



WILLET STREET EXTENSION PROPOSAL

WEST ROXBURY, MA

29 New Construction Single Family Homes

Proponent: C.A.D. BUILDERS, LLC

Permitting Consultant: O'Neill and Associates

"WILLET STREET EXTENTION PROPOSAL"

[WEST ROXBURY, MA]

PROJECT NOTIFICATION FORM (PNF)

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(AVAILABLE ON-REQUEST: FULL SIZE DOCUMENTS... EMAIL:
ctracy@oneillandassoc.com)

1.0 Executive Summary

1.1 Introduction

CAD Builders LLC (the "Proponent") is submitting this Project Notification Form ("PNF") for the Willet Street Extension Development Project in the West Roxbury neighborhood of Boston, in accordance with the Article 80 requirements of the Boston Zoning Code (the "Code"). The development will include approximately 29 single family homes, complete with a new street and associated infrastructure on a 7.75 acre lot of land owned by the Proponent (the "Proposed Project"). The total Proposed Project is approximately 75,400 gross square feet. Each of the 29 homes will be family sized units with multiple bedrooms and off street parking. The average size of the home is approximately 2,600 square feet and the Proponent will use its urban design expertise to make each home unique from one another, avoiding complete uniformity of design.

The Proposed Project is located on a large, unoccupied parcel of land in West Roxbury totaling approximately 7.75 acres of land (approximately 337,590 square feet). The land is currently occupied by brush and small trees on the unbuilt paper street portion of Willet Street and an unoccupied parcel extending to the west of Willett Street ("Project Site").

Because the proposed project exceeds 50,000 gross square feet of development, it is subject to the requirements of Large Project Review by the Boston Planning and Development Agency ("BPDA") pursuant the Article 80B of the Code.

A Letter of Intent ("LOI") to file a Project Notification Form was filed with the BPDA for the proposed development project on November 6, 2017. (SEE ATTACHMENT)

The Proponent submits this PNF to initiate review of the Proposed Project under Article 80B, Large Project Review, of the Code.

1.2 Project Site

The site is bounded to the west by the West Roxbury Crushed Stone Quarry and Roxbury Latin School owned parcels; to the south by Washington Street; to the east by Heron Street and to the north by Willet and Thrush Streets. The nearby neighborhood is mostly residential uses or undeveloped land owned by the West Roxbury Crushed Stone Quarry and Roxbury Latin School. The residential uses nearby are a mix of single and two family homes as well as larger condominium and apartment buildings.

The approximately 337,590 square feet of lot area is comprised of 11 individual and abutting parcels; City of Boston Parcel ID's are 2003312010, 2002968000, 2003313000, 2003312001, 2003314000, 2002937000, 2002938000, 2002939000, 2002940000, 2002940001, 2002941000

The proposed project site is located 1.4 miles from Centre St in West Roxbury, 2.1 miles from Roslindale Village, and 1.2 miles to the town of Dedham line.

The site is within close proximity to MBTA Bus routes # 34, 34E and 40 to Forest Hills with service to Downtown Boston via the Orange Line.

The site is also a 1.4 mile walk to the Highland Station, a 1.4 mile walk to West Roxbury Station and a 1.9 mile walk to the Roslindale Village Station of the MBTA Commuter Rail.

The site is also easily accessible via vehicular transportation to Interstates 93 and 95/128 and Downtown Boston.

1.3 Area Context

The Proposal fits the need in the City of Boston, and the West Roxbury neighborhood, for the type of high quality housing stock that both existing and future residents' desire. The introduction of a new swath of single family housing will help alleviate the burden on the existing housing stock in this community and throughout the City. The high quality and thoroughness of design and construction methods will concurrently fit the character of the existing neighborhood while enhancing the aesthetics of the neighborhood as a whole.

A portion of the site was previously used as construction/storage yard for the Todesca Company; the community frequently bemoaned the existence of a construction yard that abutted a residential neighborhood. Additionally, the abutting West Roxbury Crushed Stone Quarry has created some neighborhood concerns of blasting rock and associated work that can at times be loud and disruptive to residential neighbors.

The Proponent submits that housing is the best use for the site as it does not bring the associated burdens of construction yards and quarry's. The Proponent further submits that single family housing, as opposed to a large multiple family housing complex, is the best fit for the Project Site. The Proponent maintains that the single family home layout with the associated road, as opposed to a large scale multi-unit housing complex, is a more appropriate scale and scope proposal and will behoove the existing community and the City of Boston

1.4 Project Team

Property Owner/Developer: CAD Builders LLC

Claudio and Anthony Di Letizia - 200 Revere St Canton MA 02021

Permitting/Government Relations Consultant: O'Neill and Associates

Christopher Tracy - 31 New Chardon St Boston MA 02114

Landscape Architect: Blair Hines Design Associates

Katya Podsiadlo - 318 Harvard Ave Suite 25, Brookline MA 021146

Transportation Consultant: Howard Stein Hudson

Brain Beisel – 11 Beacon St Suite 1010, Boston MA 02108

Civil Engineer: Norwood Engineering

Dick Morris- 1410 Providence Hwy # 202, Norwood, MA 02062

Construction Consultant: Gary Martell Real Estate Equity Consulting

Jamaica Plain MA 02130

1.5 Project Approvals Sought

Boston Planning and Development Agency (BPDA) – Article 80 Large Project Review and Execution of Related Agreements; Section 80B-6 Certificate of Compliance; BPDA Board Authorization

Boston Zoning Board of Appeals (ZBA) – Zoning Relief Required from ZBA

Inspectional Services Department (ISD) – Building Permits; Certificate of Occupancy; Site Cleanliness Permit; Other Construction Related Permits

Boston Public Works, Public Improvements Commission (PIC) – Street and Sidewalk Construction; Curb Cut Permits

Boston Transportation Department (BTD) – Transportation Access Plan Agreement; Construction Management Plan

Boston Fire Department (BFD) – Approval of Fire Safety Equipment

Boston Water and Sewer Commission (BWSC) – Approval from Sewer and Water Connections; Construction Site Dewatering; and Storm Drainage

Boston Conservation Commission (BCC) – Construction within 100 feet of Wetland Buffer

1.6 Community and Public Process

As a self-imposed prerequisite to filing this PNF, and as a concurrent process to the required BPDA Article 80 public review process; the Proponent has and will continue to engage in a robust, transparent dialogue with the West Roxbury Community. The Proponent has already undertaken a grassroots approach of outreach in the community, in which they have met with over 20 individuals who are stakeholders to the project. Included, but not limited to this outreach, has been meetings with local elected officials, leadership of community civic groups and neighbors to the site.

Willet St is located in a distinctive neighborhood that touches the boundaries of two active civic community groups in West Roxbury, the West Roxbury Civic and Improvement Association and Bellevue Hill Neighborhood Group; therefore the Proponent has met with the leadership of both groups and plans to present to the entire groups as the process continues. The Proponent also made a preliminary presentation before the West Roxbury

Neighborhood Council on November 28th, 2017; though no vote was taken, the project was warmly received at this meeting and no objections were voiced.

The Proponent has also held one abutter's meeting on site with neighbors and has attended two "pre-file" meetings with BPDA staff, most recently on October 28th, 2017. These meetings have provided valuable feedback by BPDA and City of Boston staff that the Proponent has incorporated into the Proposed Project wherever possible.

In accordance with Article 80 requirements, an Impact Advisory Group ("IAG") was formed to review the Project's filing, and BPDA sponsored public meetings will be scheduled to review the PNF and receive community comments on the Proposed Project during the PNF public review period.

The Proponent will continue to meet with public agencies, community representatives, neighbors and other interested parties and will comply with the requirements of the Article 80 public process.

1.7 IDP

The Inclusionary Development Policy (IDP), approved and administered by the BPDA, establishes that residential projects seeking zoning relief must allocate a percentage of its market rate units as affordable and targeted to households of specified levels of income, or create such units off-site, or contribute an amount to a housing creation fund based on a percentage of the total number of the project units. The Proposed Project will comply with this policy by creating and/or contributing to affordable housing in accordance with the IDP.

1.8 DIP

In accordance with Article 80B-7 of the Code, proposals with over 100,000 gross square feet of development are required to contribute to the Development Impact Payment ("DIP") program. The Proposed Project is not anticipated to be a DIP project, as it is under 100,000 gross square feet of development.

1.9 Public Benefits

- The creation of 29 new opportunities for homeownership in the City of Boston;
- Compliance with the IDP to help further create homeownership opportunities at more affordable rates in the City of Boston;
- Significant private capital and investment by the Proponent to essentially create a new City street. This will bring life and vitality to a previously unused large area of land;
- Introducing new residents to the area who will support the local community and patronize local businesses and institutions;

- Displacement of zero residents to create these new housing opportunities. Displacement of little natural environmental canopy and limited clearing of native vegetation and greenspace;
- The Proposed Project will improve the urban design characteristics and aesthetic character of the surrounding area through the introduction of high-quality architecture to the Project Site;
- The Proposed Project will build homes that not only fit the character of the existing neighborhood, but will add to and improve the existing neighborhood as new homes of high quality and design are constructed;
- Introduction of new trees and greenspace as well as sidewalks and streetscape amenities to improve and enhance pedestrian landscape and experience;
- Significant additional real estate tax revues for the City of Boston;
- Creation of as many as 100 jobs to complete the project

1.10 Wind Impact

The height of the proposed homes will be approximately 35 feet. There is anticipated to be no change in existing wind conditions. Overall, the Proposed Project's wind impacts will not adversely affect the Project Site or the neighborhood.

1.11 Shadow Impact

The height of the proposed homes will be approximately 35 feet. There is anticipated to be an extremely minimal change in existing shadow conditions. Overall, the Proposed Project's shadow impacts will not adversely affect the Project Site or the neighborhood.

1.12 Solar Glare

The height of the proposed homes will be approximately 35 feet. There is anticipated to be no change in existing solar glare conditions. Overall, the Proposed Project's solar glare impacts will not adversely affect the Project Site or the neighborhood.

1.13 Historic Districts and Resources

The Proponent has consulted the Inventory of Historic and Archeological Assets of the Commonwealth and the State and National Registers of Historic Places via the Massachusetts Cultural Resource Information System (MACRIS) maintained by the Massachusetts Historical Commission (MHC). The Proponent's research has determined that the Project Site is not within, nor does it abut, any listed historic districts or resources.

1.14 Planning

The Project Site has been meticulously planned to enhance the Proposed Project while minimizing and mitigating impacts on the existing neighborhood as much as possible. The two "pre-file" meetings with BPDA staff and City of Boston staff have provided valuable feedback and the Proposed Project has matured in its approach to being a more carefully considered and balanced proposal.

Among the changes, based on BPDA staff and City of Boston staff feedback, during the maturation of the plan have been:

- addition of trees to create a new canopy for the new residences;
- an evolved design of the 29 homes that stresses individuality;
- design that fits into the existing topography of the Project Site and maintains as much existing greenery as possible;
- increased multi modal accessibility of the homes;
- increased compliance of the Americans with Disabilities Act (ADA) and improved livability for persons with disabilities;
- improved treatment of storm and runoff water

The Proponent will continue to work with the Planning staff of the BPDA and incorporate sound planning techniques and practices wherever possible as the Proposed Project progresses.

1.15 Urban Design

The Proponent is a well-established and reputable builder in the Greater Boston area and has designed and constructed numerous homes in the Southwest Boston neighborhoods of West Roxbury, Roslindale and Hyde Park. They have established a reputation of high quality workmanship and top level design and finish. They have designed and built numerous single family homes in the immediate neighborhood of the Project Site, including homes on:

- Thrush Street
- Maplewood Street
- Searle Road
- Sparrow Street
- Stearns Road
- Woodley Avenue

The Proposed Project will reflect their high quality of work while minimizing disruptions to neighbors whenever possible. Many of the homes will be built into the existing topography of the site to minimize blasting and ledge work as much as possible.

Approximately 66,764 square feet of the 337,590 square foot Project Site will remain natural open space via a deed restriction; this intended to blend the new homes into the existing neighborhood and create a tranquil, peaceful neighborhood that respects the current community layout.

O'NEILL AND ASSOCIATES

November 6, 2017

Mr. Brian P. Golden, Director
Boston Planning & Development Agency
One City Hall Plaza, 9th Floor
Boston, MA 02201

RE: Willet St Extension, West Roxbury

Dear Director Golden,

On behalf of my client, CAD Builders LLC (the "Proponent"), I am pleased to submit this Letter of Intent (LOI) to file a Project Notification Form (PNF) initiating Large Project Review under Article 80B of the Boston Zoning Code for the development of the property on the Willet St Extension in Boston's West Roxbury neighborhood.

The development will include approximately 29 single family homes, complete with a new street and associated infrastructure on a 7.75 acre lot of land owned by the Proponent (the "Proposed Project"). The total proposed project is approximately 75,400 gross square feet.

The Proposed Project presents a unique opportunity to create new housing and homeownership opportunities on a large, unoccupied parcel of land in West Roxbury. The Proponent has already undertaken a grassroots approach of outreach in the community and the project has been well received by West Roxbury residents who have desired to see new development fit the character of the existing neighborhood. Additionally, the Proponent is a reputable builder that has constructed many homes in this immediate neighborhood and their high quality of work speaks for itself.

Our team looks forward to continuing to engage in a robust process with your staff and the West Roxbury community. We look forward to working with all relevant City of Boston agencies as well as the forthcoming Impact Advisory Group.

If you have any questions in regards to this matter, please do not hesitate to contact me.

Best,



Christopher Tracy

Senior Director, O'Neill and Associates

Cc: Jonathan Greeley, Director of Development Review, BPDA

Cc: Aisling Kerr, Project Assistant, BPDA

Cc: Anthony Di Letizia, CAD Builders LLC

ZONING SPECIFICATIONS
WILLET STREET EXTENTION
DEVELOPMENT PROJECT

PHASE-ONE:

EIGHT SINGLE FAMILY HOUSE LOTS ALONG THE EXISTING/UNIMPROVED
SECTION OF WILLET STREET (PRIVATE WAY OPEN TO PUBLIC TRAVEL)

(THESE EIGHT HOUSE LOTS WILL CONFORM TO THE CURRENT UNDERLAY-
ING ZONING REQUIREMENTS FOR THE 1F-6000 ZONING DISTRICT/WROX)

- MINIMUM LOT AREA: 6,000 SQFT
- LOT WIDTH: 60
- LOT FRONTAGE: 60
- FLOOR AREA RATIO: 40% [OF TOTAL LOT AREA SQ.FTG.]
- MAXIMUM STORIES: 2 1/2
- MINIMUM FRONT YARD: 20
- MINIMUM SIDE YARD: 10
- MINIMUM REAR YARD: 30
- USABLE OPEN SPACE MIN.: 1,800 SQ.FT.

[EACH LOT VARIES SLIGHTLY BUT MEETS OR EXCEEDS THE REQUIRED
ZONING MINIMUMS]

PHASE-TWO:

TWENTY-ONE SINGLE FAMILY HOUSE LOTS ALONG THE PROPOSED NEW
"WILLET STREET EXTENTION" (WHICH WILL REQUIRE APPROVAL FROM
THE CITY OF BOSTON PUBLIC IMPROVEMENT COMMISSION)

THE SUBJECT LAND FALLS WITHIN THE WEST ROXBURY QUARRY AND/OR
THE ROXBURY LATIN CONSERVATION PROTECTION SUBDISTRICT(S)

AS PROPOSED, THE MANY OF THE LOTS WILL REQUIRE VARIANCE(S)
FROM THE CITY OF BOSTON BOARD OF APPEAL

BOTH PHASE-ONE AND PHASE-TWO (COMBINED) WILL TRIGGER A "LARGE
PROJECT REVIEW" DETERMINATION FROM THE BOSTON PLANNING AND
DEVELOPMENT AGENCY

ALLOWED USES IN THE SUBJECT CONSERVATION PROTECTION SUBDISTRICT:

- | | |
|-----------------------------|--------------------------|
| - PLACE OF WORSHIP (CHURCH) | - ELEMENTARY SCHOOL |
| - KINDERGARTEN | - CEMETERY/CREMETORY |
| - MORTUARY | - ELDERLY HOUSING |
| - GROUP RESIDENCE (LIMITED) | - MULTI-FAMILY |
| - SINGLE FAMILY | - TWO-FAMILY |
| - THREE-FAMILY | - SEMI-ATTACHED DWELLING |
| - ROWHOUSE | - TOWNHOUSE |

CONSERVATION PROTECTION SUBDISTRICT
DIMENTIONAL REGULATIONS:

MINIMUM:

PROPOSED:

MAXIMUM FLOOR/AREA RATIO:
30% OF TOTAL LOT AREA...
223,762 GROSS SQ.FT.

[APPROX] 56,700 SQ.FT. (25%)

MAXIMUM BUILDING HEIGHT:
THIRTY-FIVE (35) FEET

35 FT.

MAXIMUM NUMBER OF DWELLING
UNITS PER ACRE:
THREE (3) ... ALLOWED 18

21

MINIMUM LOT SIZE:
ONE (1) ACRE

6.15 ACRES

MINIMUM LOT WIDTH:
NONE

60 FT. (PLUS)

MINIMUM LOT FRONTAGE:
NONE

60 FT. (PLUS)

MINIMUM FRONT
REAR
SIDE
FIFTY (50)

20 FT.
30 FT.
10 FT.

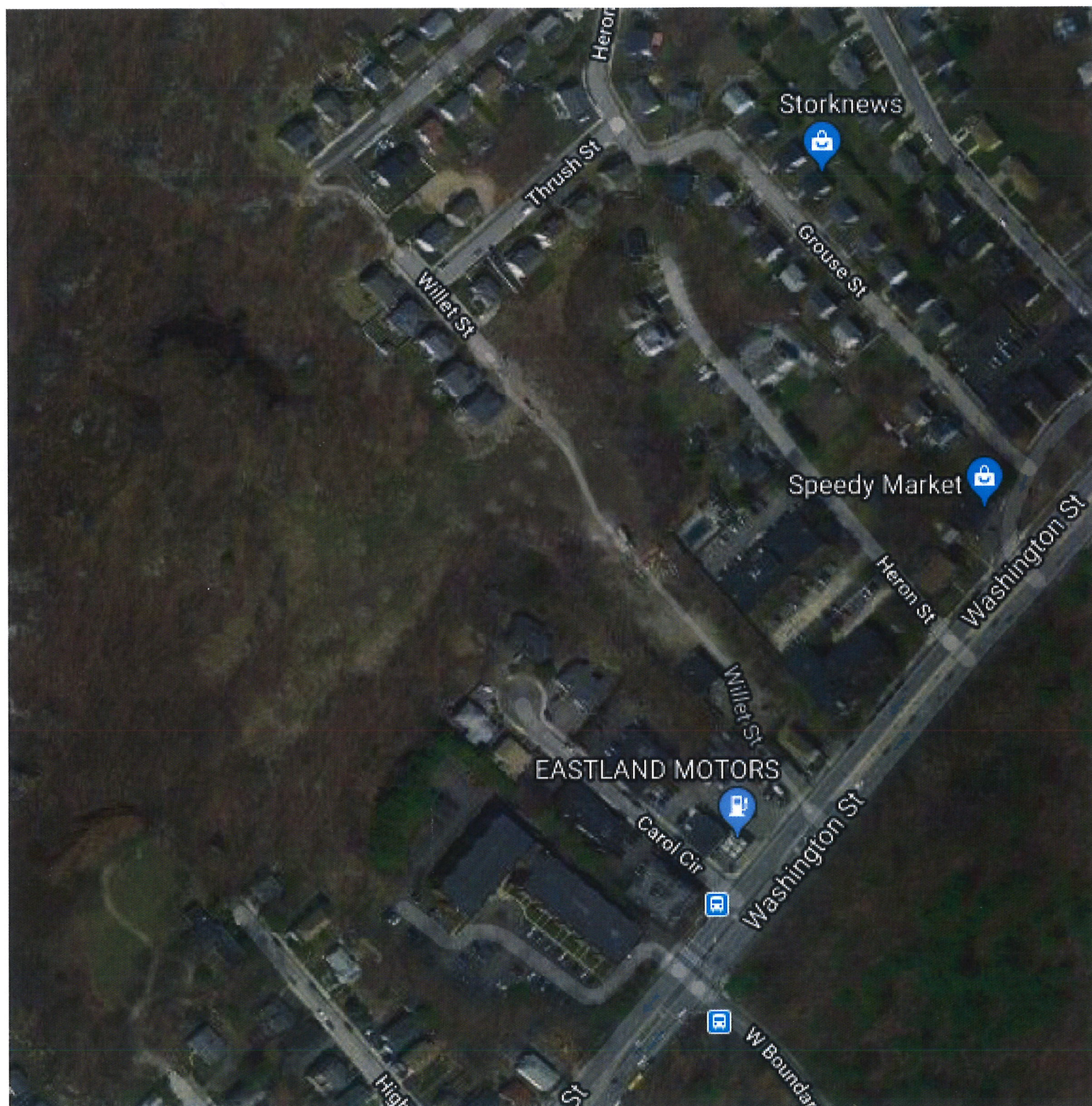
*** EXCEPT WHERE THE SITE PLAN COMPONENT OF LARGE PROJECT REVIEW DETERMINES THAT A SMALLER YARD DIMENSION WOULD MORE EFFECTIVELY PROTECT THE SIGNIFICANT NATURAL FEATURES ON THE LOT WITHOUT SUBSTANTIALLY INCREASING THE PROPOSED PROJECT'S IMPACTS OUTSIDE THE LOT

*** BASED ON THE SIZE OF THE EXISTING PARCELS, THIS SITE WOULD QUALIFY FOR CONSIDERATION AS A "PLANNED DEVELOPMENT AREA"... THE MAXIMUM BUILDING HEIGHT, FLOOR AREA RATIO, AND NUMBER OF DWELLING UNITS PER ACRE ARE AS FOLLOWS:

MAXIMUM BUILDING HEIGHT:	45 FT.
MAXIMUM FLOOR AREA RATIO:	50%
MAXIMUM NUMBER OF DWELLING UNITS PER ACRE:	4

PROPOSED HARDSCAPE/OPEN SPACE
WITHIN THE CPS/ZONED AREA:

GROSS LOT SQ.FTG. [6.15 ACRES]:	267,894 SQ.FT.	
HARDSCAPE (ROAD, DRIVES, HOUSES):	75,000 "	28%
GREEN SPACE (OPEN TO SKY):	192,894 "	72%
DEED-RESTRICTED (NO-BUILD) "NATURAL OPEN SPACE AREA":	66,764 "	25%





WILLET STREET / UNFINISHED PORTION (VIEW TOWARD WASH. ST.)...

FOUR SINGLE FAMILIES ON LEFT-SIDE... TWO SINGLES ON THE RIGHT
SIDE (AND) THE PROPOSED ENTRANCE TO THE NEW PROPOSED STREET
[WILLET STREET EXTENTION]



VIEW NEW PROPOSED WILLET STREET EXTENTION... AT INTERSECTION

WILLET STREET... #19 CAROL CIRCLE (HOUSE AT LEFT) AND 24 WILLET

STREET (HOUSE)

ON RIGHT



VIEW RIGHT SIDE EXISTING CONDITION WILLET STREET EXTENTION



VIEW END WILLET STREET EXTENTION AT RIGHT-SIDE
OF THE HAMMERHEAD (TOWARD REAR-MOST PORTION OF
LAND)



VIEW END WILLET STREET EXTENTION AT LEFT-SIDE
OF THE HAMMERHEAD (TOWARD REAR-MOST PORTION OF
LOT)



TO:	Gary Martell	DATE:	October 23, 2017
FROM:	Brian Beisel Michael Littman	HSH PROJECT NO.:	2017107
SUBJECT:	Transportation Technical Memorandum Lorusso Site, West Roxbury		

Introduction

Howard Stein Hudson (HSH) has conducted an evaluation of the transportation impacts of the development of the Lorusso Land (the “Project”) in the West Roxbury neighborhood of Boston. The site is located to the west of Washington Street south of Willet Street. The site is currently vacant and will be developed into a 29 lot subdivision with access from Willet Street. This technical memorandum includes an evaluation of site access, parking supply, public transportation alternatives, the project impact, and the traffic related construction period impacts.

Site Access

The Project is proposing to connect to Willet Street with access from Washington Street via Grouse Street and Thrush Street. All the proposed internal roadways will be constructed to include 6-7 foot sidewalks and consist of 40 feet of right of way. Additionally, each lot in the subdivision is proposed to have a private driveway for off-street parking.

Public Transportation

The Project site is situated to take advantage of several public transportation options. The MBTA operates three bus lines (routes 34, 34E, and 40) that travel along Washington Street with access to Dedham, Roslindale Village, and Forest Hills Station in Jamaica Plain. The closest bus stop is located at Washington Street @ West Boundary Road. The MBTA #34 route has the most frequent service with headways of 8-10 minutes during peak times. The 34E and 40 routes have less frequent service with headways of 20-25 minutes.

West Roxbury Station on the MBTA commuter rail Needham Line is located approximately one mile from the Project site, providing access into South Station and downtown Boston. The MBTA provides service approximately every thirty minutes along the Needham Line during peak commuting hours.



Trip Generation

Trip generation is a complex, multi-step process that produces an estimate of vehicle trips, transit trips, walk trips, and bicycle trips associated with a proposed project and a specific land use program. A project's location and proximity to different modes determines how people will travel to and from that project site.

To estimate the number of trips expected to be generated by the Project, data published by the Institute of Transportation Engineers (ITE) in the Trip Generation Manual¹ was used. ITE provides data to estimate the total number of unadjusted vehicular trips associated with the Project. Trip generation estimates for the Project were derived using the Land Use Code (LUC) 210 – Single Family Detached Housing. In an urban setting served by transit, adjustments are necessary to account for other travel mode shares such as walking, bicycling, and transit.

MODE SHARE

The mode share was developed using the 2011-2015 American Community Survey (ACS). The ACS is the Census Bureau's Population Estimates Program that produces population, demographic and housing unit estimates. The Project site is located in Census Tract 1304.04, Suffolk County, Massachusetts. Table S08301: *Means of Transportation* was used to estimate the Mode Share for proposed Project. The travel mode share used is shown in **Table 1**. The raw data from ACS is provided as an attachment.

Table 1. Mode Split

Travel Mode	Mode Share ¹
Auto	80%
Transit	17%
Walk/Bike	3%

¹ 2011-2015 American Community Survey (ACS), Census Tract 1304.04.

PROJECT TRIP GENERATION

The trip generation process described above yields the trips associated with the Project adjusted by mode split. The Project-generated trips by mode are summarized in **Table 2**, with detailed trip generation information provided as an **Attachment**.

¹ *Trip Generation Manual*, 10th Edition; Institute of Transportation Engineers; Washington, D.C.; 2017.



Table 2. Project Trip Generation

Time Period	Direction	New Vehicular Trips	New Transit Trips	New Walk/Bicycle Trips
Daily ¹	In	110	26	5
	Out	<u>110</u>	<u>26</u>	<u>5</u>
	Total	220	52	10
a.m. Peak Hour ¹	In	4	1	0
	Out	<u>12</u>	<u>3</u>	<u>1</u>
	Total	16	4	1
p.m. Peak Hour ¹	In	14	3	1
	Out	<u>9</u>	<u>2</u>	<u>0</u>
	Total	23	5	1

1. LUC 210 (Single Family Detached Housing), 29 Houses, Average Rate

As shown in **Table 2**, the Project is expected to generate approximately 220 vehicle trips during the course of a day, with 16 vehicle trips (4 entering and 12 exiting) during the weekday a.m. peak hour and 23 vehicle trips (14 entering and 9 exiting) during the weekday p.m. peak hour. This corresponds to an increase of approximately one new vehicle every 4 minutes during the weekday a.m. peak hour and one new vehicle every 3 minutes during the weekday p.m. peak hour. The Project is also expected to generate approximately 52 new transit trips and 10 new walk/bicycle trips on a daily basis.

Construction Impacts

Most construction activities will be accommodated within the current Project Site boundaries. Details of the overall construction schedule, working hours, number of construction workers, worker transportation and parking, number of construction vehicles, and routes will be addressed in detail in the Construction Management Plan (CMP) to be filed with BTM in accordance with City requirements. The CMP, to be executed with the City prior to commencement of construction, will document all committed measures. To minimize transportation impacts during the construction period, the following measures will be considered for the CMP:

- Construction worker parking provided on-site;
- Encouragement of worker carpooling;
- Limiting hours of truck activity;



- Consideration of a subsidy for MBTA passes for full-time employees; and
- Providing secure spaces on-site for workers' supplies and tools so they do not have to be brought to the site each day.

Indicates MBTA pass and fare sales locations.
Fare vending machines are also located at all subway stations and Dudley Station.

FOREST HILLS

ROSLINDALE VILLAGE

BELLEVUE

HIGHLAND

WEST ROXBURY

Dedham Local Bus
781-843-4505

DEDHAM

ENDICOTT

DEDHAM CORPORATE CENTER

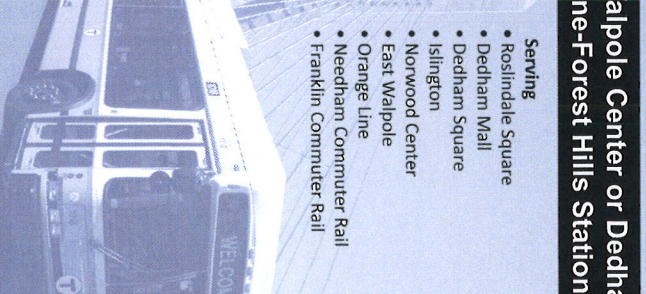
ISLINGTON

WALPOLE

Fare	Local Bus	Bus + Bus	Rapid Transit	Bus + Rapid Transit
CharlieCard	\$1.70	\$1.70	\$2.25	\$2.25
CharlieTicket	\$2.00	\$2.00	\$2.75	\$4.75
Cash-on-Board	\$2.00	\$4.00	\$2.75	\$4.75
Student*	\$0.85	\$0.85	\$1.10	\$1.10
Senior/TAP**	\$0.85	\$0.85	\$1.10	\$1.10

VALID PASSES: LinkPass (\$84.50/mo.); Local Bus (\$55/mo.); *Student LinkPass (\$30.00/mo.); **Senior/TAP LinkPass (\$30/mo.); and express bus, commuter rail, and boat passes.
FREE FARES: Children 11 and under ride free when accompanied by an adult; Blind Access CharlieCard holders ride free and if using a guide, the guide rides free.
* Requires Student CharlieCard, available to students through participating middle schools and high schools.
** Requires Senior/TAP CharlieCard, available to Medicare cardholders, seniors 65+, and persons with disabilities.

Fall 2017 Holidays
October 9: see Weekday November 11: see Saturday
September 4, November 23 & December 25: see Sunday




34•34E

Fall September 3, 2017 - December 30, 2017

Walpole Center or Dedham Line-Forrest Hills Station

Serving

- Roslindale Square
- Dedham Mall
- Dedham Square
- Ilington
- Norwood Center
- East Walpole
- Orange Line
- Needham Commuter Rail
- Franklin Commuter Rail

 Massachusetts Bay Transportation Authority

massDOT
Massachusetts Department of Transportation

Information 617-222-3200 • 1-800-392-6100
(TTY) 617-222-5146 • www.mbta.com

34/34E Weekday

Inbound				Outbound			
Leave Walpole Center	Arrive Norwood Center	Lv/Arrive Dedham Line	Arrive Forest Hills Station	Leave Forest Hills Upper Busway	Arrive Dedham Line	Arrive Norwood Center	Arrive Walpole Center
.....	.....	4:55	5:12	4:35A	4:50A	.....	.....
.....	.....	5:13	5:30	c 4:50	5:00	5:15A	5:29A
.....	.....	5:31	5:48	4:53	5:08	.....	.....
.....	.....	5:49	6:09	5:11	5:24	.....	.....
.....	.....	5:59	6:22	c 5:20	5:30	5:45	5:59
.....	.....	6:09	6:32	5:29	5:42	.....	.....
c 5:45	5:58	6:14	6:33	cfh 5:40	5:50	6:04	6:18
.....	.....	6:19	6:42	5:47	6:00	.....	.....
.....	.....	6:25	6:47	c 6:00	6:10	6:25	6:43
.....	.....	6:29	6:52	6:05	6:22	.....	.....
.....	.....	6:39	7:04	6:15	6:32	.....	.....
c 6:15	6:28	6:43	7:04	cf 6:20	6:30	6:51	7:08
.....	.....	6:49	7:14	6:25	6:42	.....	.....
.....	.....	7:03	7:29	6:35	6:52	.....	.....
c 6:40	6:53	7:11	7:35	c 6:40	6:53	7:12	7:29
.....	.....	7:18	7:44	6:45	7:02	.....	.....
.....	.....	7:32	7:58	6:55	7:12	.....	.....
c 7:00	7:14	7:36	8:00	cf 7:00	7:15	7:36	7:53
.....	.....	7:47	8:12	7:09	7:26	.....	.....
c 7:20	7:34	7:56	8:19	cx 7:20	7:39	7:59	8:16
.....	.....	8:01	8:25	7:24	7:44	.....	.....
c 7:40	7:54	8:18	8:40	7:38	7:58	.....	.....
.....	.....	8:16	8:40	cx 7:40	7:59	8:19	8:36
.....	.....	8:30	8:54	7:53	8:13	.....	.....
c 8:00	8:14	8:36	8:58	c 8:00	8:19	8:39	8:56
.....	.....	8:45	9:09	8:07	8:27	.....	.....
8:20	8:34	8:59	9:20	c 8:20	8:39	8:59	9:16
.....	.....	8:59	9:21	8:22	8:42	.....	.....
8:40	8:54	9:19	9:40	8:36	8:56	.....	.....
.....	.....	9:29	9:51	8:45	9:00	9:25	9:40
9:00	9:14	9:39	10:00	8:51	9:14	.....	.....
.....	.....	9:59	10:21	9:15	9:33	9:58	10:13
f 9:30	9:42	10:03	10:30	9:21	9:43	.....	.....
.....	.....	10:29	10:51	9:45	10:03	10:28	10:43
10:00	10:15	10:41	11:01	9:51	10:13	.....	.....
.....	.....	10:59	11:21	10:15	10:33	10:58	11:14
f 10:30	10:42	11:04	11:27	10:21	10:43	.....	.....
.....	.....	11:29	11:51	10:45	11:04	11:28	11:44
11:00	11:15	11:40	12:01	10:51	11:13	.....	.....
.....	.....	11:59	12:21	f 11:15	11:32	11:58	12:13
f 11:32	11:45	12:10	12:29	11:21	11:43	.....	.....
.....	.....	12:29	12:51	11:45	12:01P	12:26P	12:45P
.....	.....	.....	.....	11:51	12:13	.....	.....

12:00N	12:14P	12:38P	12:59P
.....
h 12:30P	12:44	.....	1:30
.....	.....	1:29	1:52
1:00	1:14	1:38	1:59
.....	.....	1:59	2:22
1:30	1:44	2:08	2:29
.....	.....	2:29	2:52
2:05	2:19	2:43	3:05
.....	.....	2:59	3:27
2:30	2:44	3:11	3:33
.....	.....	3:29	3:57
3:00	3:14	3:41	4:03
.....	.....	3:59	4:25
3:30	3:44	4:11	4:33
.....	.....	4:10	4:36
.....	.....	4:21	4:47
.....	.....	4:32	4:58
4:00	4:14	4:41	5:03
.....	.....	4:43	5:09
.....	.....	4:54	5:20
.....	.....	5:05	5:31
4:30	4:44	5:11	5:32
.....	.....	5:16	5:42
.....	.....	5:27	5:53
5:00	5:14	5:41	5:58
.....	.....	5:38	6:02
.....	.....	5:49	6:10
f 5:20	5:32	5:57	6:17
.....	.....	6:00	6:21
.....	.....	6:18	6:39
5:40	5:55	6:20	6:40
f 6:00	6:12	6:36	6:52
.....	.....	6:37	6:58
.....	.....	6:55	7:12
6:20	6:33	6:56	7:16
.....	.....	7:17	7:33
6:40	6:53	7:16	7:35
f 7:02	7:13	7:36	7:52
.....	.....	7:39	7:55
7:20	7:31	7:53	8:10
.....	.....	8:01	8:17
7:40	7:52	8:14	8:31
.....	.....	8:23	8:39
eh 8:05	8:11	8:33	8:50
.....	.....	8:45	9:01
e 9:03	9:09	9:32	9:47
.....	.....	9:37	9:53
.....	.....	10:29	10:43
e 10:03	10:09	10:32	10:47
.....	.....	11:21	11:35
ec 11:05	11:10	11:26	11:40
.....	.....	12:13	12:27
ec 12:05	12:10	12:26	12:40
.....	.....	1:05	1:19
ec 12:55	1:00	1:11	1:21

Shaded trips operate as Route 34E

b - Boarding ONLY from Forest Hills to LaGrange St. All other trips run local stops

c - Omits Dedham Mall

e - To/From East Walpole

f - Via Walpole St. (Route 1A)

g - Originates Avenue Louis Pasteur, leaves upon arrival at Forest Hills Sta.

h - Via Upland Woods

s - Does NOT run during school vacation

t - To/From Townsend Street and Humboldt Avenue

w - Waits for last train to arrive at Forest Hills Station

x - Services Xavierian High School

34/34E Saturday

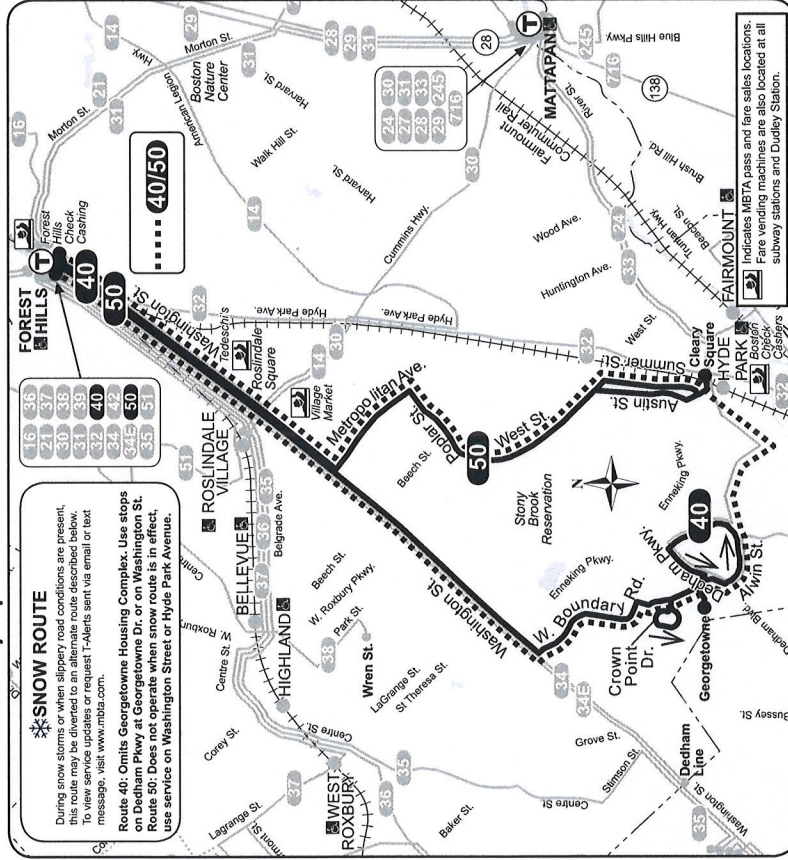
Inbound				Outbound			
Leave Walpole Center	Lv/Arrive Dedham Line	Arrive Forest Hills Station	Leave Forest Hills Upper Busway	Arrive Dedham Line	Arrive Norwood Center	Arrive Walpole Center	Leave Walpole Center
.....	.....	5:36A	5:50A	c 5:00A	5:10A	5:36A	.....
.....	.....	5:59	6:13	5:14	5:24	.....	.....
.....	.....	6:22	6:36	5:37	5:47	.....	.....
c 6:10A	6:35	6:51	c 5:45	5:57	6:26	.....	.....
.....	6:43	6:57	6:00	6:13	.....	.....	.....
.....	7:07	7:21	6:23	6:36	.....	.....	.....
c 6:55	7:24	7:40	c 6:30	6:42	7:12	.....	.....
.....	7:32	7:46	6:45	6:58	.....	.....	.....
.....	7:52	8:06	7:00	7:13	.....	.....	.....
c 7:40	8:09	8:25	c 7:15	7:32	8:07	.....	.....
.....	8:17	8:32	7:30	7:44	.....	.....	.....
.....	8:37	8:55	7:50	8:04	.....	.....	.....
c 8:25	8:54	9:08	c 8:00	8:17	8:53	.....	.....
.....	9:02	9:20	8:15	8:29	.....	.....	.....
.....	9:22	9:40	8:35	8:49	.....	.....	.....
9:05	9:41	10:03	c 8:45	9:00	9:38	.....	.....
.....	9:50	10:08	9:00	9:15	.....	.....	.....
.....	10:05	10:23	9:20	9:37	10:18	.....	.....
9:55	10:35	10:57	9:30	9:45	.....	.....	.....
.....	10:44	11:02	9:45	10:00	.....	.....	.....
.....	11:09	11:28	10:00	10:17	10:58	.....	.....
10:45	11:25	11:47	10:15	10:32	.....	.....	.....
.....	11:40	11:59	10:30	10:47	11:33	.....	.....
11:20	12:00N	12:22P	10:45	11:03	.....	.....	.....
.....	12:15P	12:34	11:05	11:24	12:10P	.....	.....
11:55	12:37	12:58	11:15	11:35	.....	.....	.....
.....	.....	.....	11:35	11:54	12:39	.....	.....
.....	.....	.....	11:50	12:10P	.....	.....	.....
12:30P	1:17	1:38	12:10P	12:29P	1:13P	.....	.....
.....	1:27	1:46	12:25	12:45	.....	.....	.....
1:05	1:52	2:13	12:45	1:06	1:50	.....	.....
.....	2:02	2:21	1:00	1:19	.....	.....	.....
1:40	2:27	2:48	1:20	1:41	2:26	.....	.....
.....	2:37	2:56	1:35	1:54	.....	.....	.....
2:15	3:02	3:23	1:55	2:16	3:01	.....	.....
.....	3:12	3:31	2:10	2:29	.....	.....	.....
2:50	3:37	3:58	2:30	2:50	3:35	.....	.....
.....	4:04	4:23	2:45	3:04	.....	.....	.....
3:20	4:07	4:41	3:05	3:25	4:14	.....	.....
.....	4:30	4:49	3:25	3:44	.....	.....	.....
3:55	4:39	5:06	3:45	4:02	4:51	.....	.....
.....	4:55	5:14	4:05	4:24	.....	.....	.....
4:30	5:12	5:36	4:25	4:44	.....	.....	.....
.....	5:20	5:37	4:35	4:52	5:39	.....	.....
.....	5:35	5:52	4:55	5:14	.....	.....	.....
5:05	5:48	6:14	5:10	5:29	.....	.....	.....
.....	6:04	6:21	5:25	5:42	6:25	.....	.....
.....	6:24	6:41	5:40	5:59	.....	.....	.....
5:50	6:32	6:54	6:14	6:27	7:10	.....	.....
.....	6:49	7:06	6:25	6:44	.....	.....	.....
6:35	7:11	7:32	6:50	7:09	.....	.....	.....
.....	7:23	7:39	7:10	7:25	.....	.....	.....
7:20	7:58	8:19	7:40	7:59	.....	.....	.....
.....	8:14	8:29	7:50	8:09	.....	.....	.....
e 8:10	8:38	8:57	8:10	8:25	e 8:56	.....	.....
.....	9:04	9:19	8:40	8:59	.....	.....	.....
e 9:10	9:36	9:51	9:10	9:25	e 9:53	.....	.....
.....	10:06	10:21	9:40	9:59	.....	.....	.....
e 10:10	10:36	10:51	ce 10:10	10:28	e 10:51	.....	.....
.....	11:02	11:15	10:40	10:57	.....	.....	.....
ec 11:05	11:31	11:44	ce 11:10	11:27	e 11:49	.....	.....
.....	12:05A	12:18A	11:45	12:01A	.....	.....	.....
ec 12:05A	12:24	12:37	ce 12:15A	12:28	e 12:45A	.....	.....
.....	1:03	1:13	12:45	12:59	.....	.....	.....
ec 12:51	1:10	1:23	w 1:15	1:29	.....	.....	.....
.....	1:33	1:43	.....	.....	.....	.....	.....

All buses are accessible to persons with disabilities

34/34E Sunday

Inbound			Outbound		
Leave East Walpole	Lv/Arrive Dedham Line	Arrive Forest Hills Station	Leave Forest Hills Upper Busway	Arrive Dedham Line	Arrive East Walpole
.....	6:20	6:36	c 6:00	6:12	6:35
c 6:45	7:07	7:24	c 6:45	6:57	7:22
.....	7:20	7:36	6:55	7:09	.....
.....	8:00	8:16	7:40	7:54	.....
c 7:40	8:04	8:21	c 7:45	7:58	8:25
.....	8:49	9:06	c 8:00	8:16	8:43
c 8:40	9:09	9:30	8:25	8:39	.....
c 8:54	9:23	9:44	c 8:45	9:01	9:28
.....	9:35	9:53	9:15	9:30	.....
c 9:39	10:08	10:25	c 9:45	10:00	10:29
.....	10:40	11:01	10:15	10:30	.....
c 10:35	10:58	11:17	c 10:35	10:51	11:20
.....	11:35	11:56	11:10	11:28	.....
11:30	12:04P	12:27P	11:30	11:47	12:22P
.....	12:25P	12:43P	12:00N	12:18P	.....
12:30P	1:05	1:27	12:20P	12:40	1:15P
.....	1:10	1:28	12:45	1:05	.....
.....	1:55	2:13	1:05	1:26	2:01
1:30	2:05	2:31	1:30	1:50	.....
.....	2:35	2:53	1:50	2:11	2:46
2:10	2:51	3:17	2:15	2:33	.....
.....	3:25	3:43	2:35	2:56	3:32
3:00	3:38	4:00	3:00	3:18	.....
.....	4:05	4:26	3:20	3:41	4:18
3:45	4:19	4:41	3:45	4:03	.....
.....	4:50	5:11	4:05	4:27	5:02
4:30	5:04	5:26	4:30	4:48	.....
.....	5:35	5:56	4:50	5:04	5:38
5:10	5:44	6:02	5:15	5:34	.....
5:50	6:22	6:40	5:35	5:50	6:23
.....	6:25	6:41	6:00	6:19	.....
6:30	7:00	7:18	6:20	6:34	7:08
.....	7:10	7:26	6:45	7:04	.....
7:20	7:50	8:08	7:20	7:35	8:06
.....	8:10	8:26	7:45	8:02	.....
c 8:15	8:38	8:54	c 8:20	8:36	8:57
.....	9:10	9:26	8:45	9:02	.....
c 9:10	9:32	9:48	c 9:20	9:36	9:57
.....	10:05	10:17	9:45	9:59	.....
c 10:05	10:27	10:39	c 10:20	10:35	10:56
.....	11:05	11:17	10:45	10:59	.....
c 11:05	11:24	11:37	c 11:20	11:32	11:53
.....	12:05A	12:17A	11:45	11:59	.....
c 12:00M	12:19	12:32	c 12:00A	12:32A	12:53A
.....	1:11	1:11	12:45	1:27	.....
c 1:00A	1:11	1:24	w 1:15	1:27	.....
.....	1:31	1:41	See holidays on map side		

Route 40 Georgetown - Forest Hills Station Route 50 Cleary Square - Forest Hills Station



40•50

Fall September 3, 2017 - December 30, 2017

40 Georgetown-Forest Hills Station
50 Cleary Square-Forest Hills Station

Serving

- Roslindale Square
- Orange Line
- Needham Commuter Rail

Massachusetts Bay Transportation Authority **massDOT**

Information 617-222-3200 • 1-800-397-6100
(TTY) 617-222-5146 • www.mbta.com

40/50				Weekday				Saturday				Sunday			
Inbound				Inbound				Inbound				Inbound			
Leave Cleary Square	Leave George-Towne	Arrive Forest Hills	Arrive Forest Hills	Leave Cleary Square	Leave George-Towne	Arrive Forest Hills	Arrive Forest Hills	Leave Cleary Square	Leave George-Towne	Arrive Forest Hills	Arrive Forest Hills	Leave Cleary Square	Leave George-Towne	Arrive Forest Hills	Arrive Forest Hills
6:10A	5:58A	6:03A	5:57A	6:03A	5:20A	5:20A	5:20A	6:03A	5:20A	5:20A	5:20A	6:03A	5:20A	5:20A	5:20A
6:35	6:23	6:31	6:25	6:31	5:45	5:45	5:45	6:31	5:45	5:45	5:45	6:31	5:45	5:45	5:45
6:55	6:43	6:51	6:45	6:51	6:10	6:10	6:10	6:51	6:10	6:10	6:10	6:51	6:10	6:10	6:10
7:00	6:48	7:14	7:08	7:14	6:25	6:25	6:25	7:00	6:25	6:25	6:25	7:00	6:25	6:25	6:25
7:15	7:03	7:19	7:13	7:19	6:40	6:40	6:40	7:15	6:40	6:40	6:40	7:15	6:40	6:40	6:40
7:30	7:18	7:34	7:28	7:34	6:55	6:55	6:55	7:30	6:55	6:55	6:55	7:30	6:55	6:55	6:55
7:45	7:33	7:49	7:43	7:49	7:10	7:10	7:10	7:45	7:10	7:10	7:10	7:45	7:10	7:10	7:10
7:55	7:43	8:00	7:54	8:00	7:25	7:25	7:25	8:00	7:25	7:25	7:25	8:00	7:25	7:25	7:25
8:10	7:58	8:14	8:08	8:14	7:40	7:40	7:40	8:15	7:40	7:40	7:40	8:15	7:40	7:40	7:40
8:25	8:13	8:29	8:23	8:29	7:55	7:55	7:55	8:30	7:55	7:55	7:55	8:30	7:55	7:55	7:55
8:40	8:28	8:44	8:38	8:44	8:10	8:10	8:10	8:45	8:10	8:10	8:10	8:45	8:10	8:10	8:10
8:55	8:43	8:59	8:53	8:59	8:25	8:25	8:25	9:00	8:25	8:25	8:25	9:00	8:25	8:25	8:25
9:10	8:58	9:14	9:08	9:14	8:40	8:40	8:40	9:15	8:40	8:40	8:40	9:15	8:40	8:40	8:40
9:25	9:13	9:29	9:23	9:29	8:55	8:55	8:55	9:30	8:55	8:55	8:55	9:30	8:55	8:55	8:55
9:40	9:28	9:44	9:38	9:44	9:10	9:10	9:10	9:45	9:10	9:10	9:10	9:45	9:10	9:10	9:10
9:55	9:43	10:00	9:54	10:00	9:25	9:25	9:25	10:00	9:25	9:25	9:25	10:00	9:25	9:25	9:25
10:10	9:58	10:14	10:08	10:14	9:40	9:40	9:40	10:15	9:40	9:40	9:40	10:15	9:40	9:40	9:40
10:25	10:13	10:20	10:14	10:20	9:55	9:55	9:55	10:30	9:55	9:55	9:55	10:30	9:55	9:55	9:55
10:40	10:28	10:44	10:38	10:44	10:10	10:10	10:10	10:45	10:10	10:10	10:10	10:45	10:10	10:10	10:10
10:55	10:43	10:50	10:44	10:50	10:25	10:25	10:25	11:00	10:25	10:25	10:25	11:00	10:25	10:25	10:25
11:10	10:58	11:04	10:58	11:04	10:40	10:40	10:40	11:15	10:40	10:40	10:40	11:15	10:40	10:40	10:40
11:25	11:13	11:20	11:14	11:20	10:55	10:55	10:55	11:30	10:55	10:55	10:55	11:30	10:55	10:55	10:55
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11:55	11:43	11:50	11:44	11:50	11:25	11:25	11:25	12:00	11:25	11:25	11:25	12:00	11:25	11:25	11:25
12:10	11:58	12:04	11:58	12:04	11:40	11:40	11:40	12:15	11:40	11:40	11:40	12:15	11:40	11:40	11:40
12:25	12:13	12:20	12:14	12:20	11:55	11:55	11:55	12:30	11:55	11:55	11:55	12:30	11:55	11:55	11:55
12:40	12:28	12:34	12:28	12:34	12:10	12:10	12:10	12:45	12:10	12:10	12:10	12:45	12:10	12:10	12:10
12:55	12:43	12:50	12:44	12:50	12:25	12:25	12:25	13:00	12:25	12:25	12:25	13:00	12:25	12:25	12:25
1:10	12:58	1:04	13:00	1:04	12:40	12:40	12:40	13:15	12:40	12:40	12:40	13:15	12:40	12:40	12:40
1:25	1:13	1:20	1:14	1:20	12:55	12:55	12:55	13:30	12:55	12:55	12:55	13:30	12:55	12:55	12:55
1:40	1:28	1:34	1:28	1:34	1:10	1:10	1:10	13:45	1:10	1:10	1:10	13:45	1:10	1:10	1:10
1:55	1:43	1:50	1:44	1:50	1:25	1:25	1:25	14:00	1:25	1:25	1:25	14:00	1:25	1:25	1:25
2:10	1:58	2:04	1:58	2:04	1:40	1:40	1:40	14:15	1:40	1:40	1:40	14:15	1:40	1:40	1:40
2:25	2:13	2:20	2:14	2:20	1:55	1:55	1:55	14:30	1:55	1:55	1:55	14:30	1:55	1:55	1:55
2:40	2:28	2:34	2:28	2:34	2:10	2:10	2:10	14:45	2:10	2:10	2:10	14:45	2:10	2:10	2:10
2:55	2:43	2:50	2:44	2:50	2:25	2:25	2:25	15:00	2:25	2:25	2:25	15:00	2:25	2:25	2:25
3:10	2:58	3:04	3:00	3:04	2:40	2:40	2:40	15:15	2:40	2:40	2:40	15:15	2:40	2:40	2:40
3:25	3:13	3:20	3:14	3:20	2:55	2:55	2:55	15:30	2:55	2:55	2:55	15:30	2:55	2:55	2:55
3:40	3:28	3:34	3:28	3:34	3:10	3:10	3:10	15:45	3:10	3:10	3:10	15:45	3:10	3:10	3:10
3:55	3:43	3:50	3:44	3:50	3:25	3:25	3:25	16:00	3:25	3:25	3:25	16:00	3:25	3:25	3:25
4:10	3:58	4:04	4:00	4:04	3:40	3:40	3:40	16:15	3:40	3:40	3:40	16:15	3:40	3:40	3:40
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4:40	4:28	4:34	4:28	4:34	4:10	4:10	4:10	16:45	4:10	4:10	4:10	16:45	4:10	4:10	4:10
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5:40	5:28	5:34	5:28	5:34	5:10	5:10	5:10	17:45	5:10	5:10	5:10	17:45	5:10	5:10	5:10
5:55	5:43	5:50	5:44	5:50	5:25	5:25	5:25	18:00	5:25	5:25	5:25	18:00	5:25	5:25	5:25
6:10	5:58	6:04	6:00	6:04	5:40	5:40	5:40	18:15	5:40	5:40	5:40	18:15	5:40	5:40	5:40
6:25	6:13	6:20	6:14	6:20	5:55	5:55	5:55	18:30	5:55	5:55	5:55	18:30	5:55	5:55	5:55
6:40	6:28	6:34	6:28	6:34	6:10	6:10	6:10	18:45	6:10	6:10	6:10	18:45	6:10	6:10	6:10
6:55	6:43	6:50	6:44	6:50	6:25	6:25	6:25	19:00	6:25	6:25	6:25	19:00	6:25	6:25	6:25
7:10	6:58	7:04	7:00	7:04	6:40	6:40	6:40	19:15	6:40	6:40	6:40	19:15	6:40	6:40	6:40
7:25	7:13	7:20	7:14	7:20	6:55	6:55	6:55	19:30	6:55	6:55	6:55	19:30	6:55	6:55	6:55
7:40	7:28	7:34	7:28	7:34	7:10	7:10	7:10	19:45	7:10	7:10	7:10	19:45	7:10	7:10	7:10
7:55	7:43	7:50	7:44	7:50	7:25	7:25	7:25	20:00	7:25	7:25	7:25	20:00	7:25	7:25	7:25
8:10	7:58	8:04	8:00	8:04	7:40	7:40	7:40	20:15	7:40	7:40	7:40	20:15	7:40	7:40	7:40
8:25	8:13	8:20	8:14	8:20	7:55	7:55	7:55	20:30	7:55	7:55	7:55	20:30	7:55	7:55	7:55
8:40	8:28	8:34	8:28	8:34	8:10	8:10	8:10	20:45	8:10	8:10	8:10	20:45	8:10	8:10	8:10
8:55	8:43	8:50	8:44	8:50	8:25	8:25	8:25	21:00	8:25	8:25	8:25	21:00	8:25	8:25	8:25
9:10	8:58	9:04	9:00	9:04	8:40	8:40	8:40	21:15	8:40	8:40	8:40	21:15	8:40	8:40	8:40
9:25	9:13	9:20	9:14	9:20	8:55	8:55	8:55	21:30	8:55	8:55	8:55	21:30	8:55	8:55	8:55
9:40	9:28	9:34	9:28	9:34	9:10	9:10	9:10	21:45	9:10	9:10	9:10	21:45	9:10	9:10	9:10
9:55	9:43	9:50	9:44	9:50	9:25	9:25	9:25	22:00	9:25	9:25	9:25	22:00	9:25	9:25	9:25
10:10	9:58	10:04	10:00	10:04	9:40	9:40	9:40	22:15	9:40	9:40	9:40	22:15	9:40	9:40	9:40
10:25	10:13	10:20	10:14	10:20	9:55	9:55	9:55	22:30	9:55	9:55	9:55	22:30	9:55	9:55	9:55
10:40	10:28	10:34	10:28	10:34	10:10	10:10	10:10	22:45	10:10	10:10	10:10	22:45	10:10	10:10	10:10
10:55	10:43	10:50	10:44	10:50	10:25	10:25	10:25	23:00	10:25	10:25	10:25	23:00	10:25	10:25	10:25
11:10	10:58	11:04	11:00	11:04	10:40	10:40	10:40	23:15	10:40	10:40	10:40	23:15	10:40	10:40	10:40
11:25	11:13	11:20	11:14	11:20	10:55	10:55	10:55	23:30	10:55	10:55	10:55	23:30	10:55	10:55	10:55
11:40	11:28	11:34	11:28	11:34	11:10	11:10	11:10	23:45	11:10	11:10	11:10	23:45	11:10	11:10	11:10
11:55	11:43	11:50	11:44	11:50	11:25	11:25	11:25	24:00	11:25	11:25	11:25	24:00	11:25	11:25	11:25
12:10	11:58	12:04	12:00	12:04	11:40	11:40	11:40	24:15	11:40	11:40	11:40	24:15	11:40	11:40	11:40
12:25	12:13	12:20	12:14	12:20	11:55	11:55	11:55	24:30	11:55	11:55	11:55	24:30	11:55	11:55	11:55
12:40	12:28	12:34	12:28	12:34	12:10	12:10	12:10	24:45	12:10	12:10	12:10	24:45	12:10	12:10	12:10
12:55	12:43	12:50	12:44	12:50	12:25	12:25	12:25	25:00	12:25	12:25	12:25	25:00	12:25	12:25	12:25

B08301: MEANS OF TRANSPORTATION TO
2011-2015 American Community Survey 5-Year

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Data and Documentation

	Census Tract 1304.04,	
	Estimate	Margin of
Total:	1,627	+/-207
Car, truck, or van:	1,273	+/-200
Drove alone	1,122	+/-193
Carpooled:	151	+/-71
In 2-person carpool	128	+/-57
In 3-person carpool	23	+/-39
In 4-person carpool	0	+/-12
In 5- or 6-person carpool	0	+/-12
In 7-or-more-person carpool	0	+/-12
Public transportation (excluding	263	+/-118
Bus or trolley bus	147	+/-101
Streetcar or trolley car (carro publico	45	+/-52
Subway or elevated	63	+/-36
Railroad	8	+/-15
Ferryboat	0	+/-12
Taxicab	0	+/-12
Motorcycle	0	+/-12
Bicycle	8	+/-14
Walked	37	+/-35
Other means	0	+/-12
Worked at home	46	+/-51

Summary		
Mode	Estimate	Percentage
Drive	1,273	80%
Transit	263	17%
Walk/Bike	45	3%
Total	1,581	100%

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see Accuracy of the Data). The effect of nonsampling error is not represented in these tables.

Workers include members of the Armed Forces and civilians who were at work last week.

While the 2011-2015 American Community Survey (ACS) data generally reflect the February 2013 Office of Management and Budget (OMB) definitions of metropolitan and micropolitan statistical areas; in certain instances the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB definitions due to differences in the effective dates of the geographic entities.

Estimates of urban and rural population, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Source: U.S. Census Bureau, 2011-2015 American Community Survey 5-Year Estimates

Explanation of Symbols:

1. An '***' entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.
2. An '-' entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution.
3. An '-' following a median estimate means the median falls in the lowest interval of an open-ended distribution.
4. An '+' following a median estimate means the median falls in the upper interval of an open-ended distribution.
5. An '****' entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.
6. An '*****' entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.
7. An 'N' entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.
8. An '(X)' means that the estimate is not applicable or not available.

2017107: Lorusso Site West Roxbury

Trip Generation Assessment

HOWARD STEIN HUDSON

23-Oct-2017

xx HARD CODED TO BALANCE

Land Use	Size	Category	Directional Split	Average Trip Rate	Unadjusted Vehicle Trips	Assumed National Vehicle Occupancy Rate ¹	Unadjusted Person-Trips	Transit Share ²	Transit Person-Trips	Walk/Bike/ Other Share ²	Walk/Bike/ Other Trips	Auto Share ²	Auto Person-Trips	Assumed Local Auto Occupancy Rate ³	Total Adjusted Auto Trips
Daily Peak Hour															
Single Family Detached Housing ⁴	29 units	Total		9.440	274	1.13	310	17%	52	3%	10	80%	248	1.13	220
		In	50%	4.720	137	1.13	155	17%	26	3%	5	80%	124	1.13	110
		Out	50%	4.720	137	1.13	155	17%	26	3%	5	80%	124	1.13	110
AM Peak Hour															
Single Family Detached Housing ⁴	29 units	Total		0.74	21	1.13	24		4		1		19	1.13	16
		In	25%	0.185	5	1.13	6	17%	1	3%	0	80%	5	1.13	4
		Out	75%	0.555	16	1.13	18	17%	3	3%	1	80%	14	1.13	12
PM Peak Hour															
Single Family Detached Housing ⁴	29 units	Total		0.99	29	1.13	32		5		1		26	1.13	23
		In	63%	0.624	18	1.13	20	17%	3	3%	1	80%	16	1.13	14
		Out	37%	0.366	11	1.13	12	17%	2	3%	0	80%	10	1.13	9

1. 2009 National vehicle occupancy rates - 1.13/home to work; 1.84; family/personal business; 1.78; shopping; 2.2 social/recreational

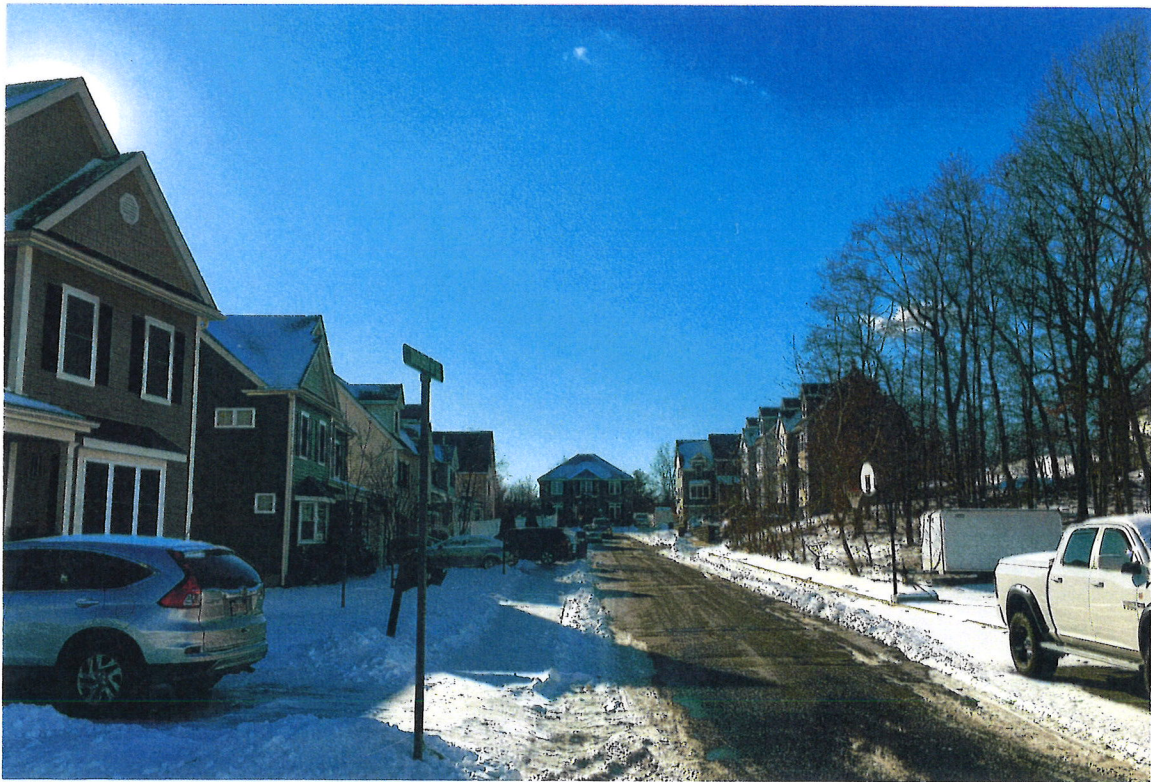
2. Mode shares based on ACS 2011-2015 Data for Census Tract 1304.04

3. Local vehicle occupancy rates based on 2009 National vehicle occupancy rates

4. ITE Trip Generation Manual, 10th Edition, LUC 210 (Single Family Detached Housing), average rate



VIEW FINISHED PORTION WILLET STREET (TOWARD THRUSH ST.)



VIEW THRUSH STREET (TOWARD WILLET)



4935 WASH. ST. (2-FAM) AND 14 HERON STREET (80 UNITS)
 VIEW UNFINISHED PORTION WILLET STREET THAT CONNECTS TO
 WASHINGTON



VIEW END CAROL CIRCLE... DEAD-ENDS INTO SUBJECT NEW
 WILLET STREET EXTENTION



VIEW FROM WASHINGTON STREET CAROL CIRCLE (TOWARD SUBJECT
NEW STREET)



VIEW HERON STREET (FROM WASHINGTON) ... DEAD ENDS INTO
THRUSH AND ABUTTS WILLET STREET



1/3/2018

Inspectional Services Department
1010 Massachusetts Avenue, 5th Floor
Boston, MA 02118

RE: Development off Willet Street, West Roxbury, MA 02132

The above referenced property development (29 single family homes) will adhere to the following energy code, adopted by Boston, effective on 7/1/2011:

APPENDIX AA: STRETCH ENERGY CODE

2015 International Energy Conservation Code (IECC) with Massachusetts Amendments (780 CMR Appendix 115.AA), referred to as '2015 Stretch Code Update'

AA103 New Buildings: All residential buildings (four stories or less) shall require a HERS index rating as verified by a RESNET certified HERS rater, as well as have:

1. A Final/Confirmed HERS compliance report indicating a verified HERS index score for the unit(s) to be 55 or less
2. An Energy Star Thermal Bypass Inspection checklist
3. A Panel/Energy certificate, as required by Section R401.3 (2015 IECC), for unit(s), which must include the final/confirmed HERS index score

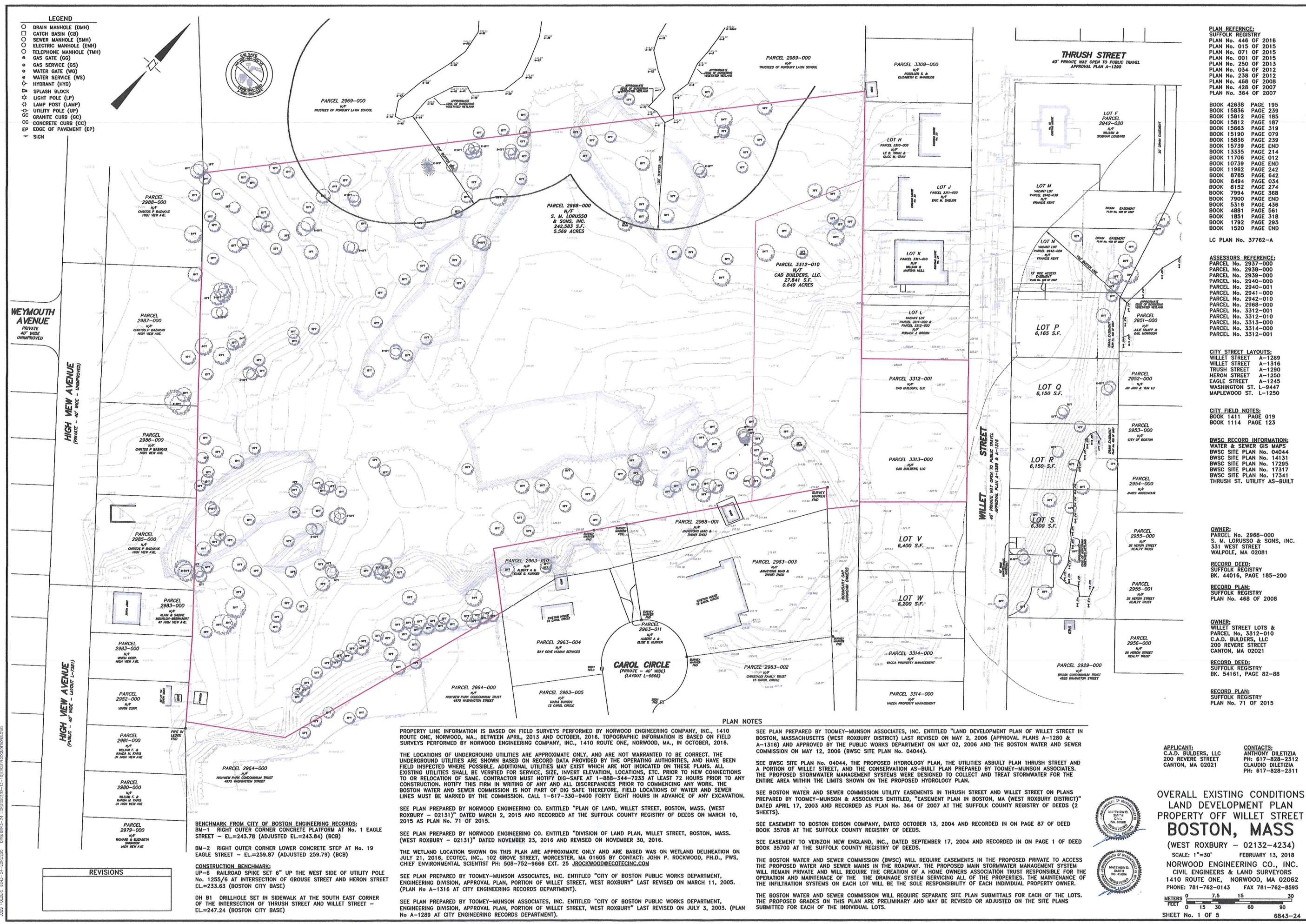
Should you wish to discuss, don't hesitate to contact me.

Thank you,

Michael Goldstein

Rater id # (RTIN): 2036091
Provider: RATERusa - 1998-156

phone: 508-918-3978
email: mgold@areugreenhers.com



LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HYD)
- SPLASH BLOCK
- LIGHT POLE (LP)
- LAMP POST (LAMP)
- UTILITY POLE (UP)
- GRANITE CURB (GC)
- CONCRETE CURB (CC)
- EDGE OF PAVEMENT (EP)
- SIGN

PLAN REFERENCE:

SUFFOLK COUNTY REGISTRY

PLAN No. 448 OF 2016
PLAN No. 015 OF 2015
PLAN No. 071 OF 2015
PLAN No. 001 OF 2015
PLAN No. 550 OF 2013
PLAN No. 034 OF 2012
PLAN No. 238 OF 2012
PLAN No. 488 OF 2008
PLAN No. 428 OF 2007
PLAN No. 364 OF 2007

BOOK 42638 PAGE 195
BOOK 15836 PAGE 239
BOOK 15812 PAGE 185
BOOK 15812 PAGE 187
BOOK 15863 PAGE 319
BOOK 15180 PAGE 079
BOOK 15836 PAGE 239
BOOK 15739 PAGE END
BOOK 13355 PAGE 214
BOOK 11706 PAGE 012
BOOK 10739 PAGE END
BOOK 11962 PAGE 242
BOOK 8785 PAGE 642
BOOK 8494 PAGE 034
BOOK 6152 PAGE 274
BOOK 7994 PAGE 368
BOOK 7900 PAGE END
BOOK 5316 PAGE 436
BOOK 4881 PAGE 561
BOOK 1851 PAGE 318
BOOK 1792 PAGE 293
BOOK 1520 PAGE END

LC PLAN No. 37762-A

ASSESSORS REFERENCE:

PARCEL No. 2937-000
PARCEL No. 2938-000
PARCEL No. 2939-000
PARCEL No. 2940-000
PARCEL No. 2940-001
PARCEL No. 2941-000
PARCEL No. 2942-010
PARCEL No. 2968-000
PARCEL No. 3312-001
PARCEL No. 3312-001
PARCEL No. 3312-010
PARCEL No. 3313-000
PARCEL No. 3314-000
PARCEL No. 3312-001

CITY STREET LAYOUTS:

WILLET STREET A-1289
WILLET STREET A-1316
THRUSH STREET A-1290
HERON STREET A-250
EAGLE STREET A-1245
WASHINGTON ST. L-9447
MAPLEWOOD ST. L-1250

CITY FIELD NOTES:

BOOK 1411 PAGE 019
BOOK 1114 PAGE 123

BWSC RECORD INFORMATION:

WATER & SEWER GIS MAPS
BWSC SITE PLAN No. 04044
BWSC SITE PLAN No. 14131
BWSC SITE PLAN No. 17295
BWSC SITE PLAN No. 17317
BWSC SITE PLAN No. 17341
THRUSH ST. UTILITY AS-BUILT

OWNER:

PARCEL No. 2968-000
S. M. LORUSSO & SONS, INC.
331 WEST STREET
WALPOLE, MA 02081

RECORD DEED:

SUFFOLK COUNTY REGISTRY
BK. 44016, PAGE 185-200

RECORD PLAN:

SUFFOLK COUNTY REGISTRY
PLAN No. 468 OF 2008

OWNER:

WILLET STREET LOTS &
PARCEL No. 3312-010
C.A.D. BUILDERS, LLC
200 REVERE STREET
CANTON, MA 02021

RECORD DEED:

SUFFOLK COUNTY REGISTRY
BK. 54161, PAGE 82-88

RECORD PLAN:

SUFFOLK COUNTY REGISTRY
PLAN No. 71 OF 2015

APPLICANT:

C.A.D. BUILDERS, LLC
200 REVERE STREET
CANTON, MA 02021

CONTACTS:

ANTHONY DILETTIZIA
PH: 617-828-2312
CLAUDIO DILETTIZIA
PH: 617-828-2311

OVERALL EXISTING CONDITIONS
LAND DEVELOPMENT PLAN
PROPERTY OFF WILLET STREET
BOSTON, MASS
(WEST ROXBURY - 02132-4234)
SCALE: 1"=30' FEBRUARY 13, 2018
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595

REVISIONS

NO.	DESCRIPTION
1	UP-6 RAILROAD SPIKE SET 6" UP THE WEST SIDE OF UTILITY POLE No. 1255/6 AT INTERSECTION OF GROUSE STREET AND HERON STREET EL=233.63 (BOSTON CITY BASE)
2	UP-6 RAILROAD SPIKE SET 6" UP THE WEST SIDE OF UTILITY POLE No. 1255/6 AT INTERSECTION OF GROUSE STREET AND HERON STREET EL=233.63 (BOSTON CITY BASE)
3	UP-6 RAILROAD SPIKE SET 6" UP THE WEST SIDE OF UTILITY POLE No. 1255/6 AT INTERSECTION OF GROUSE STREET AND HERON STREET EL=233.63 (BOSTON CITY BASE)

PLAN NOTES

PROPERTY LINE INFORMATION IS BASED ON FIELD SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY, INC., 1410 ROUTE ONE, NORWOOD, MA., BETWEEN APRIL, 2013 AND OCTOBER, 2016. TOPOGRAPHIC INFORMATION IS BASED ON FIELD SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY, INC., 1410 ROUTE ONE, NORWOOD, MA., IN OCTOBER, 2016.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. THE UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG-SAFE. THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

SEE PLAN PREPARED BY NORWOOD ENGINEERING CO. ENTITLED "PLAN OF LAND, WILLET STREET, BOSTON, MASS. (WEST ROXBURY - 02131)" DATED MARCH 2, 2015 AND RECORDED AT THE SUFFOLK COUNTY REGISTRY OF DEEDS ON MARCH 10, 2015 AS PLAN No. 71 OF 2015.

SEE PLAN PREPARED BY NORWOOD ENGINEERING CO. ENTITLED "DIVISION OF LAND PLAN, WILLET STREET, BOSTON, MASS. (WEST ROXBURY - 02131)" DATED NOVEMBER 23, 2016 AND REVISED ON NOVEMBER 30, 2016.

THE WETLAND LOCATION SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED ON A WETLAND DELINEATION ON JULY 21, 2016, ECOTEC, INC., 102 GROVE STREET, WORCESTER, MA 01605 BY CONTACT: JOHN P. ROCKWOOD, P.H.D., PWS, CHIEF ENVIRONMENTAL SCIENTIST PH: 508-752-9666 EXT. 25 J.ROCKWOOD@ECOTECINC.COM

SEE PLAN PREPARED BY TOOMEY-MUNSON ASSOCIATES, INC. ENTITLED "CITY OF BOSTON PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, APPROVAL PLAN, PORTION OF WILLET STREET, WEST ROXBURY" LAST REVISED ON MARCH 11, 2005. (PLAN No A-1316 AT CITY ENGINEERING RECORDS DEPARTMENT).

SEE PLAN PREPARED BY TOOMEY-MUNSON ASSOCIATES, INC. ENTITLED "CITY OF BOSTON PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, APPROVAL PLAN, PORTION OF WILLET STREET, WEST ROXBURY" LAST REVISED ON JULY 3, 2003. (PLAN No A-1289 AT CITY ENGINEERING RECORDS DEPARTMENT).

SEE PLAN PREPARED BY TOOMEY-MUNSON ASSOCIATES, INC. ENTITLED "LAND DEVELOPMENT PLAN OF WILLET STREET IN BOSTON, MASSACHUSETTS (WEST ROXBURY DISTRICT) LAST REVISED ON MAY 2, 2006 (APPROVAL PLANS A-1280 & A-1316) AND APPROVED BY THE PUBLIC WORKS DEPARTMENT ON MAY 02, 2006 AND THE BOSTON WATER AND SEWER COMMISSION ON MAY 12, 2006 (BWSC SITE PLAN No. 04044).

SEE BWSC SITE PLAN No. 04044, THE PROPOSED HYDROLOGY PLAN, THE UTILITIES AS-BUILT PLAN THRUSH STREET AND A PORTION OF WILLET STREET, AND THE CONSERVATION AS-BUILT PLAN PREPARED BY TOOMEY-MUNSON ASSOCIATES. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS WERE DESIGNED TO COLLECT AND TREAT STORMWATER FOR THE ENTIRE AREA WITHIN THE LIMITS SHOWN ON THE PROPOSED HYDROLOGY PLAN.

SEE BOSTON WATER AND SEWER COMMISSION UTILITY EASEMENTS IN THRUSH STREET AND WILLET STREET ON PLANS PREPARED BY TOOMEY-MUNSON & ASSOCIATES ENTITLED, "EASEMENT PLAN IN BOSTON, MA (WEST ROXBURY DISTRICT)" DATED APRIL 17, 2003 AND RECORDED AS PLAN No. 364 OF 2007 AT THE SUFFOLK COUNTY REGISTRY OF DEEDS (2 SHEETS).

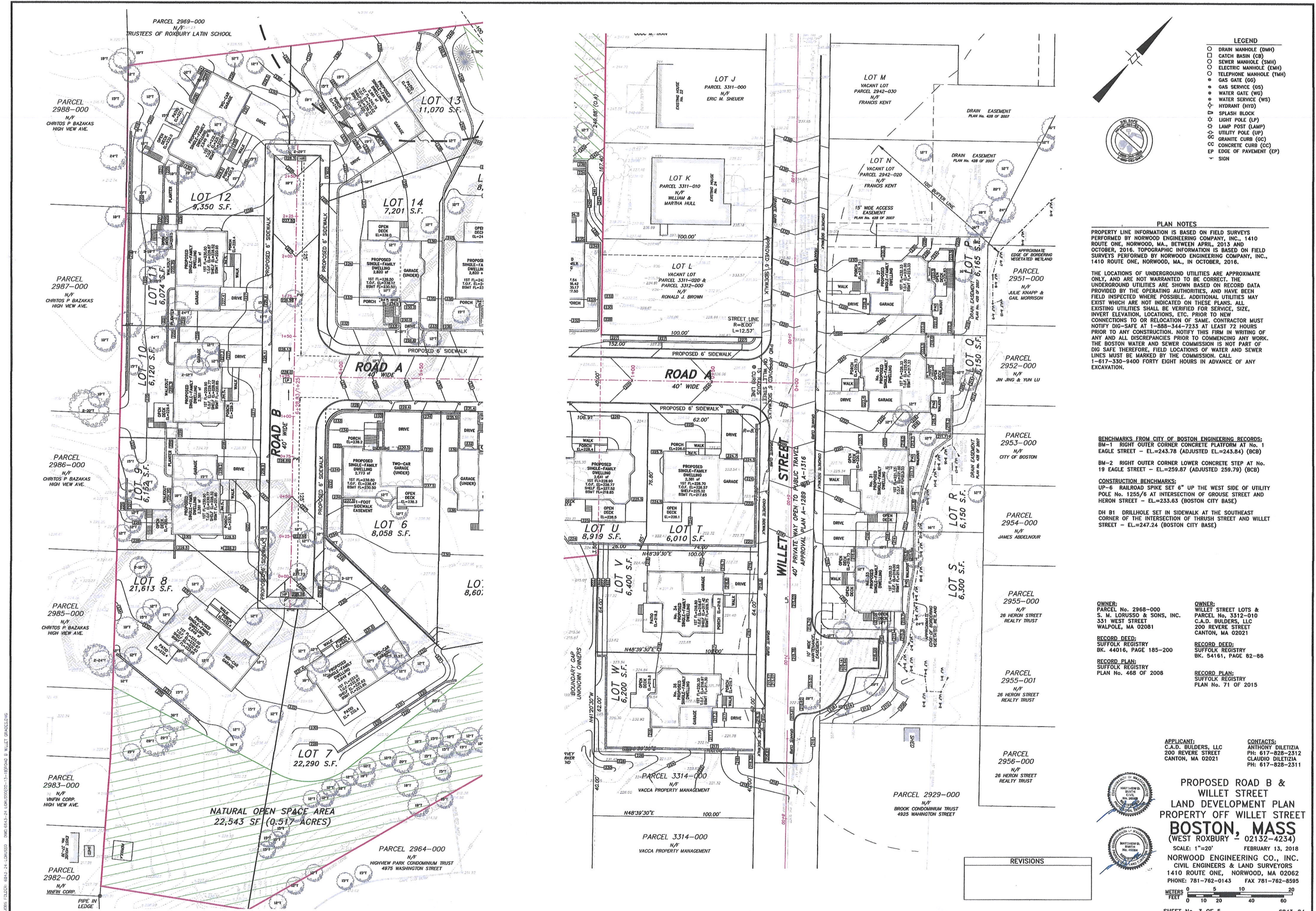
SEE EASEMENT TO BOSTON EDISON COMPANY, DATED OCTOBER 13, 2004 AND RECORDED IN ON PAGE 87 OF DEED BOOK 35708 AT THE SUFFOLK COUNTY REGISTRY OF DEEDS.

SEE EASEMENT TO VERIZON NEW ENGLAND, INC., DATED SEPTEMBER 17, 2004 AND RECORDED IN ON PAGE 1 OF DEED BOOK 35700 AT THE SUFFOLK COUNTY REGISTRY OF DEEDS.

THE BOSTON WATER AND SEWER COMMISSION (BWSC) WILL REQUIRE EASEMENTS IN THE PROPOSED PRIVATE TO ACCESS THE PROPOSED WATER AND SEWER MAINS IN THE ROADWAY. THE PROPOSED MAIN STORMWATER MANAGEMENT SYSTEM WILL REMAIN PRIVATE AND WILL REQUIRE THE CREATION OF A HOME OWNERS ASSOCIATION TRUST RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE DRAINAGE SYSTEM SERVING ALL OF THE PROPERTIES. THE MAINTENANCE OF THE INFILTRATION SYSTEMS ON EACH LOT WILL BE THE SOLE RESPONSIBILITY OF EACH INDIVIDUAL PROPERTY OWNER.

THE BOSTON WATER AND SEWER COMMISSION WILL REQUIRE SEPARATE SITE PLAN SUBMITTALS FOR EACH OF THE LOTS. THE PROPOSED GRADES ON THIS PLAN ARE PRELIMINARY AND MAY BE REVISED OR ADJUSTED ON THE SITE PLANS SUBMITTED FOR EACH OF THE INDIVIDUAL LOTS.

DATE: 02/13/2018 09:43:24 L:\PROJECTS\02-13-2018\BOSTON\BOSTON-02132-4234\DWG



- LEGEND
- DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - SEWER MANHOLE (SMH)
 - ELECTRIC MANHOLE (EMH)
 - TELEPHONE MANHOLE (TMH)
 - GAS GATE (GG)
 - GAS SERVICE (GS)
 - WATER GATE (WG)
 - WATER SERVICE (WS)
 - HYDRANT (HYD)
 - ☆ SPLASH BLOCK
 - ☆ LIGHT POLE (LP)
 - ☆ LAMP POST (LAMP)
 - ☆ UTILITY POLE (UP)
 - GRANITE CURB (GC)
 - CONCRETE CURB (CC)
 - EP EDGE OF PAVEMENT (EP)
 - SIGN



PLAN NOTES

PROPERTY LINE INFORMATION IS BASED ON FIELD SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY, INC., 1410 ROUTE ONE, NORWOOD, MA., BETWEEN APRIL, 2013 AND OCTOBER, 2016. TOPOGRAPHIC INFORMATION IS BASED ON FIELD SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY, INC., 1410 ROUTE ONE, NORWOOD, MA., IN OCTOBER, 2016.

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BENCHMARKS FROM CITY OF BOSTON ENGINEERING RECORDS:
BM-1 RIGHT OUTER CORNER CONCRETE PLATFORM AT No. 1 EAGLE STREET - EL.=243.78 (ADJUSTED EL.=243.84) (BCB)
BM-2 RIGHT OUTER CORNER LOWER CONCRETE STEP AT No. 19 EAGLE STREET - EL.=259.87 (ADJUSTED 259.79) (BCB)

CONSTRUCTION BENCHMARKS:
UP-6 RAILROAD SPIKE SET 6" UP THE WEST SIDE OF UTILITY POLE No. 1255/6 AT INTERSECTION OF GROUSE STREET AND HERON STREET - EL.=233.63 (BOSTON CITY BASE)
DH B1 DRILLHOLE SET IN SIDEWALK AT THE SOUTHEAST CORNER OF THE INTERSECTION OF THRUSH STREET AND WILLET STREET - EL.=247.24 (BOSTON CITY BASE)

OWNER:
PARCEL No. 2968-000
S. M. LORUSSO & SONS, INC.
331 WEST STREET
WALPOLE, MA 02081

OWNER:
WILLET STREET LOTS &
PARCEL No. 3312-010
C.A.D. BUILDERS, LLC
200 REVERE STREET
CANTON, MA 02021

RECORD DEED:
SUFFOLK REGISTRY
BK. 44016, PAGE 185-200

RECORD DEED:
SUFFOLK REGISTRY
BK. 54161, PAGE 82-88

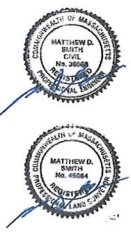
RECORD PLAN:
SUFFOLK REGISTRY
PLAN No. 468 OF 2008

RECORD PLAN:
SUFFOLK REGISTRY
PLAN No. 71 OF 2015

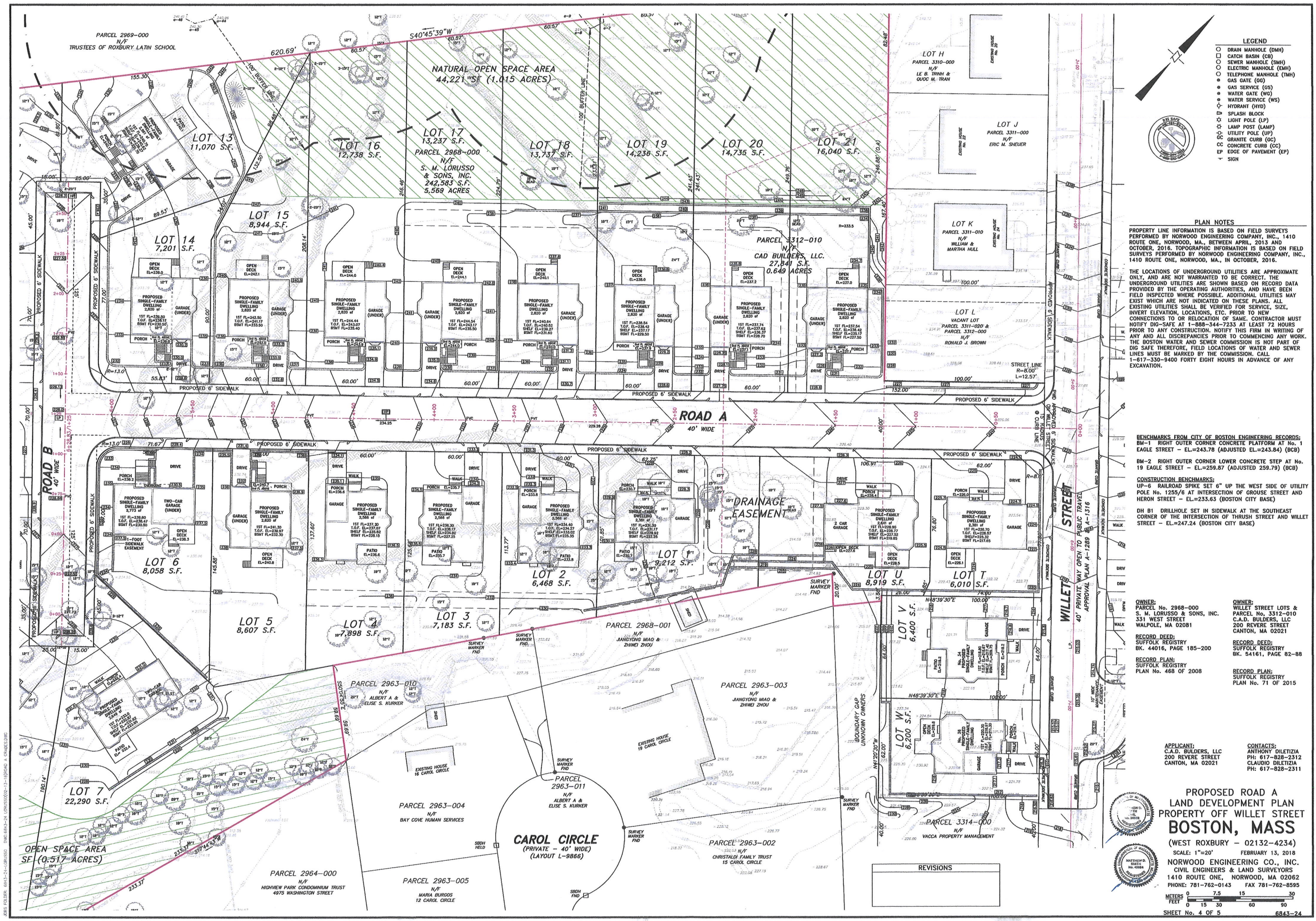
APPLICANT:
C.A.D. BUILDERS, LLC
200 REVERE STREET
CANTON, MA 02021

CONTACTS:
ANTHONY DILETTIZIA
PH: 617-828-2312
CLAUDIO DILETTIZIA
PH: 617-828-2311

PROPOSED ROAD B &
WILLET STREET
LAND DEVELOPMENT PLAN
PROPERTY OFF WILLET STREET
BOSTON, MASS
(WEST ROXBURY - 02132-4234)
SCALE: 1"=20'
FEBRUARY 13, 2018
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595



REVISIONS



- LEGEND**
- DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - SEWER MANHOLE (SMH)
 - TELEPHONE MANHOLE (TMH)
 - GAS GATE (GG)
 - GAS SERVICE (GS)
 - WATER GATE (WG)
 - WATER SERVICE (WS)
 - HYDRANT (HYD)
 - SPLASH BLOCK
 - ☆ LIGHT POLE (LP)
 - ☆ LAMP POST (LAMP)
 - UTILITY POLE (UP)
 - GRANITE CURB (GC)
 - CONCRETE CURB (CC)
 - EP EDGE OF PAVEMENT (EP)
 - SIGN

PLAN NOTES

PROPERTY LINE INFORMATION IS BASED ON FIELD SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY, INC., 1410 ROUTE ONE, NORWOOD, MA, BETWEEN APRIL, 2013 AND OCTOBER, 2016. TOPOGRAPHIC INFORMATION IS BASED ON FIELD SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY, INC., 1410 ROUTE ONE, NORWOOD, MA, IN OCTOBER, 2016.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. THE UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION, NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG-SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

BENCHMARKS FROM CITY OF BOSTON ENGINEERING RECORDS:

BM-1 RIGHT OUTER CORNER CONCRETE PLATFORM AT No. 1 EAGLE STREET - EL.=243.78 (ADJUSTED EL.=243.84) (BCB)

BM-2 RIGHT OUTER CORNER LOWER CONCRETE STEP AT No. 19 EAGLE STREET - EL.=259.87 (ADJUSTED 259.79) (BCB)

CONSTRUCTION BENCHMARKS:

UP-6 RAILROAD SPIKE SET 6" UP THE WEST SIDE OF UTILITY POLE No. 1255/6 AT INTERSECTION OF GROUSE STREET AND HERON STREET - EL.=233.63 (BOSTON CITY BASE)

DH B1 DRILLHOLE SET IN SIDEWALK AT THE SOUTHEAST CORNER OF THE INTERSECTION OF THRUSH STREET AND WILLET STREET - EL.=247.24 (BOSTON CITY BASE)

OWNER:
PARCEL No. 2968-000
S. M. LORUSSO & SONS, INC.
331 WEST STREET
WALPOLE, MA 02081

RECORD DEED:
SUFFOLK REGISTRY
BK. 44016, PAGE 185-200

RECORD PLAN:
SUFFOLK REGISTRY
PLAN No. 468 OF 2008

OWNER:
WILLET STREET LOTS &
PARCEL No. 3312-010
C.A.D. BUILDERS, LLC
200 REVERE STREET
CANTON, MA 02021

RECORD DEED:
SUFFOLK REGISTRY
BK. 54161, PAGE 82-88

RECORD PLAN:
SUFFOLK REGISTRY
PLAN No. 71 OF 2015

APPLICANT:
C.A.D. BUILDERS, LLC
200 REVERE STREET
CANTON, MA 02021

CONTACTS:
ANTHONY DILETIZIA
PH: 617-828-2312
CLAUDIO DILETIZIA
PH: 617-828-2311

**PROPOSED ROAD A
LAND DEVELOPMENT PLAN
PROPERTY OFF WILLET STREET
BOSTON, MASS**

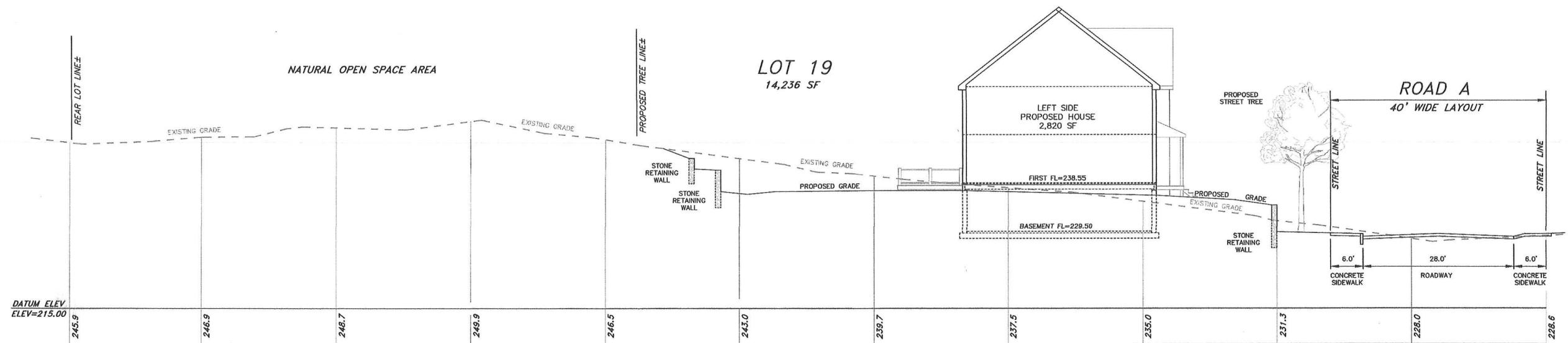
(WEST ROXBURY - 02132-4234)

SCALE: 1"=20' FEBRUARY 13, 2018

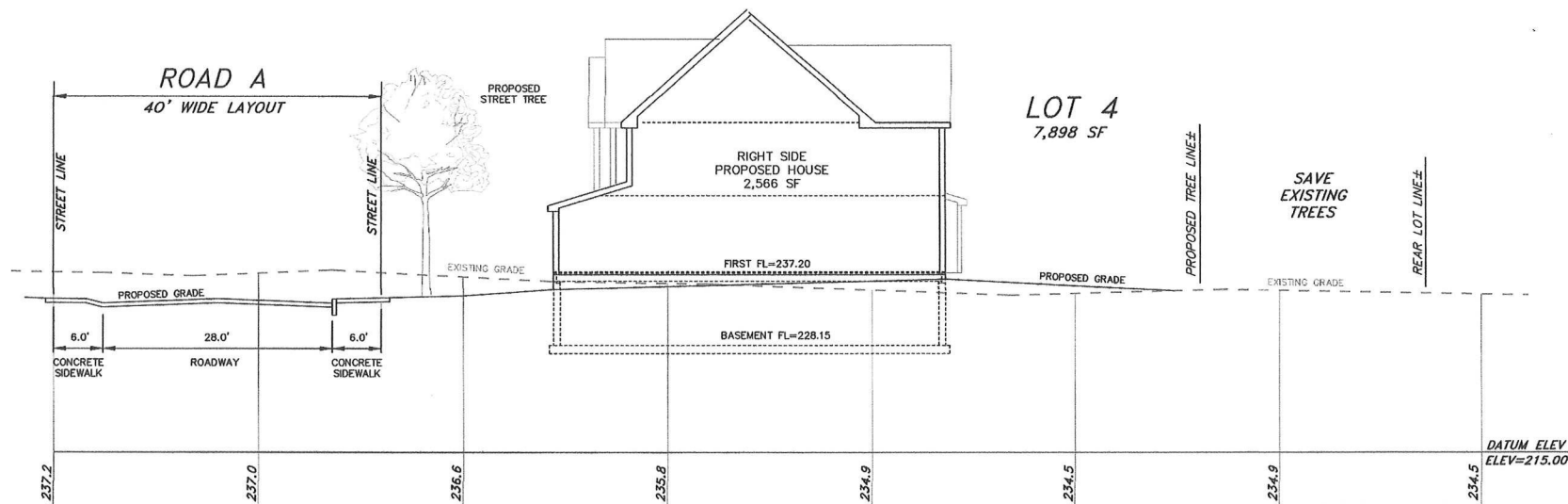
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595

REVISIONS

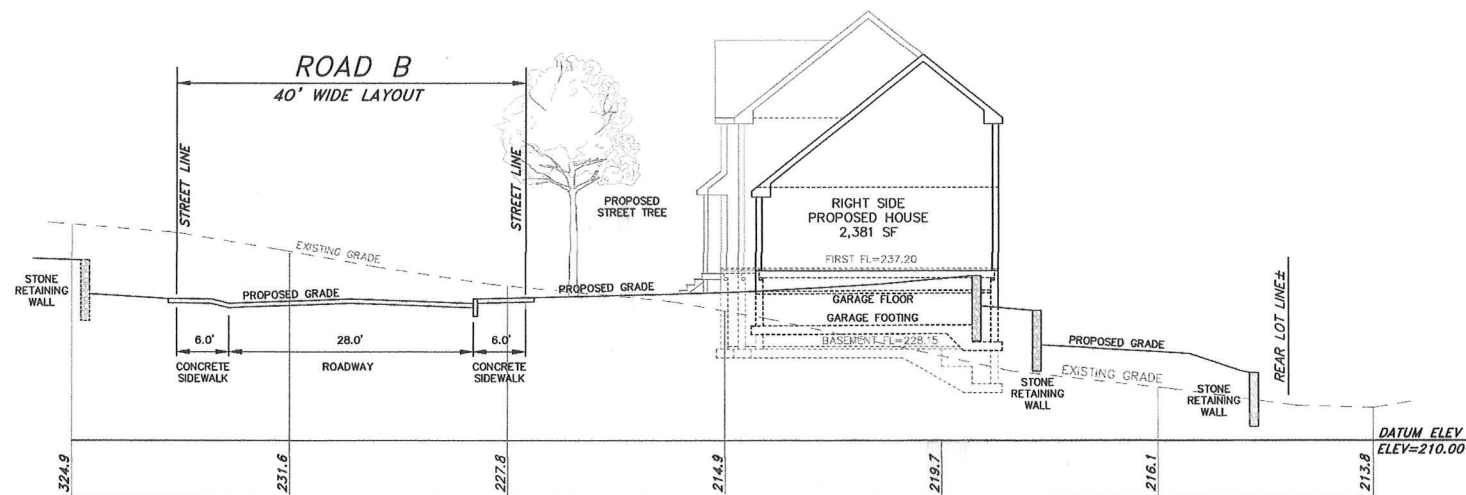
SHEET No. 4 OF 5 6843-24



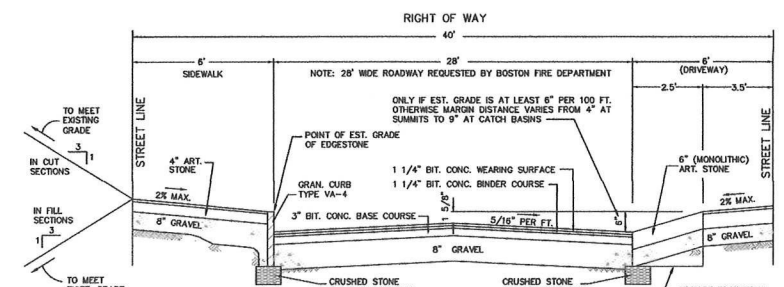
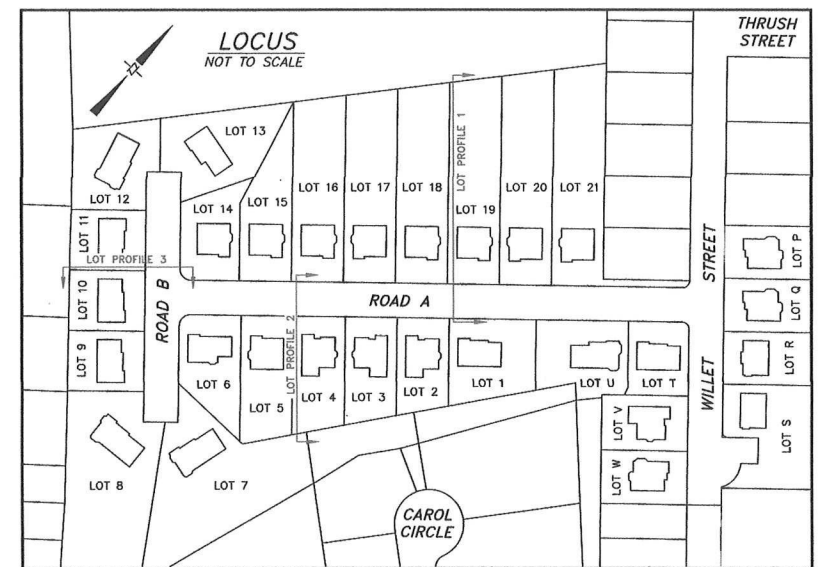
LOT PROFILE 1 - LOT 19 - ROAD A
SCALE 1"=8'



LOT PROFILE 2 - LOT 4 - ROAD A
SCALE 1"=8'



LOT PROFILE 3 - LOT 10 - ROAD B
SCALE 1"=8'



ROADWAY CROSS SECTION - ROAD A & ROAD B
NOT TO SCALE

APPLICANT:
C.A.D. BUILDERS, LLC
200 REVERE STREET
CANTON, MA 02021

CONTACTS:
ANTHONY DILETTIZIA
PH: 617-828-2312
CLAUDIO DILETTIZIA
PH: 617-828-2311

REVISIONS



PROFILES - LOTS 4, 10 & 19
LAND DEVELOPMENT PLAN
PROPERTY OFF WILLET STREET
BOSTON, MASS.
(WEST ROXBURY - 02132-4234)
SCALE AS NOTED
FEBRUARY 11, 2018
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595
SHEET No. 5 OF 5
6843-24







WILLET STREET DEVELOPMENT
WEST ROXBURY, MA

PLANTING PLAN 1 of 2

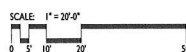
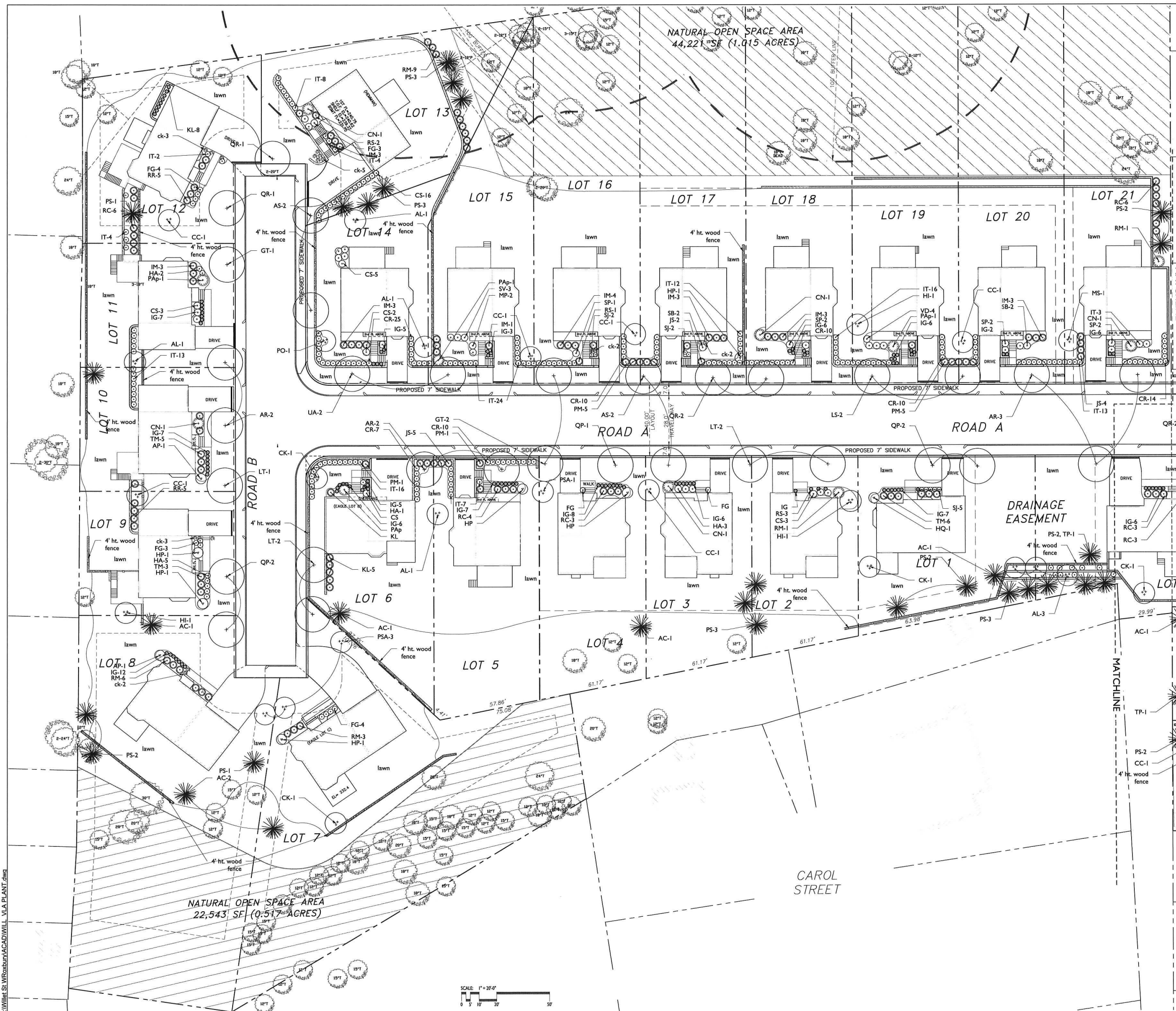
Project #: 2014/18
Drawn by: TN
Scale: 1" = 20'-0"

Revisions

L1

LEGEND

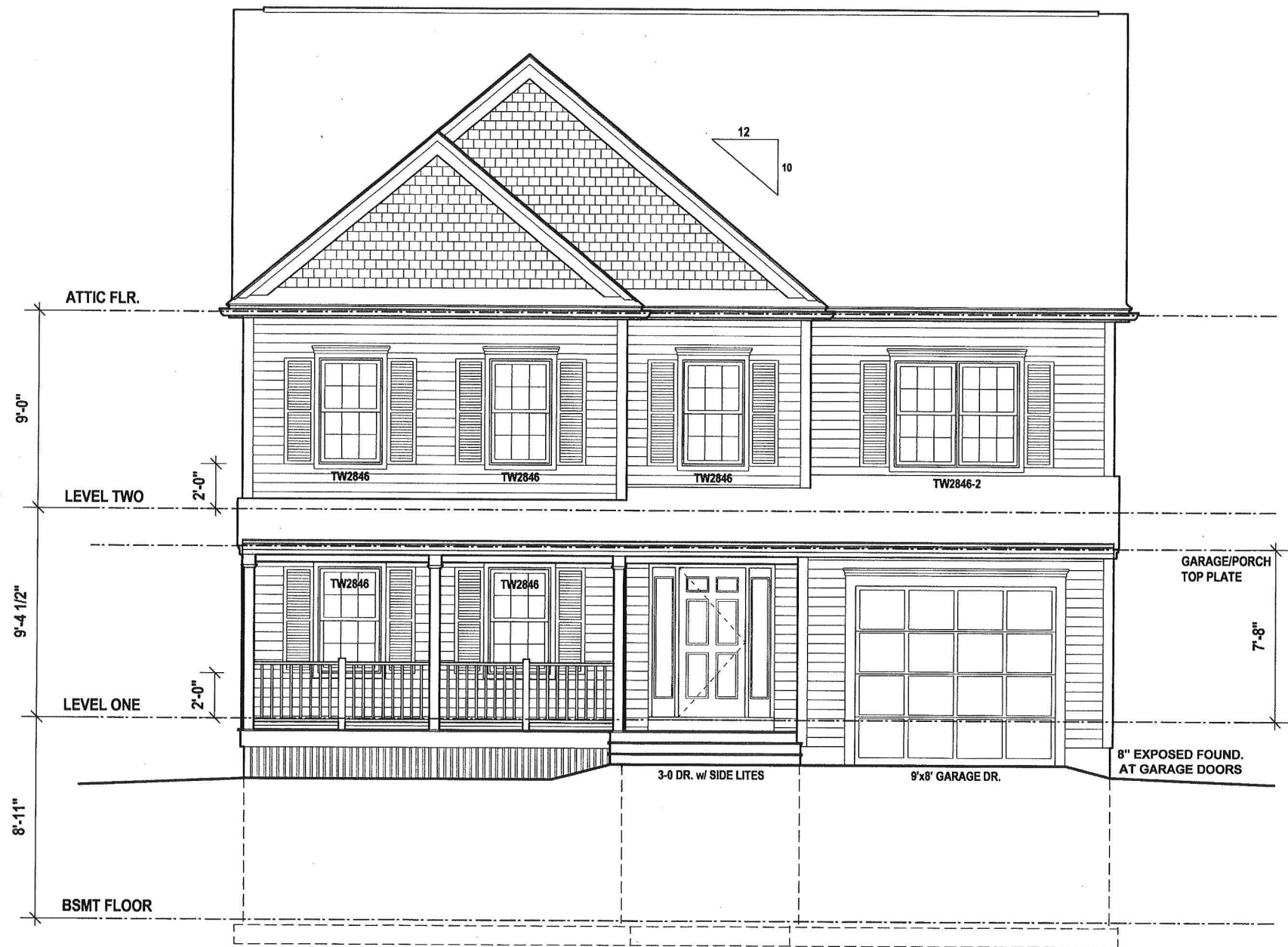
	Property Line
	Proposed Fence
	Proposed Concrete Paving
	Proposed Site Walls
	Proposed Vehicular Curb
	Proposed Deciduous Trees
	Proposed Evergreen Trees
	Existing Trees



LAWN: Seeded or sod as directed by Owner.



NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)



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WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW
SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY.
WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY OWNER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

ELEVATION - FRONT

SCALE: 3/16" = 1'-0"

studio 11 design
598 WASHINGTON STREET
CAMBRIDGE, MA 02142
781.424.2343

PROPOSED NEW RESIDENCE:

WEST ROXBURY - BOSTON, MASSACHUSETTS

PERMIT DWGS 2/25/15

A-3

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)



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SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

ELEVATION - LEFT
SCALE: 3/16" = 1'-0"

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CANTON, MA 02021
781.424.2943

PROPOSED NEW RESIDENCE:

WEST ROXBURY - BOSTON, MASSACHUSETTS

PERMIT DWGS	2/25/15

A-4

GRAPHIC KEY

- (S) HARD-WIRED SMOKE DETECTOR
(C) HARD-WIRED COMBO SMOKE/CO DETECTOR
(H) HEAT SENSOR
(V) BATHROOM VENT

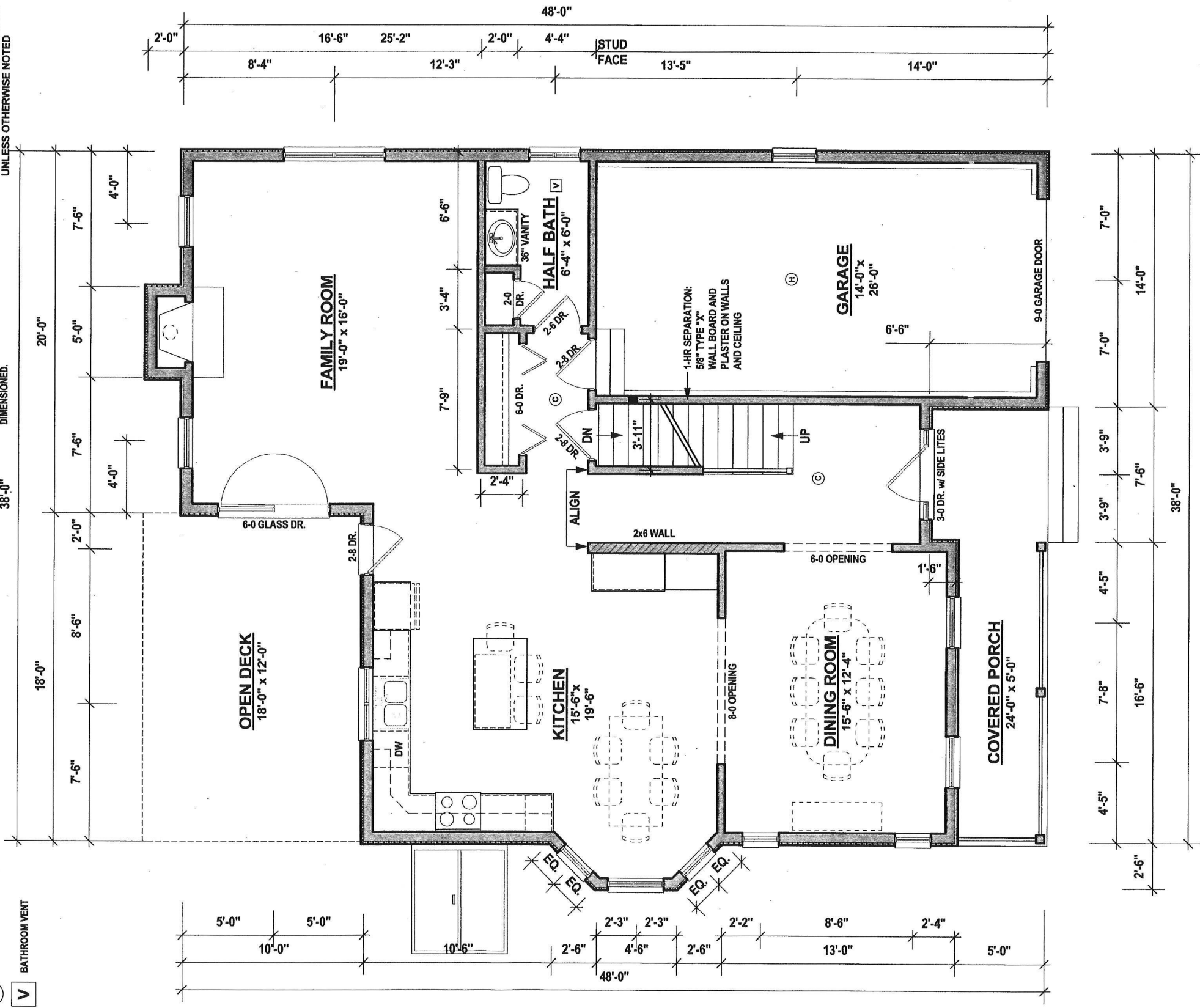
INSULATION REQUIREMENTS:
EXTERIOR WALLS: R21
FLOORS (ABOVE BASEMENT): R30
CEILINGS (BELOW ATTIC): R38
CATHEDRAL CEILINGS: R30c
(UNLESS OTHERWISE NOTED)

DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

NOTES:
ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

WALL FRAMING - 2x6 ON EXTERIOR WALLS & 2x4 ON INTERIOR WALLS UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE CENTERED IN WALL UNLESS OTHERWISE DIMENSIONED.



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LEVEL 1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

PERMIT DWGS	2/25/15

A-1

PROPOSED NEW RESIDENCE:

WEST ROXBURY - BOSTON, MASSACHUSETTS

studio 11 design
598 WASHINGTON STREET
CAMBRIDGE, MA 02142
617.424.2943

GRAPHIC KEY

S HARD-WIRED SMOKE DETECTOR

C HARD-WIRED COMBO SMOKE/CO DETECTOR

H HEAT SENSOR

V BATHROOM VENT

INSULATION REQUIREMENTS:

EXTERIOR WALLS:

FLOORS (ABOVE BASEMENT):

CEILINGS (BELOW ATTIC):

CATHEDRAL CEILINGS:

R21

R30

R38

R30c

DIMENSION STANDARDS:

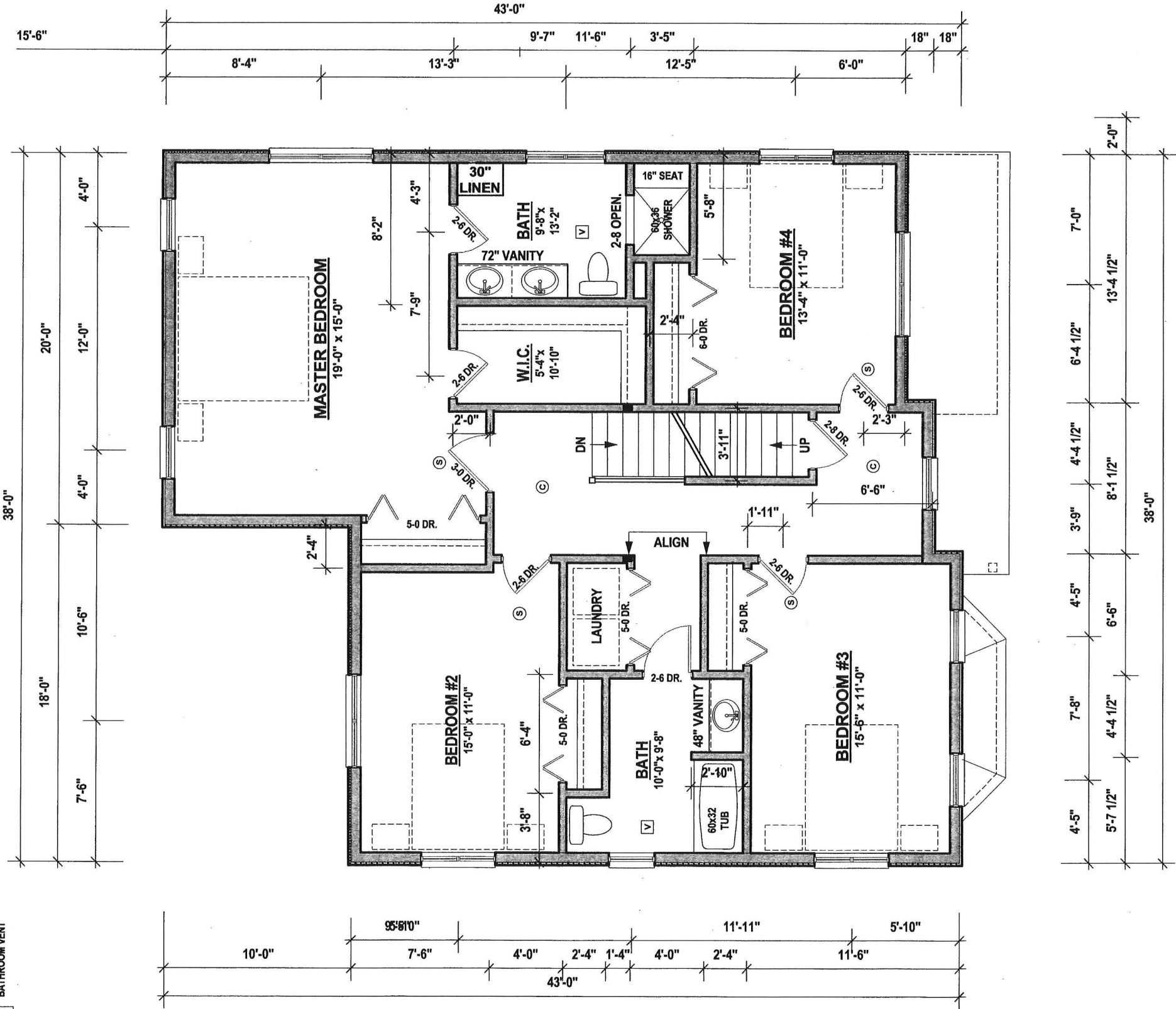
- * EXTERIOR WALLS TO EXTERIOR STUD FACE
- * INTERIOR WALLS TO CENTER OF STUD
- * WINDOWS/DOORS TO CENTER OF OPENING (UNLESS OTHERWISE NOTED)

NOTES:

ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

WALL FRAMING - 2x6 ON EXTERIOR WALLS & 2x4 ON INTERIOR WALLS UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE CENTERED IN WALL UNLESS OTHERWISE DIMENSIONED.



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LEVEL 2 FLOOR PLAN

SCALE: 3/16" = 1'-0"

PERMIT DWGS	2/25/15

PROPOSED NEW RESIDENCE:

WEST ROXBURY - BOSTON, MASSACHUSETTS

studio 11 design

596 WASHINGTON STREET
CANTON, MA 02021
781.424.2943

A-2

CONTINUOUS RIDGE VENT/
ATTIC VENTS AS REQUIRED

ASPHALT/FIBERGLASS ARCHITECTURAL
PROFILE ROOFING SHINGLES

BUILT-UP RAKE BOARDS
(1x10 & 1x4)

ALUMINUM GUTTERS &
DOWNSPOUTS

VENTED VINYL SOFFIT

CLAPBOARD-TYPE
HARDBOARD SIDING
(6" EXPOSURE)

1x4 WINDOW TRIM &
w/ PEDIMENT &
16" SHUTTERS

5/4"x8"
CORNER BOARDS



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WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW
SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY.
WINDOW TYPE/ MANUFACTURER TO BE DETERMINED BY OWNER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
SIZES/ STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

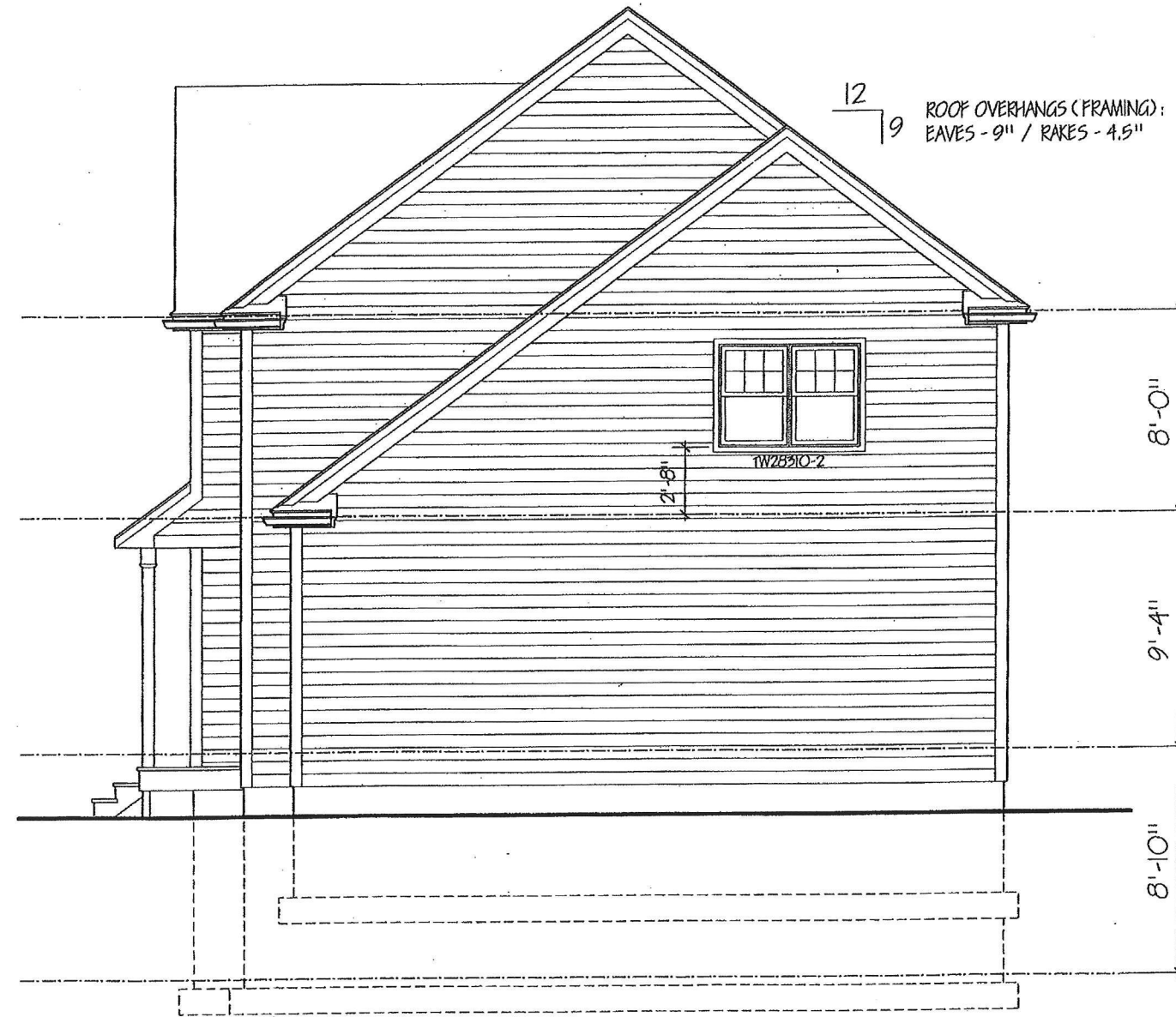
FRONT
ELEVATION
SCALE: 3/16" = 1'-0"

studio 11 design
596 WASHINGTON STREET
CANTON, MA 02021
781.424.2943

PROPOSED NEW RESIDENCE:
C.A.D. BUILDERS
WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS 11/18/09

A-1



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SIZES/ STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

SIDE (YARD)
ELEVATION
SCALE: 3/16" = 1'-0"

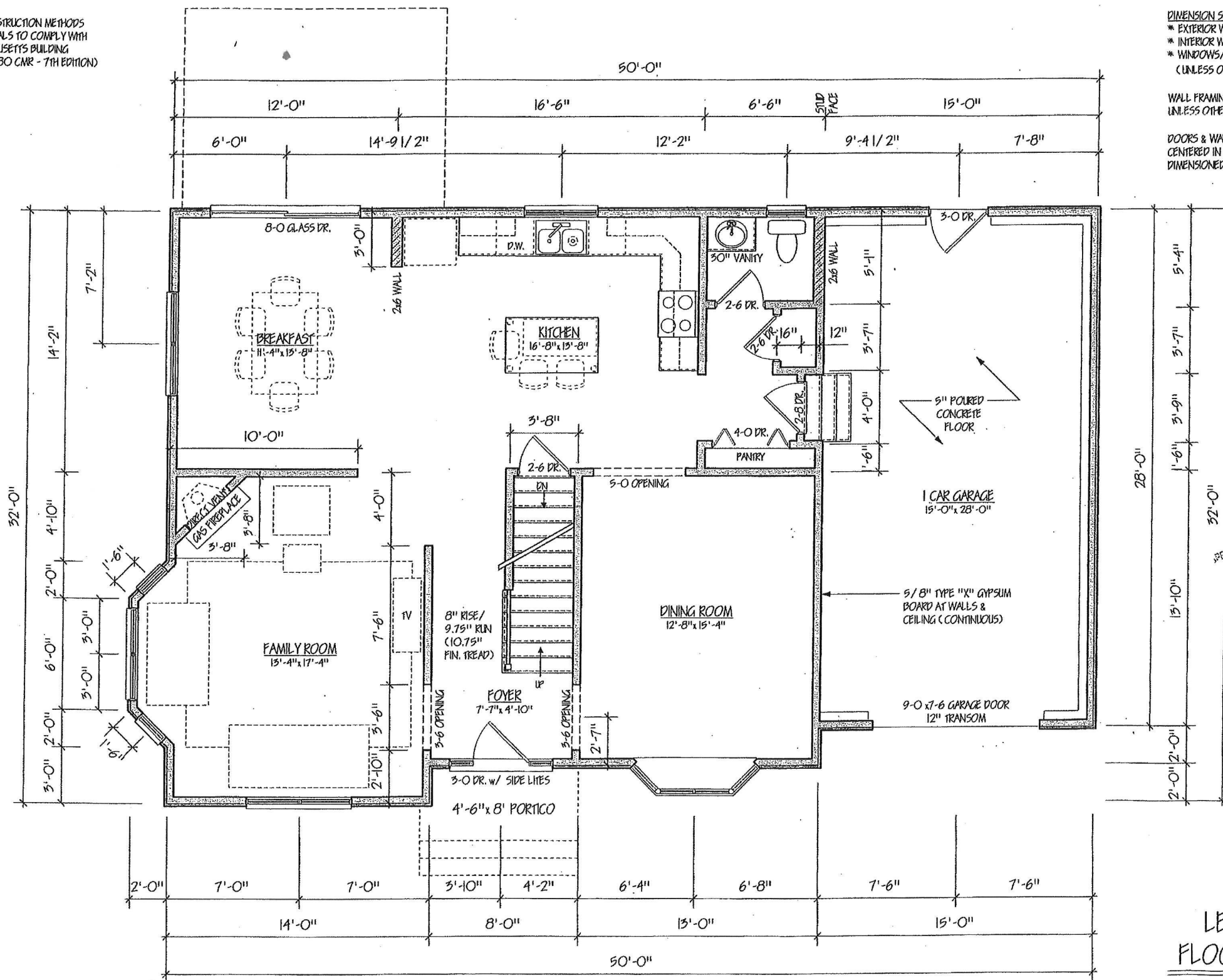
PERMIT DRAWINGS	11/18/08

A-4

PROPOSED NEW RESIDENCE:
C.A.D. BUILDERS
WEST ROXBURY, MASSACHUSETTS

studio 11 design
598 WASHINGTON STREET
CAMTON, MA 02142
781.424.2943

NOTE:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 7TH EDITION)



DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

WALL FRAMING TO BE 2x4 STUDS
UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE
CENTERED IN WALL UNLESS OTHERWISE
DIMENSIONED.

studio 11 design
586 WASHINGTON STREET
CANTON, MA 02021
781.424.2943

PROPOSED NEW RESIDENCE:
C.A.D. BUILDERS
WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS 11/18/08

LEVEL 1
FLOOR PLAN
SCALE: 3/16" = 1'-0"

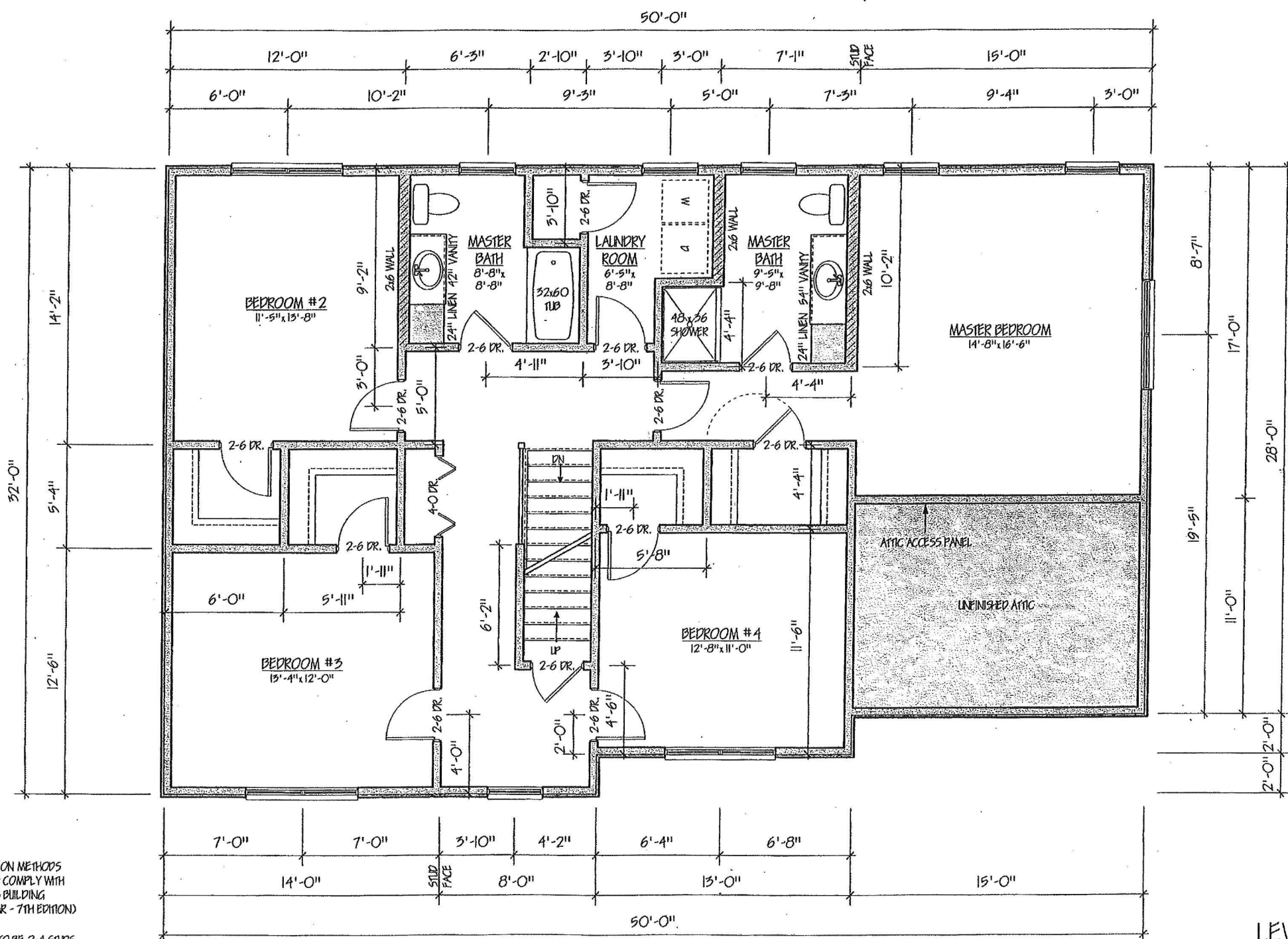
A-2

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 7TH EDITION)

WALL FRAMING TO BE 2x4 STUDS
UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE
CENTERED IN WALL UNLESS OTHERWISE
DIMENSIONED.

DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/ DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)



LEVEL 2
FLOOR PLAN
SCALE: 3/16" = 1'-0"

studio 11 design
596 WASHINGTON STREET
CANTON, MA 02021
781.424.2943

PROPOSED NEW RESIDENCE:
C.A.D. BUILDERS
WEST ROXBURY, MASSACHUSETTS

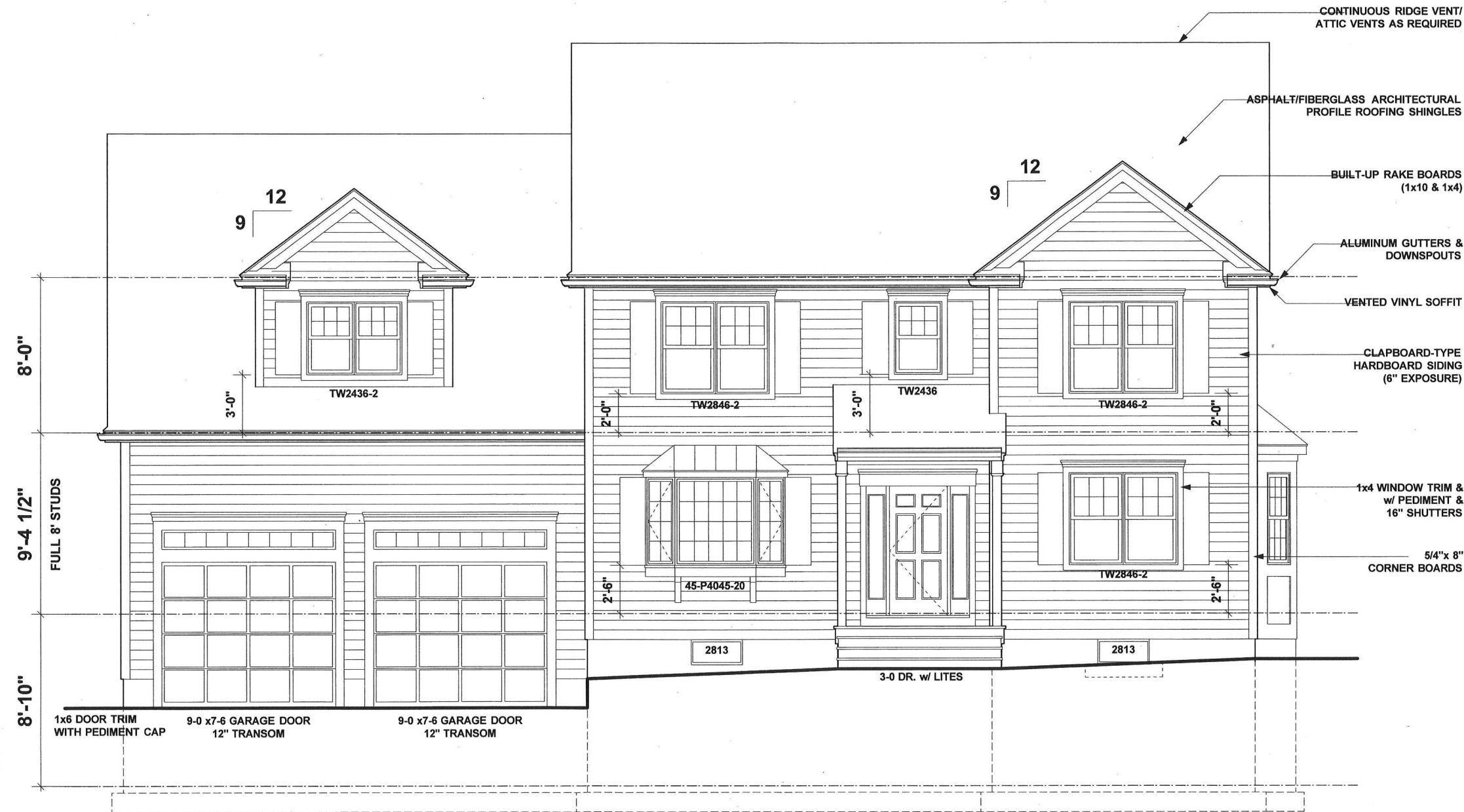
PERMIT DRAWINGS	11/18/08

A-3

PROPOSED NEW RESIDENCE:
WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS 8/2/13

A-1



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WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW
SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY.
WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY OWNER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

**FRONT
ELEVATION**

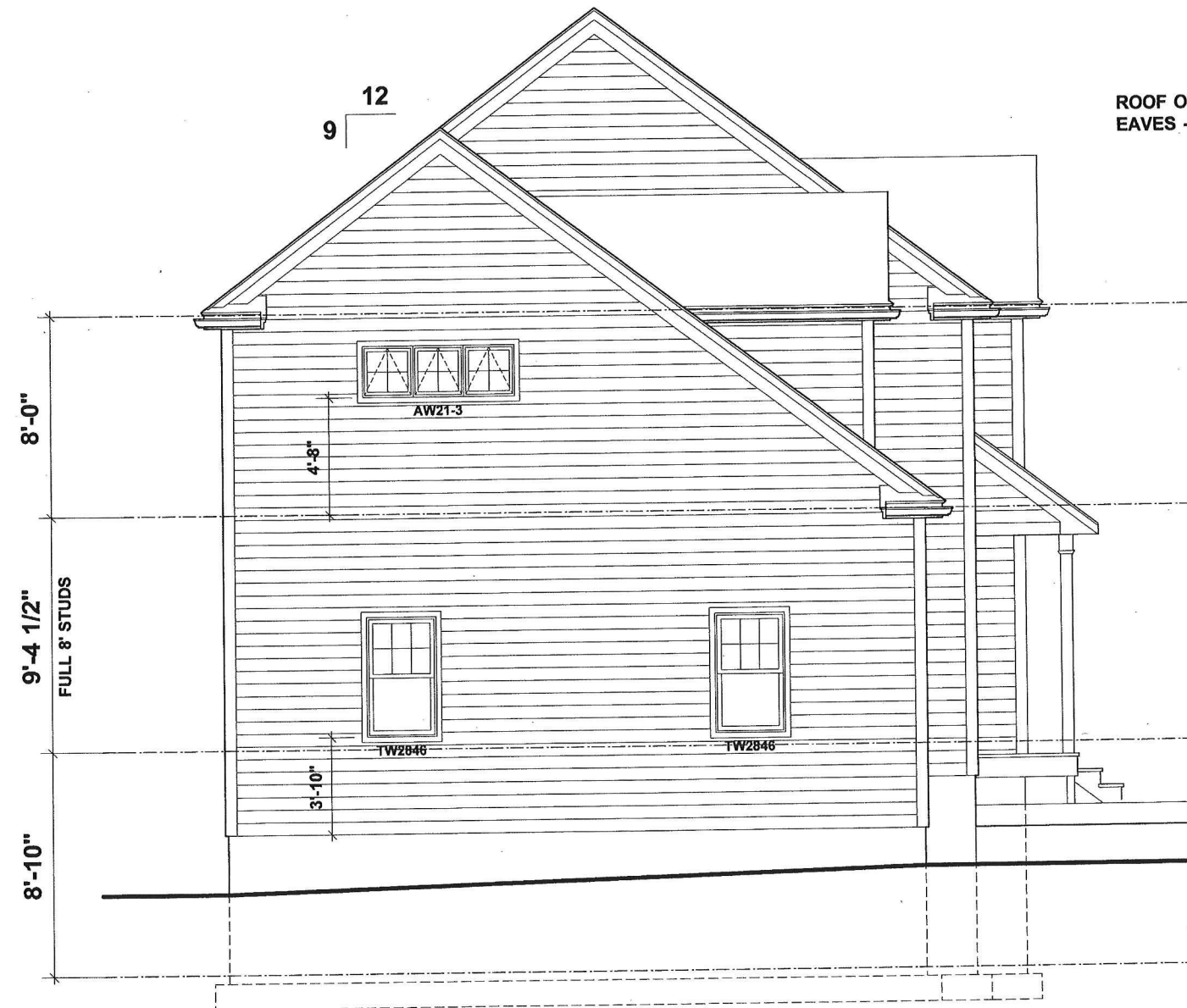
SCALE: 3/16" = 1'-0"

PROPOSED NEW RESIDENCE:

WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS 8/2/13

A-4



ROOF OVERHANGS (FRAMING):
EAVES - 9" / RAKES - 4.5"

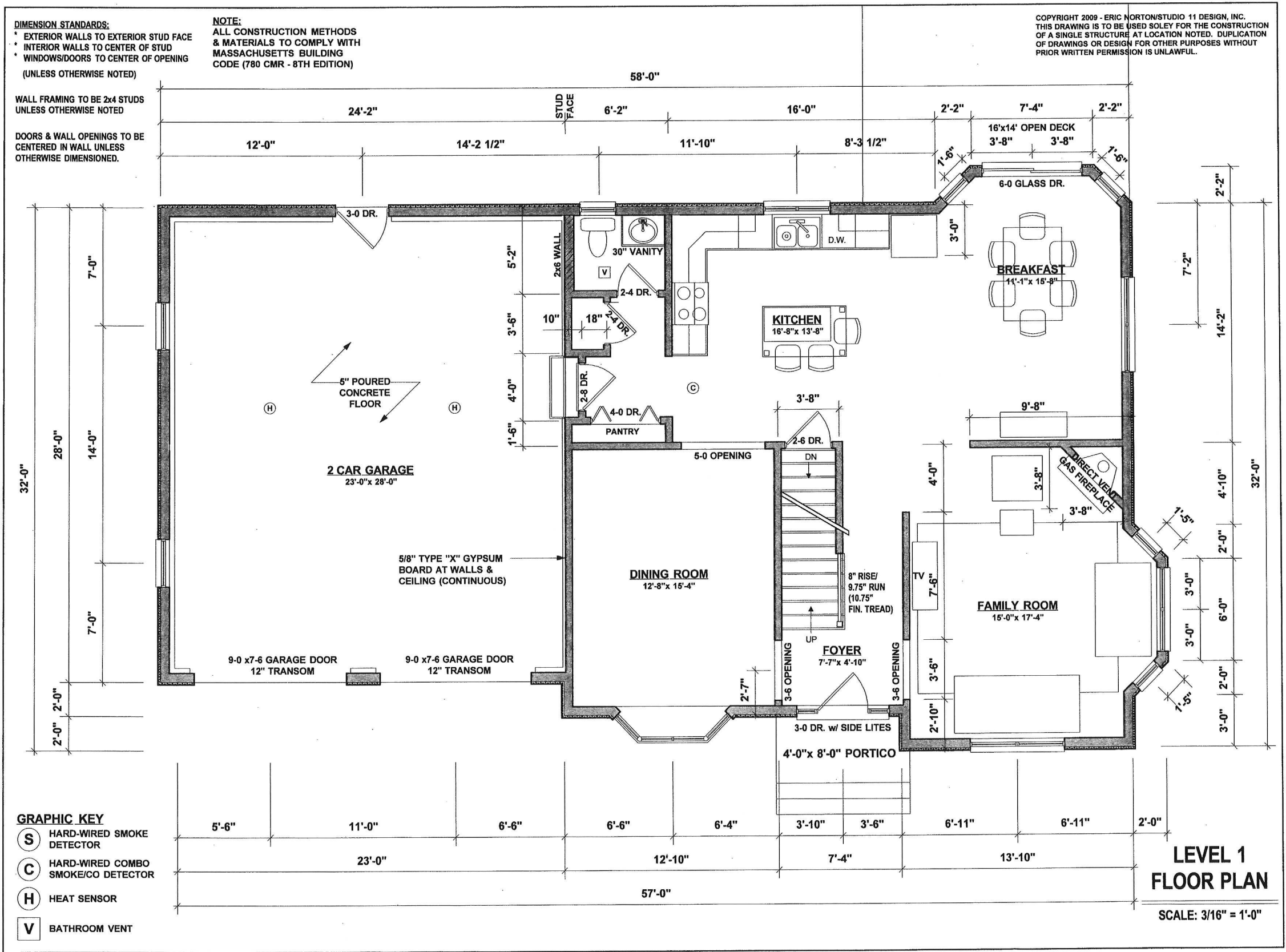
SIDE (YARD)
ELEVATION

SCALE: 3/16" = 1'-0"

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WHERE APPLICABLE.



studio 11 design
596 WASHINGTON STREET
CAMBRIDGE, MA 02142
781.424.2943

PROPOSED NEW RESIDENCE:
WEST ROXBURY, MASSACHUSETTS

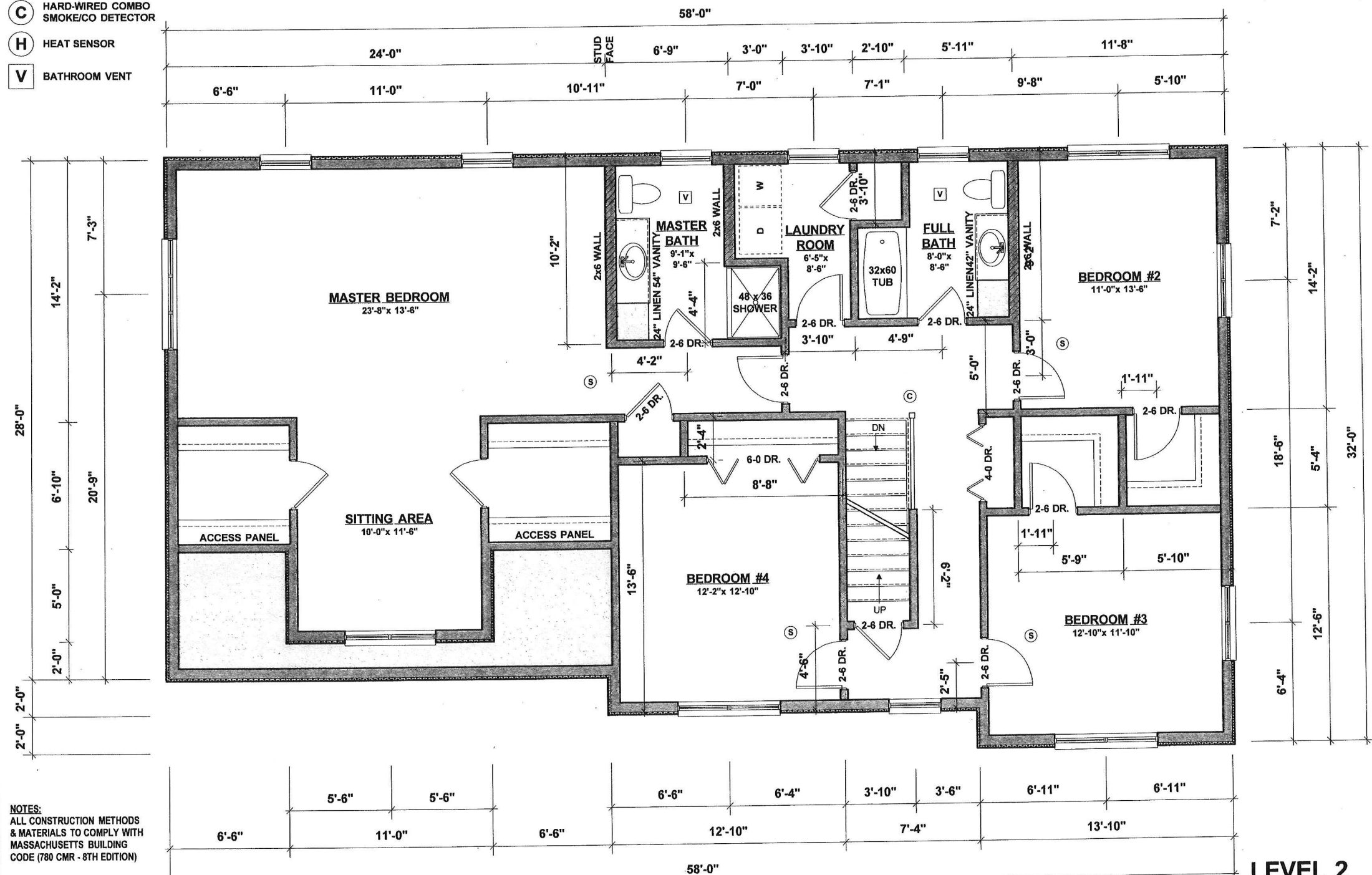
PERMIT DRAWINGS	8/2/13

A-2

- GRAPHIC KEY**
- S** HARD-WIRED SMOKE DETECTOR
 - C** HARD-WIRED COMBO SMOKE/CO DETECTOR
 - H** HEAT SENSOR
 - V** BATHROOM VENT

NOTE:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)

studio 11 design
595 WASHINGTON STREET
CANTON, MA 02021
781.424.2943



NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)

WALL FRAMING TO BE 2x4 STUDS
UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE
CENTERED IN WALL UNLESS OTHERWISE
DIMENSIONED.

DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

**LEVEL 2
FLOOR PLAN**

SCALE: 3/16" = 1'-0"

PROPOSED NEW RESIDENCE:

WEST ROXBURY, MASSACHUSETTS

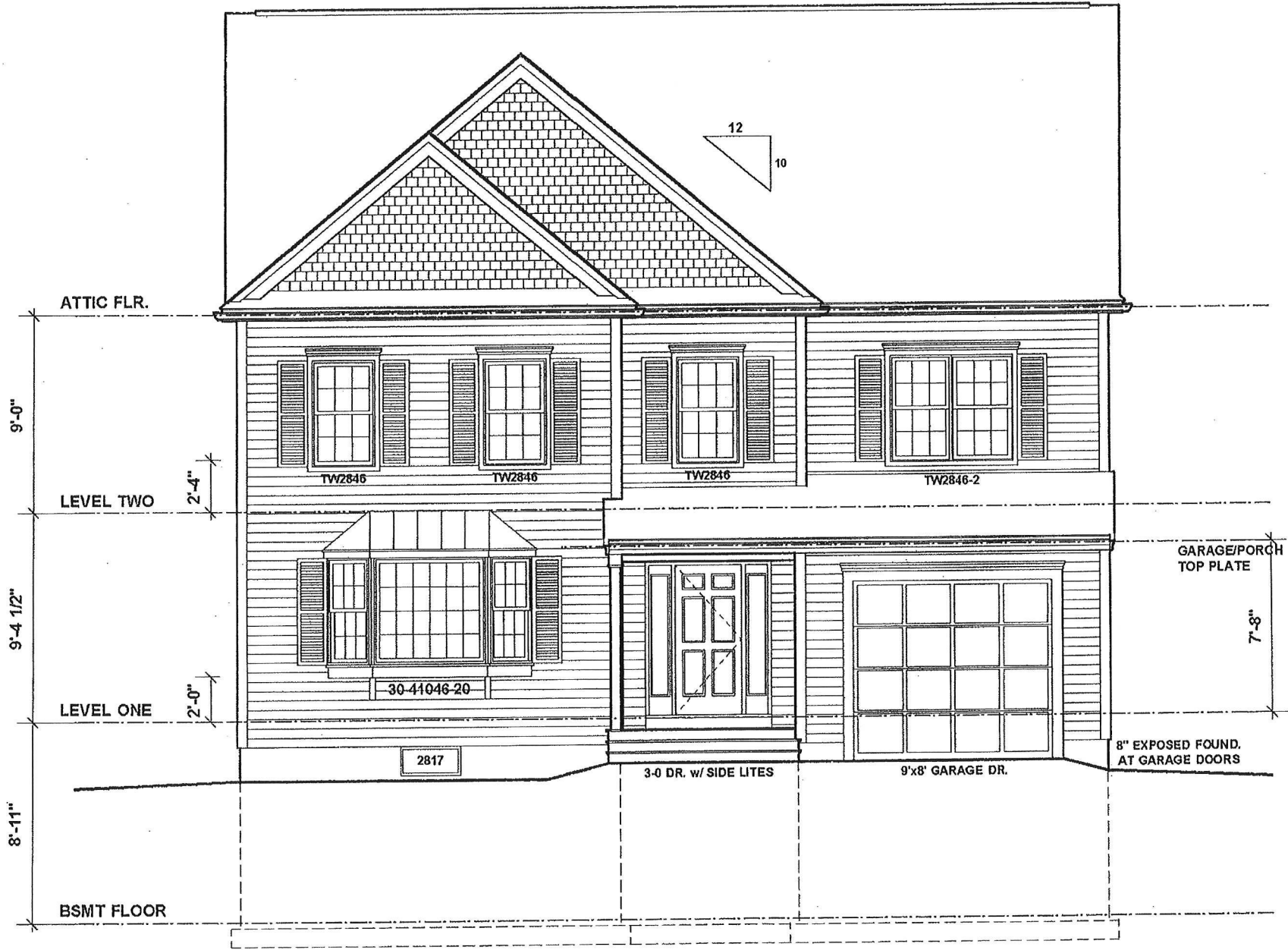
PERMIT DRAWINGS 8/2/13

A-3

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)

AD
architect

38 Chapman Street
Canton, MA 02021
617.501.0631
www.ad-architect.com



WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY. WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY OWNER.

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ELEVATION - FRONT
SCALE: 3/16" = 1'-0"

New Residence
West Roxbury, MA

Project Number: 60307.00
Date: 03.08.2016

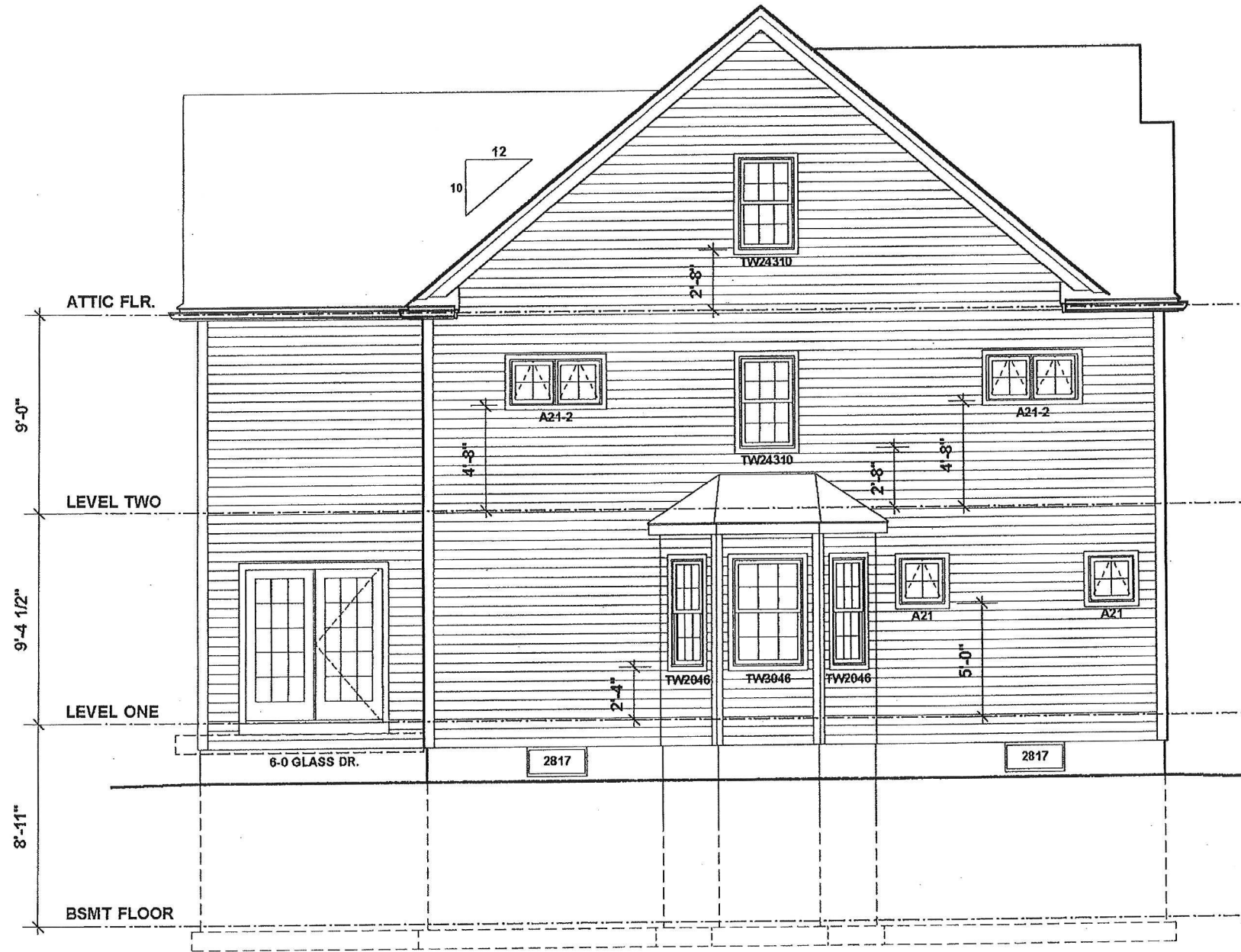
Revisions:
Number Description Date
0 PERMIT 03/08
DRAWINGS 2016

Scale: 3/16" = 1'-0"

FRONT
ELEVATION

A-3

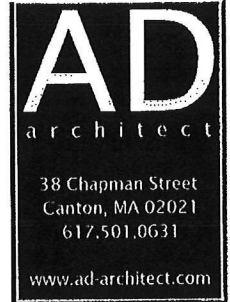
NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)



WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW
SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY.
WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY OWNER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

ELEVATION - LEFT
SCALE: 3/16" = 1'-0"



New Residence
West Roxbury, MA

Project Number: 60307.00
Date: 03.08.2016

Revisions:
Number Description Date
0 PERMIT 03/08
DRAWINGS 2016

Scale: 3/16"=1'-0"

LEFT
ELEVATION

A-4

GRAPHIC KEY

- (S) HARD-WIRED SMOKE DETECTOR
(C) HARD-WIRED COMBO SMOKE/CO DETECTOR
(H) HEAT SENSOR
(V) BATHROOM VENT

INSULATION REQUIREMENTS:
EXTERIOR WALLS:
FLOORS (ABOVE BASEMENT):
CEILINGS (BELOW ATTIC):
CATHEDRAL CEILINGS:

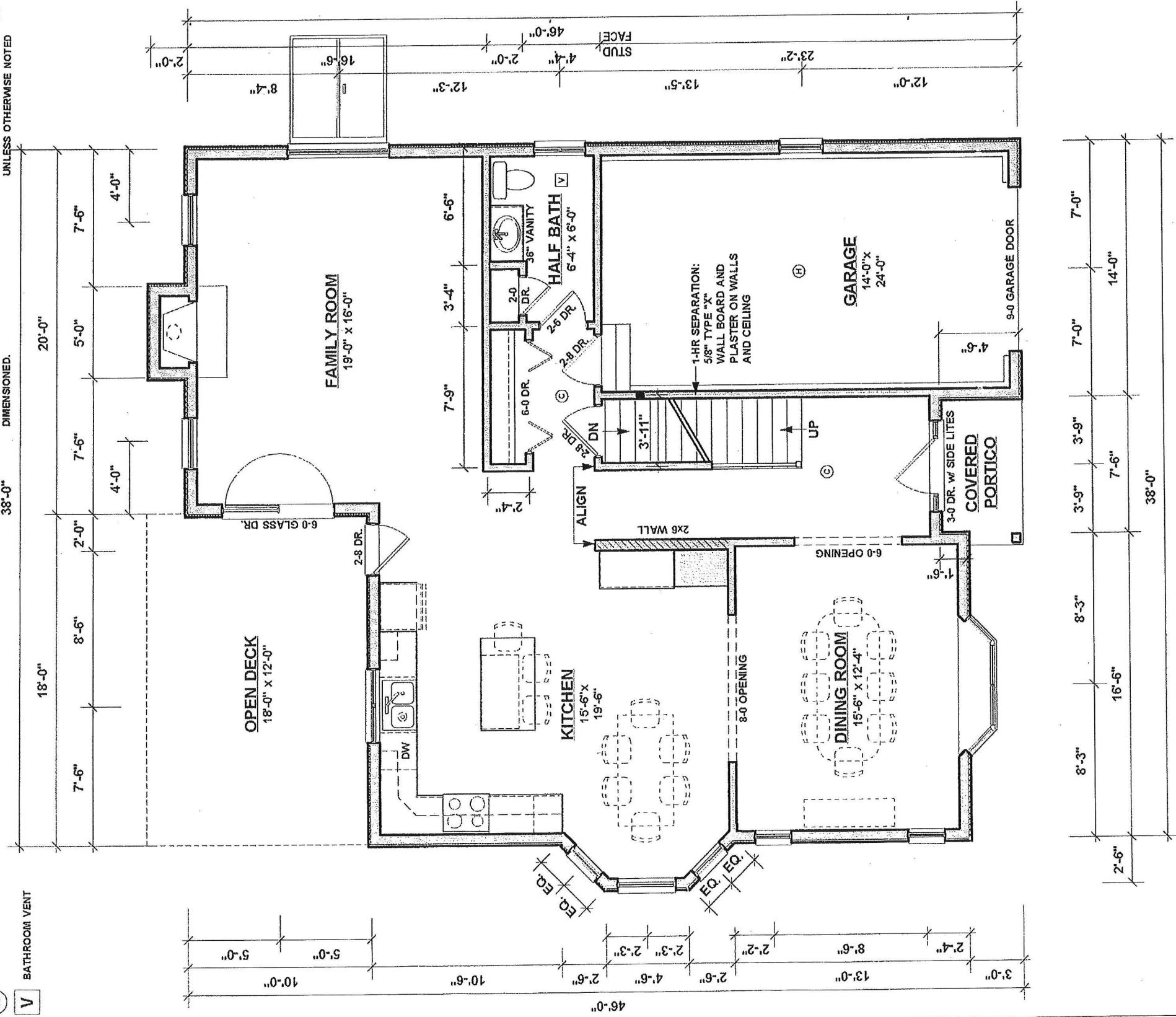
R19
R30
R38
R30c

DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)

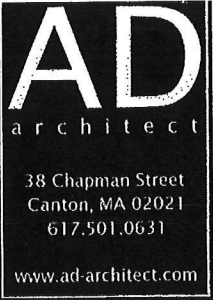
WALL FRAMING - 2x6 ON EXTERIOR
WALLS & 2x4 ON INTERIOR WALLS
UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE
CENTERED IN WALL UNLESS OTHERWISE
DIMENSIONED.



LEVEL 1 FLOOR PLAN

SCALE: 3/16" = 1'-0"



New Residence
West Roxbury, MA

Project Number: 60307.00
Date: 03.08.2016

Revisions:	Number	Description	Date
	0	PERMIT	03/08
		DRAWINGS	2016

Scale: 3/16"=1'-0"

LEVEL ONE
FLOOR PLAN

A-1

GRAPHIC KEY

- HARD-WIRED SMOKE DETECTOR
- HARD-WIRED COMBO SMOKE/CO DETECTOR
- HEAT SENSOR
- BATHROOM VENT

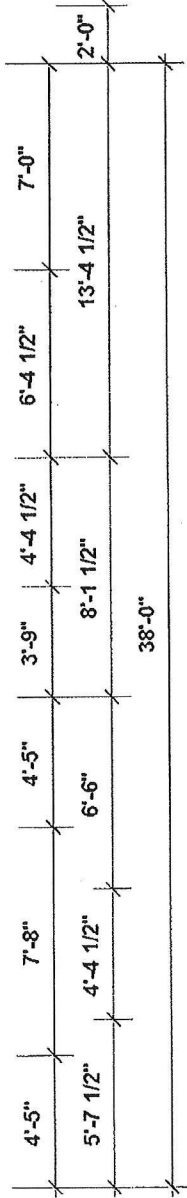
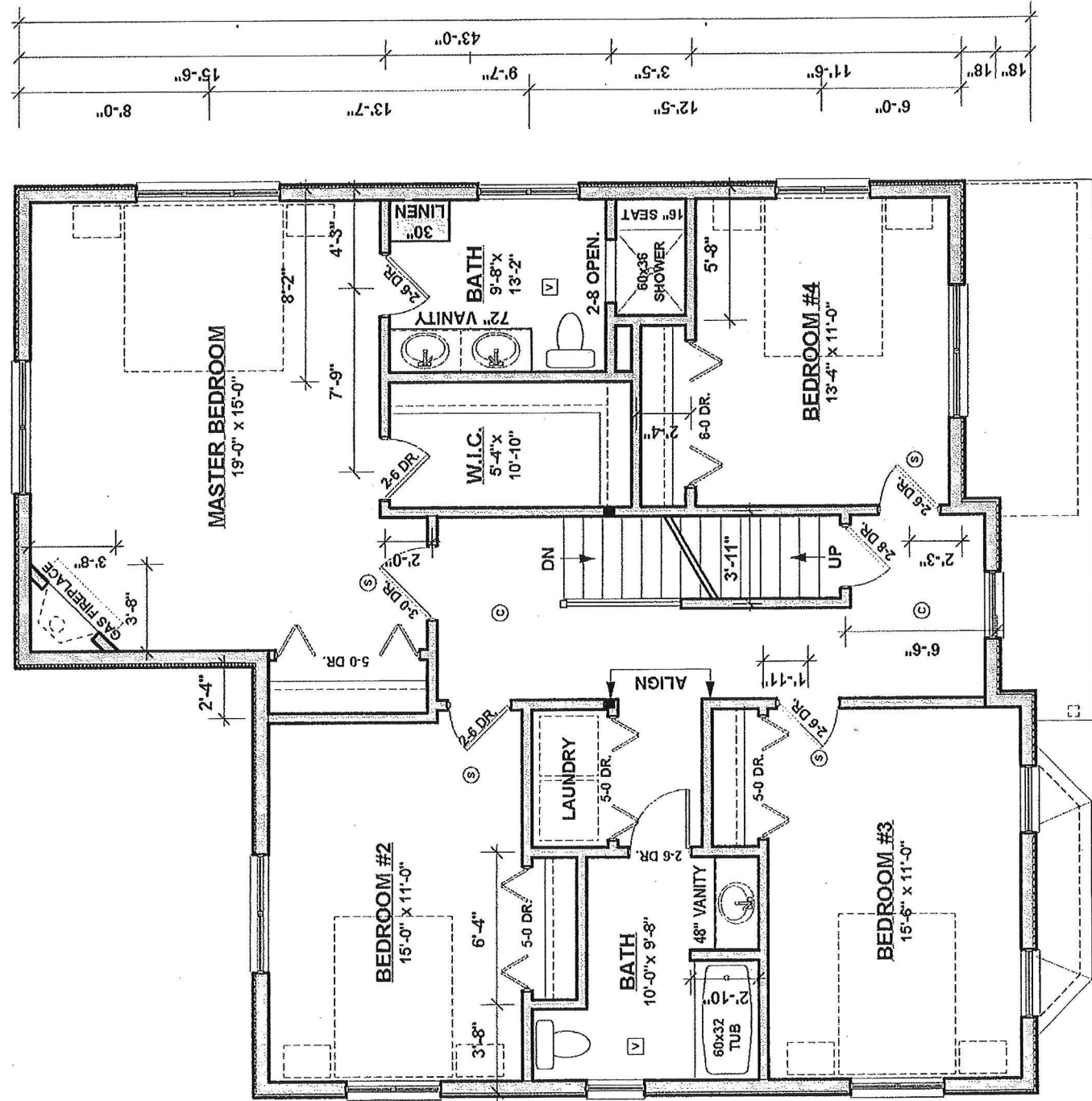
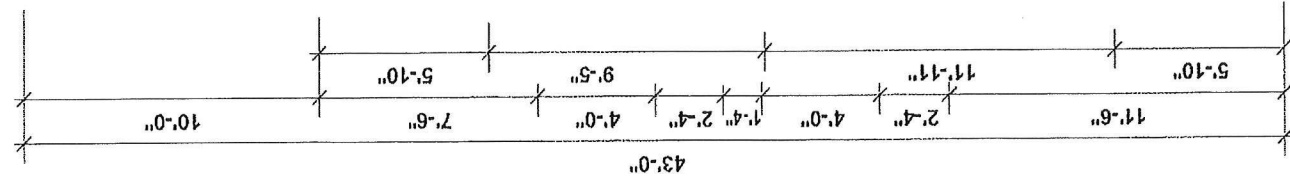
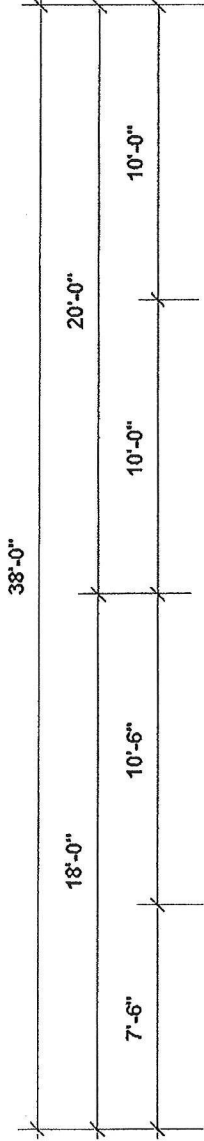
INSULATION REQUIREMENTS:
EXTERIOR WALLS: R19
FLOORS (ABOVE BASEMENT): R30
CEILINGS (BELOW ATTIC): R38
CATHEDRAL CEILINGS: R30c

DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

NOTES:
ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

DOORS & WALL OPENINGS TO BE CENTERED IN WALL UNLESS OTHERWISE DIMENSIONED.

WALL FRAMING - 2x6 ON EXTERIOR WALLS & 2x4 ON INTERIOR WALLS UNLESS OTHERWISE NOTED



A-2

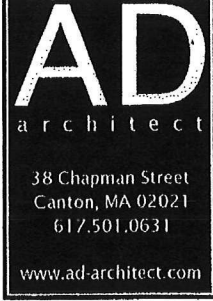
New Residence
West Roxbury, MA

Project Number: 60307.00		
Date: 03.08.2016		
Revisions:		
Number	Description	Date
0	PERMIT	03/08
	DRAWINGS	2016

Scale: 3/16"=1'-0"

LEVEL TWO
FLOOR PLAN

LEVEL 2 FLOOR PLAN
SCALE: 3/16" = 1'-0"



WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY. WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY OWNER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.

NOTES:
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& MATERIALS TO COMPLY WITH
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PROPOSED NEW RESIDENCE:

WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS	8/1/13

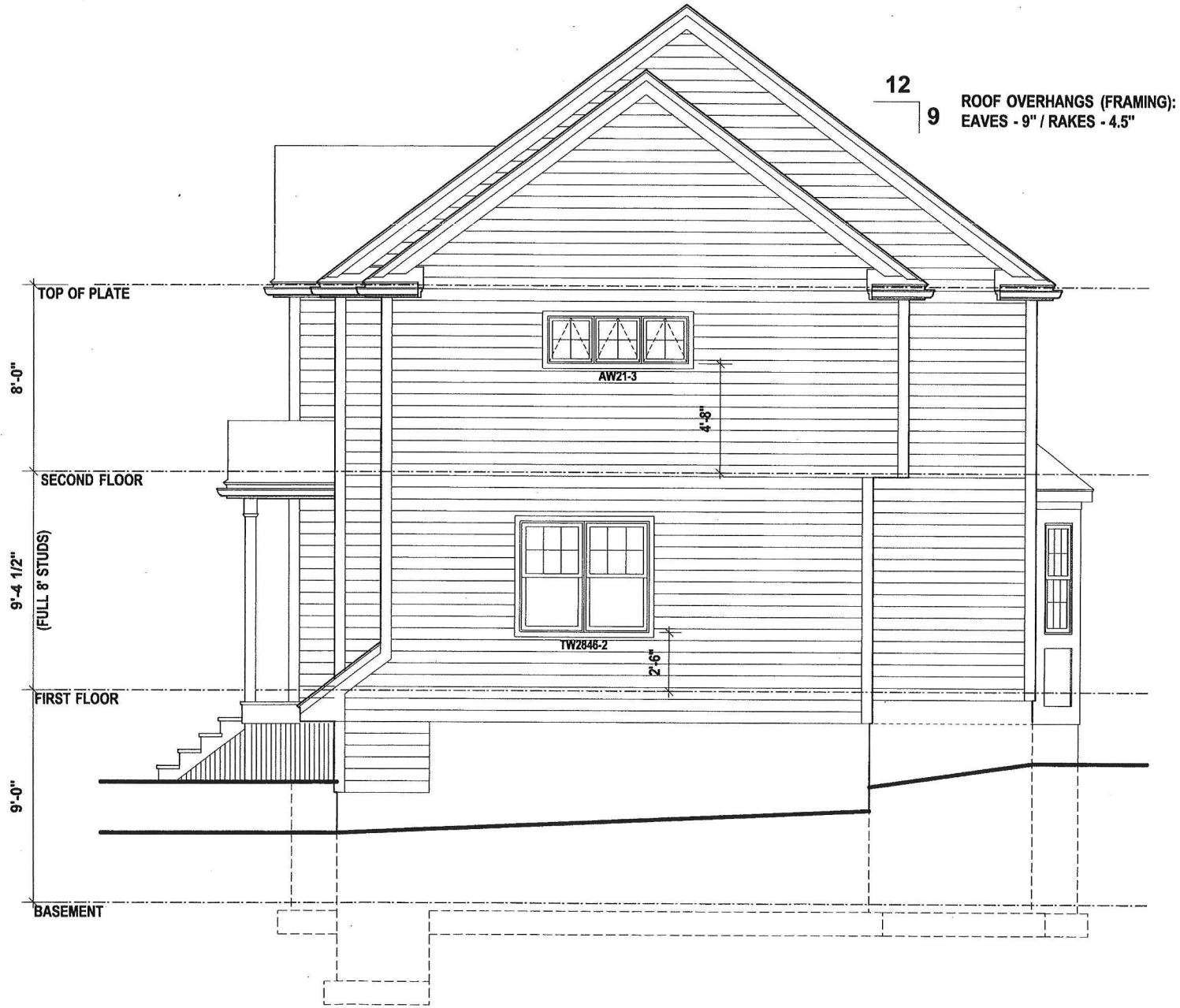
A-1

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SIDE (RIGHT)
ELEVATION

SCALE: 3/16" = 1'-0"

PROPOSED NEW RESIDENCE:
WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS 8/1/13

A-4

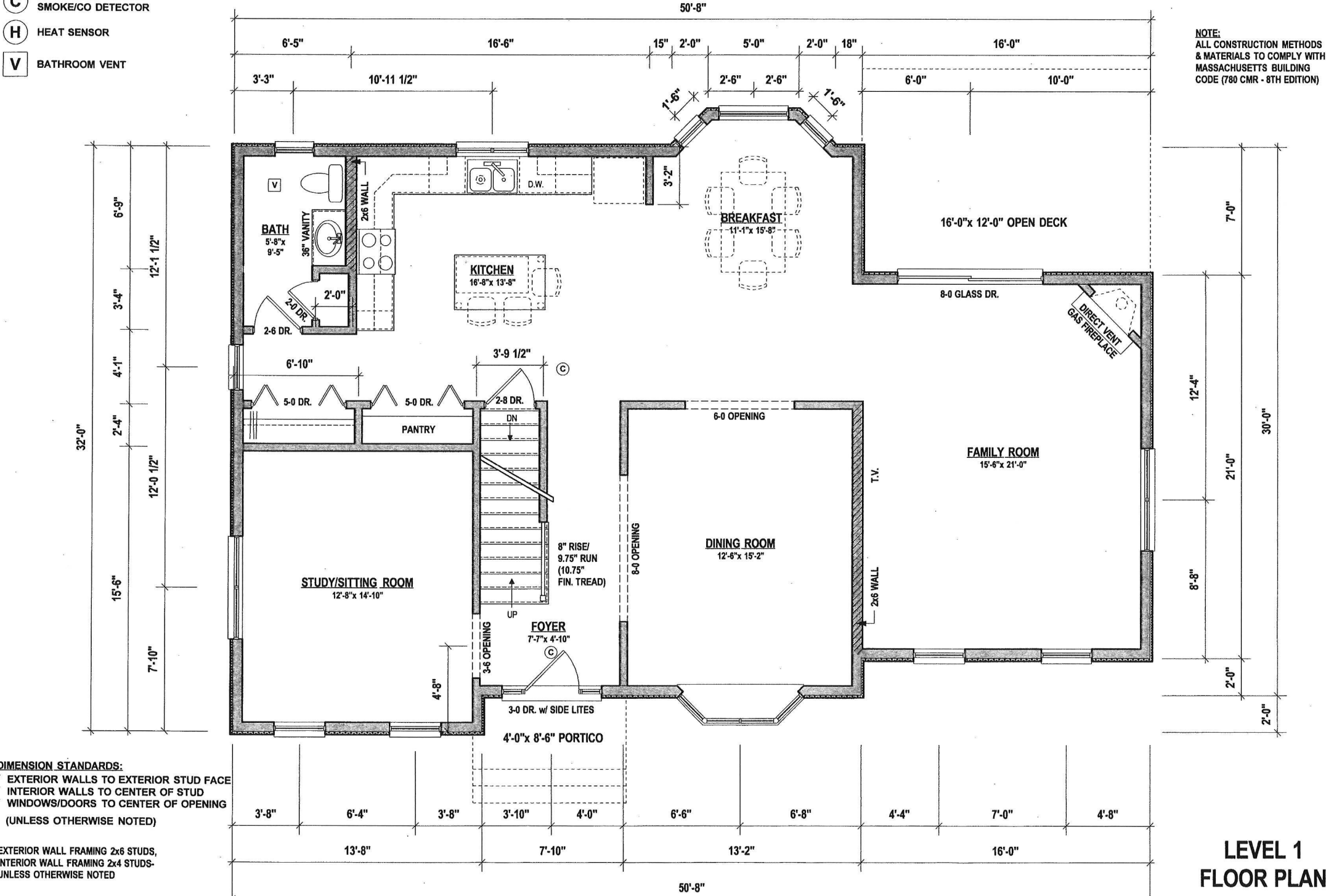
GRAPHIC KEY

- S** HARD-WIRED SMOKE DETECTOR
C HARD-WIRED COMBO SMOKE/CO DETECTOR
H HEAT SENSOR
V BATHROOM VENT

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DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

EXTERIOR WALL FRAMING 2x6 STUDS,
INTERIOR WALL FRAMING 2x4 STUDS-
UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE
CENTERED IN WALL UNLESS OTHERWISE
DIMENSIONED.

LEVEL 1
FLOOR PLAN

SCALE: 3/16" = 1'-0"

PROPOSED NEW RESIDENCE:

WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS	8/1/13

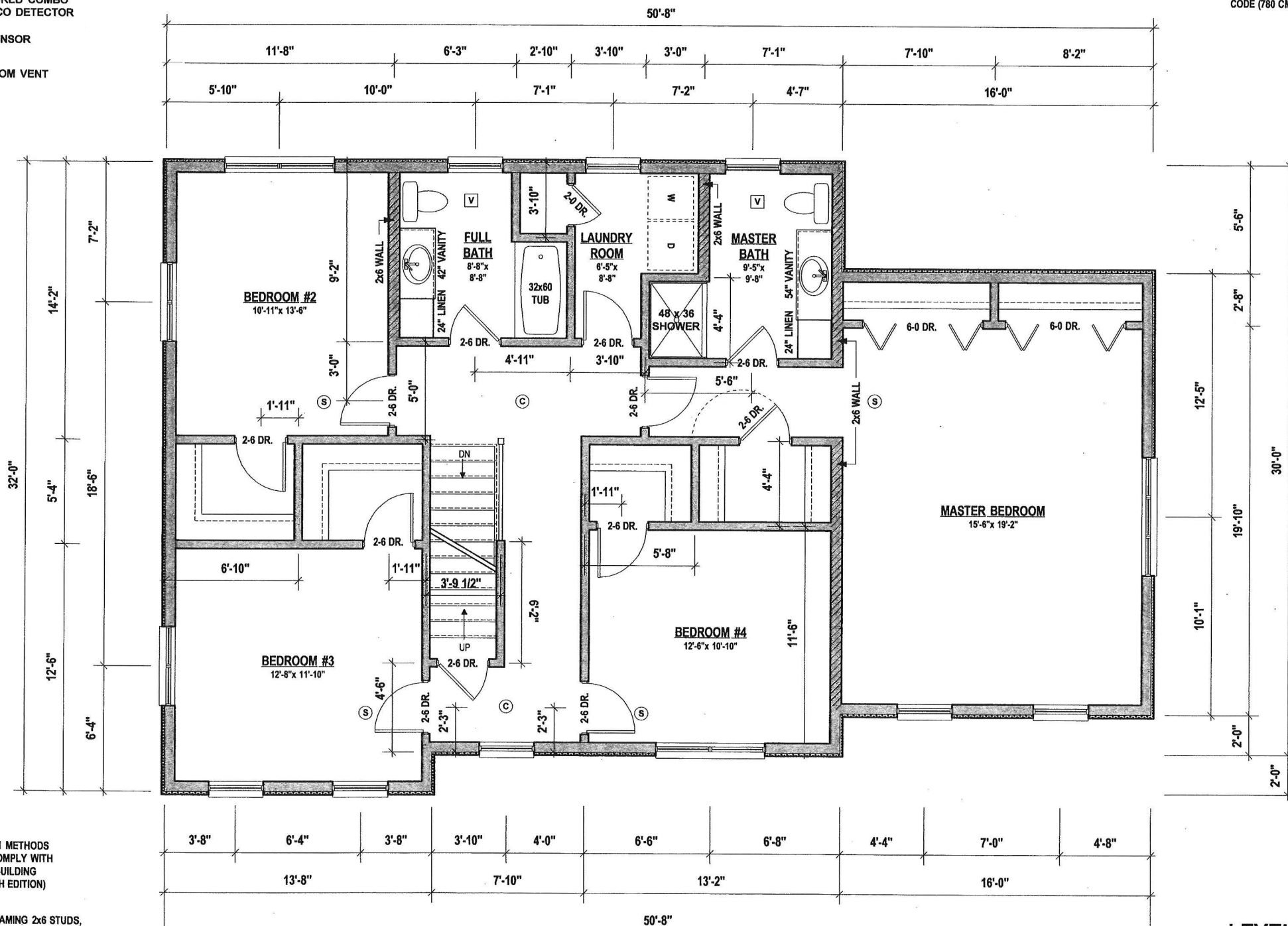
A-2

GRAPHIC KEY

- S** HARD-WIRED SMOKE
DETECTOR
- C** HARD-WIRED COMBO
SMOKE/CO DETECTOR
- H** HEAT SENSOR
- V** BATHROOM VENT

NOTE:
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& MATERIALS TO COMPLY WITH
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NOTES:
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EXTERIOR WALL FRAMING 2x6 STUDS,
INTERIOR WALL FRAMING 2x4 STUDS-
UNLESS OTHERWISE NOTED

DOORS & WALL OPENINGS TO BE
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DIMENSION STANDARDS:

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- * WINDOWS/DOORS TO CENTER OF OPENING
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**LEVEL 2
FLOOR PLAN**

SCALE: 3/16" = 1'-0"

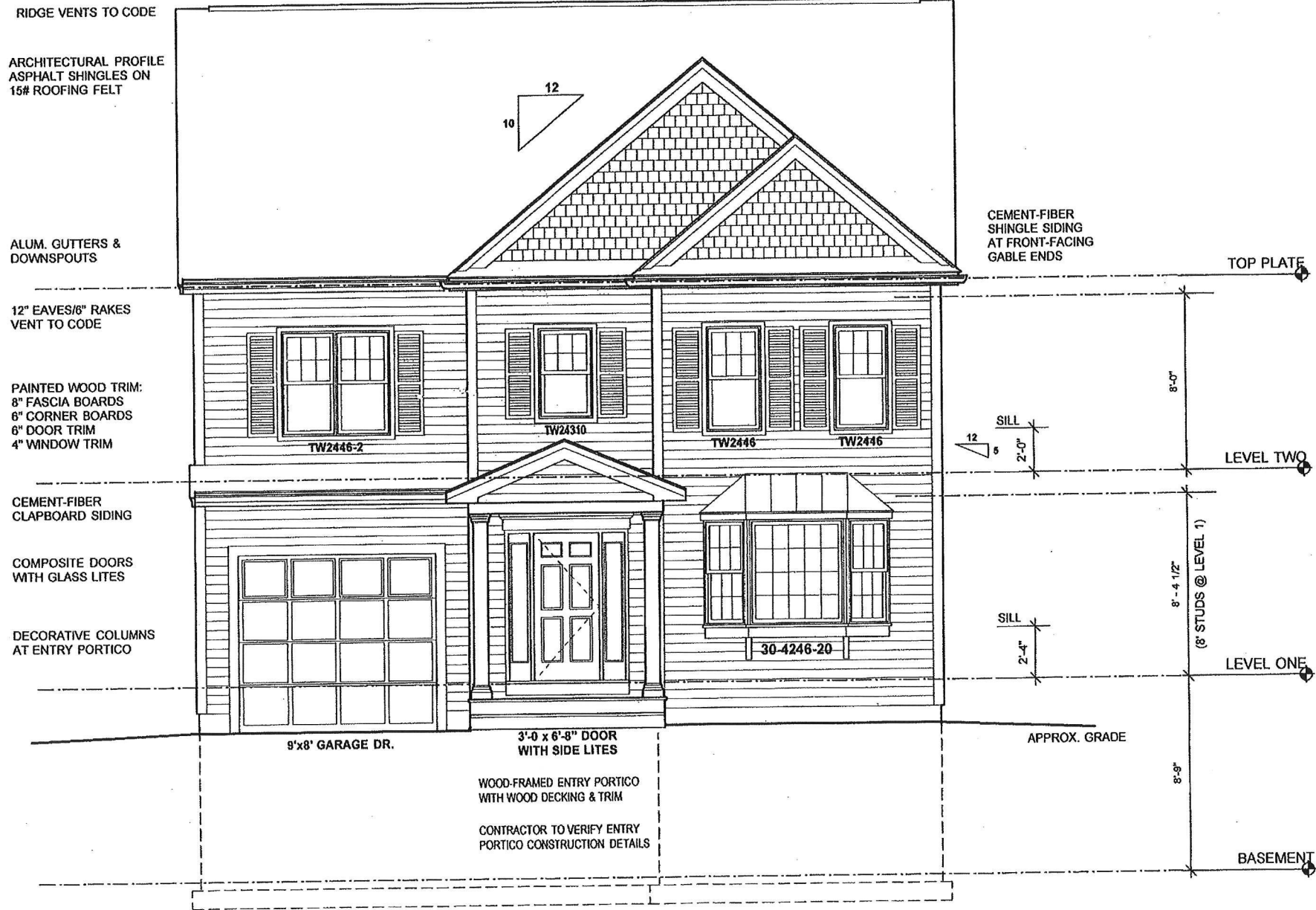
PROPOSED NEW RESIDENCE:

WEST ROXBURY, MASSACHUSETTS

PERMIT DRAWINGS	8/1/13

A-3

NOTES:
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& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING CODE
(780 CMR - 8TH EDITION)



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WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

FRONT ELEVATION

SCALE: 3/16" = 1'-0"

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781-824-2345

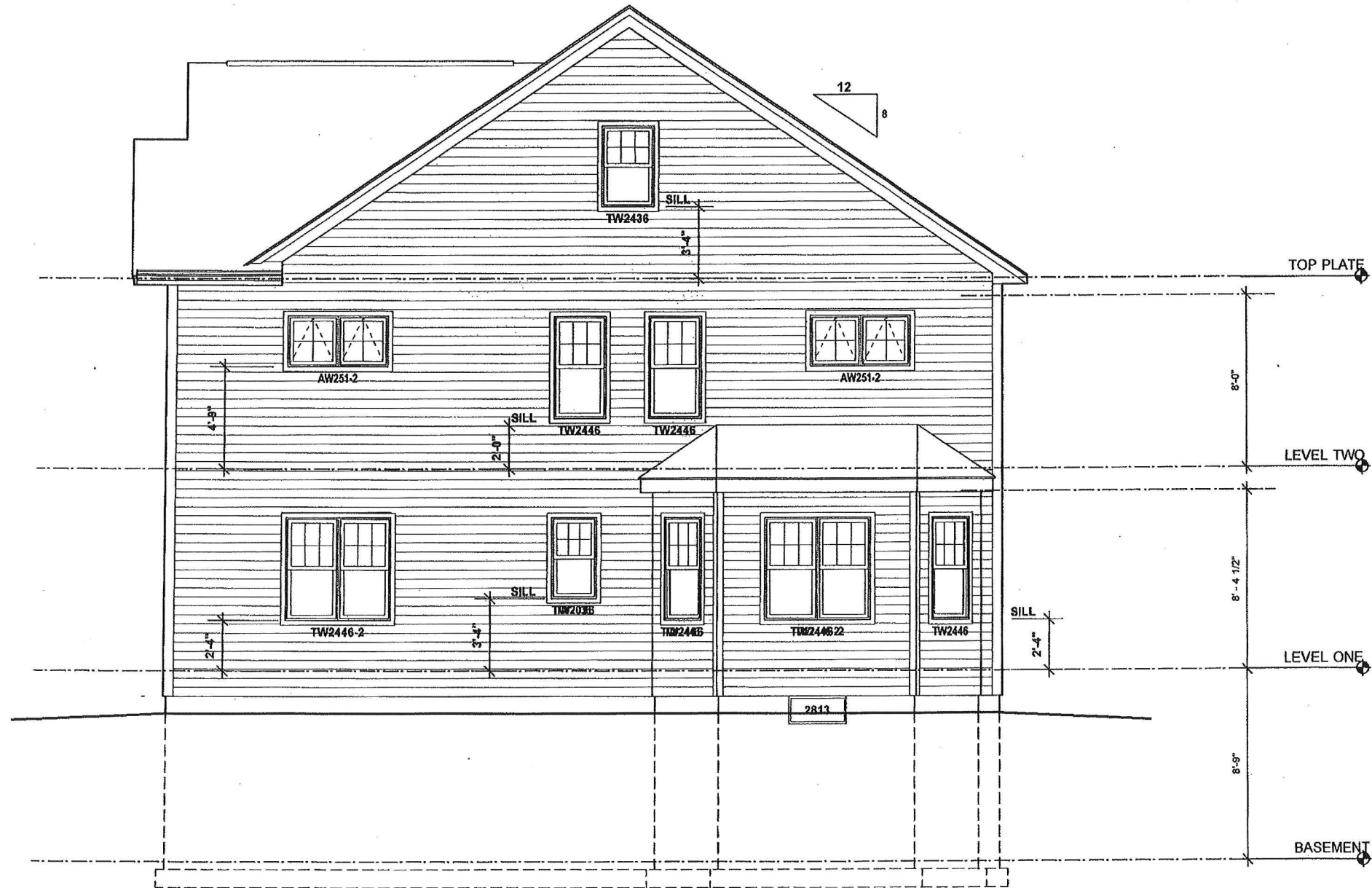
PROPOSED NEW RESIDENCE:

PERMIT DRAWINGS 11/20/13

A-1

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NOTES:
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(780 CMR - 8TH EDITION)



SIDE ELEVATION (YARD)

SCALE: 3/16" = 1'-0"

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WHERE APPLICABLE.

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CANTON, MA 02021
781-424-2943

PROPOSED NEW RESIDENCE:

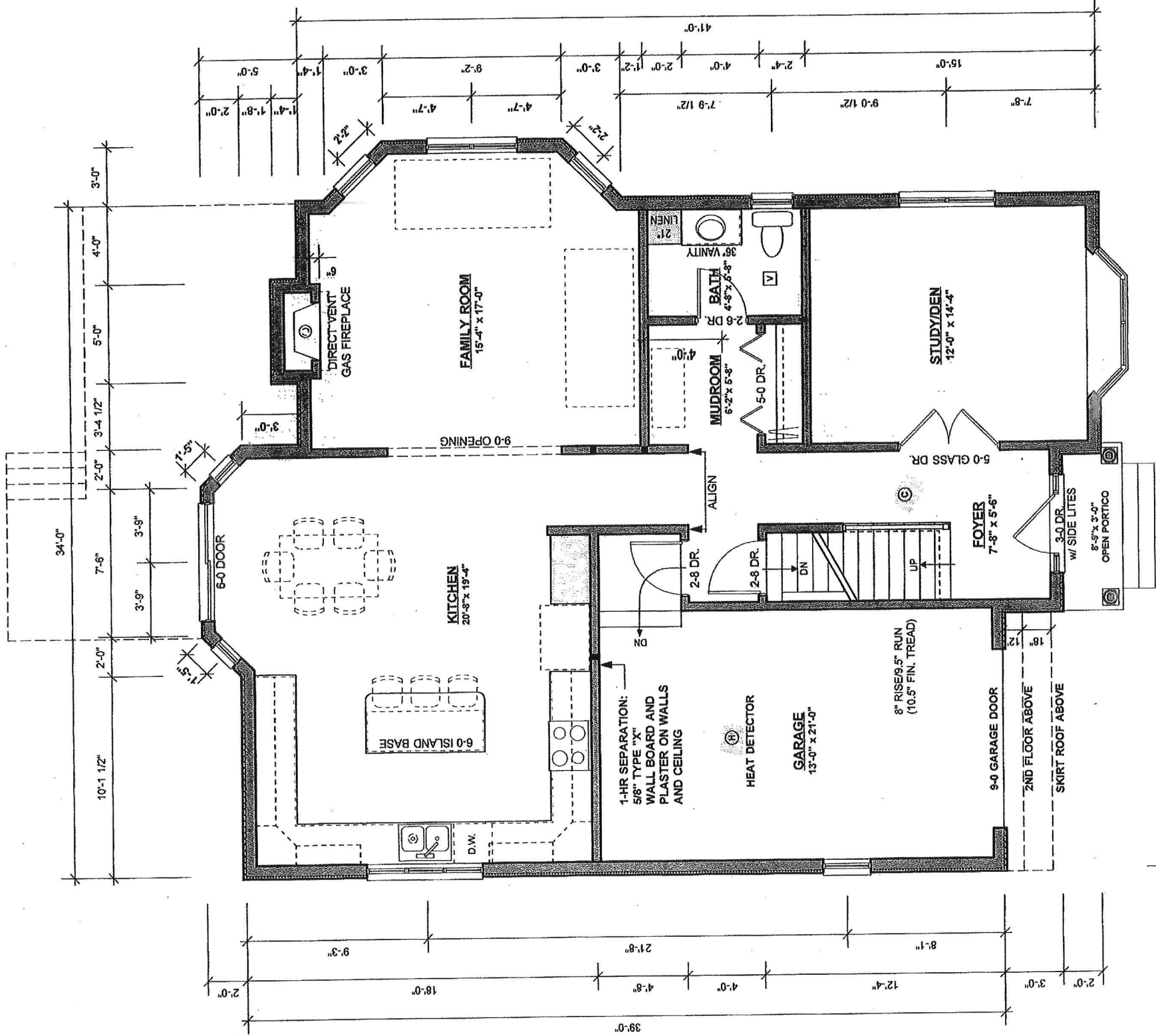
PERMIT DRAWINGS 11/20/13

A-4

DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD.
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

WALL FRAMING:
* EXTERIOR WALLS - 2x6 STUDS
* INTERIOR WALLS - 2x4 STUDS
(UNLESS OTHERWISE NOTED)

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)



- GRAPHIC KEY
- (S) HARD-WIRED SMOKE DETECTOR
 - (C) HARD-WIRED COMBO SMOKE/CO DETECTOR
 - (V) BATHROOM VENT

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LEVEL 1 FLOOR PLAN

SCALE: 3/16" = 1'-0"

PERMIT DRAWINGS 11/20/13

A-5

PROPOSED NEW RESIDENCE.

BOSTON, MA



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781.424.1243

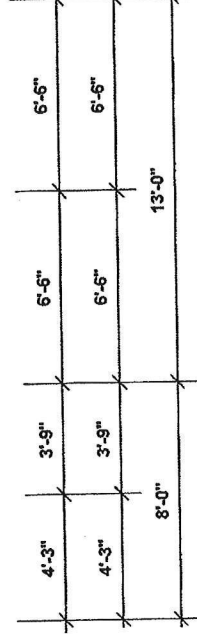
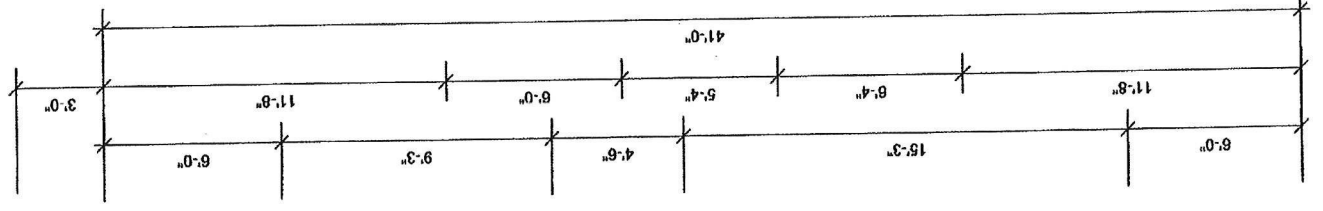
DIMENSION STANDARDS:

- * EXTERIOR WALLS TO EXTERIOR STUD FACE
- * INTERIOR WALLS TO CENTER OF STUD
- * WINDOWS/DOORS TO CENTER OF OPENING

(UNLESS OTHERWISE NOTED)

* EXTERIOR WALLS - 2x6 STUDS
* INTERIOR WALLS - 2x4 STUDS
(UNLESS OTHERWISE NOTED)

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)



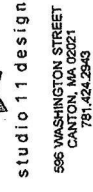
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SCALE: 3/16" = 1'-0"

11/20/13

A-6

NEIGHBORHOOD - BOSTON, MA





DESIGN CRITERIOR

1. Applicable Building Code Mass 8th Edition

2. LOADS

A) DEAD LOADS

- 1) roof 10 psf
- 2) floor 15 psf

B) LIVE LOADS

- 1) first floor 40 psf
- 2) second floor 30 psf
- 3) Attic Areas 20 psf

C) GROUND SNOW LOAD: 40 psf

D) DESIGN WIND SPEED : 100 mph

Edward H. Yeomans
43 Gaslight Lane
N.Easton, MA, 02356
508.238.3873

FRONT Elevation

DATE: 11 JUNE 2010
SCALE: 1/4" = 1'-0"
DWN: E.H. Yeomans
PLAN: 2410-10
REV: 15 NOV 2010

PROPOSED SINGLE FAMILY RESIDENCE
LOT "R" WILLET STREET
WEST ROXBURY, MA

A-1

Edward H. Yeomans
43 Gaslight Lane
N. Easton, MA, 02356
508.238.3873

RIGHT SIDE ELEVATION

DATE: 11 JUNE 2010
SCALE: $\frac{1}{4}" = 1'-0"$
DWN: E.H. Yeomans
PLAN: 2410-10
REV: 15 Nov 2010

PROPOSED SINGLE FAMILY RESIDENCE
LOT "R" WILLET STREET
WEST ROXBURY, MA

A-3



RIGHT SIDE ELEVATION $\frac{1}{4}" = 1'-0"$

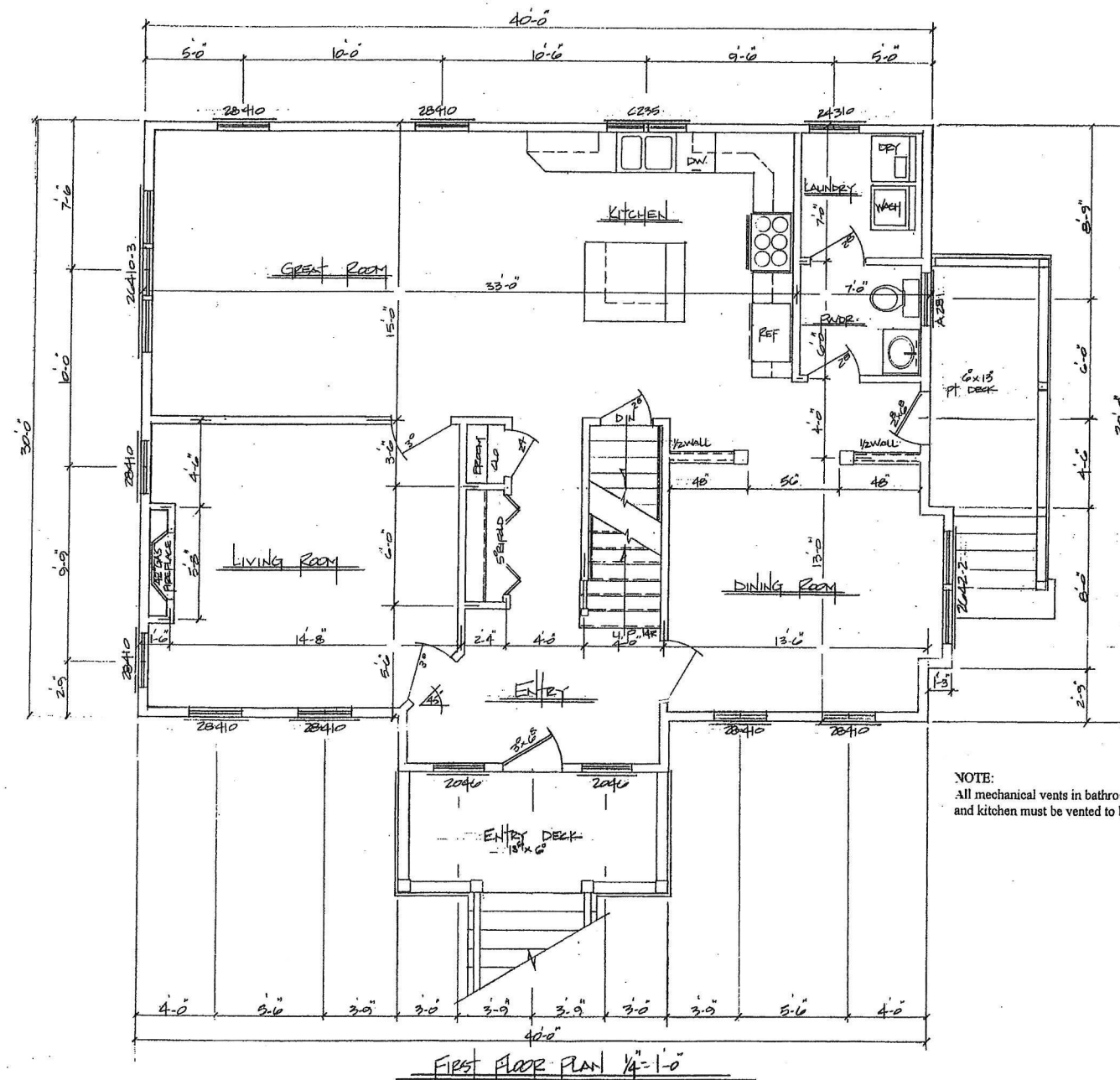
Edward H. Yeomans
43 Gaslight Lane
N.Easton, MA, 02356
508.238.3873

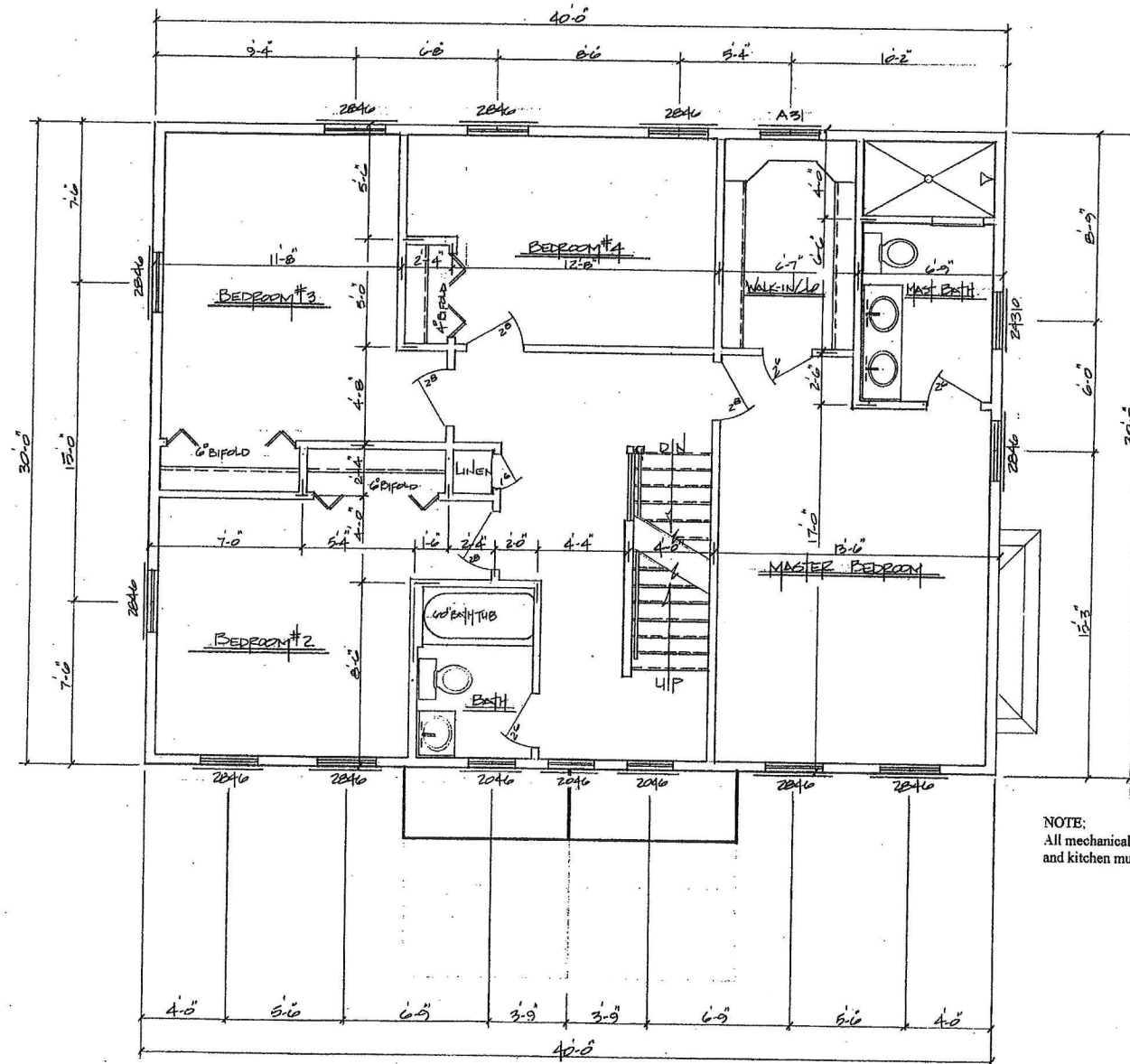
First Floor Plan

DATE: 11 JUNE 2010
SCALE: $1/4" = 1'-0"$
DWN: E.H. Yeomans
PLAN: 2410-10
REV: 15 Nov 2010

PROPOSED SINGLE FAMILY RESIDENCE
LOT "R" WILLET STREET
WEST ROXBURY, MA

A-6





NOTE:
All mechanical vents in bathrooms, laundry room
and kitchen must be vented to building exterior.

Edward H. Yeomans
43 Gaslight Lane
N.Easton, MA, 02356
508.238.3873

SECOND FLOOR PLAN

DATE: 11 JUNE 2010
SCALE: 1/4"=1'-0"
DWN: E.H. Yeomans
PLAN: 2410.10
REV: 15 NOV 2010

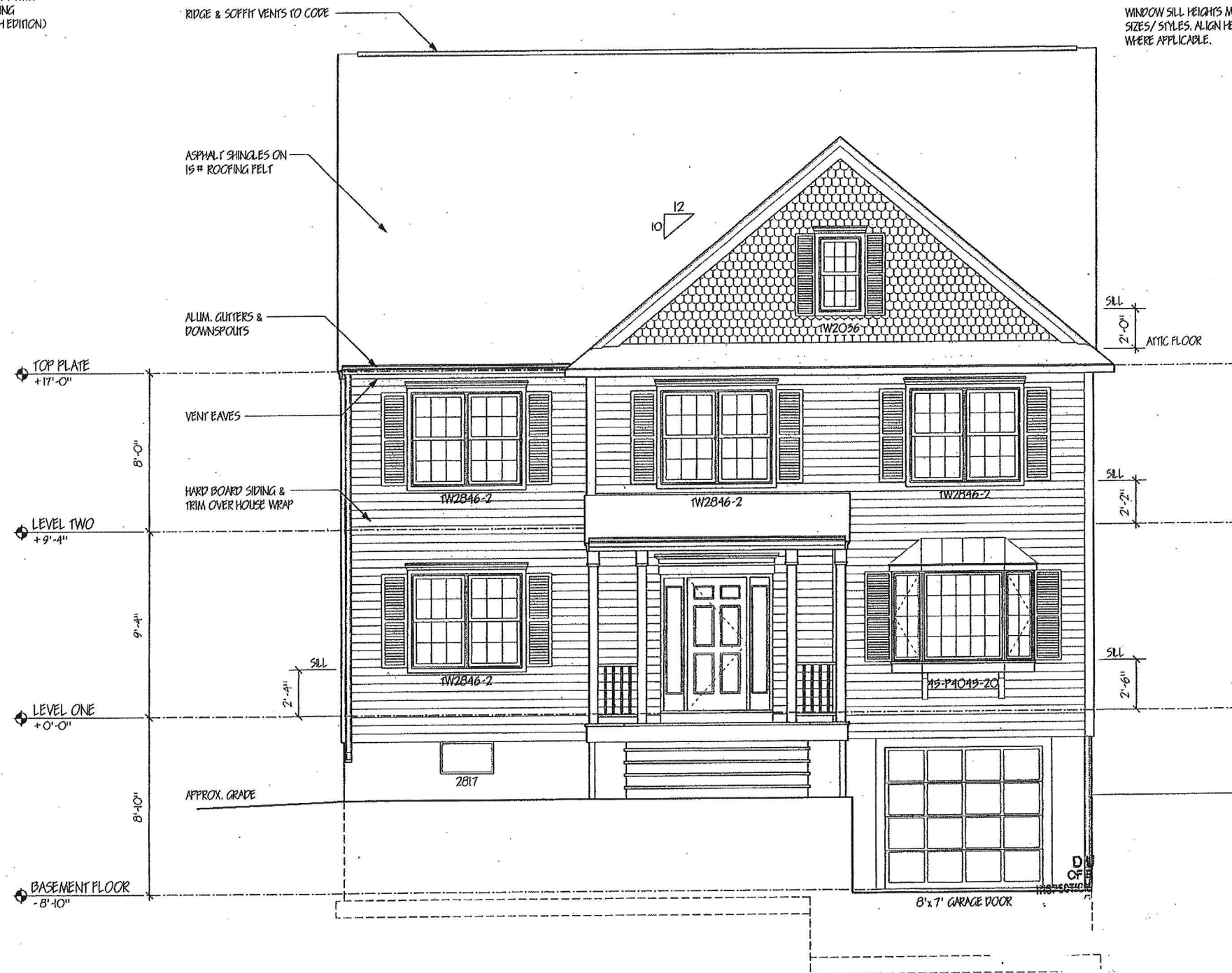
PROPOSED SINGLE FAMILY RESIDENCE
LOT "R" WILLET STREET
WEST ROXBURY, MA

A-7

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
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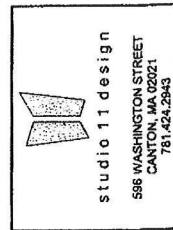
WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
SIZES / STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

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PROPOSED NEW RESIDENCE:
C.A.D. BUILDERS, LLC
WEST ROXBURY NEIGHBORHOOD - BOSTON, MA

PERMIT DRAWINGS	3/01/10

A-1

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 7TH EDITION)

RIDGE & SOFFIT VENTS TO CODE

ASPHALT SHINGLES ON
15# ROOFING FELT

ALUM. GUTTERS &
DOWNSPOUTS

VENT EAVES

VINYL SIDING & TRIM
OVER HOUSE WRAP

APPROX. GRADE

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WEST ROXBURY NEIGHBORHOOD - BOSTON, MA

PERMIT DRAWINGS	3/10/10
REVISION #1	3/21/10

SIDE ELEVATION (YARD)

SCALE: 3/16" = 1'-0"

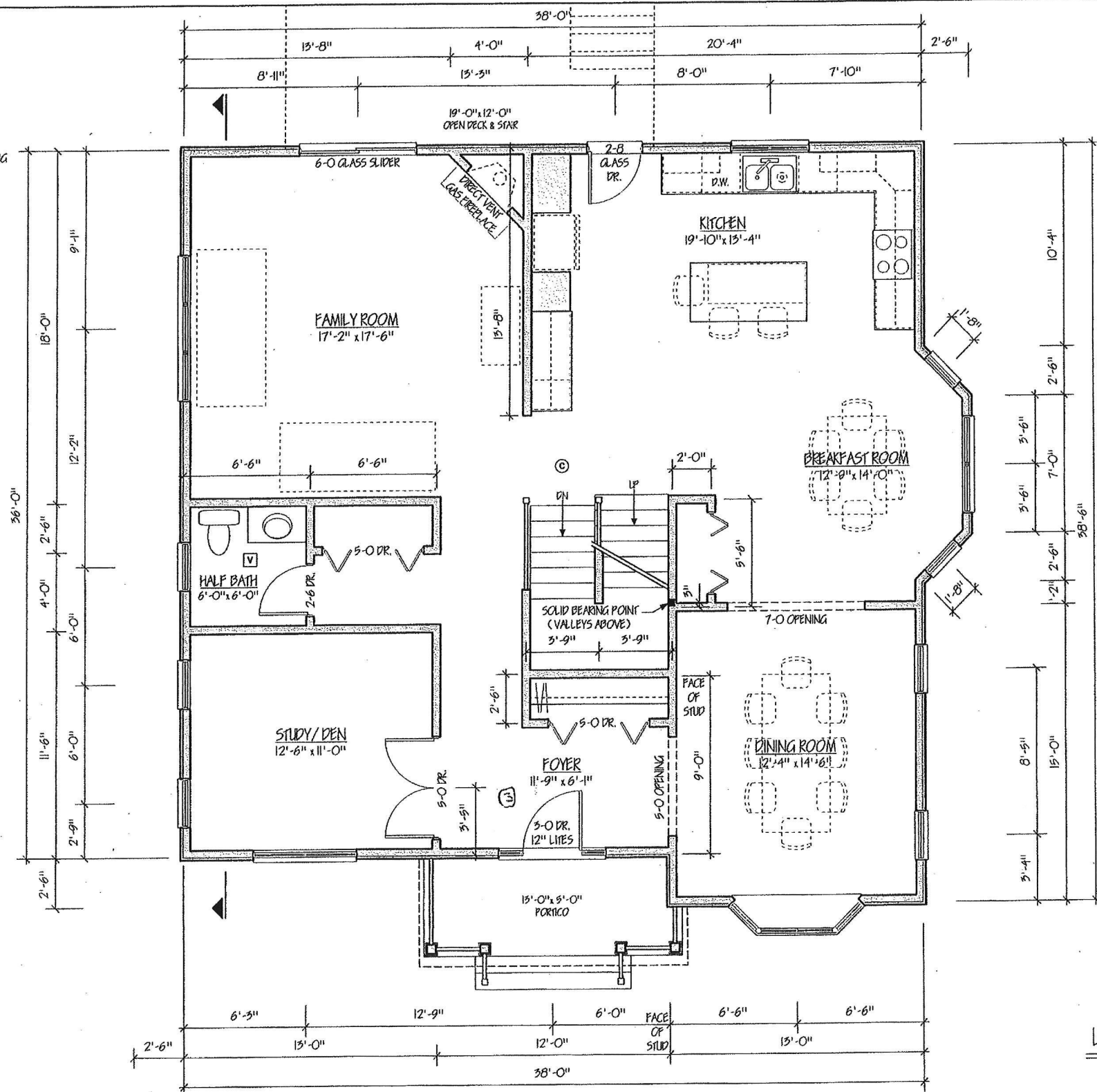
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A-6

NOTES:
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CODE (780 CMR - 7TH EDITION)

DIMENSION STANDARDS:
* EXTERIOR WALLS TO EXTERIOR STUD FACE
* INTERIOR WALLS TO CENTER OF STUD
* WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

GRAPHIC KEY
(S) HARD-WIRED SMOKE
DETECTOR
(C) HARD-WIRED COMBO
SMOKE/CO DETECTOR
(H) HEAT SENSOR
(V) BATHROOM VENT



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C.A.D. BUILDERS, LLC
WEST ROXBURY NEIGHBORHOOD - BOSTON, MA

PERMIT DRAWINGS 3/10/10

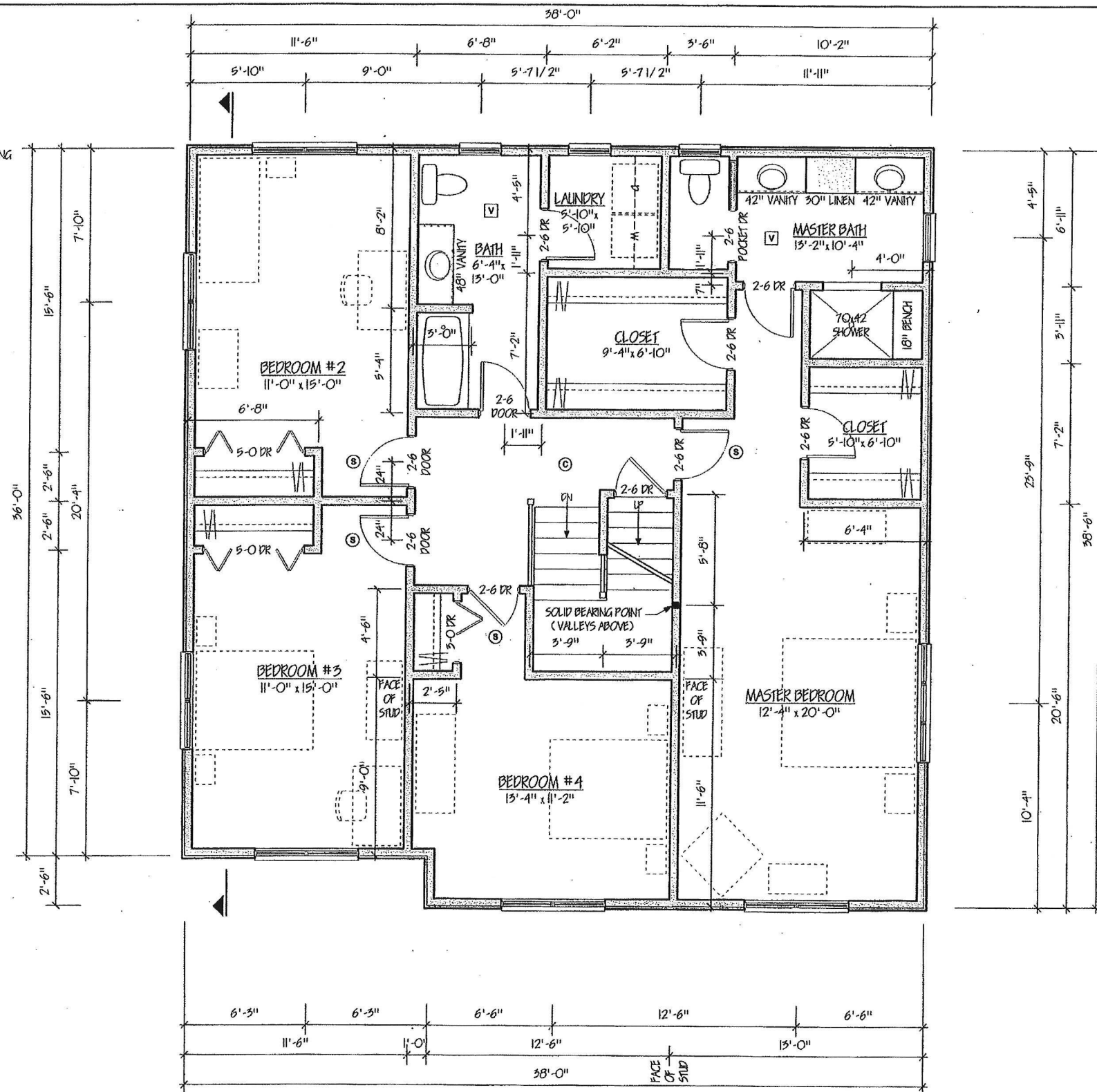
A-2

LEVEL 1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

NOTES:
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& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 7TH EDITION)

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* WINDOWS/DOORS TO CENTER OF OPENING
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GRAPHIC KEY
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DETECTOR
(C) HARD-WIRED COMBO
SMOKE/ CO DETECTOR
(H) HEAT SENSOR
(V) BATHROOM VENT



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CAMBRIDGE, MA 02142
617.489.2543

PROPOSED NEW RESIDENCE:
C.A.D. BUILDERS, LLC
WEST ROXBURY NEIGHBORHOOD - BOSTON, MA

PERMIT DRAWINGS 3/01/10

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ASPHALT/FIBERGLASS ARCHITECTURAL
PROFILE ROOFING SHINGLES
ICE & WATER SHIELD AT 3' FROM
EDGES AND AT VALLEYS

BUILT-UP RAKE BOARDS
(1x10 & 1x4)

SHINGLE-TYPE
HARDBOARD SIDING

ALUMINUM GUTTERS &
DOWNSPOUTS

5/4" x 8"
FRIEZE BOARDS

INTEGRAL
WINDOW TRIM &
16" SHUTTERS

CLAPBOARD-TYPE
HARDBOARD SIDING
(6" EXPOSURE)

5/4" x 6"
CORNER BOARDS

FRAME MAIN ROOF
RAFTERS ON SILL PLATE
ON TOP OF FLOOR

FRAME DORMER
RAFTERS ON
TOP PLATE OF WALL

8'-0"

8'-4 1/2"

10'-0"

FULL 8" STUDS
(SEE SECTION FOR WALL
HEIGHT AT FAMILY ROOM)

1x6 DOOR TRIM

16'x7' GARAGE DOOR

FRONT
ELEVATION

SCALE: 3/16" = 1'-0"

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PRIOR WRITTEN PERMISSION IS UNLAWFUL.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
WHERE APPLICABLE.

studio 11 design
596 WASHINGTON STREET
CAMBRIDGE, MA 02142
781.424.2943

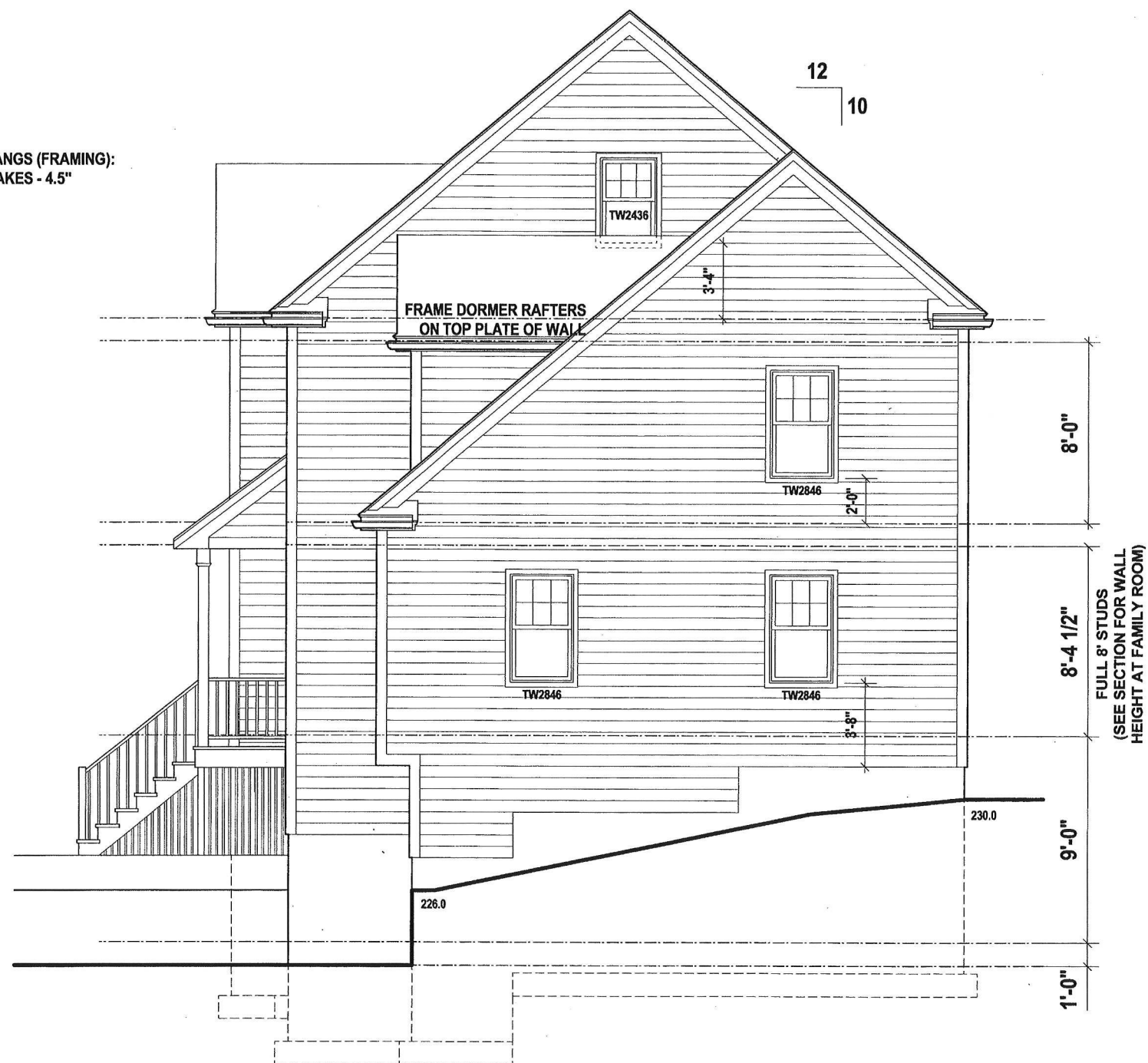
PROPOSED NEW RESIDENCE:

ROSLINDALE, MASSACHUSETTS

PERMIT DRAWINGS	8/15/15
REVISION 1	8/25/15

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ROOF OVERHANGS (FRAMING):
EAVES - 9" / RAKES - 4.5"



RIGHT SIDE
ELEVATION

SCALE: 3/16" = 1'-0"

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DIMENSION STANDARDS:
• EXTERIOR WALLS TO EXTERIOR STUD FACE
• INTERIOR WALLS TO CENTER OF STUD
• WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

WALL FRAMING TO BE 2x4 STUDS
UNLESS OTHERWISE NOTED

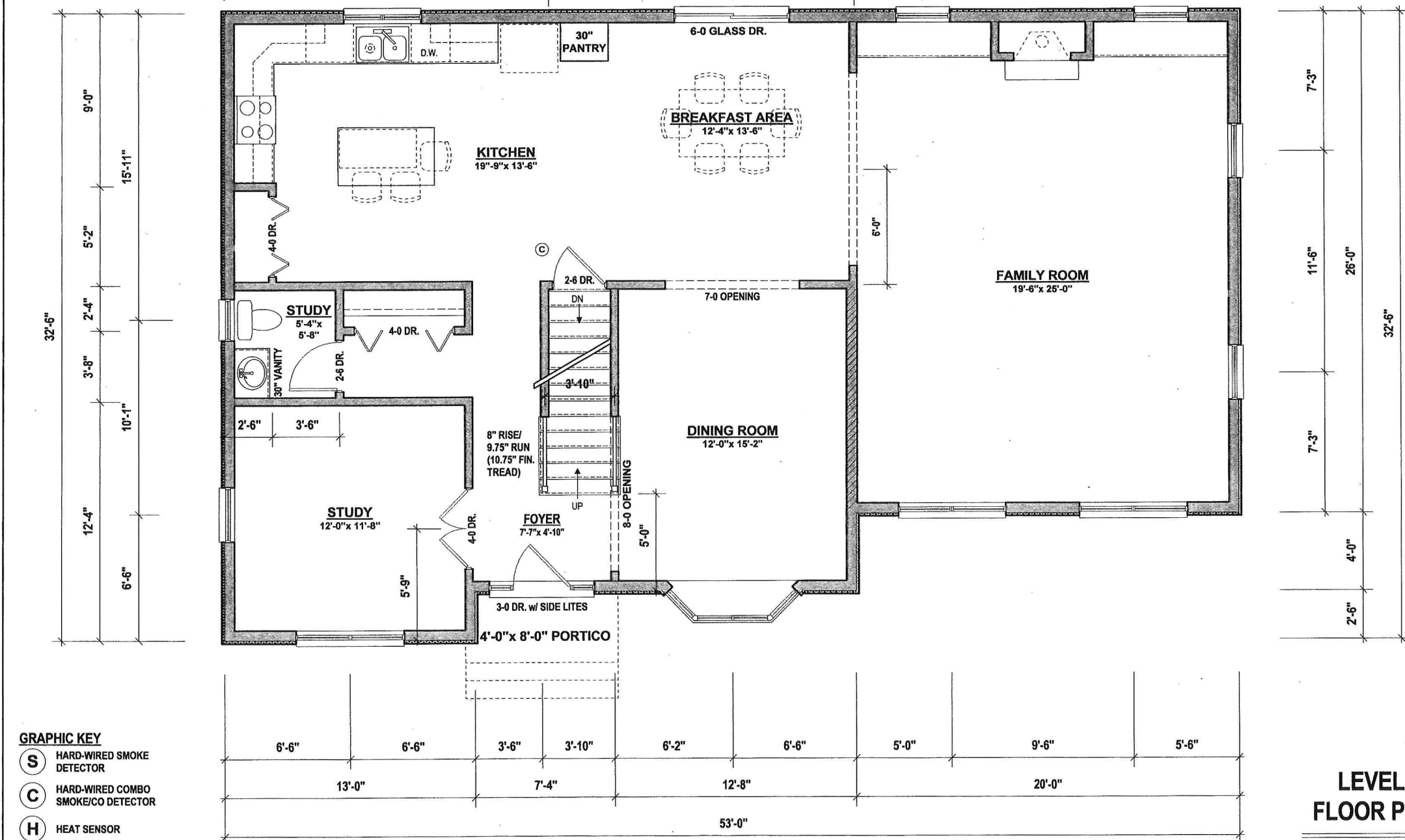
DOORS & WALL OPENINGS TO BE
CENTERED IN WALL UNLESS
OTHERWISE DIMENSIONED.

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NOTE:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)



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PROPOSED NEW RESIDENCE:

ROSLINDALE, MASSACHUSETTS

PERMIT DRAWINGS	8/15/15
REVISION 1	8/25/15

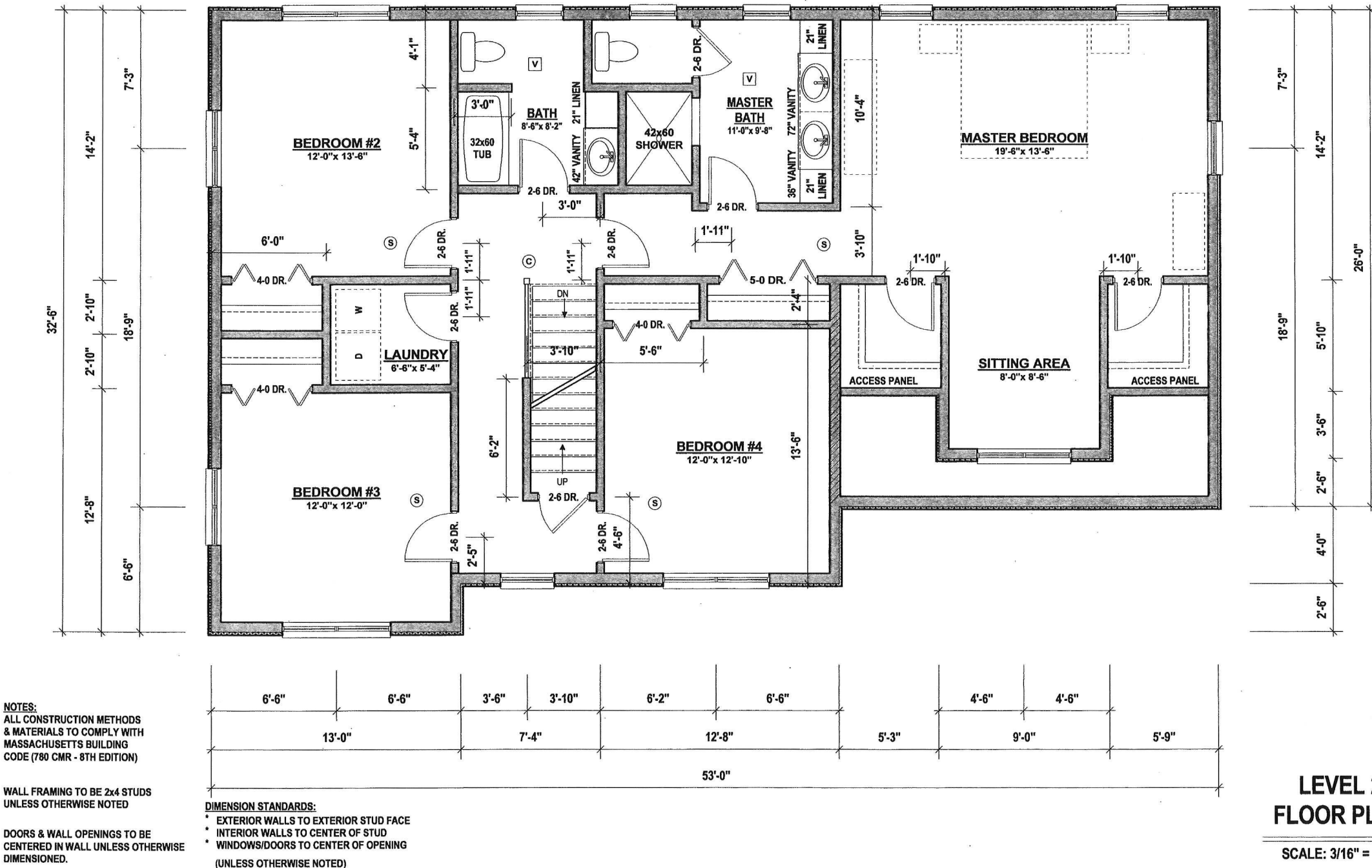
A-2

GRAPHIC KEY

- (S) HARD-WIRED SMOKE DETECTOR
(C) HARD-WIRED COMBO SMOKE/CO DETECTOR
(H) HEAT SENSOR
(V) BATHROOM VENT

NOTE:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)

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PROPOSED NEW RESIDENCE:

ROSLINDALE, MASSACHUSETTS

PERMIT DRAWINGS	8/15/15
REVISION 1	8/25/15

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DESIGN CRITERIOR

1. Applicable Building Code Mass 8th Edition
2. LOADS
 - A) DEAD LOADS
 - 1) roof 10 psf
 - 2) floor 15 psf
 - B) LIVE LOADS
 - 1) first floor 40 psf
 - 2) second floor 30 psf
 - 3) Attic Areas 20 psf
 - C) GROUND SNOW LOAD: 40 psf
 - D) DESIGN WIND SPEED : 100 mph

Edward H. Yeomans
43 Gaslight Lane
N.Easton, MA, 02356
508.238.3873

FRONT Elevation

DATE: 11 JUNE 2010
SCALE: 1/4" = 1'-0"
DWN: E.H. Yeomans
PLAN: 2410-10
REV: 15 NOV 2010

PROPOSED SINGLE FAMILY RESIDENCE
LOT "S" WILLET STREET
WEST ROXBURY MA

A-1

Edward H. Yeomans
43 Gaslight Lane
N.Easton, MA, 02356
508.238.3873

~~RIGHT SIDE ELEVATION~~

DATE: 11 JUN 2010
SCALE: 1/4" = 1'-0"
DWN: E.H. Yeomans
PLAN: 2410-10
REV: 15 Nov 2016

PROPOSED SINGLE FAMILY RESIDENCE
LOT "S" WILLET STREET
WEST ROXBURY MA

A-3



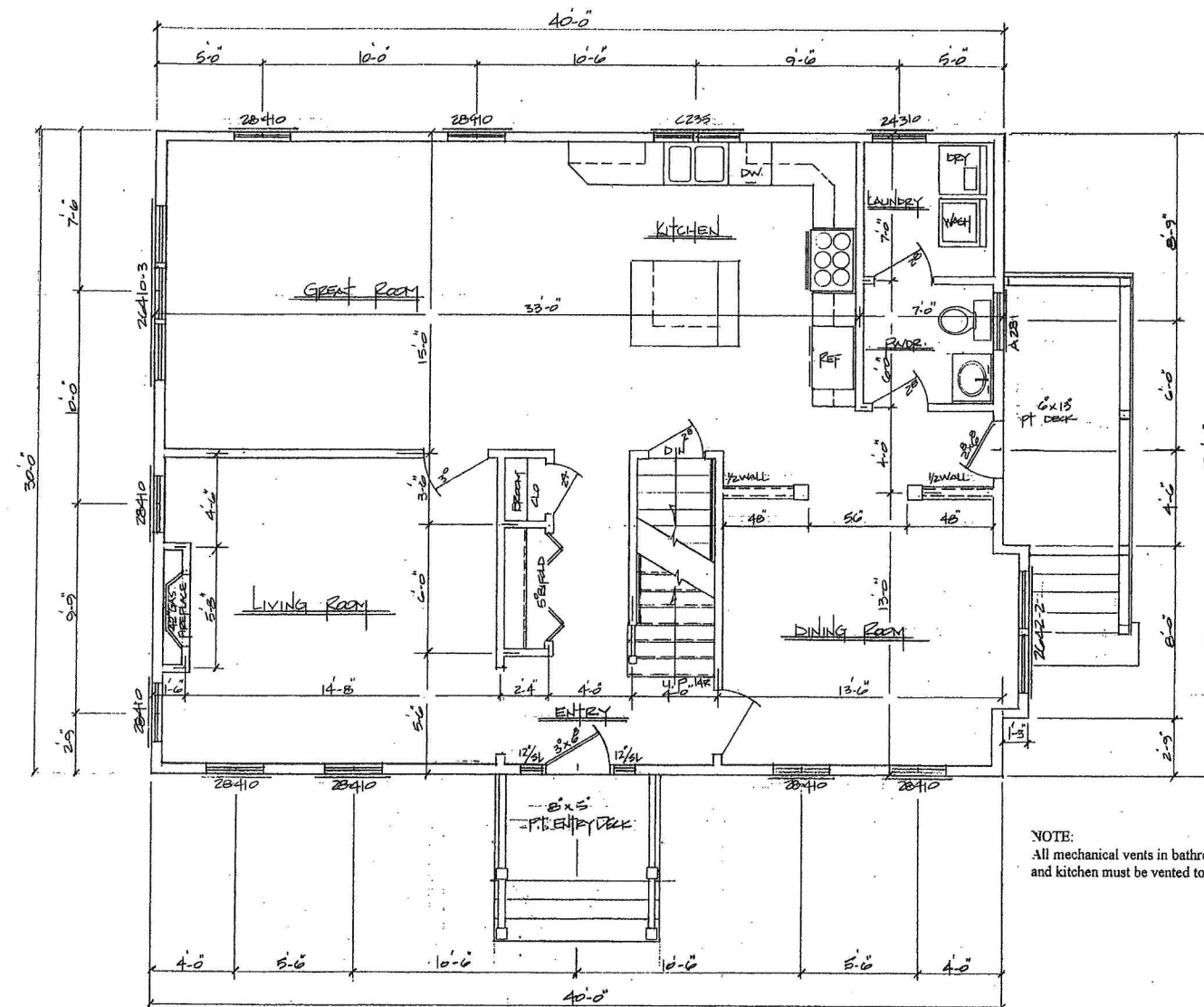
Edward H. Yeomans
43 Gaslight Lane
N.Easton, MA, 02356
508.238.3873

First Floor Plan

DATE: 11 JUN 2010
SCALE: 4" = 1'-0"
DWN: E.H. Yeomans
PLAN: 2410-10
REV: 15 Nov 2010

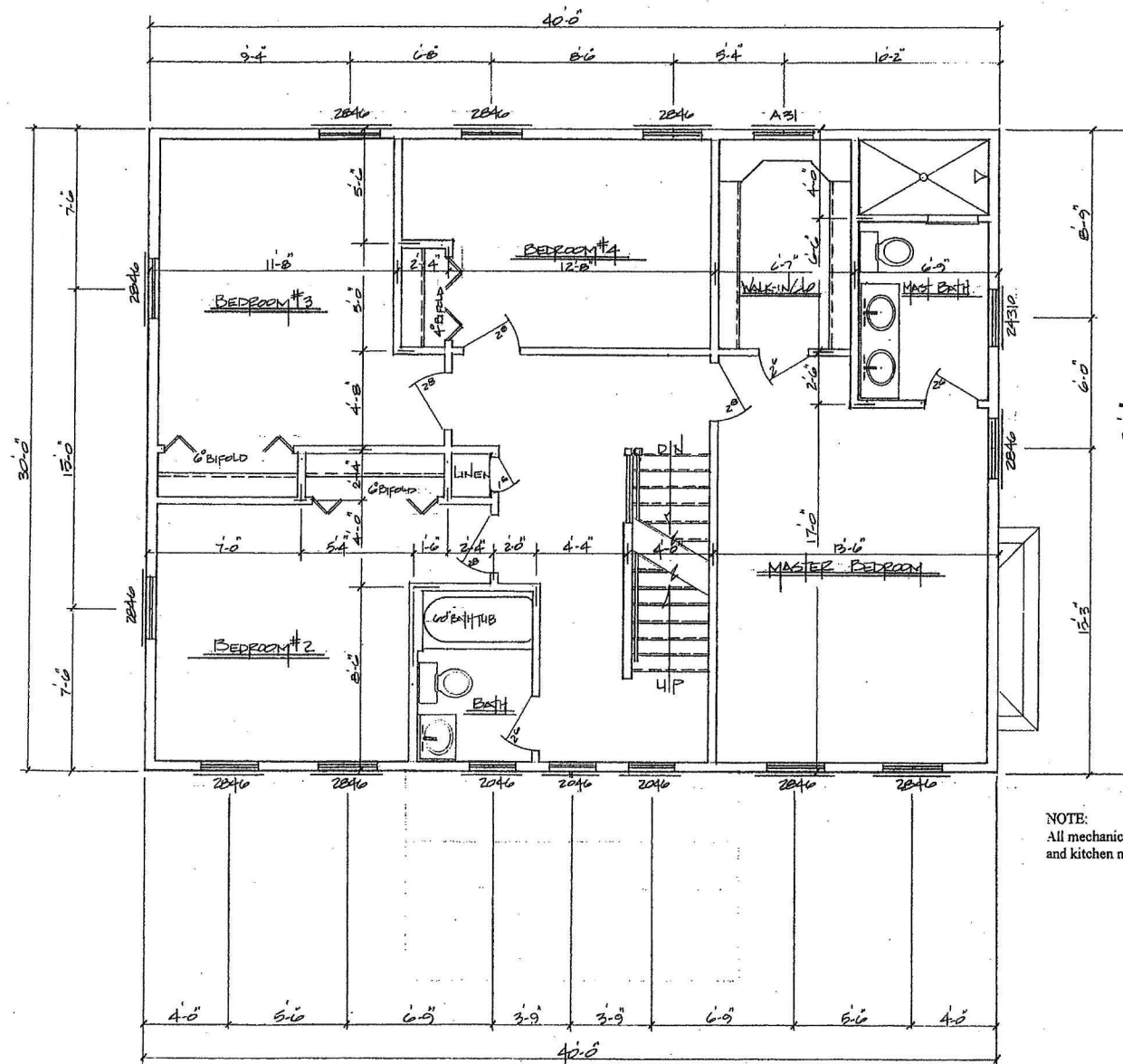
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LOT "S" WILLET STREET
WEST ROXBURY MA

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NOTE:
All mechanical vents in bathrooms, laundry room
and kitchen must be vented to building exterior.

FIRST FLOOR PLAN $\frac{1}{4}'' = 1' - 0''$



NOTE:
All mechanical vents in bathrooms, laundry room
and kitchen must be vented to building exterior.

SECOND FLOOR PLAN 1/4"=1'-0"

Edward H. Yeomans
43 Gaslight Lane
N.Easton, MA, 02356
508.238.3873

SECOND FLOOR PLAN

DATE: 11 JUNE 2010
SCALE: 1/4"=1'-0"
DWN: E.H. Yeomans
PLAN: 2410-10
REV: 15 NOV 2010

PROPOSED SINGLE FAMILY RESIDENCE
LOT "S" WILLET STREET
WEST ROXBURY MA

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