

**PROJECT INFORMATION**

**HANDEL OBAS AND  
AKIA RAMSAY  
1134 ADAMS STREET  
DORCHESTER, MA 02124**

**ARCHITECT:  
d. a. kinsella company  
7 BRIDGE STREET, SUITE 9  
BILLERICA, MA 01821**

**DRAWING LIST**

A-0.0 COVER SHEET  
C-1.0 SITE PLAN  
A-1.1 DEMOLITION PLANS.  
A-1.2 BASEMENT AND FIRST FLOOR PLANS  
A-1.3 SECOND AND THIRD FLOOR PLANS  
A-2.1 NORTH AND EAST ELEVATIONS  
A-2.2 SOUTH AND WEST ELEVATIONS  
S-1.0 FOUNDATION PLANS  
S-1.1 FLOOR AND ROOF FRAMING PLANS

**ABBREVIATIONS**

AC	AIR CONDITIONING	HORIZ	HORIZONTAL	R	RADIUS
ALUM	ALUMINIUM	HVAC	HEATING, VENTILATION, & AIR CONDITIONING	REQ	REQUIRED
BM	BEAM	INCAN	INCANDESCENT	REV	REVISION
BLKG	BLOCKING	INCL	INCLUDE (D, ING)	RM	ROOM
BR	BEDROOM	INSUL	INSULATION	RO	ROUGH OPENING
CAB	CABINET	INT	INTERIOR	SC	SOLID CORE
CEM	CEMENT	LAM	LAMINATE (D)	SCHED	SCHEDULE
CLG	CEILING	LAV	LAVATORY	SECT	SECTION
CLO	CLOSET	LTG	LIGHTING	SHT	SHEET
COL	COLUMN	MAT	MATERIAL	SIM	SIMILAR
CONC	CONCRETE	MAX	MAXIMUM	SPEC	SPECIFICATIONS
CPT	CARPET	MEMB	MEMBRANE	SQ	SQUARE
CT	CERAMIC TILE	MFR	MANUFACTURER	ST	STAINLESS
CTR	CENTER	MIN	MINIMUM	STA	STATION
DIA	DIAMETER	MISC	MISCELLANEOUS	STD	STANDARD
DIM	DIMENSION	MO	MASONARY OPENING	STOR	STORAGE
DN	DOWN	MTD	MOUNTED	STRUC	STRUCTURAL
DR	DOOR	MTL	METAL	SUSP	SUSPENDED
ELEV	ELEVATION	(N)	NEW	TME	TO MATCH EXISTING
EQ	EQUAL	NIC	NOT IN CONTRACT	T	TREAD
(E)	EXISTING	NO	NUMBER	T & G	TONGUE & GROOVE
EXT	EXTERIOR	NTS	NOT TO SCALE	TEL	TELEPHONE
FD	FLOOR DRAIN	OC	ON CENTER	TOP	TOP OF PLATE
FDN	FOUNDATION	OPNG	OPENING	TV	TELEVISION
FIN	FINISH	OPP	OPPOSITE	TYP	TYPICAL
FIXT	FIXTURE	PC	PRECAST	UON	UNLESS OTHERWISE NOTED
FL	FLOOR	PL	PLATE	VCT	VINYL COMPOSITE TILE
FT	FEET	PLAM	PLASTIC LAMINATE	VERT	VERTICAL
FTG	FOOTING	PLAS	PLASTER	W	WIDE
GL	GLASS	PLYWD	PLYWOOD	w/	WITH
GR	GRADE	PNT	PAINT (D)	WC	WATER CLOSET
GWB	GYPSUM WALL BOARD	PTN	PARTITION	WD	WOOD
HC	HOLLOW CORE	PVC	POLY VINYL CHLORIDE	W/O	WITHOUT
HDWD	HARDWOOD	QT	QUARRY TILE	WPR	WATERPROOF (ING)
HDW	HARDWARE	QTY	QUANTITY	WT	WEIGHT

**GENERAL NOTES**

CONSTRUCTION TO BE IN STRICT COMPLIANCE OF CURRENT MASSACHUSETTS BUILDING CODE AND ALL OTHER CODES APPLICABLE REGULATING AGENCIES.

AT ALL TIMES DURING CONSTRUCTION AND/OR ALTERATIONS, ALL REQUIRED EXIT AND ESCAPE FACILITIES SHALL BE CONTINUOUSLY MAINTAINED. IN THE EVENT ANY REQUIRED EXIT MUST BE CLOSED OR TEMPORARILY ABANDONED, PROVIDE OTHER MEASURES AND/OR MEANS WHICH WILL PROVIDE EQUIVALENT SAFETY.

ALL OPENINGS IN WALLS AND SLABS REMAINING AFTER DEMOLITION WORK HAS BEEN COMPLETED SHALL BE FILLED WITH CONSTRUCTION IDENTICAL TO ADJOINING SURFACES.

ALL DIMENSIONS ARE TO FACE OF FRAME OR CENTER OF WALL UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

VERIFY ALL WORK IN FIELD PRIOR TO INSTALLATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD DIMENSIONS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS AND ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE MADE ON THE BASIS OF THE OWNER'S DECISION AND WILL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE.

**GRADE**  
APPROXIMATE NEW GRADES SHOWN. GC TO V.I.F. HOLD A MIN. 12" FROM GRADE TO BOTTOM OF WOOD CONSTRUCTION.

**CODE REVIEW**

**SYMBOLS**

**SYMBOLS**

**SYMBOLS**

**SYMBOLS**

**SYMBOLS**

**SYMBOLS**

**CODE REVIEW BASED ON INTERNATIONAL EXISTING BUILDING CODE 2009 AND INTERNATIONAL RESIDENTIAL BUILDING CODE 2009 WITH MASSACHUSETTS AMENDMENTS**

PROJECT DESCRIPTION: ADDITION/ REMODEL OF EXISTING SINGLE-FAMILY HOME  
EXISTING GROSS FLOOR AREA 1,980 SF  
TOTAL GROSS FLOOR AREA (PROPOSED) 2,613 SF  
PREVIOUS OCCUPANCY TYPE R-1 SINGLE-FAMILY  
PROPOSED OCCUPANCY TYPE R-1 SINGLE-FAMILY

**APPLICABLE CODES**

BUILDING 780 CMR MASSACHUSETTS STATE BUILDING CODE - 8TH EDITION  
ELECTRICAL MASSACHUSETTS ELECTRICAL CODE - 527 CMR12  
PLUMBING MASSACHUSETTS PLUMBING CODE - 248 CMR (PLUMBING/GAS CODE)  
MECHANICAL IBC 2009 AND MASSACHUSETTS AMENDMENTS  
ENERGY CODE 2012 INTERNATIONAL ENERGY CODE

	WALL TYPE		3/12" LALLY COLUMN		SHOWER HEAD		GARAGE DOOR OPENER		2x4 FLOURESCENT FLUORESCENT LIGHT		SPECIAL OUTLET
	BUILDING SECTION		WINDOW NUMBER		DISHWASHER		VANITY LIGHT BAR		CABLE TV		FIRE ALARM
	WALL SECTION		KEY NOTE		REFRIGERATOR		1 HEAD FLOOD LIGHT W/MOTION DETECTOR		TELEPHONE JACK		EMERGENCY LIGHTS
	INTERIOR ELEV.		REVISION CLOUD		WATER HEATER		2 HEAD FLOOD LIGHTS W/MOTION DETECTOR		ETHERNET CAT 6/ CABLE		THERMOSTAT
	TITLE TAG		CERAMIC TILE		FURNACE		EXTERIOR LIGHT		CHIMES		SURVEILLANCE CAMERA
	ELEV. HEIGHT TAG		DOOR NUMBER		BOILER		GARAGE DOOR KEY PAD		FIRE PULL STATION		FIRE DETECTOR
	STEEL		5'-0" HANDICAPPED RADIUS		WASHER		DOOR BELL		EXIT SIGN		FIRE ALARM / STROBE
	CONCRETE		DRAIN		DRYER		SINGLE POLE SWITCH		SPRINKLER HEAD		PULL BOX
	MASONRY UNIT		UNDERGROUND WATER COLLECTION SYSTEM TO DAYLIGHT		EJECTOR OR SUMP PUMP		2 WAY POLE SWITCH		CHANDELIER		ELECTRICAL PANEL AMP
	NEW WALL		COLD WATER SUPPLY		(E) SUPPLY AIR VENT		3 WAY POLE SWITCH		CEILING FAN		FIRE EXTINGUISHER
	EXISTING TO REMAIN		HOT WATER SUPPLY		(E) SUPPLY AIR/ RETURN VENT DUCT- WORK TO BE REMOVED		INCANDESCENT SURFACE LIGHT		CEILING FAN W/ LIGHT		KNOX BOX
	TO BE DEMOLISHED		HOT/COLD/WASTE SUPPLY/RETURN RISER		VERTICAL DROP FROM ATTIC THRU WALL		WATERPROOF RECESSED		BATH FAN & (L)		FIRE ALARM PANEL
	OBJECT ABOVE		HOT/COLD/WASTE SUPPLY/RETURN RISER		RETURN AIR		CIRCULAR FLUORESCENT		WALL BATH FAN		
	OBJECT BELOW		H Q SEWER		SUPPLY AIR		WALL SCNCE		AIR FLOW		
	DOOR NO. INDICATOR		GAS		CHASE OPENING SHAFT		EXTERIOR WALL LIGHT		COULD VARY V.I.F.		
	DOOR TO BE DEMOLISHED		WATER METER		DUPLEX OUTLET		PENDANT		SMOKE/ CARBON MONOXIDE ION TYPE		
	EXISTING DOOR TO REMAIN		CONVECTOR		QUAD OUTLET		PORCELAIN LIGHT FIXTURE		SMOKE DETECTOR ION TYPE		
	NEW DOOR		TOILET		GFI		RECESSED INCANDESCENT LIGHT FIXTURE		HEAT DETECTOR ION TYPE		
	DETAIL NUMBER		HOSE BIB (FROST FREE)		GFIWP		SURFACE MOUNTED		TELEPHONE JACK OUTLET		

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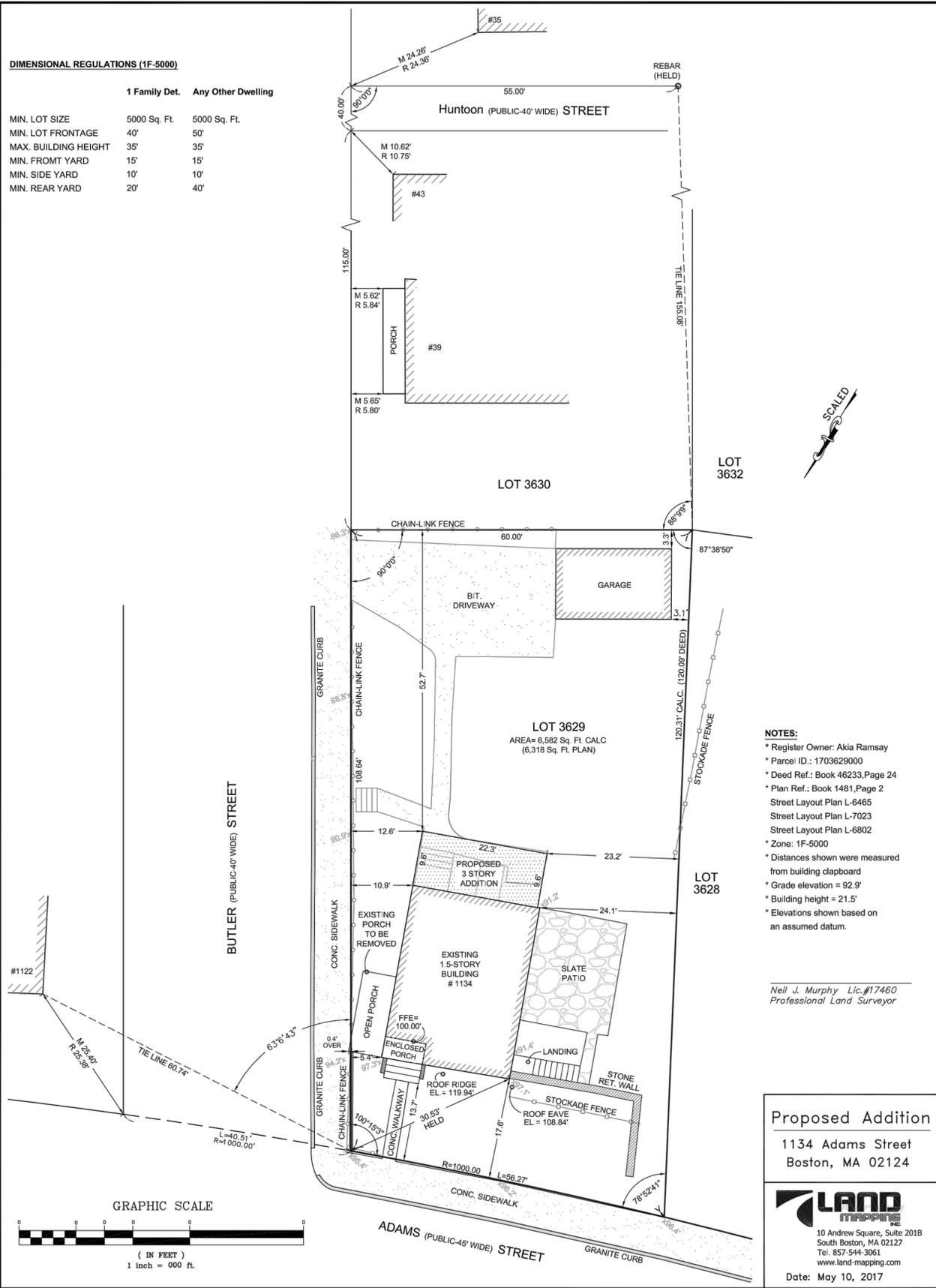
CLIENT:  
**HANDEL OBAS AND  
AKIA RAMSAY  
1134 ADAMS STREET  
DORCHESTER, MA 02124**

SCALE: \_\_\_\_\_ DRAWN BY: BD  
DATE: 08/01/17 CHECKED BY: DK

REVISED	DATE

SHEET TITLE:  
**COVER SHEET**

DRAWING NO.  
**A-0.0**



**DIMENSIONAL REGULATIONS (1F-5000)**

	1 Family Det.	Any Other Dwelling
MIN. LOT SIZE	5000 Sq. Ft.	5000 Sq. Ft.
MIN. LOT FRONTAGE	40'	50'
MAX. BUILDING HEIGHT	35'	35'
MIN. FRONT YARD	15'	15'
MIN. SIDE YARD	10'	10'
MIN. REAR YARD	20'	40'

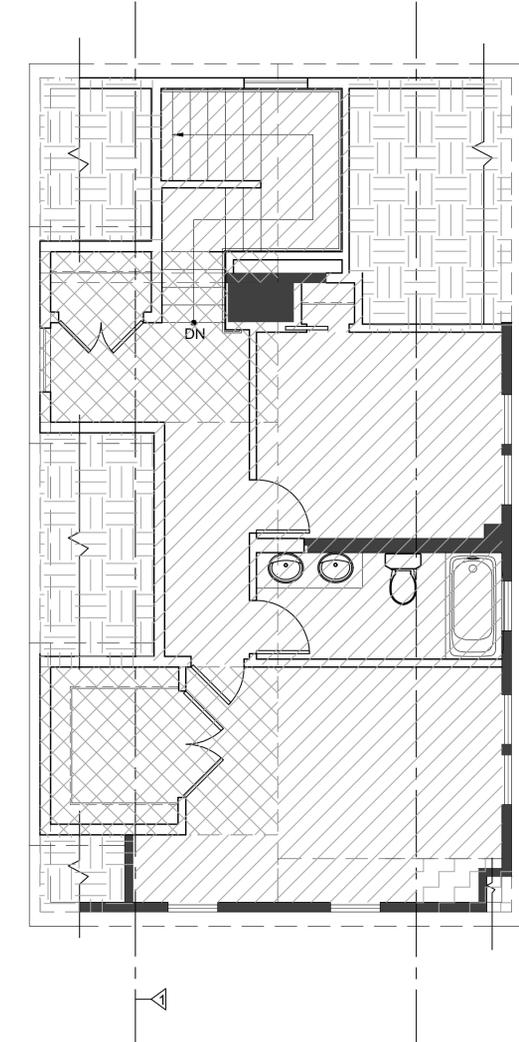
- NOTES:**
- \* Register Owner: Akia Ramsay
  - \* Parcel ID: 1703629000
  - \* Deed Ref.: Book 46233, Page 24
  - \* Plan Ref.: Book 1481, Page 2
  - Street Layout Plan L-6465
  - Street Layout Plan L-7023
  - Street Layout Plan L-6802
  - \* Zone: 1F-5000
  - \* Distances shown were measured from building clapboard
  - \* Grade elevation = 92.9'
  - \* Building height = 21.5'
  - \* Elevations shown based on an assumed datum.

Neil J. Murphy Lic. #17460  
Professional Land Surveyor

**Proposed Addition**  
1134 Adams Street  
Boston, MA 02124

10 Andrew Square, Suite 2018  
South Boston, MA 02127  
Tel: 857-544-3061  
www.land-mapping.com  
Date: May 10, 2017

**HALF STORY CALCULATION**  
2ND FLR S.F. = 871 S.F.  
871 S.F. / 2 (50%) = 435.5 S.F.



- THIRD FLOOR PLAN**
- ▨ CALCULATED S.F. = 426 S.F.
  - ▧ S.F. NOT INCLUDED (8'-0" DORMER)
  - ▬ S.F. NOT INCLUDED (EAVES)
  - ▩ S.F. NOT INCLUDED (LESS THAN 4'-0" CLG. HEIGHT)
  - △ 4'-0" CEILING HEIGHT

**REVIEW OF ZONING FOR PROPERTIES 1134 ADAMS ST. BOSTON MA**

**I TABLE OF USE REGULATIONS**

ZONING DISTRICT	Regulation	USE GROUP
1F-5000	Allowed	Single-family

**II TABLE OF DIMENSIONAL REQUIREMENTS-Article 65, Table C**

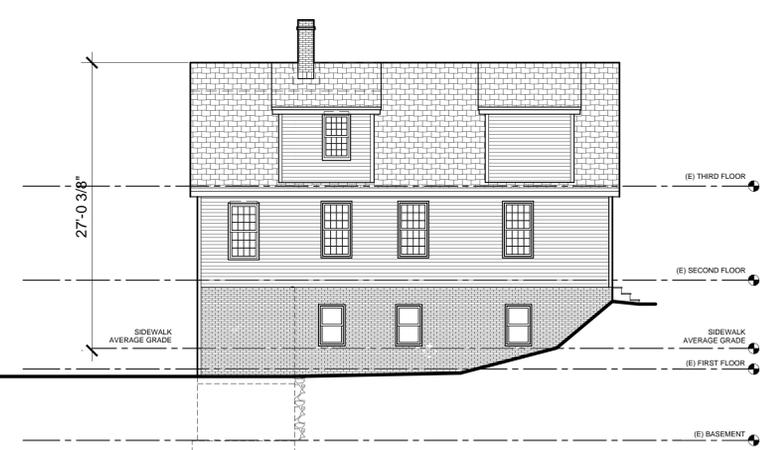
ZONING DISTRICT	REQUIRED	PROVIDED	REMARKS
<b>1F-5000</b>			
FAR	0.5	.34	2152/6318 = .34
Minimum Lot Area	5000	6247.00	
Minimum Lot Width	40	60.00	
Lot Area / Dwelling Unit	N/A	N/A	
Front Setback	15	17.13	12.6 CORNER LOT
Side Setback	10	>10	
Rear Setback	25	>25	
Lot Frontage	40	50.60	CORNER LOT
Open Space / Dwelling Unit	1250	5.447	6318-871 = 5.447
Maximum Stories / Height	2.5	35-0	2.50 27 MEASURED FROM AVERAGE GRADE

S.F. USED FOR F.A.R. CALCULATION  
NOTE: 3119 S.F. OF NEW + EXISTING

FLOOR	SF/FLR	S.F. NOT INCLUDED	TOTAL	TOTAL S.F. NOT INCLUDED				
Level	EXISTING	PROPOSED	EAVES	Laundry	storage			
first floor	660	211		132	57	682	189	
second floor	660	211			62	809	62	
third floor	660	211	174		78	619	252	
						<b>Total</b>	<b>2110</b>	<b>503</b>

TAKEN FROM THE CITY OF BOSTON ZONING BYLAW.

- Footnotes to Table C**
- For the purpose of determining Building Height, the floor area of a dormer on a Dwelling shall not be included in the floor area calculation for a half story, provided that such dormer is not wider than eight (8) feet and the ridge line of the dormer does not exceed the ridge line of an existing Structure of which it is a part, or thirty-five (35) feet, whichever is less; and provided further that only the floor area of two such dormers shall not be included in the floor area calculation for a half story. The floor area of such dormers shall, however, be included in the Gross Floor Area of the Dwelling.
  - The minimum usable open space requirement is applicable only to Residential Uses and Dormitory/Fraternity Uses.  
For any lot that exceeds the minimum lot area specified in this Table C, the required number of square feet of usable open space per dwelling unit shall be calculated by adding: (a) the minimum usable open space per dwelling unit specified in this Table C, and (b) twenty-five percent (25%) of the lot area in excess of the required minimum lot area specified in this Table C for the lot.  
All ground level open space used to satisfy the minimum usable open space requirements specified in this Table C must have an unobstructed length of not less than ten (10) feet and an unobstructed width of not less than ten (10) feet, except that, for yards used to meet the open space requirements of this Table C, shorter or narrower dimensions are allowed where specifically permitted by the provisions of Section 65-45 (Application of Dimensional Requirements).
  - See Section 65-45.2, Conformity with Existing Building Alignment. A bay window may protrude into a Front Yard.
  - See Maps 5A, 5B, 5C, 5D, and 5E, and Section 65-6 (Establishment of Residential Subdistricts). In a 1F Subdistrict, the maximum number of dwelling units allowed in a single structure shall be one (1).
- Definitions**
- Grade.** The average elevation of the nearest sidewalk at the line of the street or streets on which the building abuts, the average elevation of the ground between the building and the lot line or a line twenty (20) feet from the building, whichever is nearer; but in no event shall the average elevation of such ground be taken to be more than five (5) feet above or below the average elevation of the ground immediately contiguous to the building.



**1 ZONING ELEVATION DIAGRAM EAST ELEVATION**  
SCALE: 1/8"=1'-0"

NOTE: SITE PLAN TAKEN FROM SURVEY PROVIDED BY: LAND MAPPING INC. DATED: MAY 10, 2017

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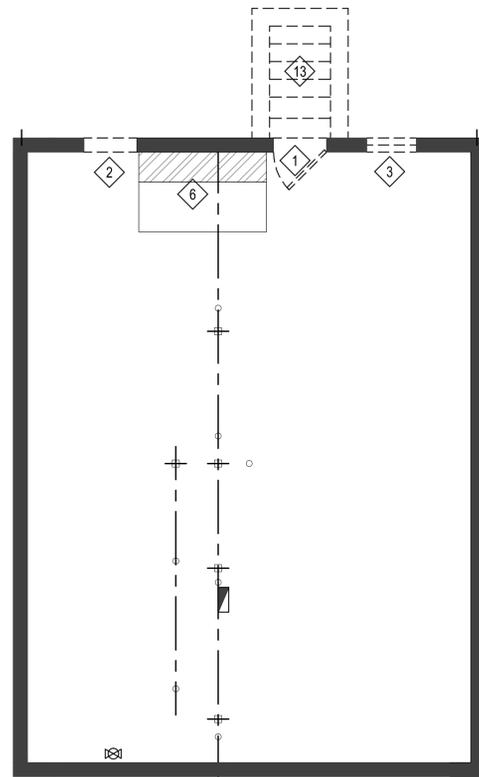


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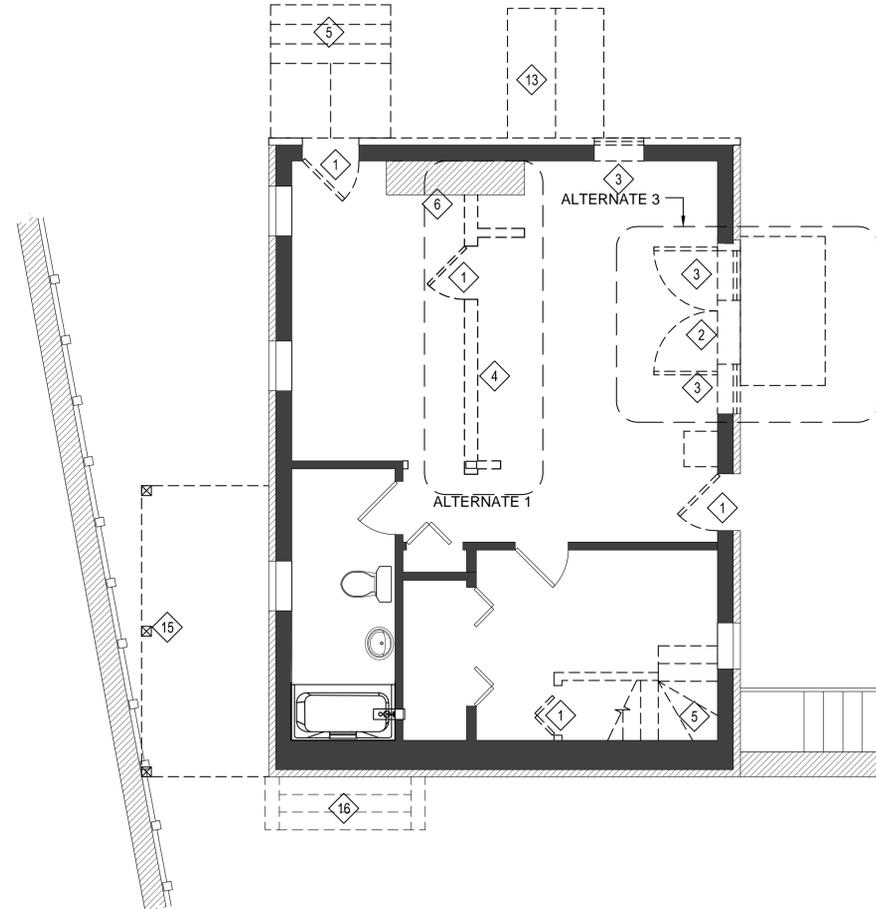
**AS NOTED**  
DATE: 08/01/17  
DRAWN BY: BD  
CHECKED BY: DK

**SHEET TITLE:**  
SITE PLAN AND ZONING CHARTS

**DRAWING NO.:**  
C-1.0

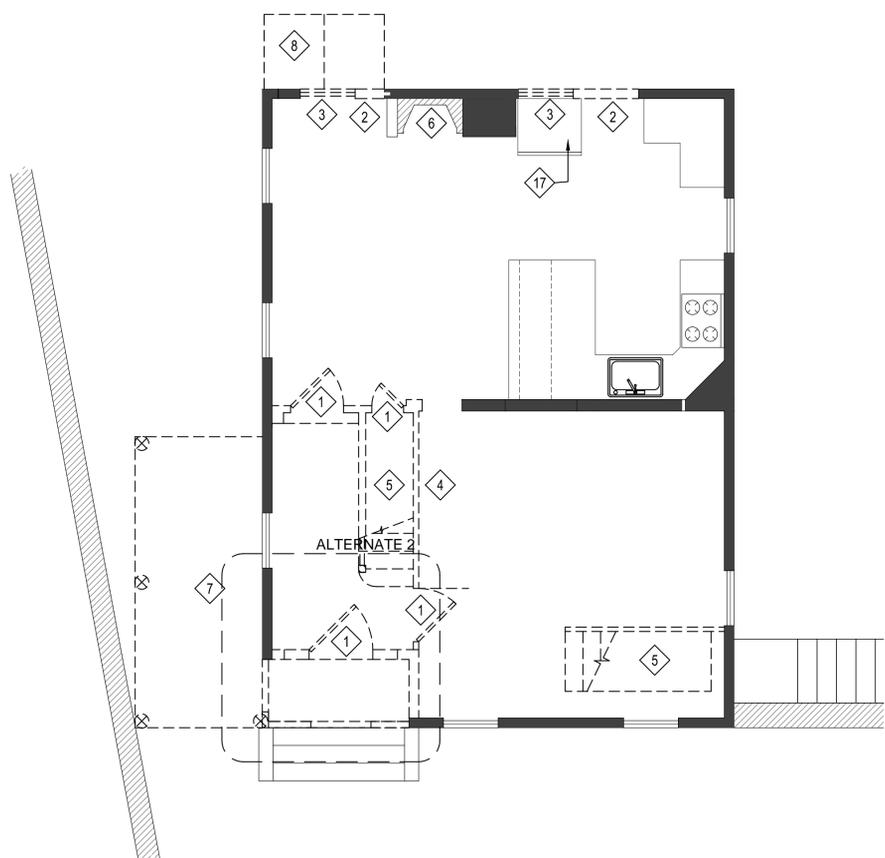


**1 BASEMENT DEMOLITION FLOOR PLAN**  
SCALE: 1/4"=1'-0"

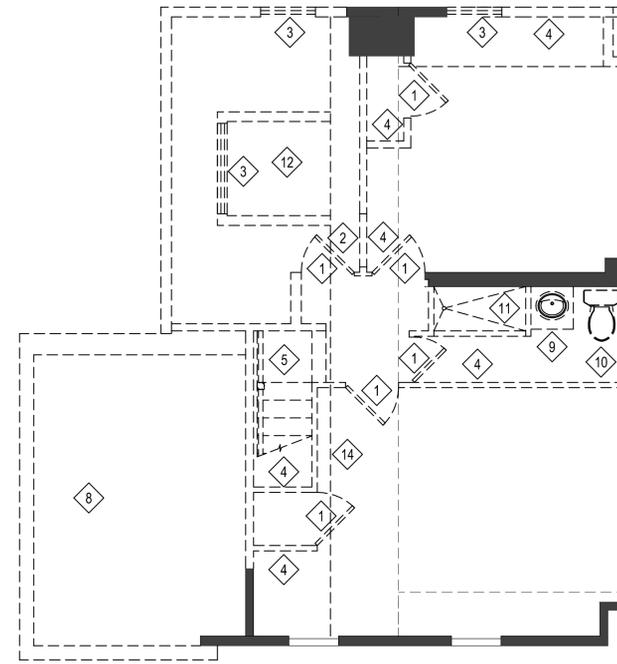


**2 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"

- DEMOLITION KEY NOTES:**
- 1 REMOVE (E) DOOR, FRAME AND TRIM.
  - 2 OPENING TO BE CUT IN (E) WALL TO INSTALL (N) DOOR.
  - 3 REMOVE (E) WINDOW, FRAME AND TRIM
  - 4 REMOVE (E) PARTITION WALL TO SUB FLOOR. PATCH FLOOR AS NECESSARY.
  - 5 REMOVE (E) STAIR, RAILING, LANDING AND ACCESSORIES
  - 6 (E) FIREPLACE & CHIMNEY TO REMAIN
  - 7 REMOVE (E) DECK & FOOTINGS
  - 8 REMOVE (E) ROOF
  - 9 REMOVE (E) SINK, FAUCET AND ASSOCIATED PLUMBING ACCESSORIES. CAP OFF WATER/WASTE LINES AS REQUIRED.
  - 10 REMOVE (E) TOILET, AND ASSOCIATED PLUMBING ACCESSORIES. CAP OFF WATER/WASTE LINES AS REQUIRED.
  - 11 REMOVE (E)TUB, AND ASSOCIATED PLUMBING ACCESSORIES. CAP OFF WATER/WASTE LINES AS REQUIRED
  - 12 REMOVE (E) DORMER & ADJACENT ROOF FRAMING
  - 13 (E) BULKHEAD AND DOOR TO BE REMOVED.
  - 14 (E) RIDGE LINE ABOVE
  - 15 REMOVE (E) POSTS
  - 16 (E) STAIR ABOVE TO REMAIN
  - 17 MOVE (E) FRIDGE AND UPPER WALL CABINETS TO SHOWN LOCATION
  - 18 (E) POST TO REMAIN V.I.F.



**3 SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"



**4 THIRD FLOOR DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"

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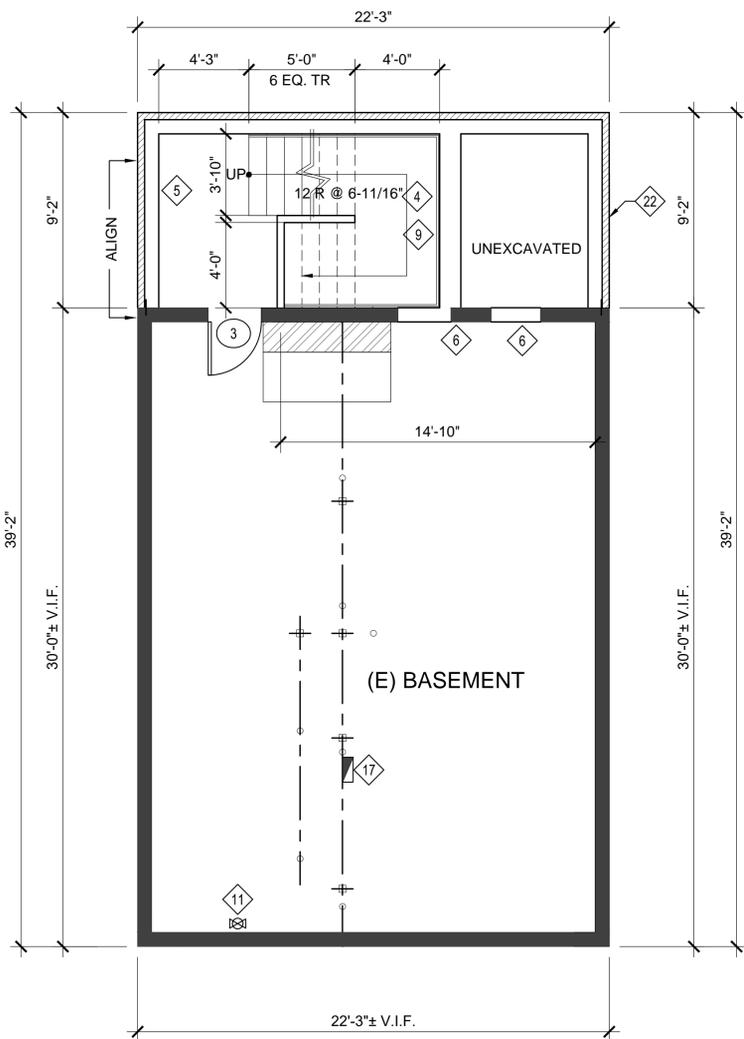
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DATE:	08/01/17	CHECKED BY:	DK
REVISED:		DATE:	
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DRAWING NO.:			

**A-1.1**

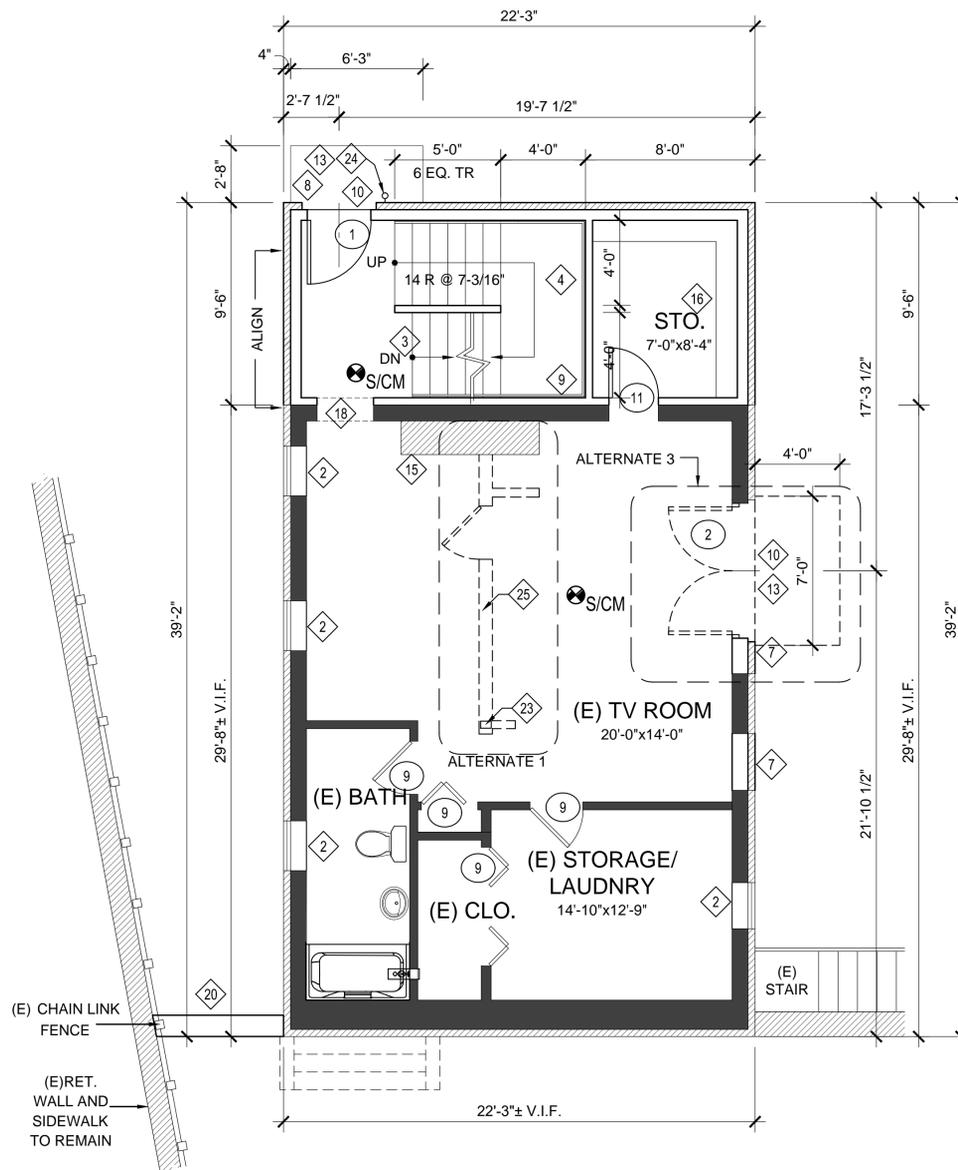
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**1 BASEMENT FLOOR PLAN**  
SCALE: 1/4"=1'-0"

- ALTERNATIVES:
1. REMOVE WALL IN (E) TV ROOM AND PATCH FINISHES.
  2. REWORK SECOND FLOOR ENTRY.
  3. ADD PATIO DOORS IN (E) TV ROOM.

NOTES: IF AN ALTERNATIVE IS NOT DONE THAT PART OF THE BUILDING WILL REMAIN AS EXISTING.



**2 FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

DOOR SCHEDULE							
NO.	SIZE	TYPE	MATERIAL			DETAILS	
			DOOR	FRAME	HEAD	JAMB	HARDWARE
1	3'-0"x6'-8"	SWING					LOCKSET
2	(2) 3'-0"x6'-8"	SWING					LOCKSET
3	2'-6"x6'-8"	SWING					PASSAGE
4	3'-0"x6'-8"	SWING					PASSAGE
5	2'-6"x6'-8"	POCKET					PASSAGE
6	(2) 2'-6"x6'-8"	SWING					PASSAGE
7	NOT USED						
8	2'-6"x6'-8"	SWING					PRIVACY
9	EXISTING						
10	NOT USED						
11	2'-4"x6'-8"	SWING					PASSAGE
12	2'-4"x6'-8"	POCKET					PASSAGE

- SITE**
- ALL EXTERIOR STAIRS AND RETAINING WALLS TO BE VERIFIED IN FIELD.
  - TRIM AND CASEWORK:
  - SHELVES: LAUNDRY: 12" VINYL COATED 1 PIECE WIRE. MOUNTING BRACKETS 4-0" O.C. MAXIMUM; CLOSET POLES, SHELF BRACKETS AT 2'-0" O.C.
  - ALL OTHERS: CLEAR PINE WITH MIN 2 COAT POLY FINISH.
  - BASEBOARD: 5 1/2" PRIME WITH MATCHING BASE CAP FROM STOCK
  - CASING: PRIMED; 1X4 PRIME FROM STOCK
  - WINDOW: STOOL/APRON: 2 1/2" PRIME COLONIAL;
  - STAIRS: 10" RED OAK TREAD, RED OAK RISER; 1/4" RED OAK COVE;
  - WINDOW HARDWARE STANDARD MANUFACTURERS' HARDWARE BY ANDERSEN, HARVEY, ETC.
  - INTERIOR DOOR: PRE-HUNG, SOLID JAMB, 2 OR 5 PANEL FIR DOOR; VIF.
- WALLS**
- 1/2" BLUE BOARD USE SCREW FASTENERS AND CORNER BEADS; USE METAL ACCESSORIES AGAINST THE EXISTING BUILDING STRUCTURE AND AGAINST WOOD SURFACES TO REMAIN WITH SKIM COAT VENEER PLASTER; WALLS SMOOTH AND CEILINGS SMOOTH AND SANDED AS REQUIRED FOR TRUE AND SMOOTH FINISH AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION. WHERE (N) WALLS ALIGN WITH (E) FINISH CORNER TO CORNER OR FLOOR TO CEILING & REPLACE (E) WITH (N).
  - ALL EXTERIOR WALLS TO BE R20.
  - DENSE PACKED CELLULOSE TO BE BLOWN IN ON SECOND AND THIRD FLOORS.
- FLOORS**
- ALL (E) SUBFLOOR BOARDS TO BE RING SHANK NAILED PRIOR TO INSTALLATION OF FINISH FLOORS.
  - CERAMIC TILE, GROUTED AND SEALED OVER CEMENT BOARD
  - HARDWOOD FLOORING: T.M.E., 3 COATS OF SAND SEALER, 3 FINISH COATS OF POLYURETHANE, SAND BETWEEN COATS. VACUUM AND TACK THE FLOORS TO REMOVE DUST. DO NOT STORE THE DUST IN THE HOME, OR ON THE OWNER'S PROPERTY.
  - AT AREAS PATCHED WEAVE OLD & NEW. SAND ENTIRE AREA (E) & (N) OR WEAVED.
  - ROOMS WITH HARDWOOD FLOORS: BEDROOMS, HALLS, TV ROOM, LAUNDRY, LIVING, DINING, KITCHEN, CLOSETS AND FAMILY ROOM.
  - ROOMS W/ CERAMIC TILE: BATHROOMS
  - UNDERLAYMENT: CERAMIC TILE- 1/2" CEMENT BOARD, GLUED AND SCREWED.
  - ROOMS WITH CERAMIC TILE: MUDROOM, LAUNDRY, 1/2 BATH, KITCHEN, MB BATHROOM AND FOYER.
  - (E) ROOMS TO BE PATCHED AND REFINISHED T.M.E. AS NECESSARY.
  - ALL CEILINGS TO BE R49 AND ALL FLOORS OVER UNCONDITIONED SPACE TO BE R30.
- PAINT**
- INTERIOR: PRIMER PLUS TWO COATS ON RAW MATERIALS. FLAT ON CEILING AND EGGSHELL ON WALLS AND ALKYD GLOSS ON TRIM. TWO COLORS PER ROOM. ONE COAT FLAT WHITE TO ALL CEILINGS.
  - EXTERIOR: PRIMER AND PLUS TWO COATS OF PAINT OR STAIN ON RAW MATERIALS. FLAT ON SOFFITS AND EGGSHELL ON WALLS AND STAIN, LATEX OR ALKYD ENAMEL PAINT ON TRIM.
- ELECTRICAL**
- (N) 200 AMP ELEC PANEL
  - (N) DETECTORS THROUGH OUT OLD & NEW
- HEATING & COOLING**
- EXTEND (E) HOT WATER HEAT TO (N).
  - ALTERNATE: (N) FORCED HOT AIR (3 ZONES) W/ CENTRAL AIR CONDITIONING.

- DOORS & WINDOWS**
- DOOR HARDWARE BY SCHLAGE; BATHROOM AND MASTER BEDROOM PRIVACY SET; ALL OTHER DOORS PASS THROUGH; CLOSETS DOOR TRIM OF WOOD, PLASTIC PULLS; ENTRY DOOR LOCKING KNOB AND DEAD BOLT
- CONSTRUCTION KEY NOTES:**
- (N) 2X6 WD STUD WALL @16" O.C. W/ 1/2" OSB SHEATHING EXT. INSUL. IN CAVITY AND 1/2" BLUE BD/PLASTER INTERIOR, TYP. (N) FRAMING TO MATCH (E) EXIST. V.I.F. (E) FRAMING.
  - (E) WINDOW TO BE REPLACED W/ (N) WINDOW V.I.F. (E) WINDOW OPENING.
  - (N) 2X4 WD STUD WALL @16" O.C., 1/2" BLUE BD. PLASTER BOTH SIDES TYP.
  - (N) WD STAIR & LANDING
  - (N) 10" CONC. FDN WALL.
  - INFILL (E) WINDOW/DOOR OPNG. W/ CONC. OR CMU PIN TO (E) RUBBLE WALL T.M.E.
  - INFILL (E) WINDOW/DOOR OPNG. TO MATCH (E) ADJACENT CONSTRUCTION W/ BRICK T.M.E.
  - (N) EXTERIOR BRICK VENEER T.M.E. OVER #30 BUILDERS FELT W/ CORRUGATED SS TIES @ 16" O.C. HORIZ. & 8" O.C. VERT. PROVIDE STEEL LINTEL (PER SCHEDULE) OVER EVERY OPENING W/ FABRIC THRU WALL FLASHING. PROVIDE FABRIC FLASHING @ BOTTOM OF CONC. SHELF W/ PLASTIC WEEPS 16" O.C.
  - 1 1/2" Ø HAND RAIL W/ WALL BRACKETS @4'-0" O.C., MIN 2 PER RUN CONTINUOUS
  - 8" STEP
  - WATER METER
  - (E) STAIR & (E) RET. WALL TO REMAIN
  - 12" CONC. PAD
  - NOT USED
  - (E) FIREPLACE TO REMAIN
  - (N) 12" WIRE SHELF
  - (N) 200A ELEC. PANEL
  - 3'-0"x6'-8" CLR. OPNG.
  - NOT USED
  - (N) MODULAR BLOCK RETAINING WALL
  - (E) MODULAR BLOCK RETAINING WALL
  - BRICK SHELF
  - (E) POST TO REMAIN V.I.F. THAT POST IS 4X6 MINIMUM TO 2X2X1 FTG IN BASEMENT.
  - (N) EXTERIOR LIGHT AND SWITCH
  - SHORE EITHER SIDE OF WALL BEFORE REMOVING WALL. CONTACT OWNER/ ARCHITECT ONCE WALL IS REMOVED FOR BEAM SIZE.

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CLIENT:  
**HANDEL OBAN AND AKIA RAMSAY**  
 1134 ADAMS STREET  
 DORCHESTER, MA 02124

SCALE: AS NOTED  
 DATE: 08/01/17

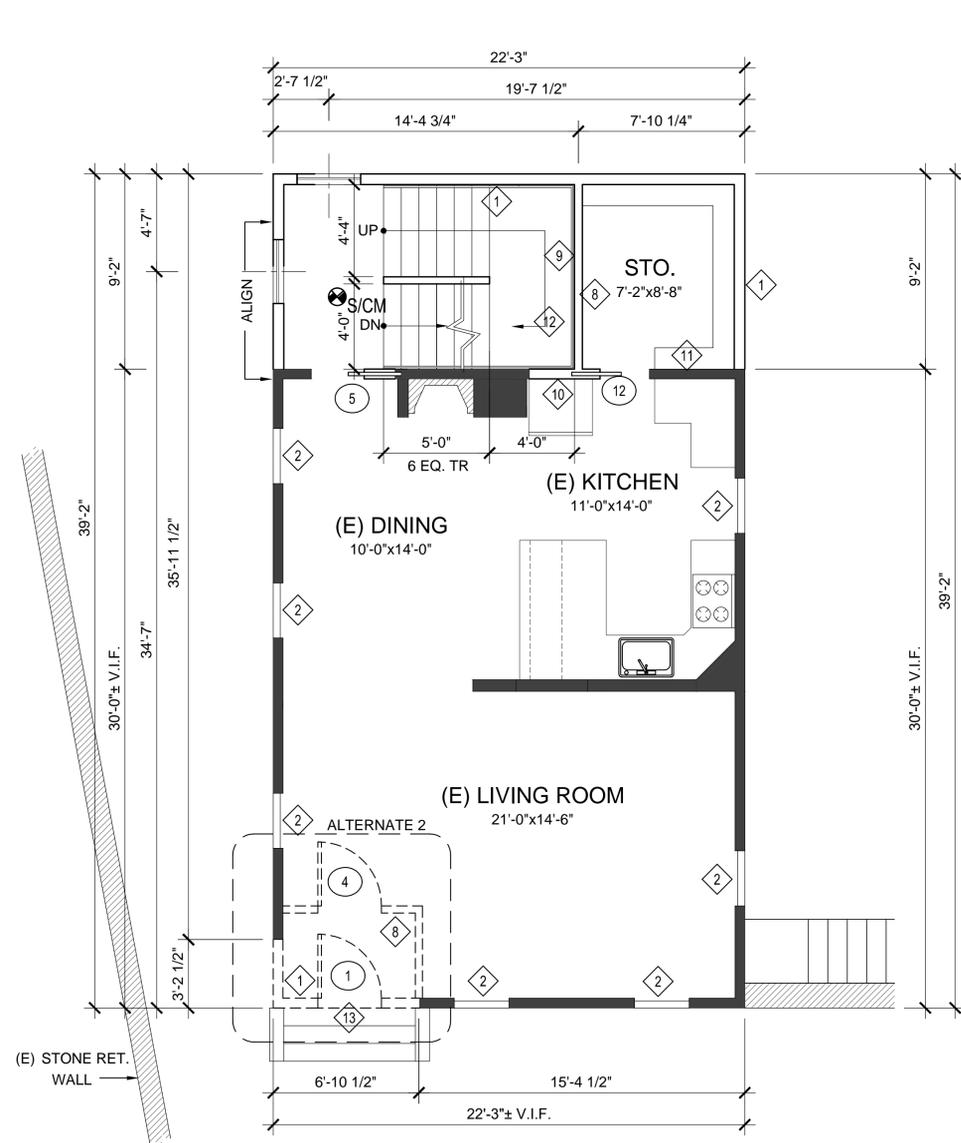
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REVISIONS:

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**BASEMENT & FIRST FLOOR PLANS**

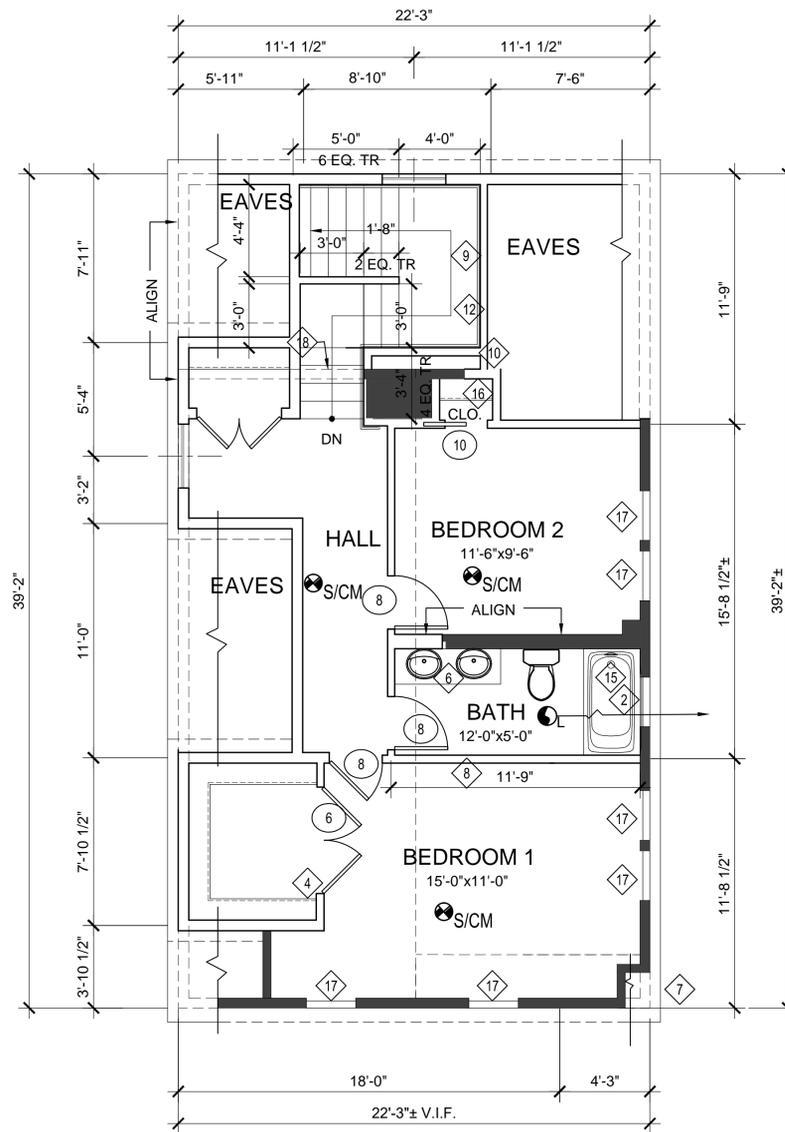
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**A-1.2**



**1 SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

- ALTERNATIVES:  
 1. REMOVE WALL IN (E) TV ROOM AND PATCH FINISHES.  
 2. REWORK SECOND FLOOR ENTRY.  
 3. ADD PATIO DOORS IN (E) TV ROOM.

NOTES: IF AN ALTERNATIVE IS NOT DONE THAT PART OF THE BUILDING WILL REMAIN AS EXISTING.



**2 THIRD FLOOR PLAN**  
SCALE: 1/4"=1'-0"

DOOR SCHEDULE						
NO.	OPENING	TYPE	MATERIAL			DETAILS
			DOOR	FRAME	HEAD	JAMB
1	3'-0"X6'-8"	SWING				LOCKSET
2	(2) 3'-0"X6'-8"	SWING				LOCKSET
3	2'-6"X6'-8"	SWING				PASSAGE
4	3'-0"X6'-8"	SWING				PASSAGE
5	2'-6"X6'-8"	POCKET				PASSAGE
6	(2) 2'-6"X6'-8"	SWING				PASSAGE
7	NOT USED					
8	2'-6"X6'-8"	SWING				PRIVACY
9	EXISTING					
10	2'-0"X6'-8"	POCKET				PASSAGE
11	2'-4"X6'-8"	SWING				PASSAGE
12	2'-4"X6'-8"	POCKET				PASSAGE

**CONSTRUCTION KEY NOTES:**

- 1 (N) 2X6 WD STUD WALL @16" O.C. W/ 1/2" OSB SHEATHING EXT. INSUL. IN CAVITY AND 1/2" BLUE BD/PLASTER INTERIOR, TYP. (N) FRAMING TO MATCH (E) EXIST. V.I.F. (E) FRAMING.
- 2 (E) WINDOW TO REMAIN
- 3 NOT USED
- 4 12" SHELF AND CLOTHES POLE
- 5 3'-0"x6'-8" CLR. FRAMED OPNG.
- 6 VANITY @ 60"
- 7 LINE OF ROOF ABV., TYP.
- 8 (N) 2X4 WD STUD WALL @16" O.C., 1/2" BLUE BD. PLASTER BOTH SIDES TYP.
- 9 (N) WD STAIR, LANDING & HANDRAIL
- 10 INFILL (E) WINDOW OPNG. W/ WD STUD WALL, 1/2" OSB ON THE EXT. 1/2 BLUE BD ON INTERIOR, AND INSULATION IN CAVITY..
- 11 4 TIERS OF ADJUSTABLE 15" & SHELF AC PLYWOOD W/ EDGE BANDS
- 12 1 1/2" Ø HAND RAIL W/ WALL BRACKETS @4'-0" O.C., MIN 2 PER RUN.
- 13 8" STEP
- 14 NOT USED
- 15 5'-0"X2'-8" TUB/SHOWER
- 16 12" WIRE SHELF
- 17 (E) WINDOW TO BE REPLACED W/ (N) WINDOW
- 18 (N) 2X4 STUD @16" O.C. WALL T.M.E.

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 CHECKED BY: DK

REVISIONS:  
 SHEET TITLE:  
**2ND & 3RD FLOOR PLANS**

DRAWING NO.



CONSULTANT:  
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 1134 ADAMS STREET  
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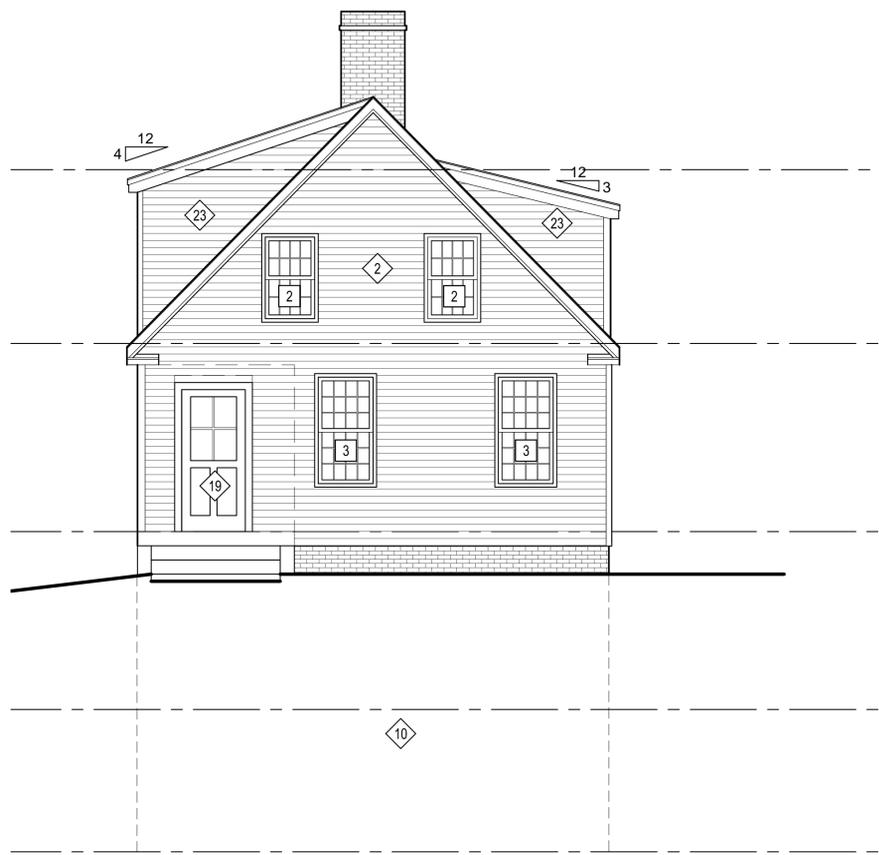
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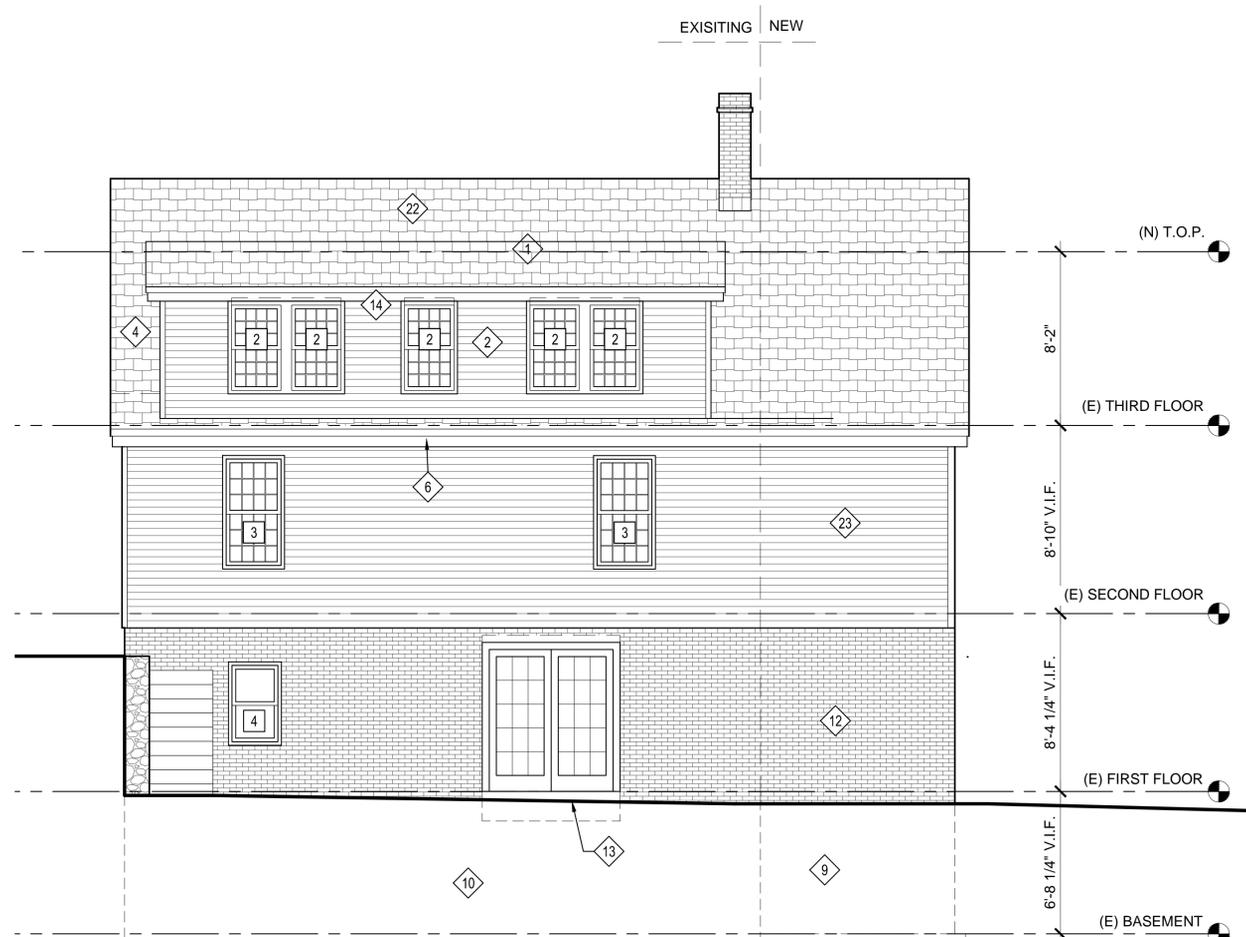
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SHEET TITLE:  
 NORTH & WEST ELEVATIONS

DRAWING NO:  
**A-2.1**



**1 NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



**2 WEST ELEVATION**  
 SCALE: 1/4"=1'-0"

WINDOW SCHEDULE				
NO.	QTY.	OPERATION	ROUGH OPENING	NOTES
1		DOUBLE HUNG	2'-6"X5'-0"	6 3/16" JAMB
2		DOUBLE HUNG	2'-6"X4'-0"	EASTWEST 6 3/16" JAMB, NORTH 4 9/16"
3		DOUBLE HUNG	2'-6"X5'-0"	4 9/16" JAMB
4		DOUBLE HUNG	2'-6" X 4'-0"	4 9/16" JAMB

**\*\*NOTE: ALL WINDOWS w/SCREENS, GRILLES AS SHOWN IN BETWEEN GLASS. (E) HOUSE TO RECEIVE (N) VINYL WINDOWS.**

-ALL WINDOWS TO BE BASED ON HARVEY WINDOW SIZES IN (N) CONSTRUCTION TO BE 6 9/16" IN (E) CONSTRUCTION 4 9/16" JAMBS.  
 -TEMPERED GLASS AT SILLS LESS THAN 18" OR ADJACENT WASHING AREAS WHICH PROPOSE SLIP HAZARD UNSAFE AREAS.  
 - ALL WINDOWS IN BEDROOMS WITH SILL LESS THAN 18" A.F.F. TO HAVE CHILD SAFETY CATCH.

LINTEL SCHEDULE	
LOOSE LINTELS: FOR OPENINGS IN MASONRY WALLS NOT OTHERWISE SIZED ON DRAWINGS, PROVIDE FOR EACH 4 INCHES OF THICKNESS OF THE WALLS THE FOLLOWING:	
1	ANGLE 3 1/2" x 3 1/2" x 5/16" FOR OPENINGS UP TO 3'-0"
1	ANGLE 4" x 3 1/2" x 5/16" FOR OPENINGS UP TO 4'-0"
1	ANGLE 5" x 3 1/2" x 5/16" FOR OPENINGS UP TO 5'-0"
1	ANGLE 6" x 3 1/2" x 3/8" FOR OPENINGS UP TO 6'-0" [LONG LEGS VERTICAL]

**NOTE:**  
 2 #6 CONTINUE VERTICAL REINFORCING ON EACH SIDE OF WINDOWS OPENING @ THE END OF LINTEL, FILL VOID TYP.

**KEY NOTES:**

- 1 ICE & WATER SHIELD TYP. 6'-0" UP EAVE IN ALL VALLEY.
- 2 STRIP (E) SIDING TO SHEATHING. (N) VINYL SIDING OVER AIR INFILTRATION BARRIER T.M.E. TYP.
- 3 ALUMINUM HEAD FLASHING, TYP.
- 4 REMOVE (E) SHINGLES TO SUBSTRATE NAIL OFF (E) BOARDS 8D RING SHANK NAIL 6" O.C.
- 5 FULL-LENGTH FABRIC RIDGE VENT (END TO END) w/ CAP SHINGLE TYP.
- 6 1X8 PVC RAKE/FASCIA BD & 1X3 SHADOW BD TYP.
- 7 8" MTL DRIP EDGE TYP.
- 8 4" PVC CORNERBOARD, TYP.
- 9 NEW FOUNDATION
- 10 EXIST. RUBBLE FOUNDATION
- 11 (N) LINTEL TYP.
- 12 (N) BRICK VEENER T.M.E. TYP.
- 13 1X KICK BD TYP.
- 14 (N) 30YR SHINGLES OVER 15# BUILDER'S FELT TME. TYP.
- 15 CUT BACK (E) SHEATHING 4'-0", OVERLAP (N) SHEATHING OF SAME THICKNESS 4'-0". TYP.
- 16 (E) GRADE LINE ASSUMED V.I.F.
- 17 4'-0"X3'-0"X1'-0" CONCRETE PAD
- 18 BRICK SHELF 8" BELOW GRADE
- 19 SALVAGE (E) DOOR & FRAME RELOCATE AS SHOWN; REMOVE FRAMING AT OLD LOCATION GUT SPACE TO FRAME; CONSTRUCT (N) WALL IN (E) OPENING REINSTALL SALVAGED DOOR.
- 20 LINTEL W/ FABRIC FLASHING IN CAVITY.SEE SCHEDULE
- 21 (E) CHIMNEY TO REMAIN, PROVIDE (E) LEDGE FLASHING.
- 22 (N) 30YR SHINGLES OVER 15# BUILDER'S FELT TME. TYP.
- 23 (N) VINYL SIDING OVER AIR INFILTRATION BARRIER T.M.E. TYP.

**GENERAL NOTES:**

**SIDING**  
 FASCIA/RAKE: 1X8 PVC  
 TRIM: 1X3 PVC  
 DOOR/WINDOW TRIM: 1X4 PVC  
 CORNER BOARDS: 4" PVC, TRIM FLUSH TO BOT. OF SIDING!

BRICK  
 INSTALL BRICK VENEER W/ CORRUGATED GALVANIZED TIES @ 24" O.C. HORIZONTAL & 16" O.C. VERTICAL OVER 30# BUILDERS FELT. PROVIDE WEEPS @ 24" O.C. @ LOWEST COURSE ABOVE GROUND.

**ROOF AND SHINGLES**  
 30-YEAR ARCHITECTURAL SHINGLE, MINIMUM 6 NAILS PER SHINGLE, ON MINIMUM 15# FELT OVERLAY.

FULL-LENGTH FABRIC RIDGE VENT BY COBRA EXTEND TO END OF ROOF.

ICE & WATER SHIELD- IN FROM EDGES MIN 6"; MIN 2'-0" HORIZONTAL AND VERTICAL AT VERTICAL INTERSECTION; MIN 2' ON EITHER SIDE OF VALLEY CENTERLINE WITH NO LESS THAN 1" OVERLAP, FULLY ADHERED, 2'-0" ABOVE VERTICAL SURFACES.

**FLASHING**  
 .032 DRIP EDGE, 8" ALUMINUM WHITE, BLACK, MILL FINISH. ALUMINUM STEP FLASHING AT CHEEK WALLS; ALUMINUM HEAD FLASHING, AND DRIP CAP OVER ALL DOORS AND WINDOWS.

**VENTS**  
 ALL PLUMBING VENTS TO HAVE BOOTS PER MANUFACTURER AND TYPE. PAINT PIPE TO MATCH SHINGLES.

WINDOWS(SEE SCHEDULE)  
 ALL WINDOWS IN (N) CONSTRUCTION TO HAVE w 5/8" INSULATING GLASS; (N) 6 9/16" JAMB, (E) 4 9/16" JAMB; SCREENS; GRILLS IN GLASS; W/ INTEGRAL FLANGE. INSTALL HEAD OF WINDOW 6'-8" A.F.F.



**1 SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"

**2 EAST ELEVATION**  
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE			
NO.	QTY.	OPERATION	ROUGH OPENING NOTES
1		DOUBLE HUNG	2'-6"X5'-0" 6 5/16 JAMB
2		DOUBLE HUNG	2'-6"X4'-0" EAST/WEST 6 5/16 JAMB, NORTH 4 9/16
3		DOUBLE HUNG	2'-6"X5'-0" 4 9/16 JAMB
4		DOUBLE HUNG	2'-6" X 4'-0" 4 9/16 JAMB

**\*\*NOTE:** ALL WINDOWS w/SCREENS, GRILLES AS SHOWN IN BETWEEN GLASS. (E) HOUSE TO RECEIVE (N) VINYL WINDOWS.

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[LONG LEGS VERTICAL]	

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**KEY NOTES:**

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- 13 1X KICK BD TYP.
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- 15 CUT BACK (E) SHEATHING 4'-0", OVERLAP (N) SHEATHING OF SAME THICKNESS 4'-0". TYP.
- 16 (E) GRADE LINE ASSUMED V.I.F.
- 17 4'-0"X3'-0"X1'-0" CONCRETE PAD
- 18 BRICK SHELF 8" BELOW GRADE
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CORNER BOARDS: 4" PVC, TRIM FLUSH TO BOT. OF SIDING

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ALL WINDOWS IN (N) CONSTRUCTION TO HAVE w/ 5/8" INSULATING GLASS; (N) 6 9/16" JAMB, (E) 4 9/16" JAMB; SCREENS; GRILLS IN GLASS; W/ INTEGRAL FLANGE. INSTALL HEAD OF WINDOW 6'-8" A.F.F.

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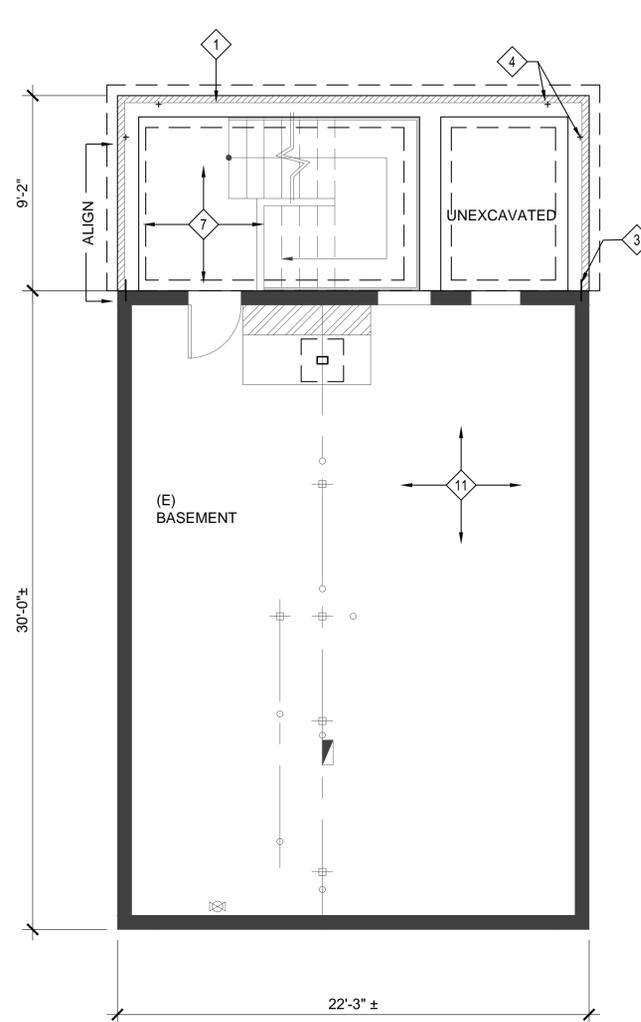
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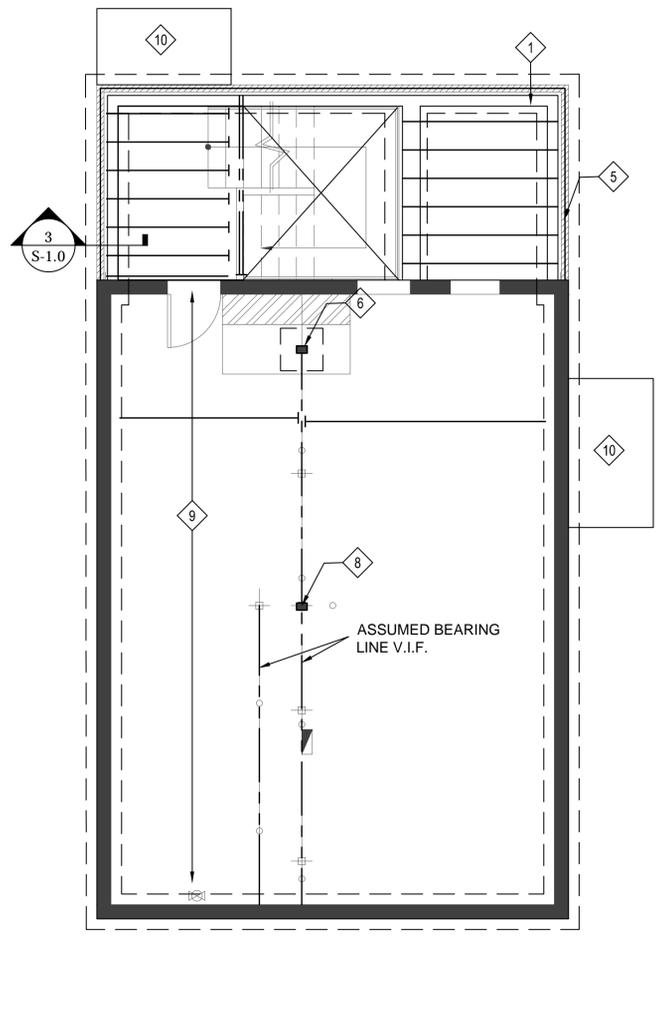
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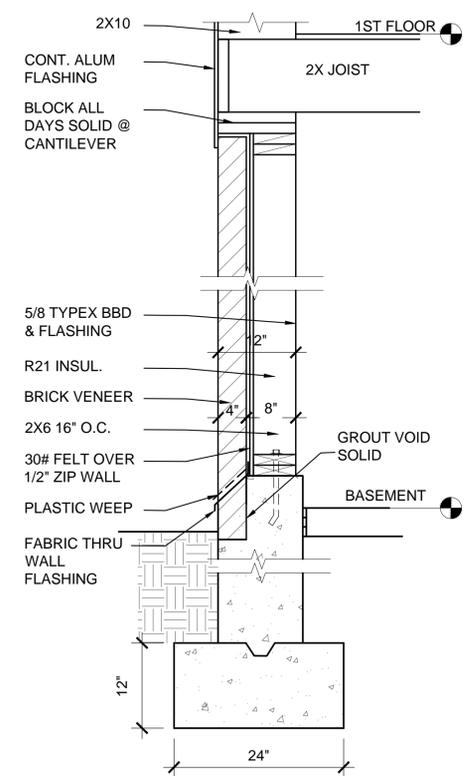
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**A-2.2**



**1 FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"



**2 (N) FOUNDATION PLAN/ (E) FIRST FLOOR**  
SCALE: 1/4"=1'-0"



**3 WALL SECTION @ BRICK VENEER WALL**  
SCALE: 1"=1'-0"

**FOUNDATION KEY NOTES:**

- 1 (N) 12" CONCRETE FNDN. TYP.
- 2 1/2" ASPHALTIC PREMOLDED JOINT FILLER BETWEEN SLAB AND WALL, TYP.
- 3 PIN (N) AND (E) FNDN OR SLAB W/#4 DOWELS, 12" O.C., SET IN HYDRAULIC CEMENT. RUBBLE WALL W/ EXPOSED BRICK ASSUMED.
- 4 2-2X6 PT SILL W/ 1/2" DIA. ANCHOR BOLTS 1'-0" FROM EACH CORNER, 4'-0" O.C., TYP.
- 5 4" BRICK SHELF TYP.
- 6 3 1/2" LALLEY (W/ TOP & BOTTOM PLATE) (N) 4X6 ON 2'-0"X2'-0"X1'-0"
- 7 (N) CONCRETE SLAB
- 8 (E) POST DOWN V.I.F.
- 9 (E) FLOOR JOISTS 2 V.I.F.
- 10 (N) CONCRETE PAD
- 11 (E) CONCRETE SLAB

**FOUNDATION AND CONCRETE NOTES**

1. FOUNDATION WALLS: PROVIDE BLOCK OUTS FOR ANY REQUIRED PENETRATIONS THROUGH NEW FOUNDATION WALLS FOR PLUMBING, HVAC, TELEPHONE ETC., PRIOR TO POURING THE CONCRETE.
2. FOOTINGS: ALL FOOTINGS TO BE PLACED ON VIRGIN SOIL, IF SOIL IS DISTURBED COMPACT ALL SOIL TO 90% OF ITS DENSITY.
3. SLABS: ALL SLABS TO BE A MINIMUM OF 4" IN THICKNESS OVER 6" OF 3/4" MAXIMUM COMPACTED GRAVEL. USE WELDED WIRE MESH OR FIBER REINFORCEMENT WHEN SPECIFIED. VAPOR BARRIERS IS TO BE UNDER ALL CONDITIONED FLOOR SLABS AND PLACED DIRECTLY BELOW THE SLAB ON GRADE.
4. PIERS: CONCRETE PIERS SHALL BE 3000 PSI, 10" DIAMETER, 4'-0" MIN BELOW GRADE.
5. GENERAL: NOTIFY ARCHITECT IN THE EVENT LEDGE IS DISCOVERED. LEDGE WILL BE REQUIRED TO BE PINNED TO LEDGE.
6. DO NOT PLACE FOOTINGS ON FROZEN GROUND OR IN WATER.
7. AT TEMPERATURES BELOW 32° F PROTECT GROUND FROM FREEZING IN OPEN CUTS WITH THERMAL BLANKETS.
8. CONCRETE MIX IS TO BE PROVIDED WITH AN ANTIFREEZE TO RETARD THE CURE OF THE CONCRETE FROM FREEZING. FORMS SHALL REMAIN IN PLACE FOR A PERIOD OF 3 DAYS AND PROTECT ALL EXPOSED SURFACES DURING THE 3 DAY PERIOD.
9. AT TEMPERATURES OVER 90° F PROTECT CONCRETE FROM DIRECT SUN AND TEMPERATURES EXCEEDING 100° F PROVIDE MIST TO ALL EXPOSED SURFACES TO RETARD ACCELERATION OF THE CURE.
10. CONTRACTOR IS TO BRACE FOUNDATION WALLS DURING BACKFILLING OPERATIONS AND DURING THE POUR. REMOVE ANY WALLS WHICH RESULT IN MOVEMENT OF THE FOUNDATION WALL OUT OF PLUMB GREATER THAN 1".
11. PROCEED W/ CAUTION DURING EXCAVATION, THE CONDITION OF THE EXISTING FOUNDATION IS UNKNOWN. AVOID UNDERMINING OLD FOUNDATION AND ADDING LATERAL PRESSURE TO (E) FOUNDATION.

**FRAMING NOTES**

1. INSTALL ALL FRAMING LUMBER IN LENGTHS AND DEPTH SPECIFIED FOR FLOORS, CEILINGS AND WALLS. PROVIDE LUMBER IN THE NEXT LENGTH UP SO THAT AT JOINTS LUMBER OVERLAPS A MINIMUM OF 6".
2. PROVIDE BRIDGING AT FLOORS AT A MINIMUM OF 8'-0" ON CENTER AT ALL FLOORS. BRIDGING CAN BE ELIMINATED IF THE ASSEMBLY IS TO HAVE STRAPPING AT 16" ON CENTER BELOW FLOOR.
3. PRIOR TO REMOVAL OF ALL BEARING WALLS, BEAMS OR COLUMNS SHORE EXISTING ADJACENT FRAMING. WITH A ROW OF FRAMING ON EITHER SIDE OF THE ELEMENT TO BE REMOVED.
4. LUMBER TO BE SPRUCE, PINE, OR FIR GRADE 1OR 2. 2X8 FLOOR JOISTS @ 16" O.C. SPAN UP TO 11'-6" FOR RESIDENTIAL LIVING AREAS WITH LIVE LOAD OF 40PSF AND DEAD LOAD OF 20PSF. 2X8 FLOOR JOISTS @ 16" O.C. SPAN UP TO 12'-7" FOR RESIDENTIAL SLEEPING AREAS WITH LIVE LOAD OF 30PSF AND DEAD LOAD OF 20PSF. (SEE TABLE R502.3.1(1) AND R502.3.1(2) IN THE 2009 IRC)
5. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED FOR FULL GROUND CONTACT.
6. DOUBLE ALL FLOOR, CEILING JOISTS PARALLEL TO WALLS & BELOW PARTITIONS AND AT ALL OPENINGS IN CEILINGS AND ROOFS RAFTERS & CEILING JOISTS ARE TO BE DOUBLED AND A APPROVED METAL HANGER INSTALLED.
7. ALL BEARING POSTS TO BE BLOCKED SOLID TO LUMBER OR FOUNDATION BELOW.
8. BRACED WALL PANELS TO BE 1/2" PLYWOOD. SECURE WITH 6D NAILS 6" O.C. ON EDGES, 12" O.C. FIELD.
9. ALL SHEATHING AND PLYWOOD MATERIALS SHALL BE APA RATED. STRONG AXIS OF MATERIALS SHALL RUN PERPENDICULAR TO JOISTS AND WALL MEMBERS.
10. WHEN MULTIPLE PLYS OF ENGINEERED LUMBER ARE SPECIFIED FOR BEAMS LAG PLYS TOGETHER WITH A MINIMUM OF 1/2" DIAMETER BOLTS AND WASHER IN 2 ROWS STAGGERED AT 2'-0" O.C. AT EACH FACE OF BEAM.
11. ALL LSL MEMBERS SHALL HAVE 1.55 E MIN. ALL LVL MEMBERS SHALL HAVE 1.9 E MIN. ALL PSL MEMBERS SHALL HAVE 2.0 E MIN. ENGINEERED LUMBER SHALL HAVE IDENTIFICATION MARKERS LEFT ON FOR FIELD VERIFICATION.
12. ALL BEARING POSTS ARE TO BE BLOCKED SOLID TO LUMBER OR FOUNDATION BELOW
13. WHEN INSTALLING MANUFACTURED LUMBER PRODUCTS STRICTLY FOLLOW THE MANUFACTURES INSTRUCTIONS FOR INSTALLATION, FASTENING, BLOCKING, BRIDGING, ETC.
14. PROVIDE SOLID BLOCKING BEHIND ALL BATHROOM ACCESSORIES, HANDRAILS, GRAB BARS AND CABINETS.
15. IF (E) FRAMING IS DIFFERENT THAN SHOWN, NOTIFY ARCHITECT. DO NOT REMOVE ANYTHING STRUCTURAL UNLESS MARKED ON PLANS.

HEADER SCHEDULE			
SIZE	OPENING WIDTH (FT)	WALL TYPE	
2X6	0 TO 3'-0"	INTERIOR OF EXTERIOR LOAD BEARING WALL	NON LOAD BEARING WALL
2X8	3'-0" TO 4'-0"	INTERIOR OF EXTERIOR LOAD BEARING WALL	NON LOAD BEARING WALL
2X10	4'-0" TO 6'-0"	INTERIOR OF EXTERIOR LOAD BEARING WALL	NON LOAD BEARING WALL
2X12	6'-0" TO 10'-0"	INTERIOR OF EXTERIOR LOAD BEARING WALL	NON LOAD BEARING WALL
SPEC 2-2X10 SPF NO. 1/NO. 2		WINDOW HEADERS UNDER RIDGE	NON LOAD BEARING WALL
MINIMUM BEARING IN ALL CASES IS 1 1/2"			
IN A 2X4 WALL USE 2 PLYS WITH 1/2" PLYWOOD FILLER			
IN A 2X6 WALL USE 3 PLYS WITH 1/2" PLYWOOD FILLER			

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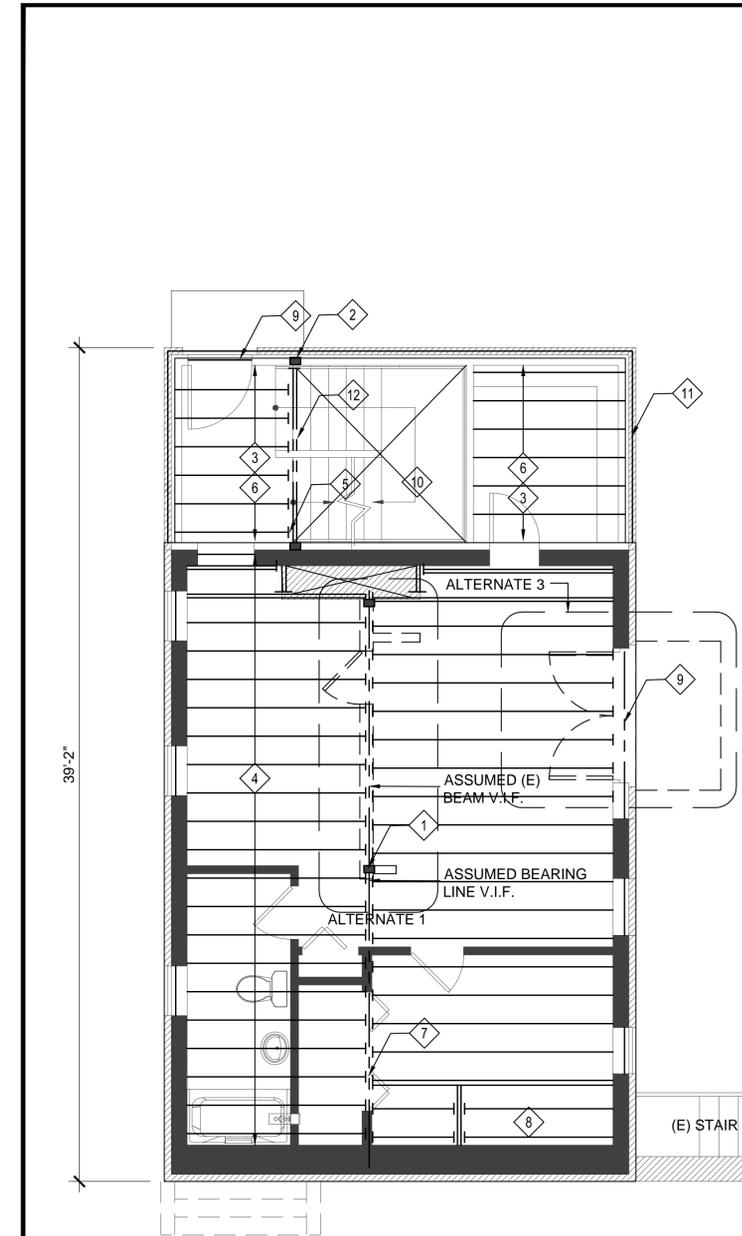


CLIENT:  
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 1134 ADAMS STREET  
 DORCHESTER, MA 02124

SCALE: AS NOTED  
 DATE: 08/01/17  
 DRAWN BY: BD  
 CHECKED BY: DK

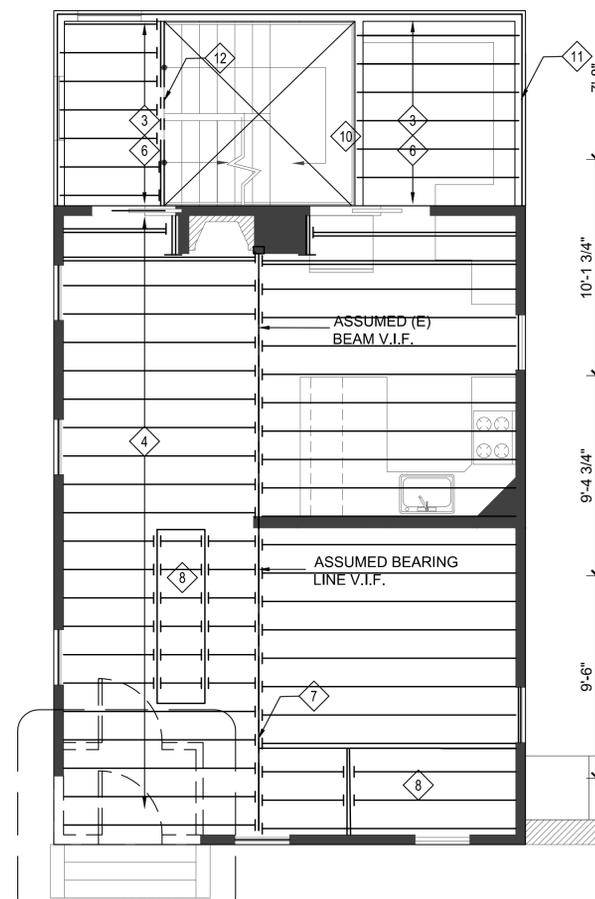
SHEET TITLE:  
**FOUNDATION AND FRAMING PLANS**  
 DRAWING NO.:  
**S-1.0**

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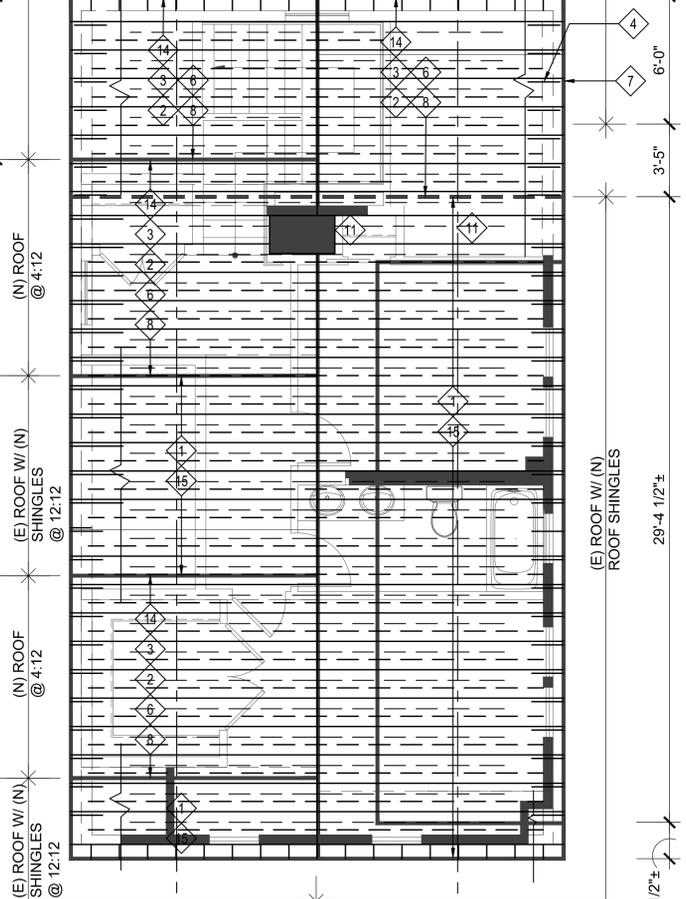


**1 SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4"=1'-0"

- 2ND & 3RD FLOOR FRAMING KEY NOTES:**
- 1 (E) POST ASSUMED V.I.F.
  - 2 4X6 POST AT EA END TYP.
  - 3 2X8 FLOOR JOISTS @ 16" O.C.
  - 4 (E) FLOOR JOISTS V.I.F.
  - 5 (N) METAL HANGER TYP.
  - 6 3/4" T&G SUBFLOOR, GLUE AND RING NAIL.
  - 7 (E) LVL BEAM V.I.F.
  - 8 FILL IN WHERE (E) STAIR OPNG. WAS W/ JOISTS T.M.E
  - 9 (N) HEADER (SEE HEADER SCHEDULE) TYP.
  - 10 USE 2X12 STRINGER @ 16" O.C. TYP.
  - 11 CONT. RIBBON
  - 12 (2) 2X12



**2 THIRD FLOOR FRAMING PLAN**  
SCALE: 1/4"=1'-0"



**3 ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0"

- ROOF FRAMING KEY NOTES:**
- 1 (E) 2X RAFTERS @ 16" O.C. V.I.F.
  - 2 CONT. 1X3 STRAPPING @ 16" O.C. ABOVE RAFTERS.
  - 3 1/2" PLYWD. SHEATHING.
  - 4 ALL RAFTERS TO RECEIVE HURRICANE CLIPS, TYP.
  - 5 (N) 2X12 RIDGE, (E) RIDGE V.I.F.
  - 6 2x8 COLLAR TIES @ 16" O.C. @ 1/3 SPAN, TYP.
  - 7 1x3 TRIM & 1x8 FASCIA RAKE, TYP.
  - 8 (N) 2X10 RAFTERS @ 16" O.C.
  - 9 REMOVE (E) RAFTERS FOR (N) TRUE FRAMED DORMER
  - 10 (E) SHEATHING TO REMAIN V.I.F. & HATCH (E) W/ (N)
  - 11 REMOVE (E) SHEATHING 4'-0". ADD (N) SHEATHING 4'-0" OVER (E) STRUCTURE.
  - 12 REMOVE PLYWOOD BELOW LAY ON DORMER.
  - 13 FLYING RAKE 2X6 RAIL W/2X6 RUNG @ 16" O.C. TYP @ GABLE
  - 14 (N) 2X10 CEILING JOISTS 16" O.C.
  - 15 (E) 2X CEILING JOISTS

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**FRAMING NOTES**

1. INSTALL ALL FRAMING LUMBER IN LENGTHS AND DEPTH SPECIFIED FOR FLOORS, CEILINGS AND WALLS. PROVIDE LUMBER IN THE NEXT LENGTH UP SO THAT AT JOINTS LUMBER OVERLAPS A MINIMUM OF 6".
2. PROVIDE BRIDGING AT FLOORS AT A MINIMUM OF 8'-0" ON CENTER AT ALL FLOORS. BRIDGING CAN BE ELIMINATED IF THE ASSEMBLY IS TO HAVE STRAPPING AT 16" ON CENTER BELOW FLOOR.
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SCALE:	AS NOTED	DRAWN BY:	BD
DATE:	08/01/17	CHECKED BY:	DK
REVISED:		DATE:	
SHEET TITLE: <b>FLOOR AND ROOF FRAMING PLANS</b>			
DRAWING NO.			

**S-1.1**