

- LEGEND**
- DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - ▷ FLARED END SECTION (FES)
 - SEWER MANHOLE (SMH)
 - ELECTRIC MANHOLE (EMH)
 - TELEPHONE MANHOLE (TMH)
 - GAS GATE (GG)
 - GAS SERVICE (GS)
 - WATER GATE (WG)
 - WATER SERVICE (WS)
 - HYDRANT (HYD)
 - SPLASH BLOCK
 - LIGHT POLE (LP)
 - PROPOSED LAMP POST (LAMP)
 - UTILITY POLE W/ LIGHT (UP/LP)
 - HAND HOLE (HH)
 - VERTICAL GRANITE CURB (GC)
 - SLOPED GRANITE CURB (SGC)
 - BITUMINOUS CONCRETE BERM (BB)
 - C&G C&P (CONCRETE CURB)
 - PRECAST CONCRETE CURB (CC)
 - EDGE OF PAVEMENT (EP)
 - SIGN

ZONING CLASSIFICATION

HIDE PARK NEIGHBORHOOD DISTRICT
RESIDENTIAL SUBDISTRICT IF-600D
ZONING CODE ARTICLE 69 - TABLE C

DIMENSIONAL REQUIREMENTS

REQUIRED	REQUIRED
SINGLE-FAMILY	6,000 SF
FRONTAGE	60 FT
LOT WIDTH	21 FT (MINIMUM)
FRONT YARD	10 FT
SIDE YARD	40 FT
REAR YARD	0.5
HEIGHT	2.5
STORIES	1, 800 SF
OPEN SPACE	2 PER UNIT

THE REQUIRED FRONT YARD MODAL SETBACK IS 21 FEET BASED ON CITY OF BOSTON STREET LAYOUT PLAN L-9743 FOR VALLARO ROAD. THE TWO EXISTING HOUSES (NO. 67 & NO. 71) ON THE SOUTHERLY SIDE OF VALLARO ROAD HAVE A FRONT YARD SETBACK OF 21 FEET.

BENCHMARKS: BWSG RECORDS (G.I.S. MAPS)

REFERENCE BENCHMARK: SMH 42
SEWER MANHOLE 42 AT INTERSECTION OF VALLARO ROAD AND CHESTERFIELD STREET AS SHOWN ON THE BWSG G.I.S. MAPS.
RM=58.88 INVERT=49.68 (BOSTON CITY BASE)

CONSTRUCTION BENCHMARK: HYD H46
FRONT BONNET NUT OF HYDRANT H46 LOCATED IN FRONT OF 69 VALLARO ROAD - ELEVATION= 192.38 (BOSTON CITY BASE)

VALLARO ROAD

(PUBLIC - 40' WIDE) FORMERLY STARK AVENUE



DEED REFERENCE:
MASSACHUSETTS LAND COURT
L.C. PLAN NO. 31394-A
L.C. BOOK 353 PAGE 41

PLAN REFERENCE:
MASSACHUSETTS LAND COURT
L.C. PLAN NO. 31394-A
L.C. PLAN NO. 35346-A
L.C. PLAN NO. 30788-A
L.C. PLAN NO. 25012-A
L.C. PLAN NO. 25012-A

SUFFOLK REGISTRY OF DEEDS
BOOK 8299 PAGE 717

ASSESSOR'S REFERENCE:
PARCEL 20-6334-000
ASSESSOR'S MAP NO. 18246

CITY STREET LAYOUTS:
VALLARO ROAD L-8449
VALLARO ROAD L-8449
FARRIN STREET L-10009
CHESTERFIELD STREET L-9617
DANNY ROAD L-8445

BWSG RECORD MAPS:
WATER & SEWER GIS MAPS
BWSG PLAN NO. 42-740
BWSG PLAN NO. M-452
BWSG PLAN NO. 235-18

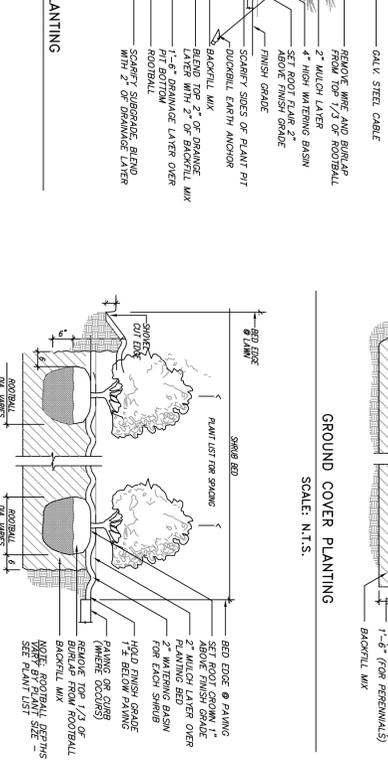
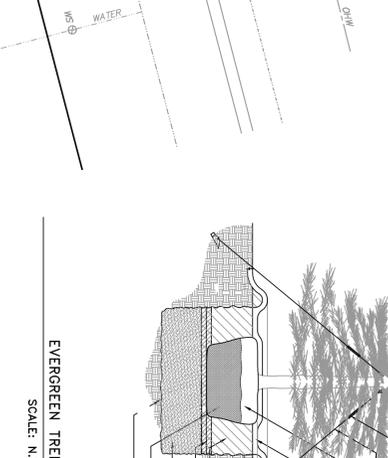
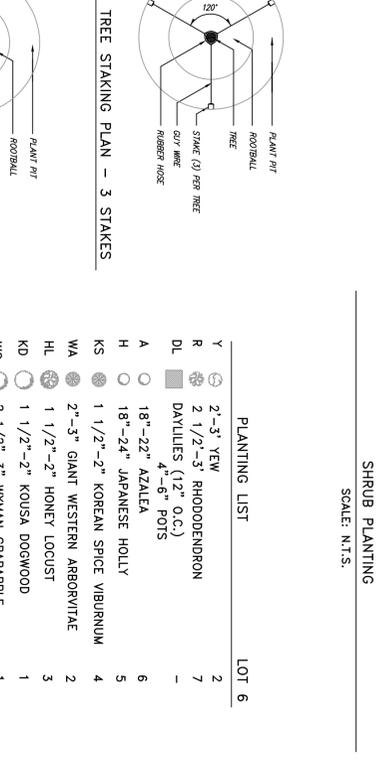
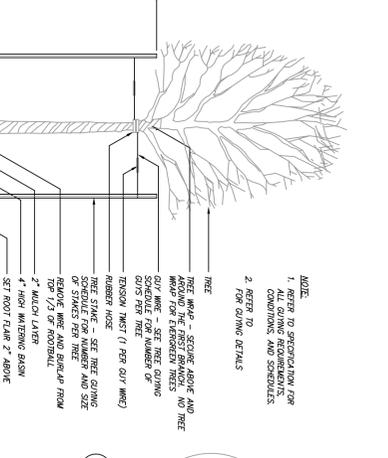
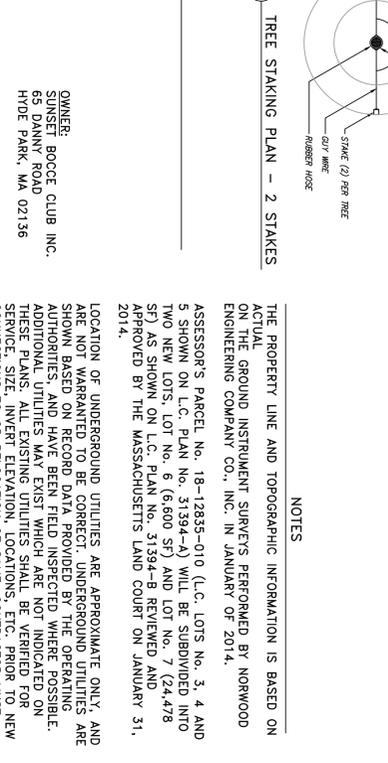
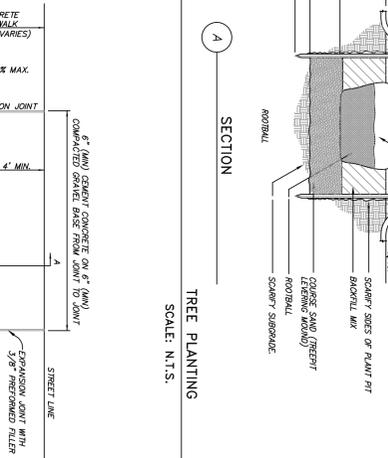
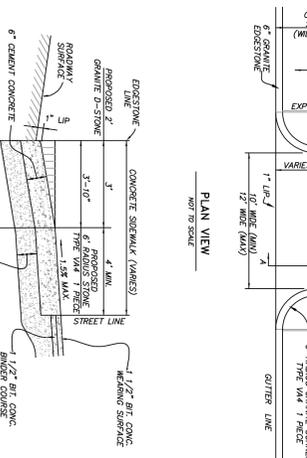
REVISIONS

NO.	DATE	DESCRIPTION
1		

OWNER:
SUNSET BOCC CLUB INC.
65 DANNY ROAD
HIDE PARK, MA 02136

APPLICANT:
FLORENCE YAHANY
11 HILTON STREET
HIDE PARK, MASS. 02136

NOTES:
THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON ACTUAL SURVEY DATA PROVIDED BY NORWOOD ENGINEERING COMPANY CO., INC. IN JANUARY OF 2014.
ASSESSOR'S PARCEL NO. 18-12835-010 (L.C. LOTS NO. 3, 4 AND 5 SHOWN ON L.C. PLAN NO. 31394-A) WILL BE SUBDIVIDED INTO TWO NEW LOTS, LOT NO. 6 (6,600 SF) AND LOT NO. 7 (24,478 SF) AS SHOWN ON L.C. PLAN NO. 31394-B REVISED AND APPROVED BY THE MASSACHUSETTS LAND COURT ON JANUARY 31, 2014.
LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE LOCATION OF WATER AND SEWER CONNECTIONS IS NOT PART OF THIS DRAWING. FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-817-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.



PLANTING LIST

SYMBOL	PLANTING LIST	LOT 6
Y	2'-3' YEW	2
R	2 1/2'-3' RHODODENDRON	7
DL	DAIILIES (12" O.C.)	2
○	4"-8" POTS	
A	18"-22" AZALEA	6
H	18"-24" JAPANESE HOLLY	5
KS	1 1/2"-2" KOREAN SPIRE VIRBURNUM	4
WA	2"-3" GIANT WESTERN ARBORVITAE	2
HL	1 1/2"-2" HONEY LOCUST	3
KD	1 1/2"-2" KUSA DOGWOOD	1
WC	2 1/2"-3" WYMAN CRABAPPLE	1

NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON ACTUAL SURVEY DATA PROVIDED BY NORWOOD ENGINEERING COMPANY CO., INC. IN JANUARY OF 2014.
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BUILDING PERMIT PLAN
63 VALLARO ROAD
BOSTON, MASS.
(HYDE PARK DISTRICT 02136-1945)
SCALE: 1"=10'
FEBRUARY 26, 2014
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8955

Window Schedule

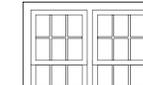
	Qty	Clear Opening	Nominal Size		Rough Opening		Type	Glass	U-Factor	SHG	Sq. Ft. Glass	Window Data	
W1	22	5.96 sf	2'- 8"	5'- 2"	2'- 10 1/4"	5'- 6 1/4"	Double Hung	Low E	0.34	0.3	11.15	Silverline - American Craftsman	3000 Series
W2	1	5.96 sf	2'- 10"	5'- 2"	5'- 8"	5'- 6 1/4"	Double Hung x 2	Low E	0.34	0.3	22.3	Silverline - American Craftsman	3000 Series Factory Mullid
W3	4	4.08 sf	2'- 4"	4'- 2"	2'- 6 1/4"	4'- 5 1/4"	Double Hung	Low E	0.34	0.3	7.57	Silverline - American Craftsman	3000 Series
W4	1	4.08 sf	2'- 4"	3'- 2"	2'- 6 1/4"	3'- 7 1/4"	Double Hung	Low E	0.34	0.3	5.6	Silverline - American Craftsman	3000 Series



W4



W3



W2



W1

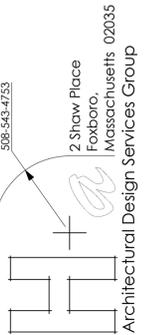
New Single Family Home

Hyde Park, Massachusetts

Cover Sheet

- A1 - Basement Plan & 1st Floor Plan
- A2 - 2nd Floor Plan & Attic Floor Plan
- A3 - 1st Floor & 2nd Floor Framing Plans
- A4 - Attic Floor & Roof Framing Plans
- A5 - Elevations
- A6 - Section & Details
- Site Plan

4 March 2014



PROJECT:
New Single Family Home
63 Vallaro Road
Hyde Park, MA

SCALE:
1/4" = 1'-0"

DATE:
4 March 2014

REVISIONS:

SHEET TITLE:

SHEET NUMBER:

508-543-7753
 2 Shaw Place
 Foxboro
 Massachusetts 02035
 Architectural Design Services Group

FOUNDATION NOTES:

- All foundation walls shall be 10" thick, with 10" x 20" continuous keyed footings at minimum 4'-0" below grade.
- All foundation walls shall have 2x6 pressure treated sills with sillseal at all wood/concrete joints. Provide 1/2" J- anchor bolts or mud-sill ties embedded a minimum of 8", set @ 4'-0" o.c. with a minimum of 2 per sill and a maximum of 1'-0" from corners.

- At joints between pours, provide minimum: #5 bars 16" long set @ 18" o.c.
- Poured slabs shall be 4" 3000 psi concrete on crushed stone.
- Foundation concrete shall attain a minimum compressive strength after 28 days of 3000 psi.
- All foundation walls shall receive min. 1 coat of asphalt dampproofing over roof cement parged tie-rod holes.

— 10" FOUNDATION WALLS
 — LOWER / DROP T.O.C.

Interior Walls: 2x4 wood frame construction @ 16" O.C. with 3 1/2" unfaced fiberglass batt insulation between studs for all walls between rooms. Finish both sides with 1/2" blueboard w/ skimcoat of plaster (BBSP).

Exterior Walls: 2x6 wood frame construction @ 16" O.C. (unless otherwise noted), 5 1/2" R19 kraftfaced fiberglass batt insulation, or equivalent between studs. Finish interior face with BBSP over poly, vapor barrier. Exterior face to have 1/2" OSB or CDX plywood sheathing, Tyvek building paper fully taped, and Hardiplank fiber-cement or siding or equal.

Roof: Framing sizes as noted on framing plans with R30 kraftfaced fiberglass batt insulation, or equivalent, between rafters, vapor barrier laid down on ceiling strapping. Exterior face of rafters shall have 1/2" CDX fir plywood with Owings, GAF, or a comparable roof shingle with approval by Owner, installed over felt paper. Provide Grace Ice & Water Shield at all valleys and

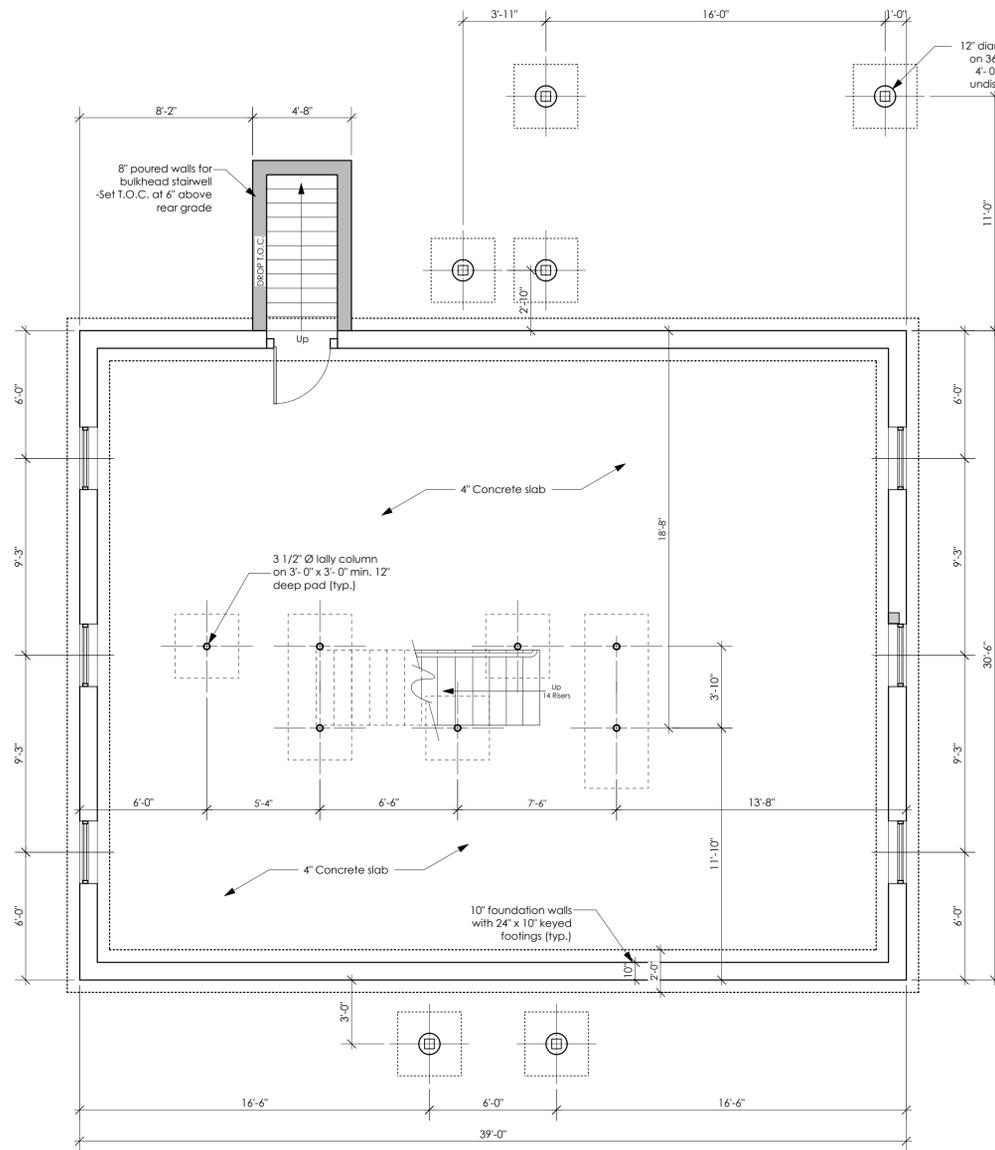
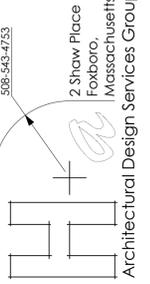
eyes. Supply 2" continuous aluminum soffit vent and ridge vent for all new roofs. All cathedral ceilings shall be finished on the interior with smooth finish BBSP and shall be provided with ProPa-Vents between sheathing and the insulation.

Floors: Framing sizes as noted on framing plans with kraftfaced fiberglass insulation in R values as noted on framing plans. Subfloor shall be 3/4" T&G plywood glued & nailed to joists.

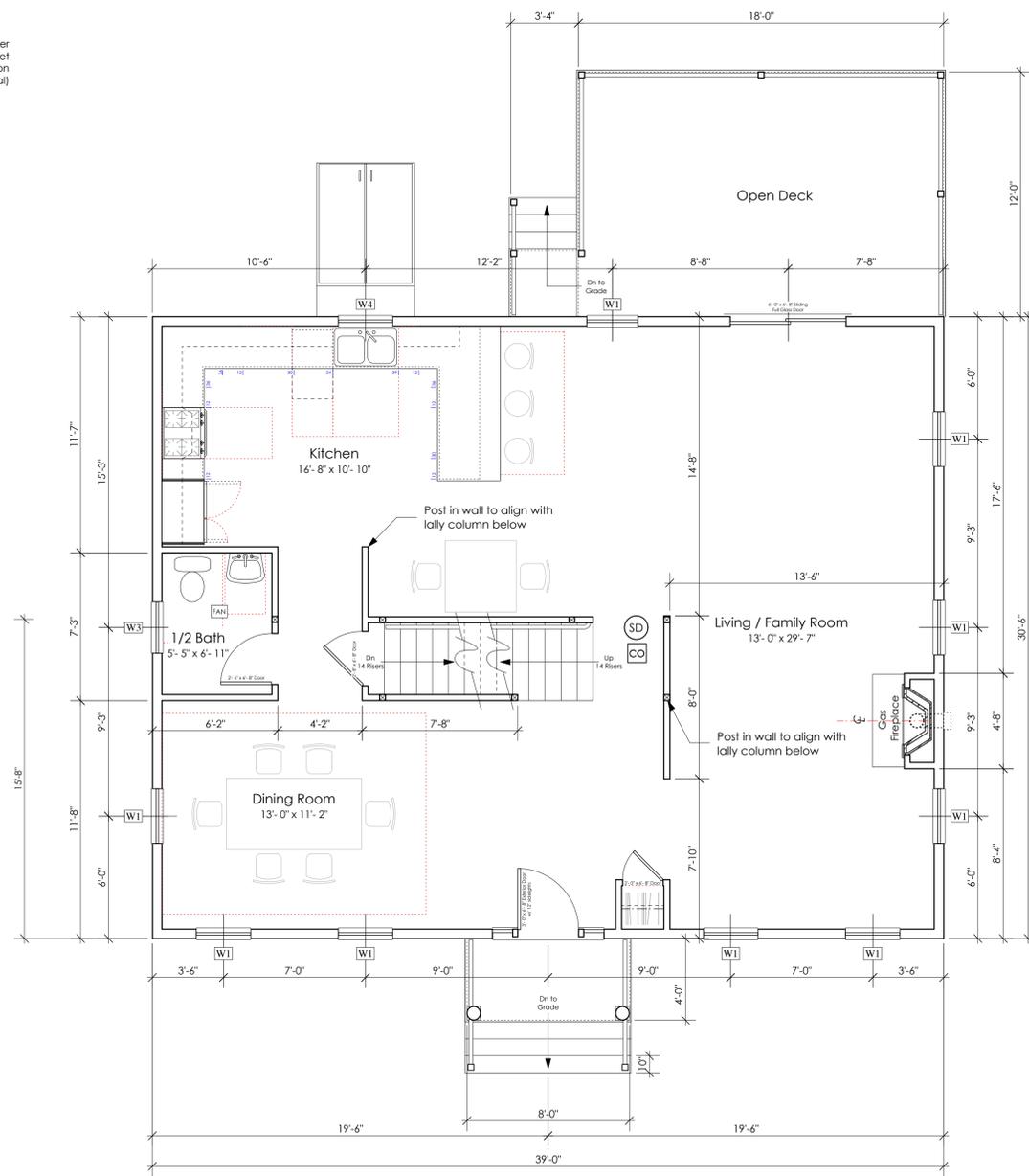
Note: All components, materials, workmanship, and fire protection shall conform with 780 CMR Chapter 36 for One and Two Family Dwellings.

See additional specification notes on drawings.

508-643-7753



Basement Plan



1st Floor Plan

PROJECT:
New Single Family Home
 63 Vallaro Road
 Hyde Park, MA

SCALE:
 1/4" = 1'-0"



DATE:
 4 March 2014

REVISIONS:

SHEET TITLE:
Basement & 1st Floor Plans

SHEET NUMBER:

A1

- SD — SMOKE DETECTOR
- CO — CARBON MONOXIDE DETECTOR
- ALL DIMENSIONS TO STUD FACE

PROJECT:
New Single Family Home
 63 Vallaro Road
 Hyde Park, MA

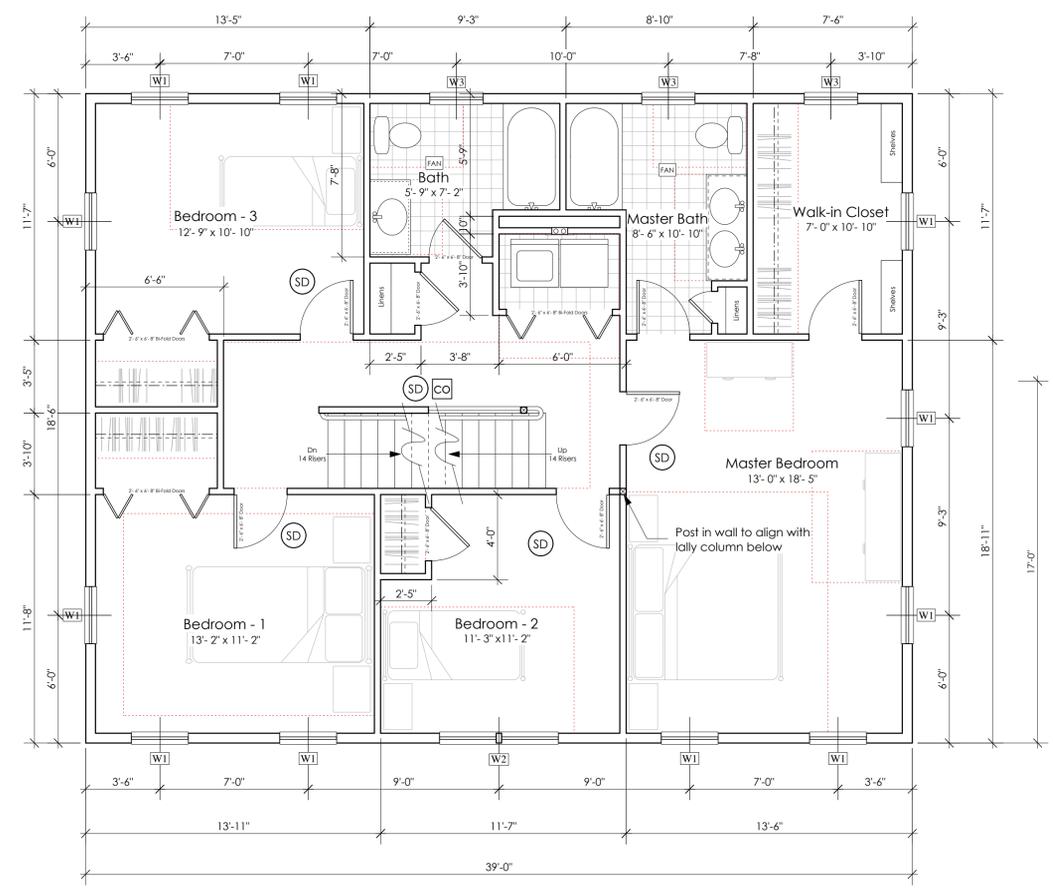
SCALE:
1/4" = 1'-0"

DATE:
17 October 2012

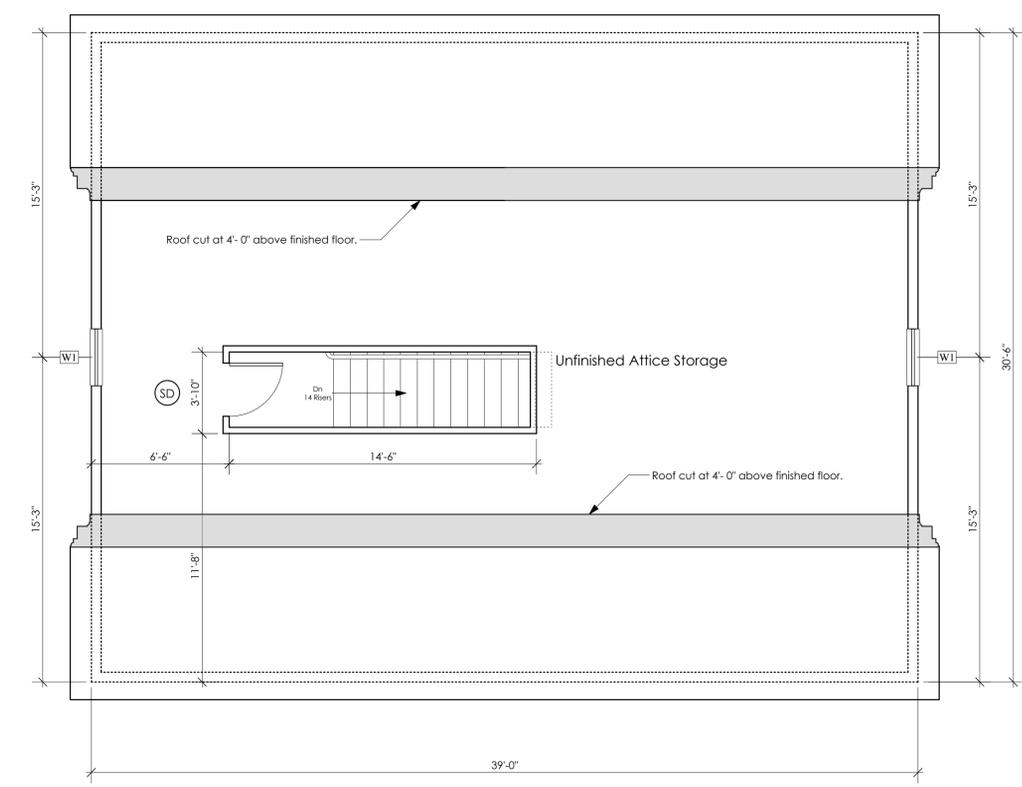
REVISIONS:

SHEET TITLE:
2nd & 3rd Floor Plans

SHEET NUMBER:
A2



2nd Floor Plan



Attic Floor Plan

STRUCTURAL NOTES:

- Follow all manufacturer's specifications and requirements for TJI (I-joist) framing procedures. Including, the use of web fillers, rim joists, bridging, and joist hangers. See additional TJI notes on framing plans by *ALL JOIST*.
- Apply double and triple joists where drawn or noted.
- Lally columns shall be 3 1/2" Ø with steel plates set at top and bottom.
- Microlam LVL multiple member beams shall be glued and spiked according to manufacturer's specifications for nails and nailing pattern.
- PSLs may be substituted for multiple LVLs. PSL sizes must be equal or greater to that of the combined LVL size.
- Framing lumber shall be min. #2 Spruce Pine Fir.
- Notching of any beams shall be prohibited, notching of joists only as permitted per MA code.

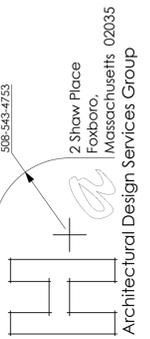
- All sub-floors: 3/4" T&G plywood or 3/4 OSB glued and nailed 8 o.c.
- Exterior sheathing to be 1/2" CDX or OSB 4x8 sheets nailed w/ 6d common @ 8" o.c.
- All 1st & 2nd floor window and door headers to be min. 2-2x10s unless otherwise noted.
- Post all engineered lumber beams continuous to load transfer beams or lally columns & foundation walls.

NOTE:

- ALL ROOF RAFTERS: 2x10s @ 16" o.c.
- DOUBLES WHERE DRAWN OR NOTED
- ALL 3rd FLOOR CEILING JOISTS / ATTIC FLOOR: 2x10s @ 16" o.c.
- SEE FIRST AND SECOND FLOOR FRAMING PLANS BY *ALL-JOIST*

LEGEND:

- Simpson Beam Hanger: HGUS412
- Standard Simpson Joist Hanger
- (2) 2x10s Header
- Beam Set Flush w/ Framing
- Single TJI / LVL / PSL
- Double TJI / LVL / PSL
- Single Framing Member
- Double Framing Member
- Ceiling Joist Framing Members
- Bridging
- Above
- Below
- 4x4 Column
- 4x6 Column
- Lally Column



PROJECT:
New Single Family Home
 63 Vallaro Road
 Hyde Park, MA

SCALE:
 1/4" = 1'-0"



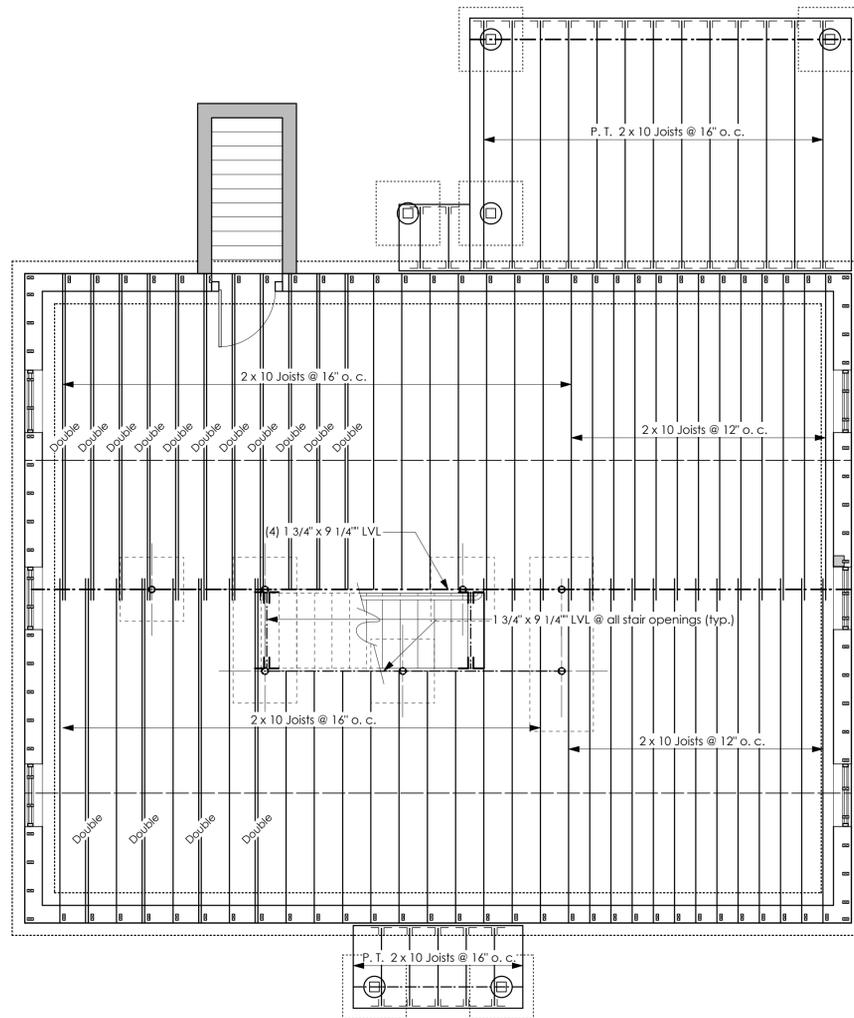
DATE:
 4 March 2014

REVISIONS:

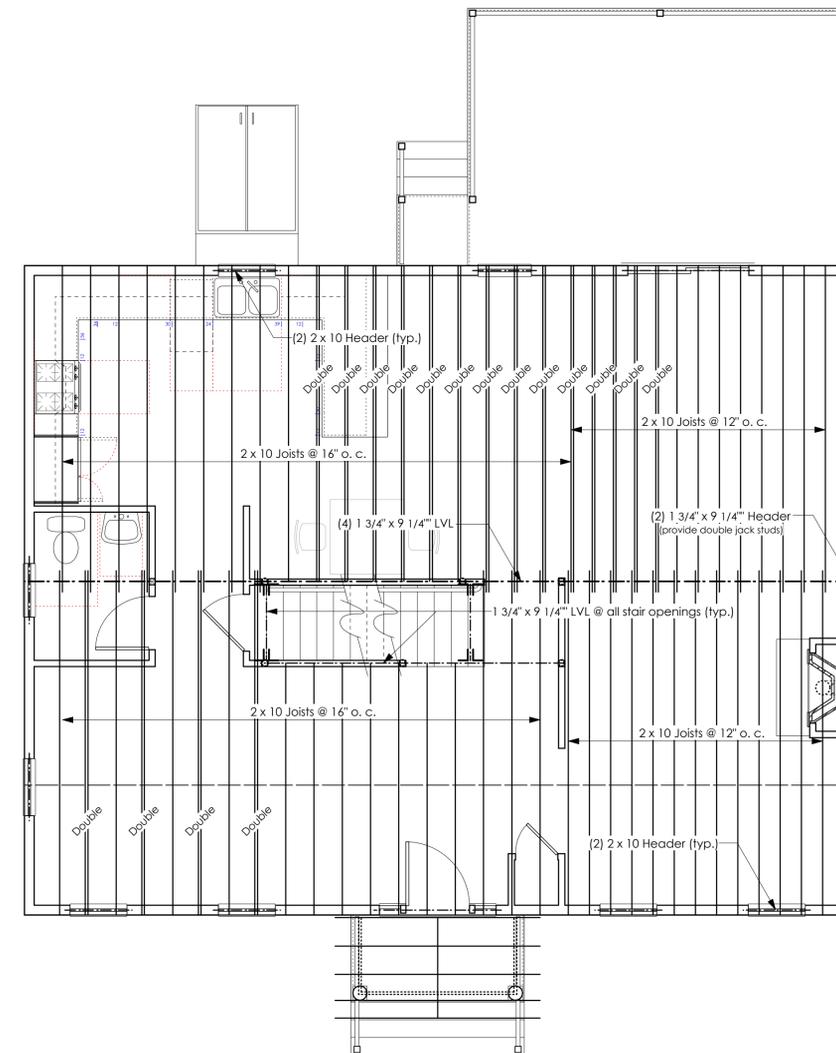
SHEET TITLE:
1st & 2nd Floor Framing Plans

SHEET NUMBER:

A3



1st Floor Framing Plan



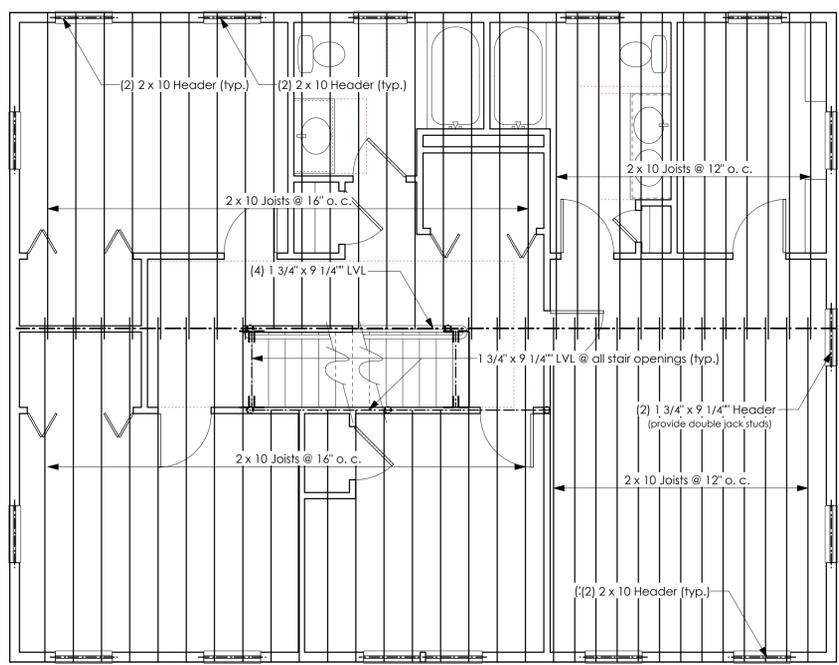
2nd Floor Framing Plan

PROJECT:
New Single Family Home
 63 Vallaro Road
 Hyde Park, MA

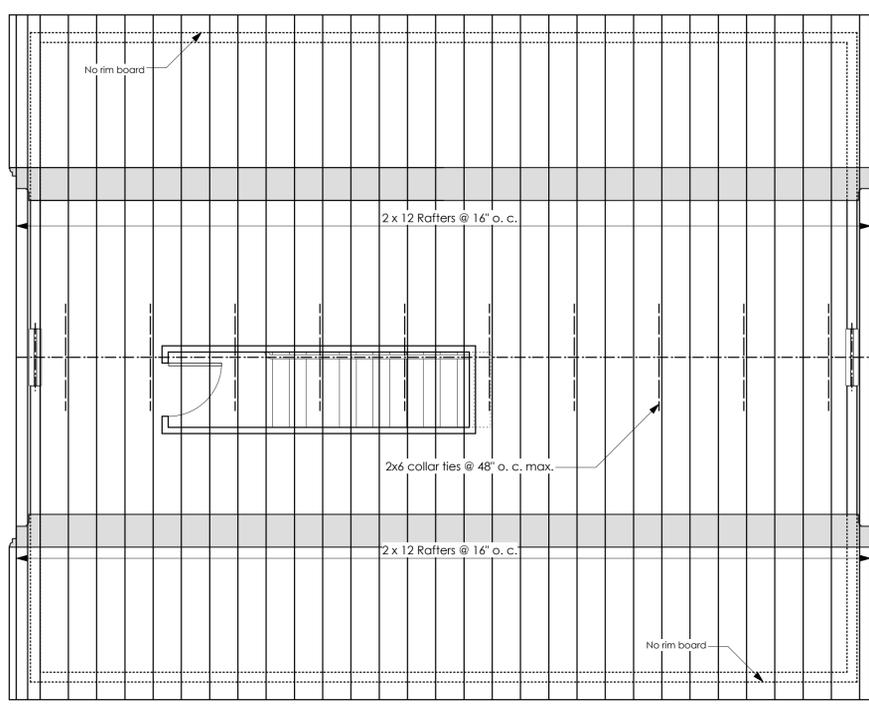
SCALE:
1/4" = 1'-0"

DATE:
17 October 2012

REVISIONS:



Attic Floor Framing Plan

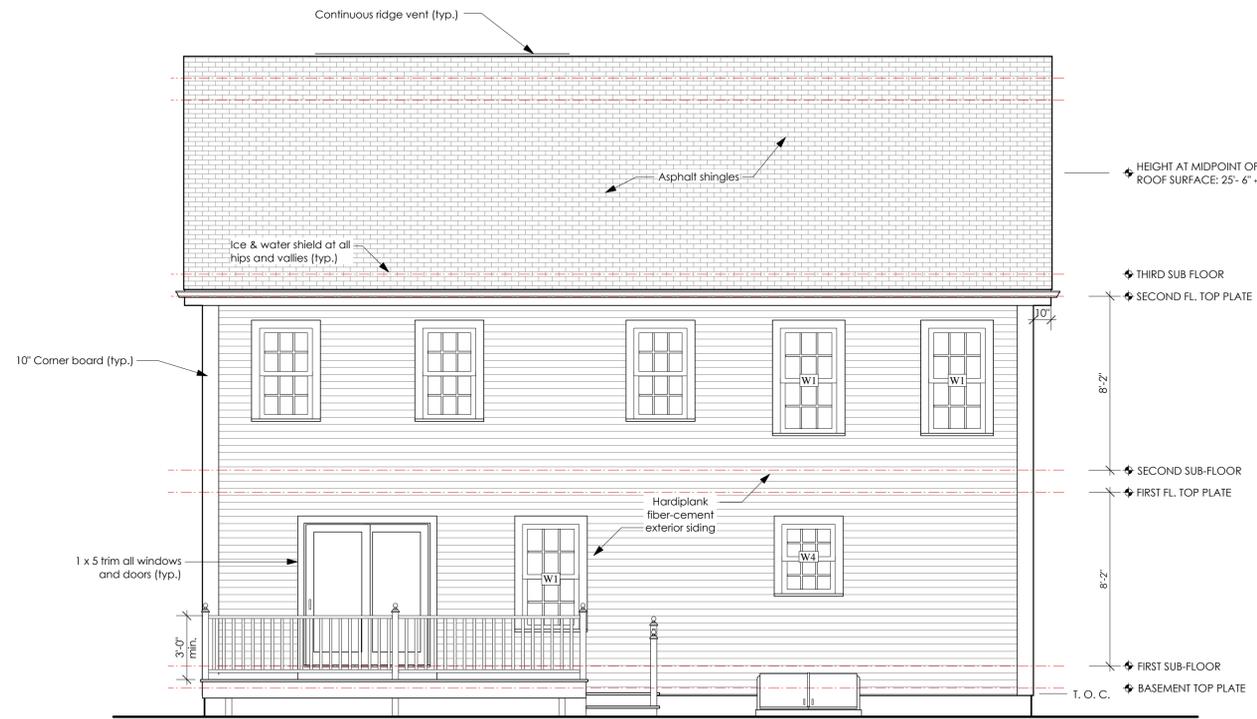


Roof Framing Plan

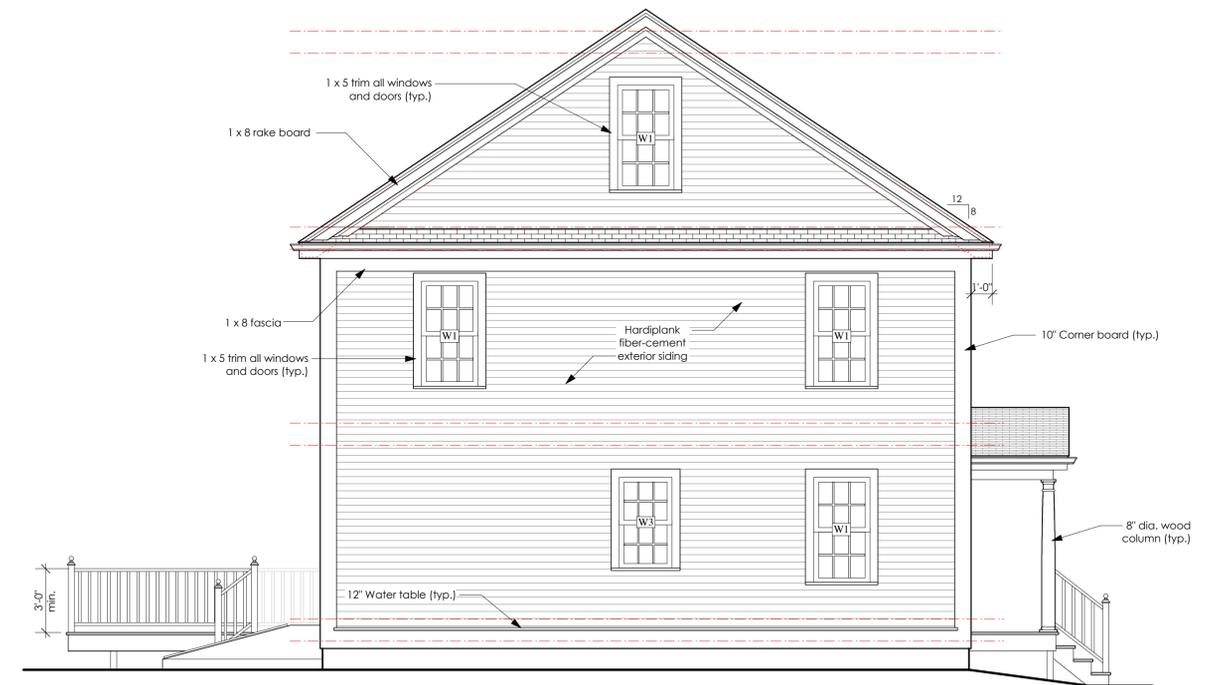
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Attic Floor & Roof Framing Plans

SHEET NUMBER:

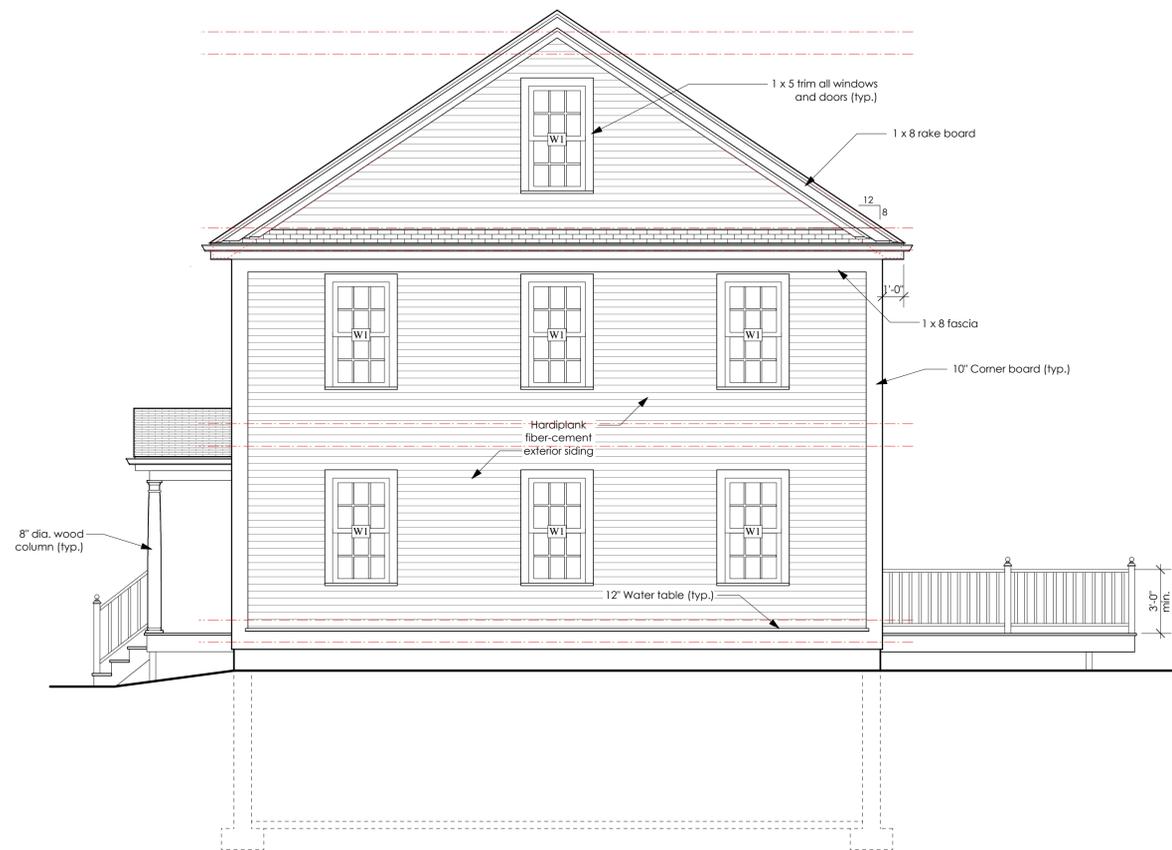
A4



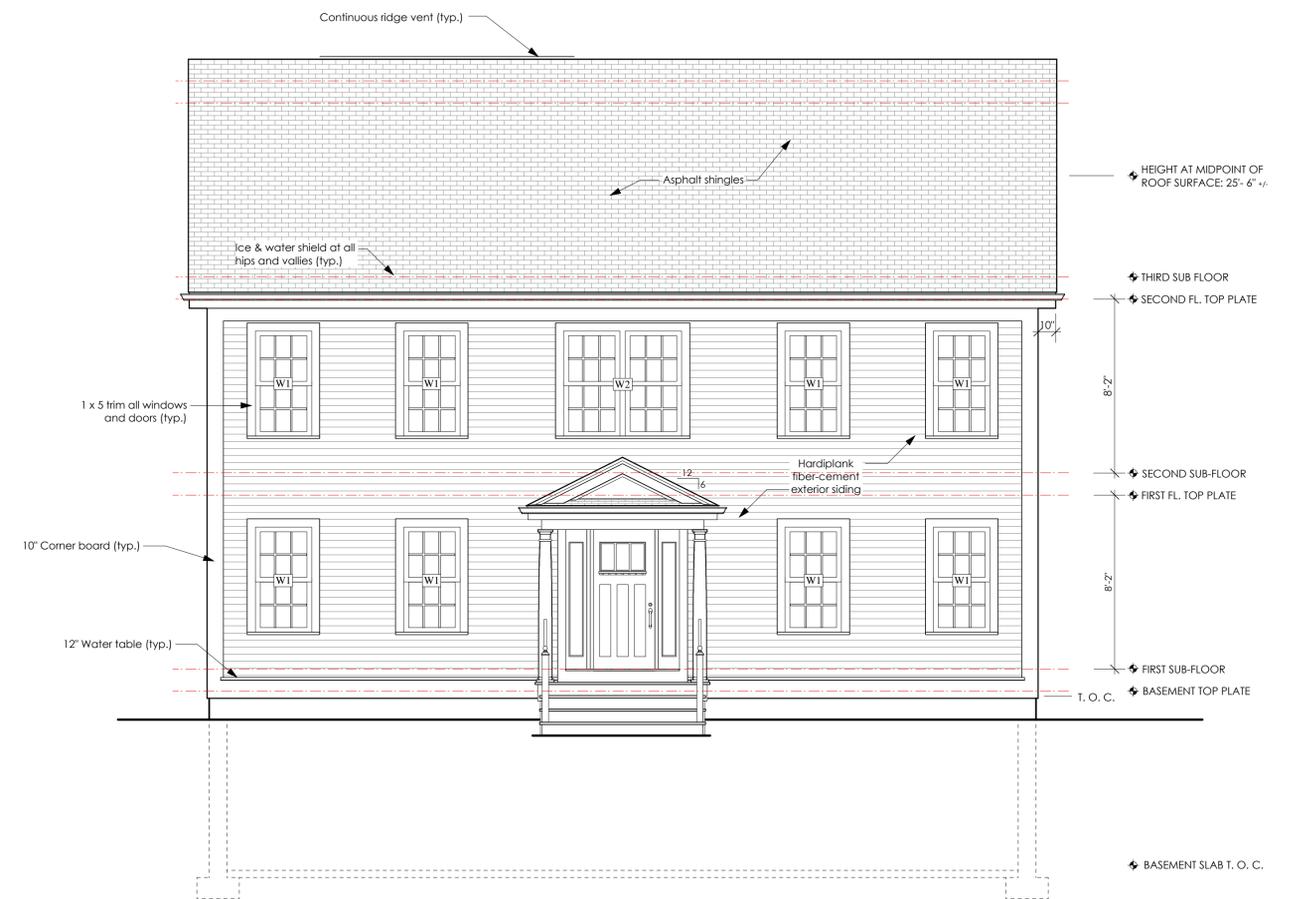
Rear Elevation



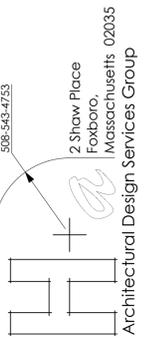
Left Side Elevation



Right Side Elevation



Front Elevation



PROJECT:
New Single Family Home
 63 Vallaro Road
 Hyde Park, MA

SCALE:
 1/4" = 1'-0"



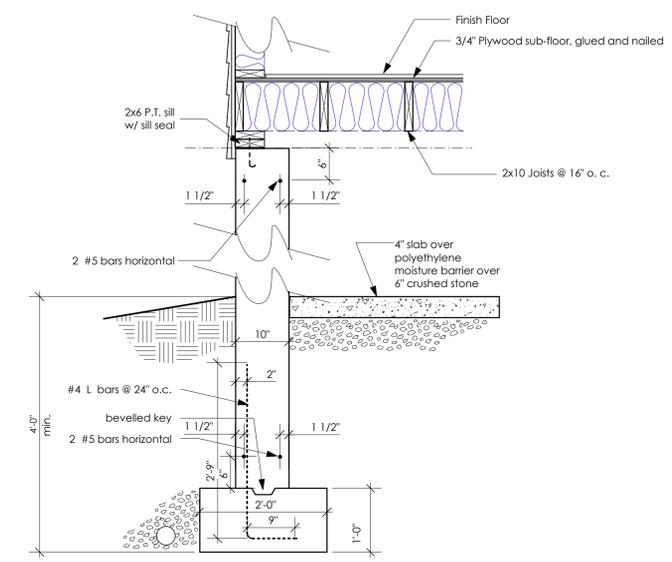
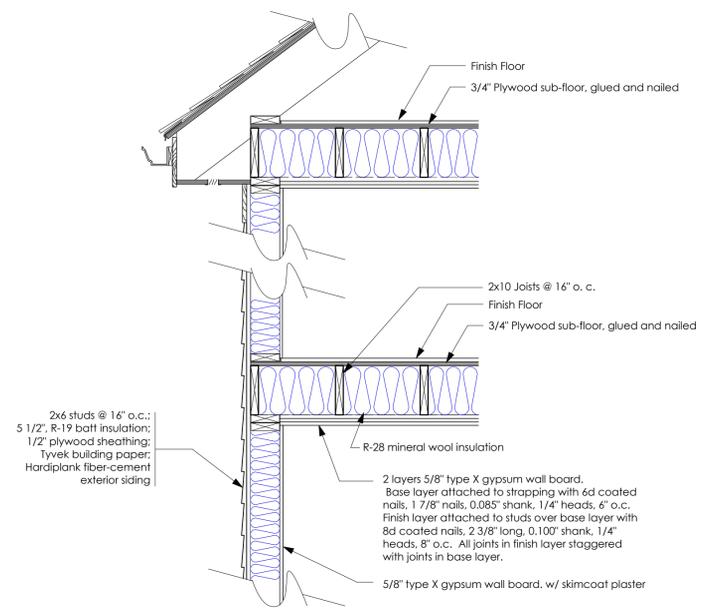
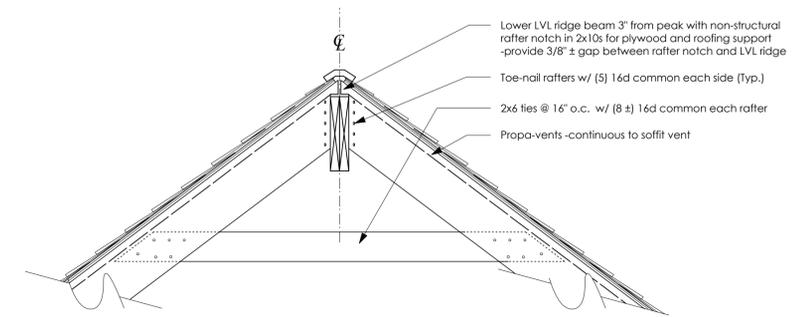
DATE:
 4 March 2014

REVISIONS:

SHEET TITLE:
Front & Right Side Elevations

SHEET NUMBER:

A5



Exterior Wall Section 1
Scale: 3/4" = 1'-0" A-5

508-543-7753
2 Shaw Place
Foxboro
Massachusetts 02035
Architectural Design Services Group

PROJECT:
New Single Family Home
63 Vallaro Road
Hyde Park, MA

SCALE:
1/4" = 1'-0"

DATE:
4 March 2014

REVISIONS:

SHEET TITLE:
Section & Details

SHEET NUMBER:
A6