,200 PSI, FV=140 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM: FB=2,600 PSI, FV=285 PSI, E=1,900,000 PSI.
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3" CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT 45°, SIMPSON TYPE "CWB", OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" DIAMETER BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

PLANTING SCHEDULE	
SYMBOL	NAME
	DAY LILIES ASSORTED COLORS
	HOSTA
	ARBORVITAE 3' TALL MINIMUM
	HYDRANGEA 3' TALL MINIMUM
	GRASS AREA



CENTRE AVENUE

PROPOSED LANDSCAPE PLAN
1/10" = 1'-0"

KEY

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- 1 HOUR WALL
- FAN
- 45 MIN. DOOR
- 1-1/2 HOUR DOOR
- WINDOW TYPE
- 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- NEW WALL
- EX'G WALL TO REMAIN
- WALL TO BE REMOVED

ZONING SUMMARY

ZONING CODE ANALYSIS

Article 65 - Dorchester
sub-district- 3F-D-3000

Use Regulations: Section Table

Existing	Proposed
2F	3F - Allowed

Dimensional Regulations: Table

Any Other Use	Code Requirement		Existing Condition	Proposed Project	Notes
	Use 1	Any Other Use			
Lot Area Minimum	3000 SF				
Min Lot Area for Additional Units	N/A				
Total Required Lot Size	3000 SF	5813 SF	5813 SF		
Min Required Lot Width and Frontage	30'	55.37'	55.37'		
Max FAR	1.3	0.45	0.6		
Max Building Height / Stories	3 Stories / 40'	3 Stories / 33'	3 Stories / 33'		
Usable Open Space	1003 SF / UNIT	1800 SF / UNIT	1069 SF / UNIT		
Min Front Yard	5' / MODAL	18.5'	18.5'		
Min Side Yard	5'	9' / 24'	6.3' / 25.2'		
Min Rear Yard	15'	25.2'	17.2'		
Max Use of Rear Yard	20%				

Overlays:

NDOD

Other Non-Dimensional Zoning Issues:

Req'd Parking - 1 space for add'l unit

CODE SUMMARY

EX'G TYPE 5 CONSTRUCTION
EX'G R-3 USE GROUP (TWO-FAMILY)
PROPOSED R-2 (THREE-FAMILY)
EX'G 3 STORIES
PROPOSED 3 STORIES
PROPOSED FULLY SPRINKLERED & ALARMED
ZONE: 3F-D-3000

SOIL TESTING

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM AS DESIGNED IS BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. SOIL BORINGS SHOULD BE PERFORMED TO VERIFY THAT THE MINIMUM DESIGN BEARING CAPACITIES ARE ACHIEVABLE. IF A SUITABLE SOIL THAT CAN NOT WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THAN THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

Location

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ADDITION & RENOVATION
12 CENTRE AVENUE
DORCHESTER, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

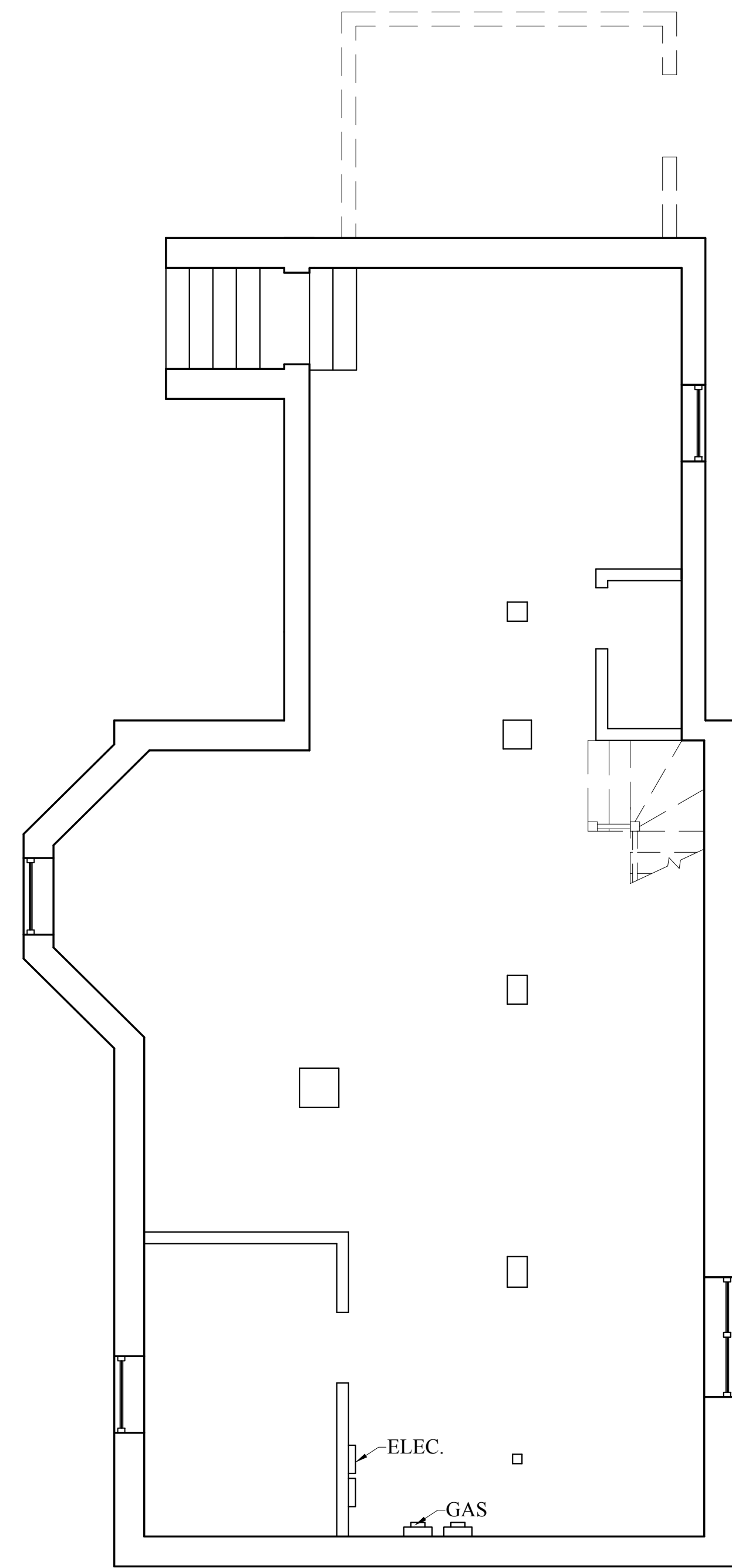
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Scale: AS NOTED
Date: 11-16-16
Drawn By: DF

Drawing Name

COVER SHEET

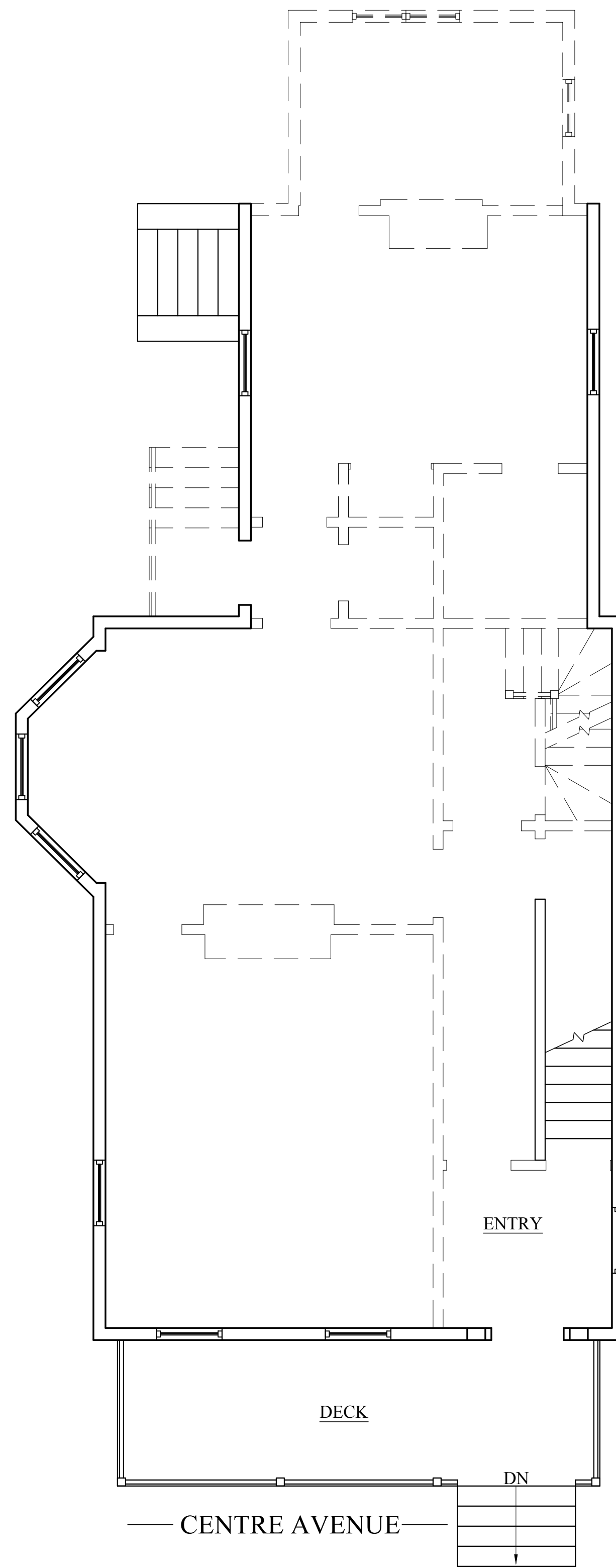
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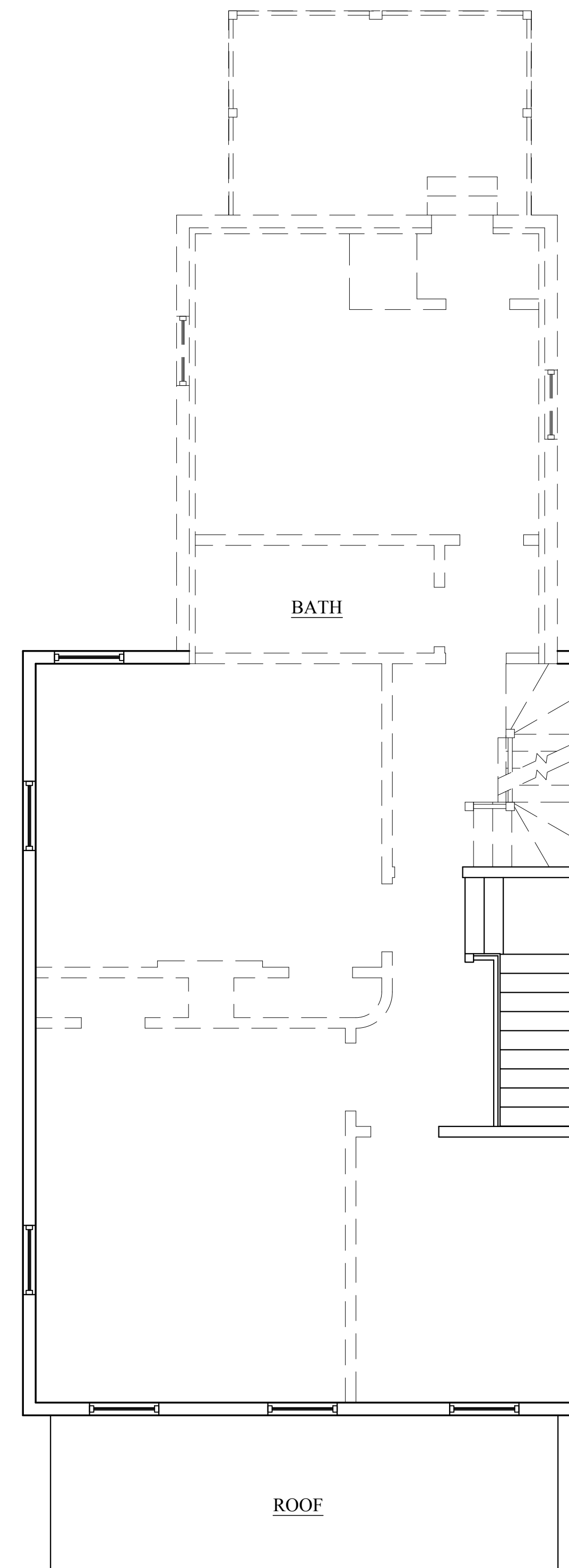
— CENTRE AVENUE —

1 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



— CENTRE AVENUE —

2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



— CENTRE AVENUE —

3 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

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**PROPOSED CHANGE OF USE
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 12 CENTRE AVENUE
 DORCHESTER, MA 02124**

**Choo
 & Company, Inc.**

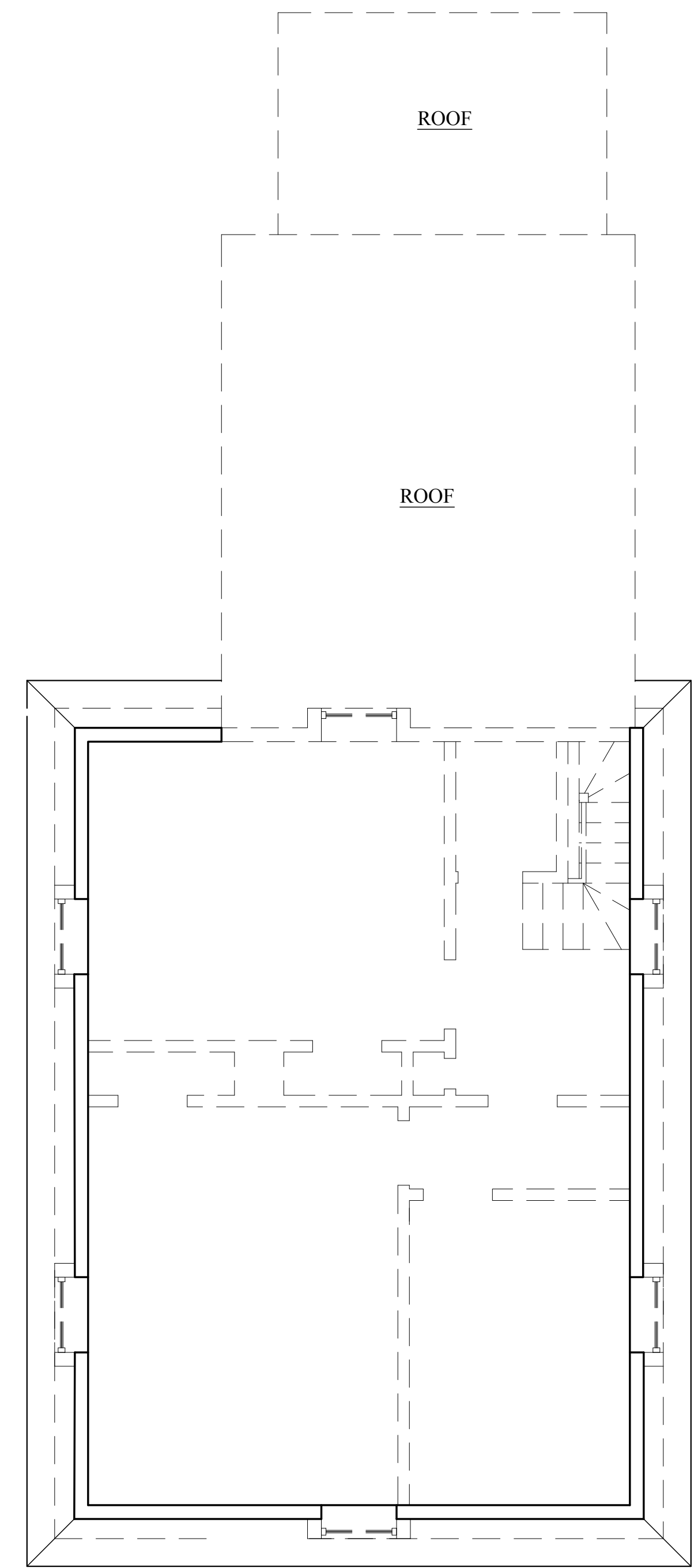
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Drawing Name
**EXISTING
 FLOOR PLANS**

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D-1.1



— CENTRE AVENUE —

4 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"

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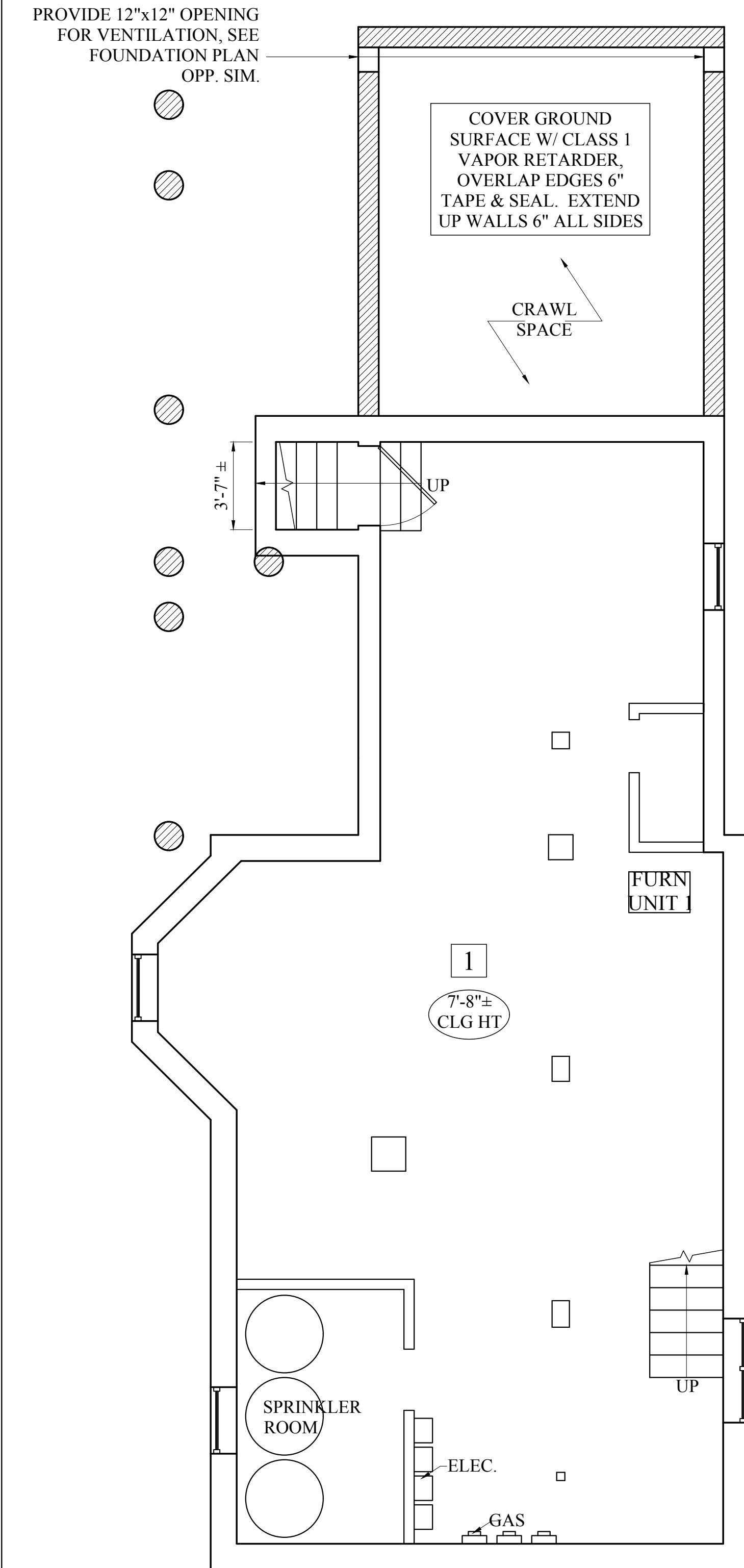
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GENERAL NOTES

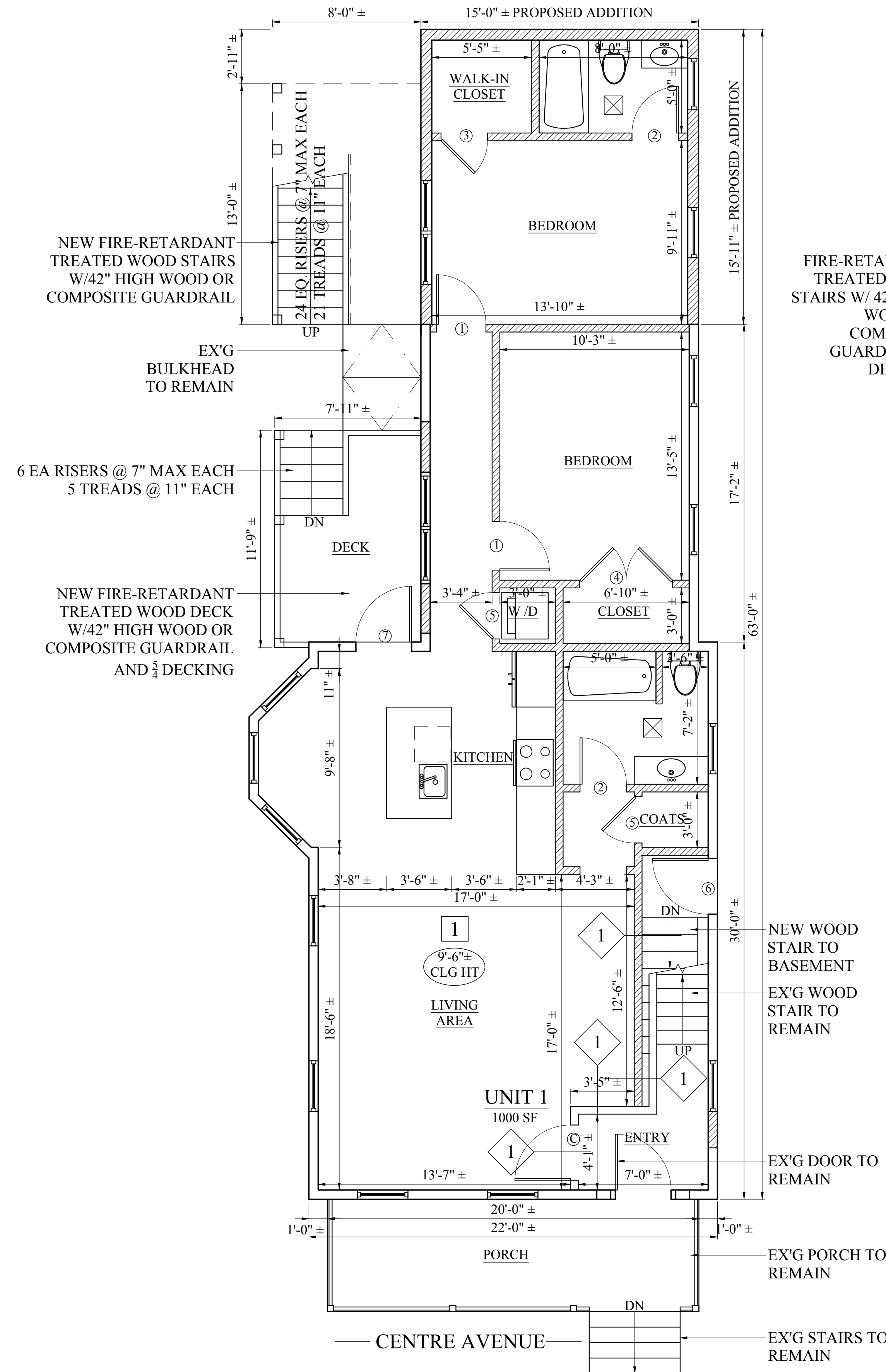
1. PROVIDE R-30 INSULATION IN ALL NEW AND EXPOSED FLOOR JOIST CAVITIES.
2. PROVIDE R-21 INSULATION IN ALL NEW AND EXPOSED EXTERIOR STUD WALL CAVITIES.
3. PROVIDE R-49 INSULATION IN ALL NEW AND ROOF JOIST CAVITIES, TYPICAL.

NOTE: ENERGY CODE COMPLIANCE

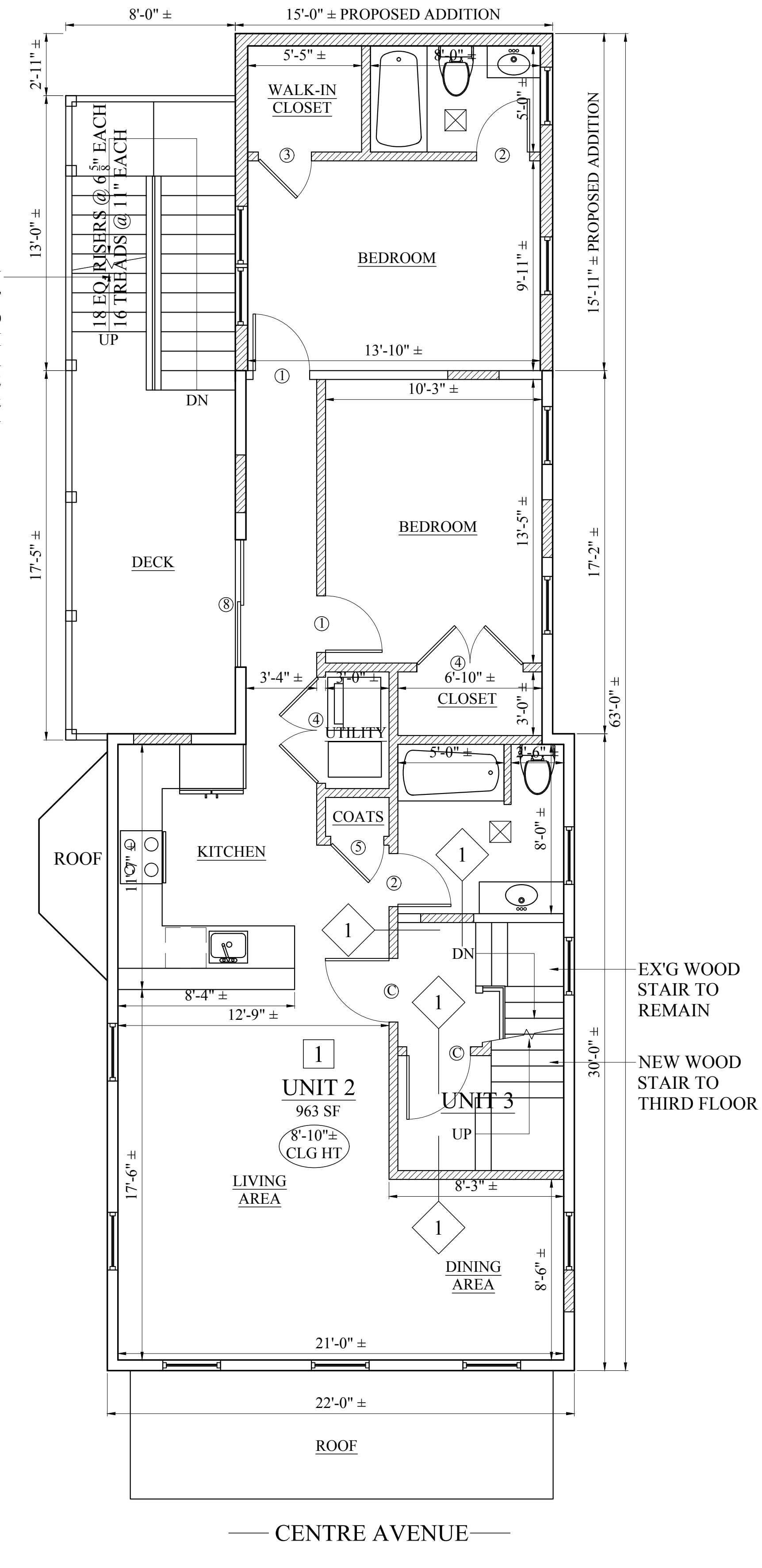
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HER'S RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.



1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"

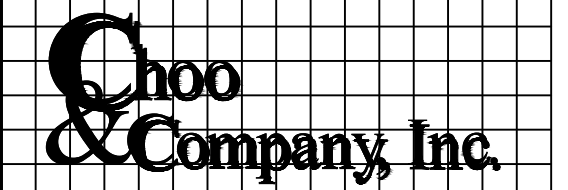


2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

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A-1.1

DOOR SCHEDULE

NOTE: GC TO CONFIRM SIZES & QUANTITIES PRIOR TO ORDERING

NO.	SIZE	MATERIAL	RATING	FRAME	TYPE	HARDWARE	REMARKS
C	3'-0" x 6'-8" x 1 3/4"	COMP. OR WOOD	45 MIN.	WOOD	45 MIN.	ENTRANCE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT
1	2'-8" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	BED / BATH	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
2	2'-6" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	BED / BATH	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
3	2'-6" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	STORAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
4	(2)2'-6" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	SINGLE DUMMY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
5	2'-6" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	WOOD	-	SINGLE DUMMY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE SELECTED BY OWNER
6	3'-0" x 6'-8" x 1 3/4"	FBGLS	-	WOOD	-	ENTRANCE	PANEL DOOR, PAINTED, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT
7	3'-0" x 6'-8" x 1 3/4"	FBGLS & GLASS	-	WOOD	-	ENTRANCE	FULL LIGHT DOOR, PAINTED, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT
8	6'-0" x 6'-8" x 1 3/4"	WOOD CLD & GLASS	-	WOOD	-	PATIO DOOR	ANDERSEN 400 SERIES, PROVIDE MULTI-POINT LOCK

NOTE: DOOR STYLE, COLOR & HARDWARE FINISH TO BE SELECTED BY OWNER. ALL HARDWARE TO MATCH

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3. PROVIDE R-49 INSULATION IN ALL NEW AND ROOF JOIST CAVITIES, TYPICAL.

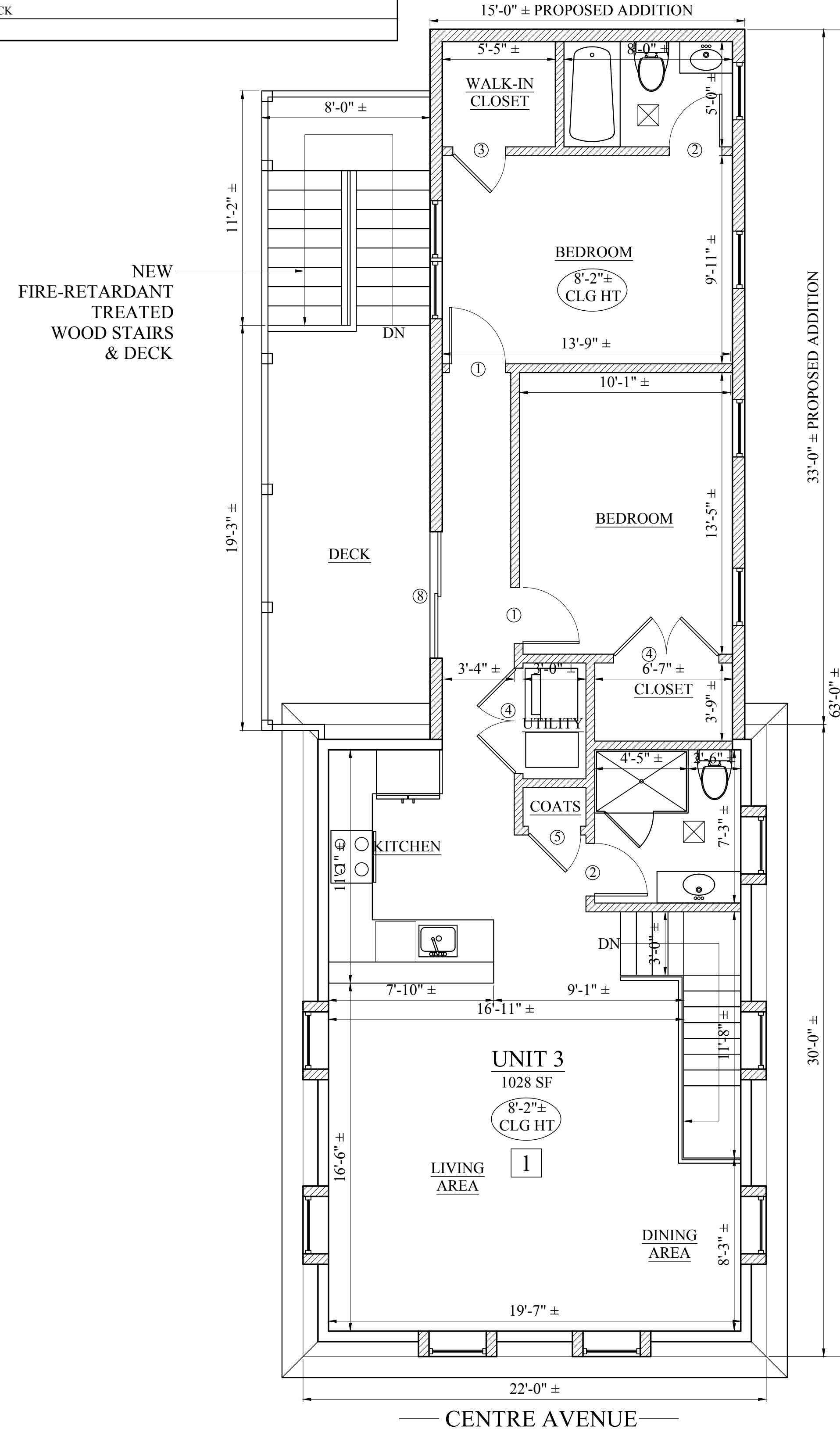
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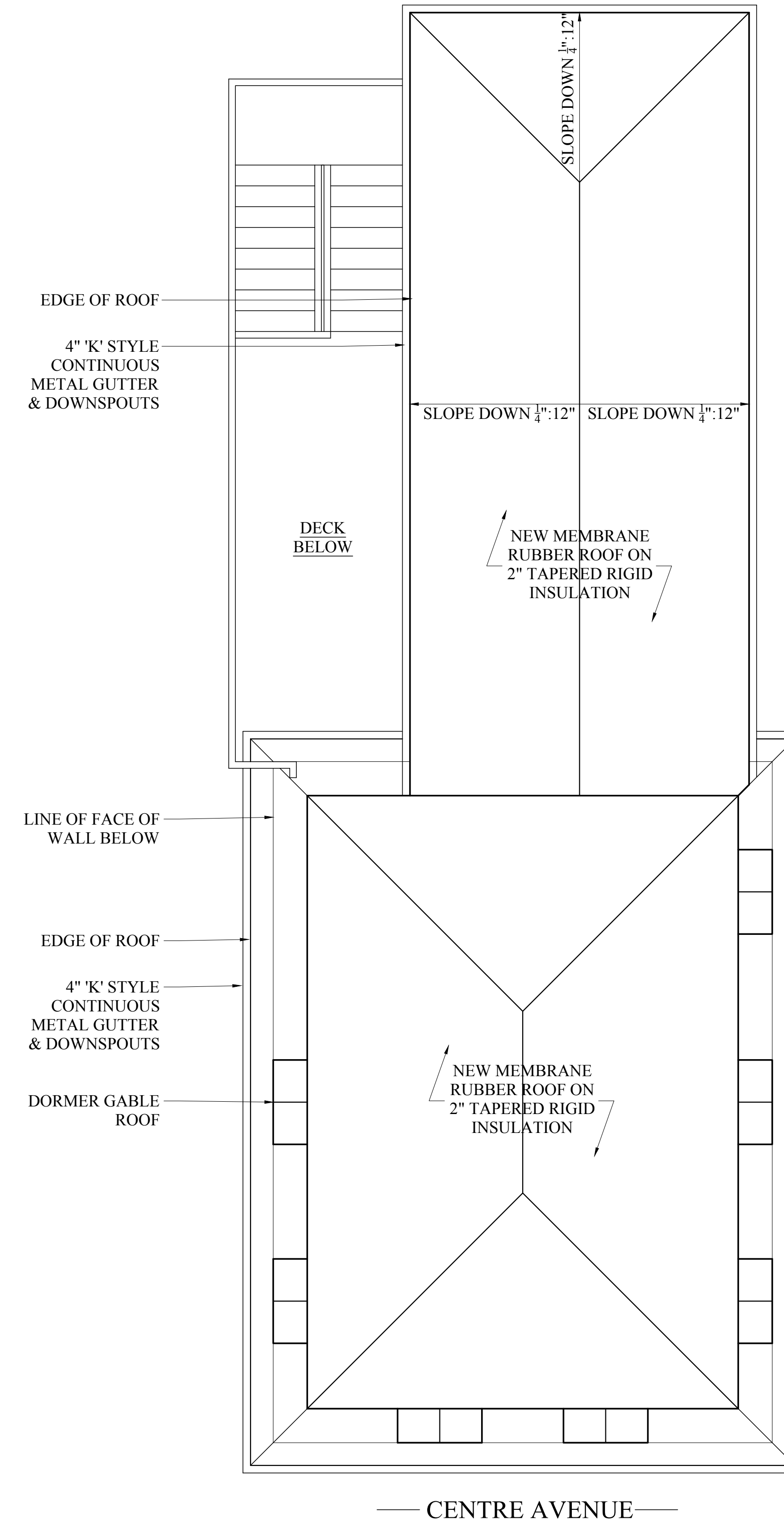
WINDOW SCHEDULE

NOTE: GC TO CONFIRM SIZES & QUANTITIES PRIOR TO ORDERING

NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS	* GC IS RESPONSIBLE FOR VERIFYING SIZE & QUANTITY IN THE FIELD PRIOR TO ORDERING. PROVIDE: HALF SCREENS ON TRACKS, EX.G. COLOR, HARDWARE TO BE SELECTED BY OWNER
A	ANDERSEN OR EQUAL	TW2862	7	2'-10 1/8" x 6'-4 7/8"	DOUBLE HUNG UNIT, 1 LITE OVER 1, SOME UNITS TO BE FIELD MULLED, REFER TO ELEVATIONS	
B	ANDERSEN OR EQUAL	TW26210	5	2'-8 1/8" x 3'-0 7/8"	DOUBLE HUNG UNIT, 1 LITE OVER 1	
C	ANDERSEN OR EQUAL	TW2846	12	2'-10 1/8" x 4'-8 7/8"	DOUBLE HUNG, 1 LITE OVER 1, SOME UNITS TO BE FIELD MULLED, REFER TO ELEVATIONS	
D	ANDERSEN OR EQUAL	TW2856	6	2'-10 1/8" x 5'-8 7/8"	DOUBLE HUNG UNIT, 2 LITES OVER 1, WHITE EXTERIOR, SOME UNITS TO BE FIELD MULLED, REFER TO ELEVATIONS	



1 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED ROOF PLAN
1/4" = 1'-0"

Location
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PROPOSED FLOOR PLANS

Sheet No.
A-1.2



3 SOUTH ELEVATION
1/4" = 1'-0"

4 EAST ELEVATION
1/4" = 1'-0"

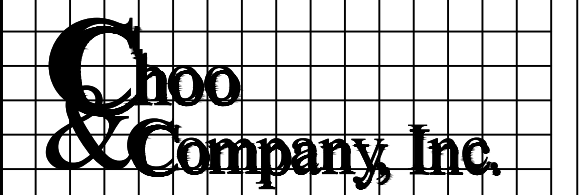


1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

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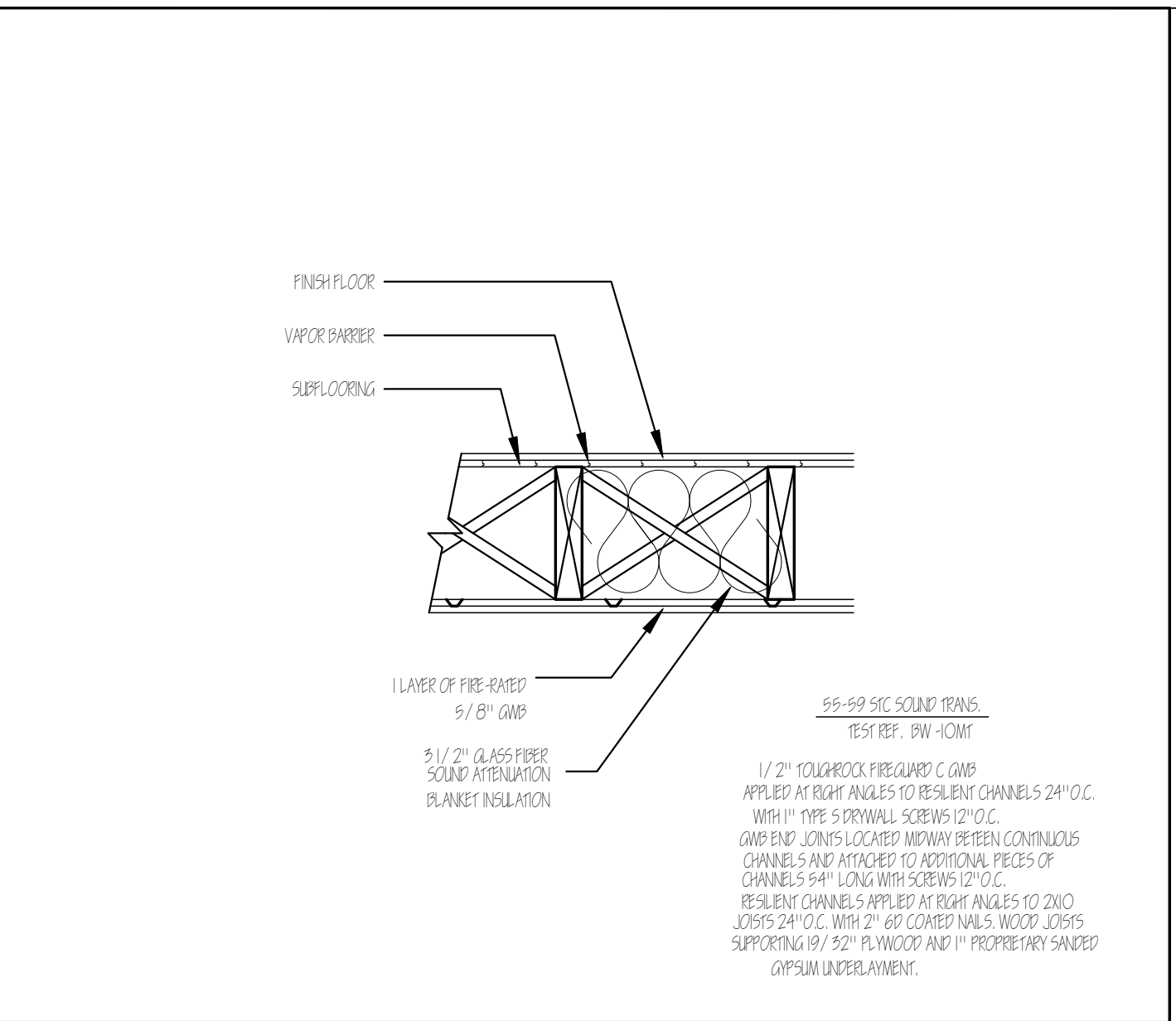
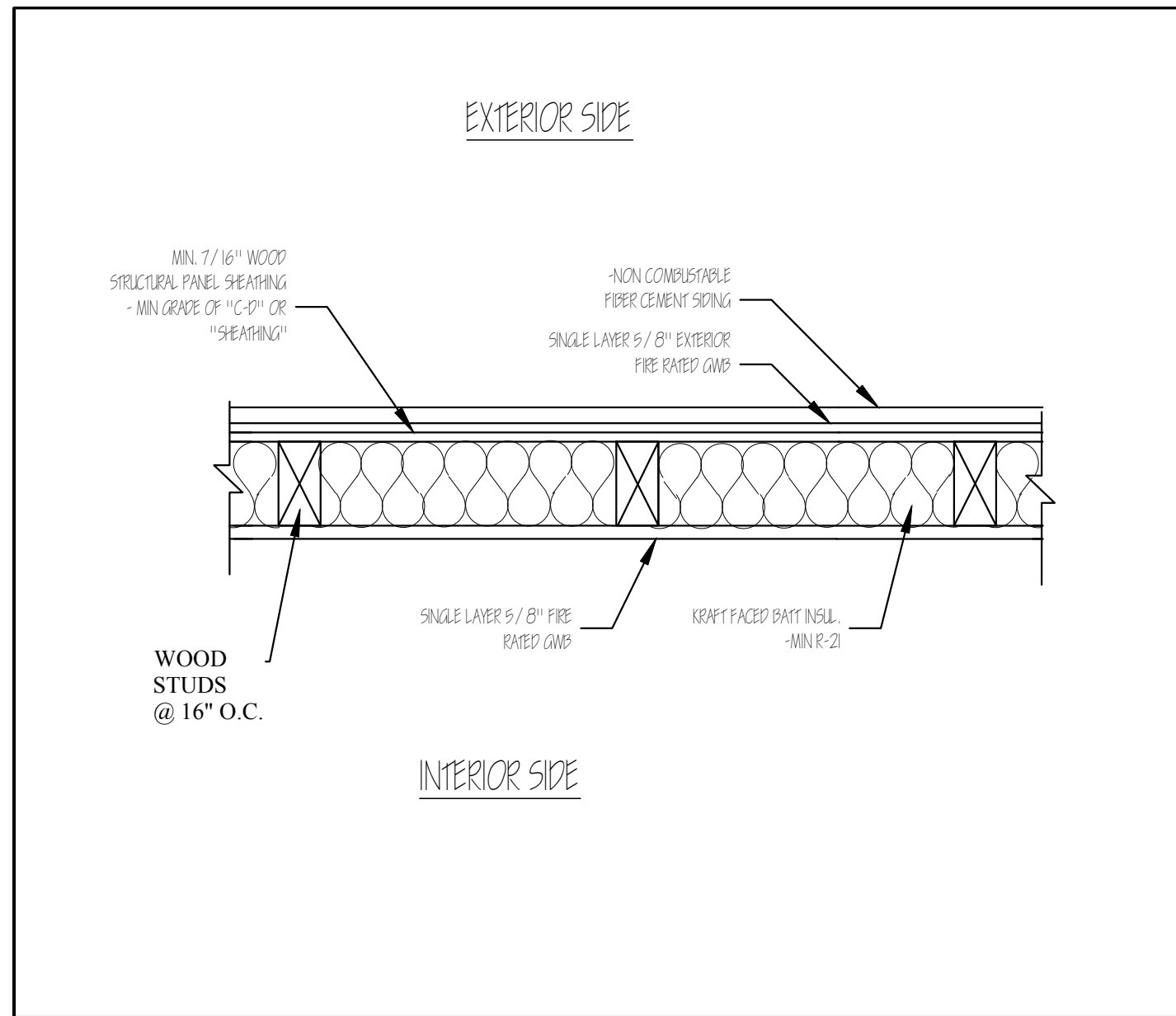
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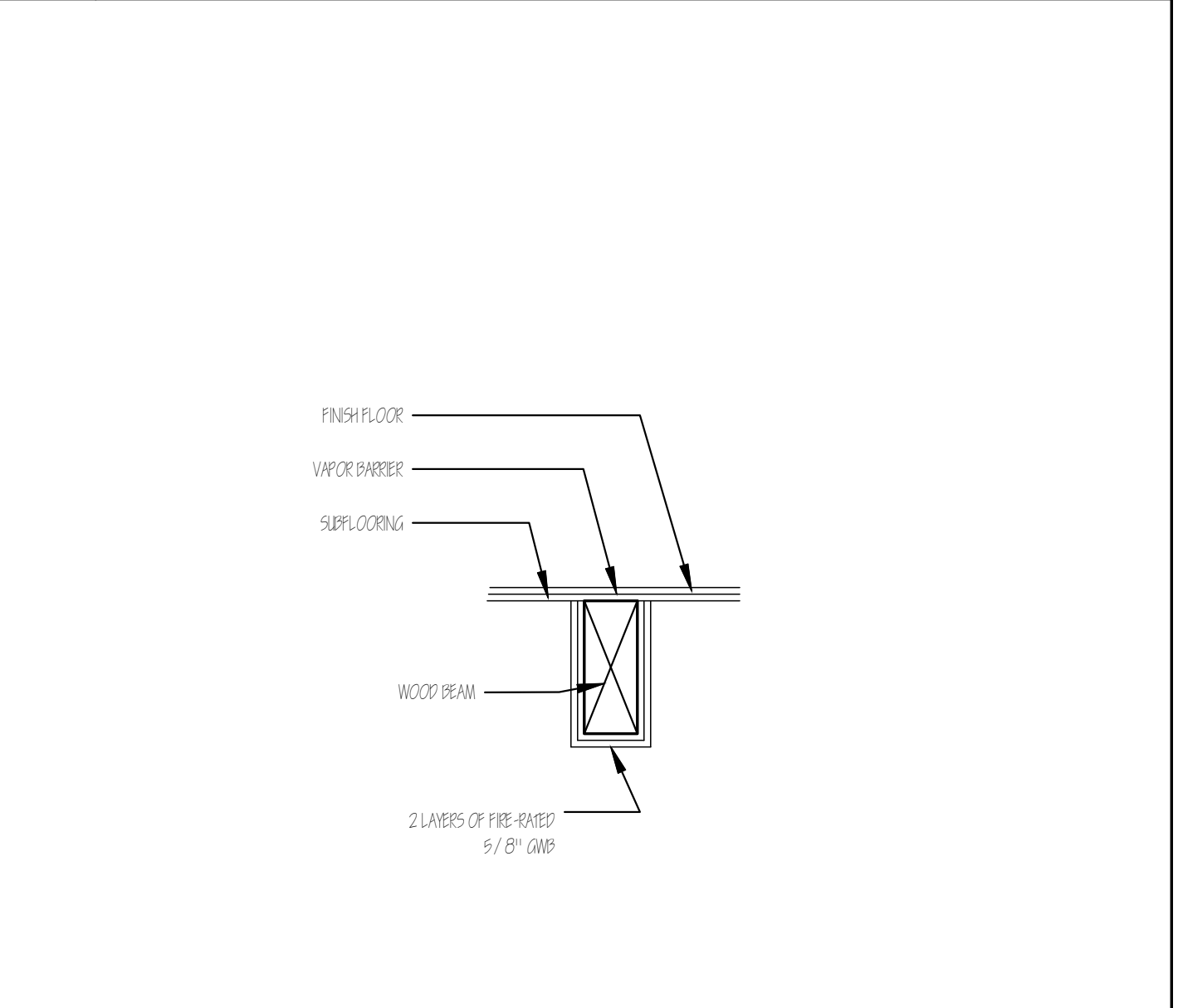
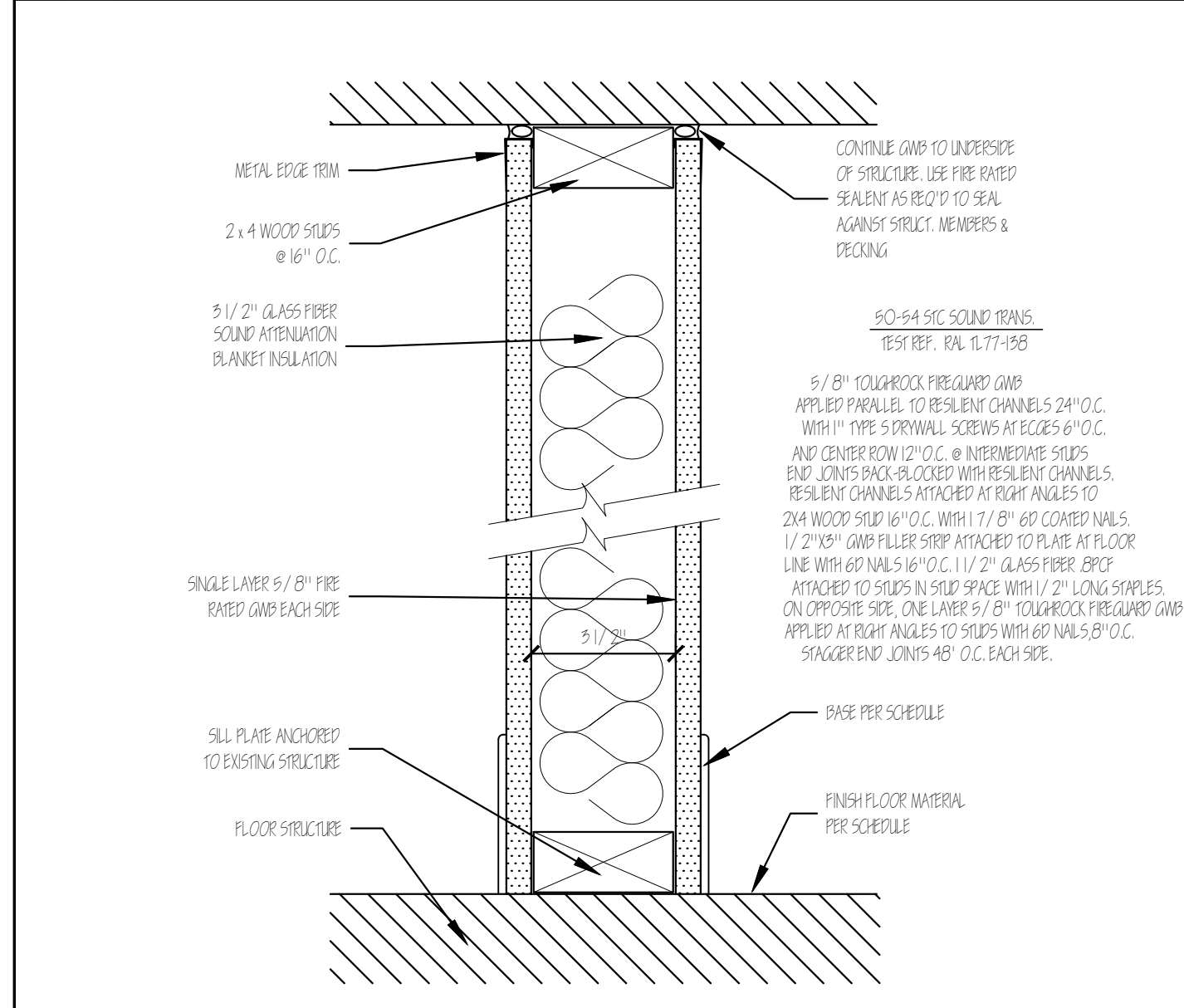
Drawing Name
**PROPOSED
 ELEVATIONS**

Sheet No.
 A-2.1



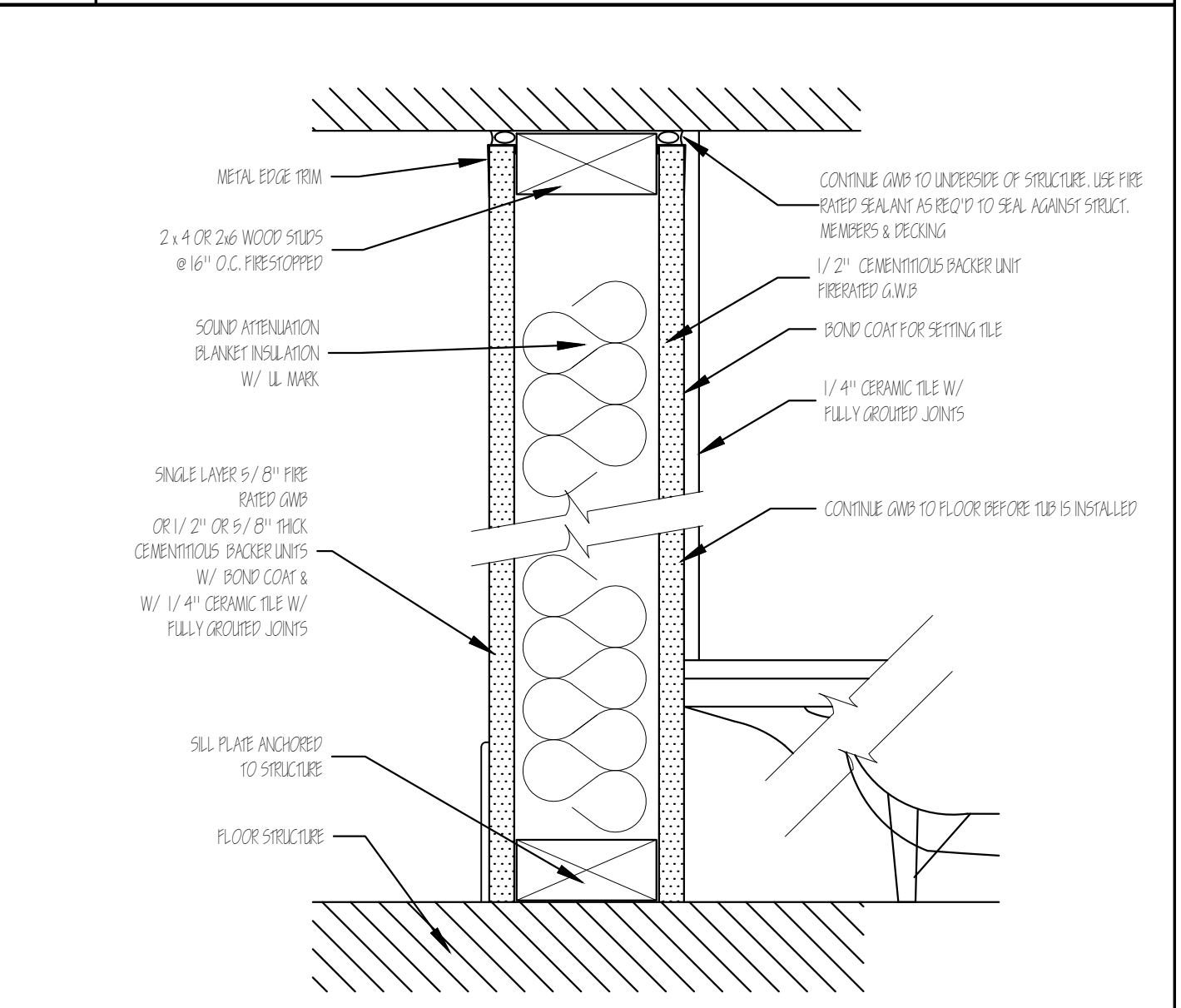
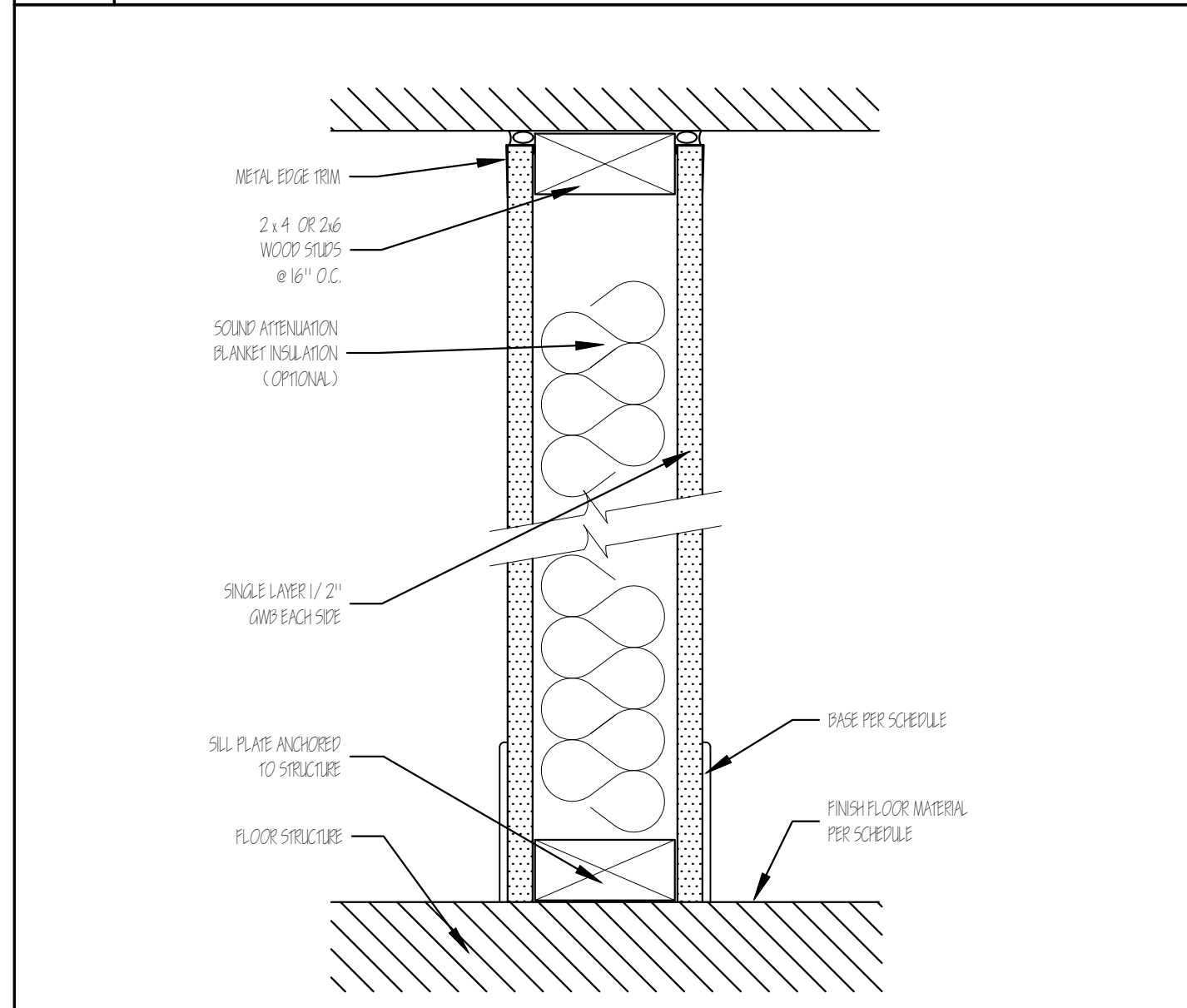
1 HOUR - EXTERIOR BEARING WALL (U503) (RATED BOTH SIDES)
SCALE: 1/4" = 1'-0"

1 HOUR CEILING - L535
SCALE: 1/4" = 1'-0"



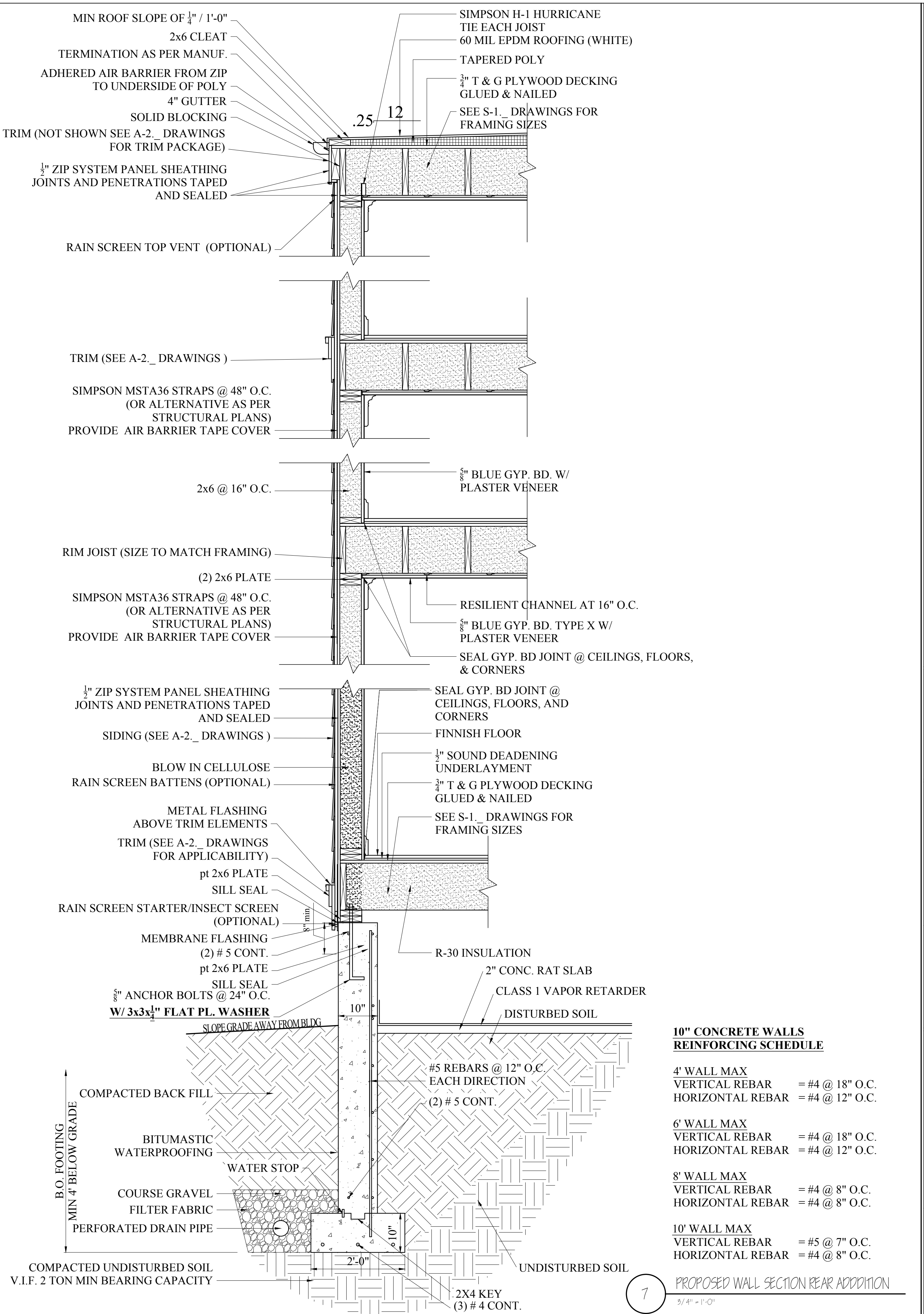
1 HOUR PARTITION - WOOD STUD DESIGN # U504
SCALE: 3/4" = 1'-0"

DETAIL
SCALE: 1/4" = 1'-0"



TYPICAL PARTITION - WOOD STUD
SCALE: 3/4" = 1'-0"

1 HOUR PARTITION - WOOD STUD DESIGN # U529
SCALE: 3/4" = 1'-0"



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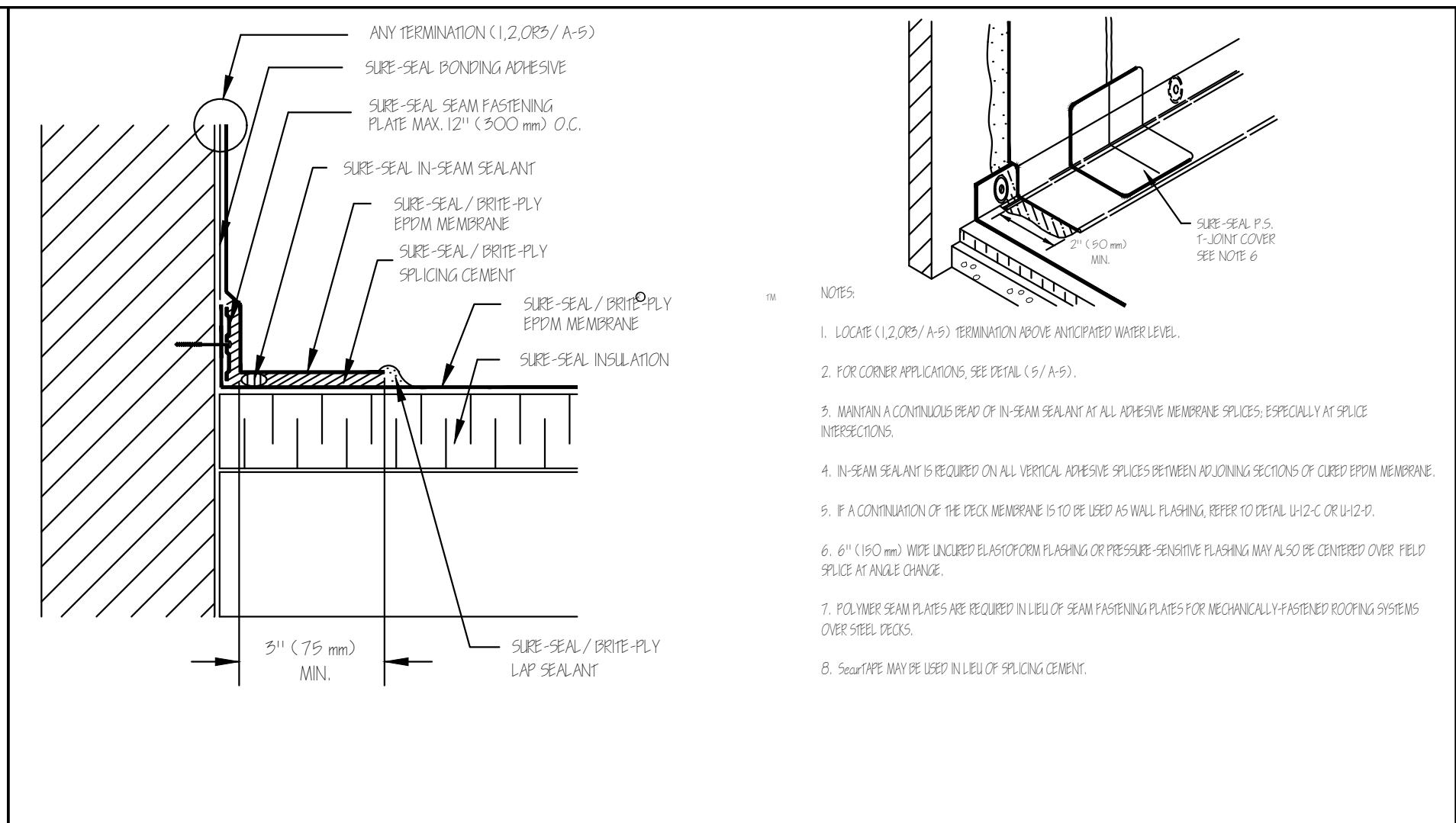
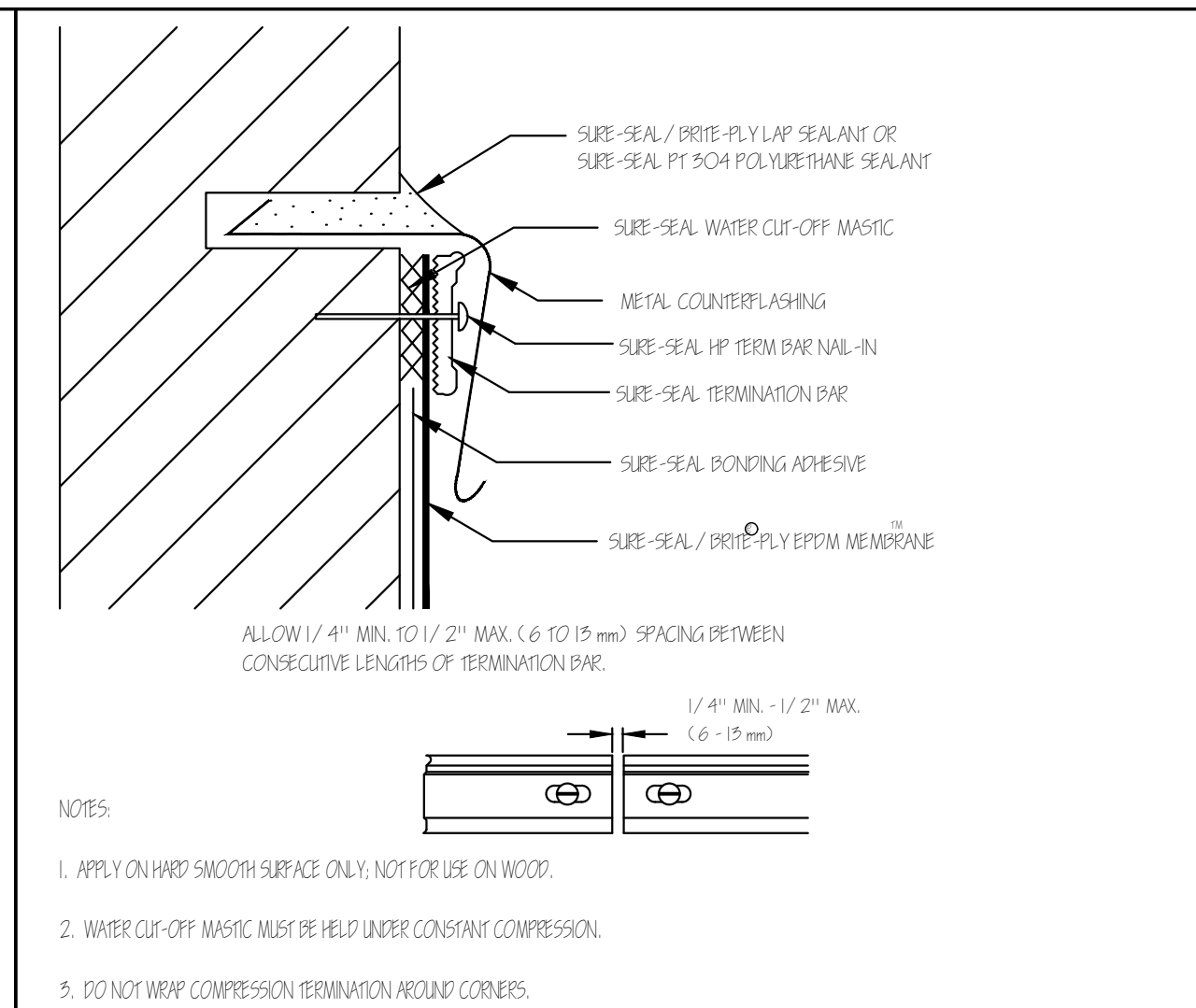
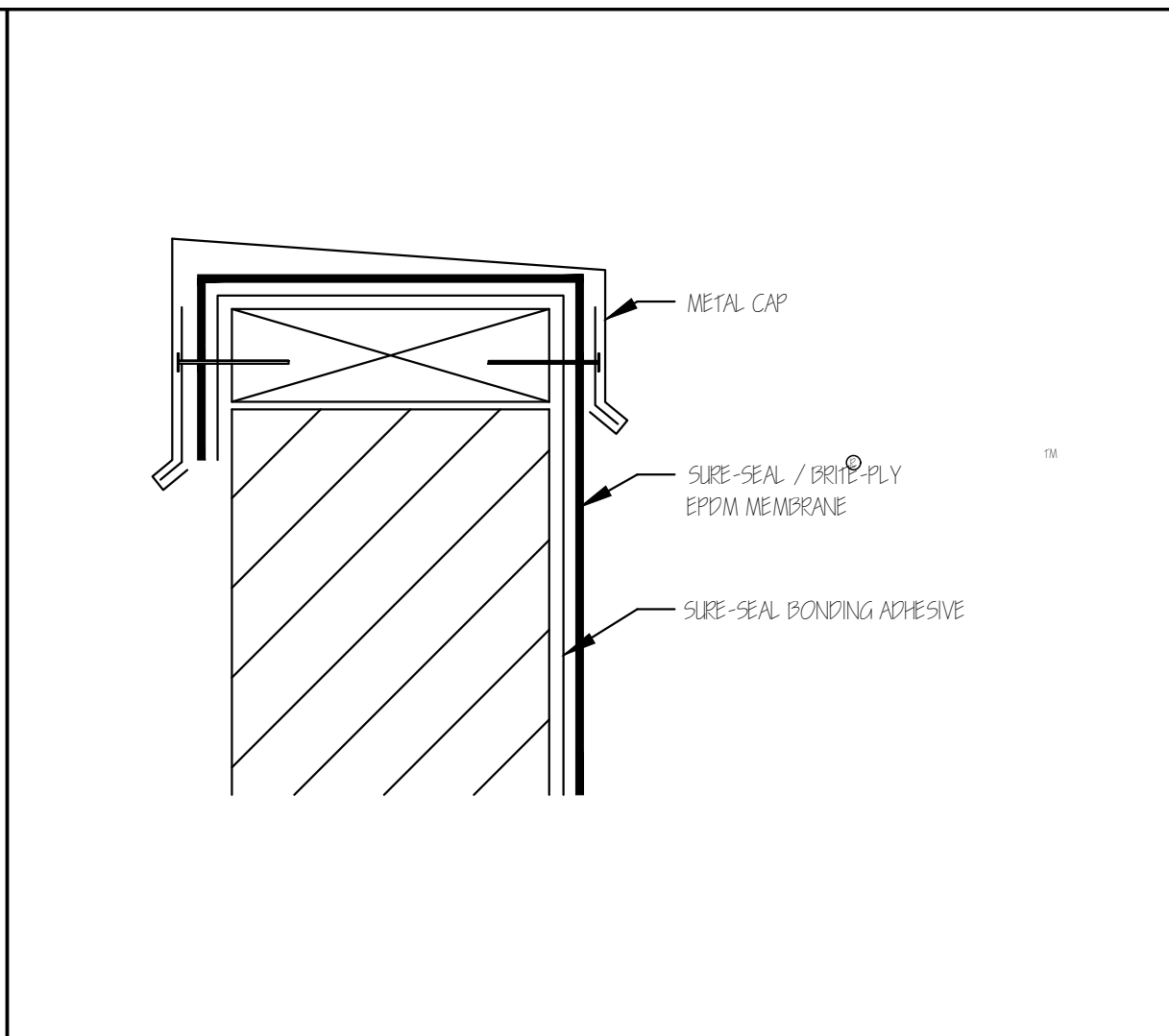
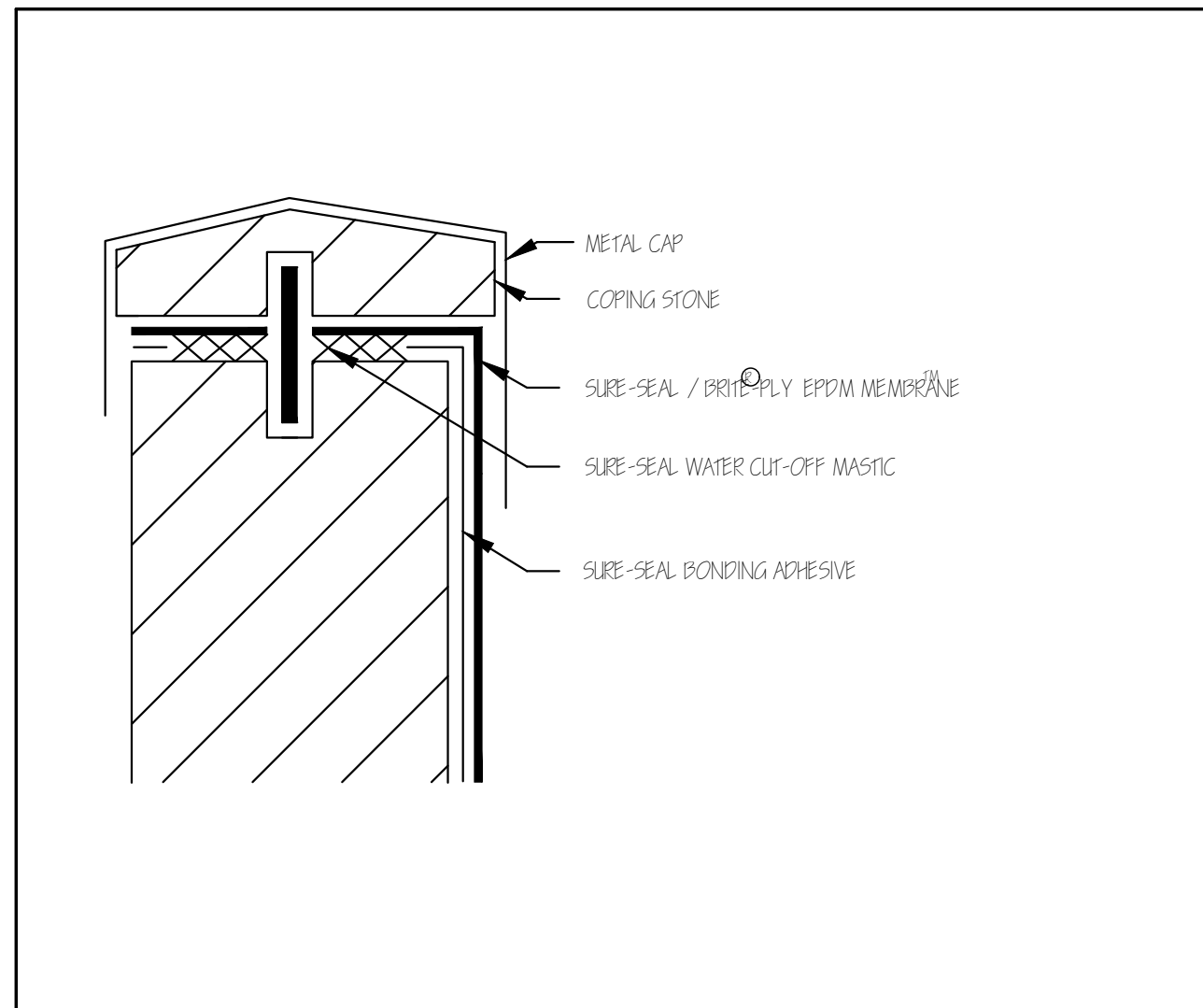
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Drawing Name

WALL TYPES & WALL SECTION

Sheet No.

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COPING STONE TERMINATION

1
○ NOT USABLE PANEL INCORPORATED

CAP FLASHING TERMINATION

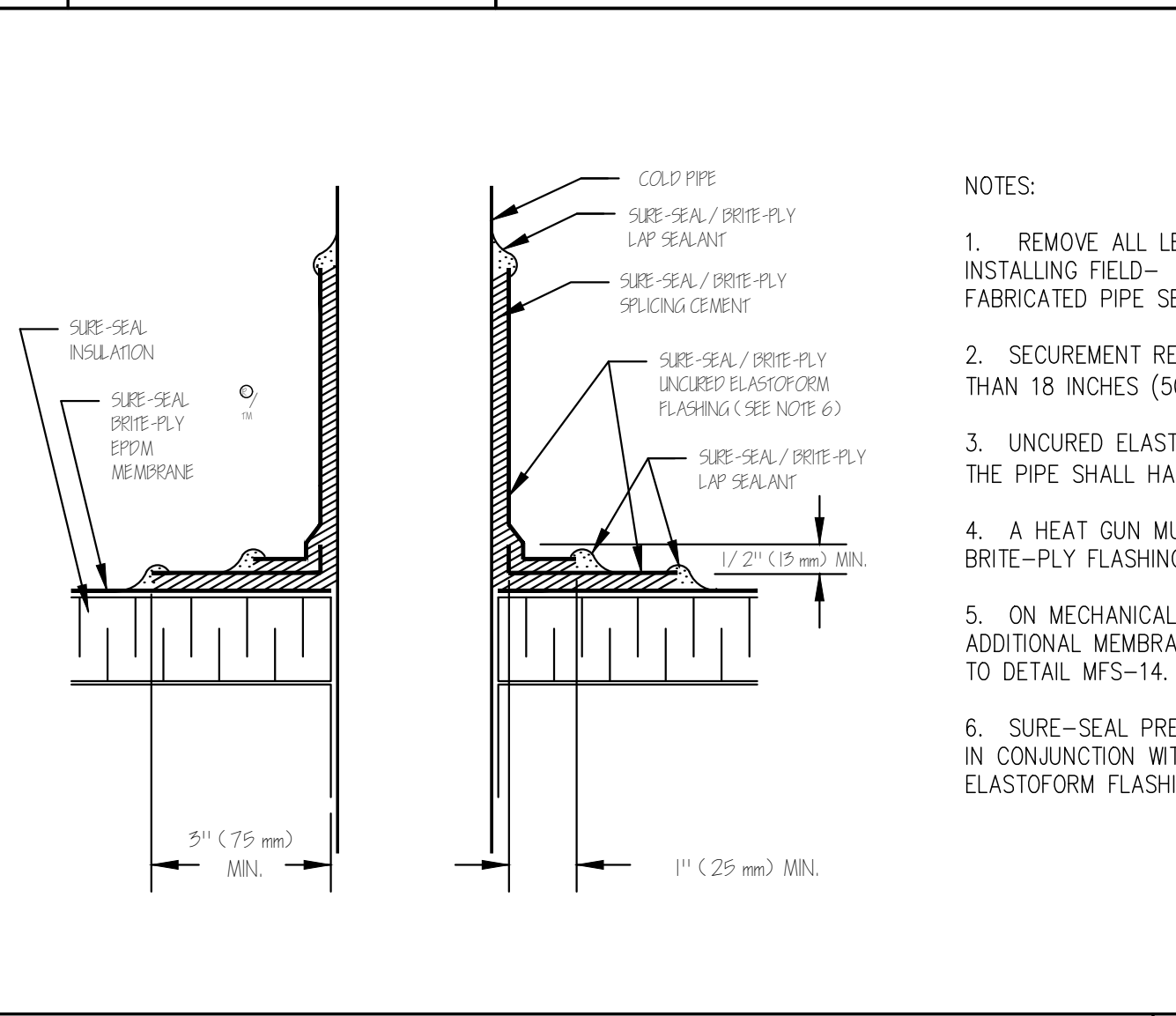
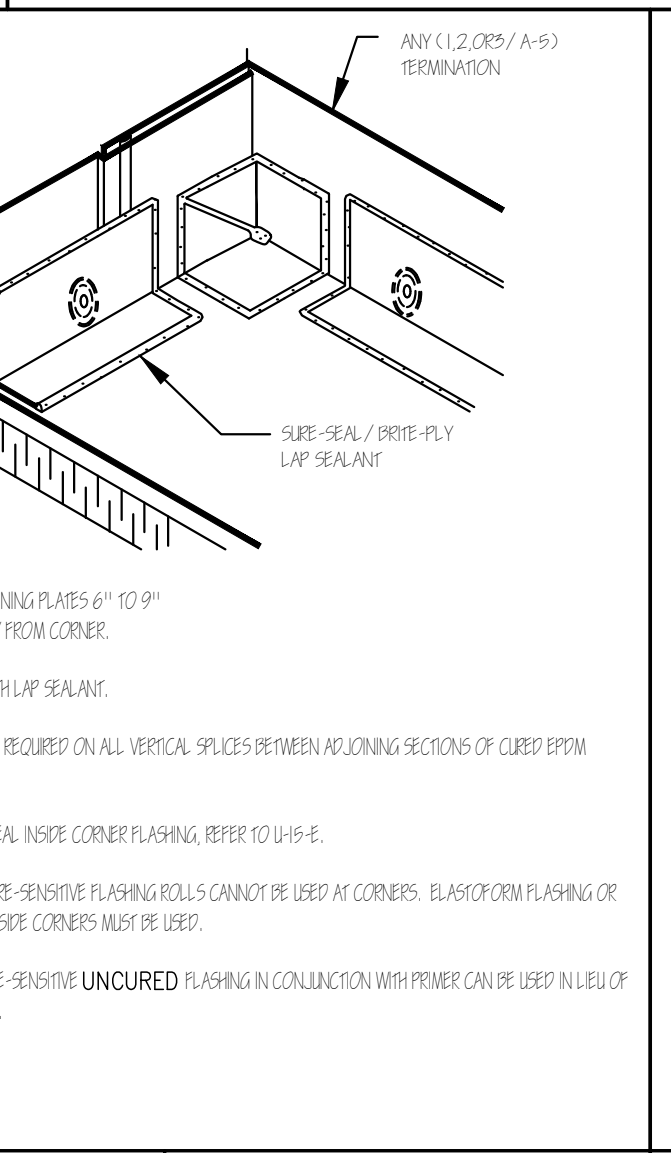
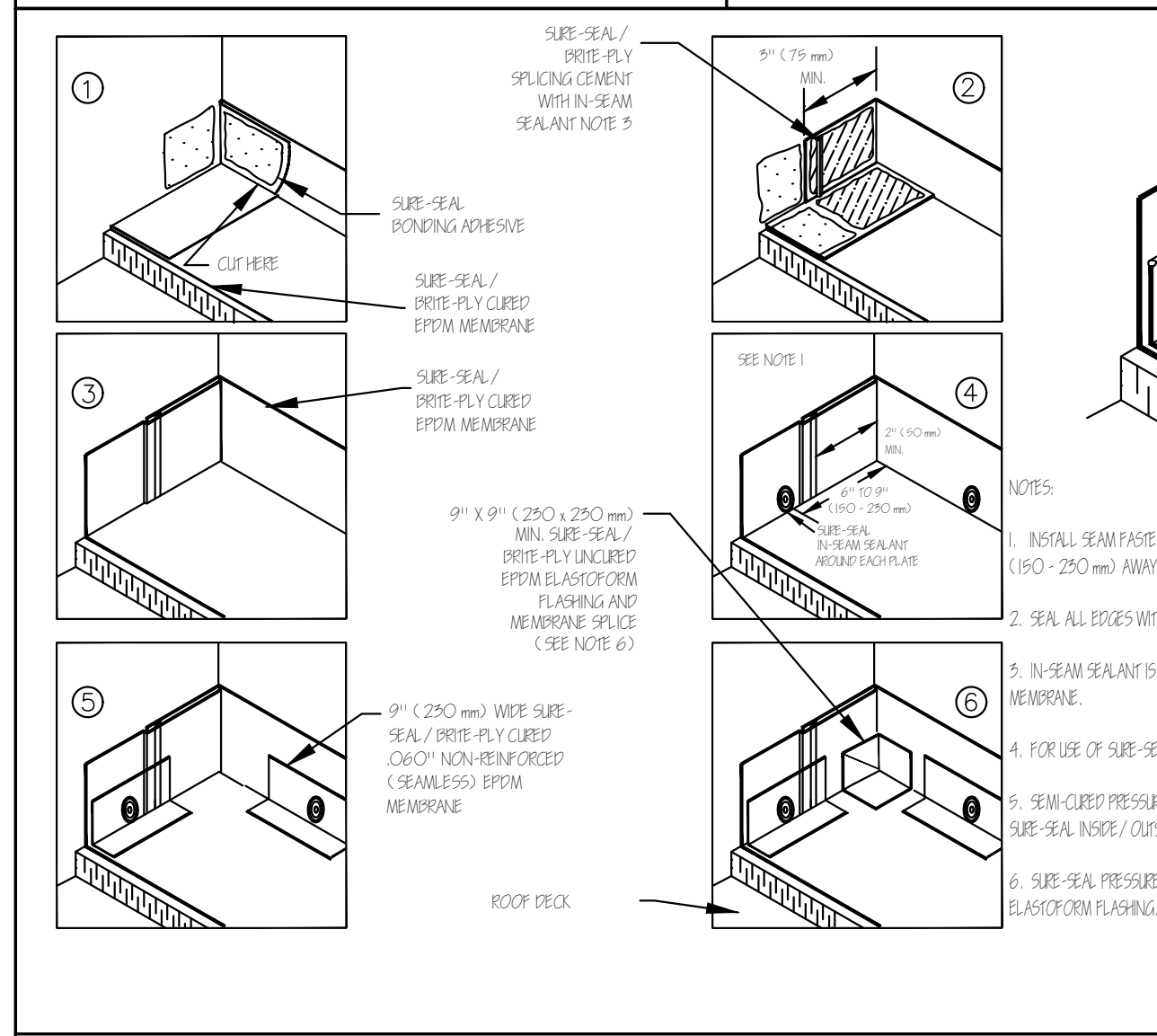
2
○ NOT USABLE PANEL INCORPORATED

COUNTERFLASHING TERMINATION

3
○ NOT USABLE PANEL INCORPORATED

PARAPET/CURB CURED EPDM

4
○ NOT USABLE PANEL INCORPORATED



INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

MEMBRANE SPLICE WITH SPLICING CEMENT

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INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

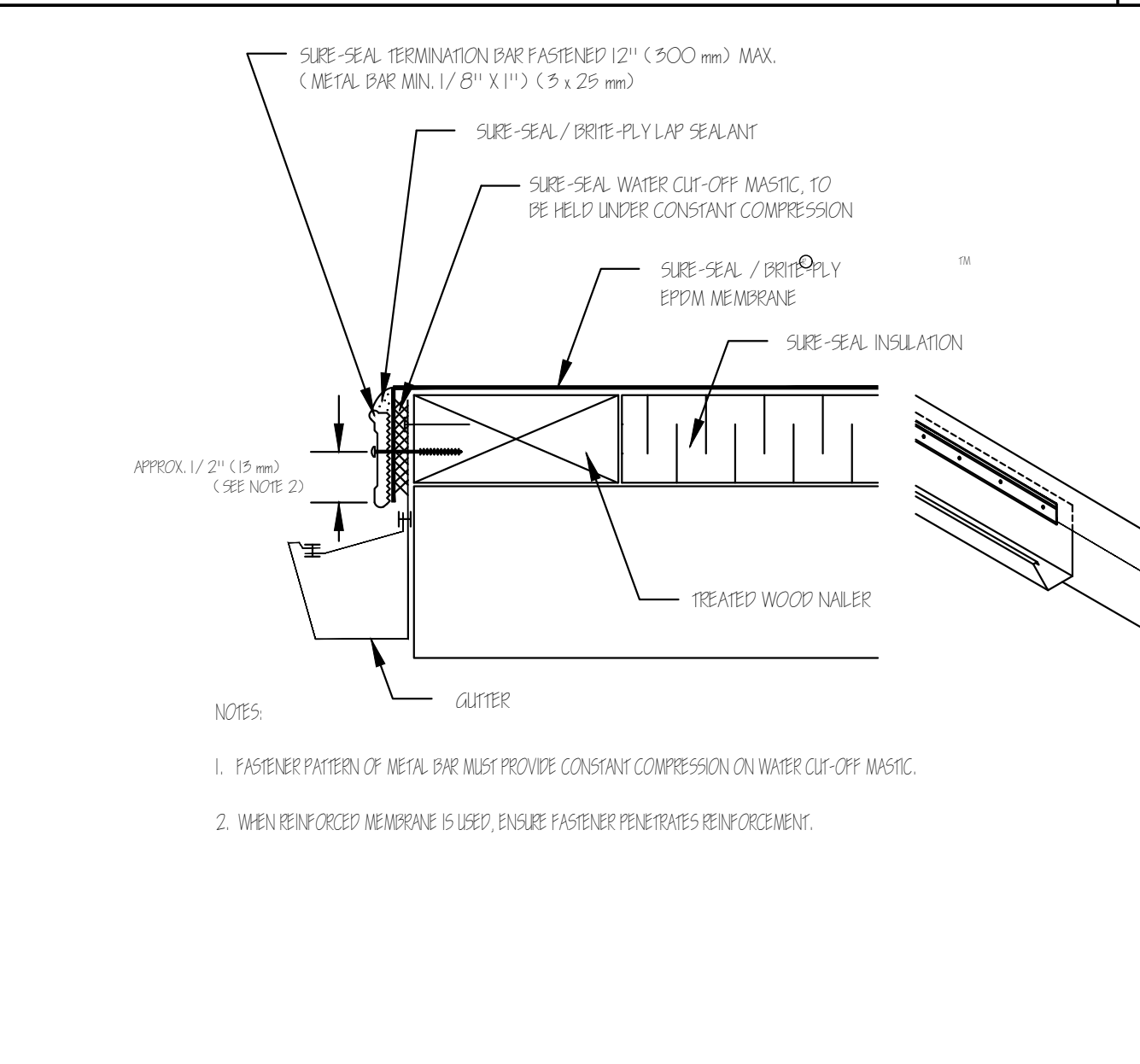
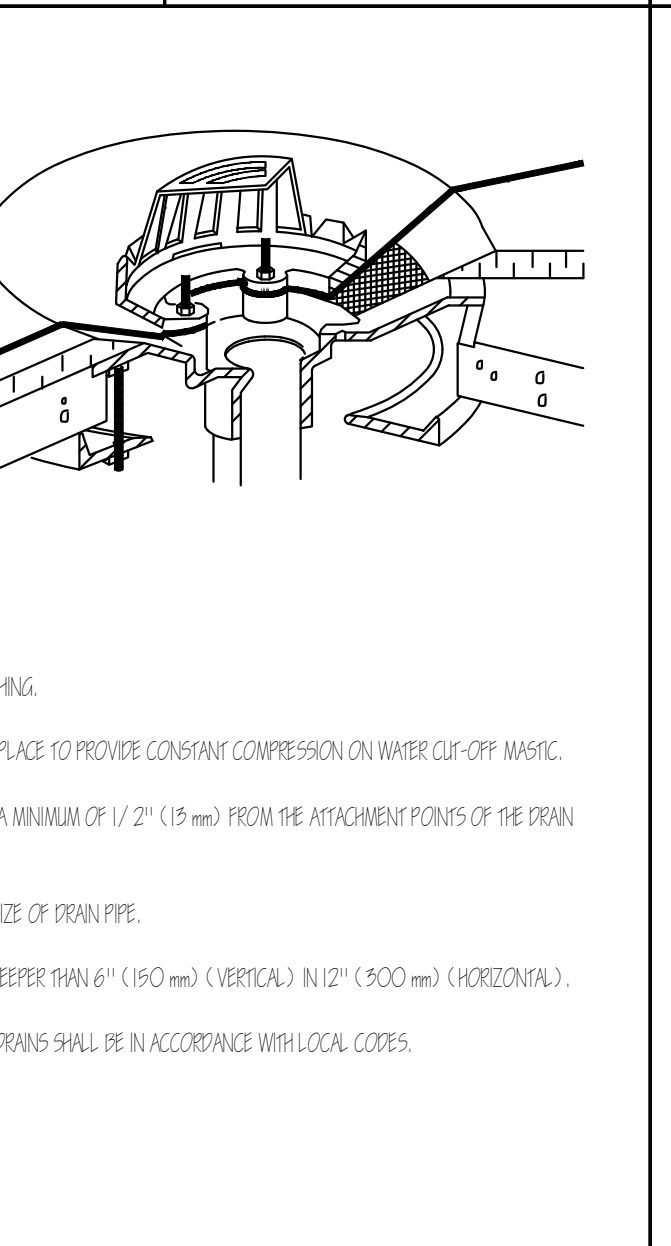
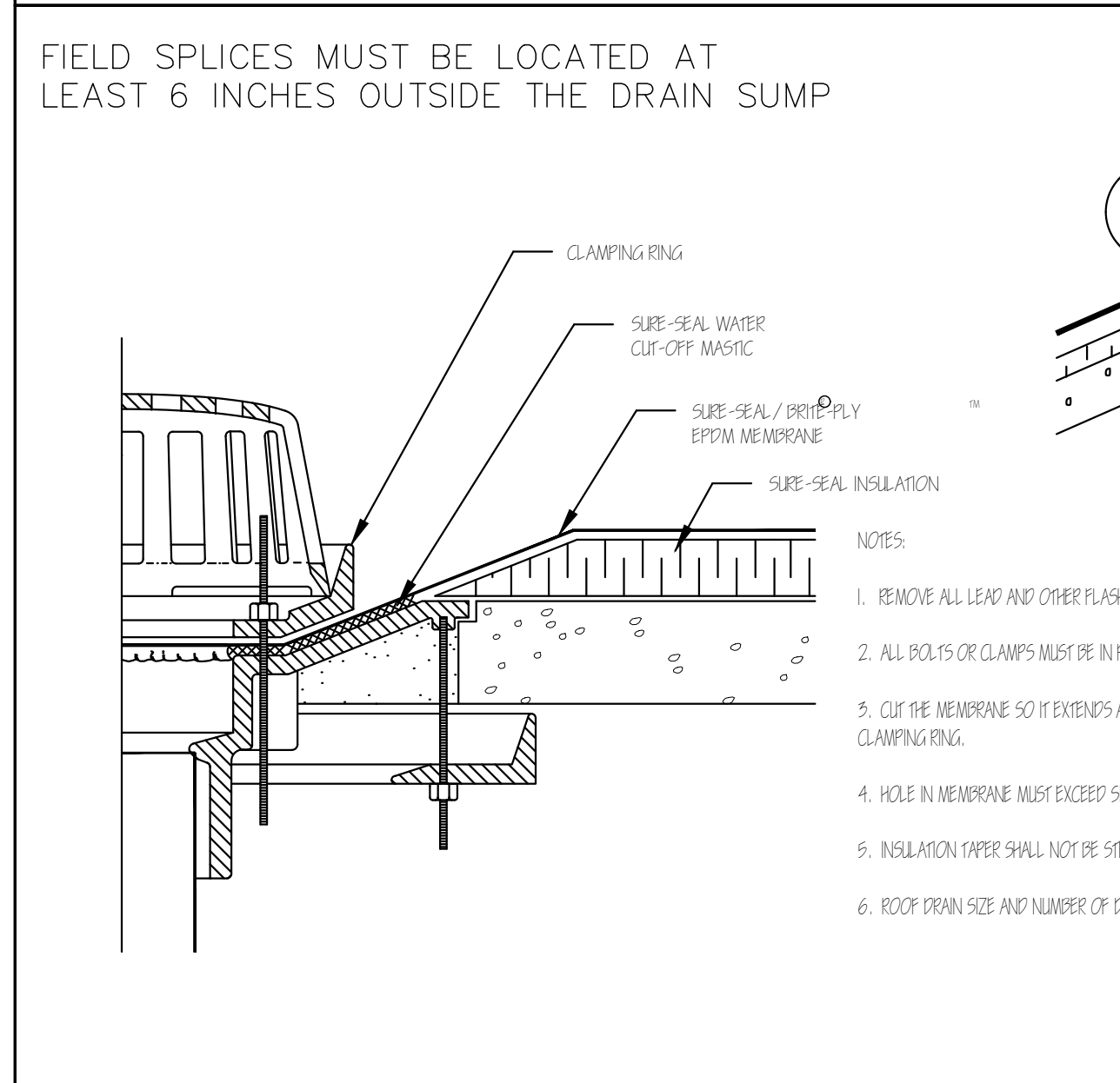
5
○ NOT USABLE PANEL INCORPORATED

FIELD FABRICATED PIPE SEAL

6
○ NOT USABLE PANEL INCORPORATED

MEMBRANE SPLICE WITH SPLICING CEMENT

7
○ NOT USABLE PANEL INCORPORATED



FIELD SPLICES MUST BE LOCATED AT LEAST 6 INCHES OUTSIDE THE DRAIN SUMP

METAL BAR TERMINATION

Project No: 16250
Scale: AS NOTED
Date: 11-16-16
Drawn By: DF

MEMBRANE ROOF DETAILS

Sheet No. A-3.3

ROOF DRAIN

8
○ NOT USABLE PANEL INCORPORATED

METAL BAR TERMINATION

9
○ NOT USABLE PANEL INCORPORATED

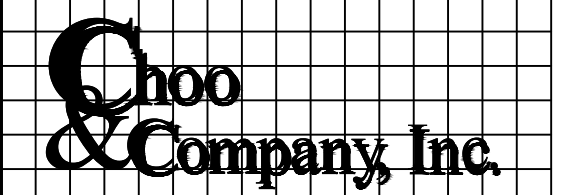
CURB FLASHING

10
○ NOT USABLE PANEL INCORPORATED

Sheet No. A-3.3

Location

PROPOSED CHANGE OF USE ADDITION & RENOVATION 12 CENTRE AVENUE DORCHESTER, MA



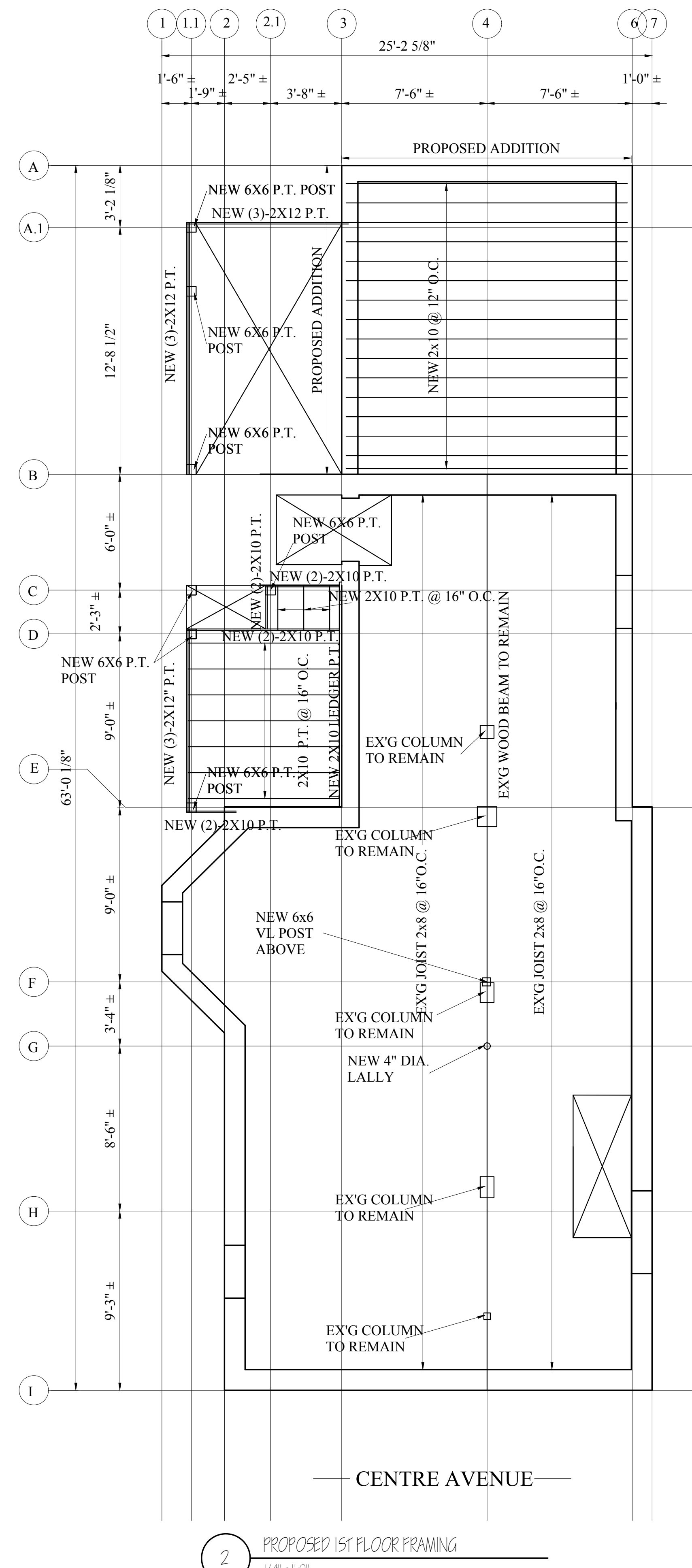
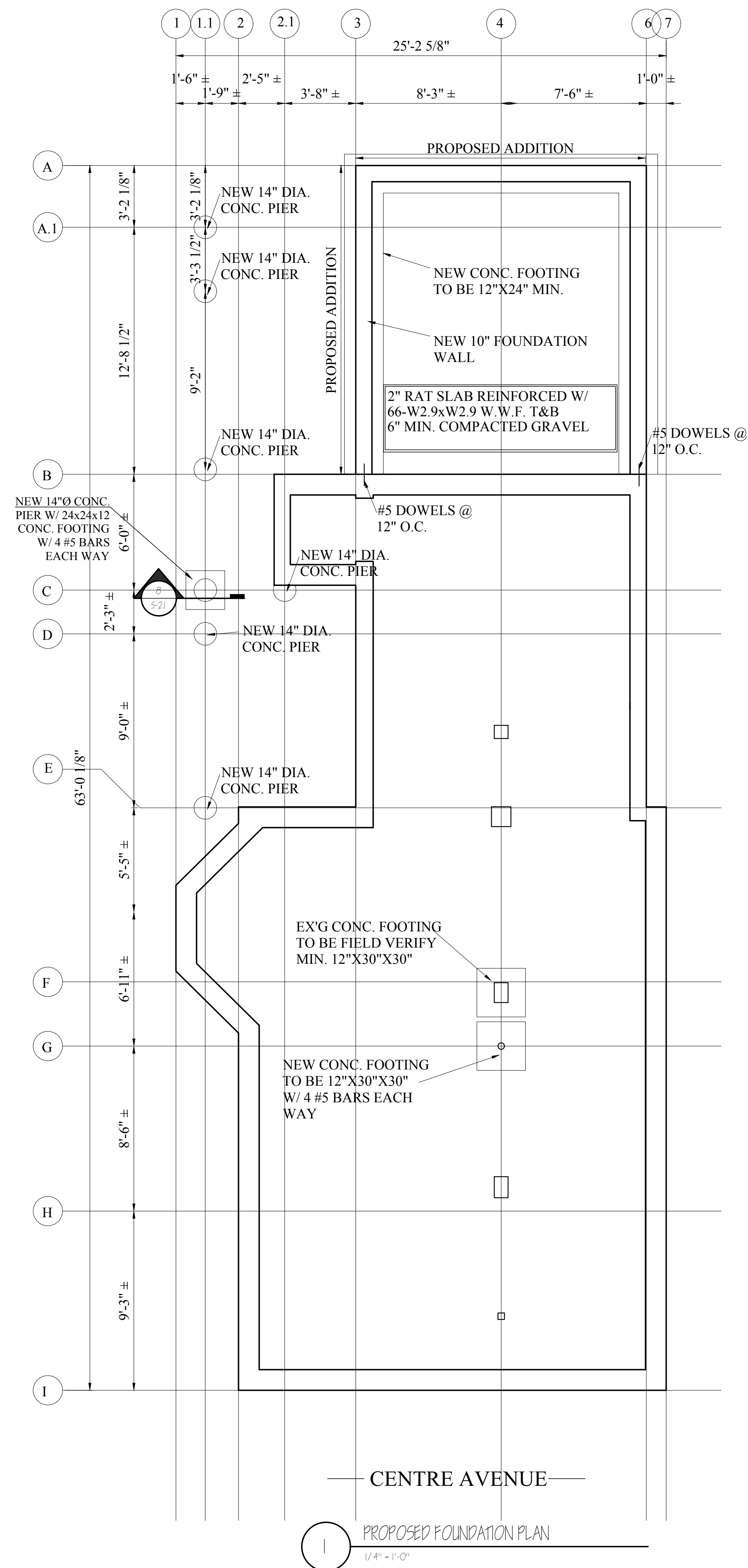
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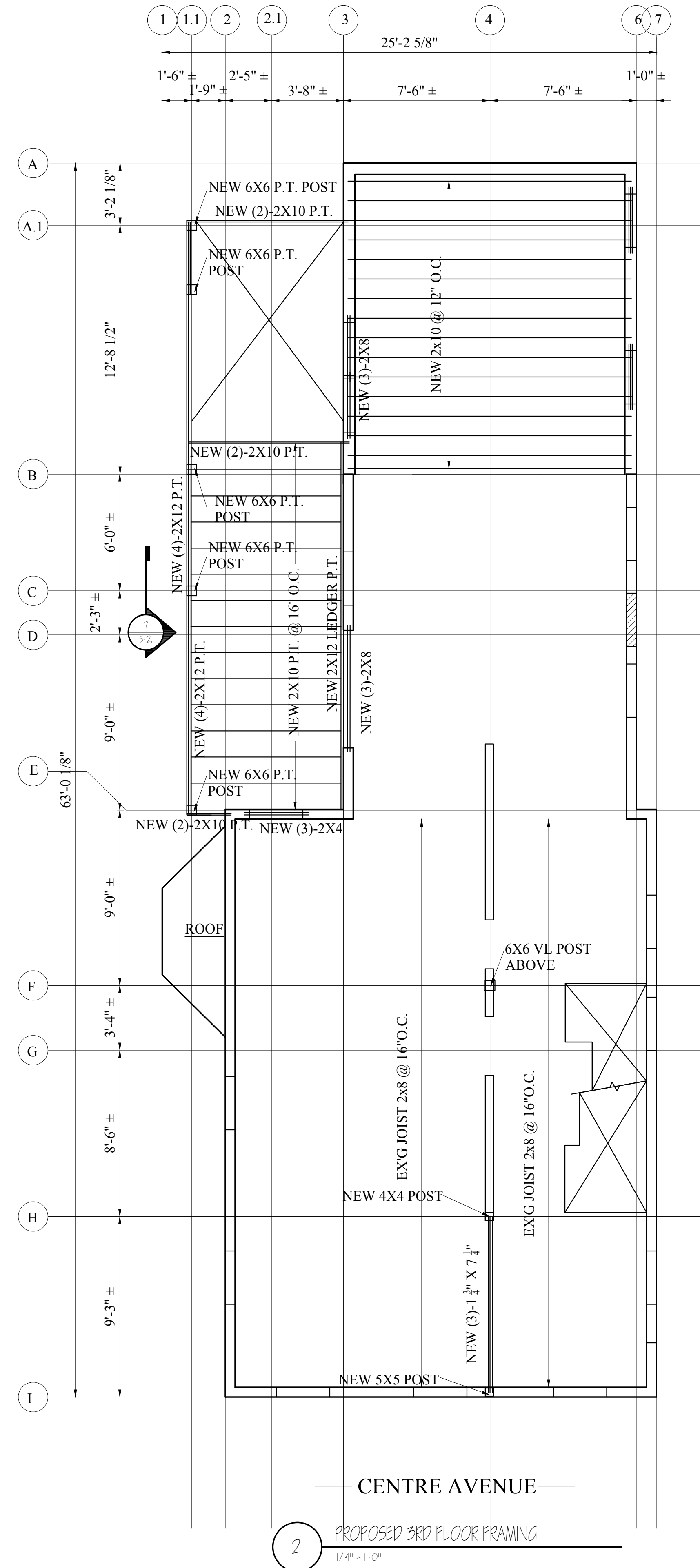
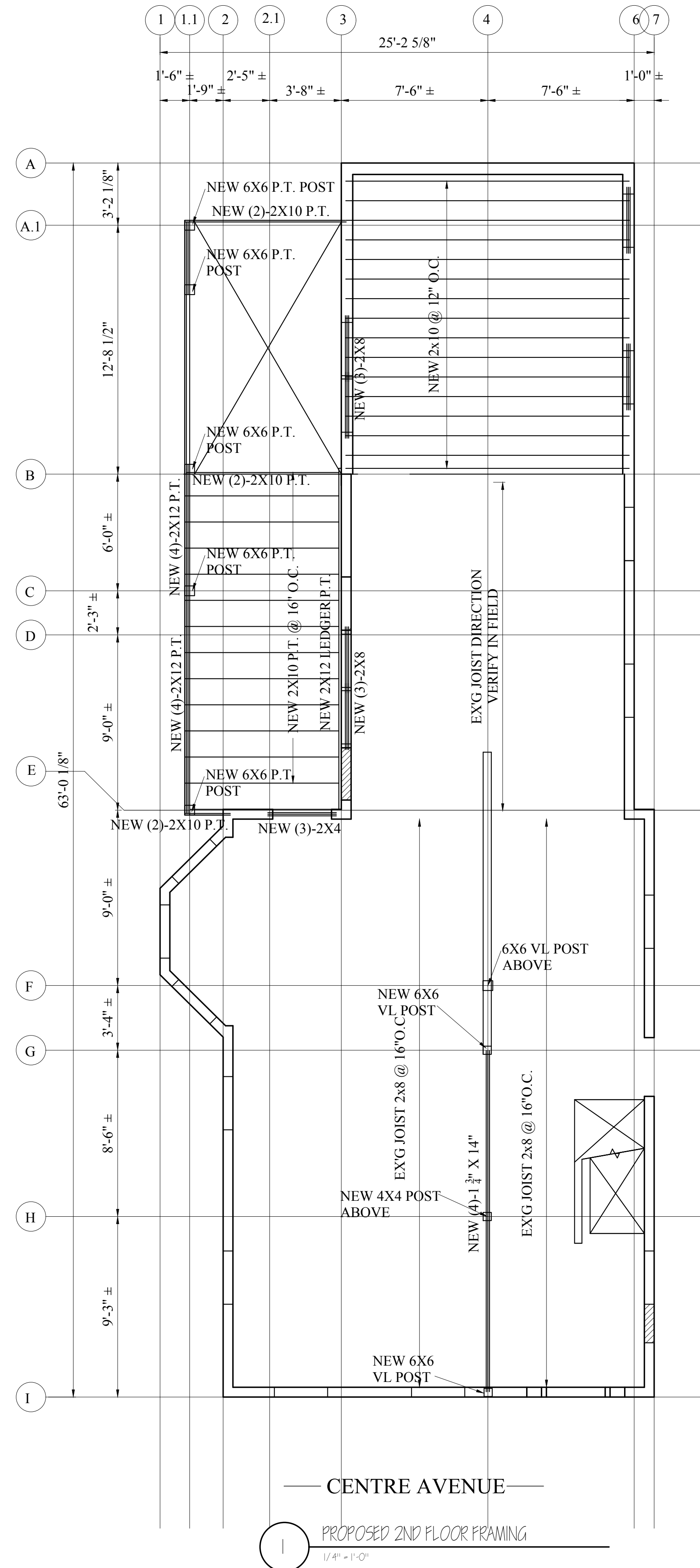
No.	Revision Date

Project No: 16250
 Scale: AS NOTED
 Date: 11-16-16
 Drawn By: CMA

Drawing Name
**STRUCTURAL
 FLOOR PLANS**

Sheet No.
S-11





PROPOSED CHANGE OF USE
ADDITION & RENOVATION
12 CENTRE AVENUE
DORCHESTER, MA

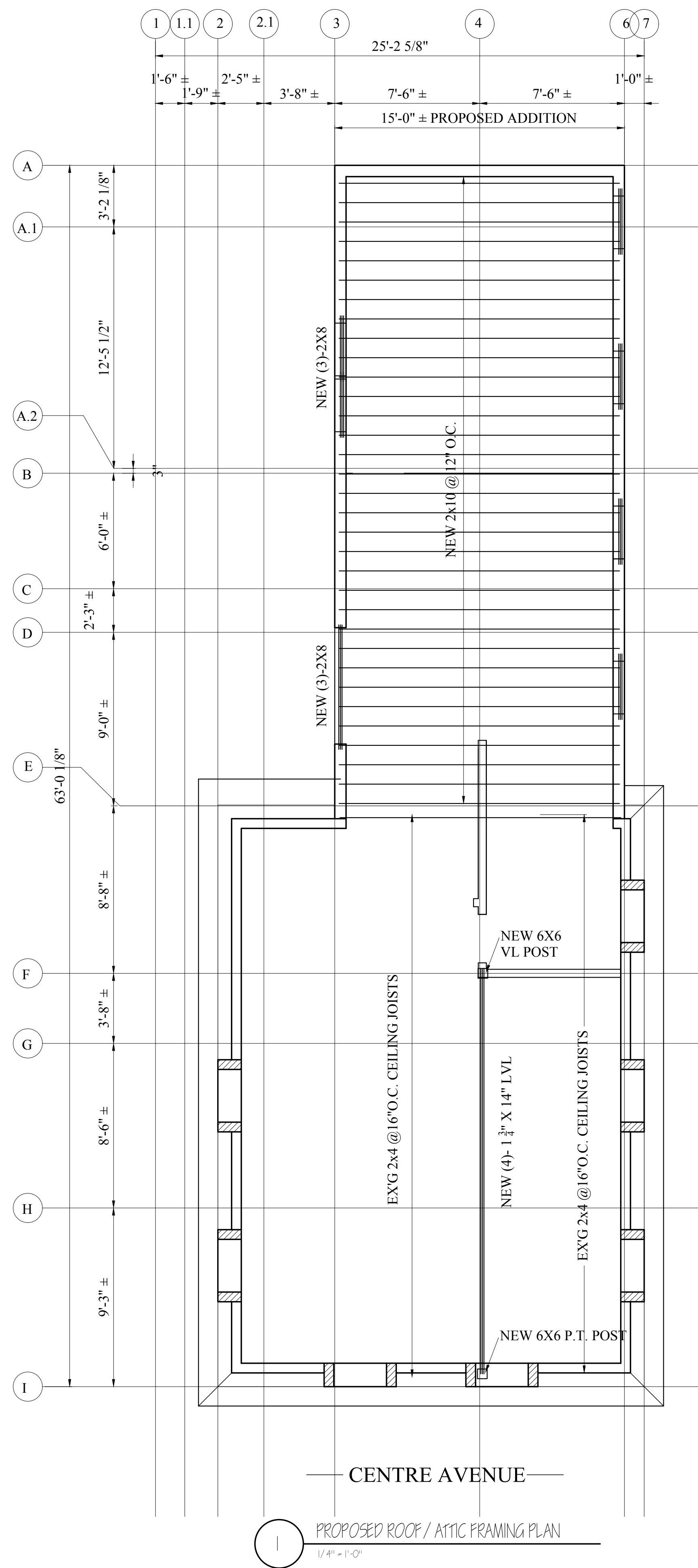
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No.	Revision Date

Project No: 16250
Scale: AS NOTED
Date: 11-16-16
Drawn By: CMA

Drawing Name
STRUCTURAL FLOOR PLANS

Sheet No.
S-1.2



GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL GIVE A WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT. FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN OF 5 DAYS AFTER THEY WERE POURED.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
 - **3000 PSI** FOR BASEMENT SLABS, FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER
 - **3500 PSI** FOR DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, CARPORT SLAB, STEPS AND OTHER FLATWORK EXPOSED TO WEATHER AND GARAGE FLOOR SLABS
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
3. ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:

A. FOOTINGS	3 INCHES
B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE	2 INCHES
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER	1-1/2 INCHES
D. TOP STEEL OF INTERIOR SLABS	1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

WOOD NOTES:

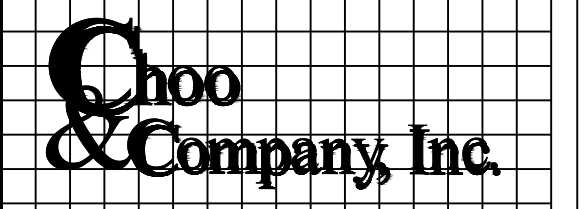
1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM: FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
 - FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS
 - FB=3,100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3" CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

PROPOSED CHANGE OF USE
 ADDITION & RENOVATION
 12 CENTRE AVENUE
 DORCHESTER, MA



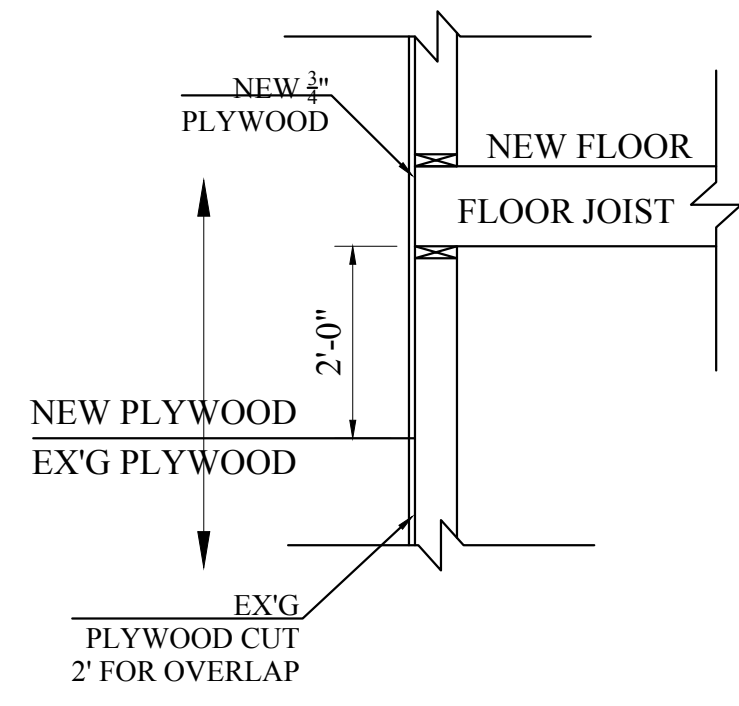
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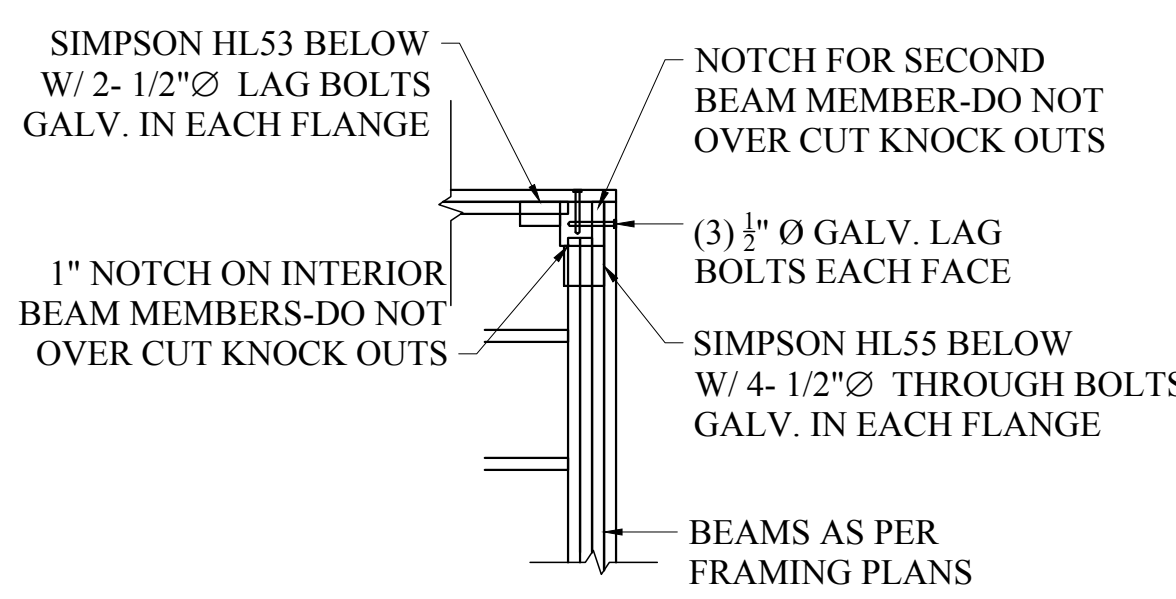
Project No: 16250
 Scale: AS NOTED
 Date: 11-16-16
 Drawn By: CMA

Drawing Name
STRUCTURAL FLOOR PLANS

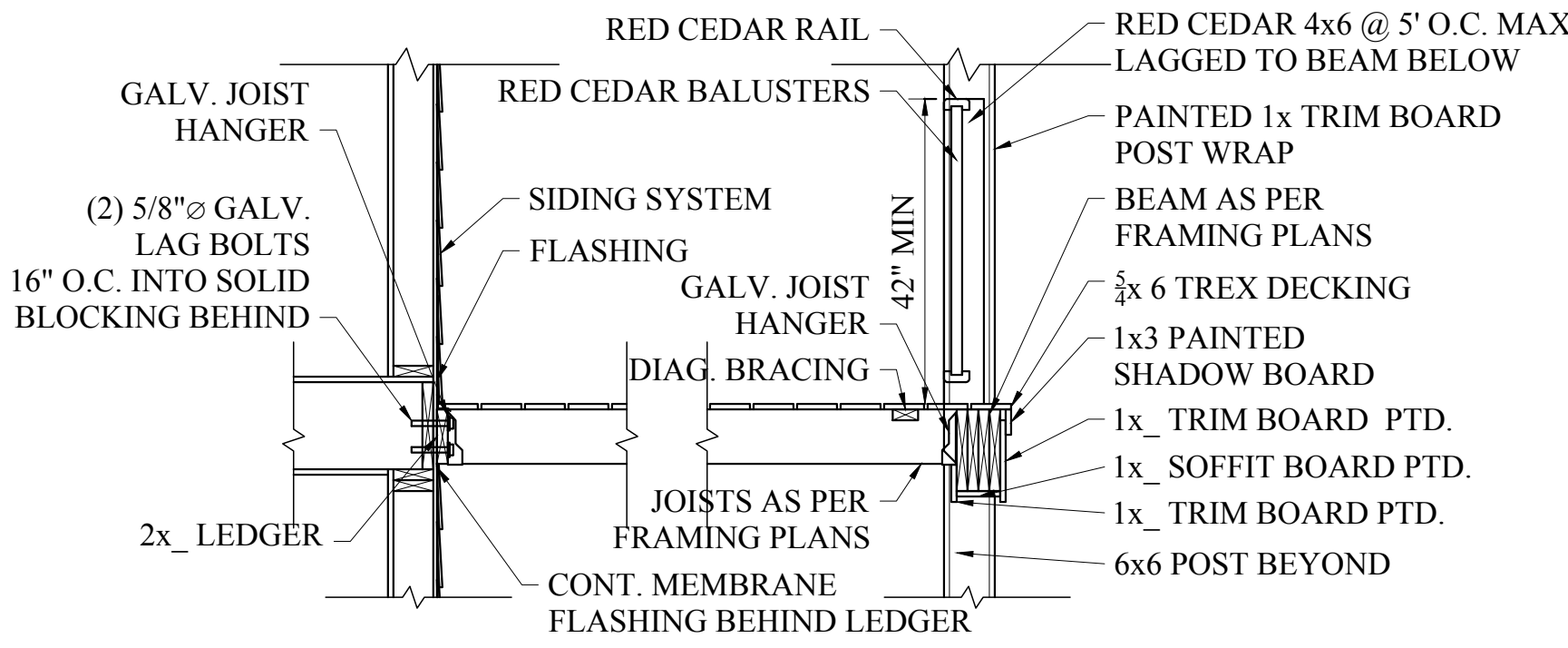
Sheet No.
 5-1.3



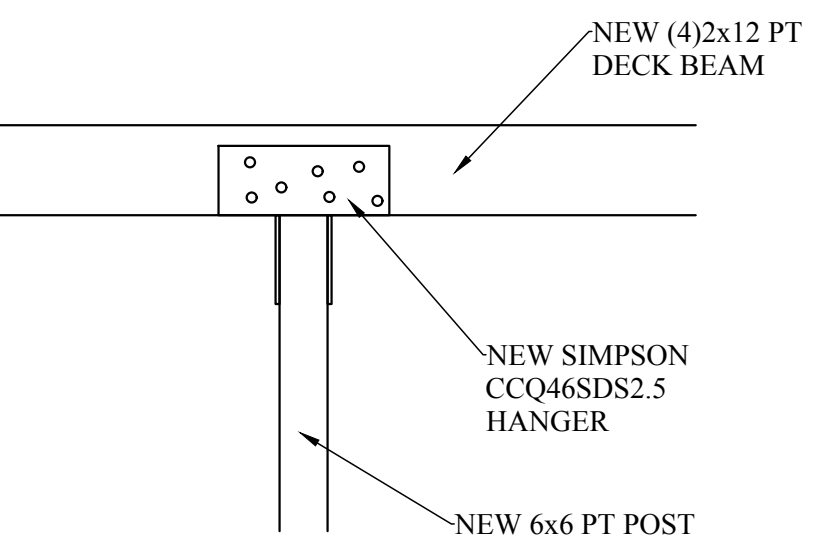
1 PROPOSED EXISTING TO NEW WALL PLYWOOD CONNECTION DETAIL
1/2" = 1'-0"



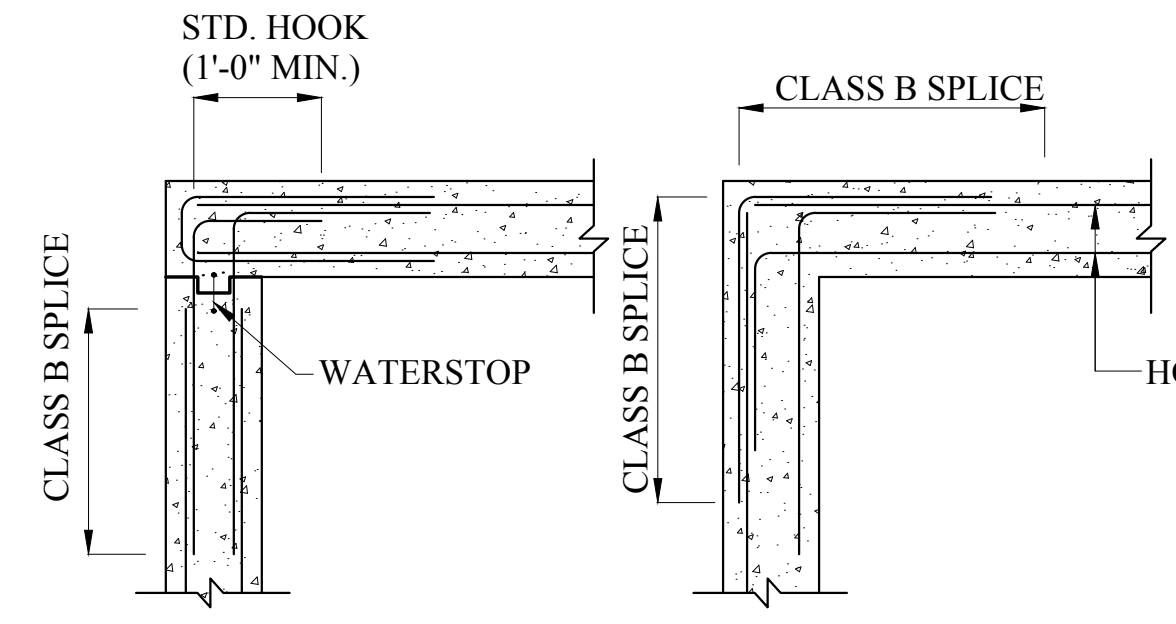
2 PROPOSED DECK FRAMING PLAN DETAIL
1/2" = 1'-0"



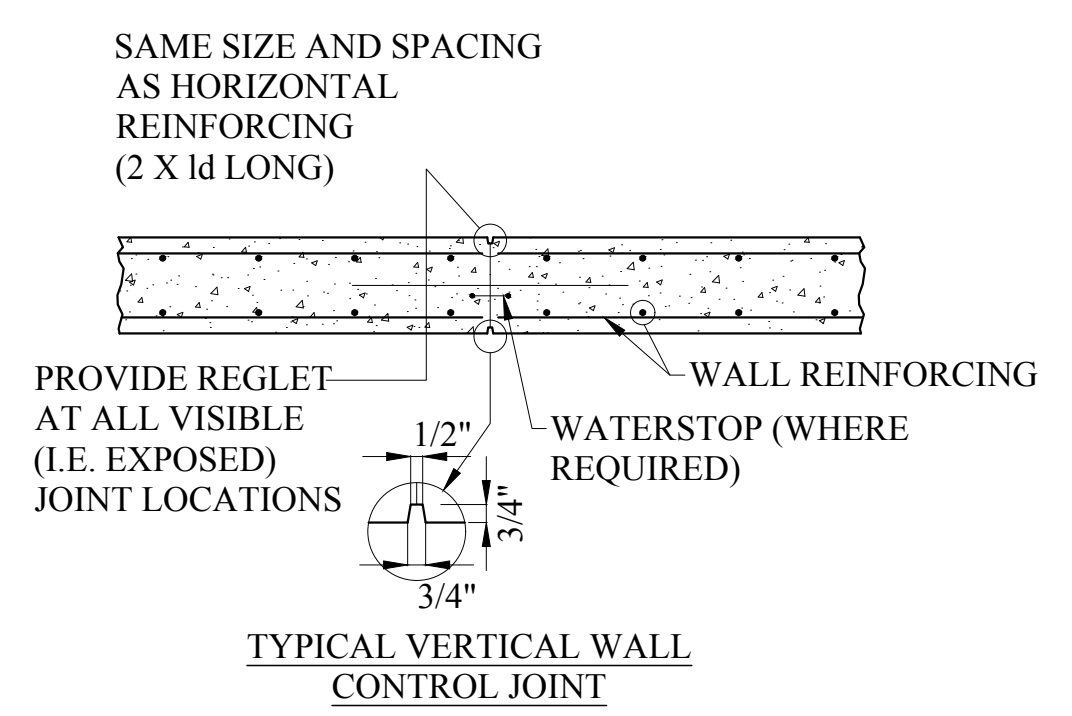
4 PROPOSED DECK SECTION DETAIL
1/2" = 1'-0"



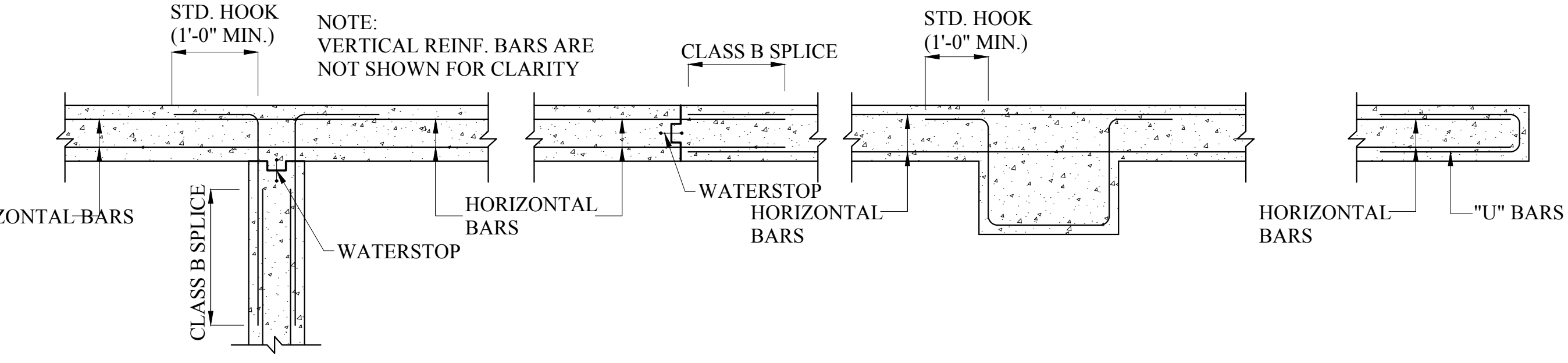
7 PROPOSED DECK POST AND BEAM CONNECTION
1/2" = 1'-0"



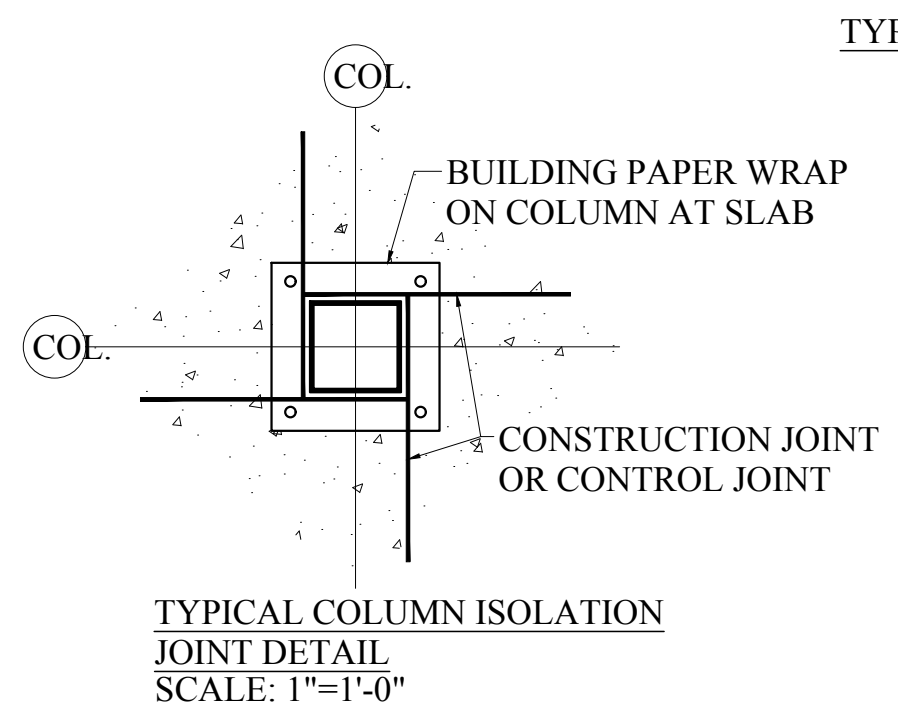
IF CONSTRUCTION JOINT EXISTS AT CORNERS



TYPICAL VERTICAL WALL CONTROL JOINT

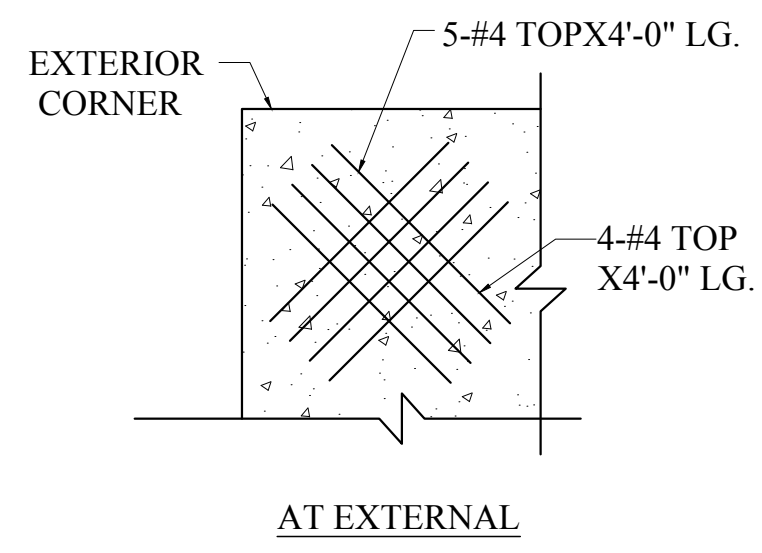


AT CORNERS AT INTERSECTIONS AT CONSTRUCTION JOINTS AT PILASTERS

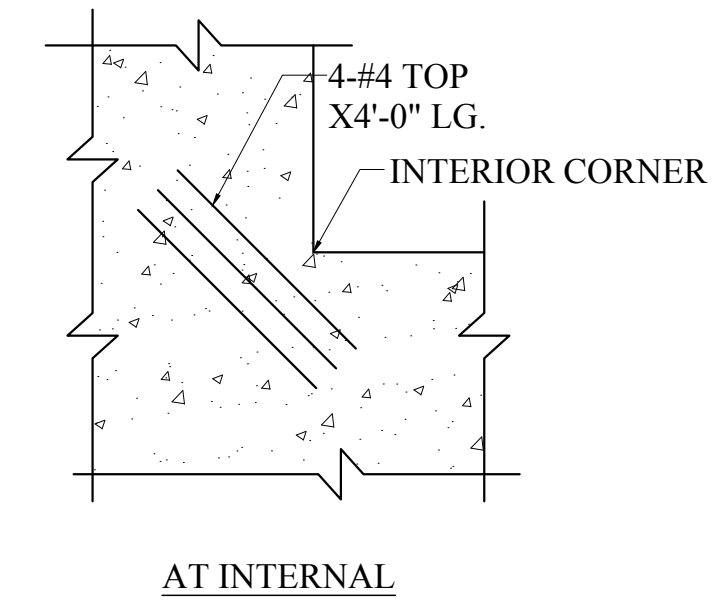


3 PROPOSED CONCRETE DETAILS
1/2" = 1'-0"

TYPICAL PLAN OF HORIZONTAL WALL REINFORCING

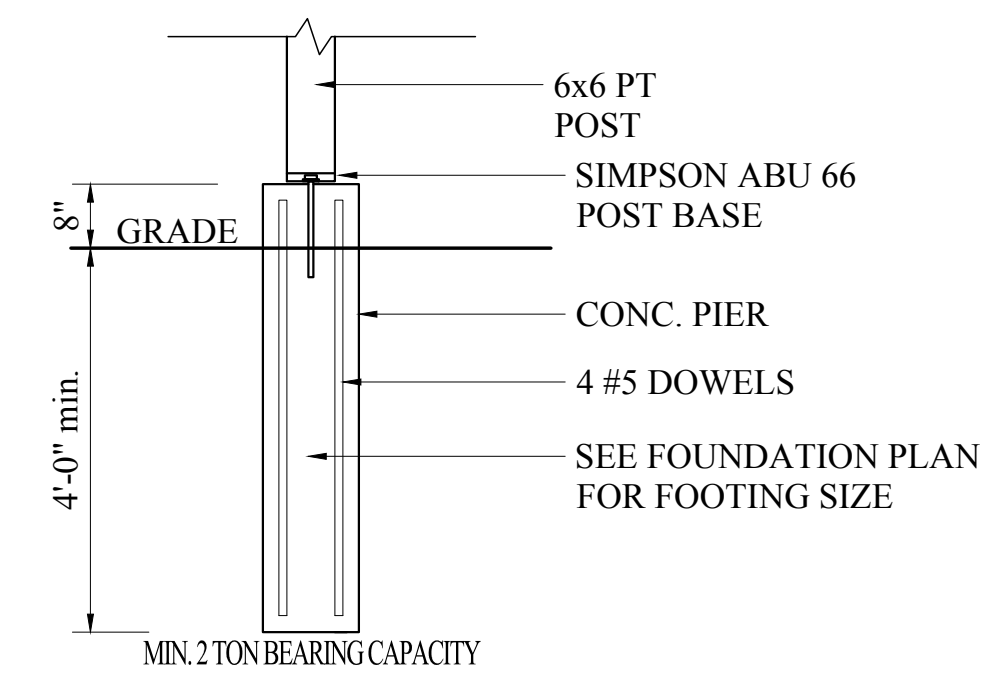


AT EXTERNAL

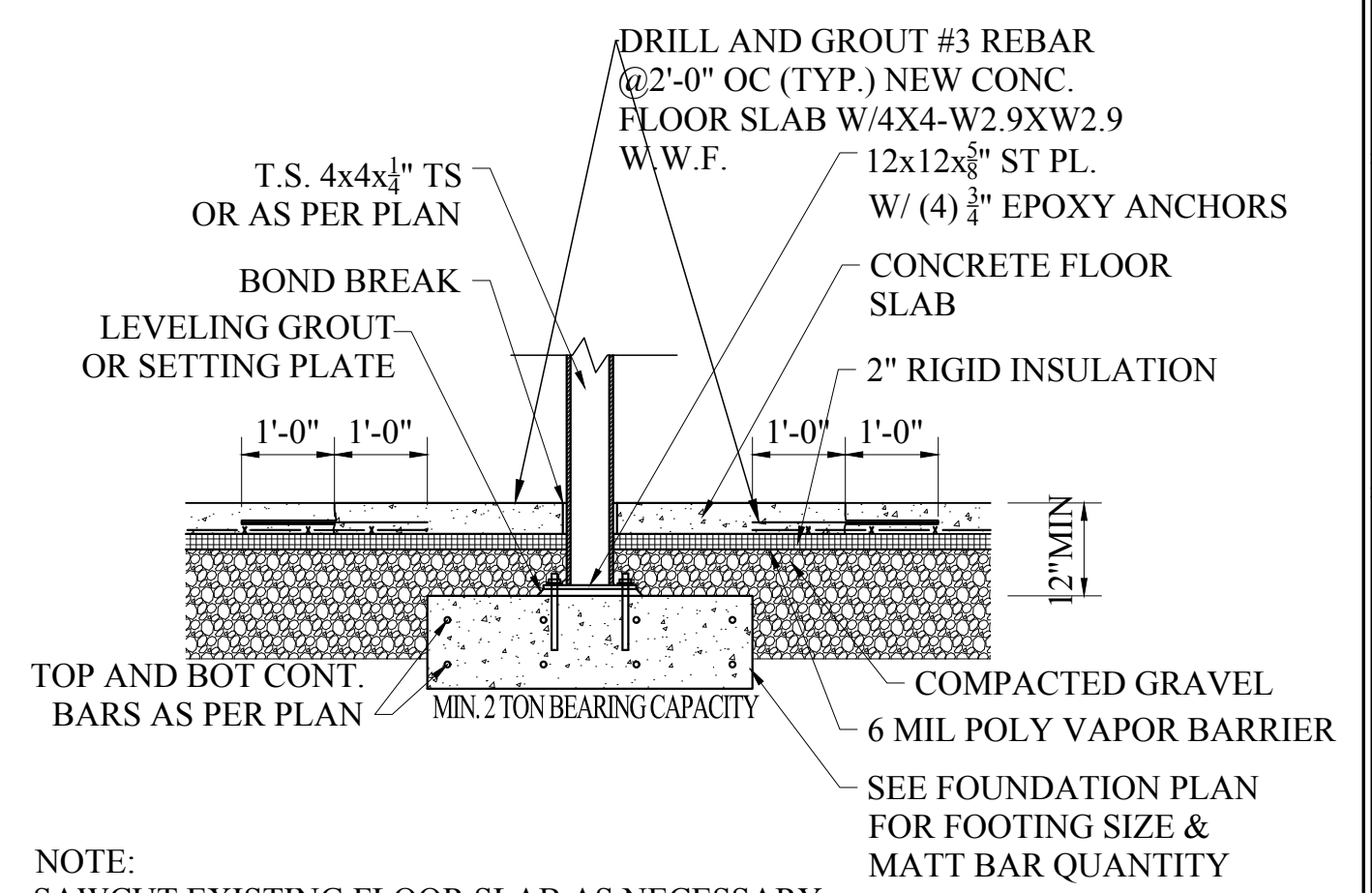


AT INTERNAL

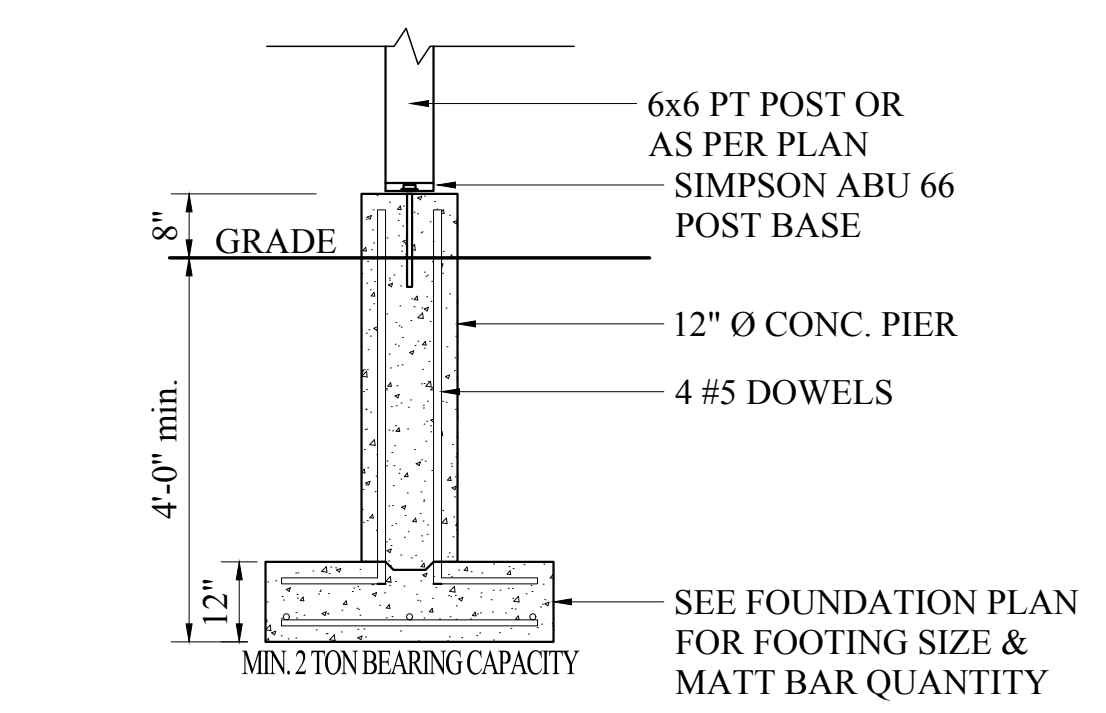
ADDITIONAL REINFORCING AT THE SLAB CORNERS



5 PROPOSED CONCRETE PIER DETAIL
1/2" = 1'-0"



6 PROPOSED FOOTING DETAIL
1/2" = 1'-0"



8 PROPOSED CONCRETE PIER DETAIL
1/2" = 1'-0"

CONTRACTOR NOTE:
PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING CONSTRUCTION. ALL DISCREPANCIES BETWEEN FIELD-VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS AND THOSE INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY MADE KNOWN TO THE ARCHITECT IN WRITING. THE USE OF (V.I.F.) OR (+/-) OR OTHER SIMILAR NOTES AT CERTAIN LOCATIONS ON THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR VERIFYING ALL CONDITIONS DESCRIBED ABOVE.

CONTRACTOR TO PROVIDE TEMPORARY SHORING, BRACING, AND SUPPORT AS REQUIRED DURING CONSTRUCTION.
PROVIDE NEW JOIST HANGERS AND HURRICANE TIES BY SIMPSON STRONG-TIE AT LOCATIONS WHERE MEMBERS FRAME IN TO SIDE OF EXISTING MEMBERS OR NEW

Location
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Drawing Name
**STRUCTURAL
DETAILS**

Sheet No.
S-2.1