



# PLAN ELEMENTS WORKSHOP

April 5, 2016

*“Boston needs more housing. But there is no one-size fits-all solution. Every neighborhood has its own character. In some places, density is not only appropriate – it is badly needed.”*

*- Mayor Martin J. Walsh,  
Chamber of Commerce December, 2014*

*"People want to live in Boston...we need to shape growth as a community, not let it shape us. That's what residents are doing along the Red Line in South Boston...They're helping us plan vibrant, walkable streets, with affordable homes, diverse businesses, and great open space."*

*- Mayor Martin J. Walsh,  
State of the City January 19, 2016*



## AGENDA

1. Schedule and Mobility Results
2. Homework
3. Plan Vision & Goals
4. Plan Framework Elements
  - Mobility & Connectivity
  - Land Uses
  - Open Space
  - Height & Density
  - Placemaking & Character
5. Review of Framework Elements at Interactive Stations





## PLAN Overview



***“Talk to Us” open house  
July 30, 2015***

## STUDY GOALS & OBJECTIVES

Create a VISION, with the community, that establishes GUIDELINES that will result in a comprehensive PLAN informing new ZONING to **guide future development.**

- Work with the community to create a shared vision
- Assess existing conditions
- Engage in open and informed discussions
- Determine what to:
  - PRESERVE and maintain in the Study Area;
  - ENHANCE and renew/restore/rehab;
  - GROW with new development in the future.



## SCHEDULE

**JULY 30, 2015 “Talk to Us”**

*Open House*

**SEPTEMBER 14, 2015 “Walk and Bike With Us”**

*Study Area Tours*

**OCTOBER 1, 2015 “Imagine with Us”**

*Visioning Workshop*

**OCTOBER 26, 2015 “Plan with Us”**

*Streets & Blocks, Land Use Workshop*

**NOVEMBER 17, 2015 “Design With Us”**

*Height & Density, Open Space Workshop*

**DECEMBER 14, 2015 “What We Heard”**

*Recap/Dialogue Session*

**JANUARY 27, 2016 “Draft with Us”**

*Placemaking and Mobility Workshop*

**FEBRUARY 23, 2016 “Discuss with Us”**

*Mobility & Getting Around Workshop*

**April 5, 2016 “Review with Us”**

*Elements of Plan & Implementation Strategies*

**May, 2016 – “Finalize with Us”**

*Open House - Presentation of Plan*

**MAY and JUNE, 2016**

*Final Plan production by BRA staff*

**JUNE and JULY, 2016**

*BRA staff draft zoning documents*

## MOBILITY WORKSHOP

February 23, 2016

Part I: Drawing connections

- Improve D Street for all modes
- Enhance connectivity to the west, across rails and Interstate highway
- Improve bike/pedestrian connections north and south to downtown and Moakley Park





## MOBILITY WORKSHOP

February 23, 2016

### Part I: Drawing connections

- Create transit connection to South Boston Waterfront
- Create transit connections to Back Bay/Fens/Green Line without having to transfer downtown
- Create Track 61 rail connection to South Boston Waterfront, South End and Back Bay
- Dorchester Ave and D Street are vehicular priorities



## MOBILITY WORKSHOP

February 23, 2016

### Part II: Analyze Mobility Strategies

- Discussion of potential impact and level of difficulty to implement mobility strategies

### Part III: Prioritize Mobility Strategies

- Participants were given dots to place on strategies they felt would have the most desirable impacts



## MOBILITY WORKSHOP

February 23, 2016

Part III: Prioritize Mobility Strategies

Most prioritized strategies:

1. Bus service to South Boston Waterfront
2. Improve Red Line to allow more service
3. Track 61 train service to Waterfront, South End and Back Bay
4. Lower minimum parking requirements for developments with trip reduction strategies
5. Cycle track along Old Colony (tied)
5. Bike Network throughout Study Area (tied)





# 2

## Homework



*Mobility Workshop  
February 23, 2016*

## HOMework

Underway with City and State agencies, consultant

**Real Estate Market Analysis/Economic Feasibility** – Consultant

**Housing** – Department of Neighborhood Development, Boston Housing Authority, Fair Housing

**Economic Development** – Mayor’s Office of Economic Development, Office of Business Development

**Public Financing** – Treasury, Assessing, Economic Development & Industrial Corporation (EDIC)

**Public Facilities** – Boston Public Schools, Boston Public Library, Boston Police Department, Boston Fire Department, Property & Construction Management

**Open Space** - Parks and Recreation

**Arts & Culture** – Arts Commission

**Public Transportation** – MBTA

**Transportation** – Boston Transportation Department, Boston Bikes, MassDOT

**Public Works** – Public Works Department, Public Improvement Commission

**Water** – Boston Water & Sewer Commission

**Environment/Sustainability/Climate Change** – Environment Department, Boston Landmarks Commission, Boston Public Health

**Boston Centers for Youth & Families**

**Elderly Commission**

**Commission for Persons with Disabilities**

## RECOMMENDATIONS FOR IMPLEMENTATION

### TOPICS

- **Land Use & Zoning**
- **Open Space**
- **Mobility & Transportation**
- **Placemaking, Arts & Culture**
- **Economic Development**
- **Public Health**
- **Environment/Sustainability**
- **People**



## EMERGING RECOMMENDATIONS

### Placemaking, Arts & Culture

- Encourage/introduce public art, in a variety of settings, using local artists to beautify, and/or activate a space by **creating “place”**
- Encourage more **space for artists and/or artist live/work space**; encourage **artist and maker space** in new developments
- Support **temporary artist (“pop up”) uses** that can potentially become permanent
- Work with developers and real estate agents to **activate temporary vacant space**; build **permanent shared arts production space** in partnership with local viable arts organizations
- Bring **public art into the development (budget) discussion** early

## EMERGING RECOMMENDATIONS

### Open Space

- **Create open space** in the study area
- **Create a mix** of linear, neighborhood and large open spaces
- Provide open space that is **programmed for both active and passive users**
- Work with the City's Parks & Recreation Department on **alternate methods (beyond zoning) for creating and funding** new open space

## EMERGING RECOMMENDATIONS

### Economic Development

- Support and enhance **existing businesses**, especially local businesses, within the Corridor
- Attract **new businesses** to the Corridor, especially those that complement and support existing local businesses and those of the future
- Encourage **affordable commercial space** in new or existing development
- Ensure existing businesses have **access to services** (such as training and funding) so they can continue to be viable enterprises



## EMERGING RECOMMENDATIONS

### Land Use & Zoning

- Create **new zoning** for land uses, dimensions, and design as defined in strategic PLAN: South Boston Dorchester Ave
- Create new zoning that provides **predictable entitlements** at base and bonus density levels
- Use density bonus to require **additional public benefits**
- Provide a **“complete neighborhood”** over time for multiple uses, various connections, and diverse populations
- Define **gateway zones** to encourage Transit Oriented Development (TOD)

## EMERGING RECOMMENDATIONS

### Environment /Sustainability

- Explore creation of a **district energy plan** among utilities and City entities that showcases new ways of building and sustaining district over time
- Ensure preparedness for effects of **climate change** including sea-level rise, heat waves and severe storms through building design
- Provide adequate open space within new developments through **green roofs** (i.e. heat reduction and storm water retention) and **landscaping**

## EMERGING RECOMMENDATIONS

### Mobility & Transportation

- Develop proposed transportation network to City of Boston **Complete Streets** guidelines
- Add **direct, frequent publically accessible transit** from study area to Waterfront along D Street or within South Boston Bypass Road corridor
- Explore **bus operational improvements** at Andrew Square and **extension of existing routes** to serve area
- Design street system to encourage **regional traffic to utilize regional facilities** (i.e. I-93 instead of Dorchester Ave or Old Colony Ave)
- Implement **protected intersections for pedestrians and cyclists**
- Promote **shared parking concepts**; explore **maximum parking ratios** within zoning
- Conduct **comprehensive transportation analysis** with consultant

# 3

## Plan Vision & Goals



***"Imagine with Us" workshop***  
*October 1, 2015*



## STUDY VISION

### Based on shared priorities

#### ■ **A walkable neighborhood with improved public transportation**

- Walkable sidewalks and bikeable streets
- Less traffic congestion
- Cycling opportunities for people of all ages

#### ■ **A neighborhood with amenities**

- Retail and other services
- Civic/Cultural/Art spaces
- New and varied open spaces

#### ■ **A diversity of housing types**

- Live/work opportunities
- Tall apartment buildings
- Smaller housing units preserving existing character

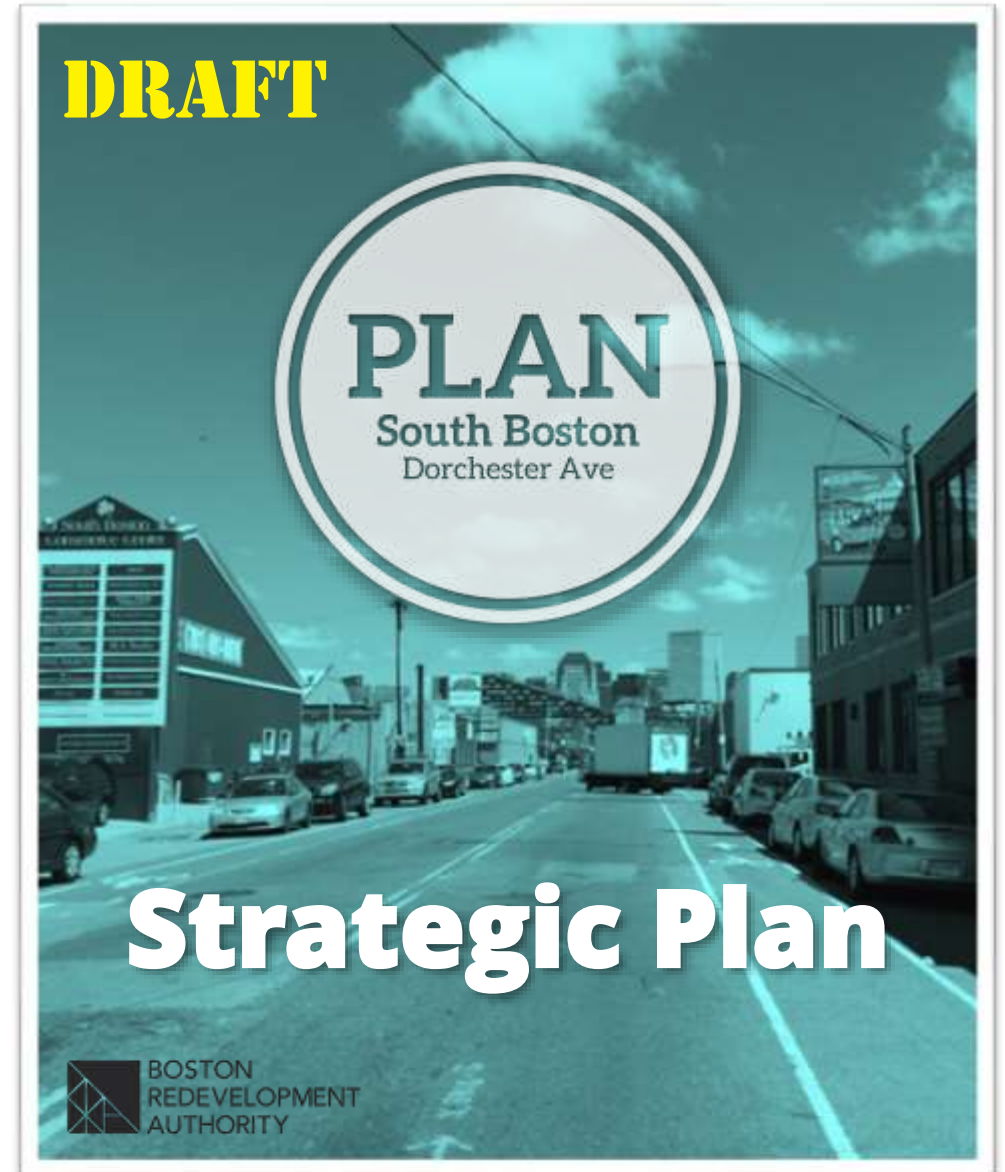
## GOALS OF THE PLAN

- Present elements of the 21<sup>st</sup> Century Mixed Use Neighborhood
- Provide planning and zoning tools for implementation of the community vision
- Create predictable benefits for the neighborhood
- Create a framework for future development

## PLAN REPORT

### Table of Contents

1. Introduction / Executive Summary
2. PLAN Workshops & Outcomes
3. Framework
  - Planning Context
  - Mobility & Connectivity
  - Land Uses
  - Open Space
  - Height & Density
  - Placemaking & Character
4. Implementation
  - Urban Design Guidelines
  - Zoning Recommendations
  - Phasing (Short, Mid, Long-Term)
  - Coordination of Development and Benefits
5. Appendices





# 4

## Plan Framework Elements



*“Walk/Bike Tour” workshop  
September 10, 2015*





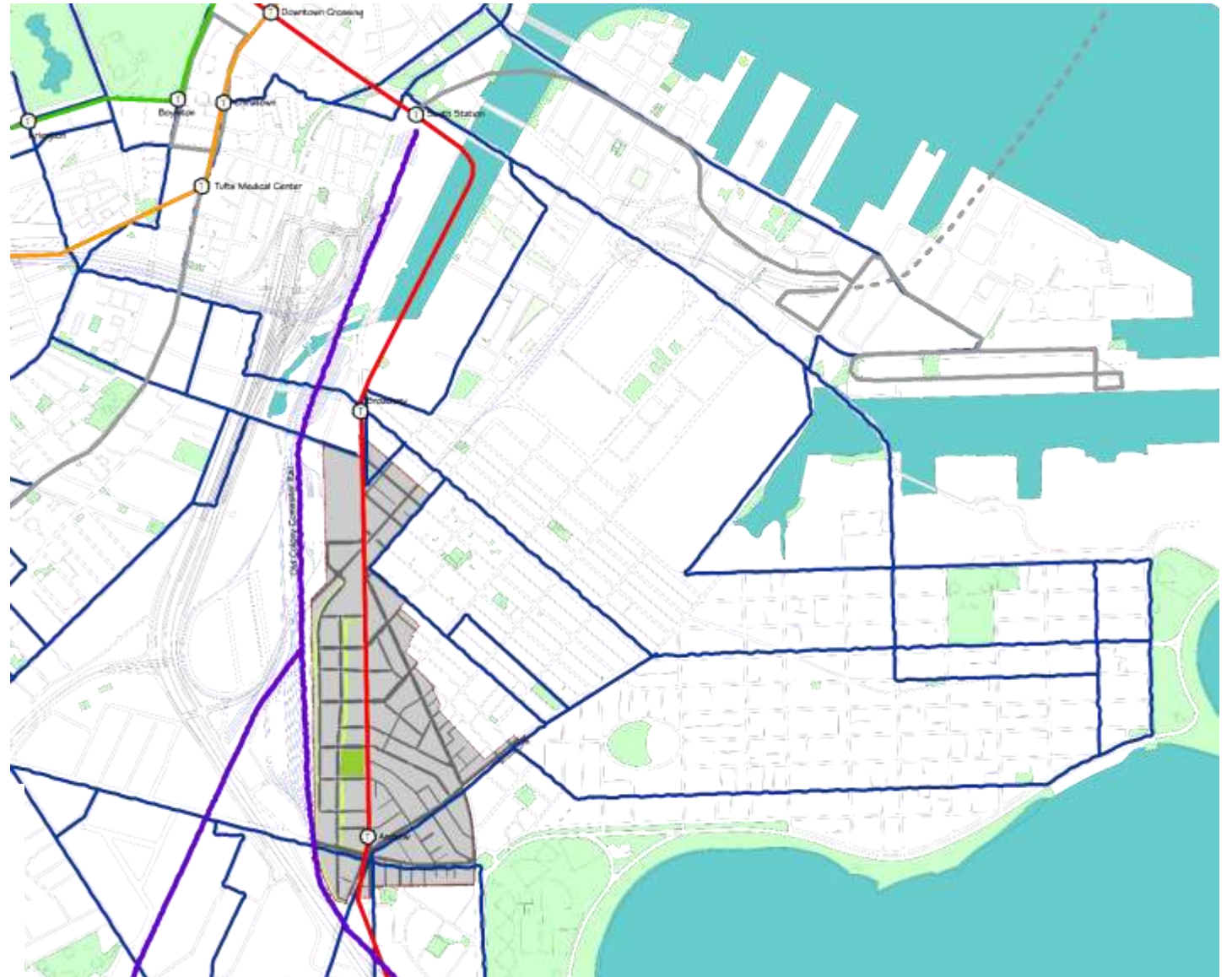
# Mobility & Connectivity

## NEIGHBORHOOD SCALE

### Existing Transit Network

In conjunction with redevelopment, create a network of Complete Streets that will foster an active pedestrian environment and allow traffic to be distributed throughout the Study Area.

-  Existing Bus Routes
-  Transit Lines
-  Commuter Rail

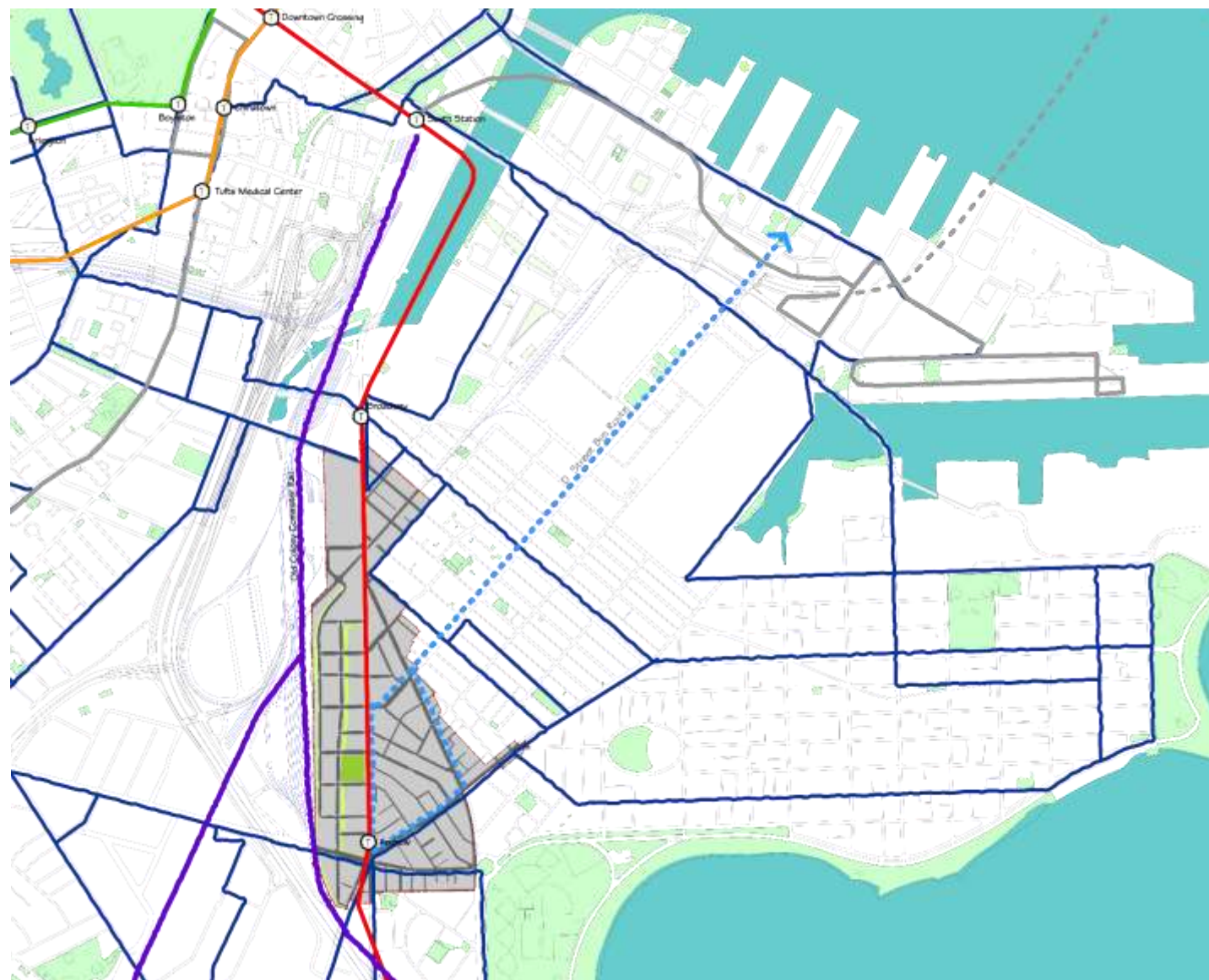




## NEIGHBORHOOD SCALE

### Conceptual Future Connections







- Create a direct transit connection to the South Boston Waterfront
- Create a bus connection between Andrew and Broadway T Stations

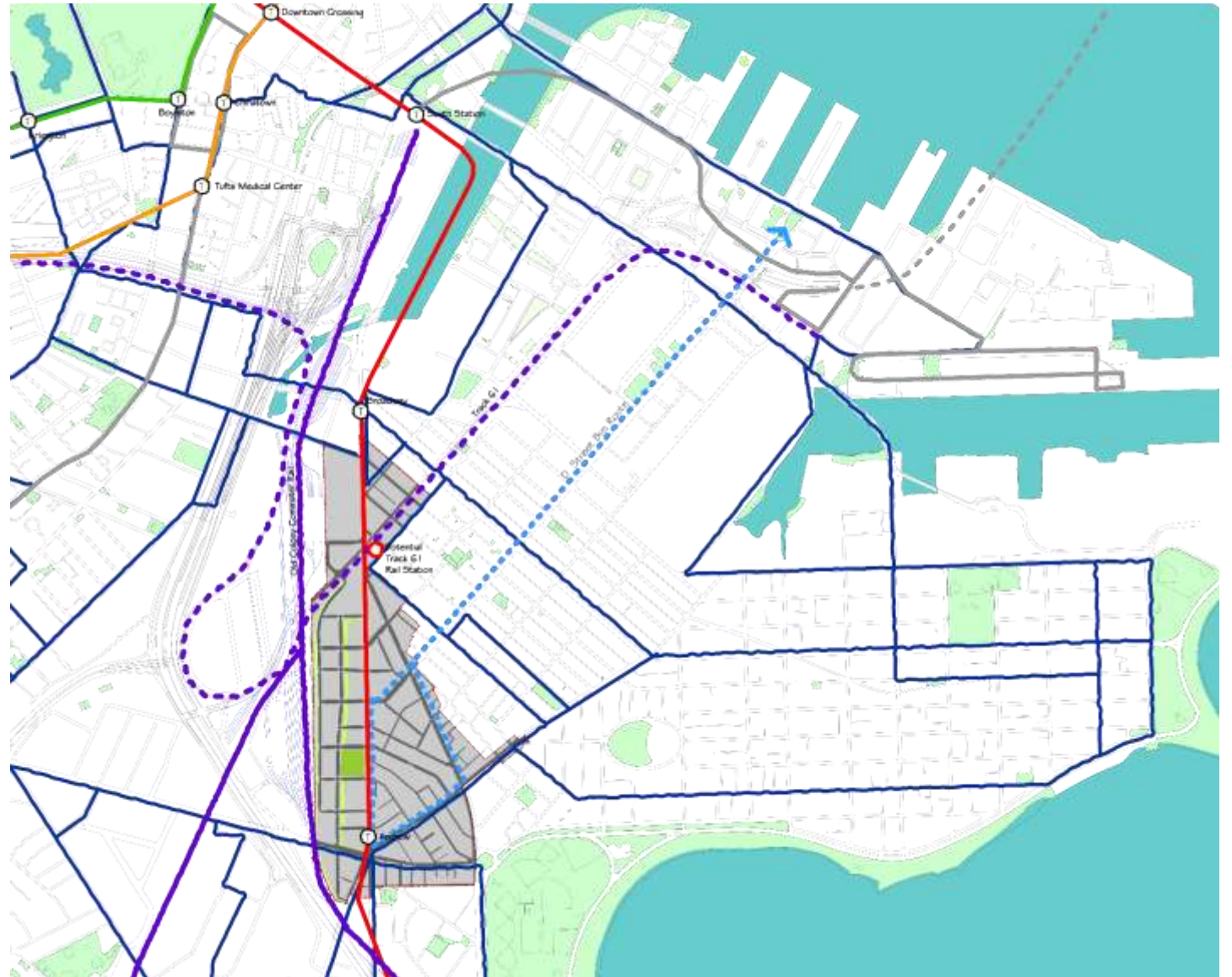


## NEIGHBORHOOD SCALE

### Conceptual Future Connections

Create a new cross-town transit connection via the Track 61 corridor to connect to the South Boston Waterfront, South End and Back Bay

-  Existing Bus Routes
-  Transit Lines
-  Commuter Rail
-  Potential Bus Route
-  Track 61
-  Potential Rail Station





## NEIGHBORHOOD SCALE

### Conceptual Future Connections

- Enhance connectivity across the rail corridors and I-93 to the west
- Improve bike/pedestrian connectivity to downtown and Moakley Park
- Dorchester Ave and D Street provide important vehicular connectivity



## NEIGHBORHOOD SCALE

### Conceptual Future Connections

Create a connection down Dorchester Avenue across Fort Point Channel to Summer Street

-  Interstate/Tunnel
-  Major Connections
-  Secondary Connections
-  New Connections





## DISTRICT SCALE

### Dorchester Avenue



*View North on Dorchester Ave*



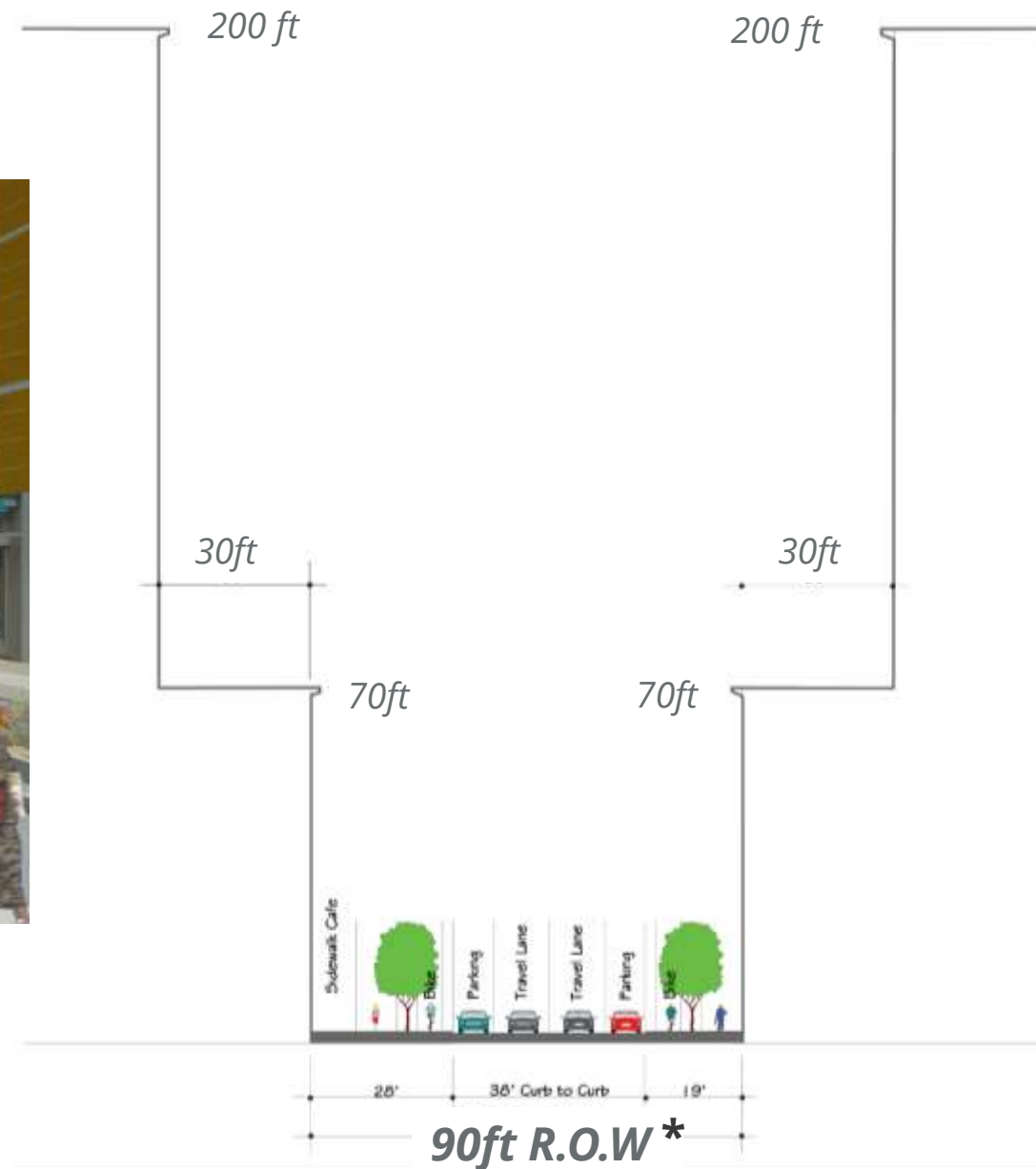
## BLOCK SCALE

### Dorchester Avenue



*Conceptual Drawing of Future Dorchester Ave*

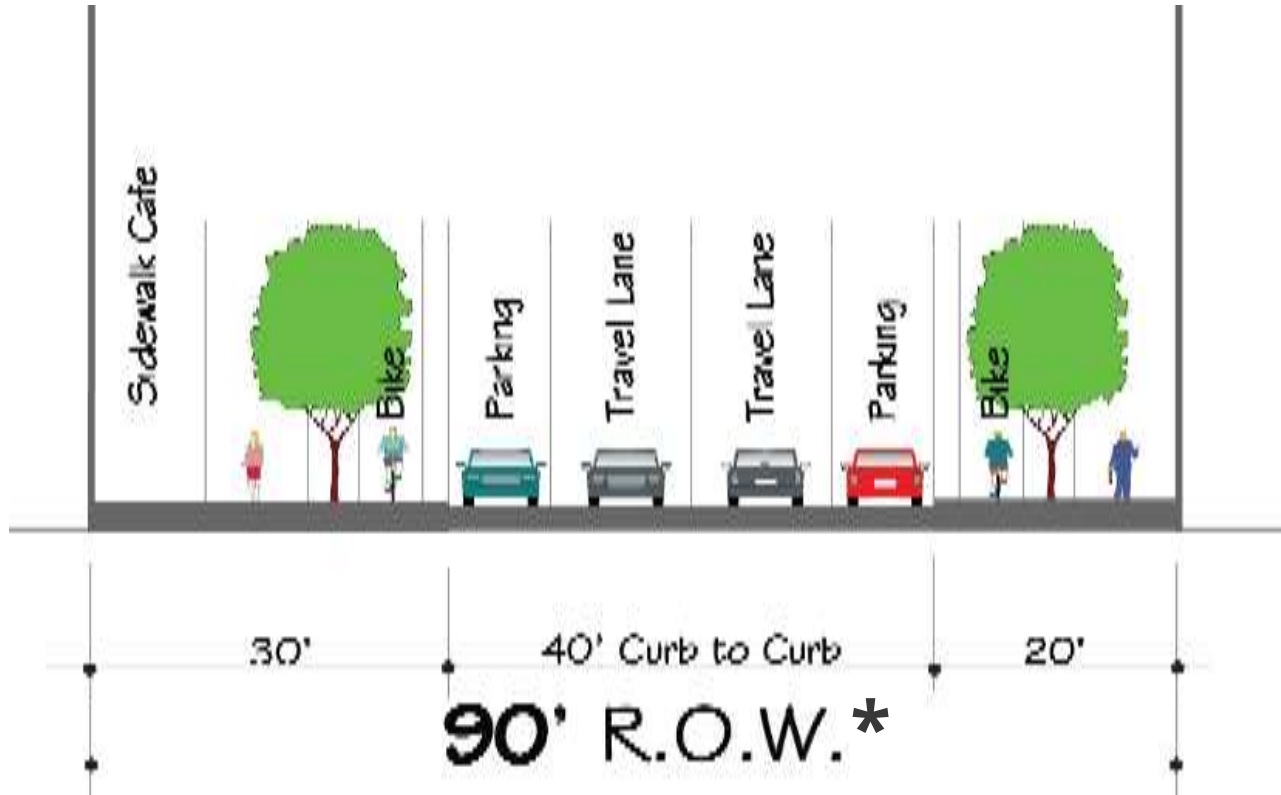
\* R.O.W = Right of Way





## BLOCK SCALE

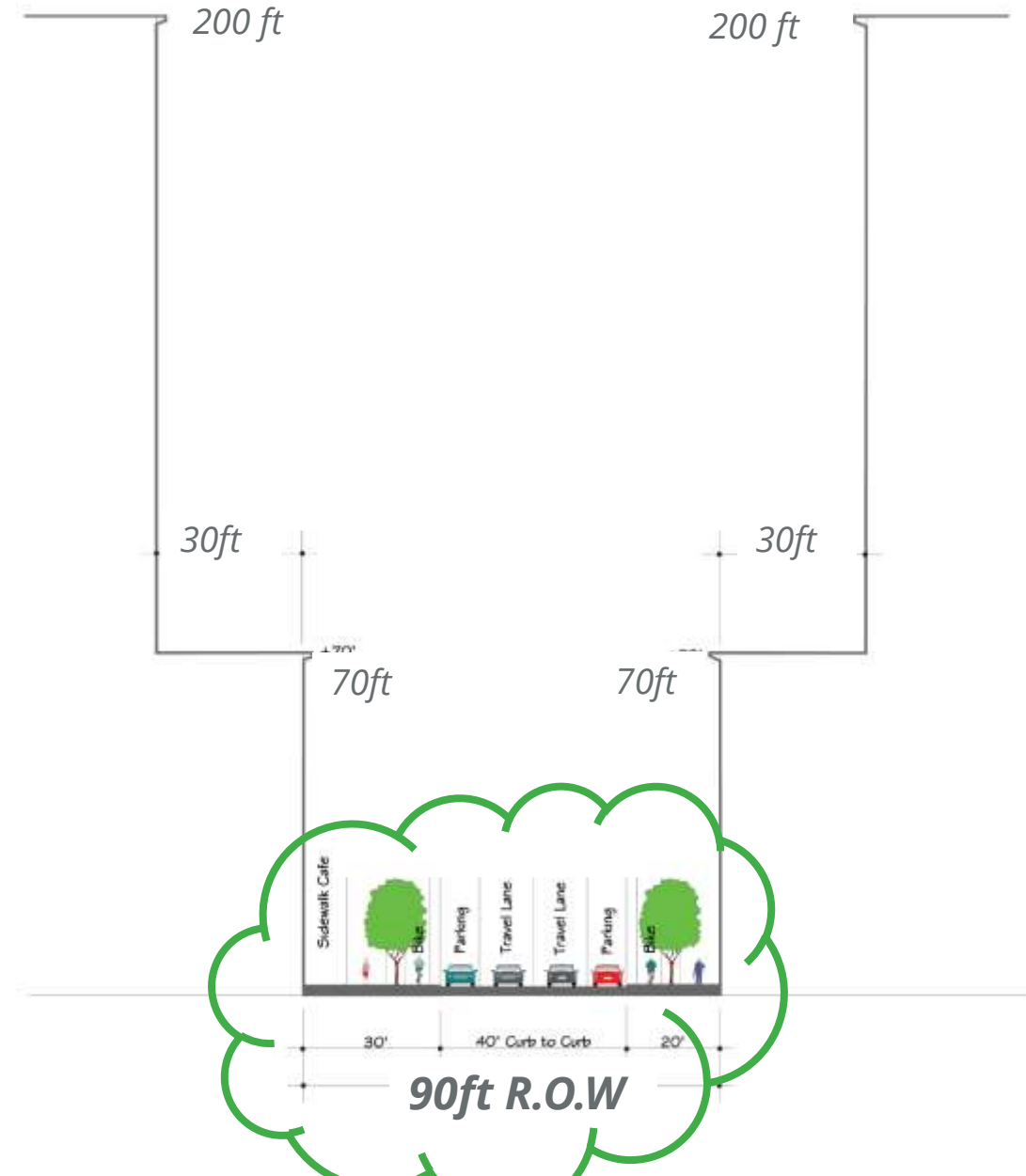
### Dorchester Avenue



Conceptual Section\*\* of Future Dorchester Ave

\* R.O.W = Right of Way

\*\*detailed transportation study will be recommended



## DISTRICT SCALE

### Green Corridor (Ellery Extension)



*View down Alger St towards the tracks*



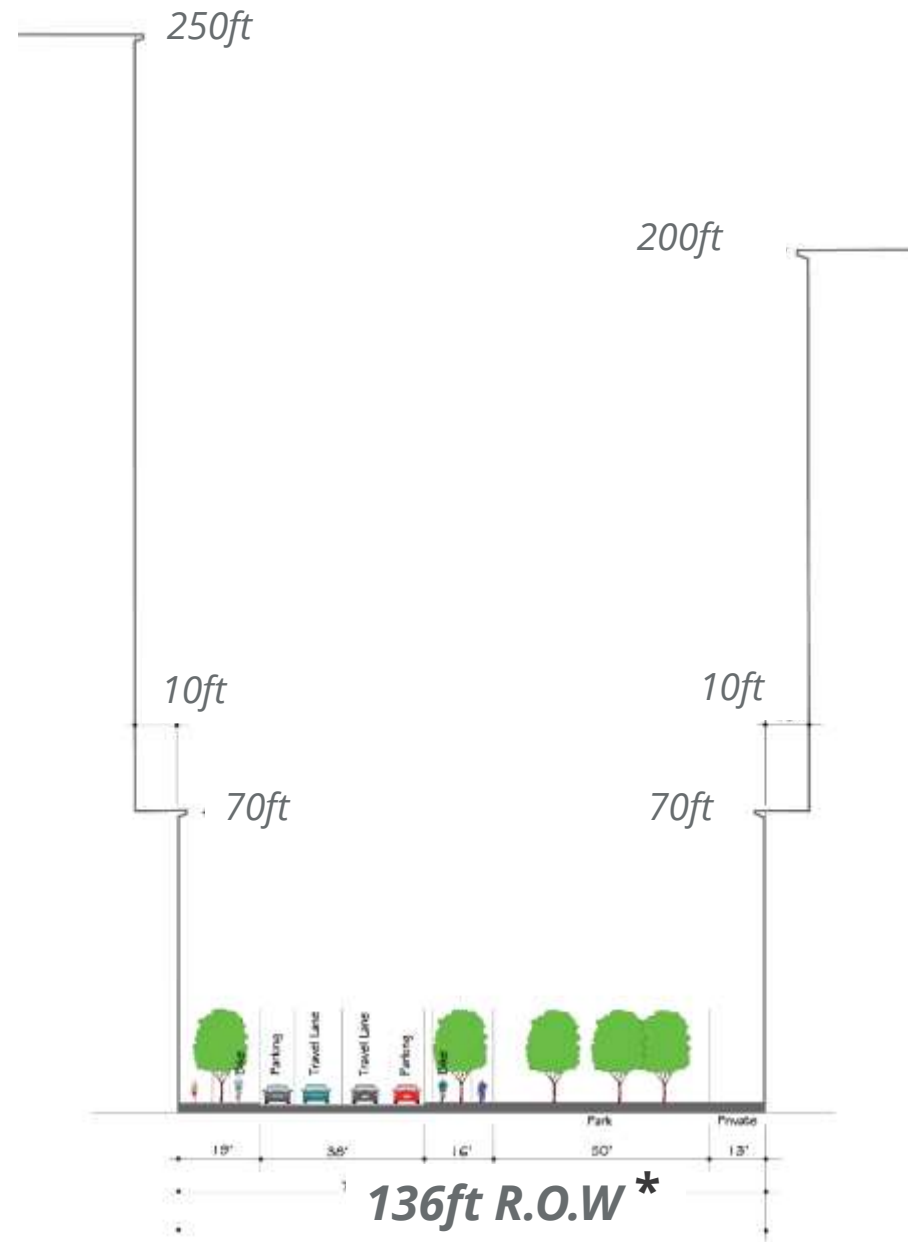
## BLOCK SCALE

### Green Corridor (Ellery Extension)



*Conceptual Drawing of Future Green Corridor*

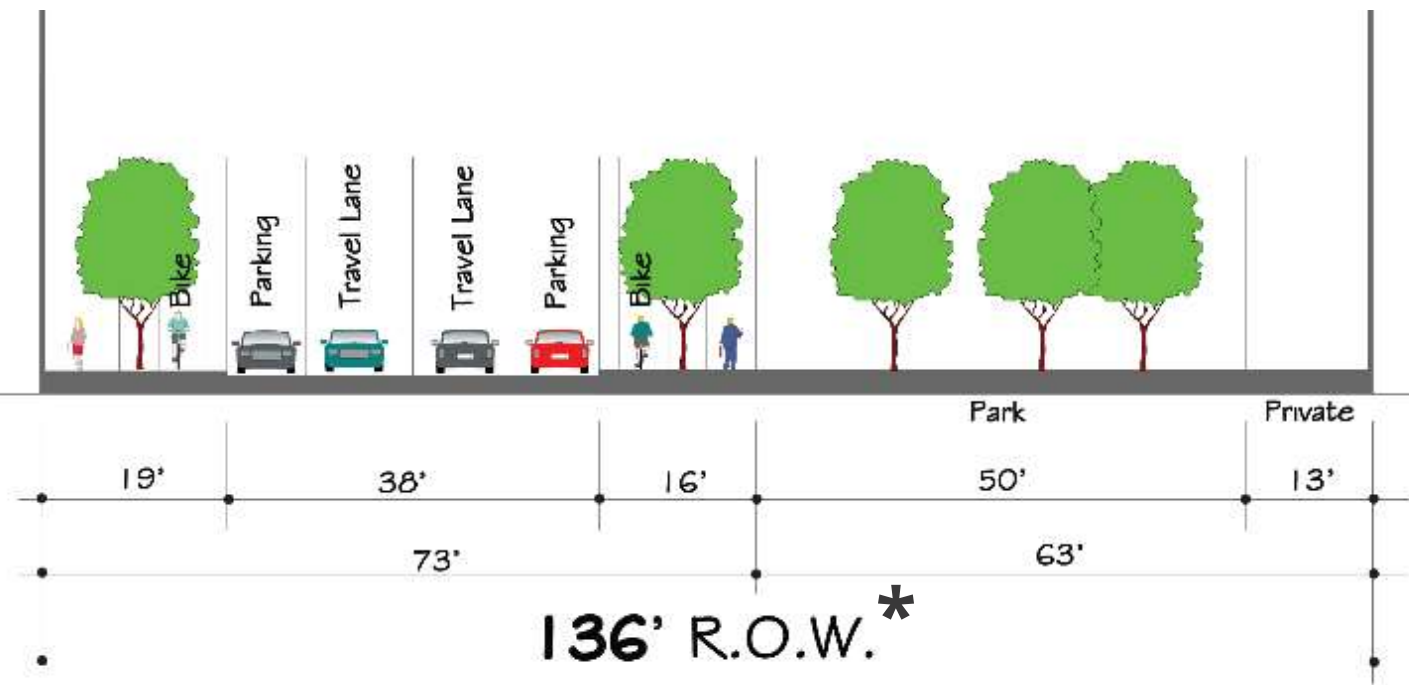
\* R.O.W = Right of Way





## BLOCK SCALE

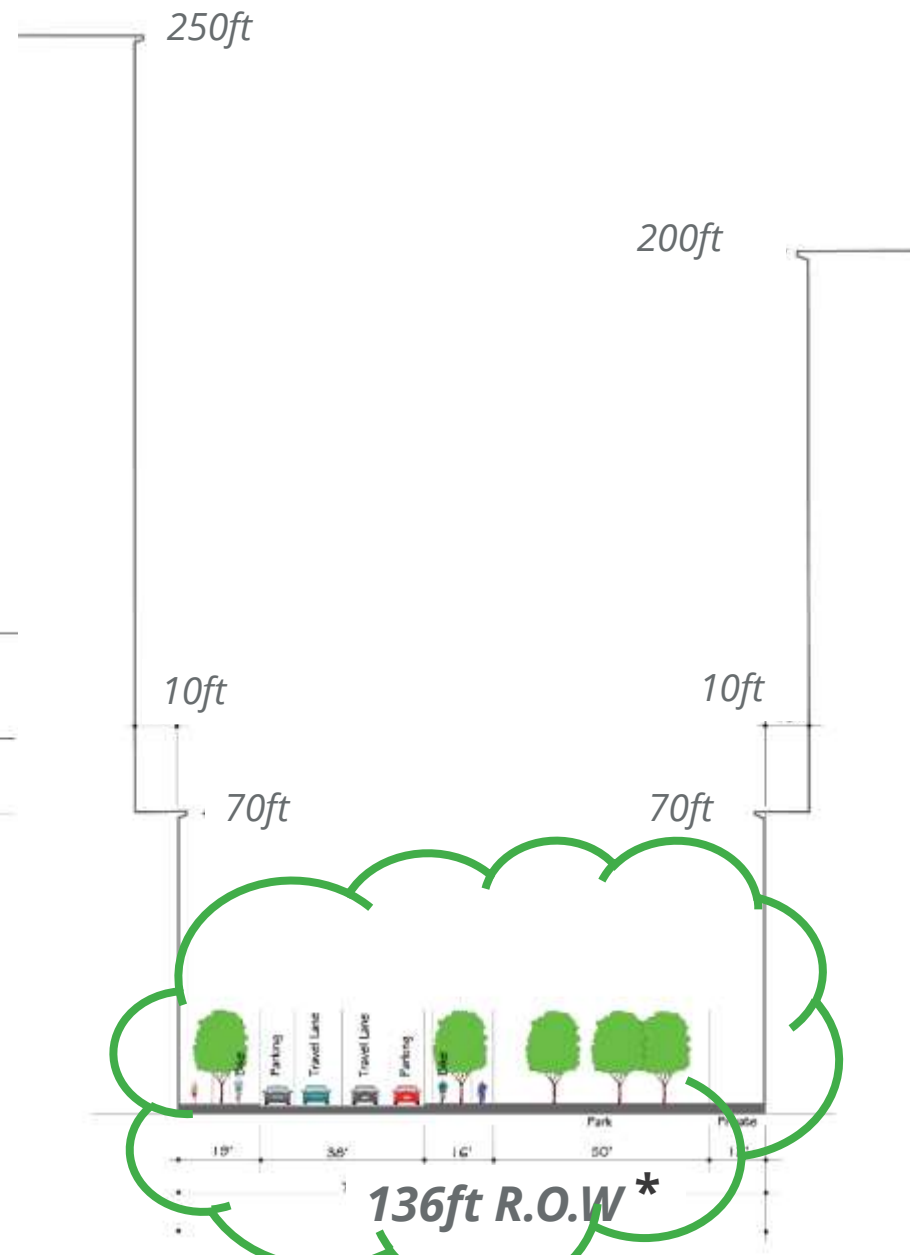
### Green Corridor (Ellery Extension)



Conceptual Section\*\* of Future Green Corridor

\* R.O.W = Right of Way

\*\*detailed transportation study will be recommended





## DISTRICT SCALE

### Old Colony Avenue



*View North on Old Colony Ave*



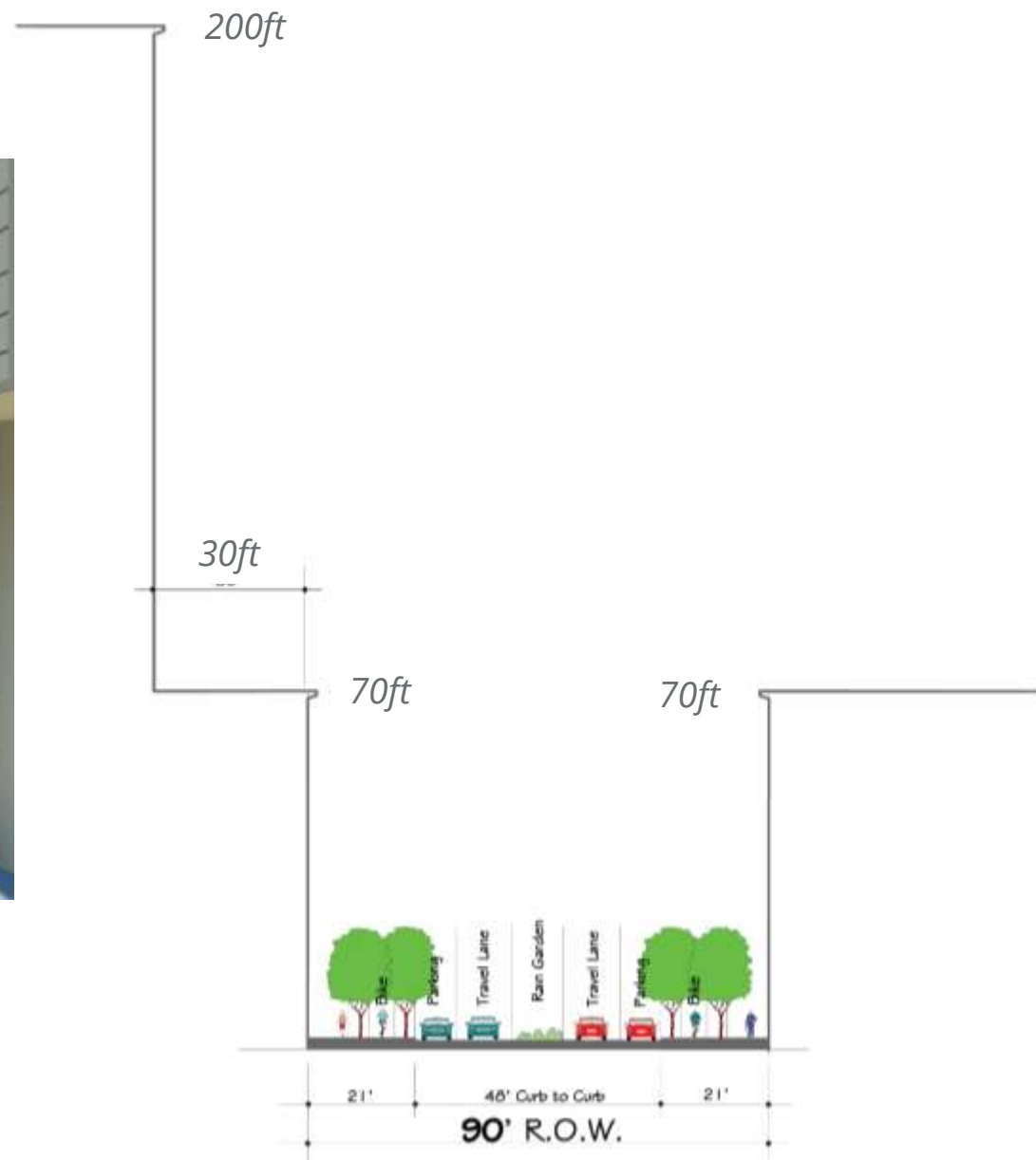
## BLOCK SCALE

### Old Colony Avenue



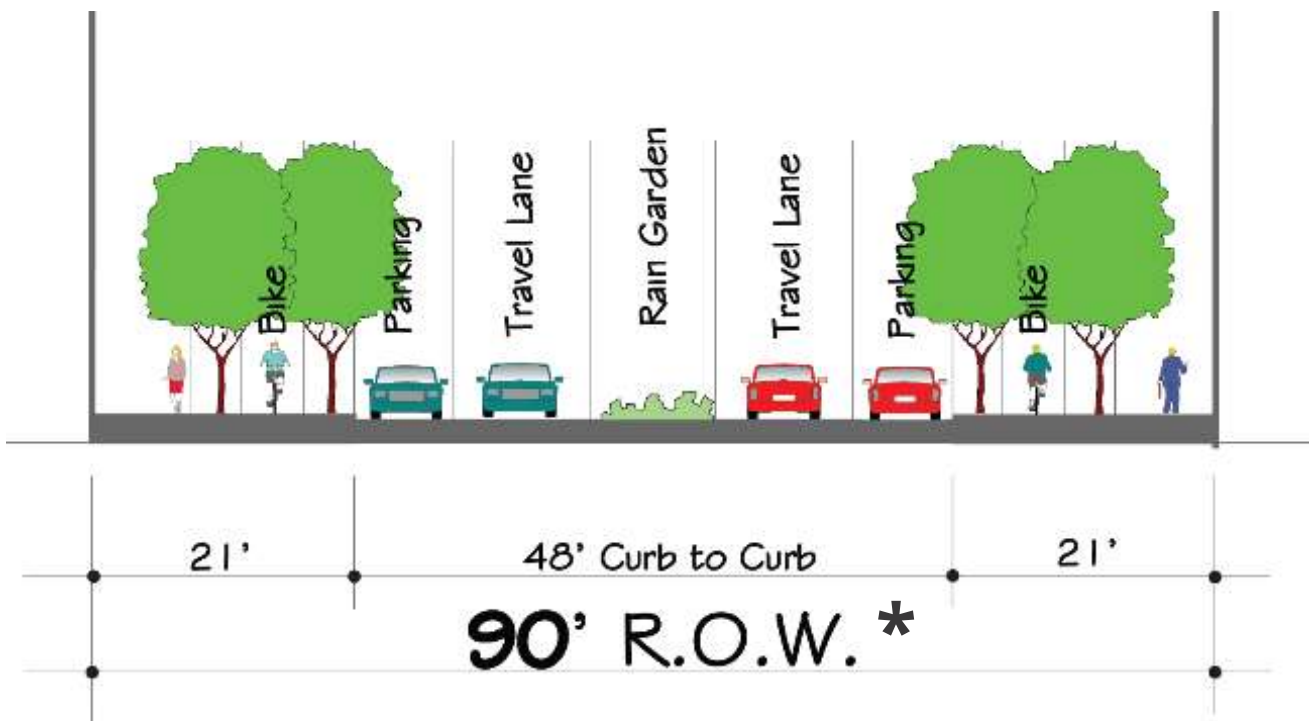
Conceptual Drawing of Future Old Colony Ave

\* R.O.W = Right of Way



## BLOCK SCALE

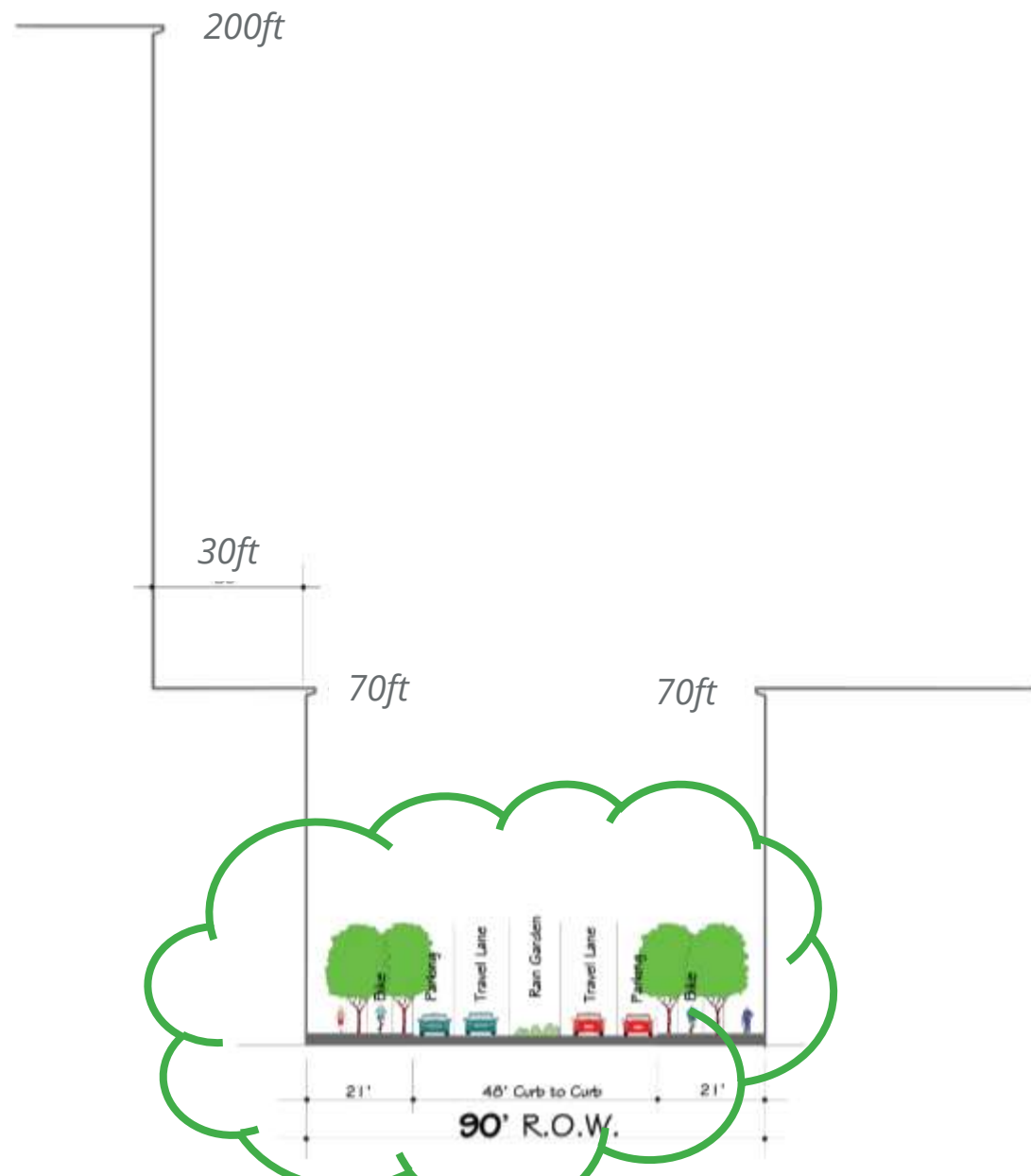
### Old Colony Avenue



Conceptual Section\*\* of Future Old Colony Ave

\* R.O.W = Right of Way

\*\*detailed transportation study will be recommended



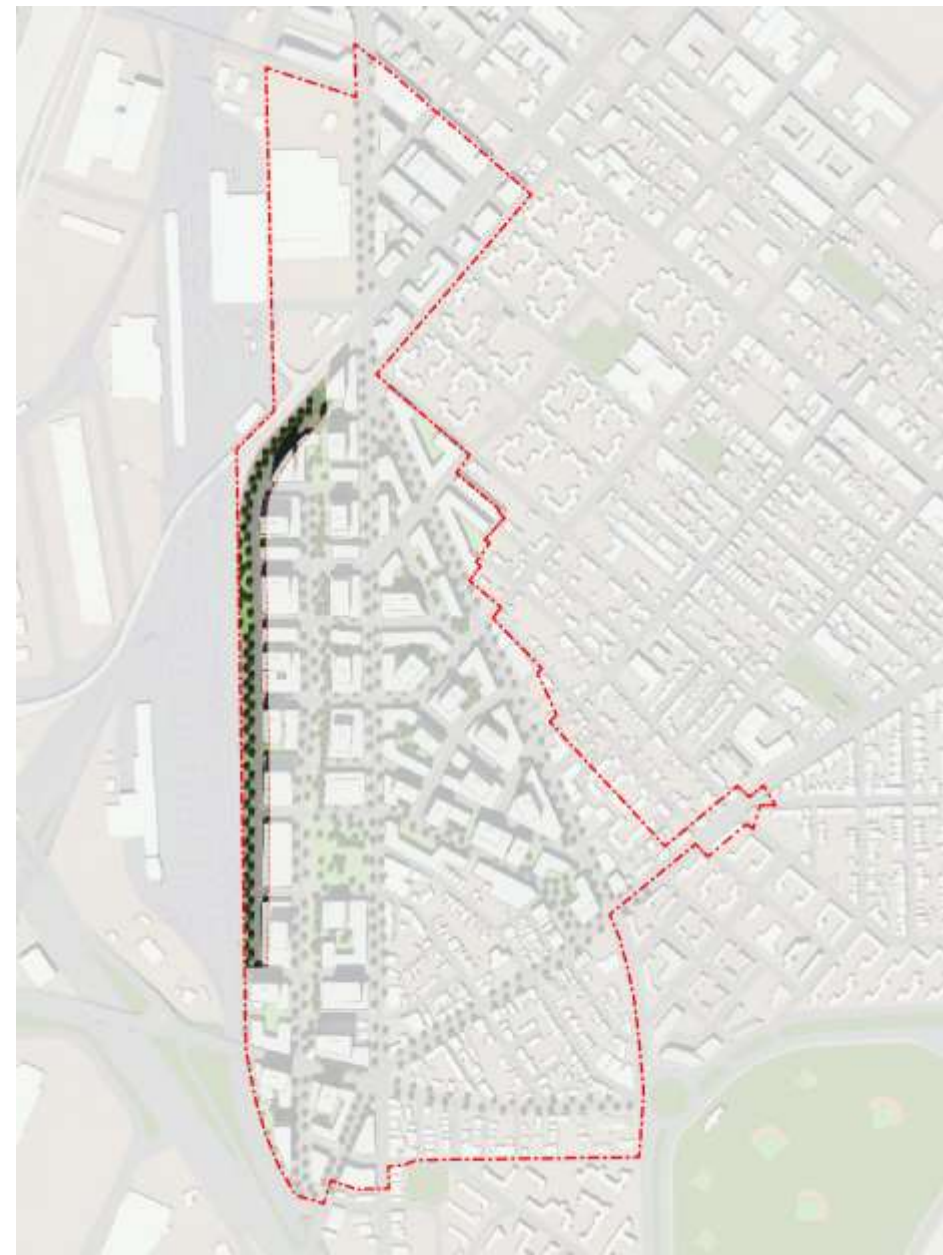


## DISTRICT SCALE

### Service Road



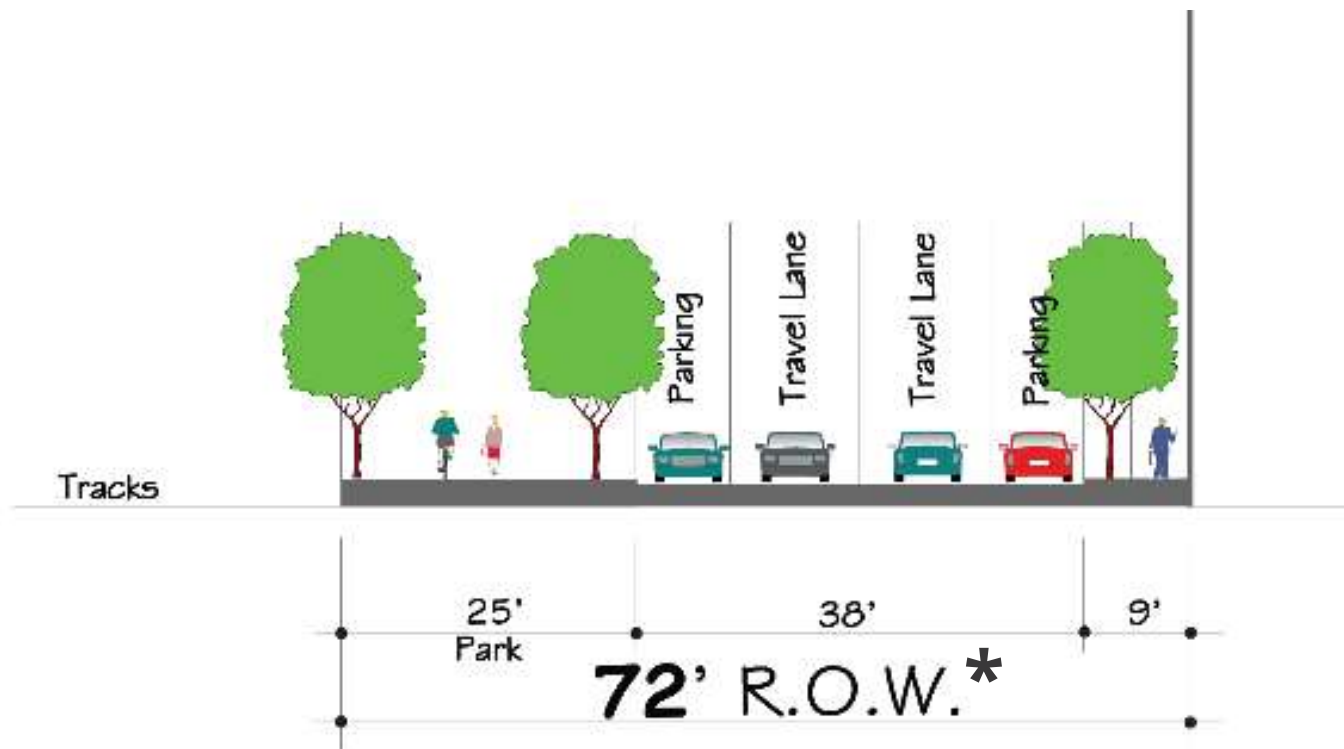
*Conceptual Drawing of Future Service Road*





## BLOCK SCALE

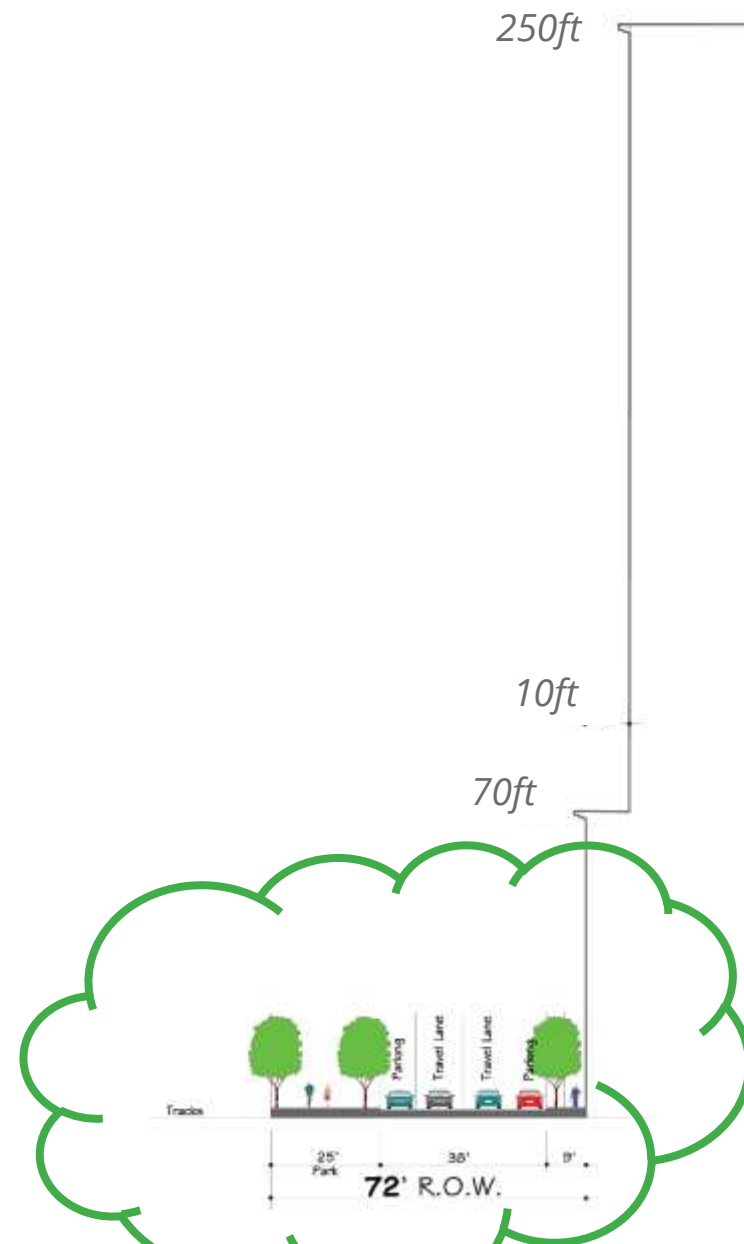
### Service Road "Rail" Corridor



*Conceptual Section\*\* of Future Service Corridor*

\* R.O.W = Right of Way

\*\*detailed transportation study will be recommended



## PRECEDENT

### Harrison-Albany Study

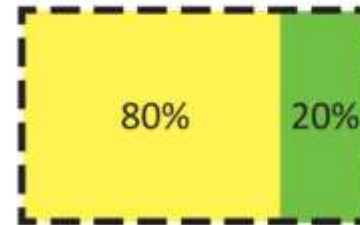
#### LOT COVERAGE

To achieve a pedestrian friendly public realm:

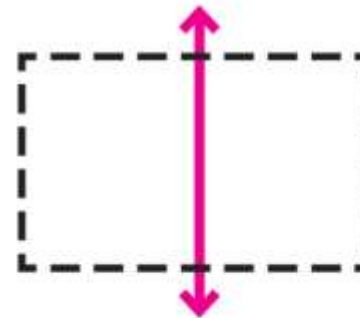
- Limit development footprint to 80% of the lot
- 20% of the lot to be designed and built to ensure public access or enhance the pedestrian experience



$\geq 1$  acre



80% : DEVELOPMENT FOOTPRINT  
20% : PEDESTRIAN FRIENDLY FOOTPRINT



THROUGH-BLOCK CONNECTION

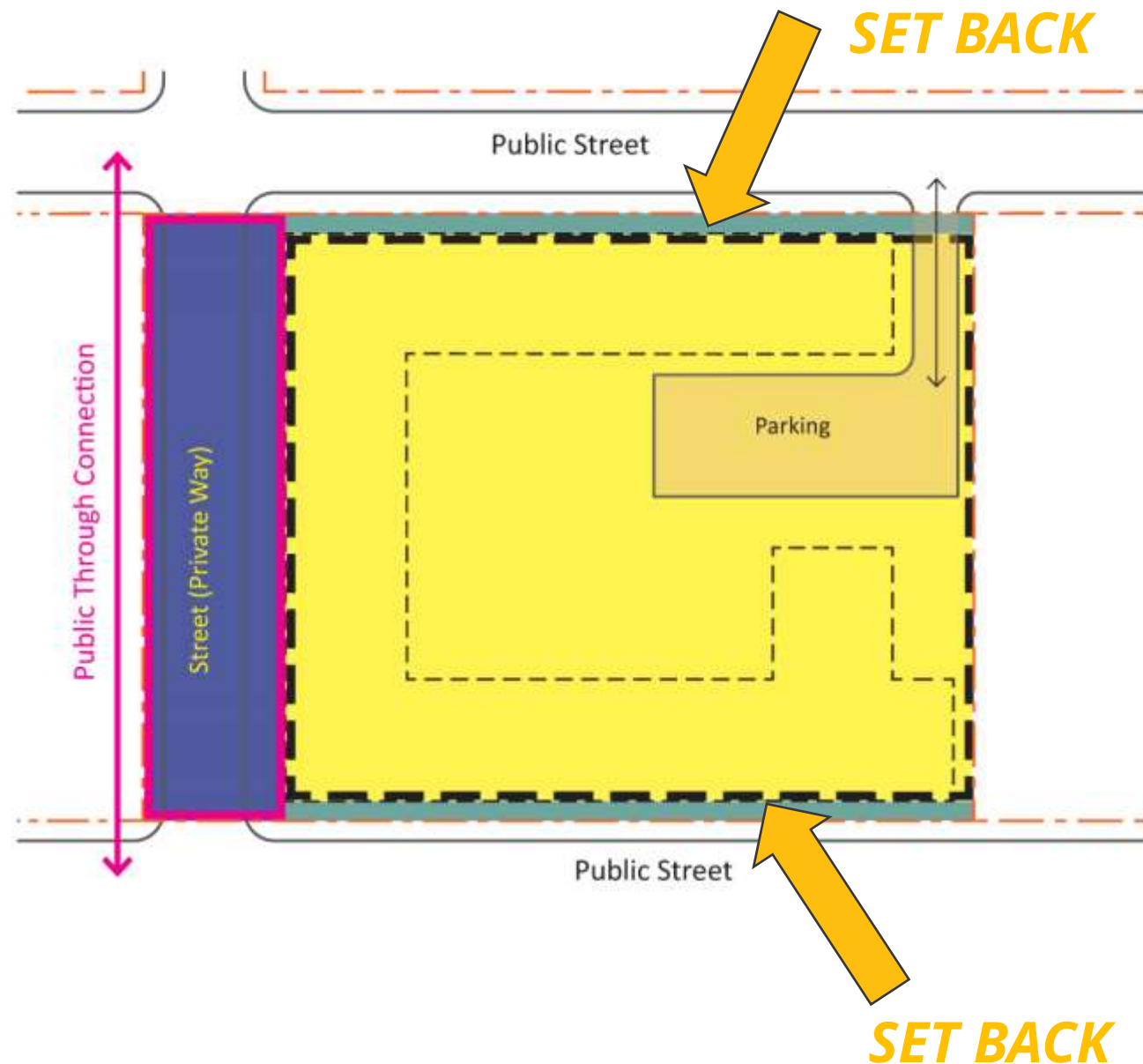


PLACE-MAKING SPACE

## PRECEDENT

### Harrison-Albany Study

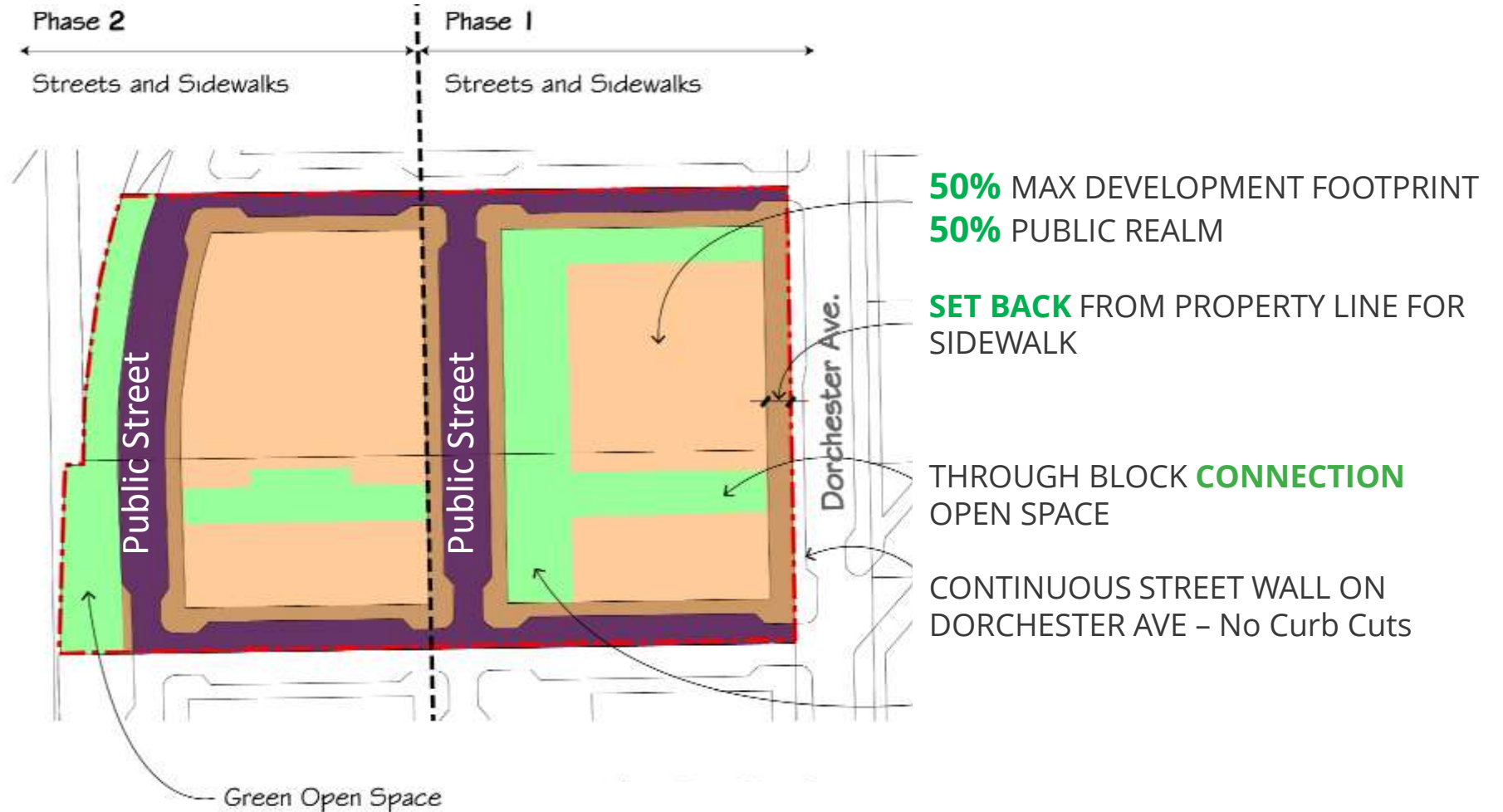
### LOT COVERAGE & BUILDING SET BACKS





## BLOCK SCALE

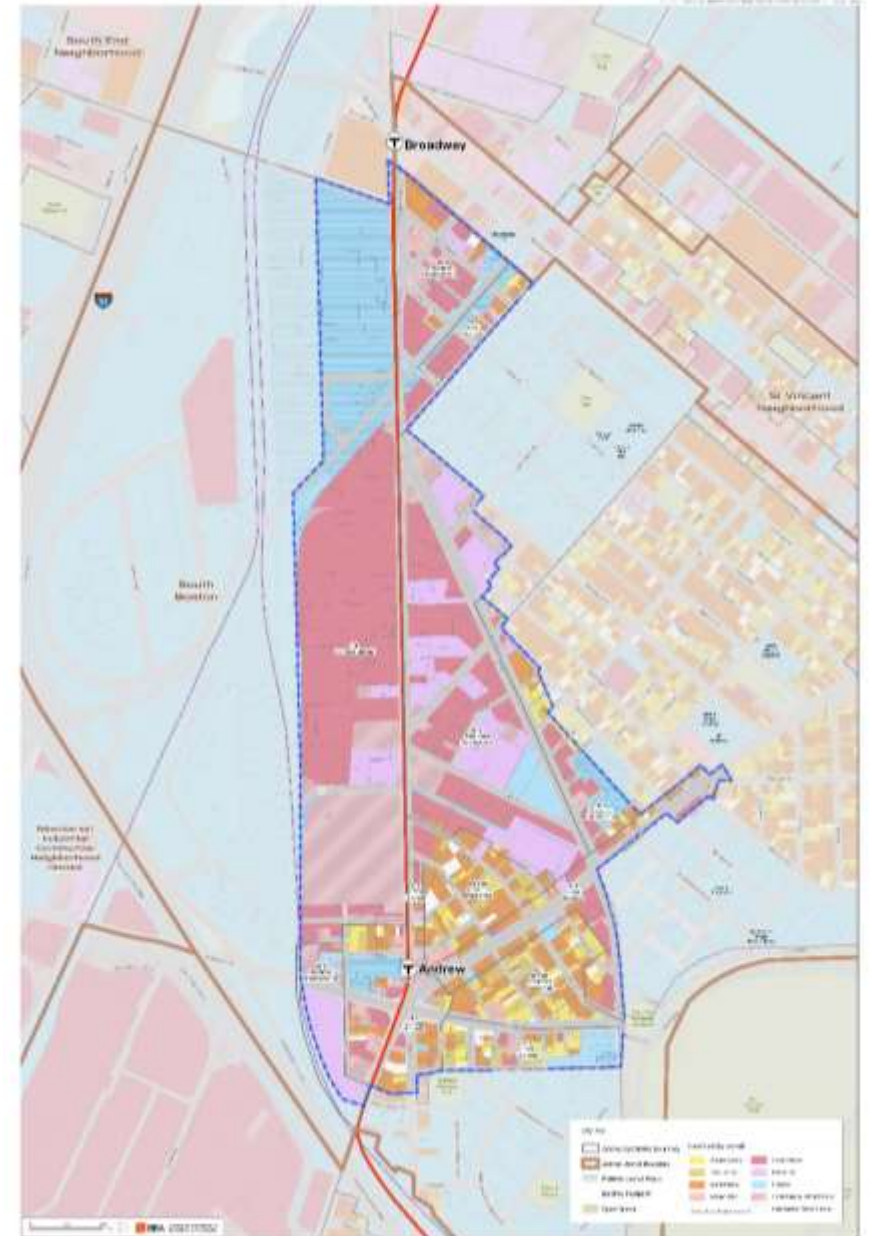
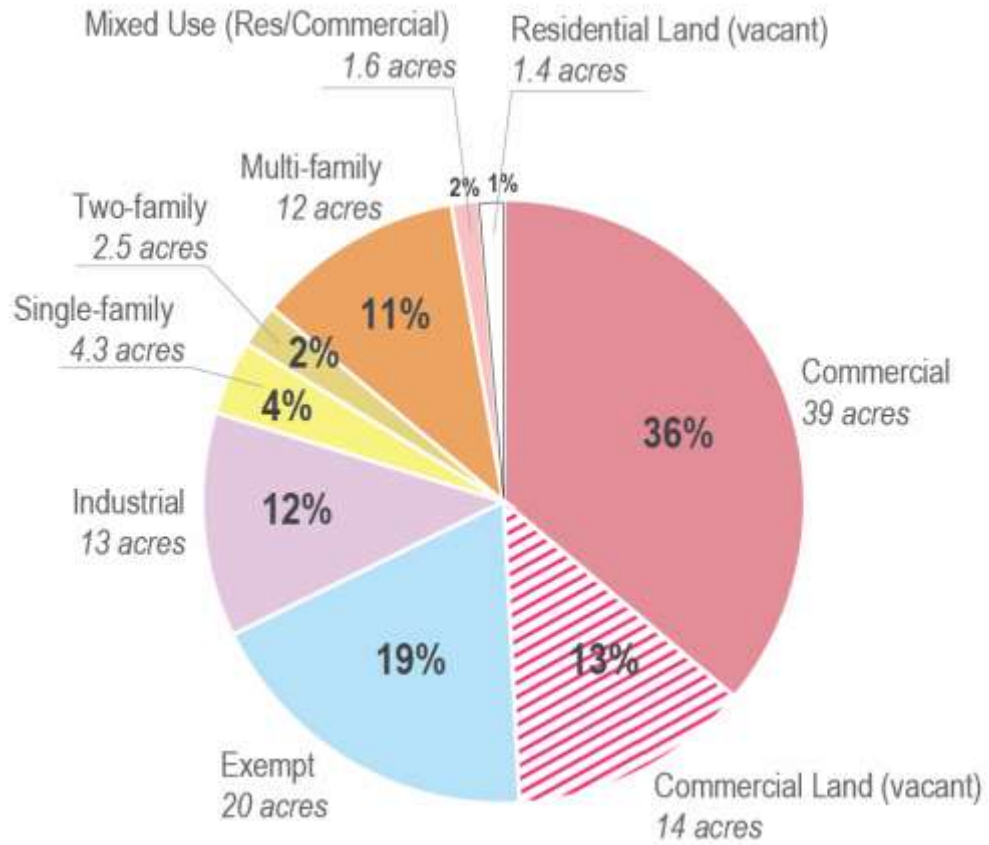
### LOT COVERAGE & BUILDING SET BACKS





# LAND USES

## EXISTING LAND USE





## DISTRICT SCALE

### Proposed Land Use

"21st CENTURY INDUSTRIAL"

- **Green and clean technologies** - renewable energies, smart grid, fuel cells
- **Creative industries** - artist work studios, architectural and industrial design, game development
- **Incubators** - shared maker spaces for inventors of all kinds and combinations, small scale commercial kitchen spaces, contract or partner brewing

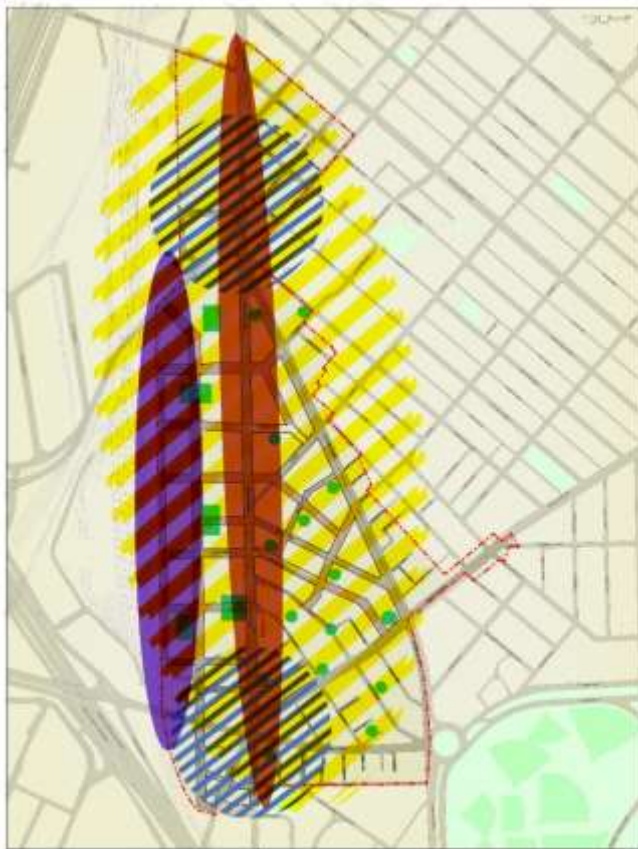
Today's uses are different from yesterday's manufacturing






New ways to balance and integrate functions of industrial and commercial uses with live/work options

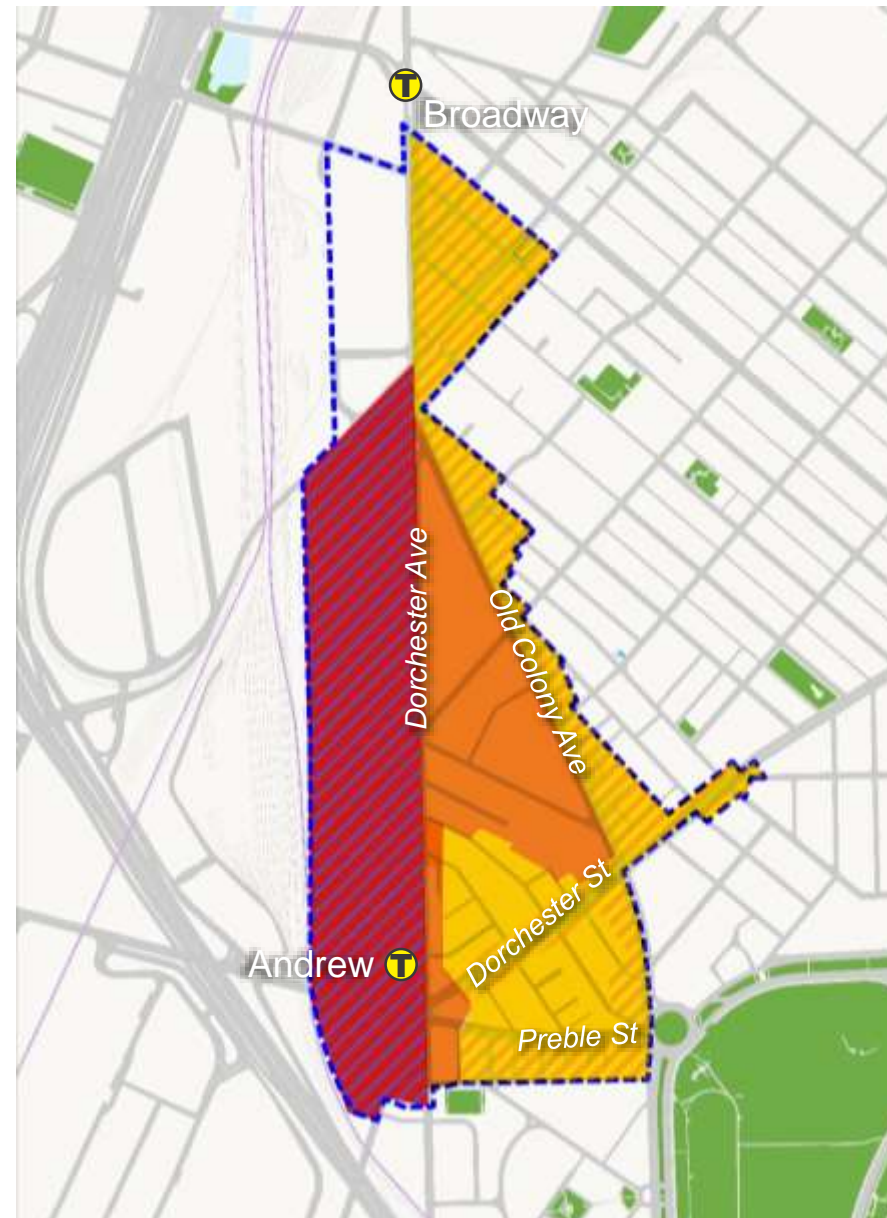


## DISTRICT SCALE

### Proposed Land Use



-  Residential
-  Residential + 1<sup>st</sup> Floor Retail
-  Mixed Use
-  Mixed Use + 21<sup>st</sup> Century Industrial
-  Open Space





## DISTRICT SCALE

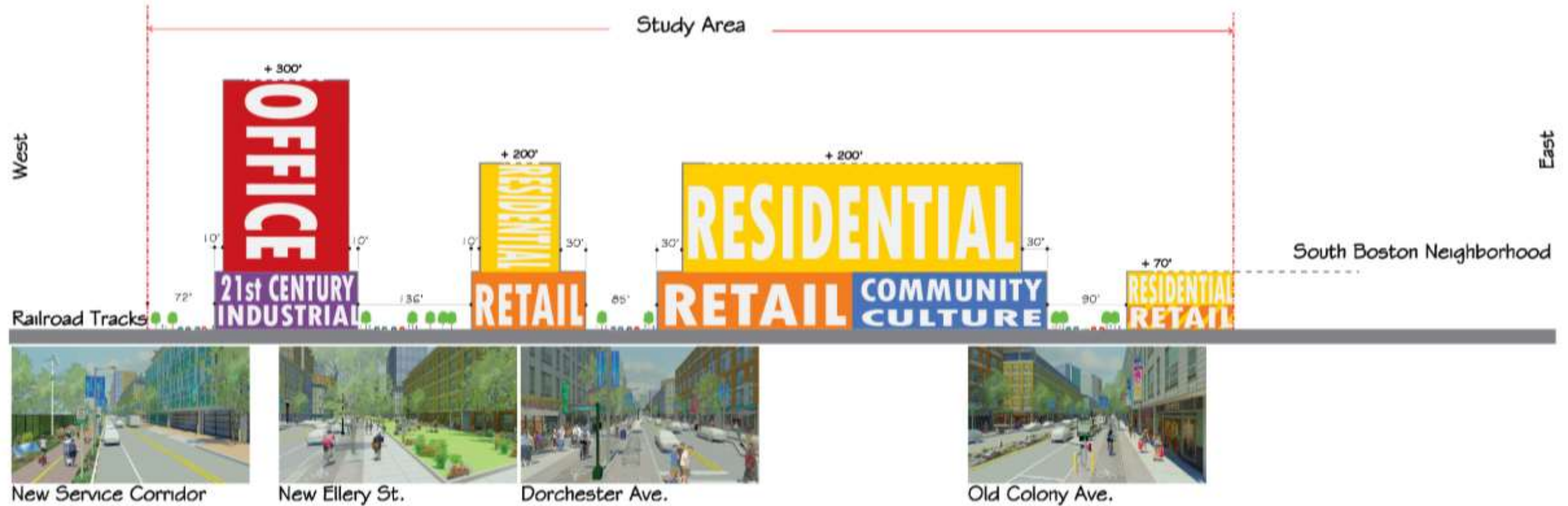
### Proposed Land Use





## BLOCK SCALE

### Proposed Land Uses





# OPEN SPACE





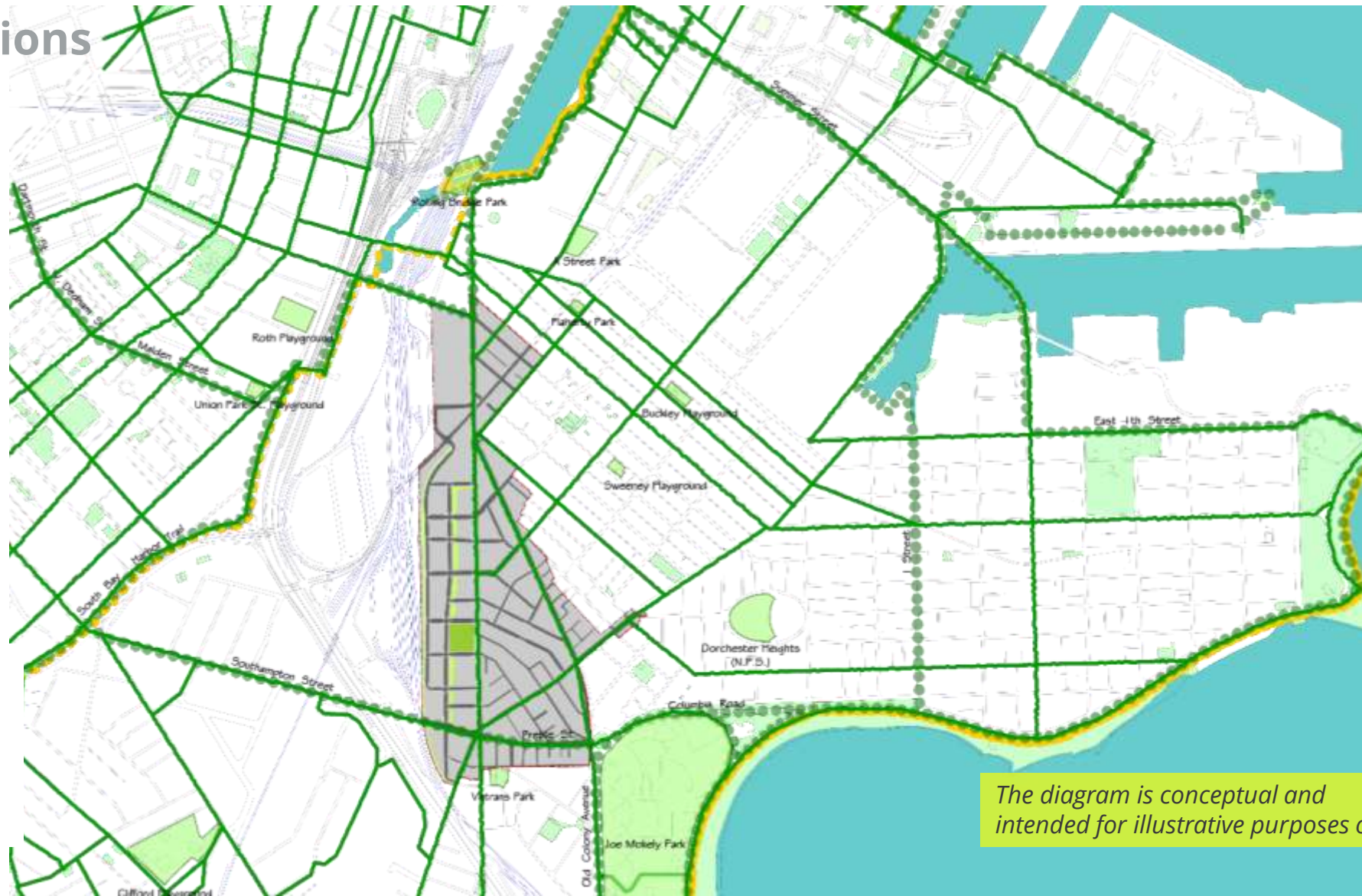




## NEIGHBORHOOD SCALE

### Open Space Connections

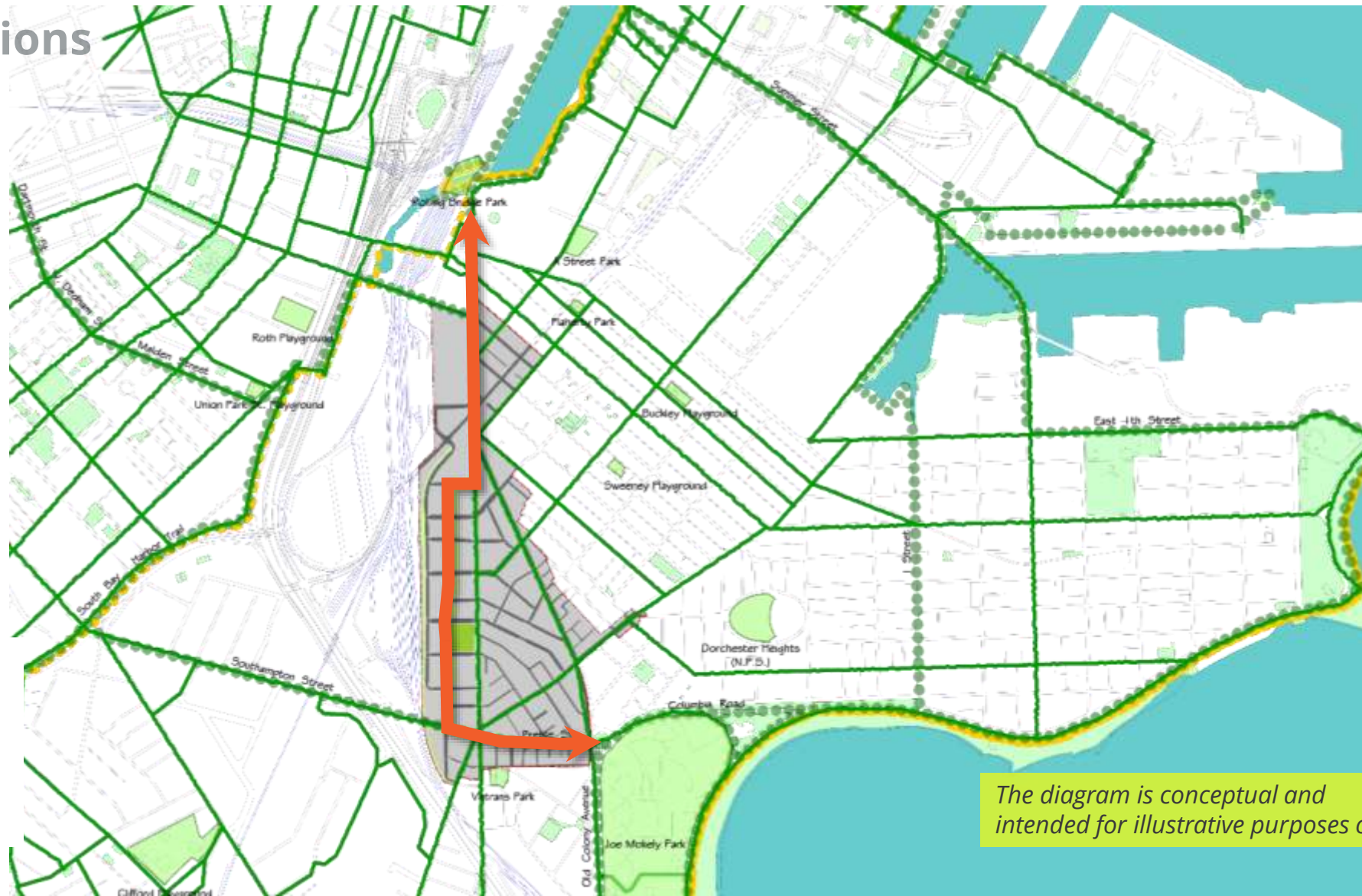
-  Harborwalk
-  South Bay Harbor Trail
-  Green Links
-  Boston Bike Network



*The diagram is conceptual and intended for illustrative purposes only.*

## NEIGHBORHOOD SCALE

### Open Space Connections



 Bike/Ped Connection

 Harborwalk

 South Bay Harbor Trail

 Green Links

 Boston Bike Network

*The diagram is conceptual and intended for illustrative purposes only.*



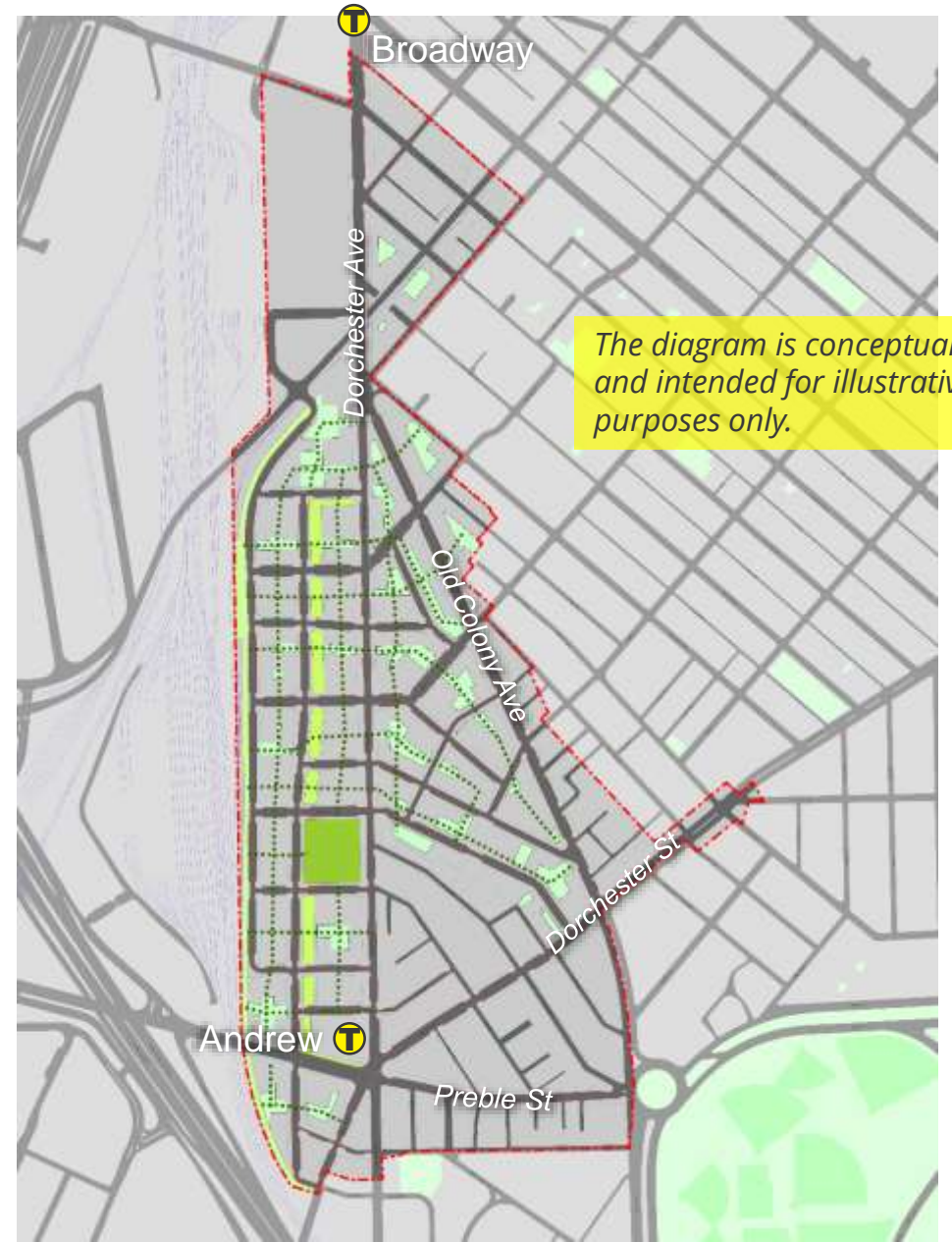
## DISTRICT SCALE

### Green Corridor



Conceptual Drawing of Future Green Corridor

-  Central Open Space
-  Lineal Parks
-  Edge Parks
-  Pocket Parks/Courtyards
-  Pedestrian Network



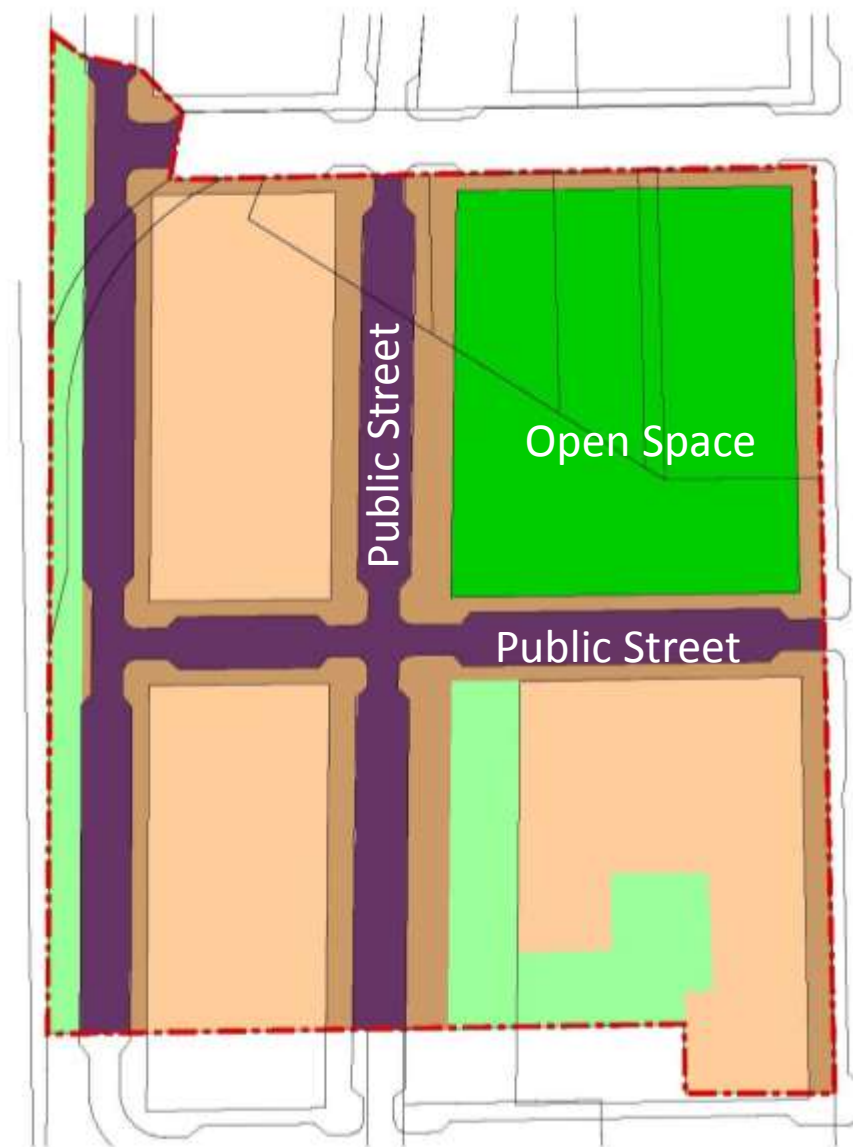


## BLOCK SCALE

### Park and Streets Testing



*Conceptual Drawing of Future Open Space*





# HEIGHT & DENSITY



## HYBRID CONCEPT 2030

### Conceptual Buildout

#### Total New Development ~ 12 - 16M sf

- Residential uses ~ 6 – 8M sf
- Other (office, 21-century industrial) ~ 5 – 7M sf
- Ground Floor Retail and Cultural uses ~ 0.5M – 1M sf





## HYBRID CONCEPT

### Public Realm

Roads & Sidewalks ~ 30 - 50 acres

Open Space ~ 8 - 12 acres



## HYBRID CONCEPT

### Residential Uses

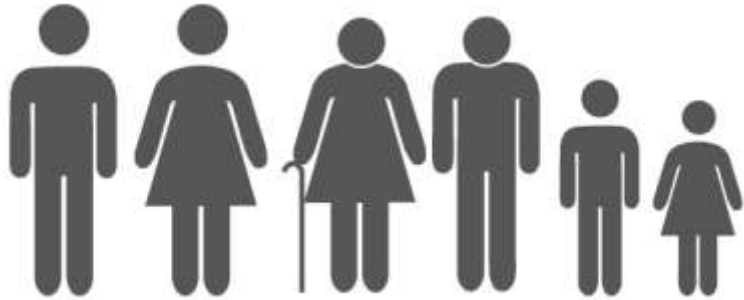
6 – 8 M sf of residential uses



6,000 – 8,000 Residential units



2.3 persons per household



~ 14,000 – 16,000 people





## DISTRICT SCALE

### Base Heights





## DISTRICT SCALE

### Bonus Heights



*The diagram is conceptual and intended for illustrative purposes only.*

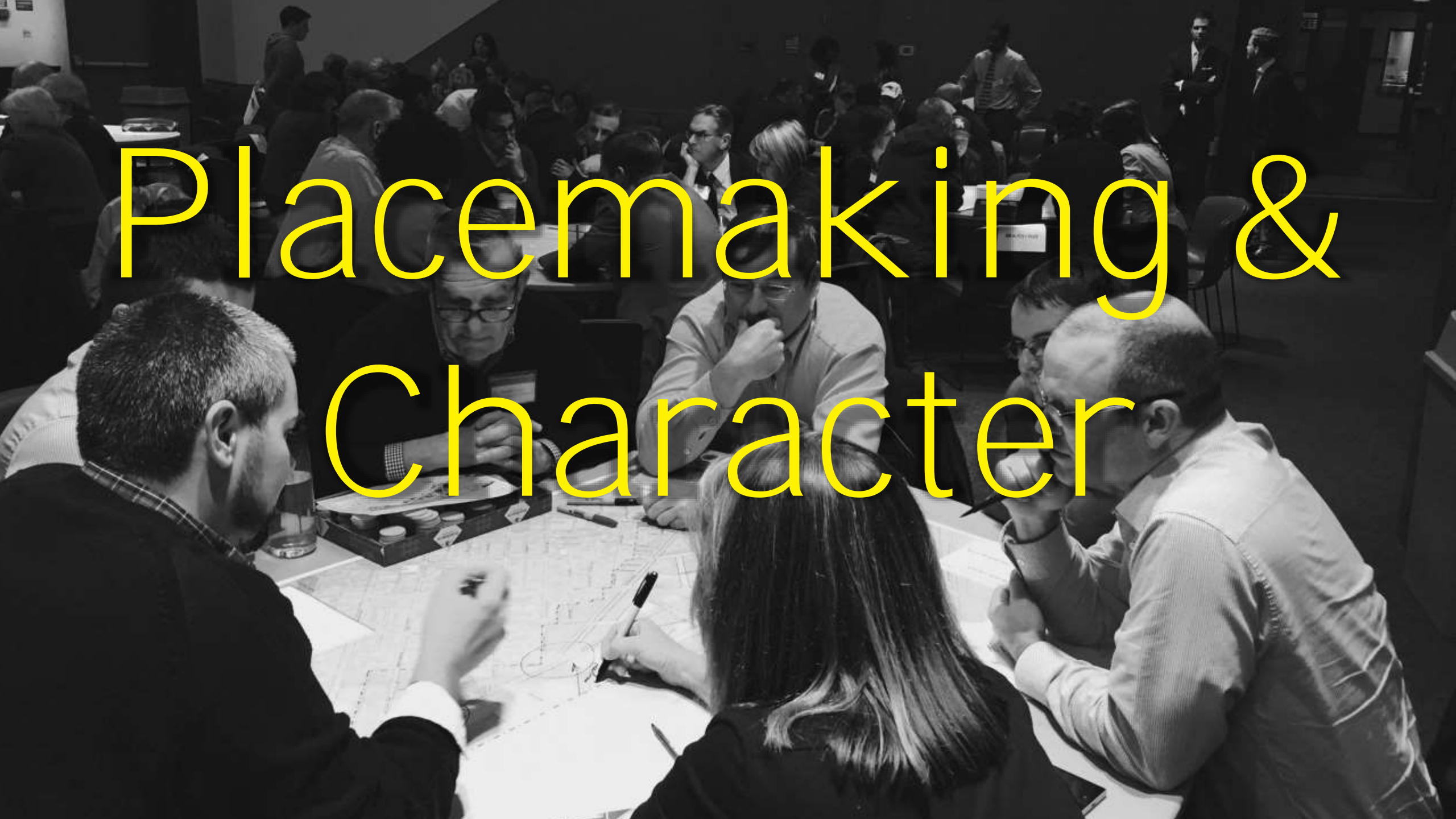


## DISTRICT SCALE

### Bonus Heights







# Placemaking & Character

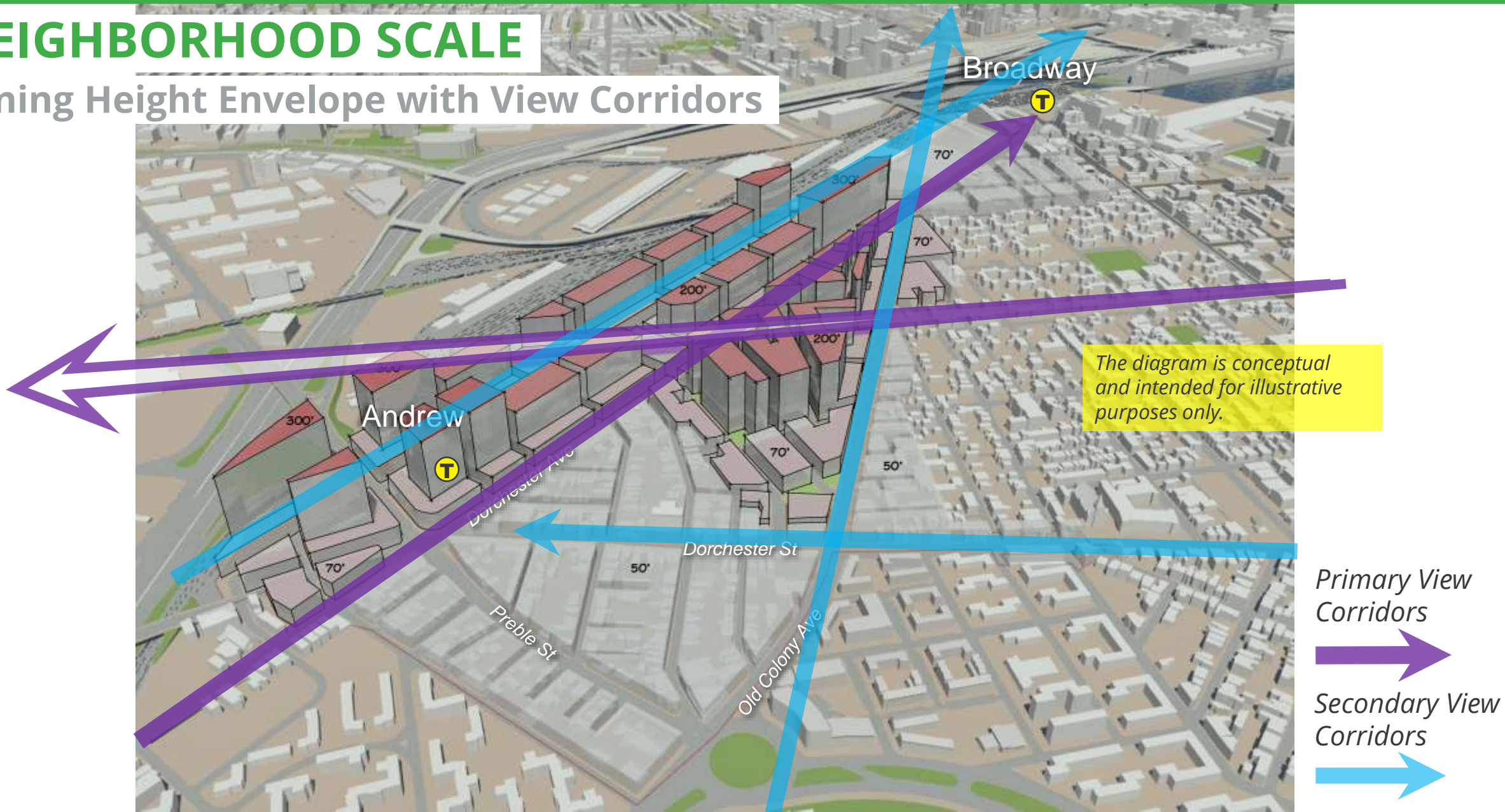


## PLACEMAKING STRATEGIES

1. Build **streets as places**
2. Create squares and parks as **multi-use destinations**
3. Design **buildings to create places**
4. Provide opportunities for **public art and culture**
5. Design places for **diverse retail & other community uses**
6. Link a **public health** agenda to a **public space** agenda

## NEIGHBORHOOD SCALE

### Zoning Height Envelope with View Corridors



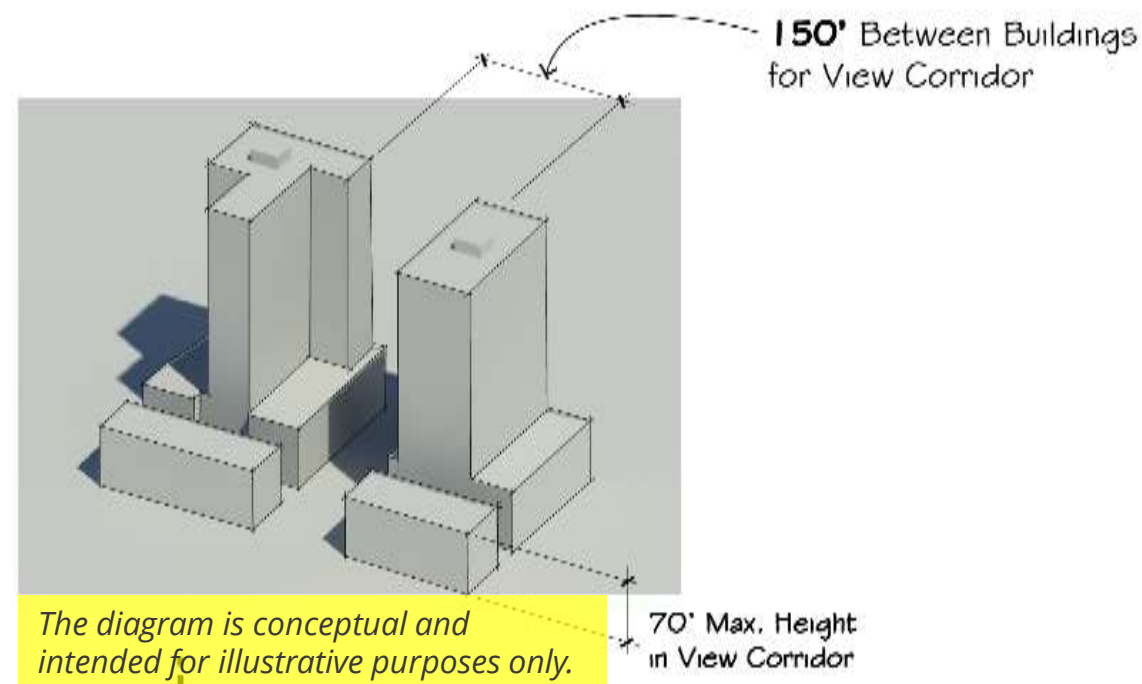


## NEIGHBORHOOD

### D Street View Corridor



*Conceptual Drawing of Future D Street*



## DISTRICT SCALE

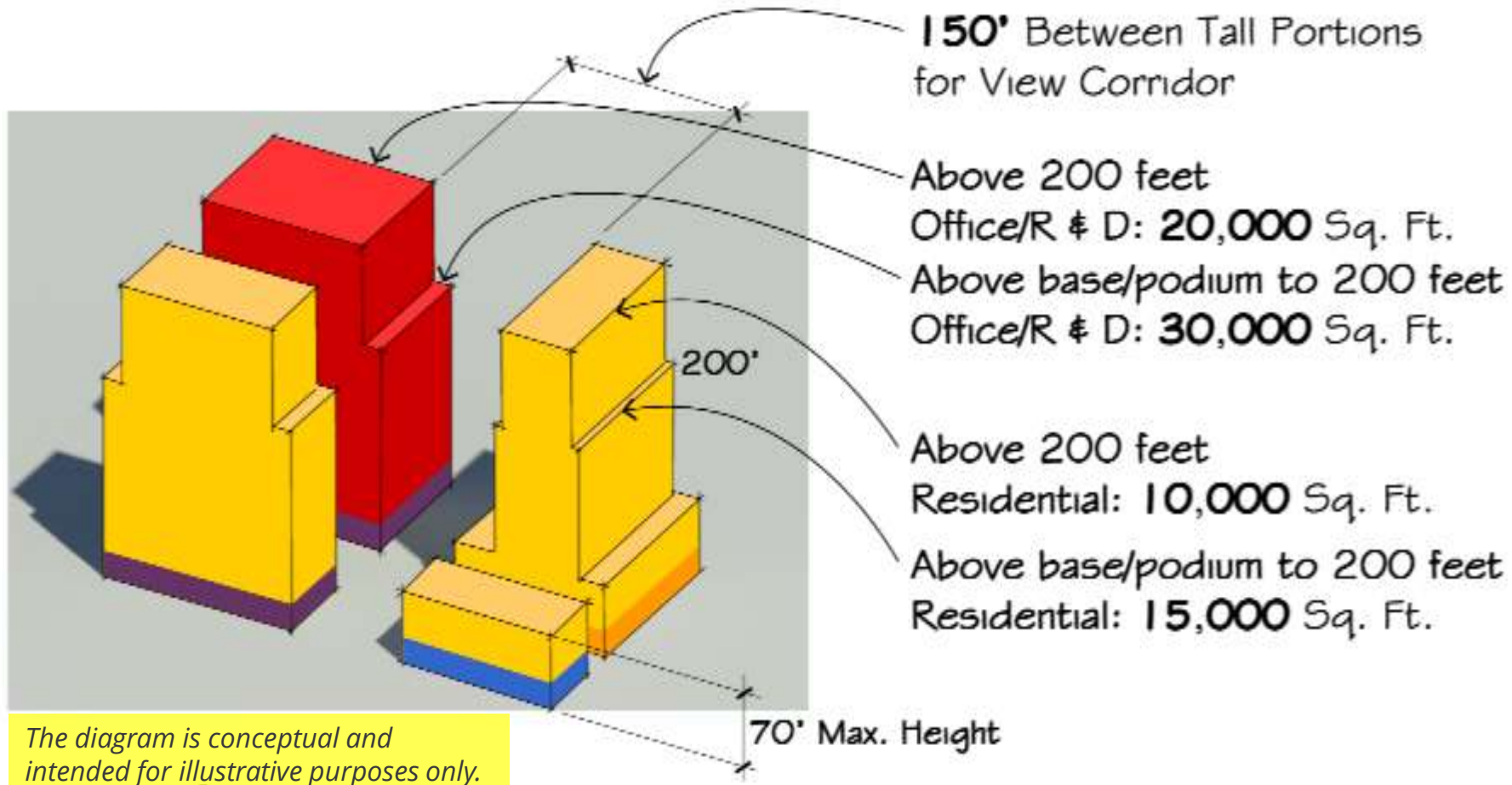
### Neighborhood Character





## BLOCK SCALE

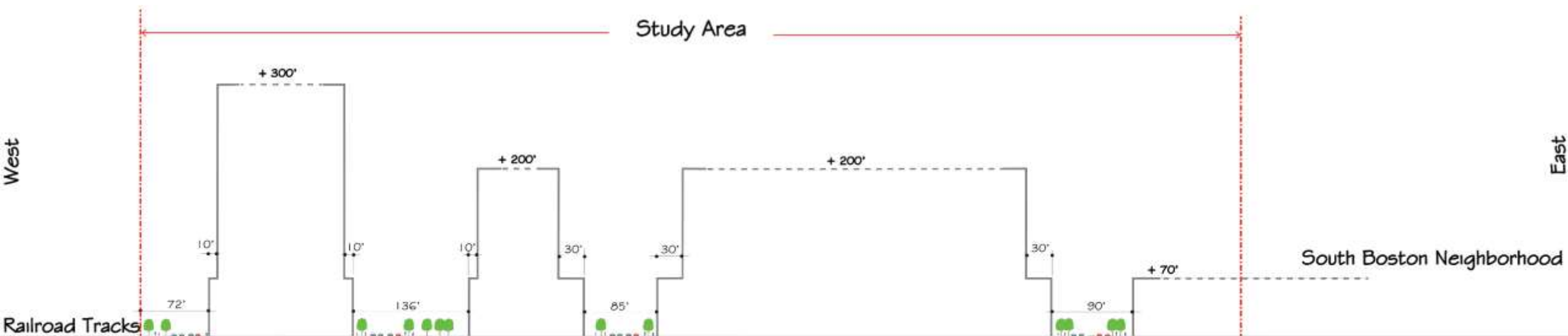
### Building Massing & Distance between Towers



*The diagram is conceptual and intended for illustrative purposes only.*

## BLOCK SCALE

### Block Character



New Service Corridor



New Ellery St.



Dorchester Ave.

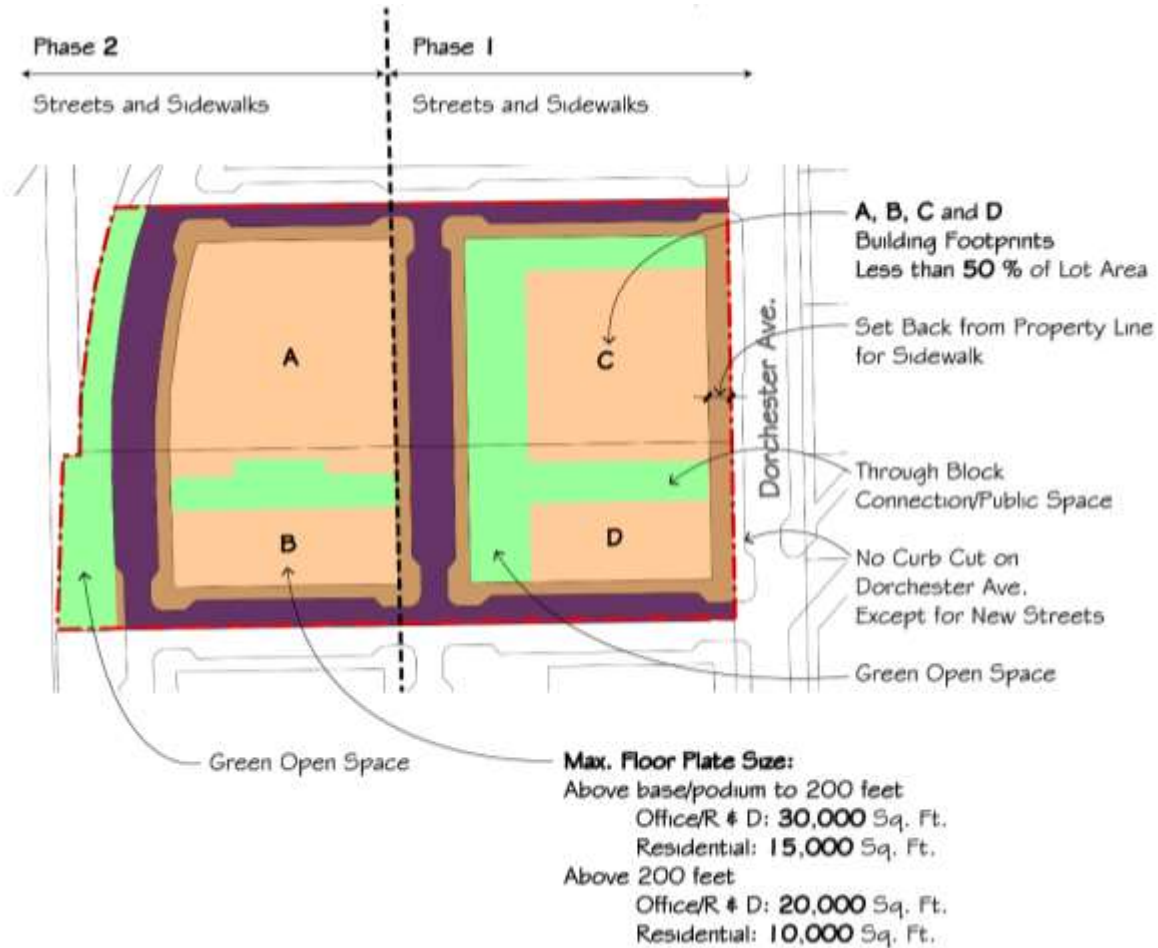


Old Colony Ave.



## BLOCK SCALE

### Placemaking with Lot Coverage & Setbacks



## BLOCK SCALE

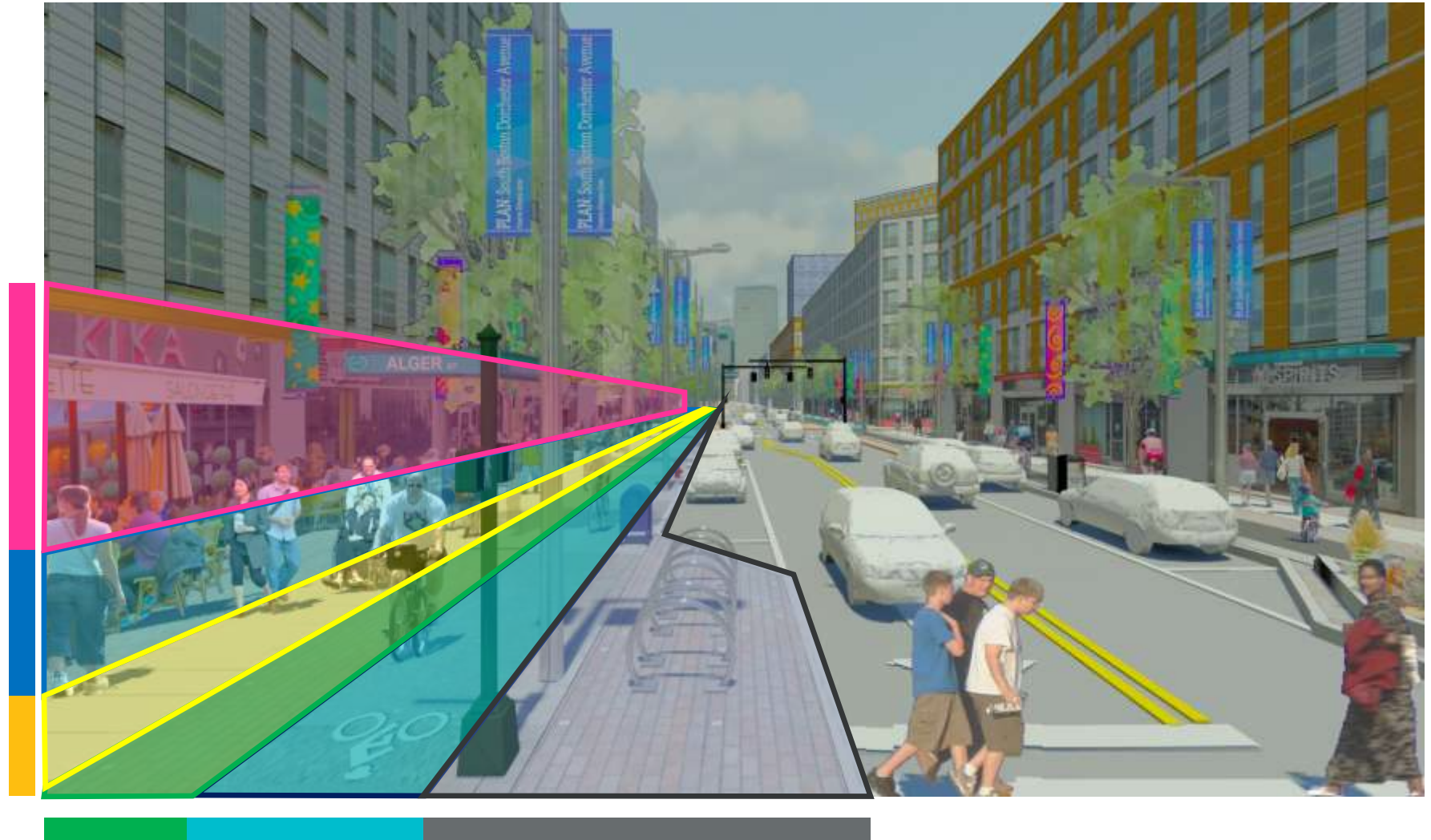
### Street Zones\*

\*Boston Complete Streets

**Streetwall:** active and transparent street wall with retail or other public uses

**Frontage Zone:** provides zone for outdoor activities and cafes

**Pedestrian Zone:** reserved for unrestricted pedestrian movement and accessible to all



**Greenscape/Furnishing Zone:** provides space for trees, lights, signage, and bike racks, etc.

**Cycle Track:** bicycle facility physically separated from traffic and pedestrians

**Curb Zone:** provides barrier between traffic and sidewalk activities, can accommodate some signage, meters, bike racks.



# 5

## Review of Framework Elements at Interactive Stations

**Mobility & Connectivity**

**Land Uses & Open Space**

**Height & Density**

**Placemaking & Character**