

	Civil Drawing List	Issue Date	Revision Date
C-001	Land Development Plan	01/11/14	02/19/14
C-002	Land Development Details	01/11/14	02/19/14
	Landscape Drawing List		
L-001	Landscape Plan	01/13/14	02/26/14

Architectural Drawing List			
Architectural Drawing List	Sheet Name	Sheet Issue Date	Current Revision Date
A-000	Cover Sheet	01/10/14	02-28/14
A-001	General Notes & Abbreviations	01/10/14	
A-011	Code Review	01/10/14	02-28-14
A-100	Garage & First Floor Plans	01/10/14	02-28-14
A-101	Second & Third Floor Plans	01/10/14	02-28-14
A-102	Roof Plan	01/10/14	02-28-14
A-200	Garage & First Floor Reflected Ceiling Plans	01/10/14	02-28-14
A-201	Second & Third Reflected Ceiling Plans	01/10/14	02-28-14
A-300	Elevations	01/10/14	02-28-14
A-301	Elevations	01/10/14	02-28-14
A-400	Building Section	01/10/14	02-28-14
A-401	Building Section	01/10/14	02-28-14
A-500	Wall Section & Details	01/10/14	02-28-14
A-520	Roof Details	01/10/14	
A-610	Enlarged Bathroom Plans & Elevations	01/10/14	02-28-14
A-620	Enlarged Kitchen & Bathroom Plans & Elevations	01/10/14	02-28-14
A-710	Stair Details	01/10/14	
A-900	Door & Window Schedules	01/10/14	02-28-14
A-910	Partition Types	01/10/14	02-28-14

Structural Drawing List			
Structural Drawing List	Sheet Name	Sheet Issue Date	Current Revision Date
S-1	Foundation, Garage & First Floor Plans	11/04/13	02/24/14
S-2	Second, Third & Roof Plans	11/04/13	02/24/14
S-3	Foundation Elevation Details	11/04/13	02/24/14
S-4	Typical Details Sheet 1	11/04/13	02/24/14
S-5	Typical Details Sheet 2	11/04/13	02/24/14
S-6	Shear Wall Details	11/04/13	02/24/14
S-7	Structural Notes	11/04/13	02/24/14

FP Drawing List			
SP-1	Sprinkler System Plan	12/11/13	02/24/14
SP-2	Sprinkler System Plan	12/11/13	02/24/14
FA0.01	Fire Alarm Legend,Notes,One Line Diagram, Garage & First Floor Plans	11/13/13	02/24/14
FA1.01	2nd and 3rd Floor Fire Alarm Plans	11/13/13	02/24/14



364-370 BEECH STREET RESIDENCE PERMIT SET 01-10-2014



ARCHITECT
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T:(617)-591-8682

STRUCTURAL
BOMBARDIER
131 Lincoln Street
ABINGTON, MA 02351
T:(508)-631-3332
F:(781)-871-2062

CIVIL ENGINEER
NORWOOD ENGINEERING CO. INC.
1410 ROUTE ONE
NORWOOD, MA 02062
T:(781)-762-0143

CLIENT
NTABOS REALTY TRUST

FIRE PROTECTION
MASS FIRE PREVENTION
96 RESERVOIR PARK DRIVE
ROCKLAND, MA
T:781-871-0131
F:781-878-4799

FIRE ALARM
VINCENT A.DILORIO, INC.
89 ACCESS ROAD SUITE 18
NORWOOD, MA 02062
T:(781)-255-9754
F:(781)-255-9725

PROJECT NAME
364-370 BEECH ST RESIDENCES
PROJECT ADDRESS
364-370 BEECH STREET
BOSTON, MA
CLIENT
NTABOS REALTY TRUST

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13002
Date 01-10-2014
Drawn by AB/MT
Checked by JSK
Scale

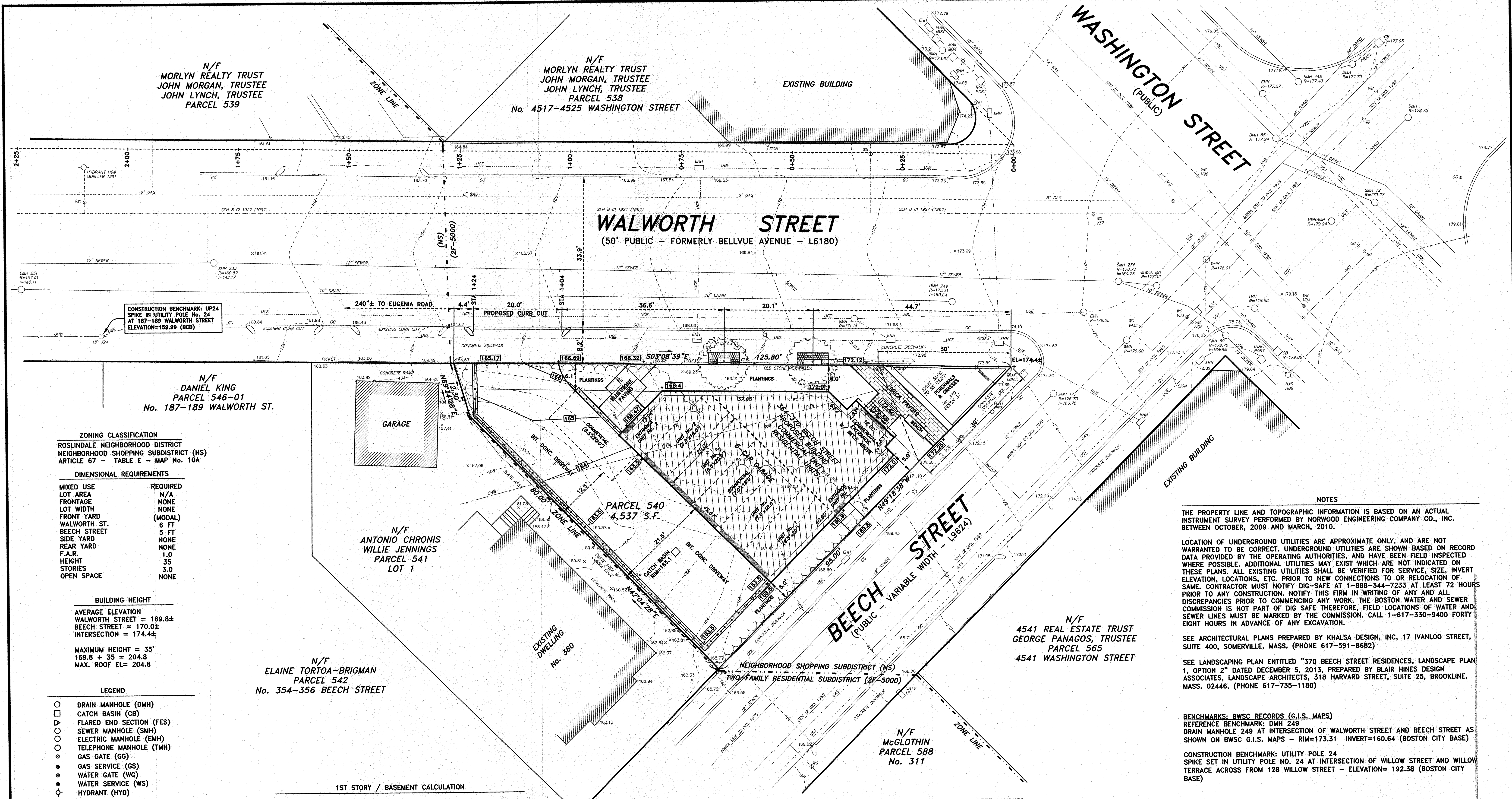
REVISIONS

No.	Description	Date

Cover Sheet

A-000

364-370 BEECH ST RESIDENCES



N/F
MORLYN REALTY TRUST
JOHN MORGAN, TRUSTEE
JOHN LYNCH, TRUSTEE
PARCEL 539

N/F
MORLYN REALTY TRUST
JOHN MORGAN, TRUSTEE
JOHN LYNCH, TRUSTEE
PARCEL 538
No. 4517-4525 WASHINGTON STREET

WALWORTH STREET
(50' PUBLIC - FORMERLY BELLVUE AVENUE - L6180)

WASHINGTON STREET
(PUBLIC)

CONSTRUCTION BENCHMARK: UP24
SPIKE IN UTILITY POLE No. 24
AT 187-189 WALWORTH STREET
ELEVATION=159.99 (BCB)

N/F
DANIEL KING
PARCEL 546-01
No. 187-189 WALWORTH ST.

ZONING CLASSIFICATION
ROSLINDALE NEIGHBORHOOD DISTRICT
NEIGHBORHOOD SHOPPING SUBDISTRICT (NS)
ARTICLE 67 - TABLE E - MAP No. 10A

DIMENSIONAL REQUIREMENTS	
MIXED USE	REQUIRED
LOT AREA	N/A
FRONTAGE	NONE
LOT WIDTH	NONE
FRONT YARD	(MODAL)
WALWORTH ST.	5 FT
BEECH STREET	5 FT
SIDE YARD	NONE
REAR YARD	NONE
F.A.R.	1.0
HEIGHT	35
STORIES	3.0
OPEN SPACE	NONE

BUILDING HEIGHT
AVERAGE ELEVATION
WALWORTH STREET = 169.8±
BEECH STREET = 170.0±
INTERSECTION = 174.4±

MAXIMUM HEIGHT = 35'
169.8 + 35 = 204.8
MAX. ROOF EL= 204.8

LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- ▽ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- ◇ HYDRANT (HYD)
- ◇ SPLASH BLOCK
- ☆ LIGHT POLE (LP)
- ☆ PROPOSED LAMP POST (LAMP)
- ☆ UTILITY POLE (UP)
- ☆ UTILITY POLE w/ LIGHT (UP/LP)
- HAND HOLE (HH)
- GC VERTICAL GRANITE CURB (GC)
- SGE SLOPED GRANITE EDGING (SGE)
- BB BITUMINOUS CONCRETE BERM (BB)
- CCB CAPE COD BERM (CCB)
- CC PRECAST CONCRETE CURB (CC)
- EP EDGE OF PAVEMENT (EP)
- SIGN

N/F
ELAINE TORTOA-BRIGMAN
PARCEL 542
No. 354-356 BEECH STREET

N/F
ANTONIO CHRONIS
WILLIE JENNINGS
PARCEL 541
LOT 1

N/F
4541 REAL ESTATE TRUST
GEORGE PANAGOS, TRUSTEE
PARCEL 565
4541 WASHINGTON STREET

N/F
McGLOTHIN
PARCEL 588
No. 311

1ST STORY / BASEMENT CALCULATION	
FRONT	
AVG GRADE x DISTANCE	
172.25 x 5.54 = 954.265	
172.50 x 12.00 = 2070.000	
172.25 x 8.65 = 1489.963	
RIGHT SIDE	
AVG GRADE x DISTANCE	
170.20 x 37.63 = 6404.626	
168.43 x 13.94 = 2347.914	
REAR	
AVG GRADE x DISTANCE	
164.00 x 7.00 = 1140.000	
163.50 x 40.67 = 6649.545	
LEFT SIDE	
AVG GRADE x DISTANCE	
170.25 x 40.00 = 6810.000	
PERIMETER	165.43 27874.313
AVERAGE GRADE	27874.3/165.43 = 168.495

FRONT YARD MODAL STUDY		
WALWORTH ST. MODAL STUDY - SETBACK= 6 FT*		
ADDRESS	SETBACK	FRONTAGE
185 WALWORTH ST	6 FT	115 FT
187 WALWORTH ST	3 FT	61 FT
360 BEECH ST**	4 FT	47 FT
370 BEECH ST**	0 FT	128 FT
BEECH STREET MODAL STUDY - SETBACK= 0 FT*		
ADDRESS	SETBACK	FRONTAGE
352 BEECH ST	4 FT	45 FT
356 BEECH ST	5 FT	82 FT
360 BEECH ST	12 FT	47 FT
370 BEECH ST	0 FT	95 FT

* SETBACKS AS DETERMINED BY INSPECTIONAL SERVICES DEPARTMENT

**360 & 370 BEECH STREET ARE THROUGH LOTS WITH FRONTAGE ON WALWORTH STREET

DEED REFERENCE:
SUFFOLK COUNTY REGISTRY
BOOK 51098 - PAGE 236
BOOK 39981 - PAGE 006
BOOK 23152 - PAGE 221

PLAN REFERENCE:
SUFFOLK COUNTY REGISTRY
BOOK 7821 - PAGE 370
BOOK 5275 - PAGE 121
BOOK 4904 - PAGE END
BOOK 4634 - PAGE 141

POST OFFICE ADDRESS:
4535 WASHINGTON STREET

ASSESSOR'S ADDRESS:
370 BEECH STREET &
4535 WASHINGTON STREET

ASSESSOR'S REFERENCE:
MAP No. 20075
PARCEL 20-00540-000

CITY STREET LAYOUTS:
BEECH STREET L-9624
WALWORTH STREET L-9773
WASHINGTON STREET L-11085
EUGENIA ROAD L-8308

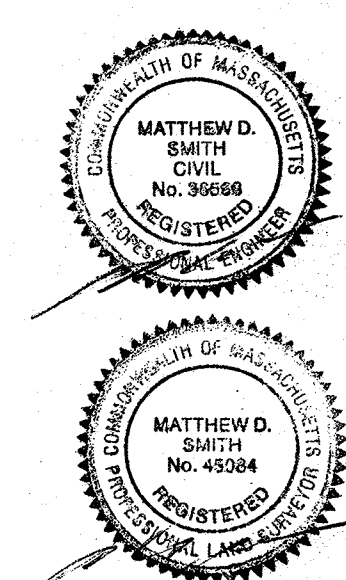
CITY SURVEY NOTES:
BOOK 1184 PAGE 76
BOOK 1121 PAGE 02
BOOK 692 PAGE 92

BOARD OF SURVEY NOTES:
BOOK 192 PAGE 102

BWSC PLANS:
WATER & SEWER G.I.S. MAPS
BWSC PLAN No. Z01-88
BWSC PLAN No. W6-44
BWSC PLAN No. H-1944
BWSC PLAN No. H-1399
BWSC PLAN No. H-1280
BWSC PLAN No. H-463
BWSC PLAN No. A71-21
BWSC PLAN No. A64-47

OWNER/APPLICANT:
NTBOS REALTY TRUST
PETER V. DAVOS, TRUSTEE
14 BROADLAWN PARK
CHESTNUT HILL, MA 02467

CONTACT:
PETER DAVOS
1-617-719-8688



BUILDING PERMIT PLAN
370 BEECH STREET
BOSTON, MASS.
(ROSLINDALE - 02131-4022)
SCALE: 1"=10' JANUARY 11, 2014
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595
SHEET No. 1 OF 1 6949-07

NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY NORWOOD ENGINEERING COMPANY CO., INC. BETWEEN OCTOBER, 2009 AND MARCH, 2010.

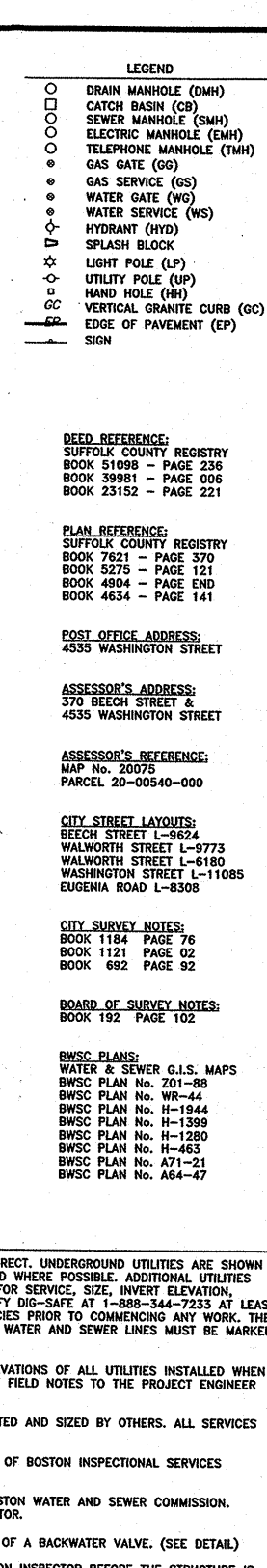
LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

SEE ARCHITECTURAL PLANS PREPARED BY KHALSA DESIGN, INC, 17 IVANLOO STREET, SUITE 400, SOMERVILLE, MASS. (PHONE 617-591-8682)

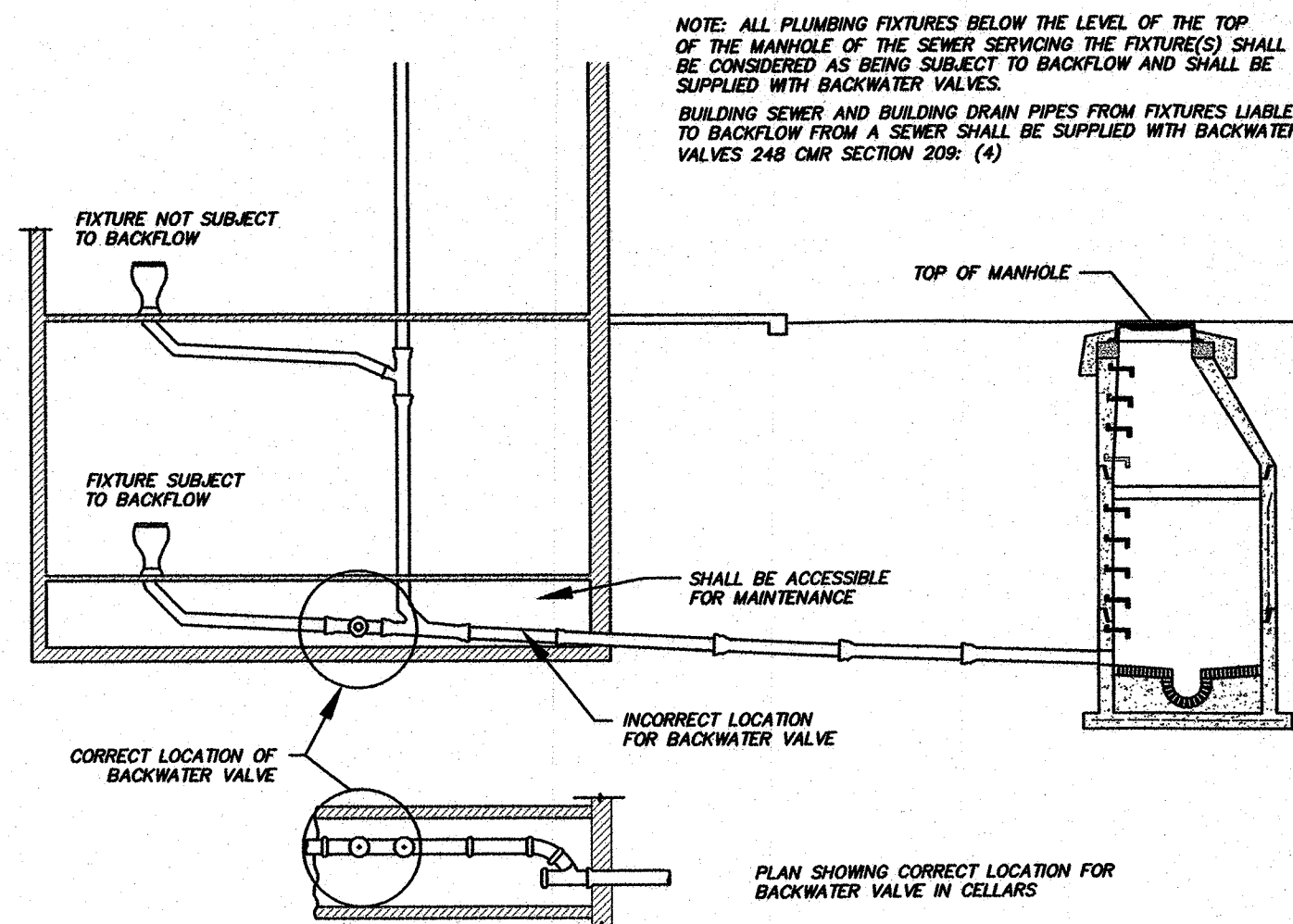
SEE LANDSCAPING PLAN ENTITLED "370 BEECH STREET RESIDENCES, LANDSCAPE PLAN 1, OPTION 2" DATED DECEMBER 5, 2013, PREPARED BY BLAIR HINES DESIGN ASSOCIATES, LANDSCAPE ARCHITECTS, 318 HARVARD STREET, SUITE 25, BROOKLINE, MASS. 02446, (PHONE 617-735-1180)

BENCHMARKS: BWSC RECORDS (G.I.S. MAPS)
REFERENCE BENCHMARK: DMH 249
DRAIN MANHOLE 249 AT INTERSECTION OF WALWORTH STREET AND BEECH STREET AS SHOWN ON BWSC G.I.S. MAPS - RIM=173.31 INVERT=160.64 (BOSTON CITY BASE)

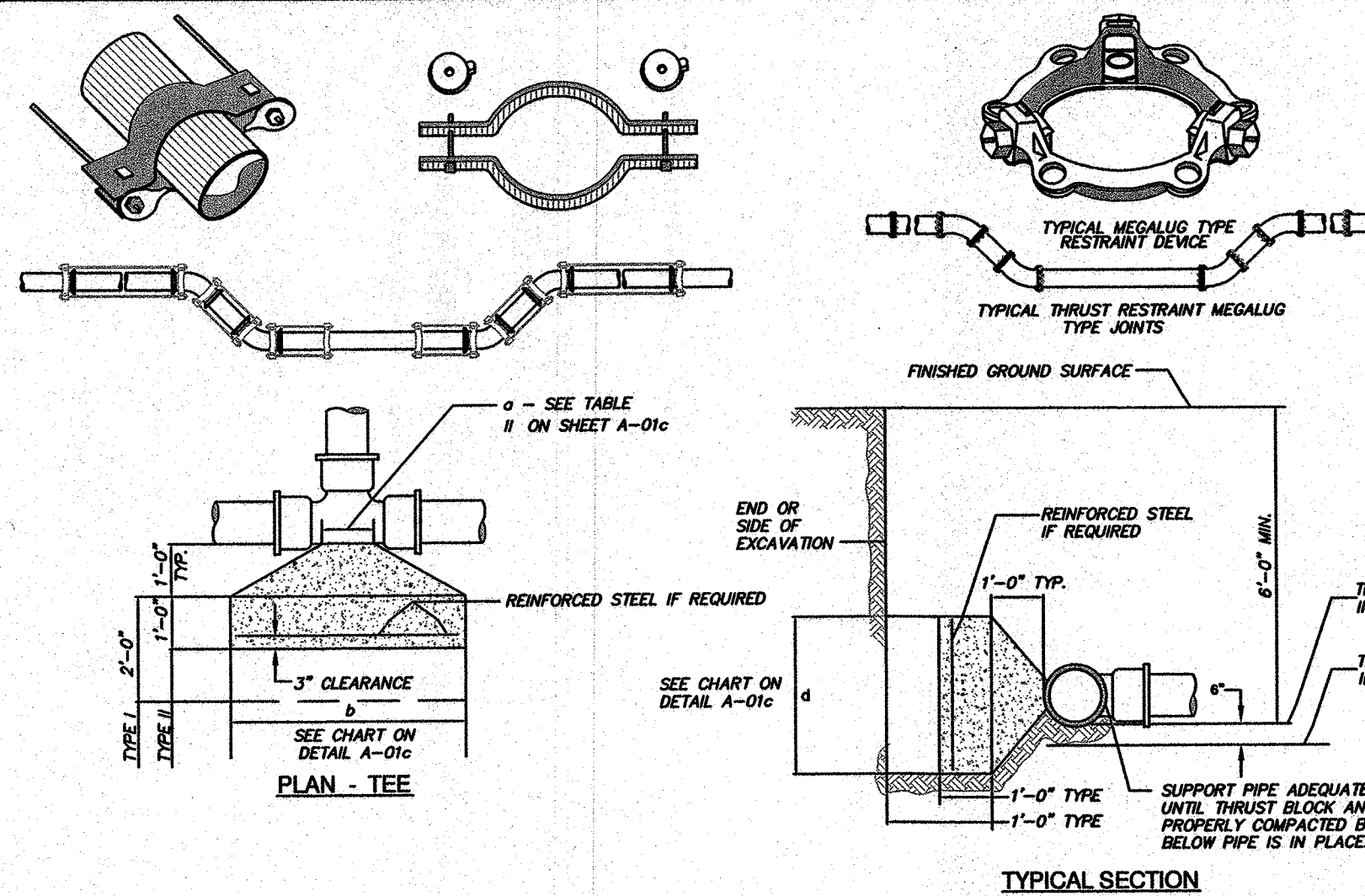
CONSTRUCTION BENCHMARK: UTILITY POLE 24
SPIKE SET IN UTILITY POLE NO. 24 AT INTERSECTION OF WILLOW STREET AND WILLOW TERRACE ACROSS FROM 128 WILLOW STREET - ELEVATION= 192.38 (BOSTON CITY BASE)



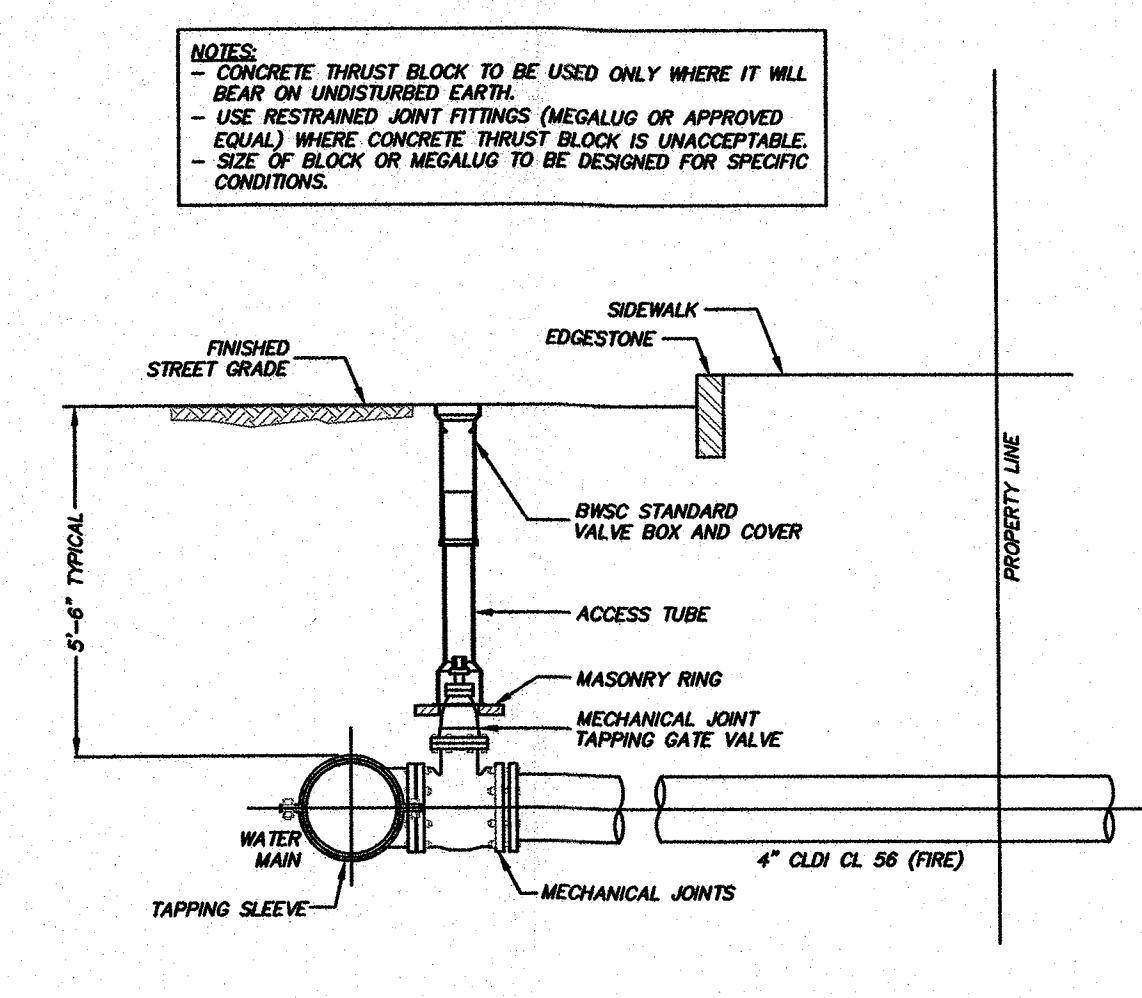
BWSC USE ONLY	
BOSTON WATER AND SEWER COMMISSION LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS	
<small>Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for issue of Building Permit Only. Additional Permits must be obtained from B.W.S.C. prior to connection to B.W.S.C. facilities. Site Plans are valid for a period of one (1) year from date of approval.</small>	
JOHN P. SULLIVAN, JR. P.E., Chief Engineer	DATE _____
BACKWATER VALVE INSTALLATION	
APPROVAL: _____	DATE: <u>2/27/14</u>
CROSS CONNECTION	
APPROVAL: _____	DATE: <u>2/27/14</u>
<small>All water, sewer and drain service connections to Boston Water and Sewer Commission facilities must be performed by a bonded drain layer licensed by the Boston Water and Sewer Commission.</small>	
BWSC INSPECTIONS	
370 BEECH ST (EXIST)	BWSC ACCOUNT No. 626562000
G.S.A. No. _____	WATER METER No. 03041028
ASSESSORS PARCEL <u>20-00540-000</u>	
LAND USE CODE <u>(C) EXISTING COMMERCIAL BUILDING</u>	
(A) CUT & CAP EXISTING WATER ON SITE (STA 0+56 BEECH ST) INSPECTOR _____ DATE _____	
(B) RETURN WATER METER & MTU TO BWSC (INSIDE) INSPECTOR _____ DATE _____	
(C) CUT & CAP EXISTING SEWER ON SITE (STA 0+31 WALWORTH ST) INSPECTOR _____ DATE _____	
364-370 BEECH ST (PROP) BWSC ACCOUNT No. _____ G.S.A. No. _____ WATER METER No. _____ ASSESSORS PARCEL <u>20-00540-000</u> LAND USE CODE <u>(RC) PROPOSED MIXED RESIDENTIAL COMMERCIAL</u>	
(1) CUT & CAP WATER SERVICE AT MAIN (STA 0+56 BEECH ST) INSPECTOR _____ DATE _____	
(2) CUT & CAP SEWER SERVICE AT MAIN (STA 0+54 WALWORTH ST) INSPECTOR _____ DATE _____	
(3) 2" TYPE K COPPER WATER SERVICE (STA 0+47 WALWORTH ST) INSPECTOR _____ DATE _____	
(4) 1" MASTER WATER METER (INSIDE) INSPECTOR _____ DATE _____	
(5) 4" D.I.C.L. CLASS 56 FIRE SERVICE (STA 0+49 WALWORTH ST) INSPECTOR _____ DATE _____	
(7) 6" PVC SDR-35 SEWER (STA 0+77 WALWORTH ST) INSPECTOR _____ DATE _____	
(8) SEWER CLEANOUT (STA 0+77 WALWORTH ST) INSPECTOR _____ DATE _____	
(8) SEWER DYE TEST INSPECTOR _____ DATE _____	
(9) 6" PVC SDR-35 DRAIN (STA 1+05 WALWORTH ST) INSPECTOR _____ DATE _____	
(10) DRAIN CLEANOUT (STA 1+04 WALWORTH ST) INSPECTOR _____ DATE _____	
(10) DRAIN DYE TEST INSPECTOR _____ DATE _____	
(11) INFILTRATION SYSTEM (3-CULTEC 330XLHD CHAMBERS OR EQUAL) INSPECTOR _____ DATE _____	
(12) SHALLOW CATCH BASIN w/ PVC 'TEE' OIL TRAP INSPECTOR _____ DATE _____	
(12) BWSC "DON'T DUMP" PLAQUE INSPECTOR _____ DATE _____	
(13) SPECIAL CONDITIONS LETTER INSPECTOR _____ DATE _____	
(14) AS-BUILT PLAN INSPECTOR _____ DATE _____	
<div style="text-align: center;"> BWSC SITE PLAN No. 14013-R 364-370 BEECH STREET BOSTON, MASS. (ROSLINDALE - 02131-4022) SCALE: 1"=10' JANUARY 13, 2014 NORWOOD ENGINEERING CO., INC. CIVIL ENGINEERS & LAND SURVEYORS 1410 ROUTE ONE, NORWOOD, MA 02062 PHONE: 781-762-0143 FAX 781-762-8595 </div> <div style="text-align: center; margin-top: 10px;"> </div>	
SHEET No. 1 OF 2 6949-07	



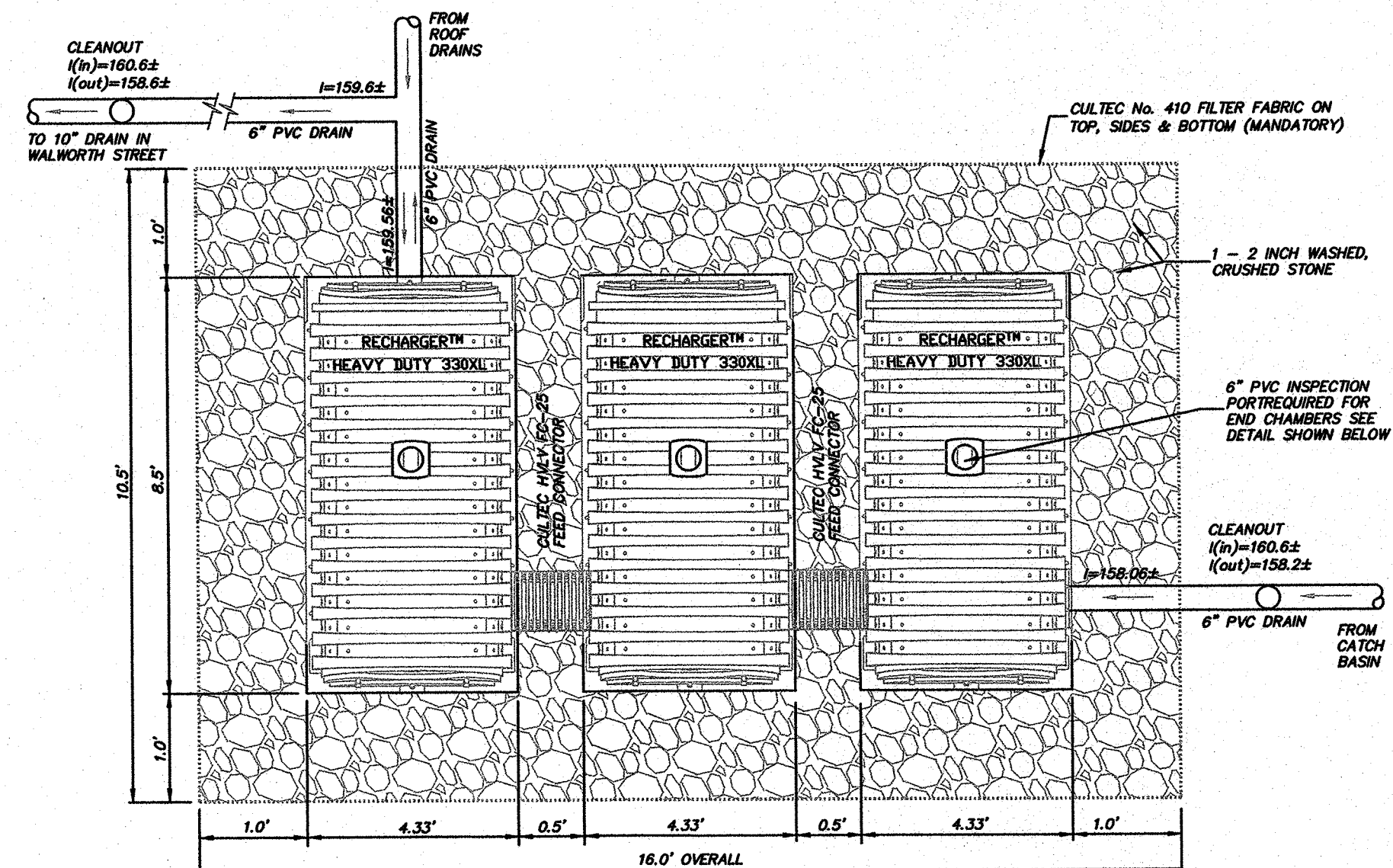
BACKWATER VALVE LOCATION (BWSC DETAIL)
NOT TO SCALE



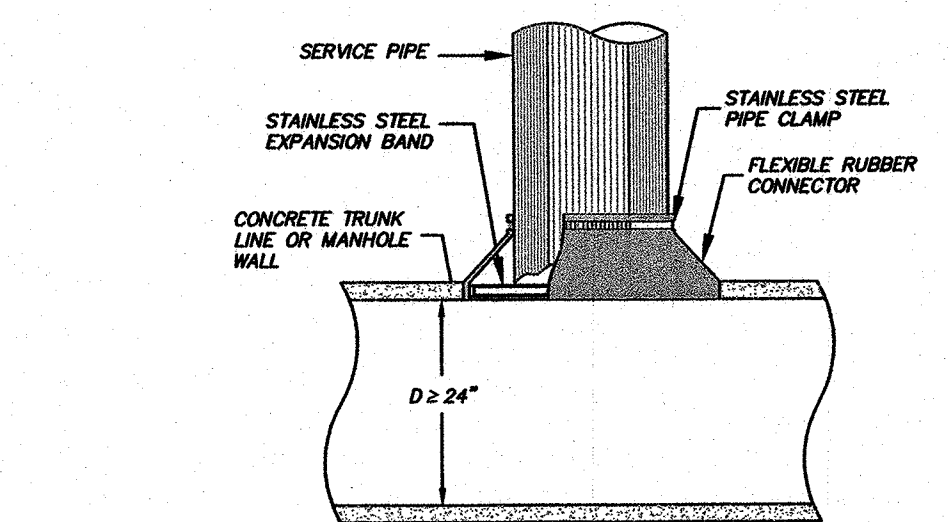
THRUST BLOCK DETAILS (BWSC DETAIL)
NOT TO SCALE



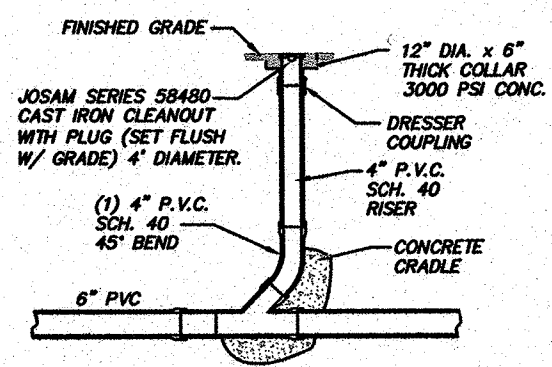
FIRE SERVICE CONNECTION w/TAPPING SLEEVE AND GATE VALVE (BWSC DETAIL)
NOT TO SCALE



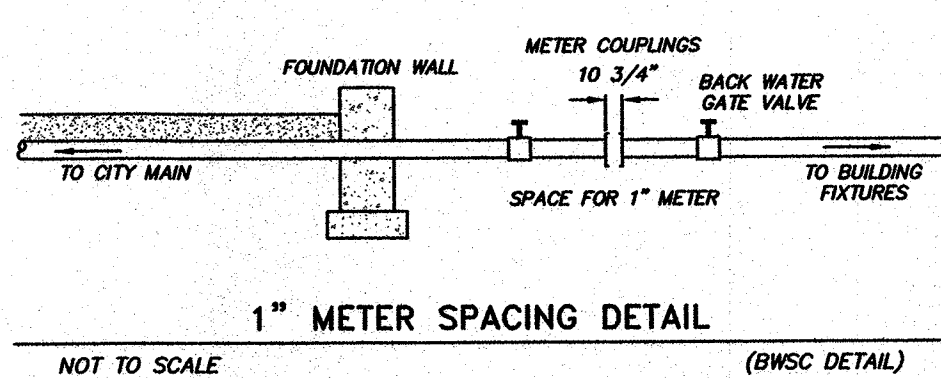
PROPOSED INFILTRATION SYSTEM - (3) CULTEC RECHARGER 330XLHD CHAMBERS
NOT TO SCALE



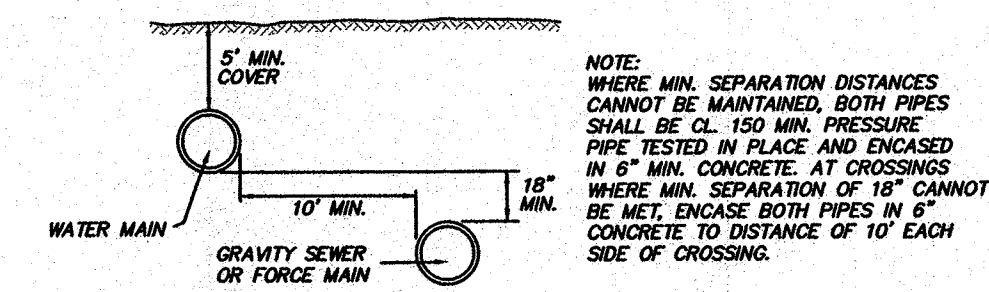
FLEXIBLE CONNECTOR FOR LARGE PIPE OR MANHOLE BARREL (BWSC DETAIL)
NOT TO SCALE



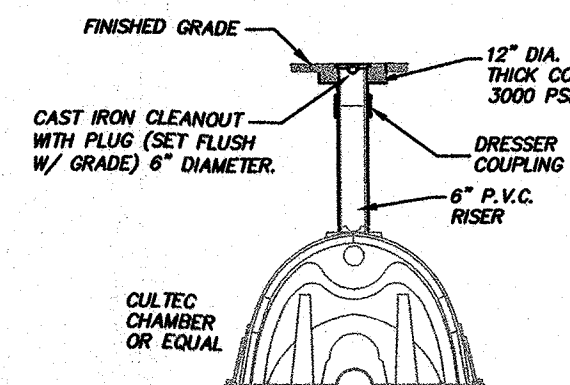
CLEANOUT DETAIL
NOT TO SCALE



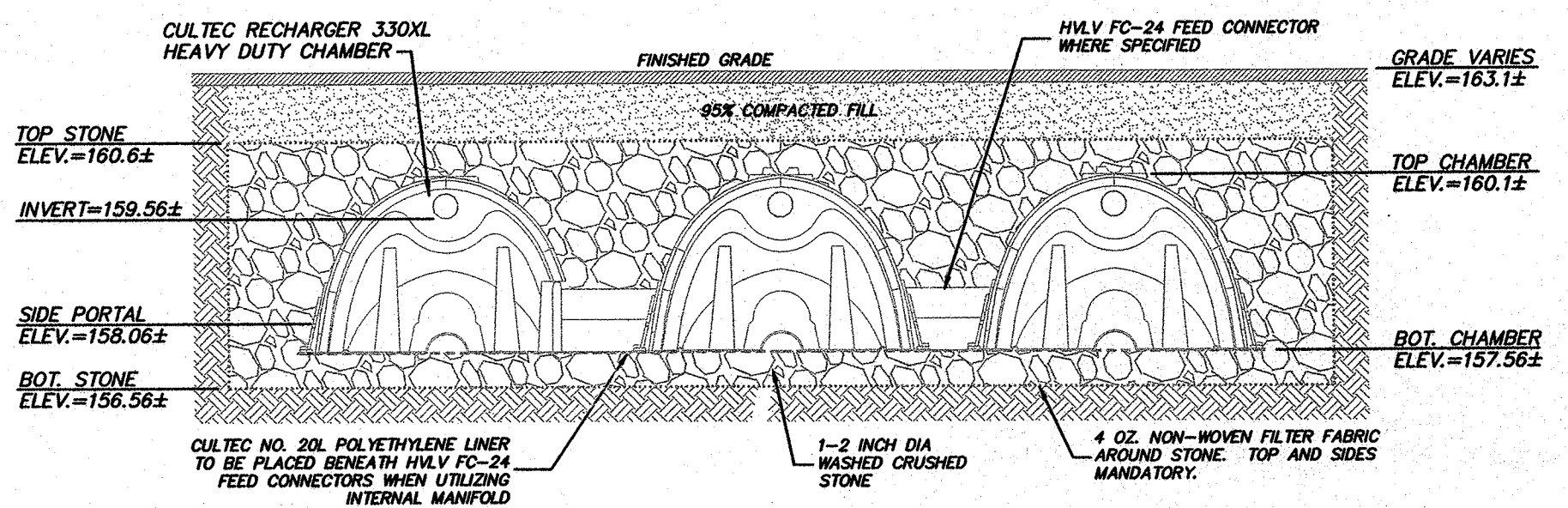
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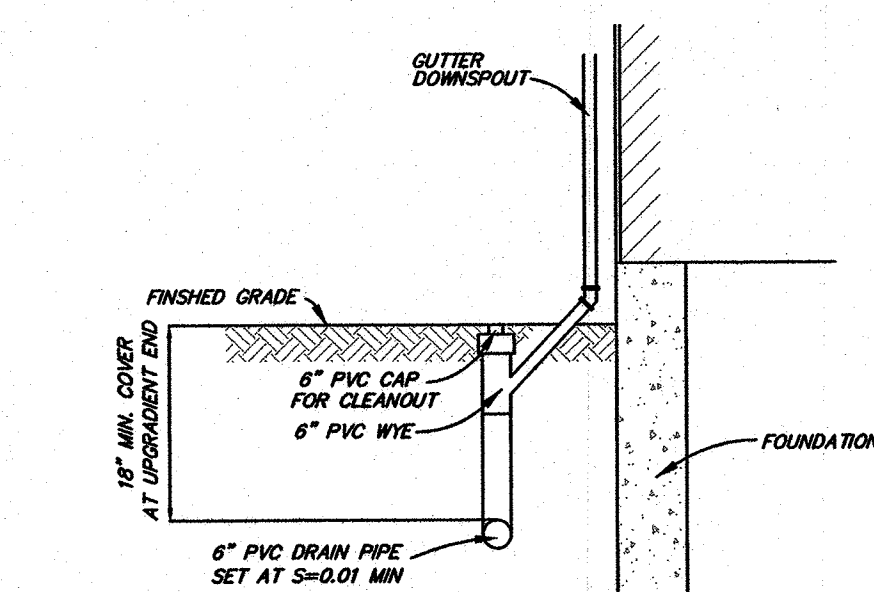
SEWER/WATER SEPARATION DETAIL
NOT TO SCALE



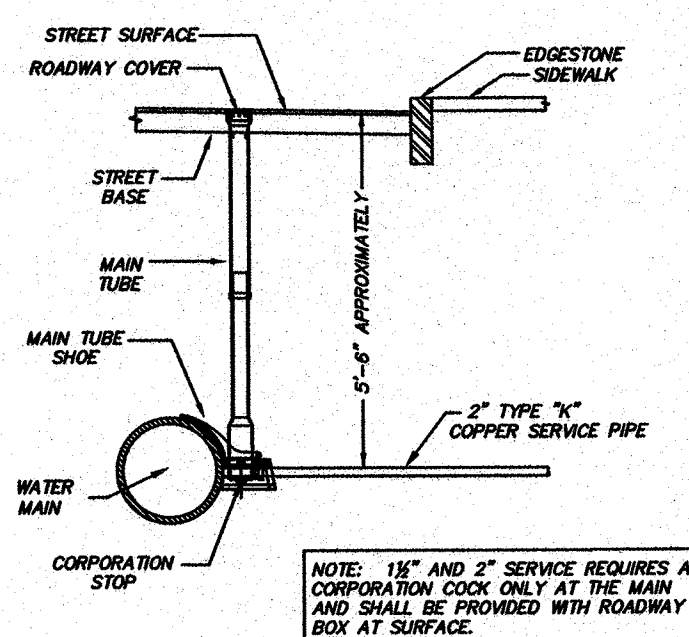
INSPECTION PORT DETAIL
NOT TO SCALE



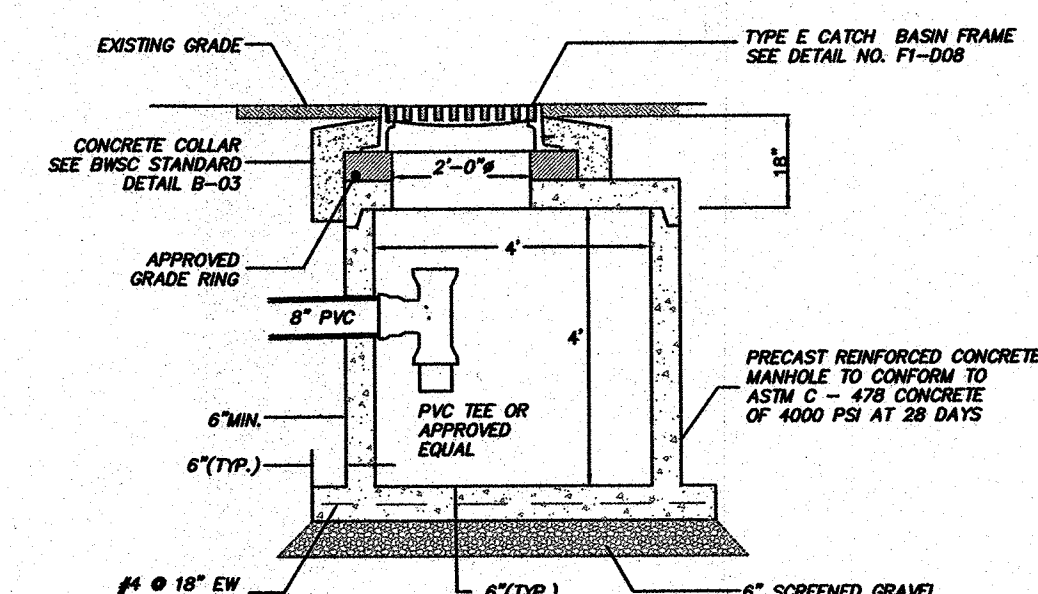
PROPOSED INFILTRATION SYSTEM - (3) CULTEC RECHARGER 330XLHD CHAMBERS
NOT TO SCALE



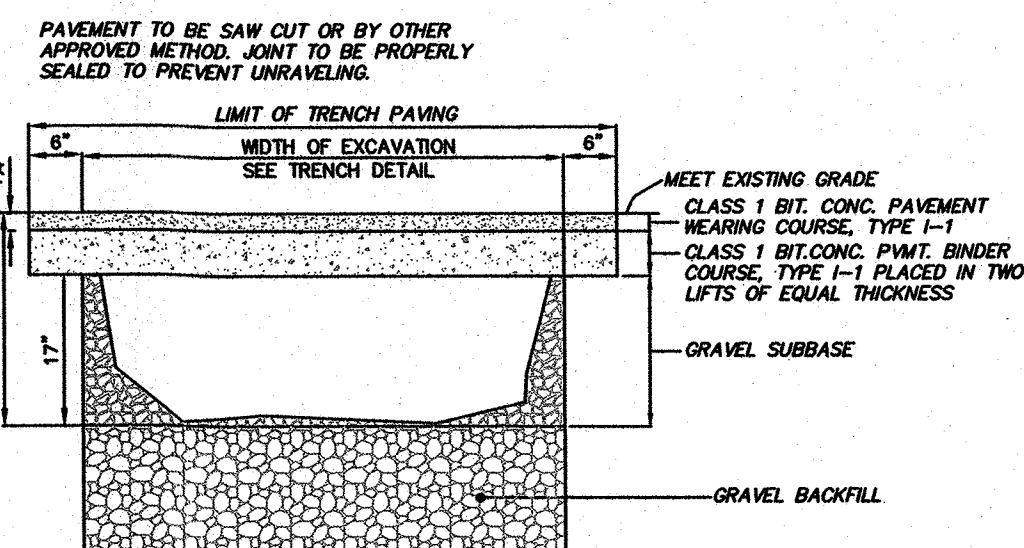
DOWNSPOUT DETAIL
NOT TO SCALE



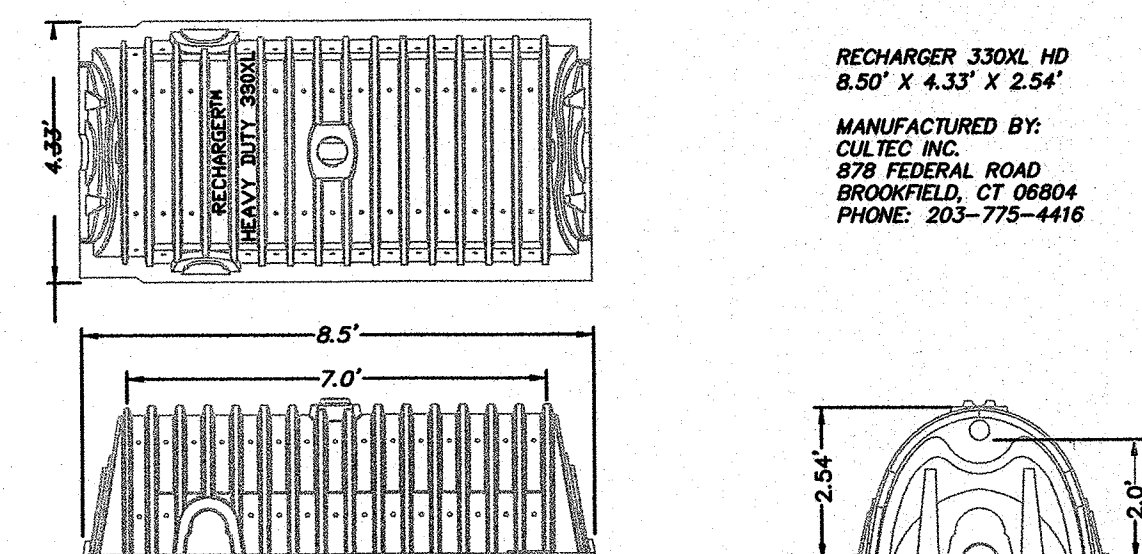
DOMESTIC WATER CONNECTION (BWSC DETAIL)
NOT TO SCALE



SHALLOW CATCH BASIN
NOT TO SCALE

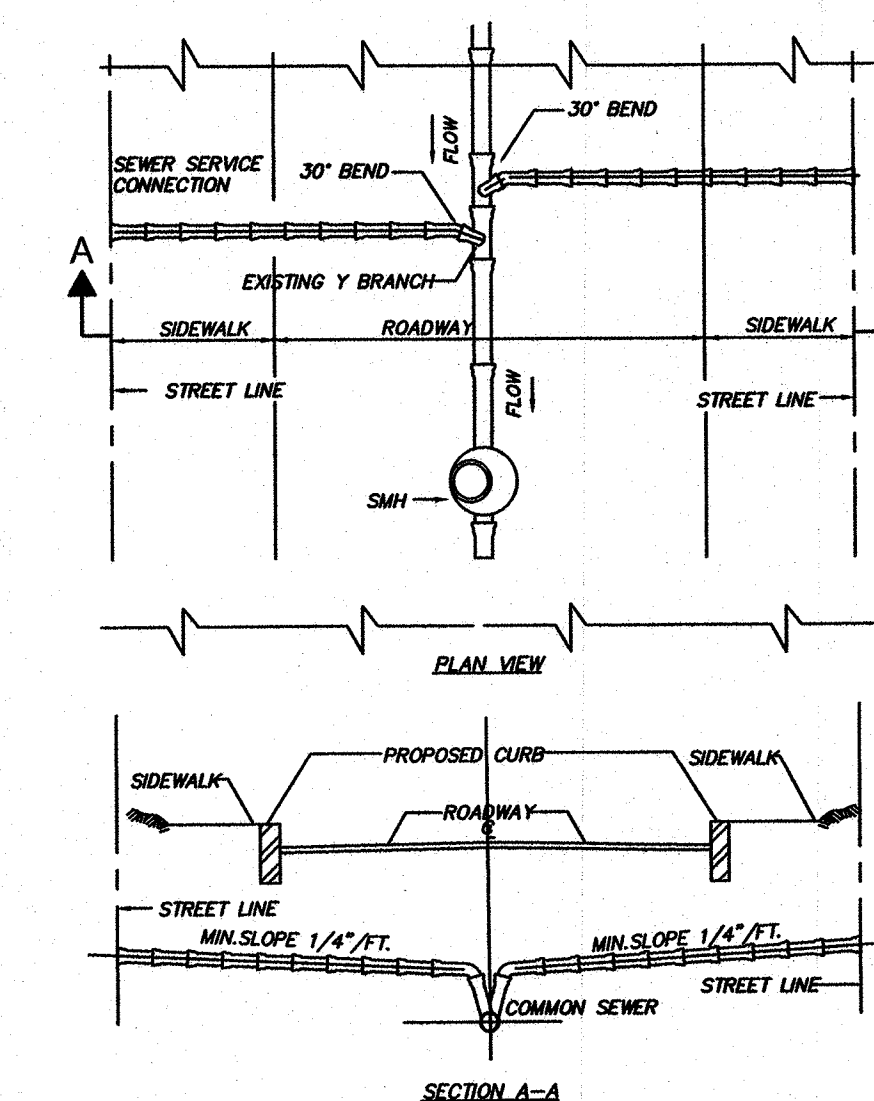


PERMANENT TRENCH REPAIR (BWSC DETAIL)
NOT TO SCALE

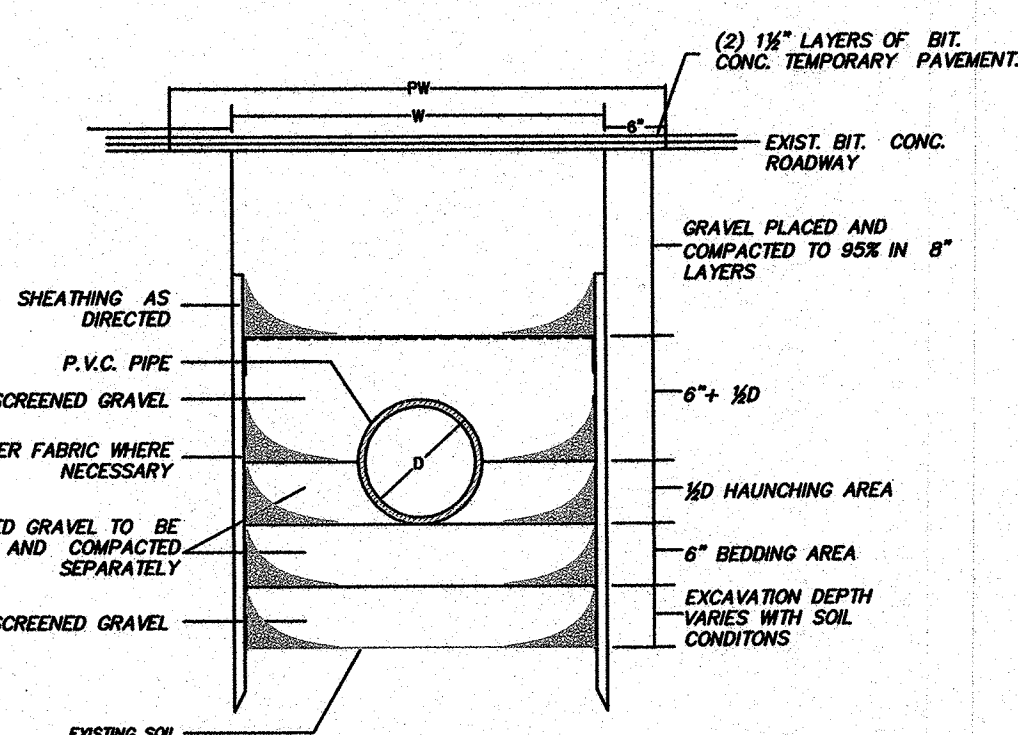


GENERAL NOTES
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

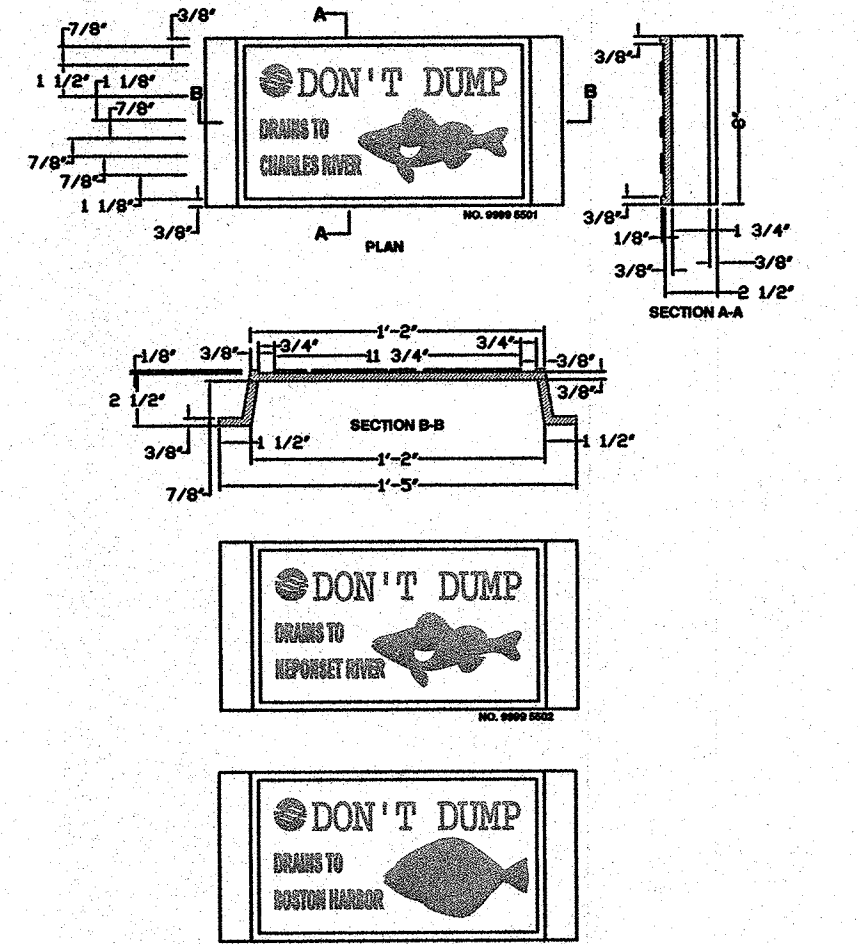
CULTEC RECHARGER 330XLHD CHAMBER
NOT TO SCALE



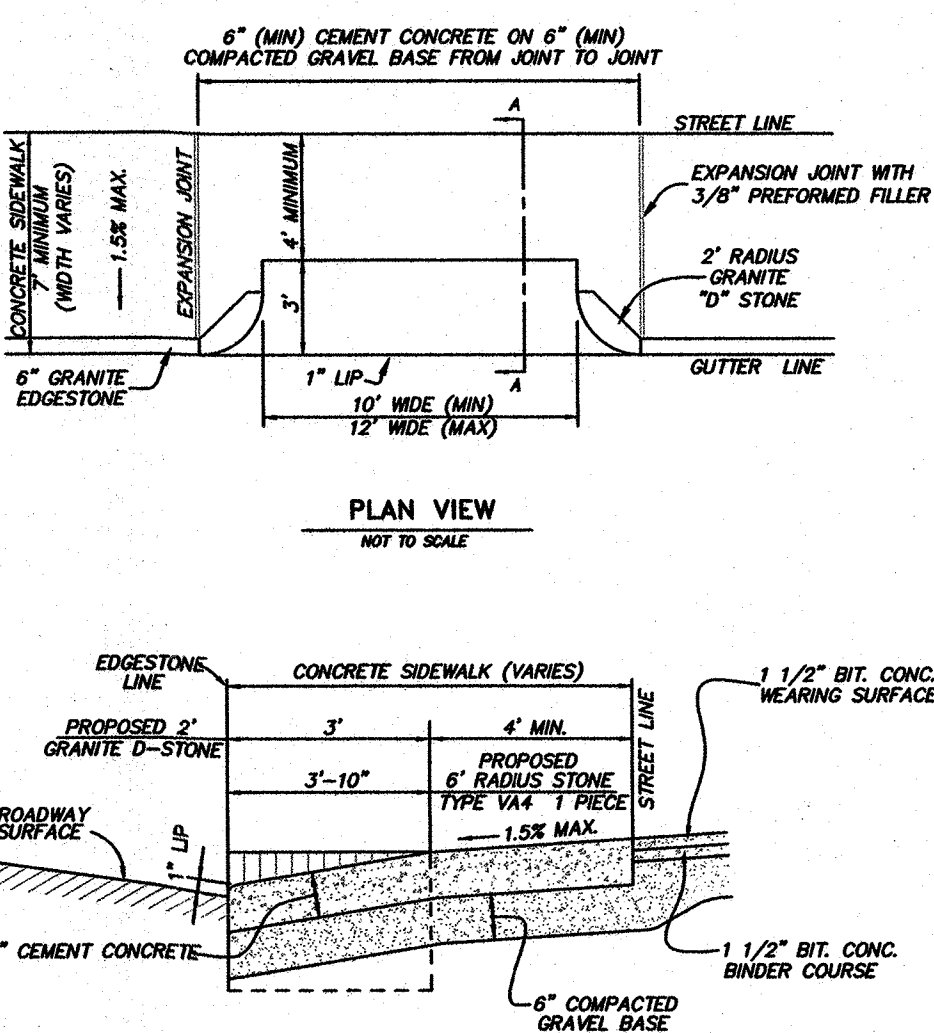
SANITARY SEWER WYE CONNECTION (BWSC DETAIL)
NOT TO SCALE



TRENCH DETAIL FOR P.V.C. PIPE (BWSC DETAIL)
NOT TO SCALE



\"DO NOT DUMP\" PLAQUE DETAIL (BWSC DETAIL)
NOT TO SCALE



TYPICAL DRIVEWAY DRIVEWAY DETAIL
NOT TO SCALE

REVISIONS

JANUARY 23, 2014	BWSC REVIEW COMMENTS
FEBRUARY 19, 2014	NO CHANGES THIS SHEET

CONTACT INFORMATION

OWNER/APPLICANT:
NTBOS REALTY TRUST
PETER V. DAVOS, TRUSTEE
14 BROADLAWN PARK
CHESTNUT HILL, MA 02467

CONTACT:
PETER DAVOS
1-617-719-8668

BWSC SITE PLAN No. 14013-R
364-370 BEECH STREET
BOSTON, MASS.
(ROSLINDALE - 02131-4022)
SCALE: 1\"/>

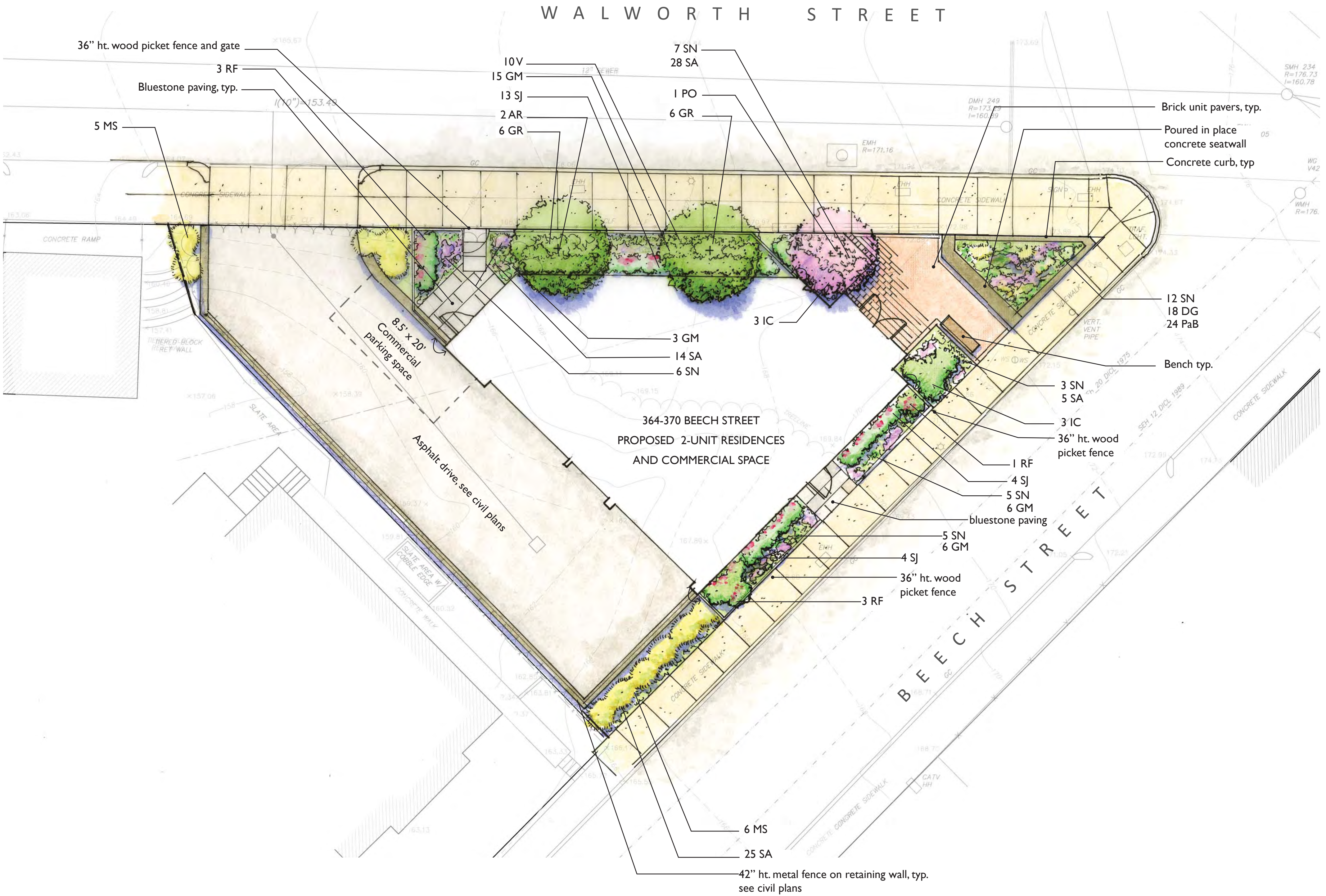
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595

SHEET No. 2 OF 2
6949-07

PLANT LIST					
KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AR	2	Acer rubrum 'Armstrong'	Armstrong Maple	2.5-3" cal.	B&B
PO	1	Prunus okame	Okame Cherry	2-2.5" cal.	B&B
SHRUBS/VINES					
IC	6	Ilex crenata 'Hetzii'	Hetzi Holly	30" ht.	
SJ	21	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer	24" ht.	
RF	7	Rosa 'The Fairy'	Pink Shrub Rose	24" ht.	
PERENNIALS/GRASSES					
DG	18	Dianthus x Bath Pinks	Dianthus	1 gal	
GM	30	Geranium macrorrhizum 'Bevan's Variety'	Bevans Variety Geranium	1 gal	
GR	12	Geranium 'Rozanne'	Rozanne Geranium	1 gal.	
MS	11	Miscanthus purpureus	Miscanthus	2 gal	
PaB	24	Pennisetum alopecuroides 'Little Bunny'	Minature fountain grass	1 gal	
SN	38	Salvia nemorosa 'May Night'	Garden Sage	1 gal	
SA	72	Sedum acre 'Aureum'	Golden stonecrop	1 gal	
V	10	Vinca minor 'Bowles Variety'	Vinca	1 gal	

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



ARCHITECTURAL ABBREVIATIONS

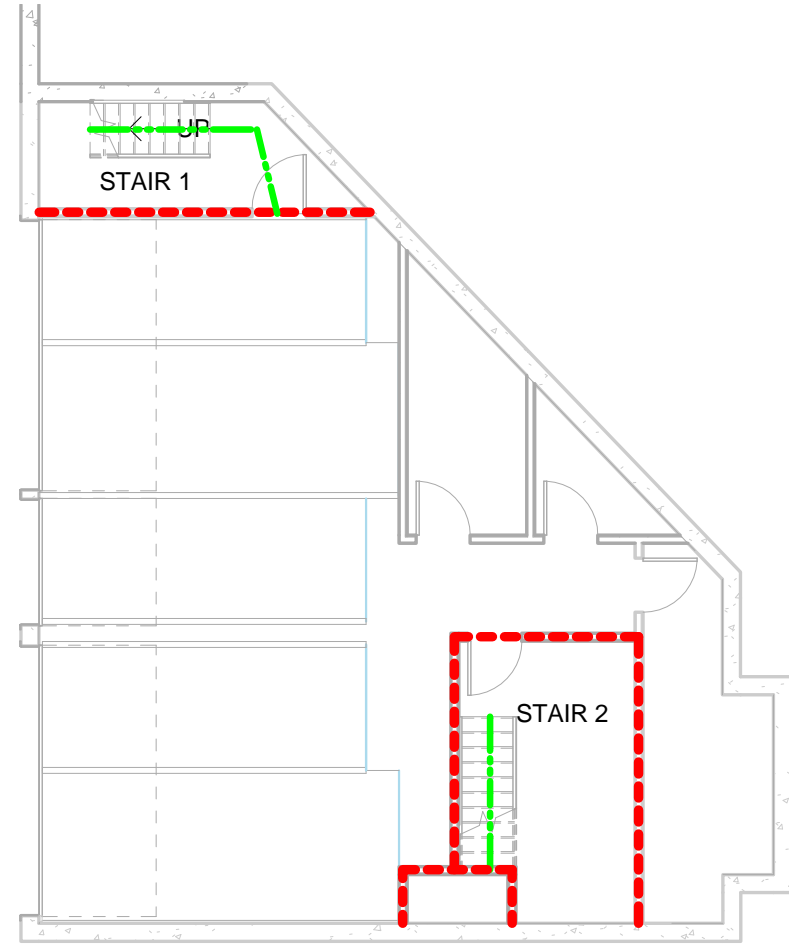
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A		CD		COILING DOOR		EJT		FRMG		JAN		NA		STS		W	
ACFL		CG		COILING GRILLE		EL		FS		JB		NIC		R		W	
ACOUS		CL		CENTER LINE		ELEC		FS		JST		NO		SUPV		W	
ACT		CLG		CLASS		EMERG		FSTOP		JO		NOM		SUSP		W	
ADD		CLR		CLEAR		ENCL		FT		JOINT		NRC		SW		WC	
ADDL		CM		CONSTRUCTION MANAGER		ENTR		FTG		K		NT		SWD		WC	
AD		CMU		CONCRETE MASONRY UNIT		EP		FTR		KO		NTS		SWD		WC	
ADJ		CO		CLEANOUT		EQU		FURR		KNOCK OUT		O		SYM		WD	
ADJL		COL		CASED OPENING		EQU		FUTURE		L		OC		TAN		WDW	
ADMIN		COLUMN		COMBINATION/ED		EWC		G		L		ON CENTER		TOP		WH	
AFF		COMB		CONCRETE		EXHA		GA		L		ON CENTER		TAN		WH	
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ALT		CONN		CONNECT/ED/-ION		EXH		GALV		L		ON CENTER		TAN		WH	
ALUM		CONST		CONSTRUCTION		EXP		GALV		L		ON CENTER		TAN		WH	
ANUN		CONT		CONTINUOUS		EXT		GB		L		ON CENTER		TAN		WH	
AP		COORD		COORDINATE		E		GB		L		ON CENTER		TAN		WH	
APC		CORR		CORRIDOR		E		GB		L		ON CENTER		TAN		WH	
APROX		CPT		CERAMIC TILE		E		GB		L		ON CENTER		TAN		WH	
ARCH		CTR		CENTER		E		GB		L		ON CENTER		TAN		WH	
AUTO		CTSK		COUNTERSUNK		E		GB		L		ON CENTER		TAN		WH	
AWT		CUH		CABINET UNIT HEATER		E		GB		L		ON CENTER		TAN		WH	
		CWL		COLD WATER		E		GB		L		ON CENTER		TAN		WH	
		CYL		CYLINDER		E		GB		L		ON CENTER		TAN		WH	
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FIRE PROTECTION
LEGEND

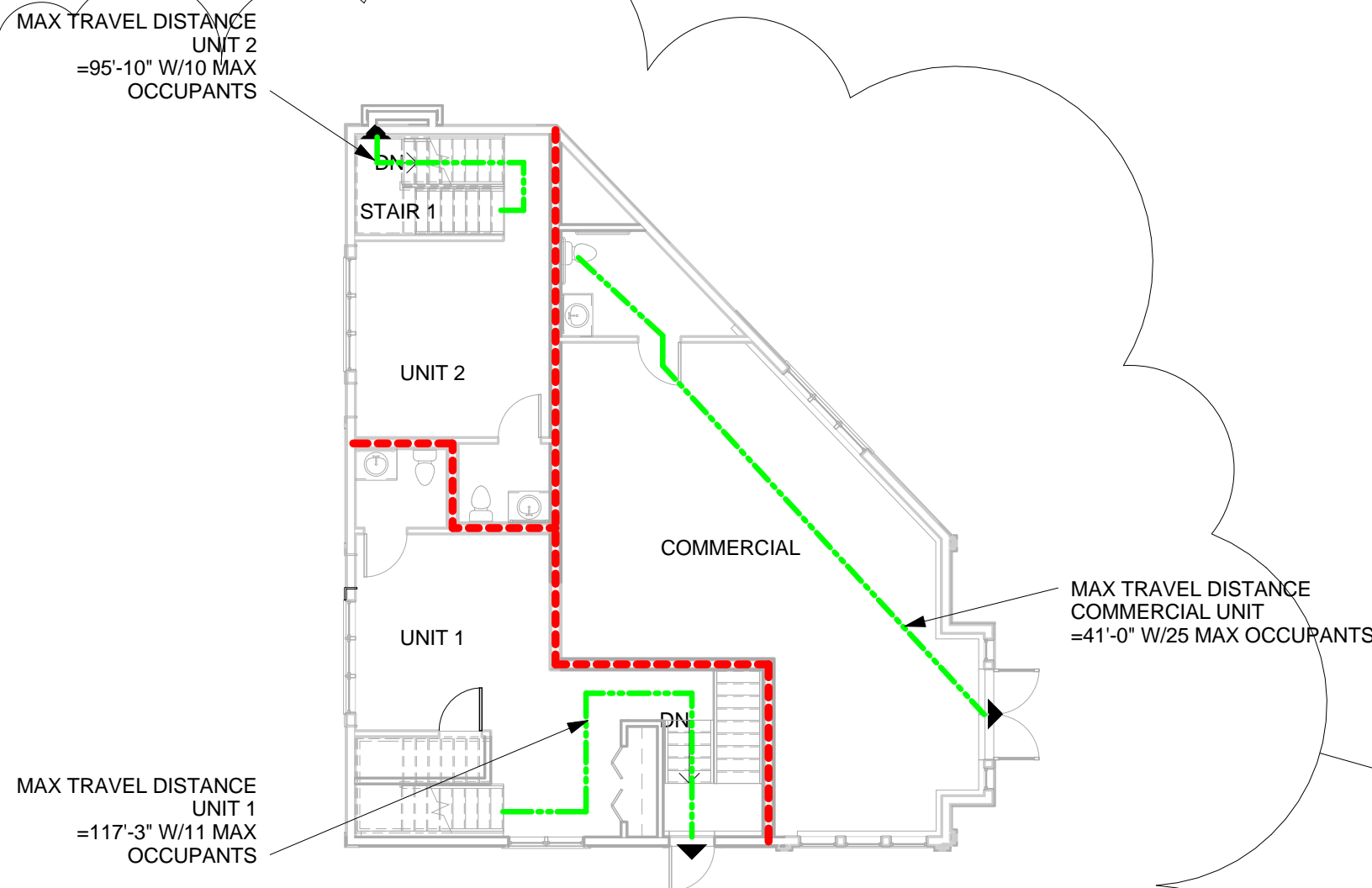
2HR FIRE RATED WALL/ PARTITION

1HR FIRE RATED WALL/
PARTITION
EXIT PATH

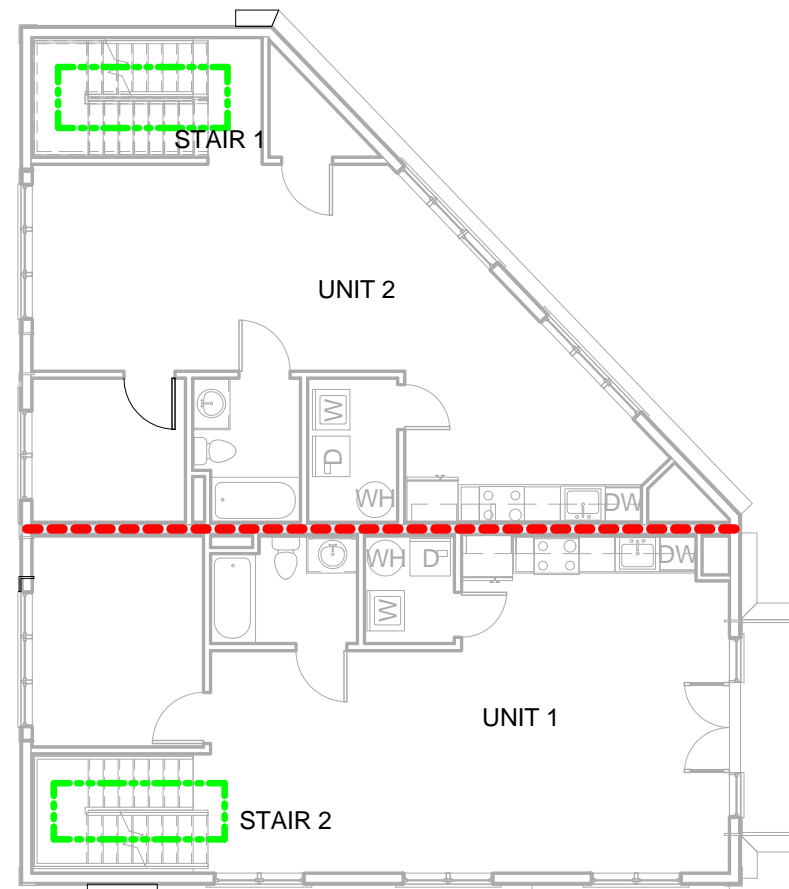
2HR FIRE RATED FLOOR CEILING ASSEMBLY



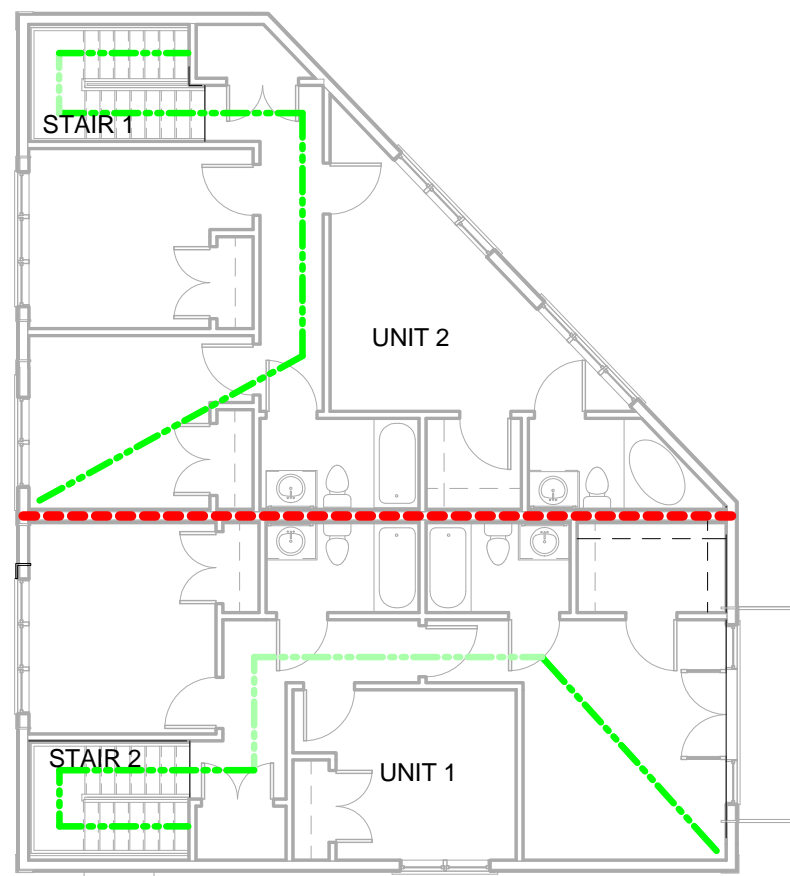
1 Code Review of Garage
3/32" = 1'-0"



2 Code Review of First Floor
3/32" = 1'-0"



3 Code Review of Second Floor
3/32" = 1'-0"



4 Code Review of Third Floor
3/32" = 1'-0"

BUILDING CODE REVIEW
INTERNATIONAL BUILDING CODE-2009 EDITION

USE GROUP - MIXED USE

TABLE 503:				TYPE OF CONSTRUCTION									
BUILDING A		USE GROUP		ALLOWED		INCREASE		TOTAL ALLOWED	PROVIDED		REMARKS		
NO	FLOOR			AREA S.F.	STORIES/ HEIGHT	AREA S.F.	STORIES		AREA S.F.	STORIES/ HEIGHT			
0	BASEMENT	"U"	ACCESSORY PARKING	"2B"	COMBUSTIBLE PROTECTED	8,500	2	NOT USED	1	8,500	860	3	FOR INCREASE INFORMATION
0	BASEMENT	"S-2"	STORAGE	"2B"	COMBUSTIBLE PROTECTED	26,000	3	NOT USED	1	26,000	728	3	SEE NOTE #1.2,3,4,5.6. BELOW
1	FIRST	"M"	MERCANTILE	"5A"	COMBUSTIBLE PROTECTED	14,000	3	NOT USED	1	14,000	735	3	SEE NOTE #1.2,3,4,5.6. BELOW FOR INCREASE INFORMATION
1	FIRST	"R3"	RESIDENTIAL MULTIFAMILY	"5A"	COMBUSTIBLE PROTECTED	UL	3	NOT USED	1	UL	830	3	SEE NOTE #1.2,3,4,5.6. BELOW FOR INCREASE INFORMATION
2	SECOND	"R3"	RESIDENTIAL MULTIFAMILY	"5A"	COMBUSTIBLE PROTECTED	UL	3	NOT USED	1	UL	1450	3	SEE NOTE #1.2,3,4,5.6. BELOW FOR INCREASE INFORMATION
3	THIRD	"R3"	RESIDENTIAL MULTIFAMILY	"5A"	COMBUSTIBLE PROTECTED	UL	3	NOT USED	1	UL	1509	3	SEE NOTE #1.2,3,4,5.6. BELOW FOR INCREASE INFORMATION
BUILDING "M" RETAIL AREA = 735 S.F.													
BUILDING "U" PARKING AREA = 860 S.F.													
BUILDING "R3" RESIDENTIAL AREA = 3,789 S.F.													
TOTAL BUILDING "A" AREA = 6,112 S.F.													

SECTION 508.4

Fire Resistance Rating Requirements for Fire Separation Assemblies Between Fire Areas (in Hours)

OCCUPANCY	R3	M	U
R3	-	1	1 (c)
M	1	-	1
U	1 (c)	1	-

SECTION 506.3

1. ALLOWABLE AREA INCREASE DUE TO AUTOMATIC FIRE SUPPRESSION SYSTEM = 200% (NOT USED)
 2. USE GROUP "M" = 735 S.F.
 3. USE GROUP "U" = 860 S.F.
 3. USE GROUP "R3" = 3,789 S.F.
 4. ALLOWABLE HEIGHT INCREASE DUE TO AUTOMATIC SPRINKLES SYSTEM - 1 STORY* (NOT USED)
 5. ALLOWABLE AREA INCREASE DUE TO STREET FRONTAGE- SECTION - 506.2 - (NOT USED)
 6. AREA ANALYSIS ALLOWABLE AREA INCREASE NOT USED DUE TO COMPLIANCE WITH BASIC REQUIREMENTS OF TABLE 503
- NOTE: BUILDING IS FULLY FIRE SUPPRESSED

FIRE RESISTANCE OF STRUCTURAL ELEMENTS:

STRUCTURAL ELEMENTS	TYPE OF CONSTRUCTION		FIRE RATING FILE #
	2B	5A	
1. EXTERIOR FRAME: INCLUDING COLUMNS, GIRDERS, TRUSSES	0HR	1HR	
2. BEARING WALLS: EXTERIOR	0HR	1HR	
3. NONBEARING WALLS AND PARTITIONS: EXTERIOR	0HR	1HR	
4. NONBEARING WALLS AND PARTITIONS: INTERIOR	0HR	0HR	
5. FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0HR	1HR	
6. ROOF CONSTRUCTION: INCLUDING SUPPORTING BEAMS AND JOISTS	0HR	1HR	

Fire Resistance Rating Requirements for Exterior Walls

Fire Separation Distance = X (feet)	NOT USED	Occupancy R, S & U Type 5A
x < 5 (c)		1
5 ≤ x < 10		1
10 ≤ x < 30		0
x ≥ 30		0

Dwelling Unit Separations

Dwelling units must be separated from each other (horizontally and vertically) and the rest of the building by construction that provides at least a one half (1/2) hour FRR (780 CMR Sections 709.3 & 712.3). Corridors in Use Group R-2 are required to provide a 30 minute FRR per Table 1018.1.

Concealed Spaces

Fire-blocking and draft-stopping shall be installed in combustible concealed locations in accordance with 780 CMR 717.0

EGRESS CALCULATIONS:

TABLE 1004.1.1:
RESIDENTIAL 1/200 SF GROSS
MERCANTILE 1/30 SF GROSS

#	FLOOR	USE GROUP	AREA/200 OR 30	OCCUPANT/ FLOOR
UNIT 1				
1	FIRST FLOOR/ R3		500 / 200	2.5=3
2	SECOND FLOOR/ R3		748 / 200	3.74=4
3	THIRD FLOOR/ R3		769/ 200	3.84=4
				TOTAL=11
UNIT 2				
1	FIRST FLOOR/ R3		330 / 200	1.65=2
2	SECOND FLOOR/ R3		702/ 200	3.51=4
3	THIRD FLOOR/ R3		740/ 200	3.7=4
				TOTAL=10
MERCANTILE				
1	FIRST FLOOR/ R3		735 / 30	24.5=25

SECTION 1005.1

STAIR WIDTH WIDTH IN INCHES STAIRS 0.3/PERSON			
#	STAIR	EGRESS CAPACITY 0.3" OCCUPANTS	WIDTH PROVIDED
1	STAIR #1 UNIT2	3"	36"
2	STAIR #2 UNIT1	3"	36"
EGRESS WIDTH (OTHER THAN STAIRS) WIDTH IN INCHES 0.2/OCCUPANT			
#	DOOR	EGRESS CAPACITY 0.2" OCCUPANTS	WIDTH PROVIDED
	CORRIDOR		
EXTERIOR EGRESS DOOR 2.2" 32" 36"			

PROJECT NAME

364-370 BEECH ST
RESIDENCES

PROJECT ADDRESS

364-370 BEECH STREET
BOSTON, MA

CLIENT

NTABOS REALTY
TRUST

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13002
Date 01-10-2014
Drawn by MT
Checked by JSK
Scale As indicated

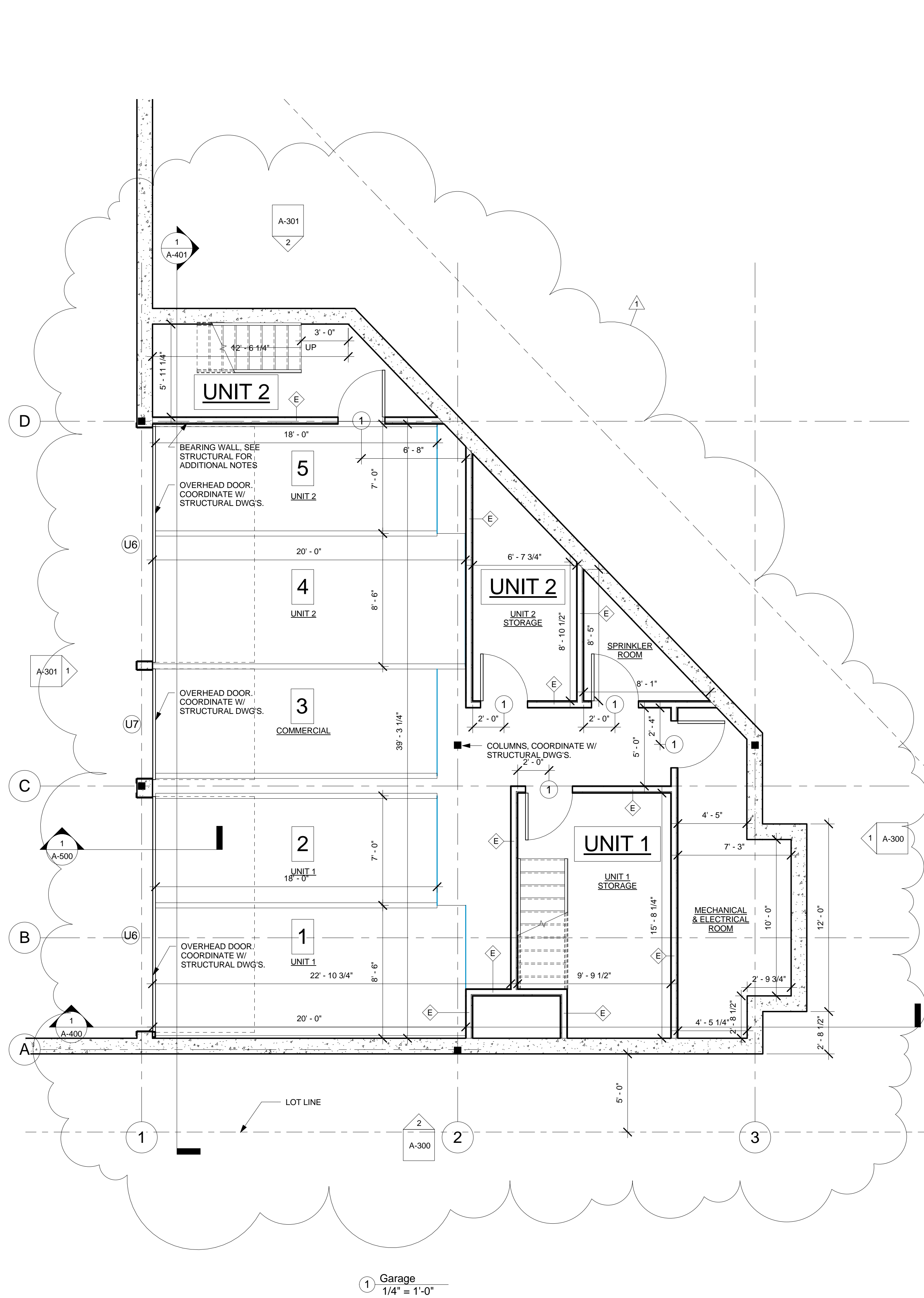
REVISIONS

No.	Description	Date
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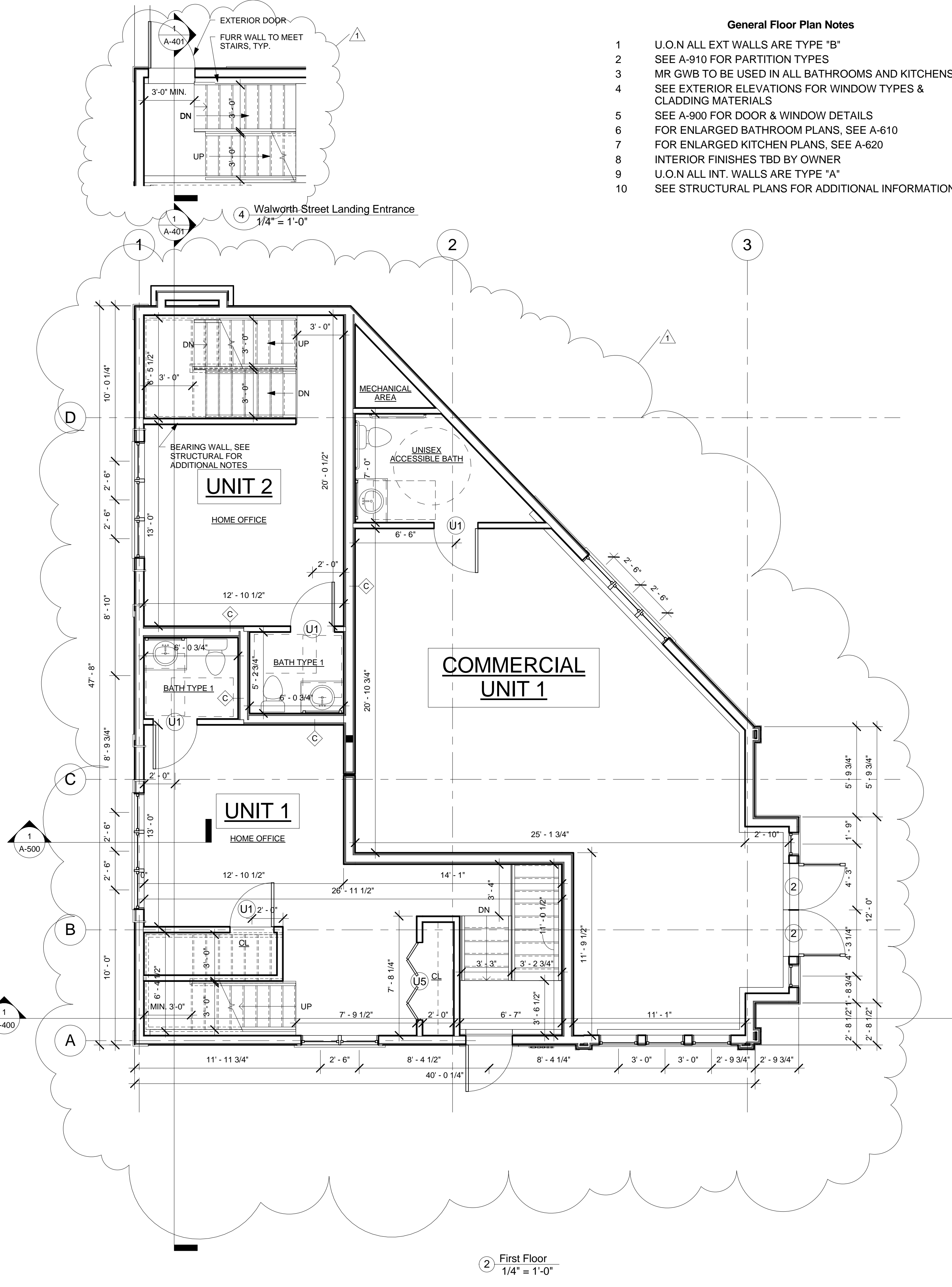
Code Review

A-011

364-370 BEECH ST RESIDENCES



1 Garage
1/4" = 1'-0"



2 First Floor
1/4" = 1'-0"

General Floor Plan Notes

- 1 U.O.N ALL EXT WALLS ARE TYPE "B"
- 2 SEE A-910 FOR PARTITION TYPES
- 3 MR GWB TO BE USED IN ALL BATHROOMS AND KITCHENS
- 4 SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
- 5 SEE A-900 FOR DOOR & WINDOW DETAILS
- 6 FOR ENLARGED BATHROOM PLANS, SEE A-610
- 7 FOR ENLARGED KITCHEN PLANS, SEE A-620
- 8 INTERIOR FINISHES TBD BY OWNER
- 9 U.O.N ALL INT. WALLS ARE TYPE "A"
- 10 SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION

PROJECT NAME

**364-370 BEECH ST
RESIDENCES**

PROJECT ADDRESS

**364-370 BEECH STREET
BOSTON, MA**

CLIENT

**NTABOS REALTY
TRUST**

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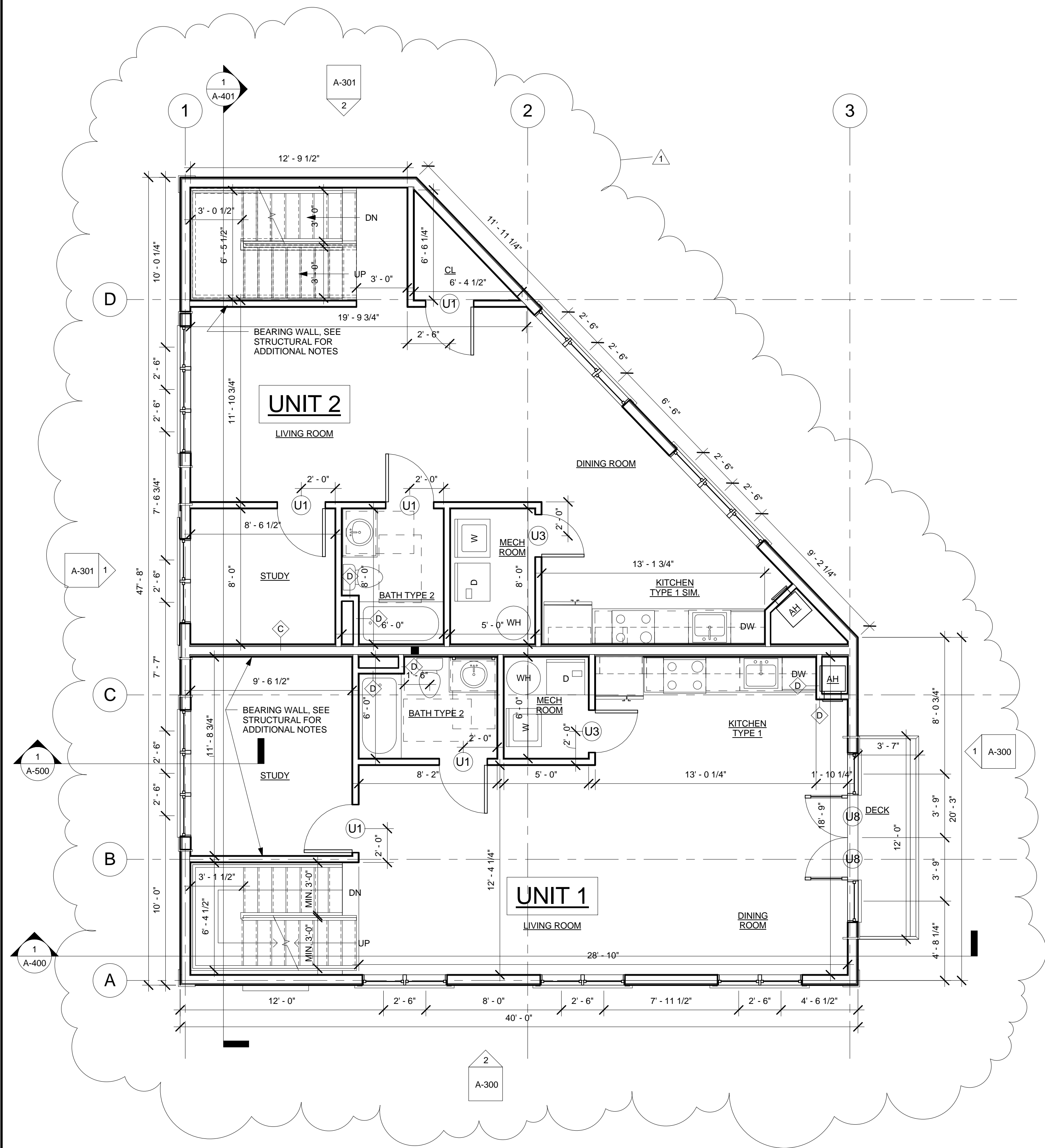
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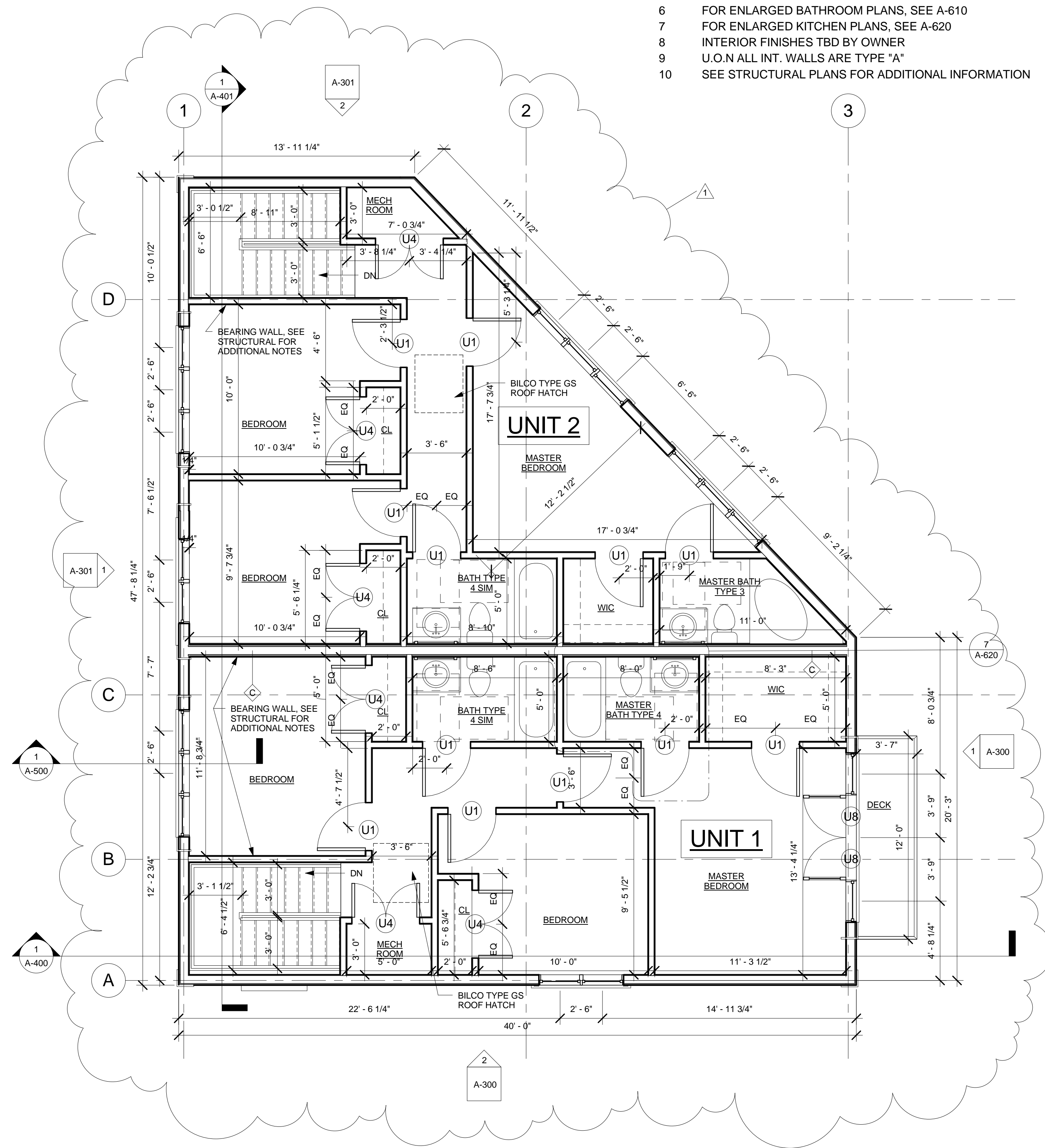
**Garage & First
Floor Plans**

A-100

364-370 BEECH ST RESIDENCES



① Second Floor
1/4" = 1'-0"



② Third Floor
1/4" = 1'-0"

- General Floor Plan Notes**
- 1 U.O.N ALL EXT WALLS ARE TYPE "B"
 - 2 SEE A-910 FOR PARTITION TYPES
 - 3 MR GWB TO BE USED IN ALL BATHROOMS AND KITCHENS
 - 4 SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
 - 5 SEE A-900 FOR DOOR & WINDOW DETAILS
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 - 8 INTERIOR FINISHES TBD BY OWNER
 - 9 U.O.N ALL INT. WALLS ARE TYPE "A"
 - 10 SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION

PROJECT NAME
364-370 BEECH ST RESIDENCES

PROJECT ADDRESS
364-370 BEECH STREET
BOSTON, MA

CLIENT
NTABOS REALTY TRUST

ARCHITECT
KHALSA DESIGN INC.

CONSULTANTS:

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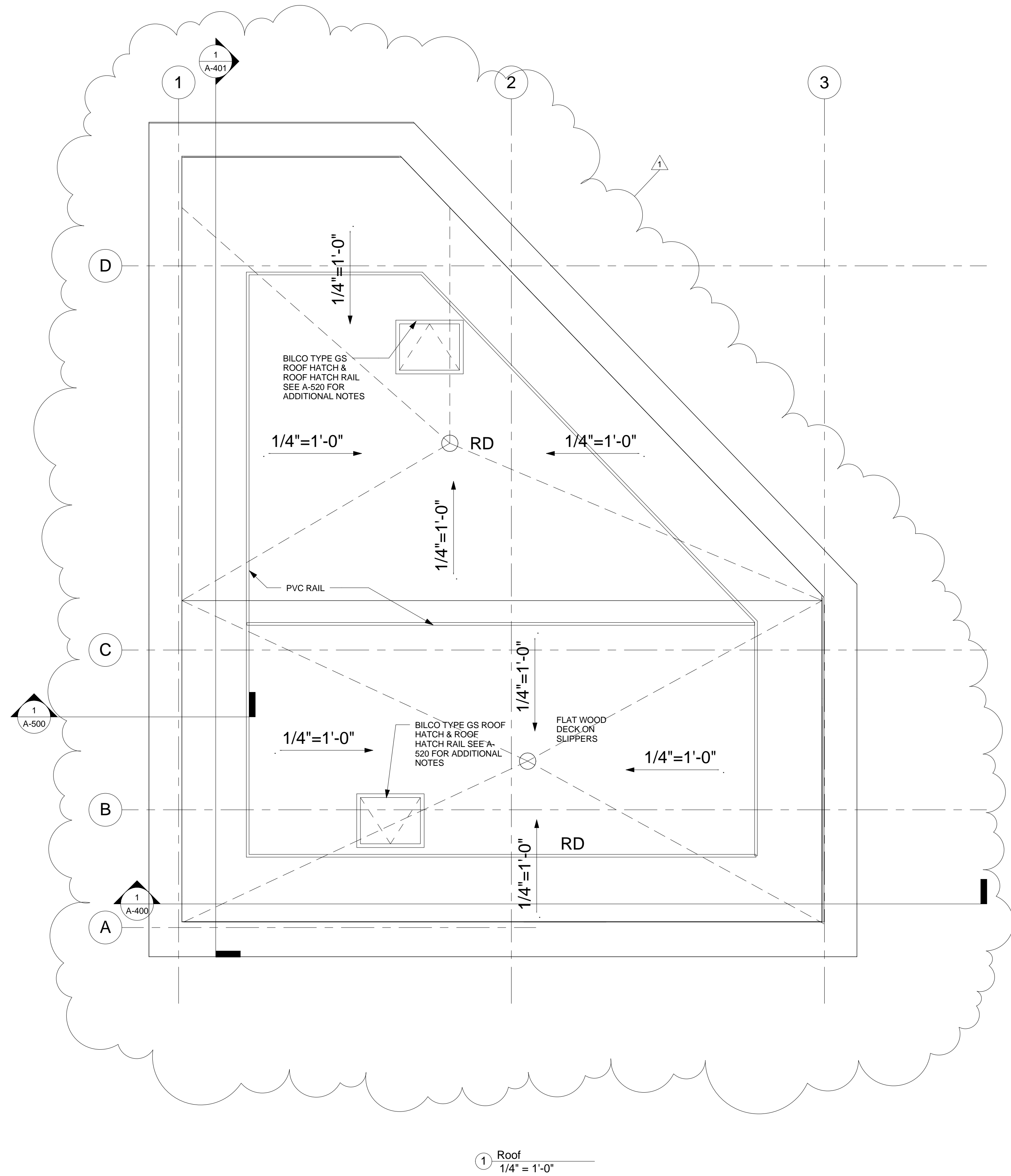
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No.	Description	Date
1	Revision 1	02-28-14

Second & Third Floor Plans

A-101

364-370 BEECH ST RESIDENCES



PROJECT NAME

364-370 BEECH ST
RESIDENCES

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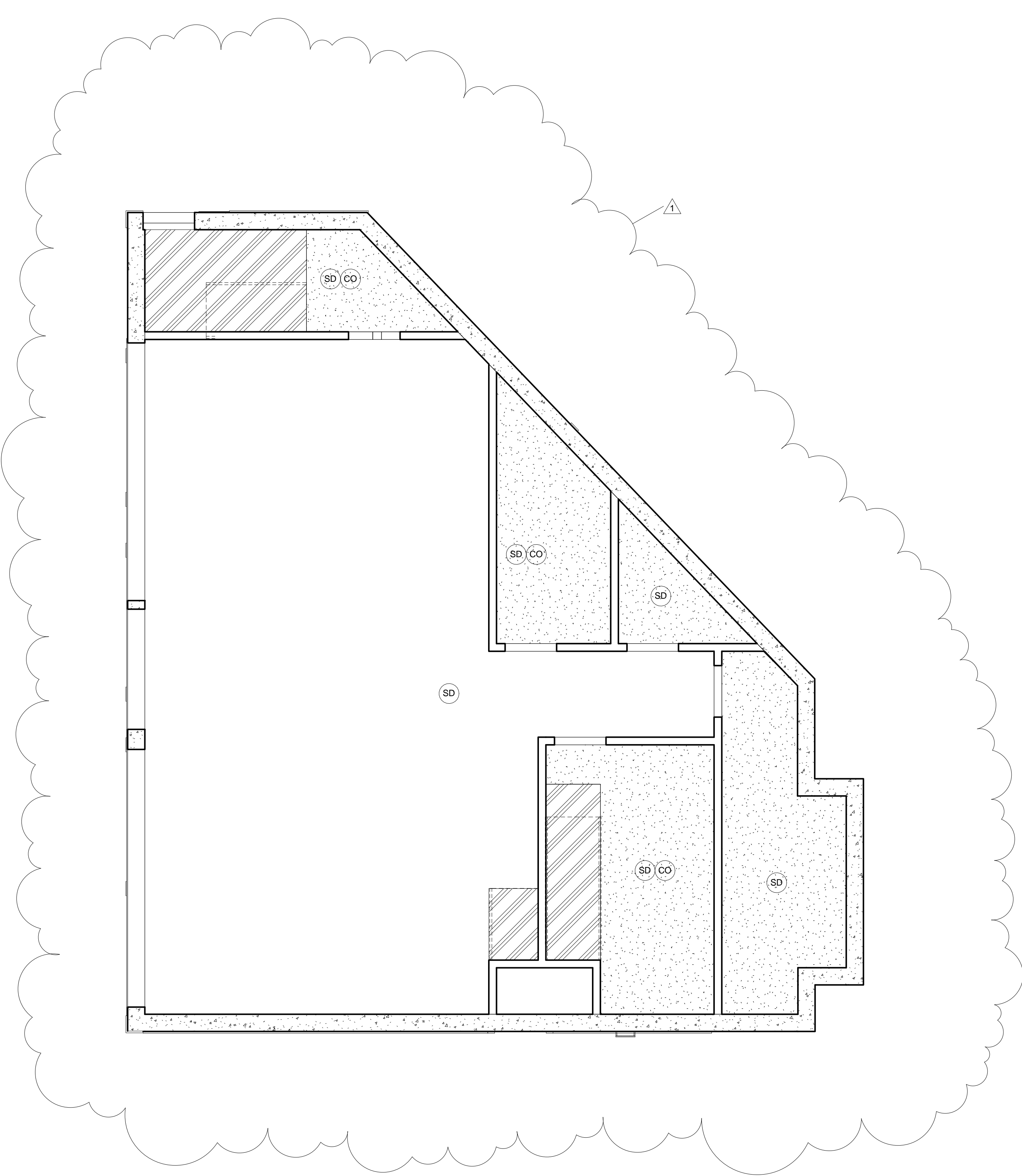
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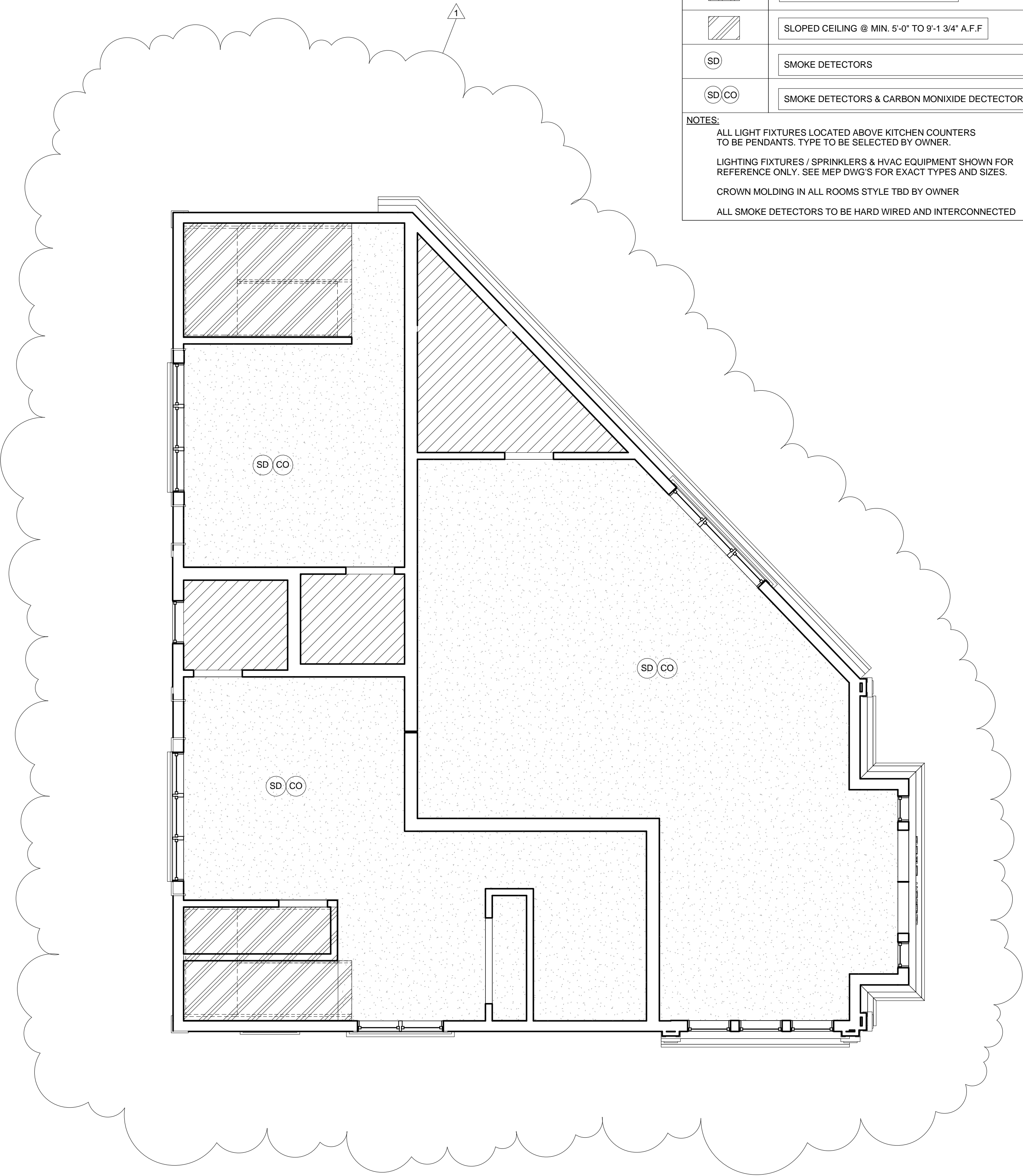
Roof Plan

A-102

364-370 BEECH ST RESIDENCES



② Garage
1/4" = 1'-0"



① First Floor
1/4" = 1'-0"

REFLECTED CEILING KEY	
	SOFFIT HEIGHT ABOVE FINISH FLOOR TBD BY DUCT SIZE
	CEILING, GWB (TYP.)
	SOFFIT TO TOP OF KITCHEN CABINETS
	SLOPED CEILING @ MIN. 5'-0" TO 9'-1 3/4" A.F.F
	SMOKE DETECTORS
	SMOKE DETECTORS & CARBON MONOXIDE DETECTORS
NOTES: ALL LIGHT FIXTURES LOCATED ABOVE KITCHEN COUNTERS TO BE PENDANTS. TYPE TO BE SELECTED BY OWNER. LIGHTING FIXTURES / SPRINKLERS & HVAC EQUIPMENT SHOWN FOR REFERENCE ONLY. SEE MEP DWG'S FOR EXACT TYPES AND SIZES. CROWN MOLDING IN ALL ROOMS STYLE TBD BY OWNER ALL SMOKE DETECTORS TO BE HARD WIRED AND INTERCONNECTED	

PROJECT NAME

364-370 BEECH ST
RESIDENCES

PROJECT ADDRESS

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BOSTON, MA

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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



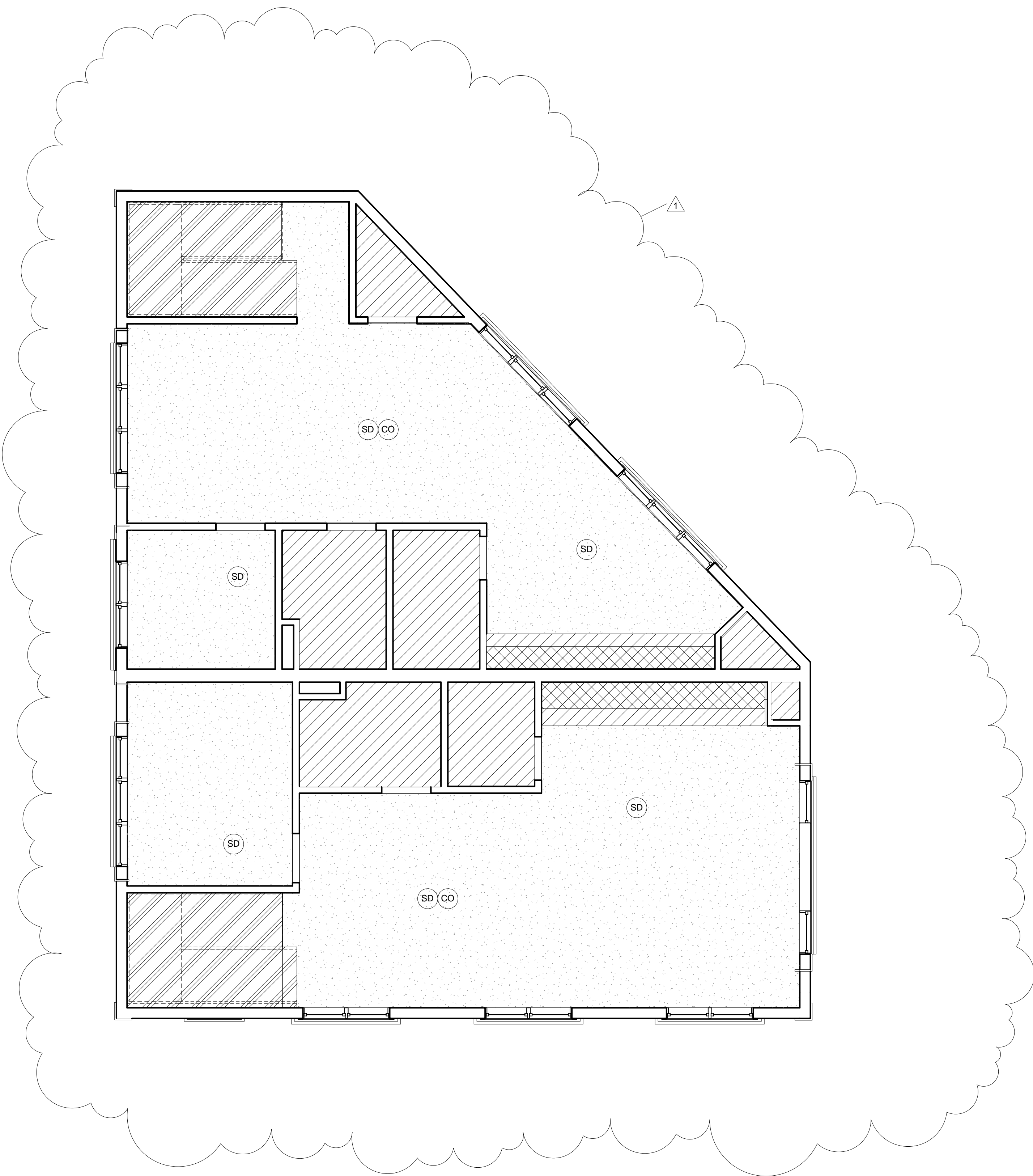
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Date	01-10-2014
Drawn by	AB/MT
Checked by	JSK
Scale	As indicated

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No.	Description	Date
1	Revision 1	02-28-14

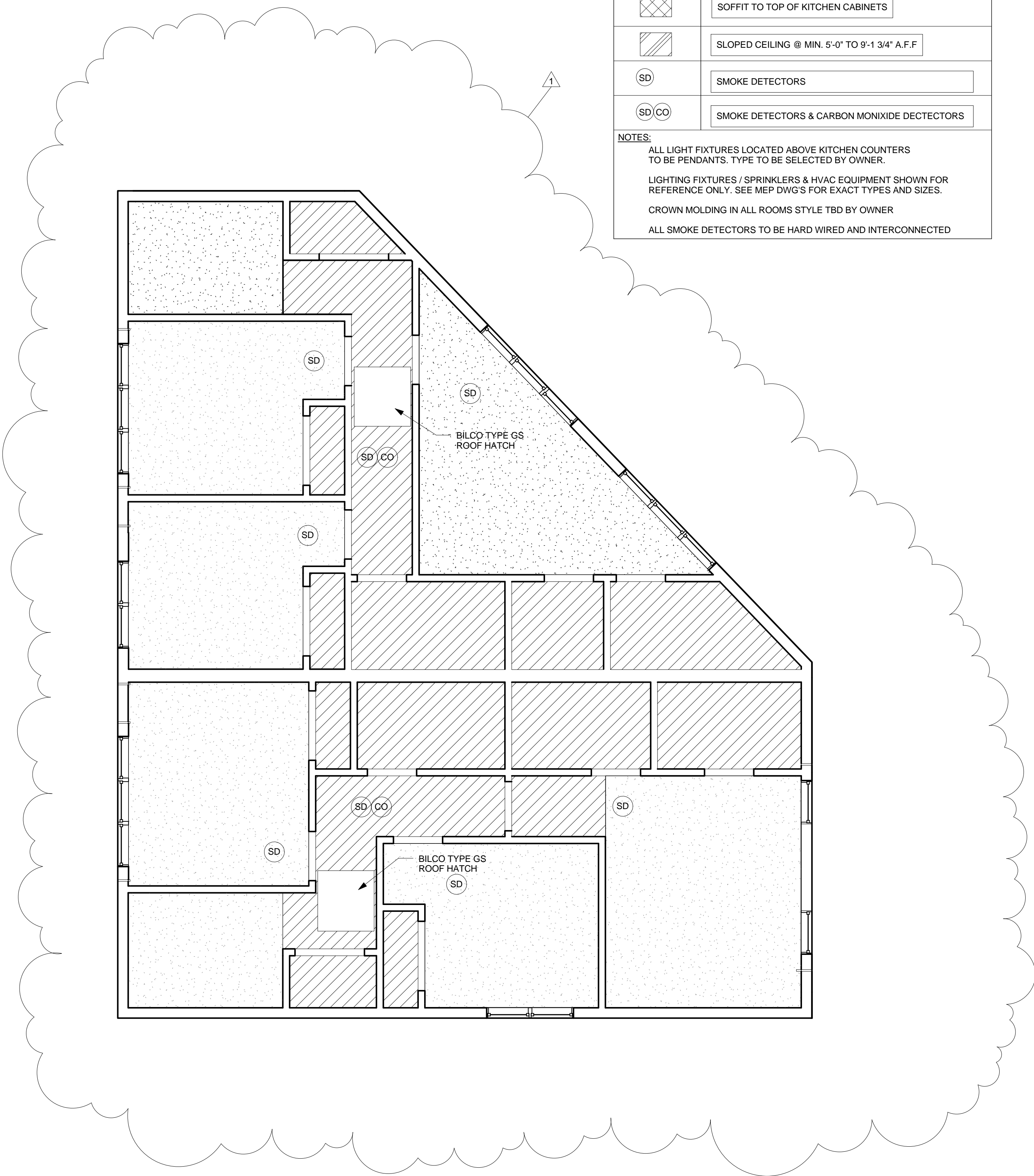
Garage & First
Floor Reflected
Ceiling Plans

A-200

364-370 BEECH ST RESIDENCES



① Second Floor
1/4" = 1'-0"



② Third Floor
1/4" = 1'-0"

REFLECTED CEILING KEY

	SOFFIT HEIGHT ABOVE FINISH FLOOR TBD BY DUCT SIZE
	CEILING, GWB (TYP.)
	SOFFIT TO TOP OF KITCHEN CABINETS
	SLOPED CEILING @ MIN. 5'-0" TO 9'-1 3/4" A.F.F
	SMOKE DETECTORS
	SMOKE DETECTORS & CARBON MONOXIDE DETECTORS

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CROWN MOLDING IN ALL ROOMS STYLE TBD BY OWNER
ALL SMOKE DETECTORS TO BE HARD WIRED AND INTERCONNECTED

PROJECT NAME

364-370 BEECH ST RESIDENCES

PROJECT ADDRESS

364-370 BEECH STREET
BOSTON, MA

CLIENT

NTABOS REALTY TRUST

ARCHITECT

KHALSA DESIGN INC.

17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

Project number

13002

Date

01-10-2014

Drawn by

AB/MT

Checked by

JSK

Scale

As indicated

REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

Second & Third
Reflected Ceiling
Plans

A-201

364-370 BEECH ST RESIDENCES

PROJECT NAME

**364-370 BEECH ST
RESIDENCES**

PROJECT ADDRESS

364-370 BEECH STREET
BOSTON, MA

CLIENT

**NTABOS REALTY
TRUST**

ARCHITECT

KHALSA DESIGN INC.



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CONSULTANTS:

REGISTRATION



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Date 01-10-2014
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Checked by JSK
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

Elevations

A-300

364-370 BEECH ST RESIDENCES





PROJECT NAME
364-370 BEECH ST RESIDENCES

PROJECT ADDRESS
**364-370 BEECH STREET
BOSTON, MA**

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NTABOS REALTY TRUST

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CONSULTANTS:



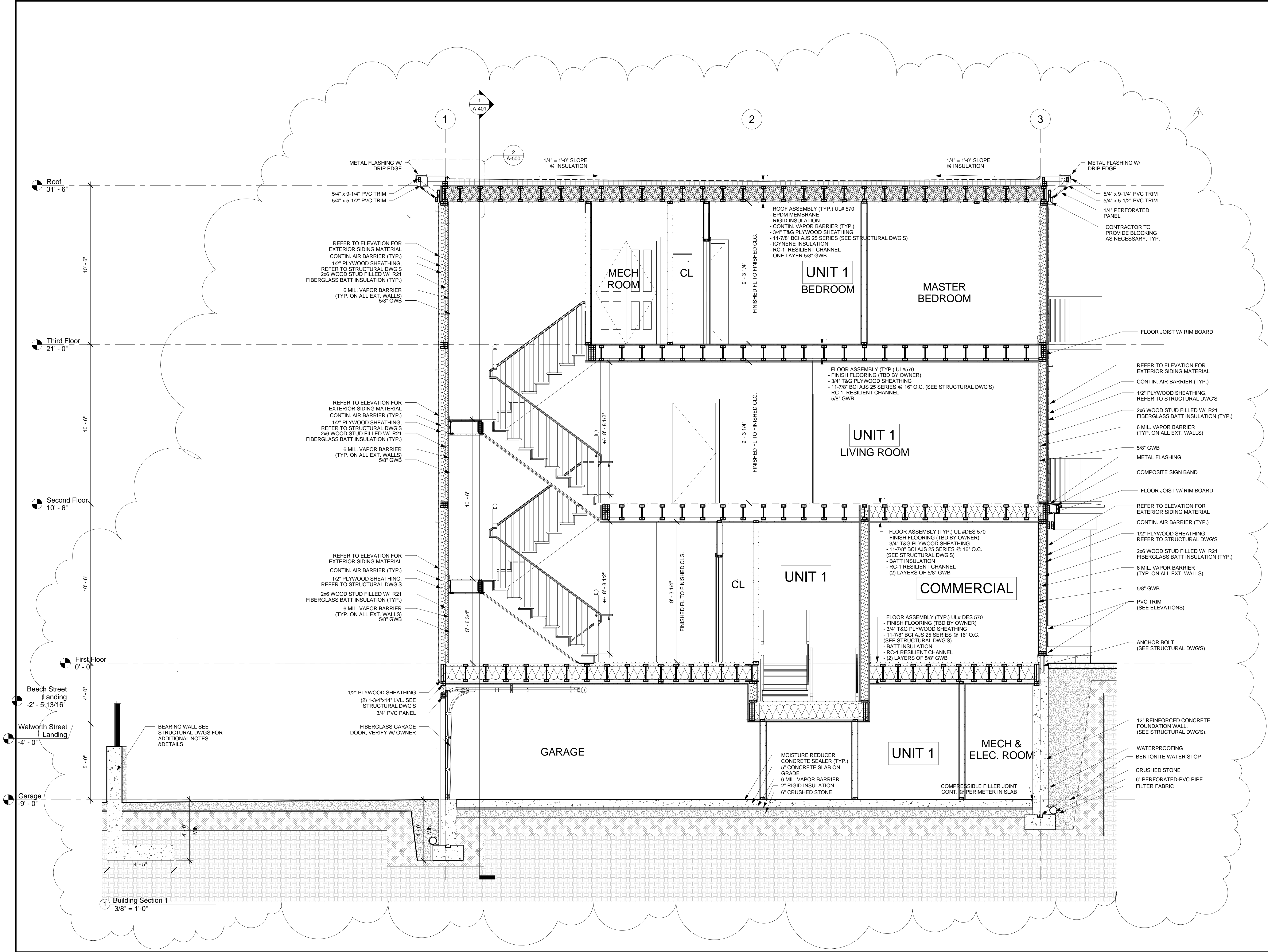
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Drawn by MT/AB
Checked by JSK
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	Revision 1	02-28-14

Elevations

A-301

364-370 BEECH ST RESIDENCES



PROJECT NAME

364-370 BEECH ST RESIDENCES

PROJECT ADDRESS


364-370 BEECH STREET
BOSTON, MA

CLIENT

NTABOS REALTY TRUST

ARCHITECT


KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number

13002

Date

01-10-2014

Drawn by

AB/MT

Checked by

JSK

Scale

3/8" = 1'-0"

REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

Building Section

A-400

364-370 BEECH ST RESIDENCES

G:\1\31\3002_Davos_Beach_Roof\Drawings\13002_Davos_Beach_St_CD_rev_02272014.rvt 3/4/2014 1:52:32 PM

PROJECT NAME

**364-370 BEECH ST
RESIDENCES**

PROJECT ADDRESS

364-370 BEECH STREET
BOSTON, MA

CLIENT

**NTABOS REALTY
TRUST**

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13002
Date 01-10-2014
Drawn by AB/MT
Checked by JSK
Scale 3/8" = 1'-0"

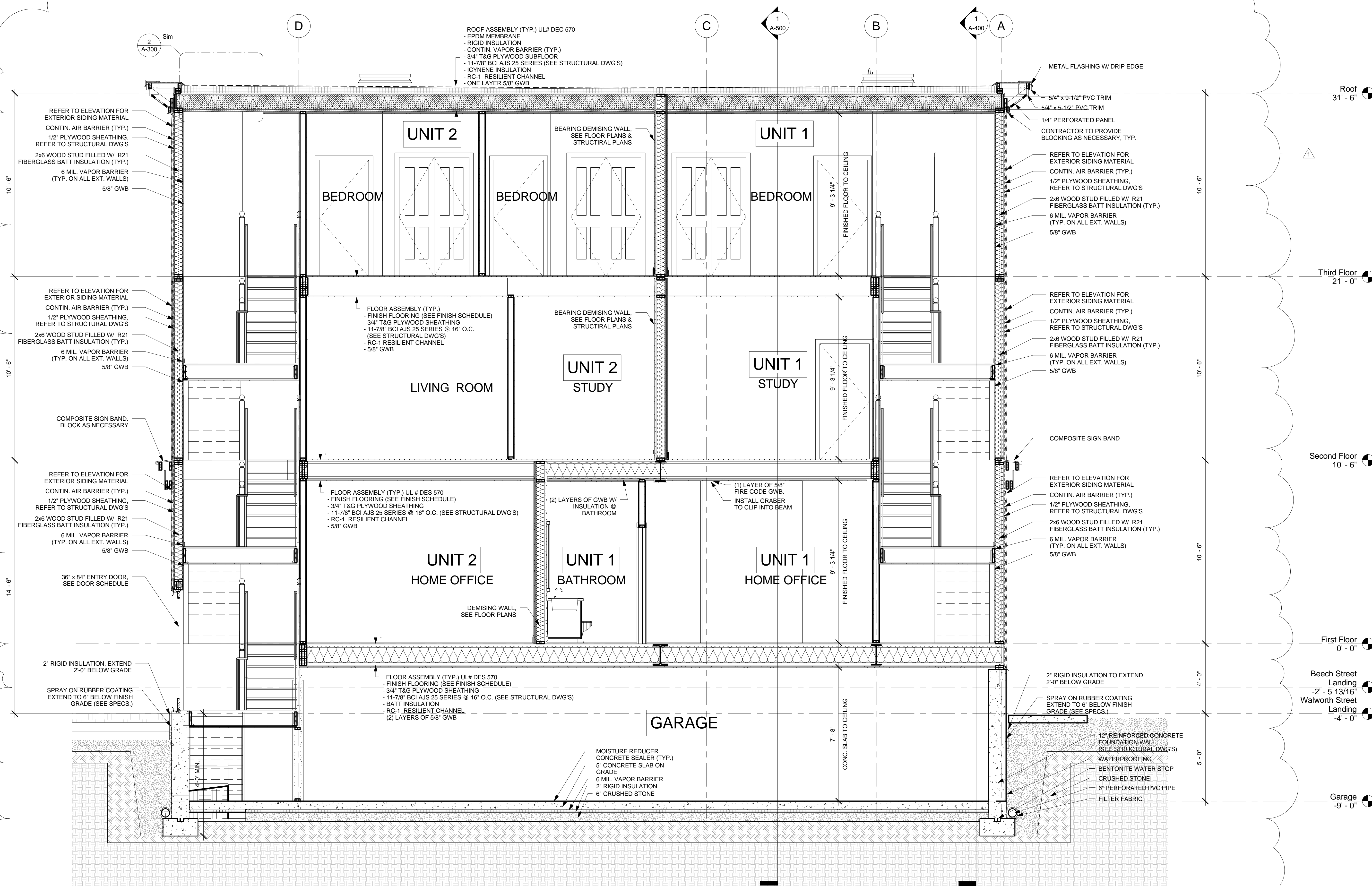
REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

Building Section

A-401

364-370 BEECH ST RESIDENCES



1 Building Section 2
3/8" = 1'-0"

G:\1313002_Davos_Beach_Roofline\drawings\13002_Davos_Beach_St_CD_rev 02272014.rvt

3/4/2014 1:52:36 PM

PROJECT NAME

364-370 BEECH ST
RESIDENCES

PROJECT ADDRESS

364-370 BEECH STREET
BOSTON, MA

CLIENT

NTABOS REALTY
TRUST

ARCHITECT

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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13002
Date 01-10-2014
Drawn by AB/MT
Checked by JSK
Scale As indicated

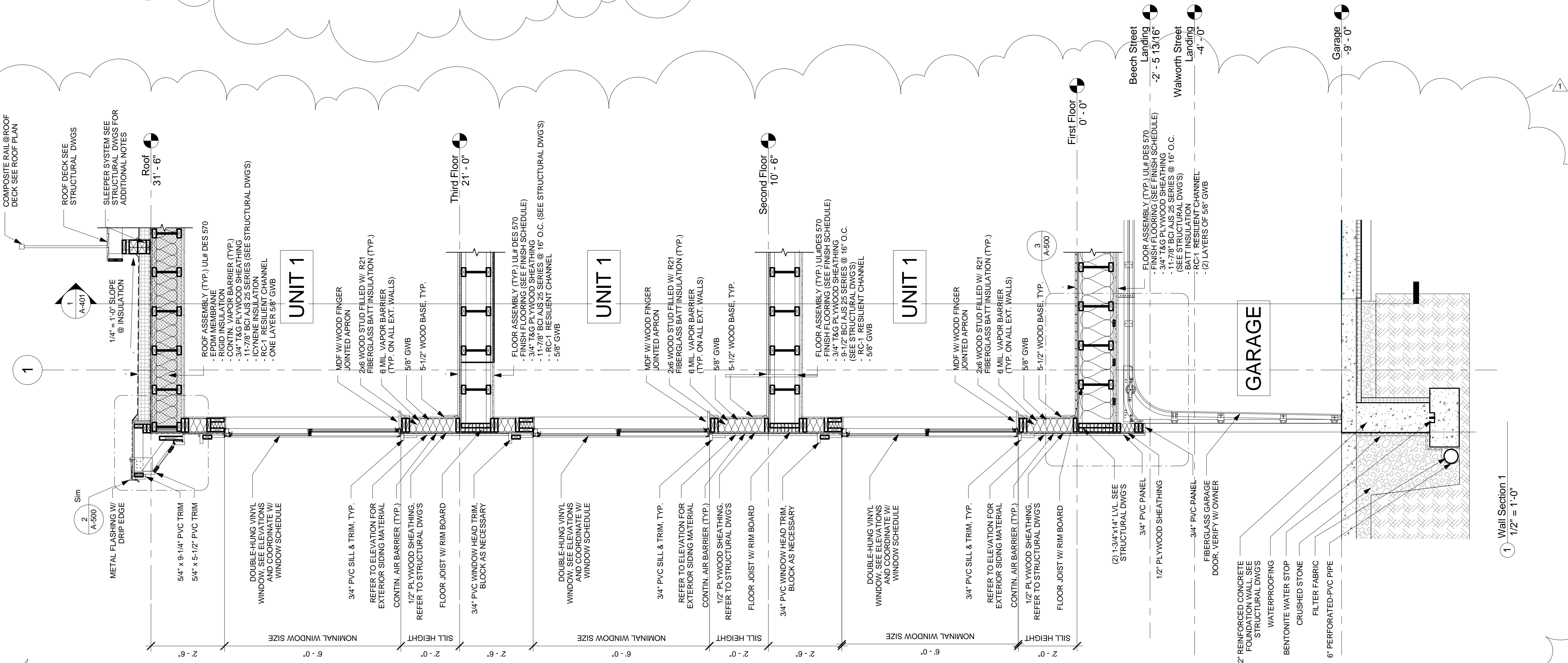
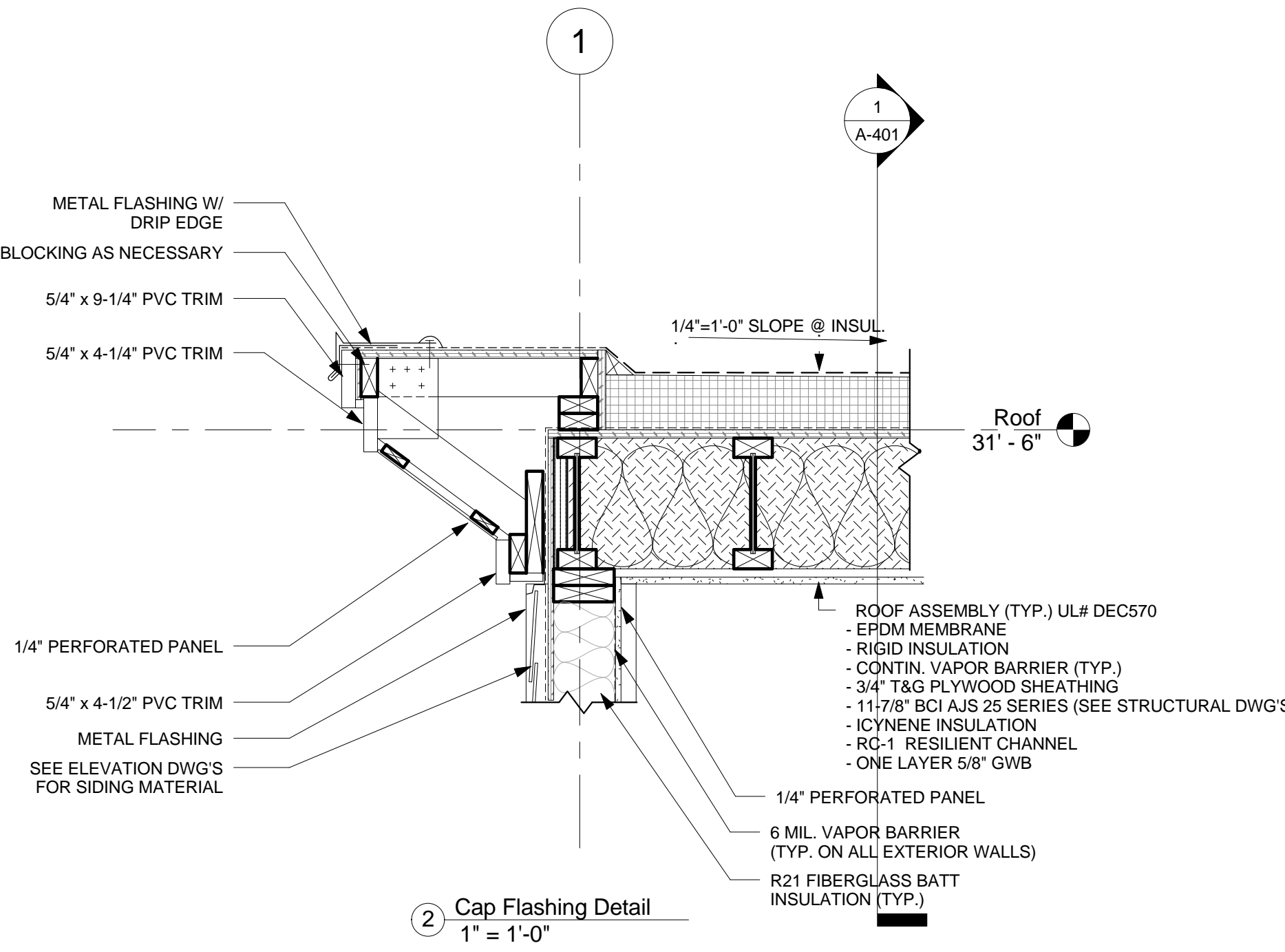
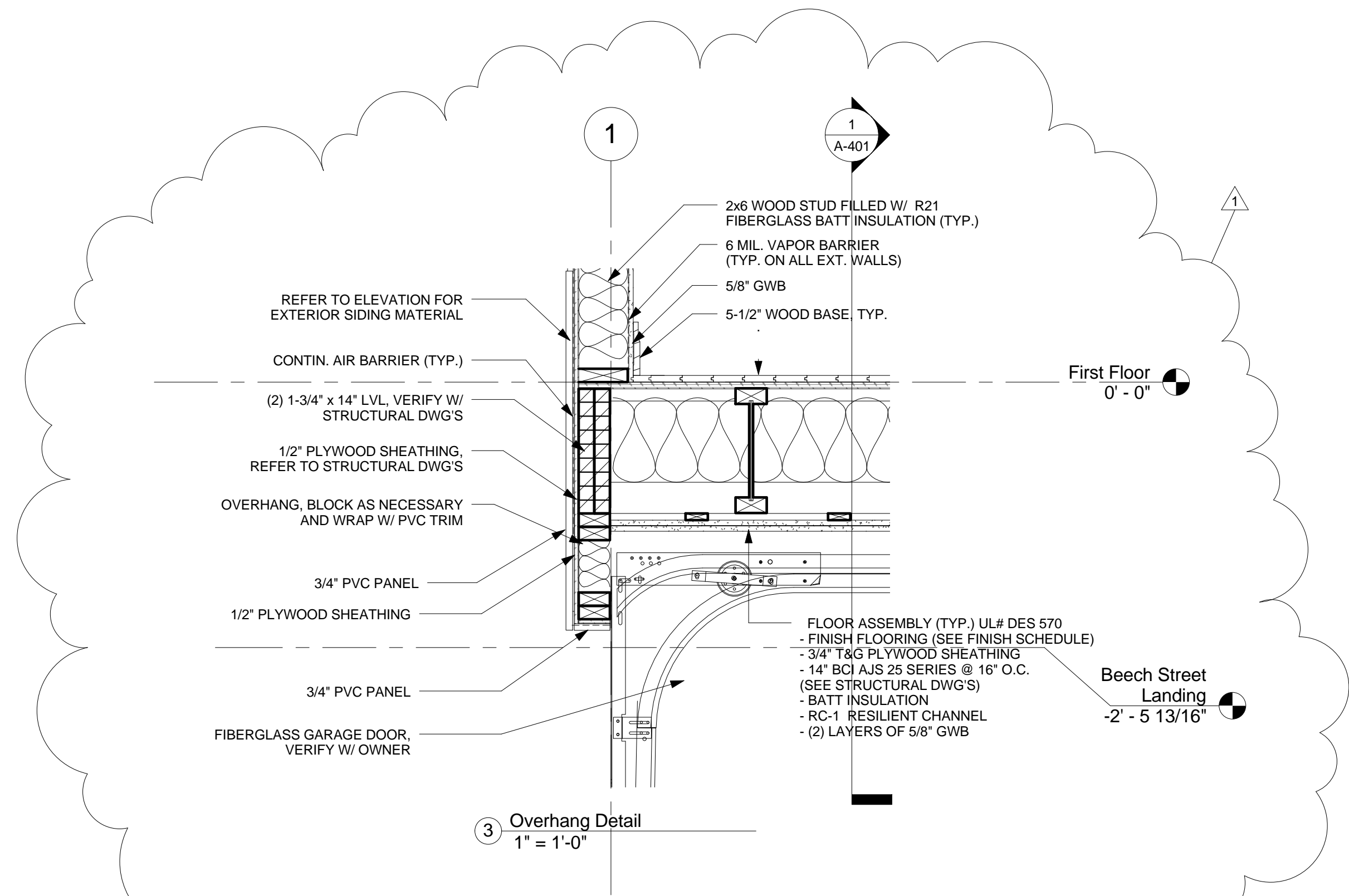
REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

Wall Section &
Details

A-500

364-370 BEECH ST RESIDENCES





16 NOT USED
A-521 Scale: N.T.S.

17 METAL EDGE TERMINATION
A-521 Scale: N.T.S.

18 FLEXIBLE PENETRATION
A-521 Scale: N.T.S.

19 ROOF DRAIN
A-521 Scale: N.T.S.

20 MEMBRANE SPLICE
A-521 Scale: N.T.S.

CONSULTANTS:

364-370 BEECH ST RESIDENCES

PROJECT NAME

364-370 BEECH ST
RESIDENCES

PROJECT ADDRESS

364-370 BEECH STREET
BOSTON, MA

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NTABOS REALTY
TRUST

ARCHITECT

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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13002
Date 01-10-2014
Drawn by AB/MT
Checked by JSK
Scale 1/2" = 1'-0"

REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

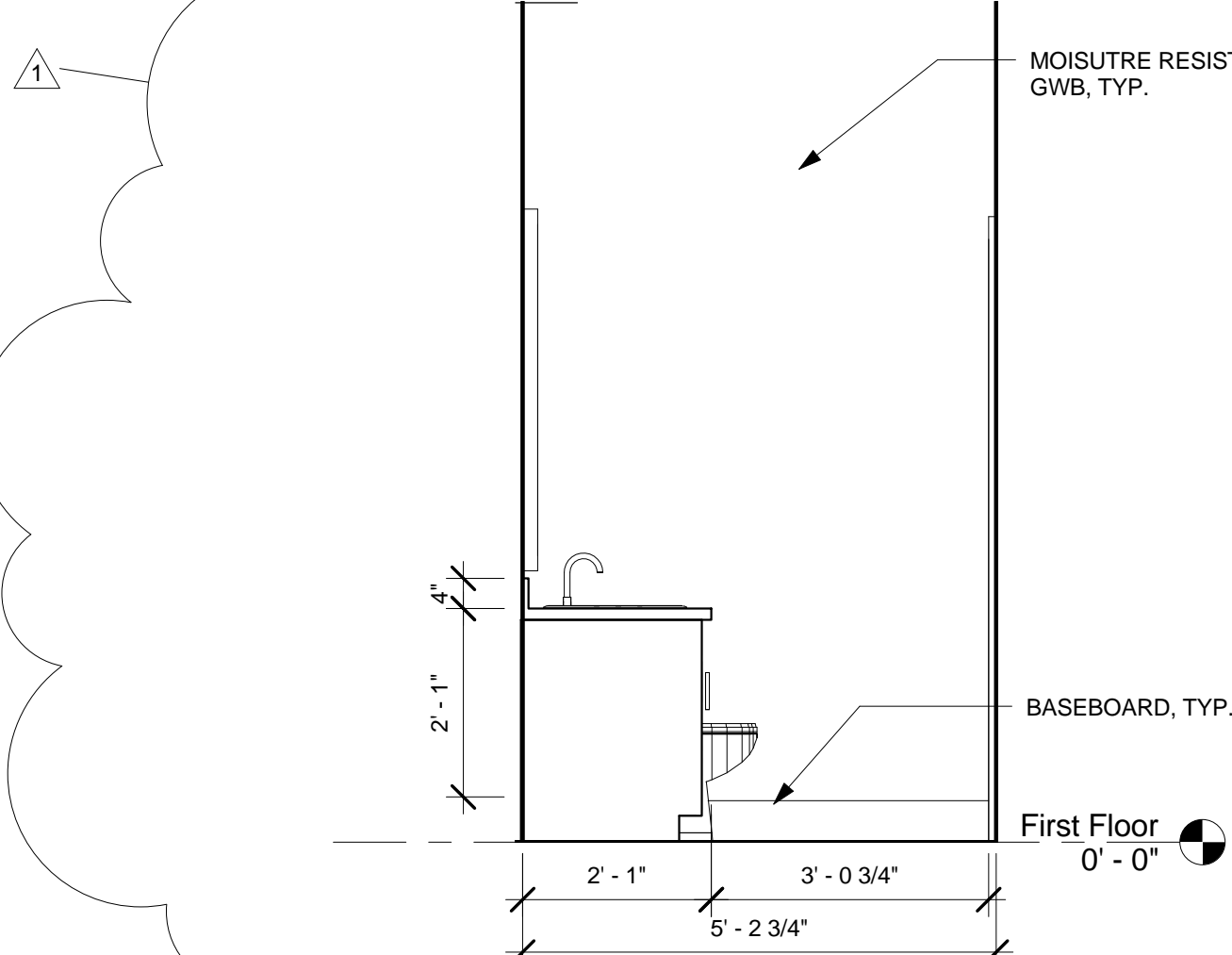
Enlarged Bathroom
Plans & Elevations

A-610

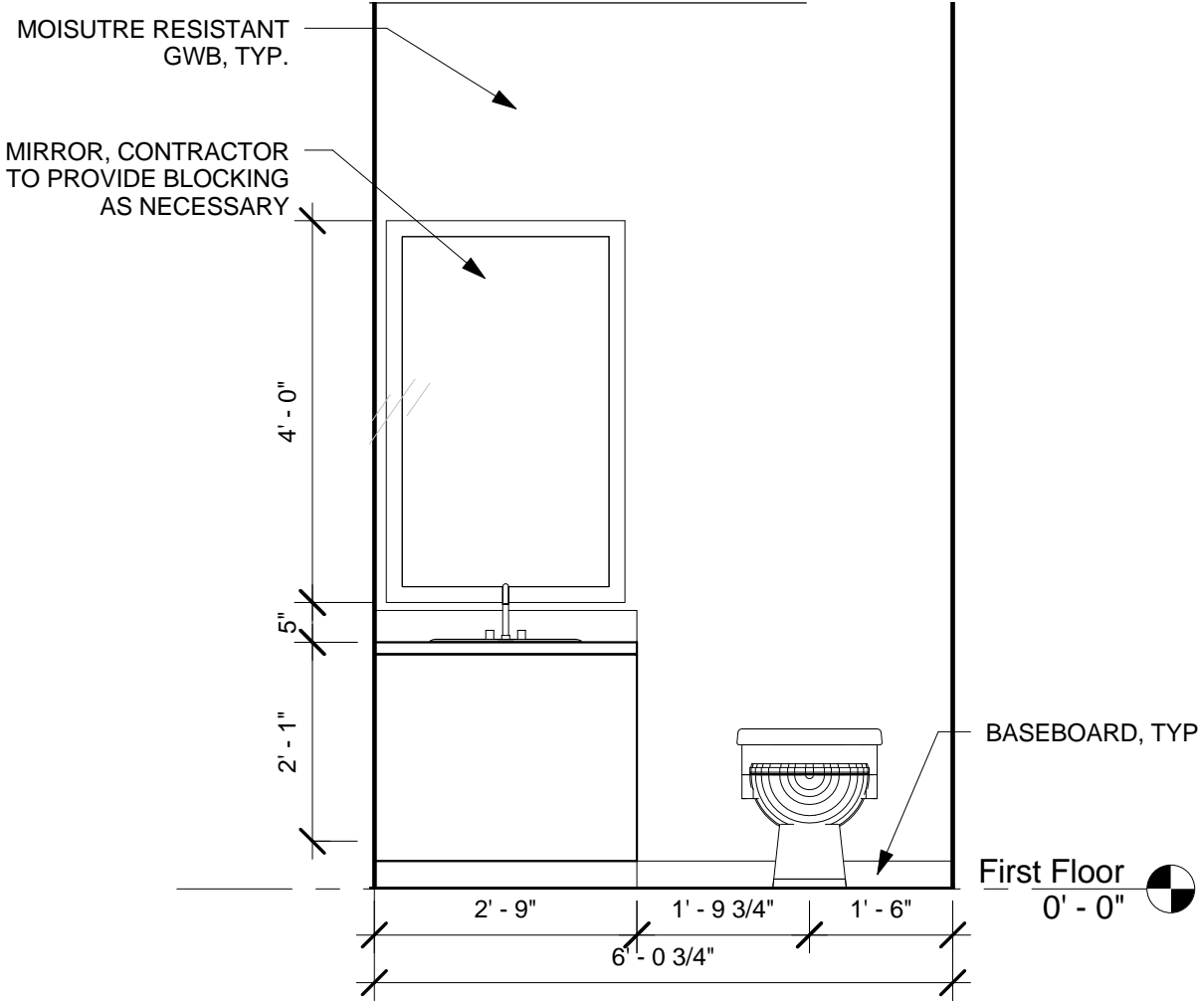
364-370 BEECH ST RESIDENCES

General Group 1 Bathroom Notes

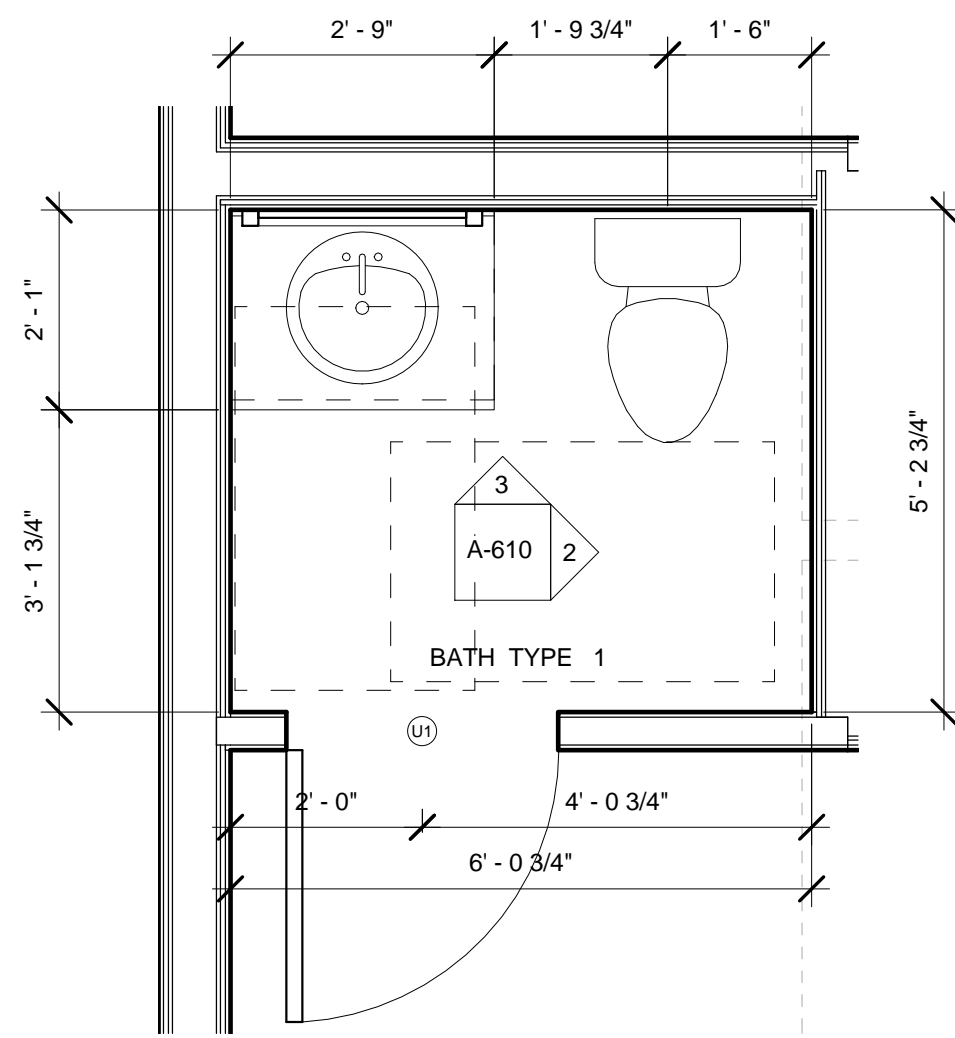
- WALLS ADJACENT TO AND BEHIND THE TOILET SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING THE FUTURE INSTALLATION OF GRAB BARS FROM 32"-38" A.F.F. THE BACK WALL SHALL HAVE REINFORCEMENT FROM THE INTERIOR REINFORCEMENT FROM THE INTERIOR CORNER TO A DISTANCE OF 6" BEYOND THE WIDEST PART OF THE TOILET. THE SIDE WALL SHALL HAVE REINFORCEMENT FROM THE INTERIOR CORNER TO DISTANCE OF 6" BEYOND THE FRONT EDGE OF THE TOILET, UNLESS INTERRUPTED BY A DOOR OR OTHER FIXTURE, THEN REINFORCEMENT SHALL BE INSTALL AS FAR AS POSSIBLE. WHEN THE TOILET IS LOCATED BETWEEN TWO FIXTURES, THE WALL REINFORCEMENT BEHIND THE TOILET SHALL BE EXTENDED 6" BEYOND THE WIDEST PART OF THE TOILET.
- ALL TUB & SHOWER WALLS SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING THE FUTURE INSTALLATION OF GRAB BARS FROM 6" ABOVE THE RIM TO A HEIGHT OF 48" ABOVE THE TUB BOTTOM AND SHALL EXTEND THE LENGTH AND WIDTH OF THE TUB.
- SEE SHEET A-021 FOR ADDITIONAL ADA GROUP 1 REQUIREMENTS.
- ALL INTERIOR FINISHES TBD BY OWNER.



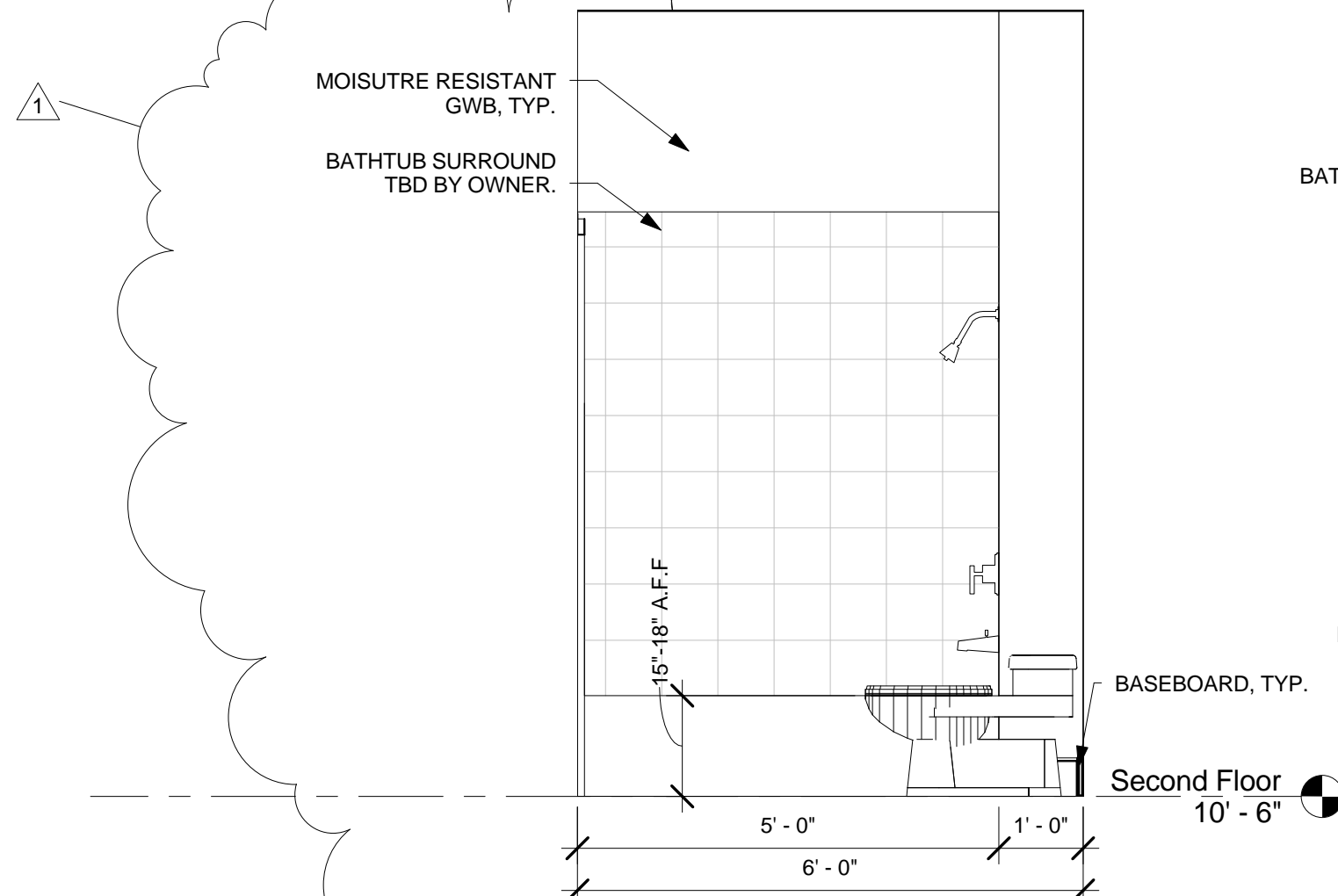
2 Bath Type 1 - East Elevation
1/2" = 1'-0"



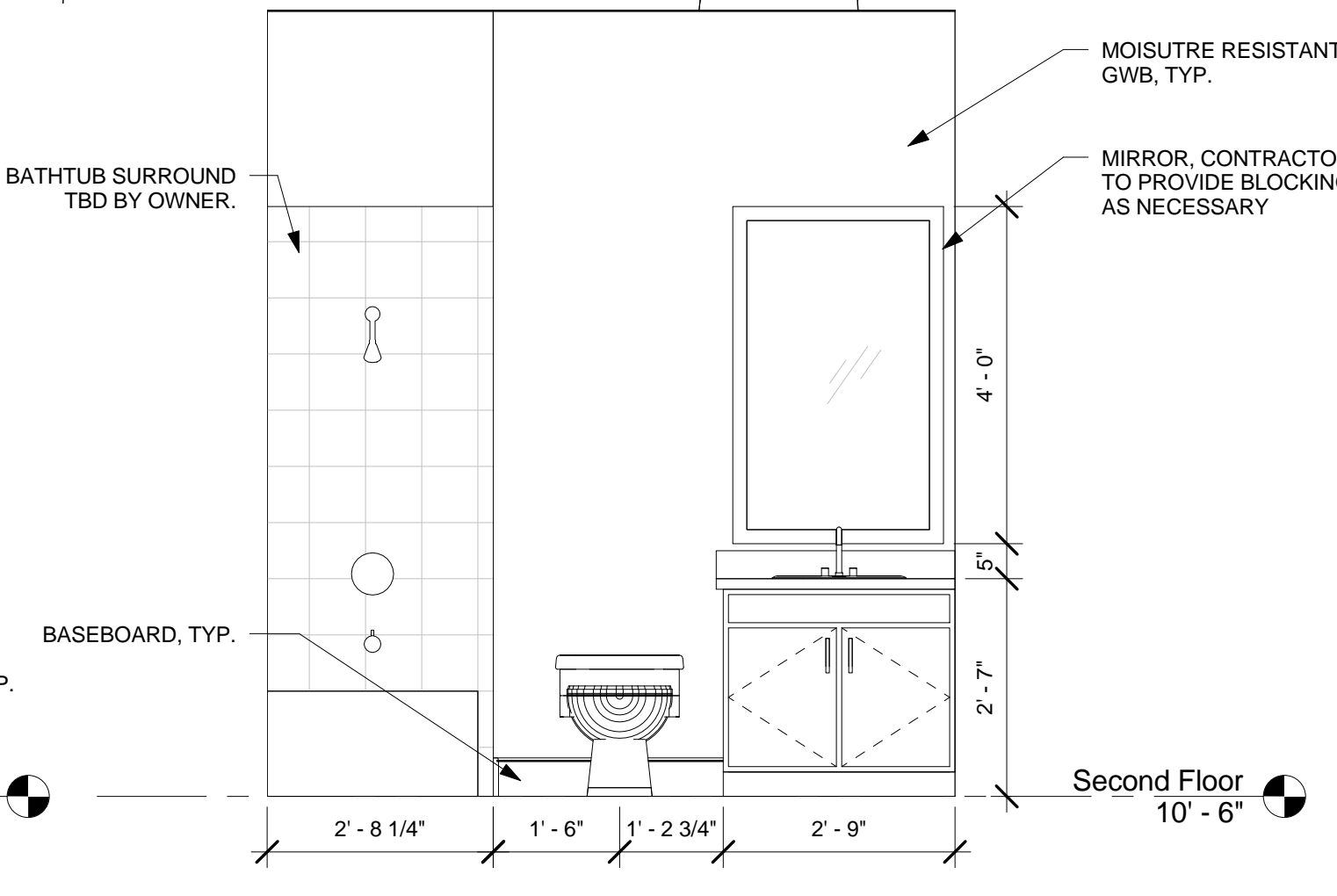
3 Bath Type 1 - North Elevation
1/2" = 1'-0"



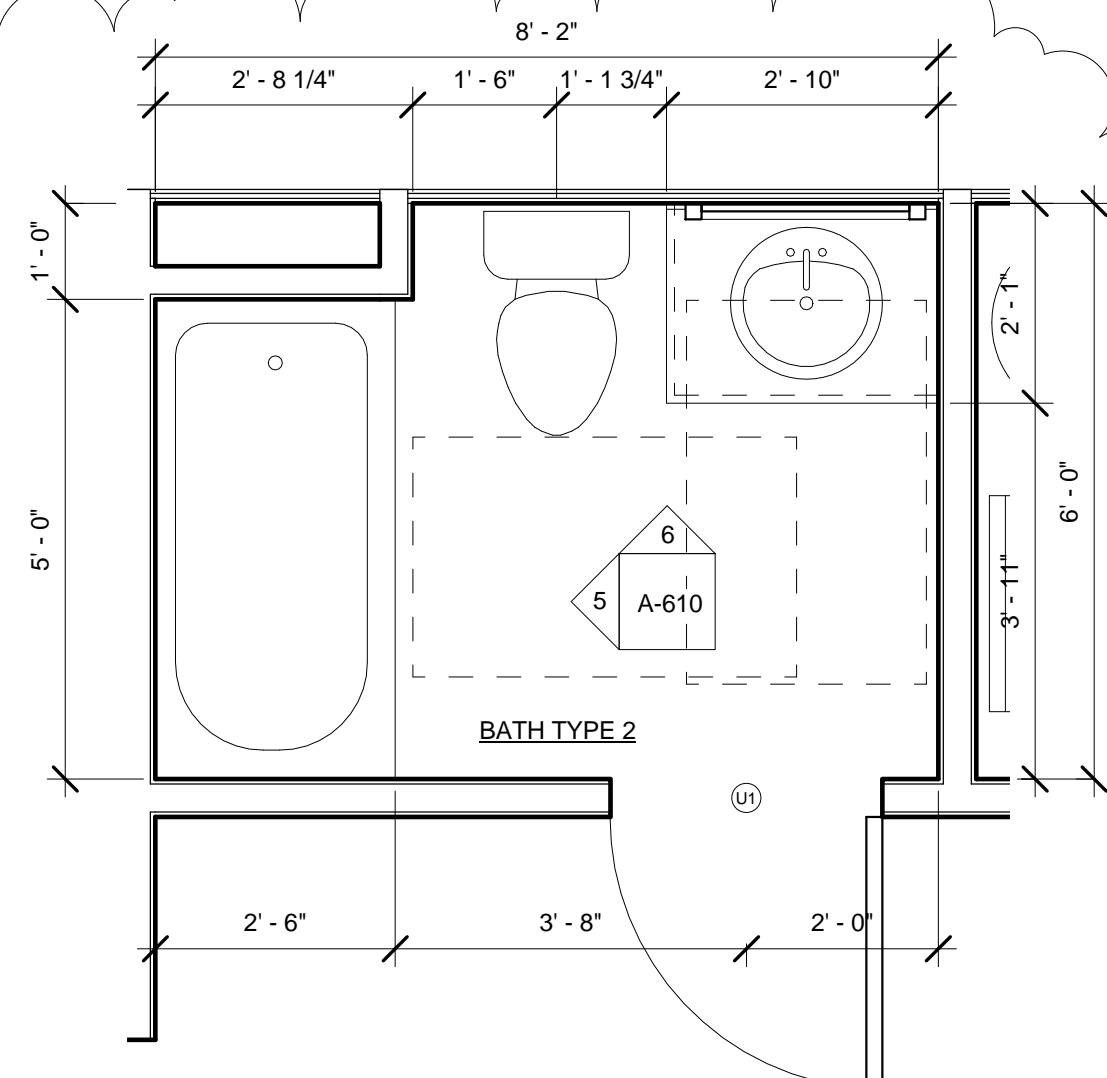
1 Bath Type 1
1/2" = 1'-0"



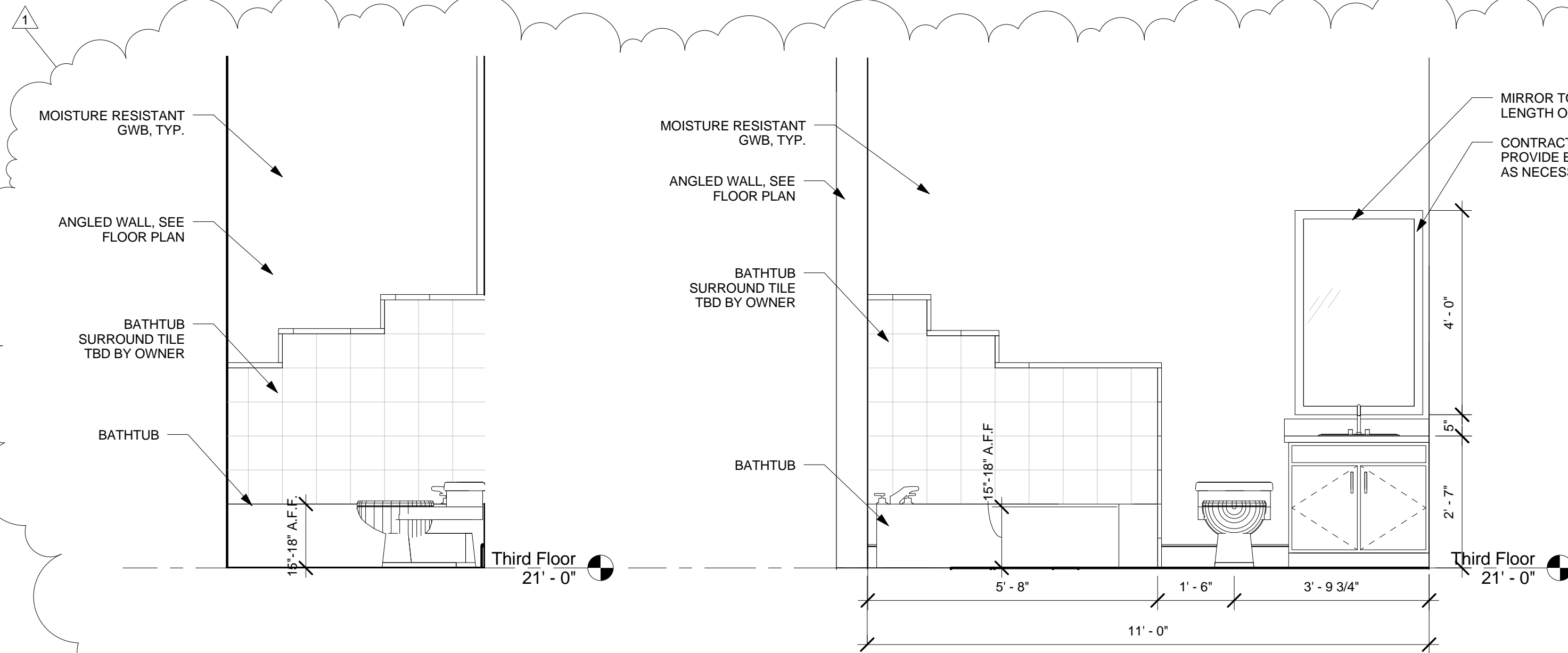
5 Bath Type 2 - West Elevation
1/2" = 1'-0"



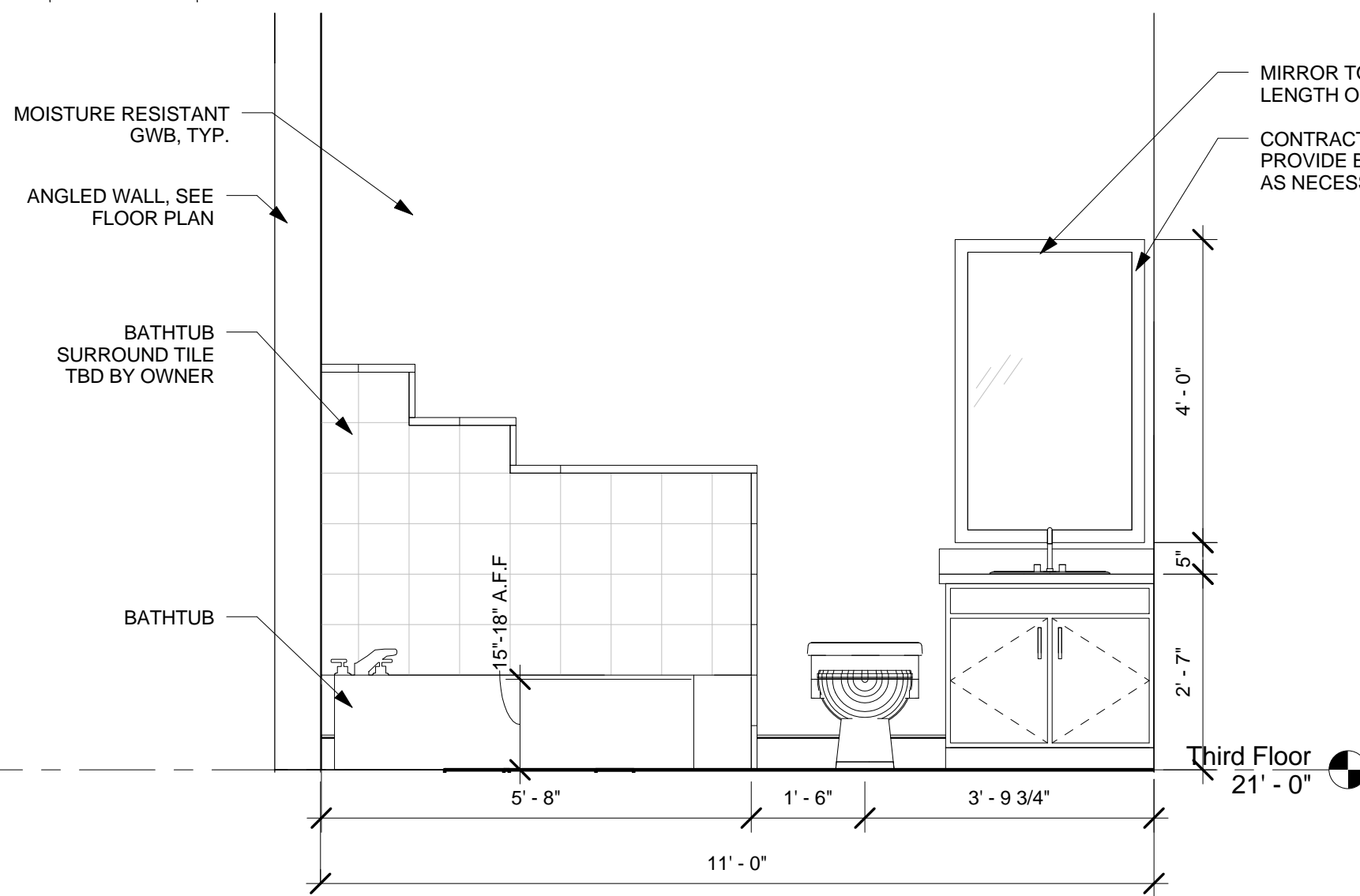
6 Bath Type 2 - North Elevation
1/2" = 1'-0"



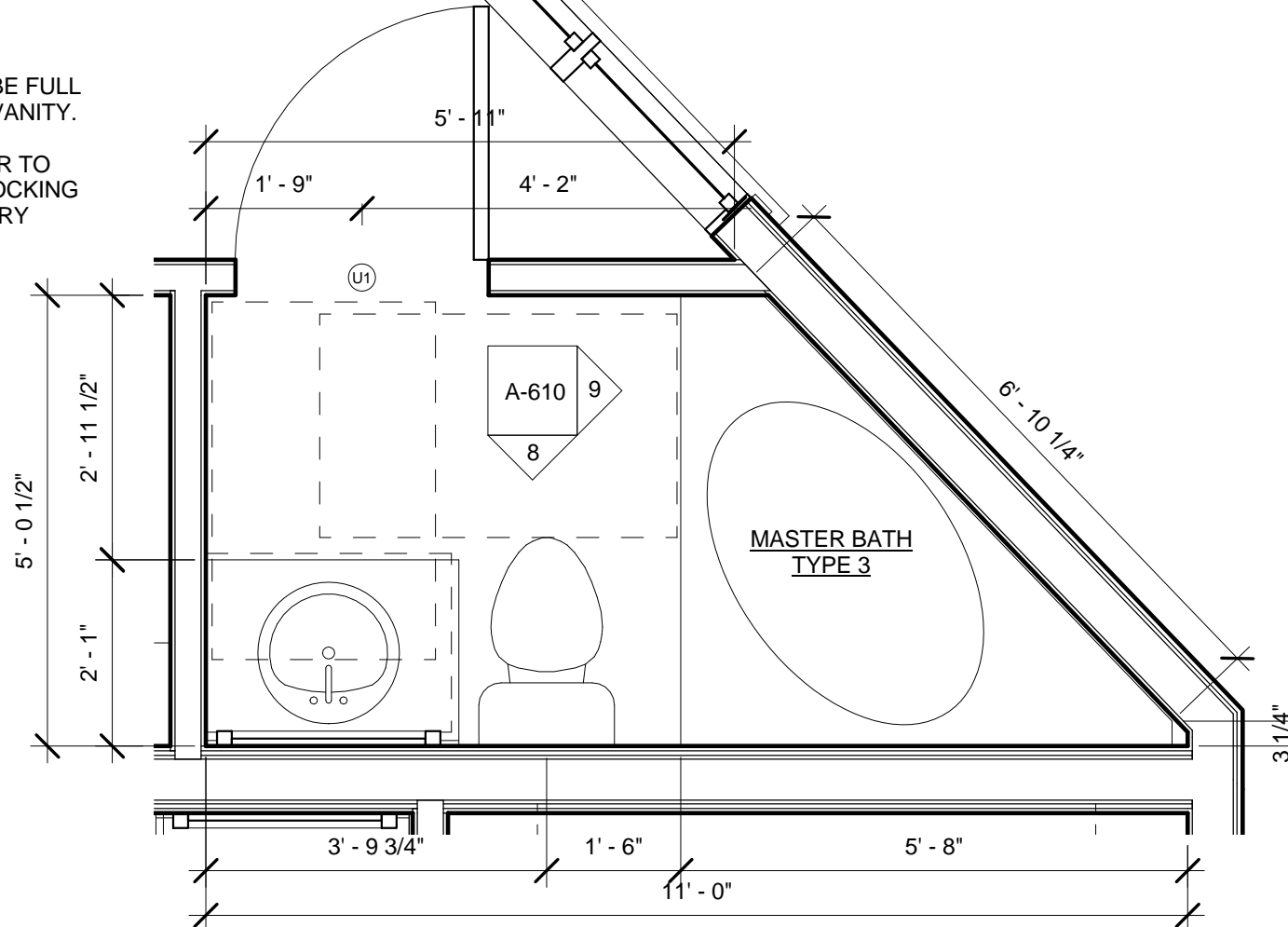
4 Bath Type 2
1/2" = 1'-0"



9 M. Bath - East Elevation
1/2" = 1'-0"

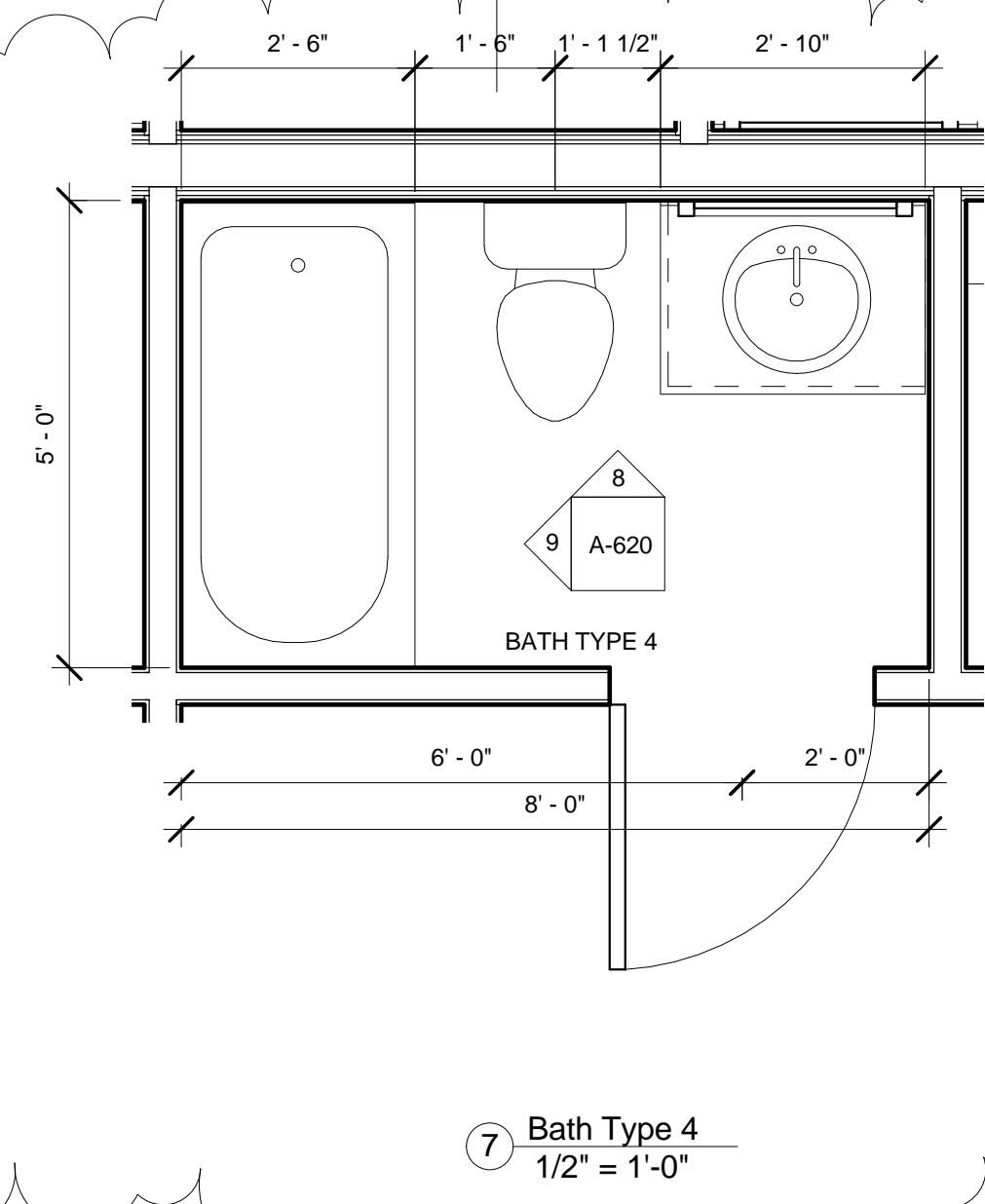
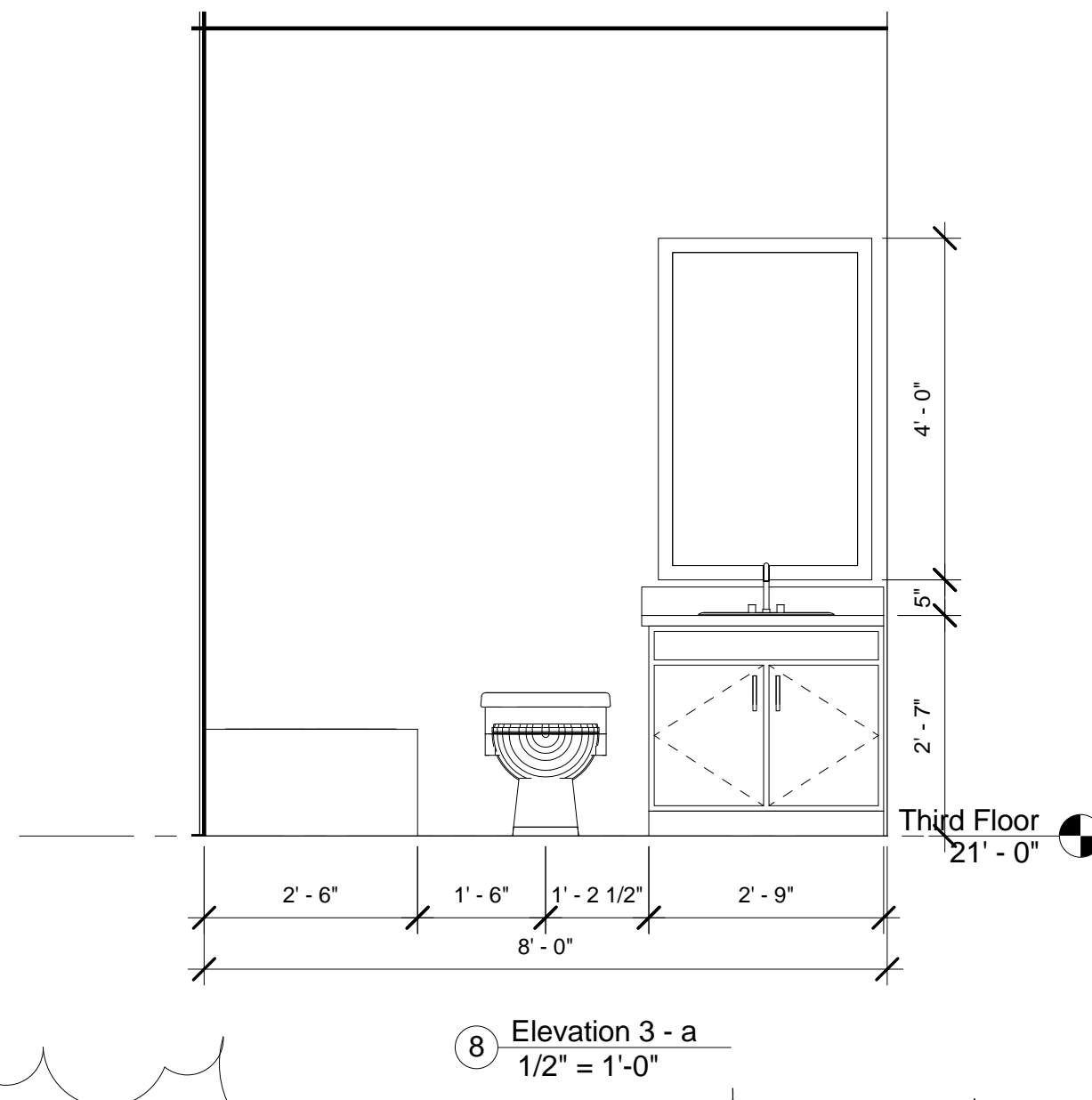
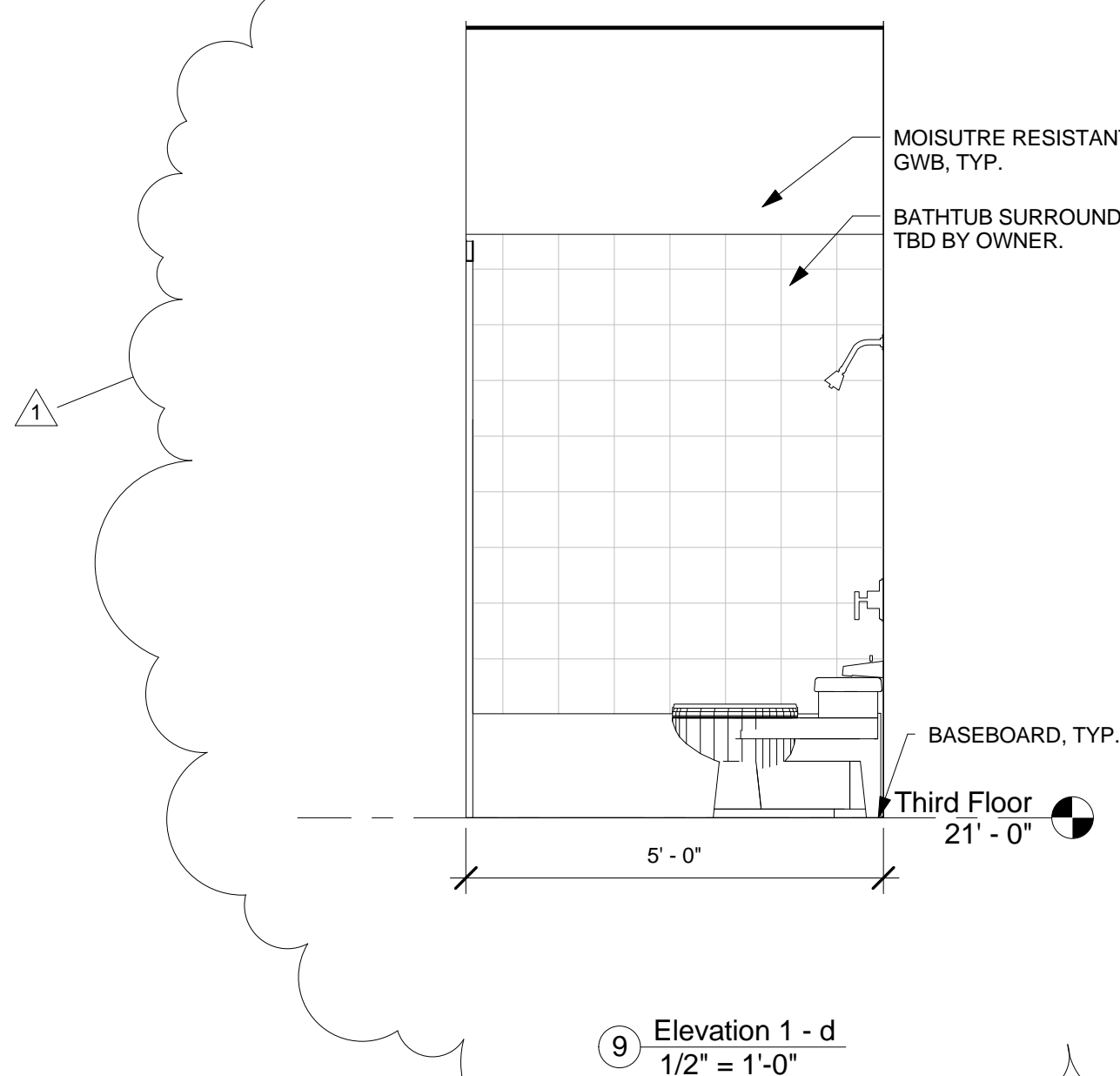
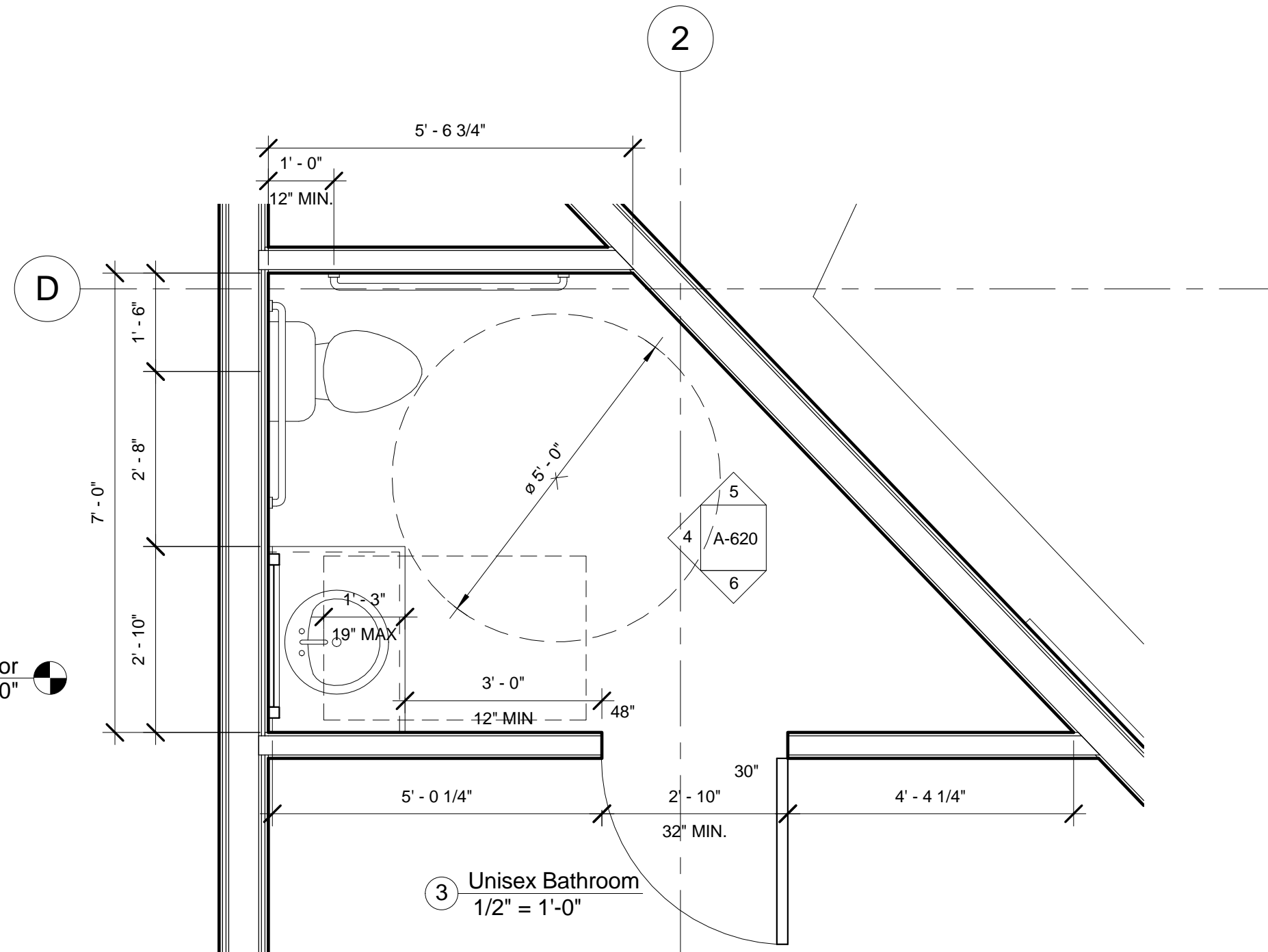
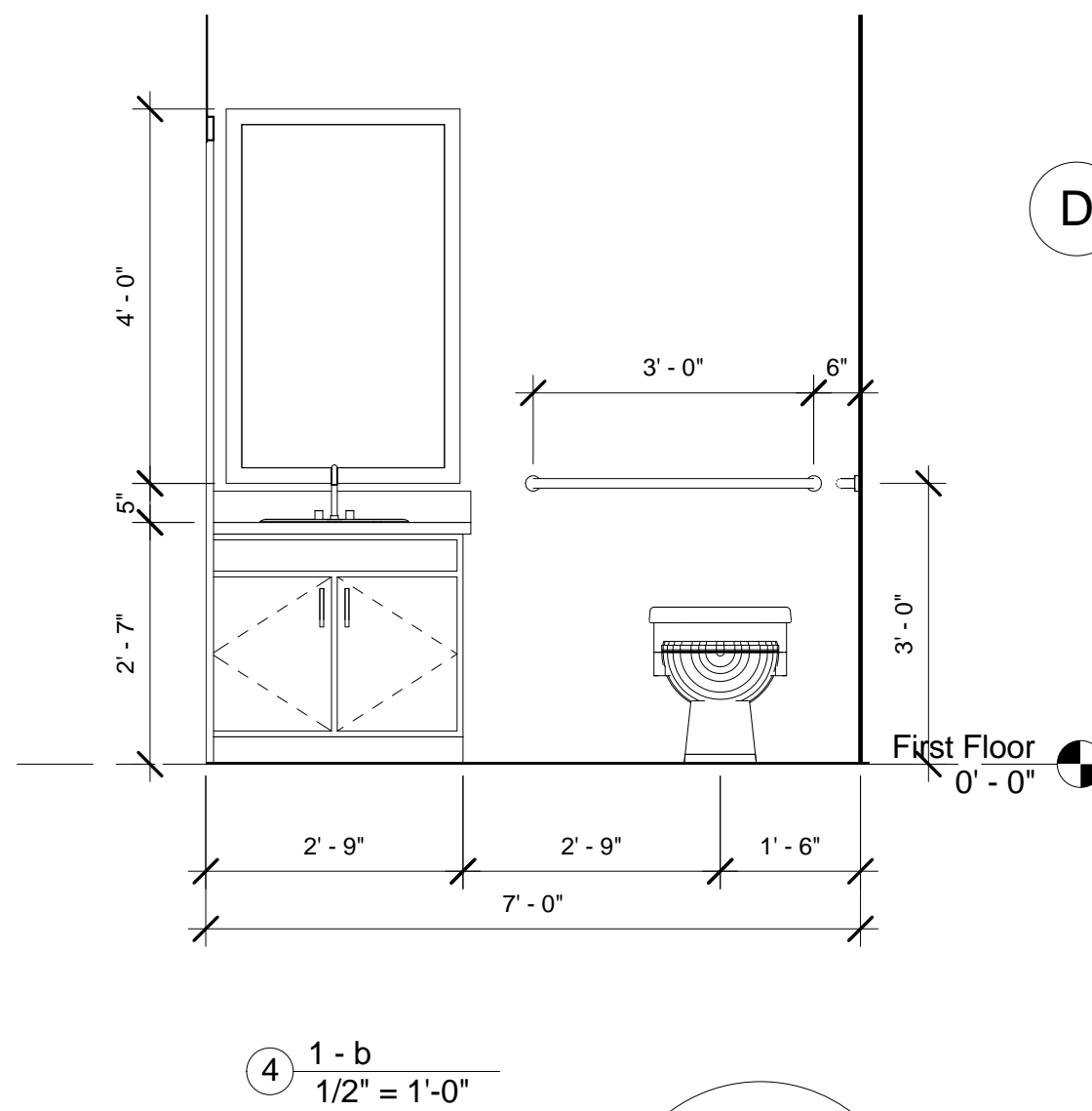
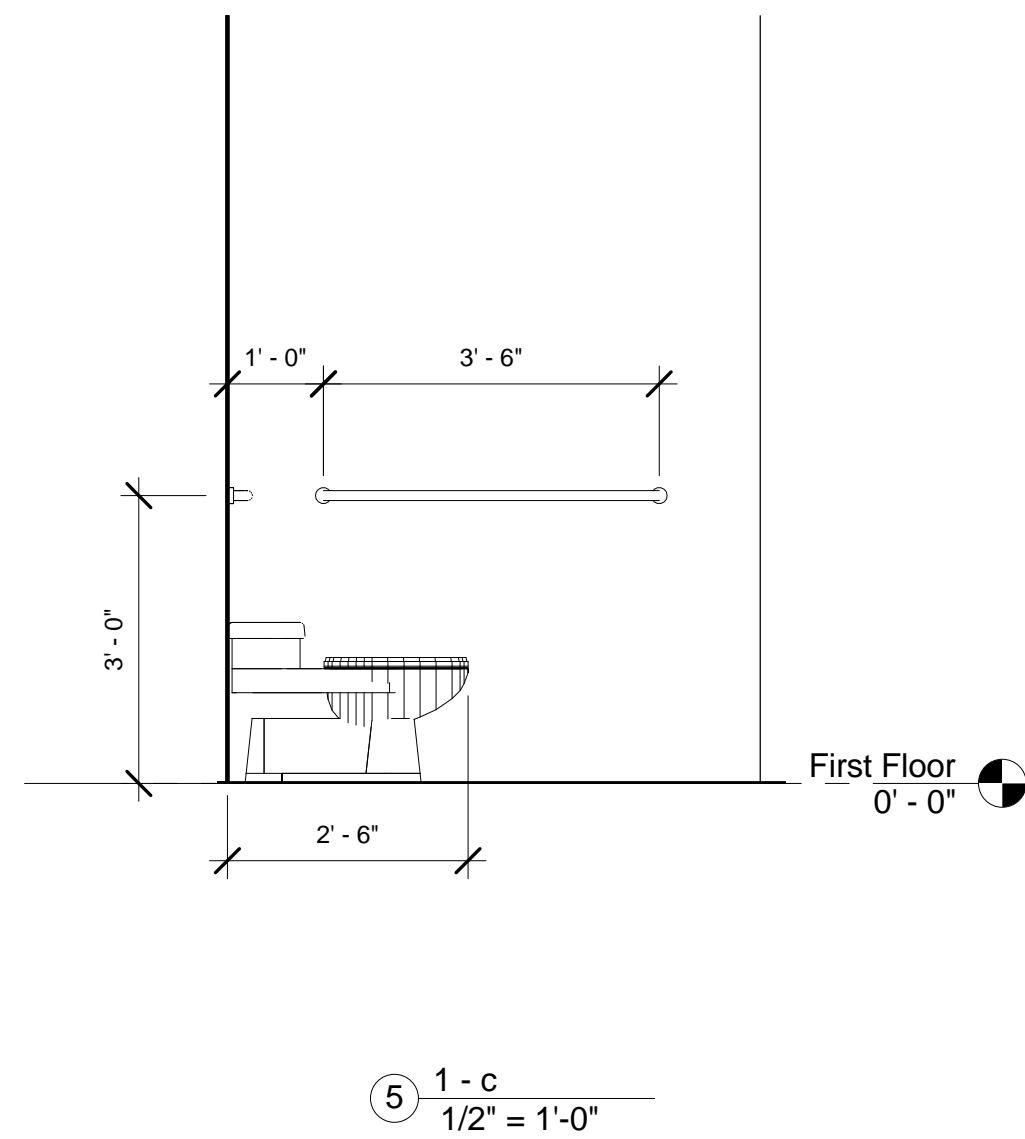
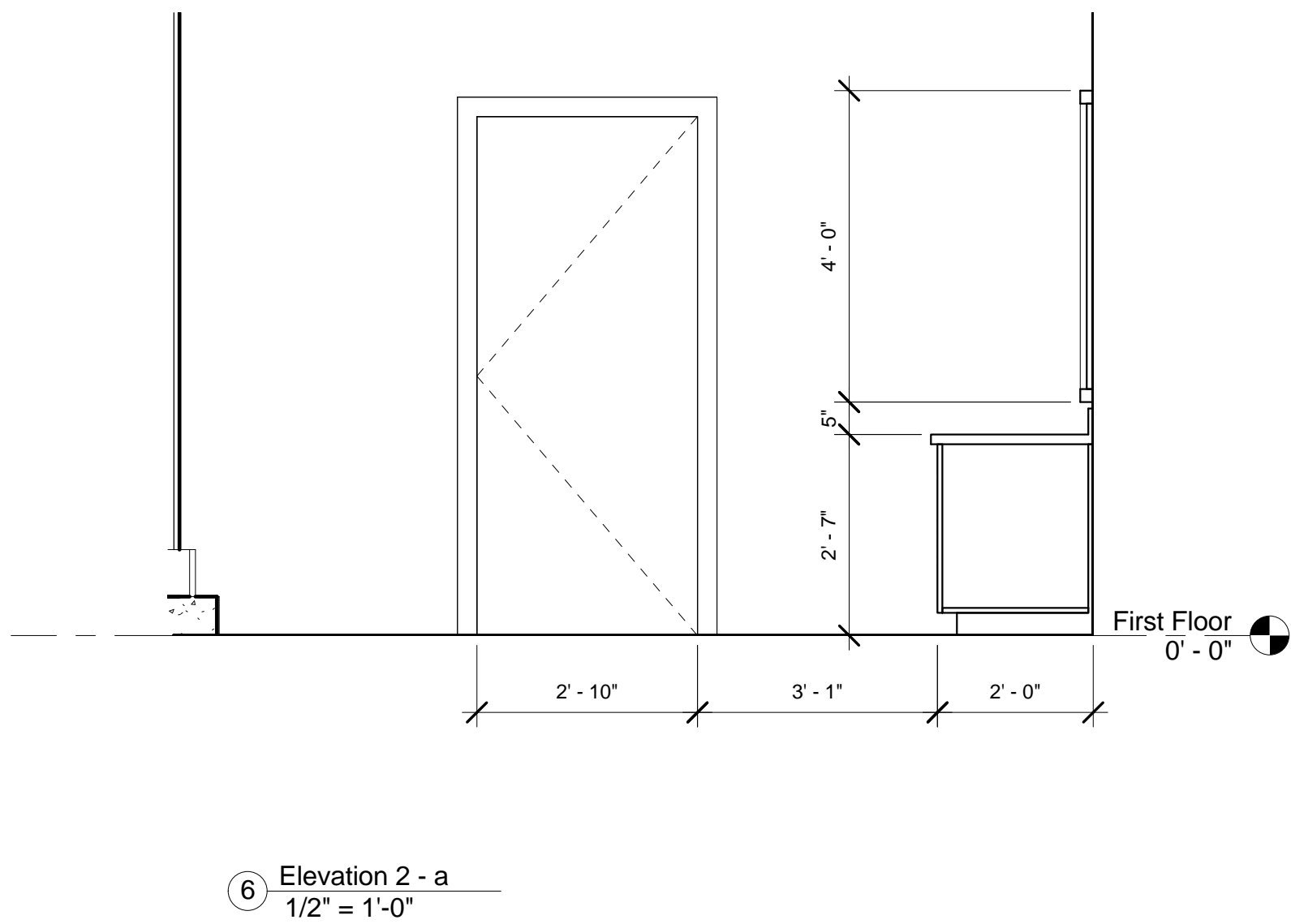
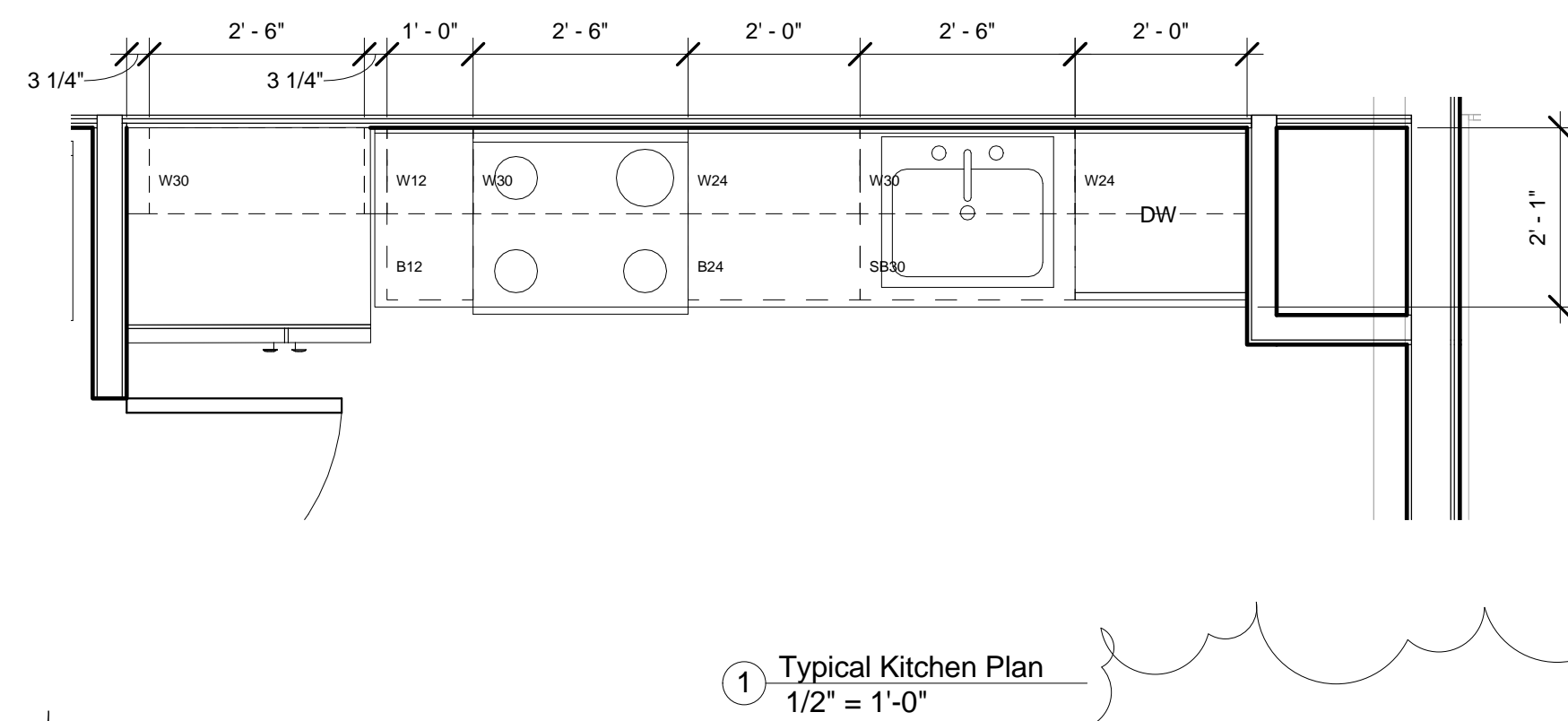
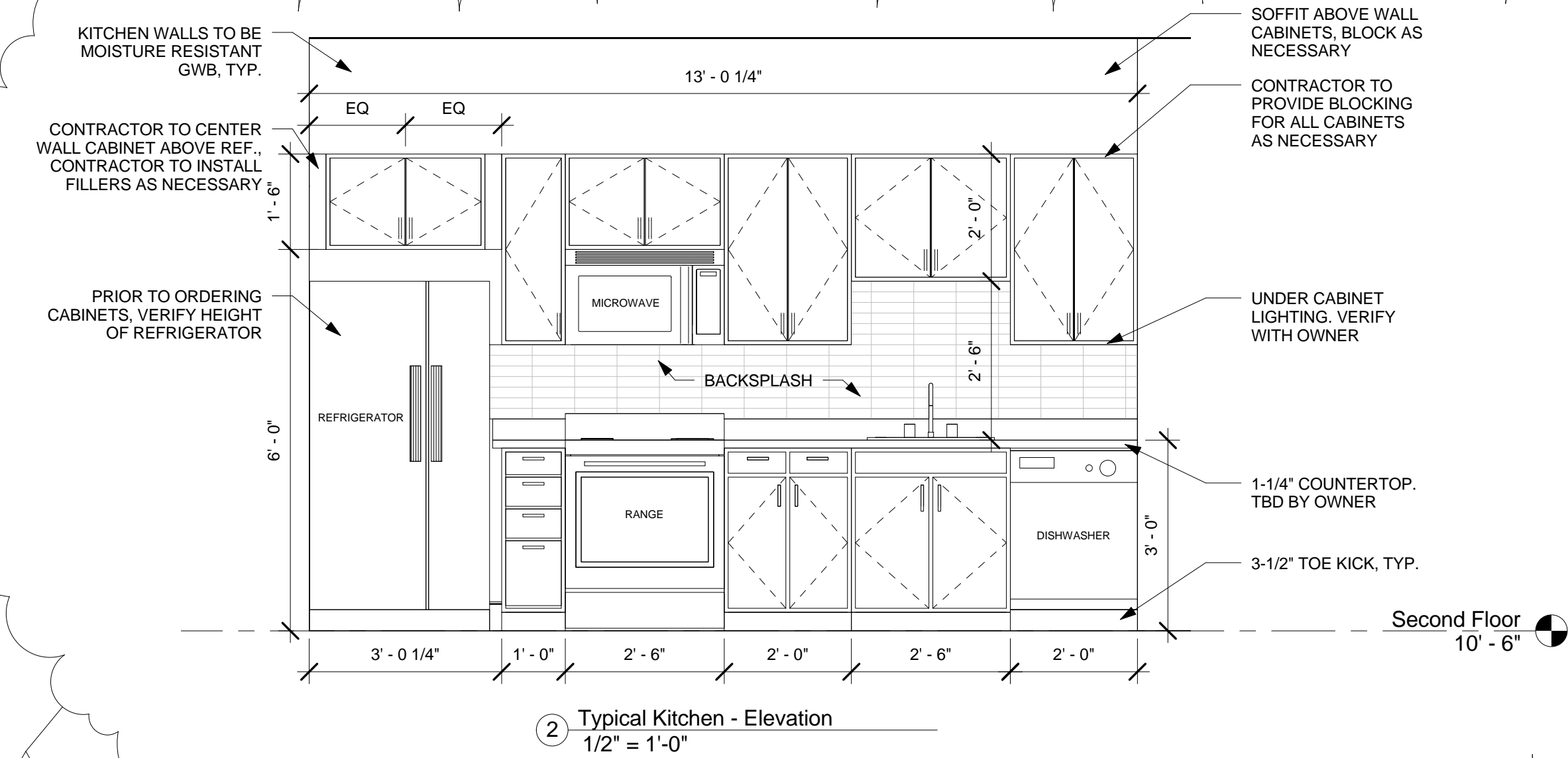


8 M. Bath - South Elevation
1/2" = 1'-0"



7 Master Bath - Type 3
1/2" = 1'-0"

- General Group 1 Kitchen Notes**
- 1 GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO INSTALLATION.
 - 2 SUBMIT SHOP DRAWINGS AND FULL SIZE SAMPLES FOR ALL CABINETS, TRIM, HARDWARE, COUNTERTOPS AND FINISHES FOR REVIEW AND APPROVAL BY OWNER.
 - 3 CONTRACTOR TO COORDINATE ALL MECHANICAL SYSTEMS WITH MILLWORK.
 - 4 GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING AS NECESSARY AND CAULK ALL GAPS AS REQUIRED BY ARCHITECT.
 - 5 KITCHEN AND BATHROOM FINISH SPECIFICATIONS TO COMPLY WITH 780 CMR TABLE 803.4
 - 6 GENERAL CONTRACTOR TO PROVIDE RECESSED TASK LIGHTING UNDER ALL KITCHEN WALL CABINETS.
 - 7 WALLS SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING WALL CABINETS AT ANY LOCATION FROM 32 INCHES TO 54 INCHES FROM THE FLOOR TO THE BOTTOM OF THE INSIDE CABINET.
 - 8 EACH BASE CABINET SHALL BE CAPABLE OF BEING REMOVED TO PROVIDE KNEE SPACE FOR PERSON USING WHEELCHAIRS.
 - 9 WALL BOARD BEHIND SINK AREA TO BE MOISTURE RETARDANT.



PROJECT NAME
364-370 BEECH ST RESIDENCES

PROJECT ADDRESS
**364-370 BEECH STREET
BOSTON, MA**

CLIENT
NTABOS REALTY TRUST

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number	13002
Date	01-10-2014
Drawn by	AB/MT
Checked by	JSK
Scale	1/2" = 1'-0"

No.	Description	Date
1	Revision 1	02-28-14

Enlarged Kitchen & Bathroom Plans & Elevations

A-620
364-370 BEECH ST RESIDENCES

CONSULTANTS:

Project number	13002
Date	01-10-2014
Drawn by	AB/MT
Checked by	JSK
Scale	As indicated

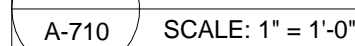
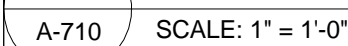
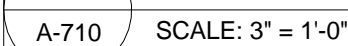
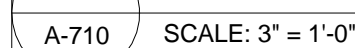
REVISIONS

[illegible]

Stair Details

A-710

364-370 BEECH ST RESIDENCES



A-710 SCALE: 1" = 1'-0"

A-710 SCALE: 1" = 1'-0"

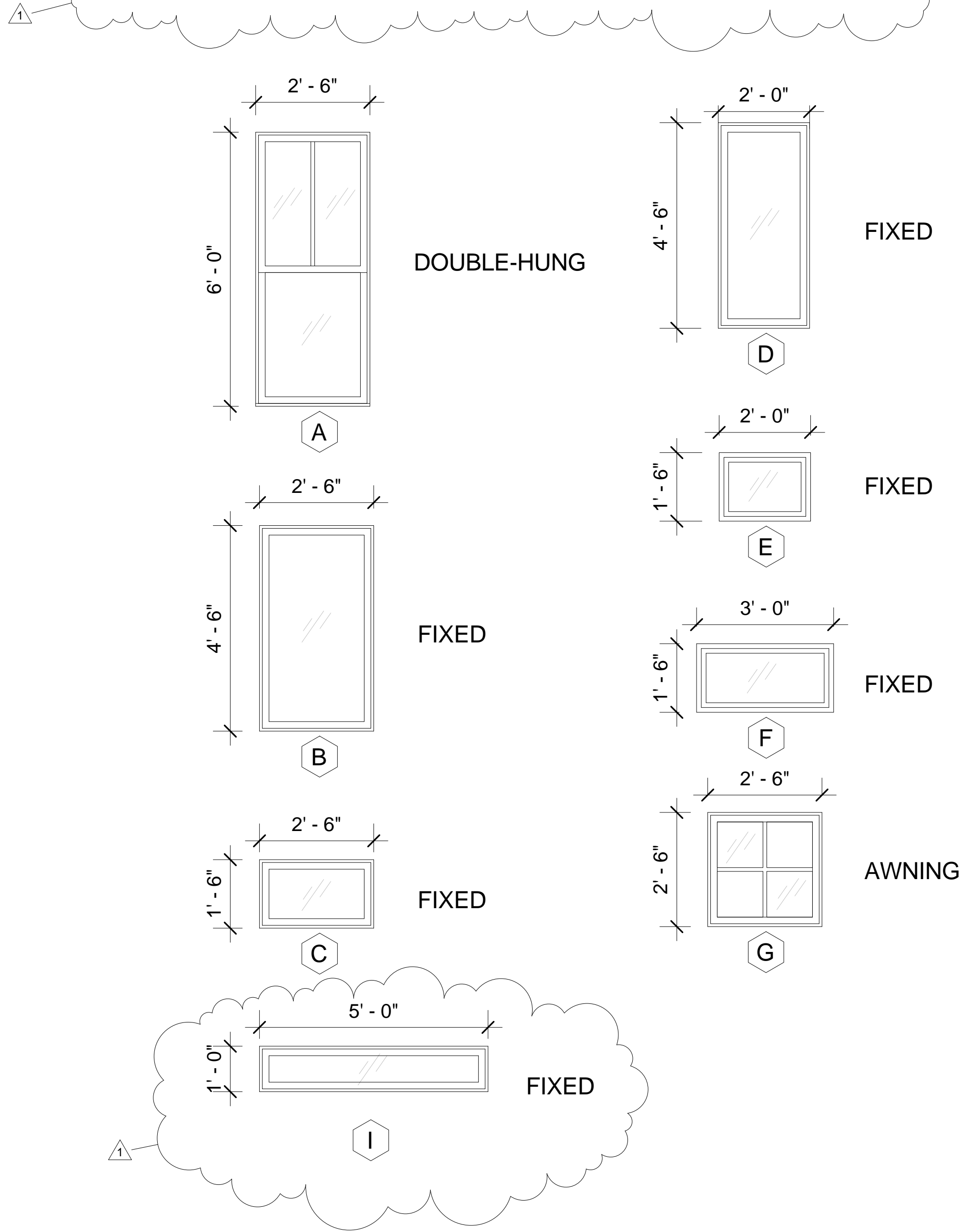
A-710 SCALE: 1" = 1'-0"

A-710 SCALE: 1" = 1'-0"

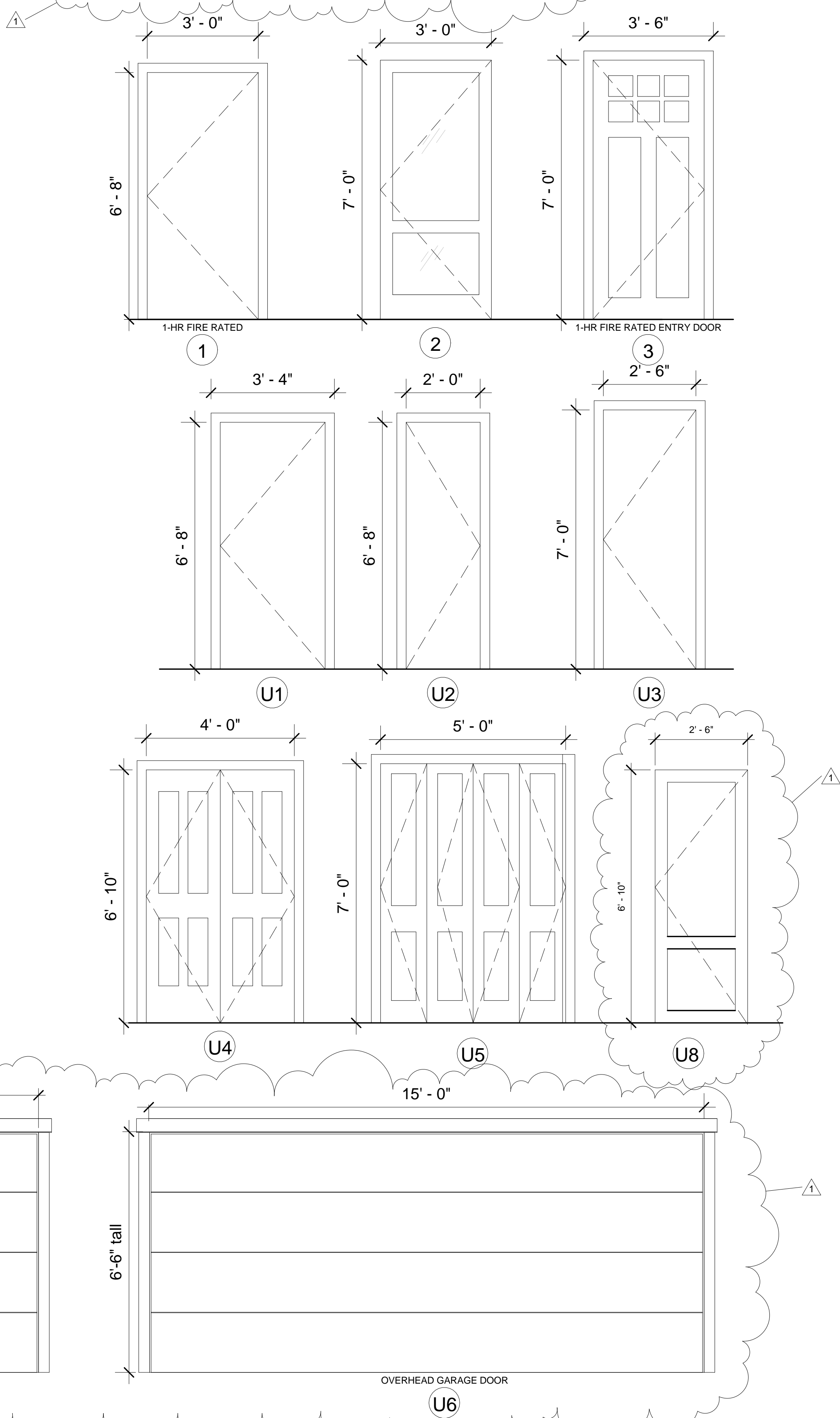
A-710 SCALE: 1" = 1'-0"

A-710 SCALE: 1" = 1'-0"

Window Schedule						
Type Mark	Type	Operation	Width	Height	Manufacturer	Notes
A	30" x 72"	DOUBLE HUNG	2' - 6"	6' - 0"	Jeldwen or similar	2 over 1
B	30" x 54"	FIXED	2' - 6"	4' - 6"	Jeldwen or similar	
C	30" x 18"	FIXED	2' - 6"	1' - 6"	Jeldwen or similar	
D	18" x 54"	FIXED	1' - 6"	4' - 6"	Jeldwen or similar	
E	18" x 18"	FIXED	1' - 6"	1' - 6"	Jeldwen or similar	
F	36" x 18"	FIXED	3' - 0"	1' - 6"	Jeldwen or similar	
G	30" x 30"	AWNING	2' - 6"	2' - 6"	Jeldwen or similar	4 panel
I	60" x 12"	FIXED	5' - 0"	1' - 0"	Jeldwen or similar	



Door Schedule				
Type Mark	Type	Width	Height	Comments
1	36" x 80" Fire-rated	3' - 0"	6' - 8"	1HR FIRE RATED
2	36" x 84"	3' - 0"	7' - 0"	STORE FRONT DOOR
3	36" x 84"	3' - 0"	7' - 0"	1HR FIRE RATED
U1	34" x 80"	2' - 10"	6' - 8"	
U3	30" x 84"	2' - 6"	7' - 0"	
U4	48" x 82"	4' - 0"	6' - 10"	Closet Door
U5	60" x 84"	5' - 0"	7' - 0"	
U6	180" x 78"	15' - 0"	6' - 6"	Garage Door
U7	84" x 78"	7' - 0"	6' - 6"	Garage Door
U8	30" x 82"	2' - 6"	6' - 10"	Balcony Door



PROJECT NAME

364-370 BEECH ST
RESIDENCES

PROJECT ADDRESS

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BOSTON, MA

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TRUST

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	13002
Date	01-10-2014
Drawn by	AB/MT
Checked by	JSK
Scale	1/2" = 1'-0"

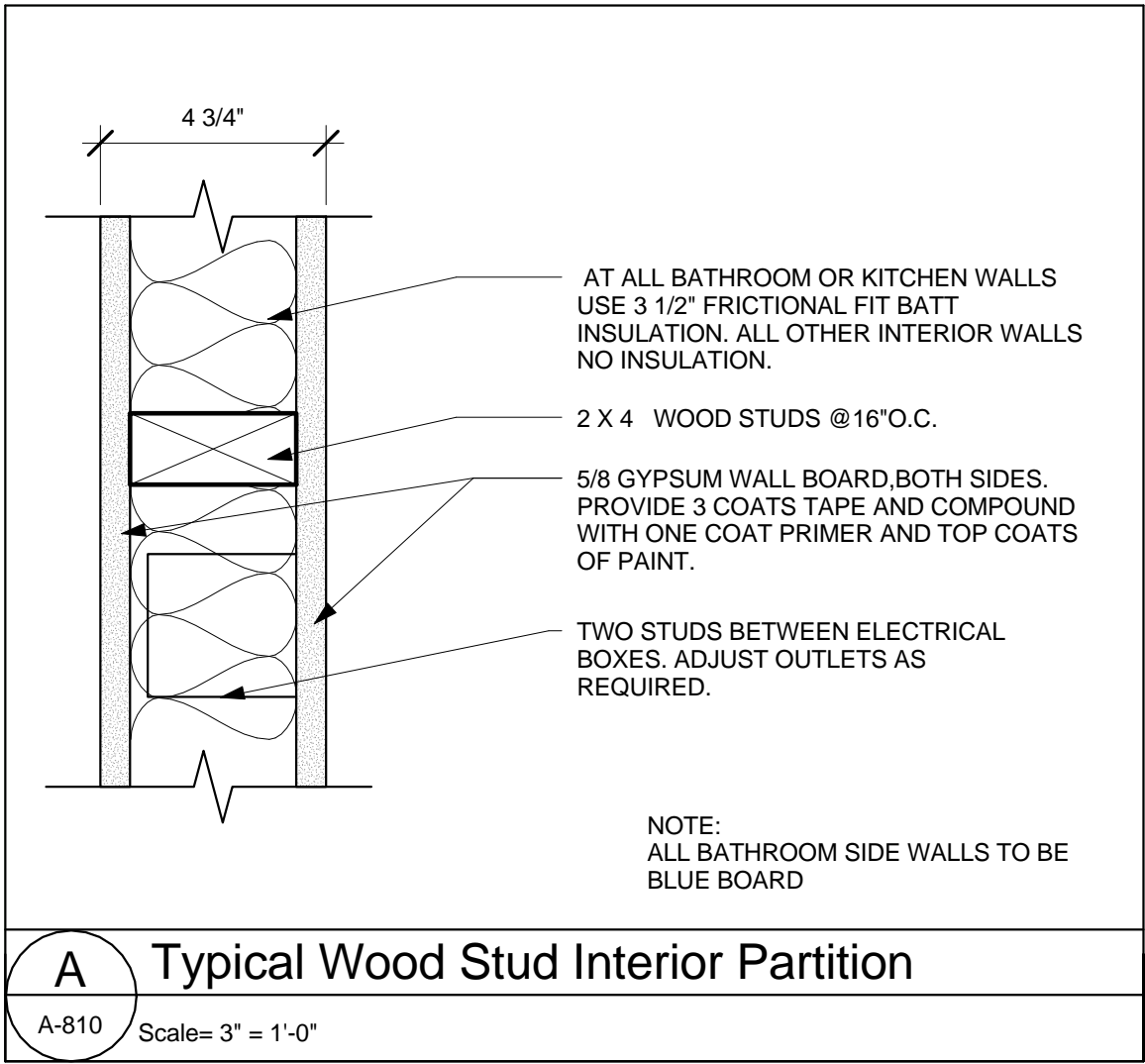
REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

Door & Window
Schedules

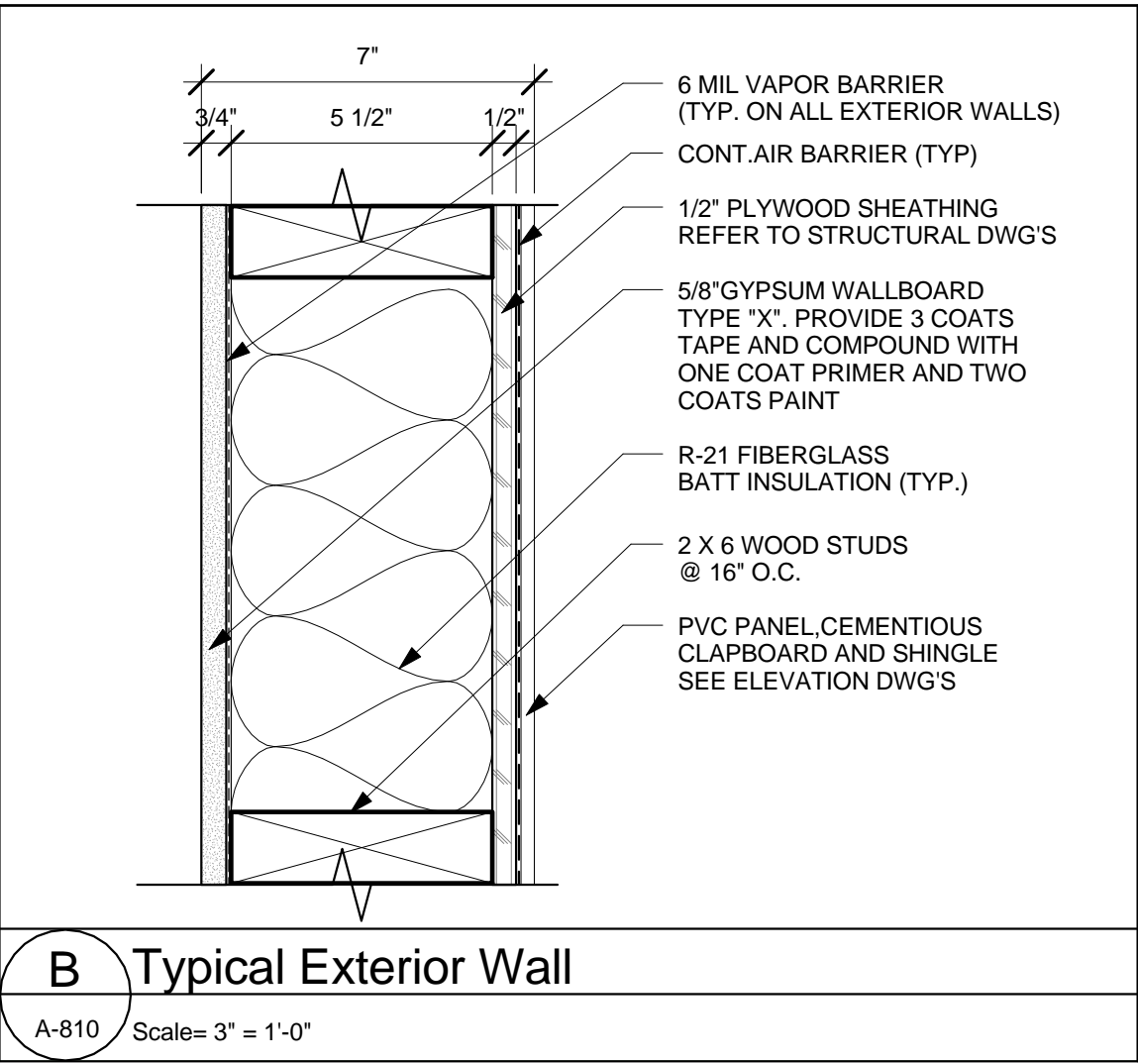
A-900

364-370 BEECH ST RESIDENCES



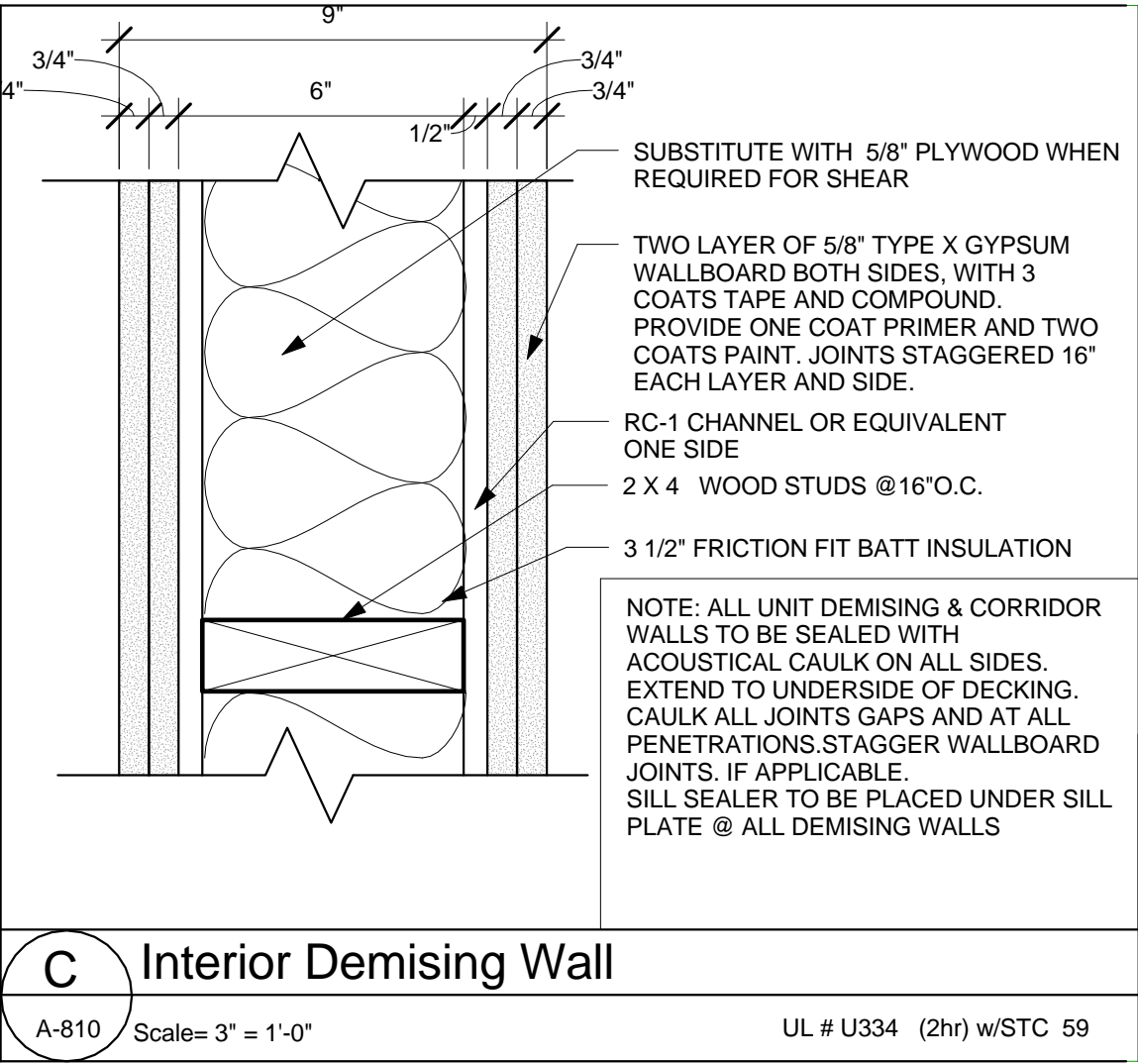
A Typical Wood Stud Interior Partition

A-810 Scale= 3" = 1'-0"



B Typical Exterior Wall

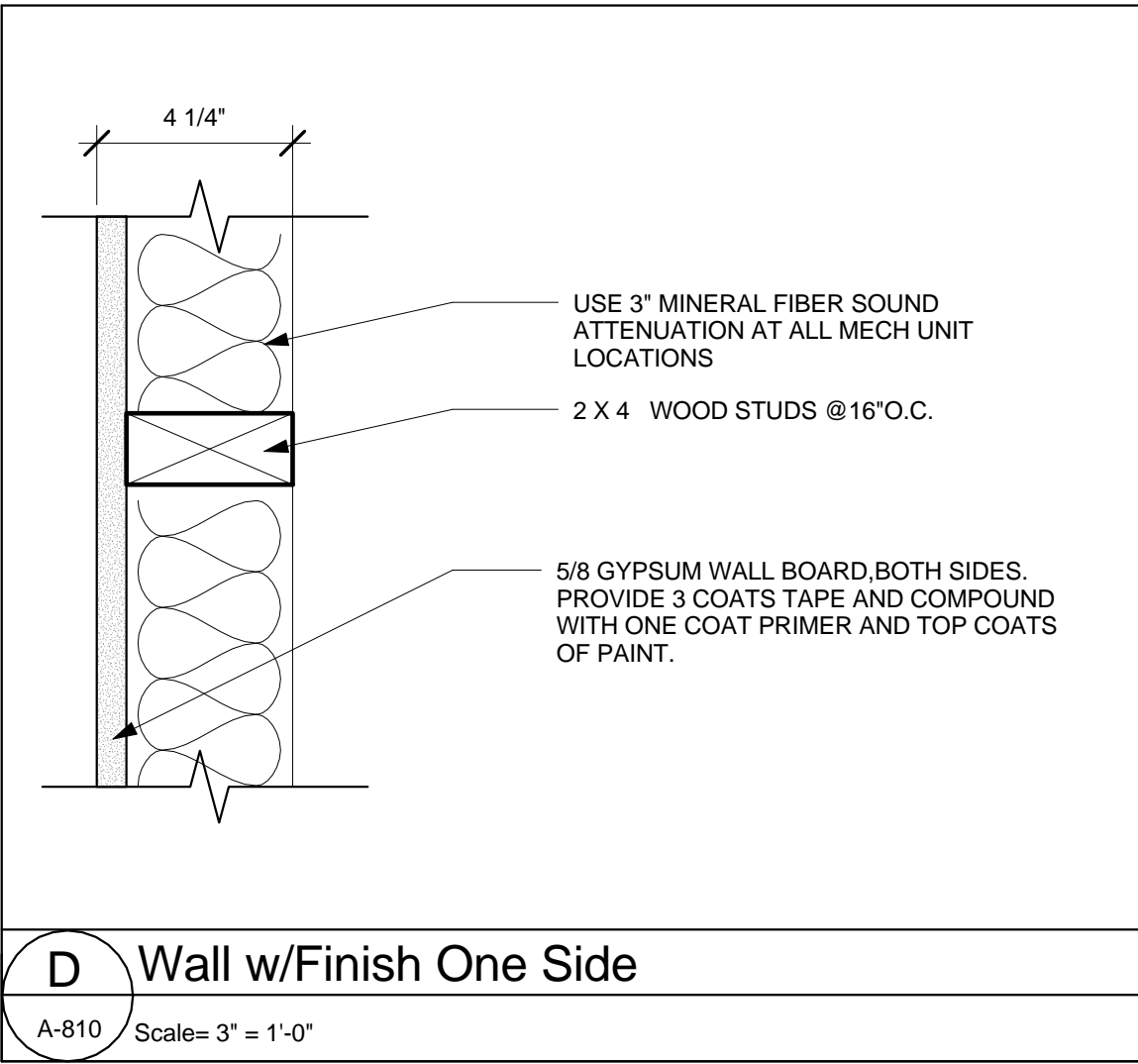
A-810 Scale= 3" = 1'-0"



C Interior Demising Wall

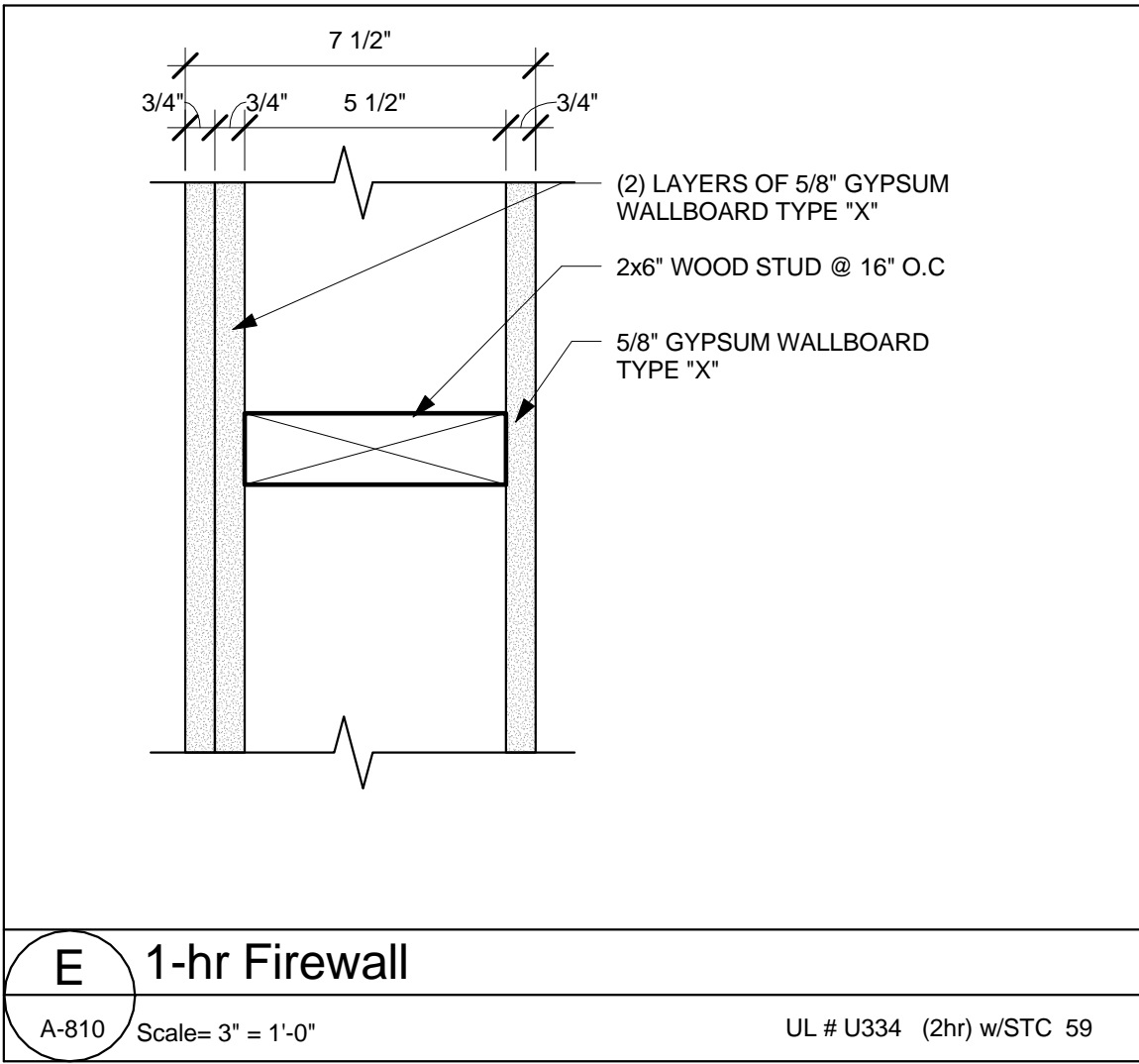
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UL # U334 (2hr) w/STC 59



D Wall w/Finish One Side

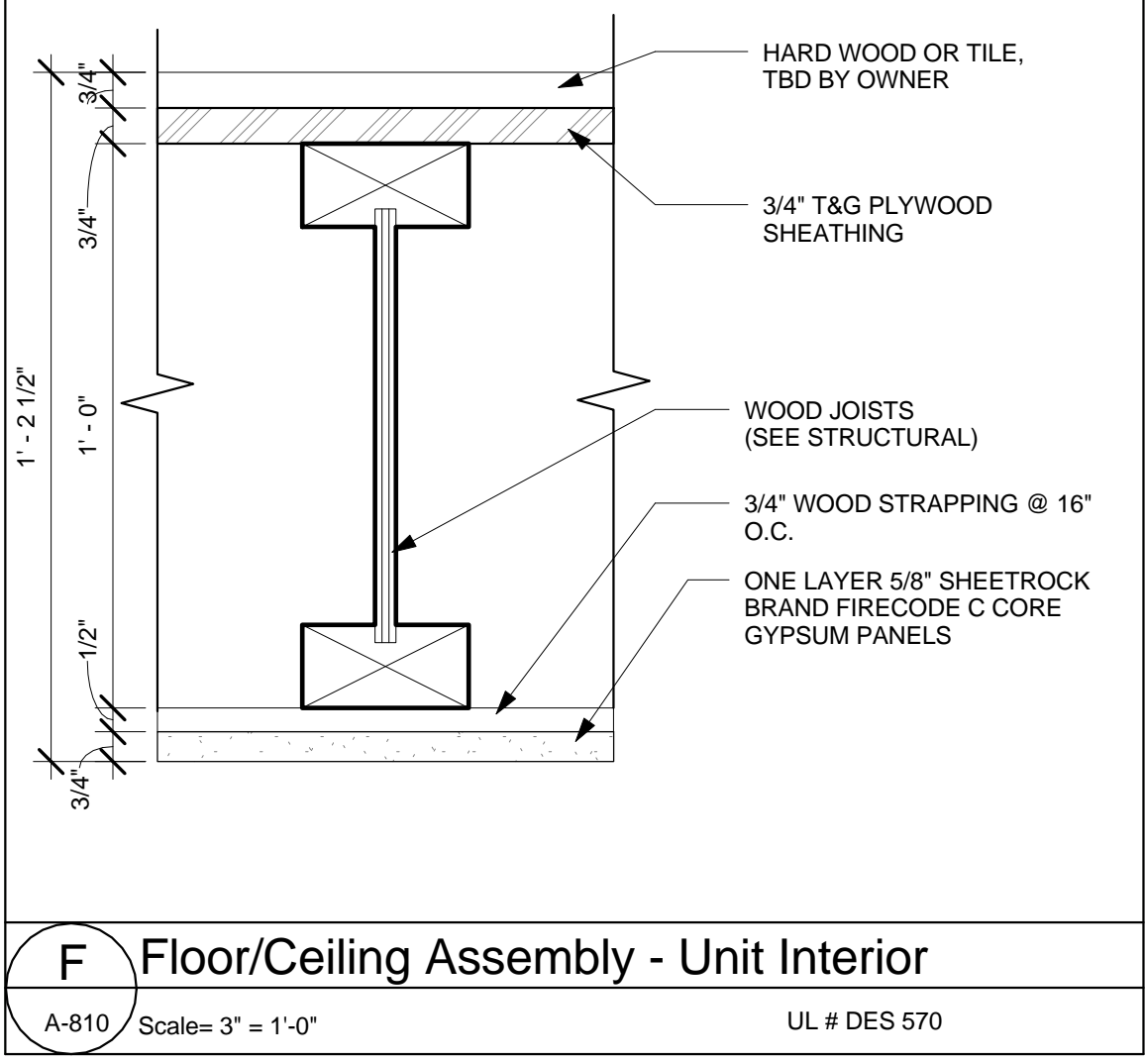
A-810 Scale= 3" = 1'-0"



E 1-hr Firewall

A-810 Scale= 3" = 1'-0"

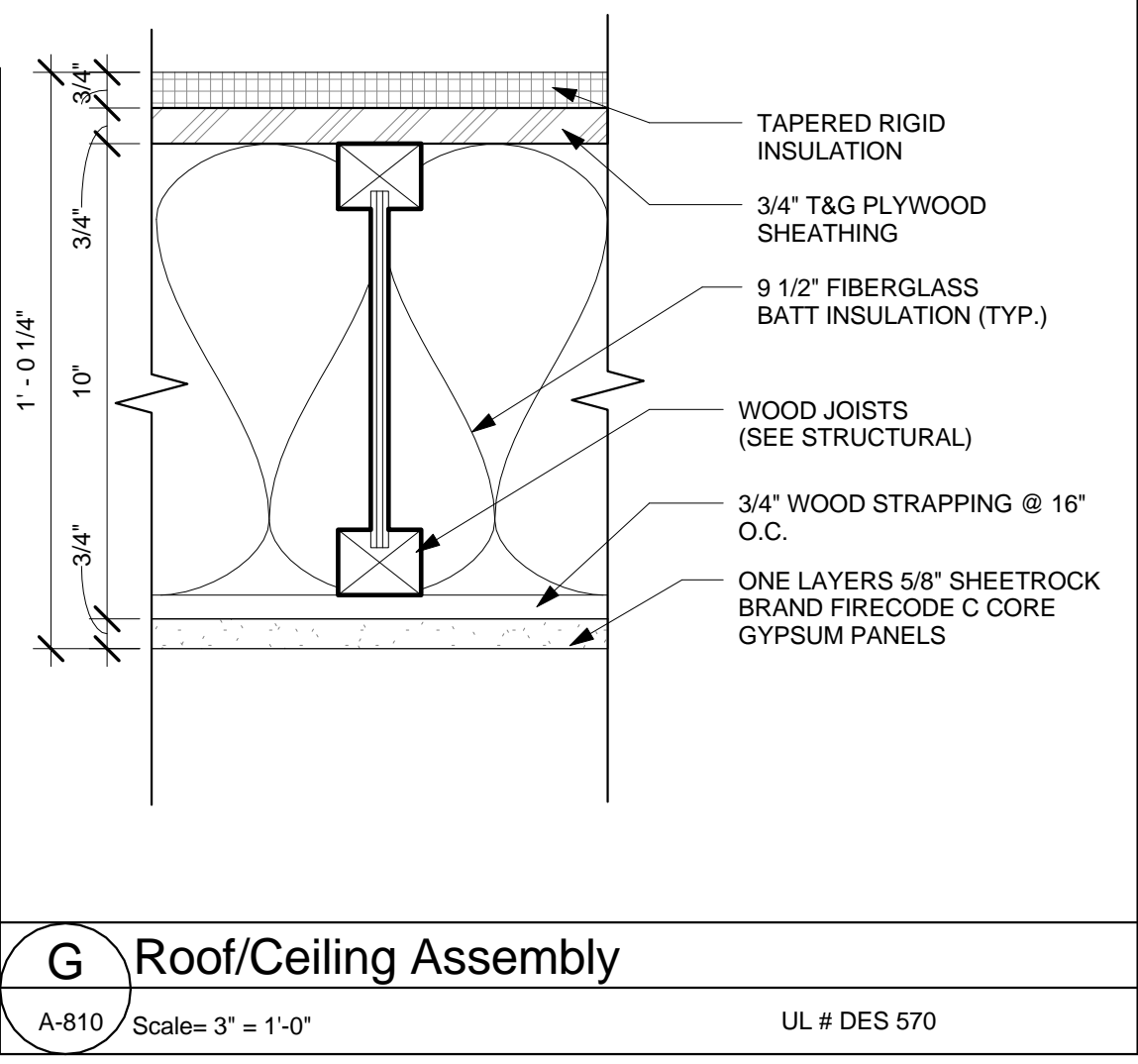
UL # U334 (2hr) w/STC 59



F Floor/Ceiling Assembly - Unit Interior

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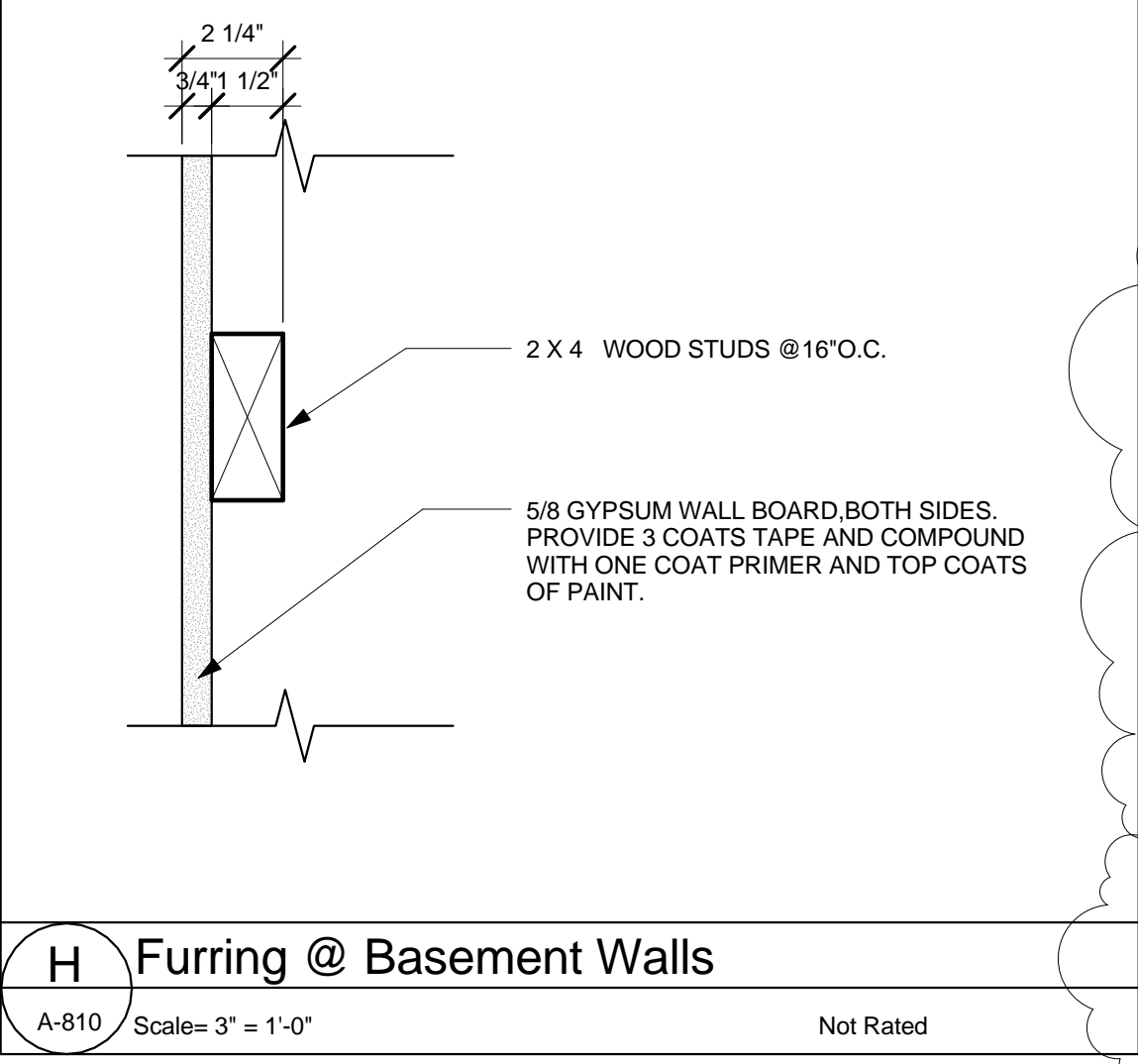
UL # DES 570



G Roof/Ceiling Assembly

A-810 Scale= 3" = 1'-0"

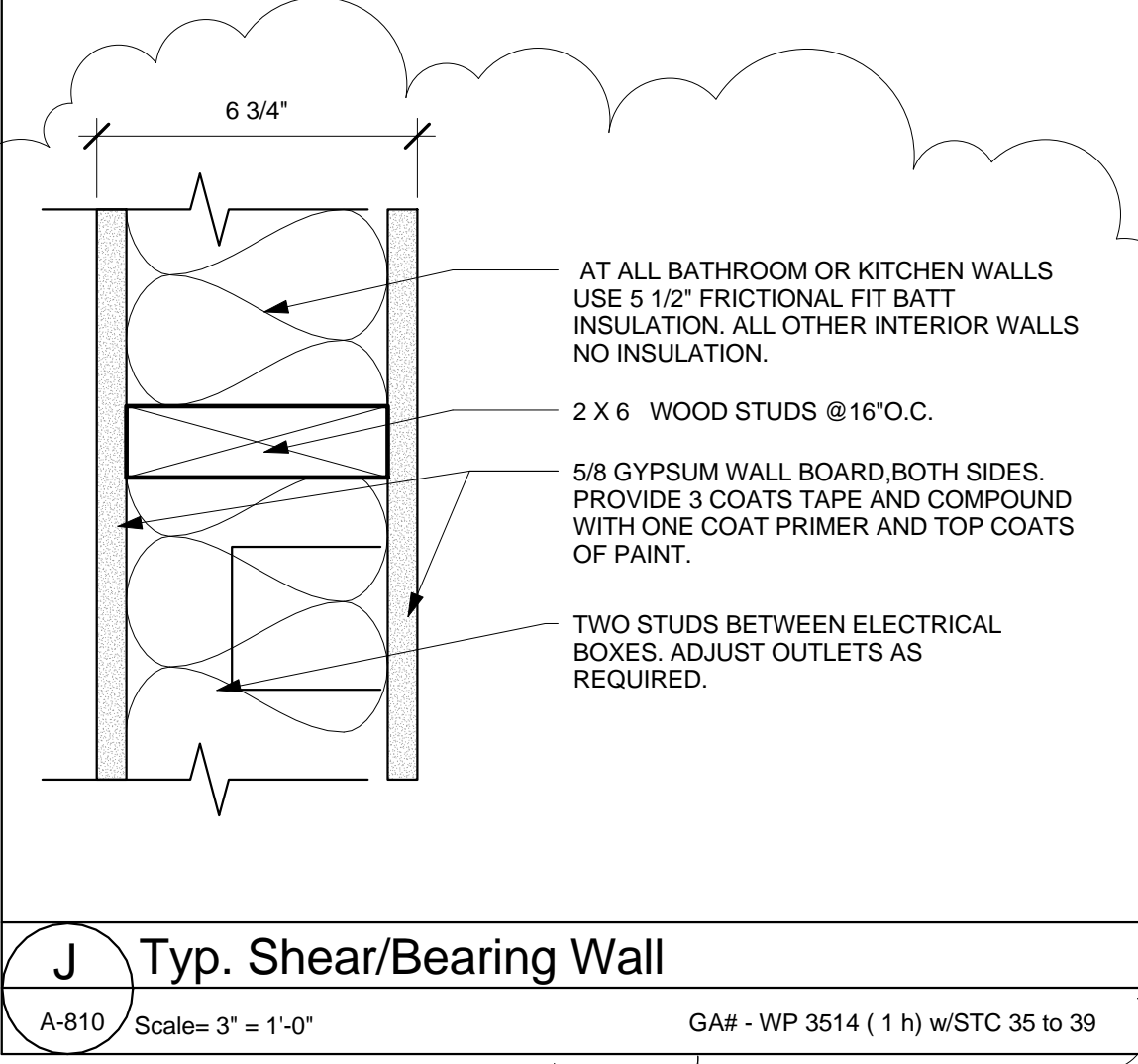
UL # DES 570



H Furring @ Basement Walls

A-810 Scale= 3" = 1'-0"

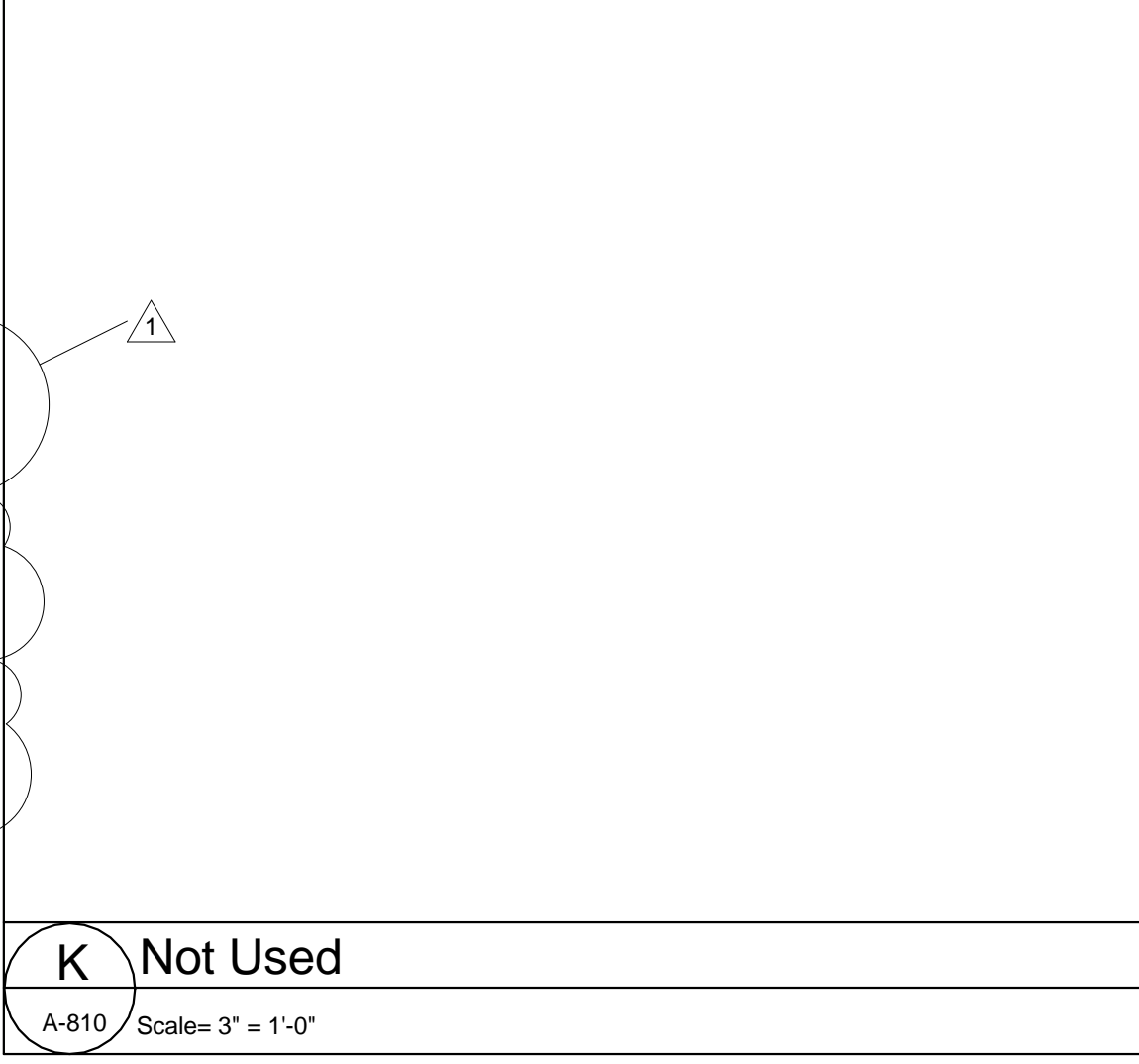
Not Rated



J Typ. Shear/Bearing Wall

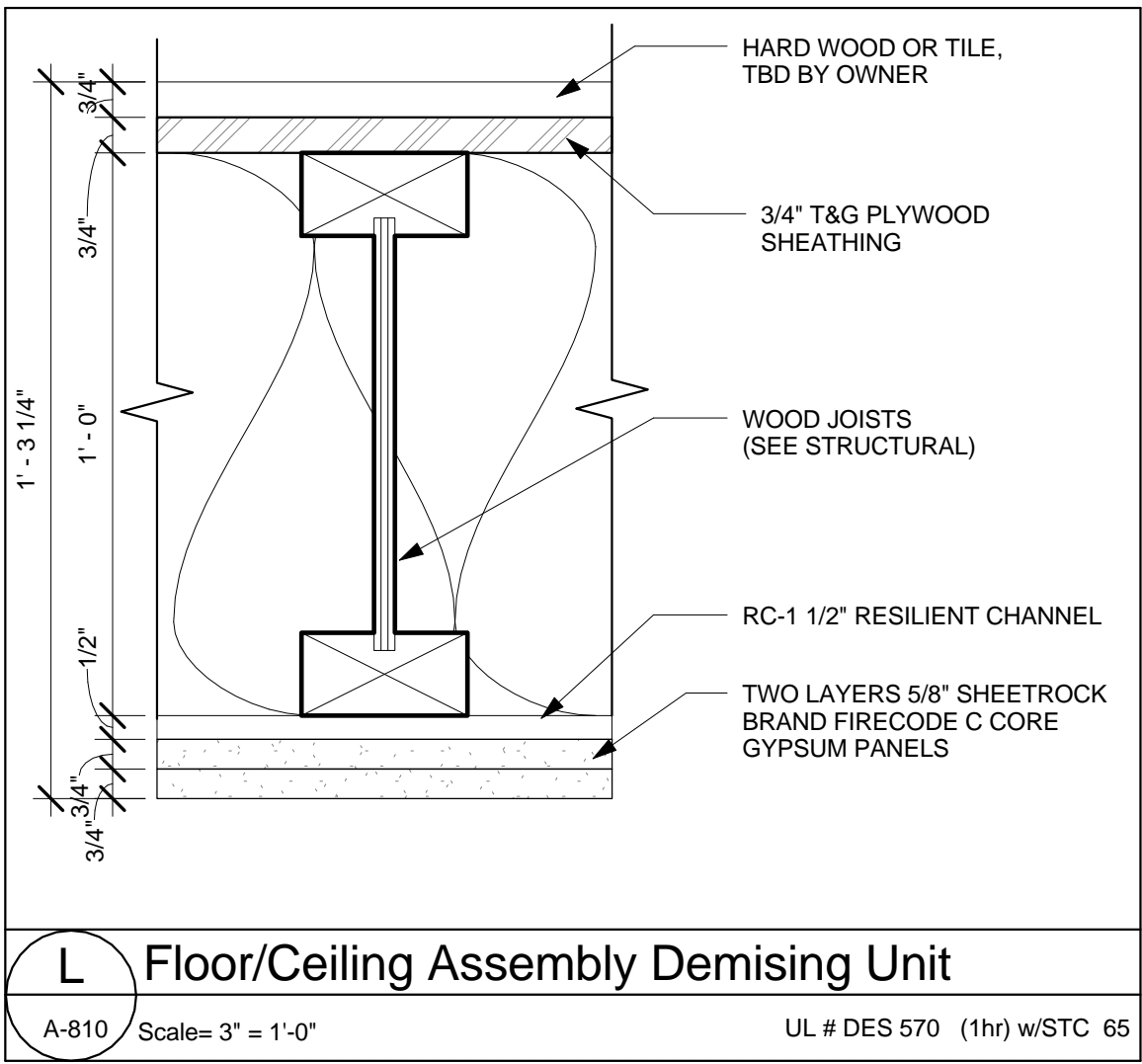
A-810 Scale= 3" = 1'-0"

GA# - WP 3514 (1 h) w/STC 35 to 39



K Not Used

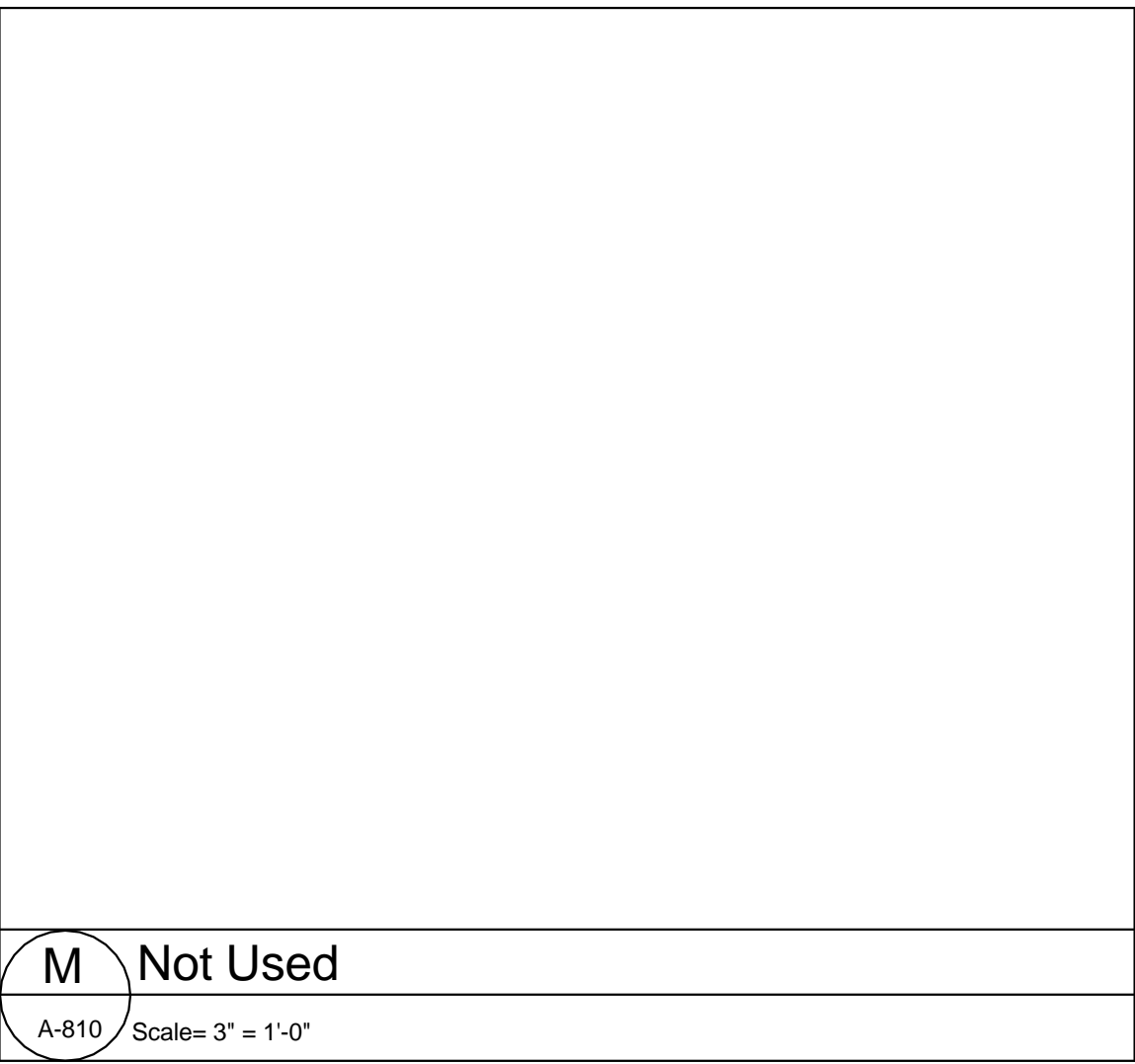
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L Floor/Ceiling Assembly Demising Unit

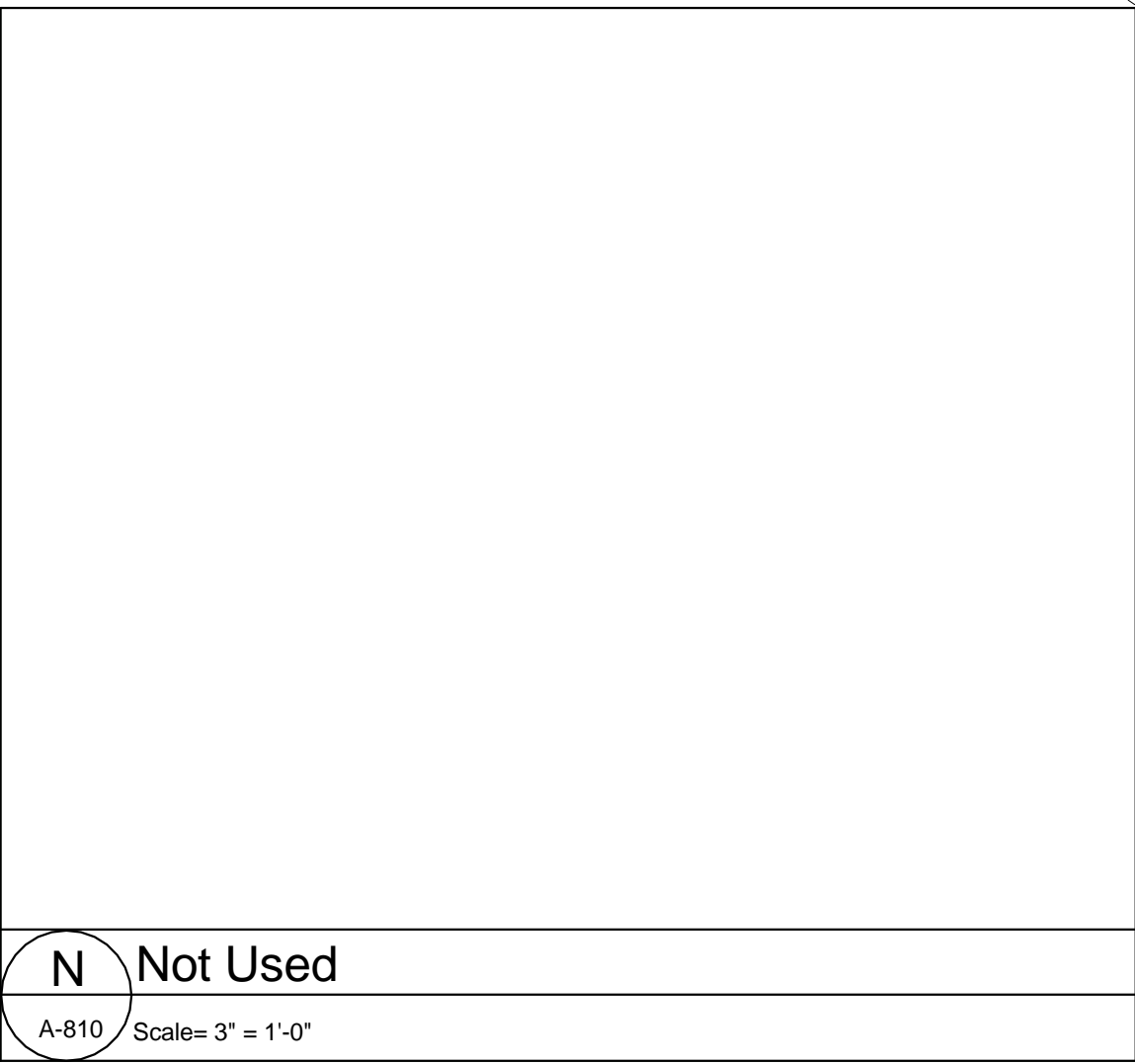
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UL # DES 570 (1hr) w/STC 65



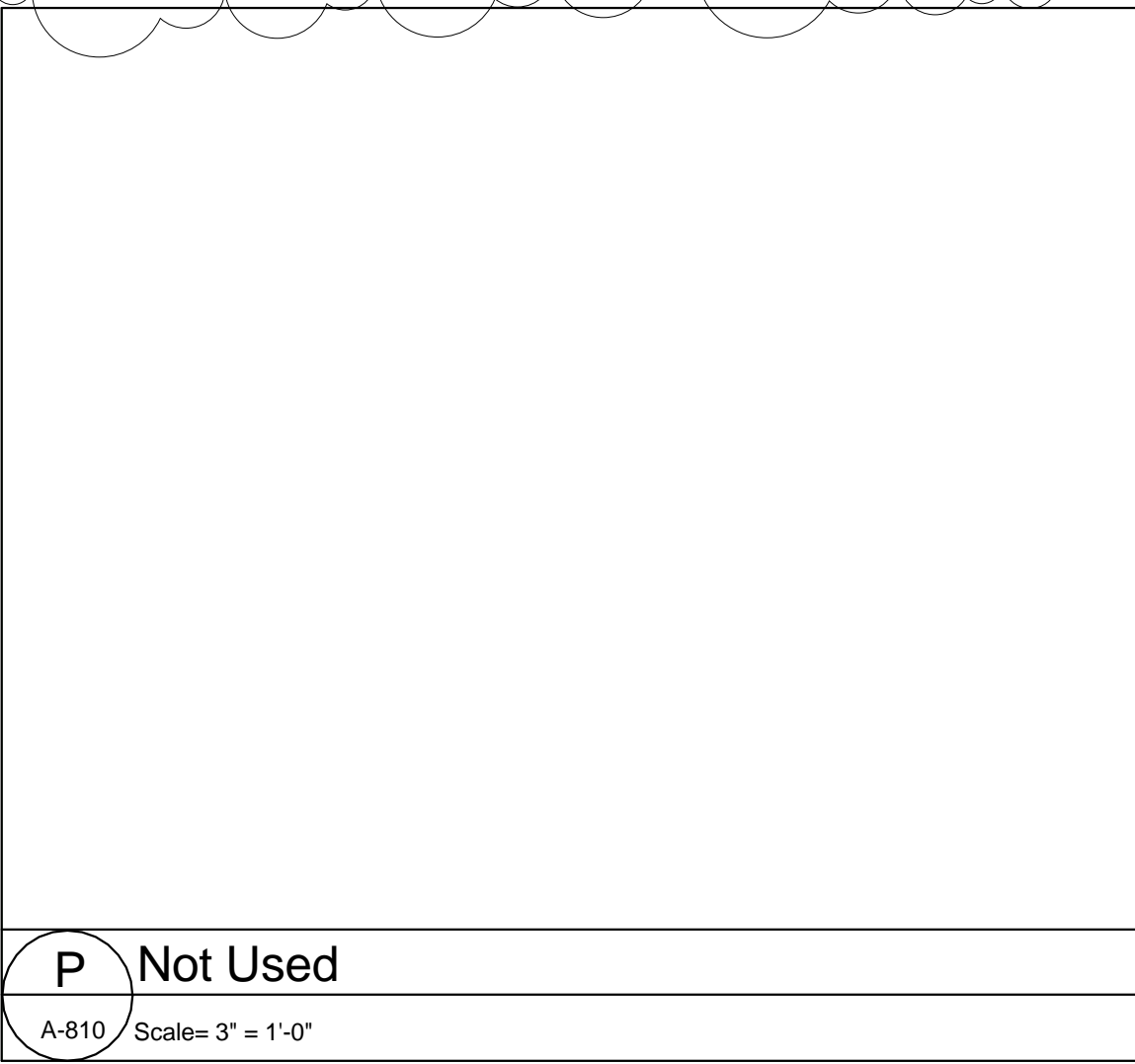
M Not Used

A-810 Scale= 3" = 1'-0"



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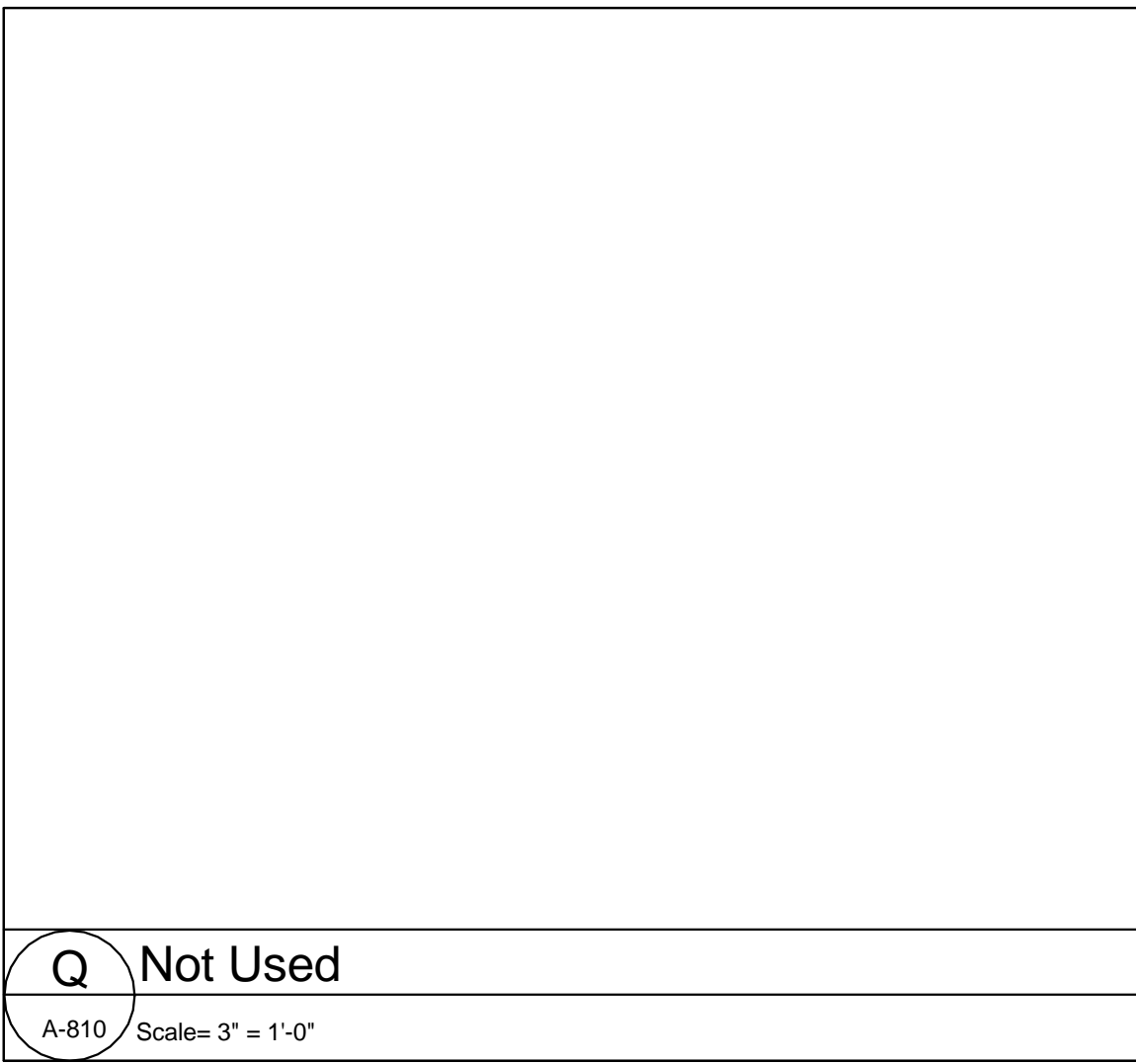
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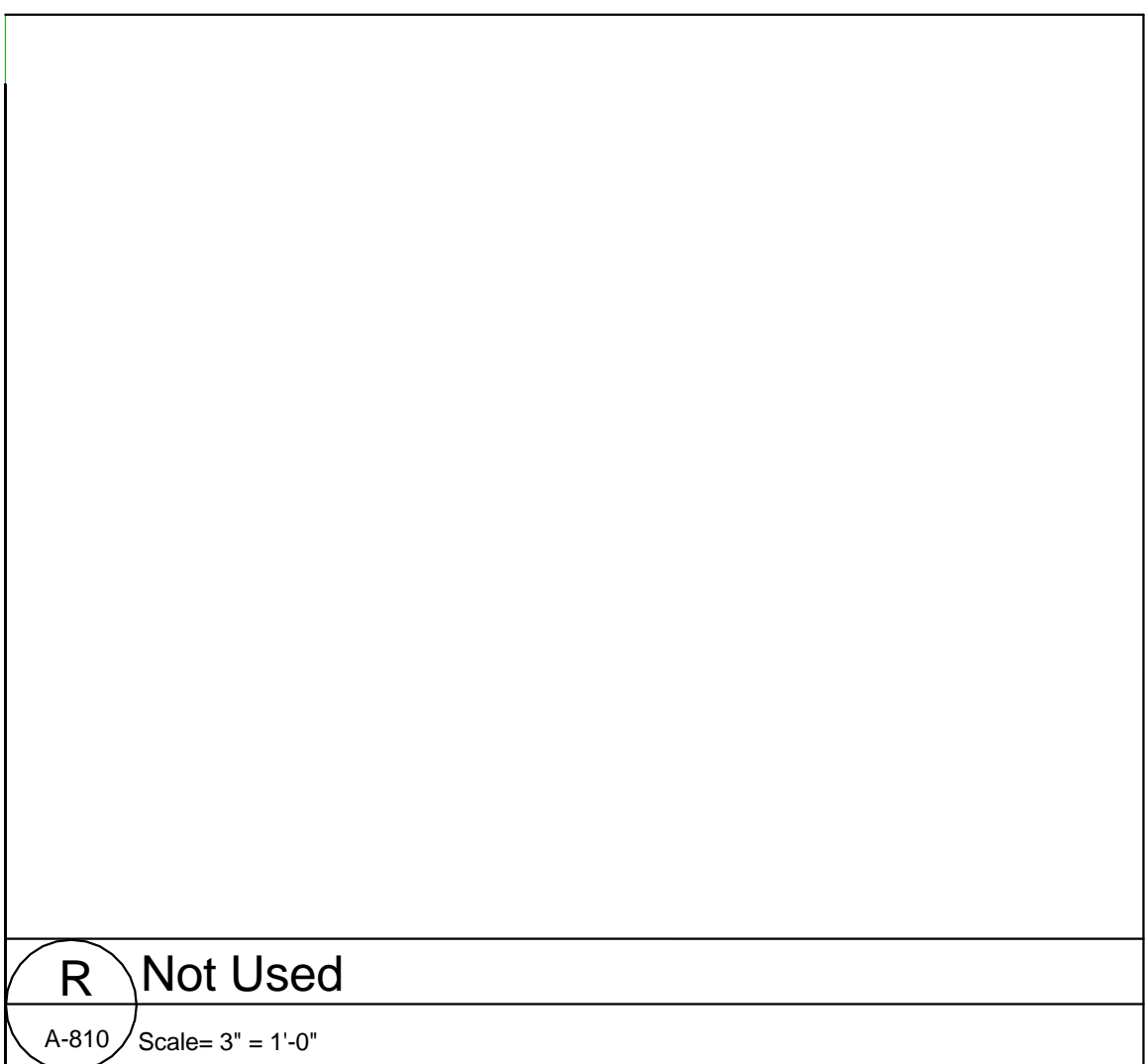
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UL# 514 GA# FC5107 (1hr) w/STC 55 to 59 & IIC 73



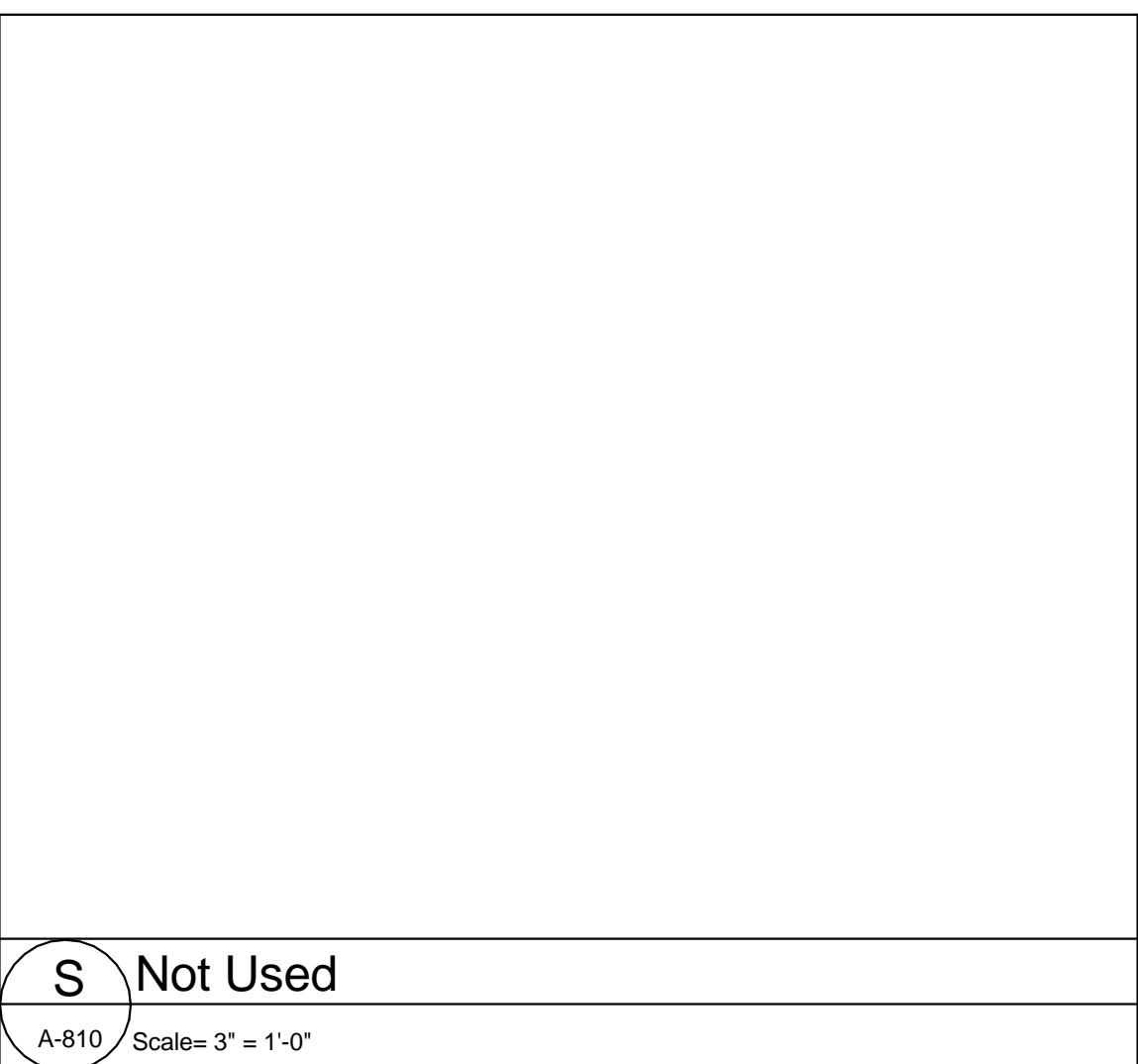
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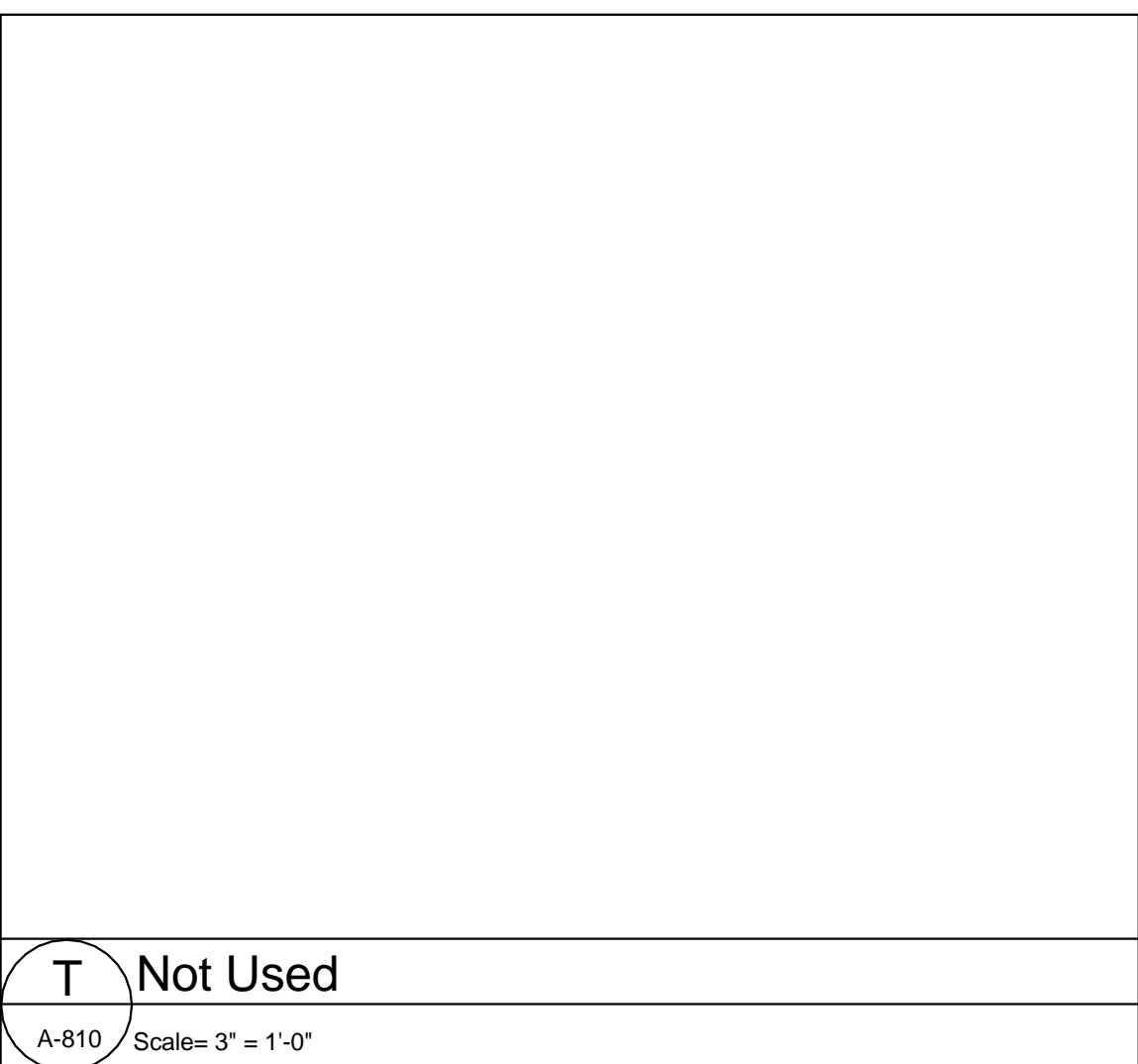
R Not Used

A-810 Scale= 3" = 1'-0"



S Not Used

A-810 Scale= 3" = 1'-0"



T Not Used

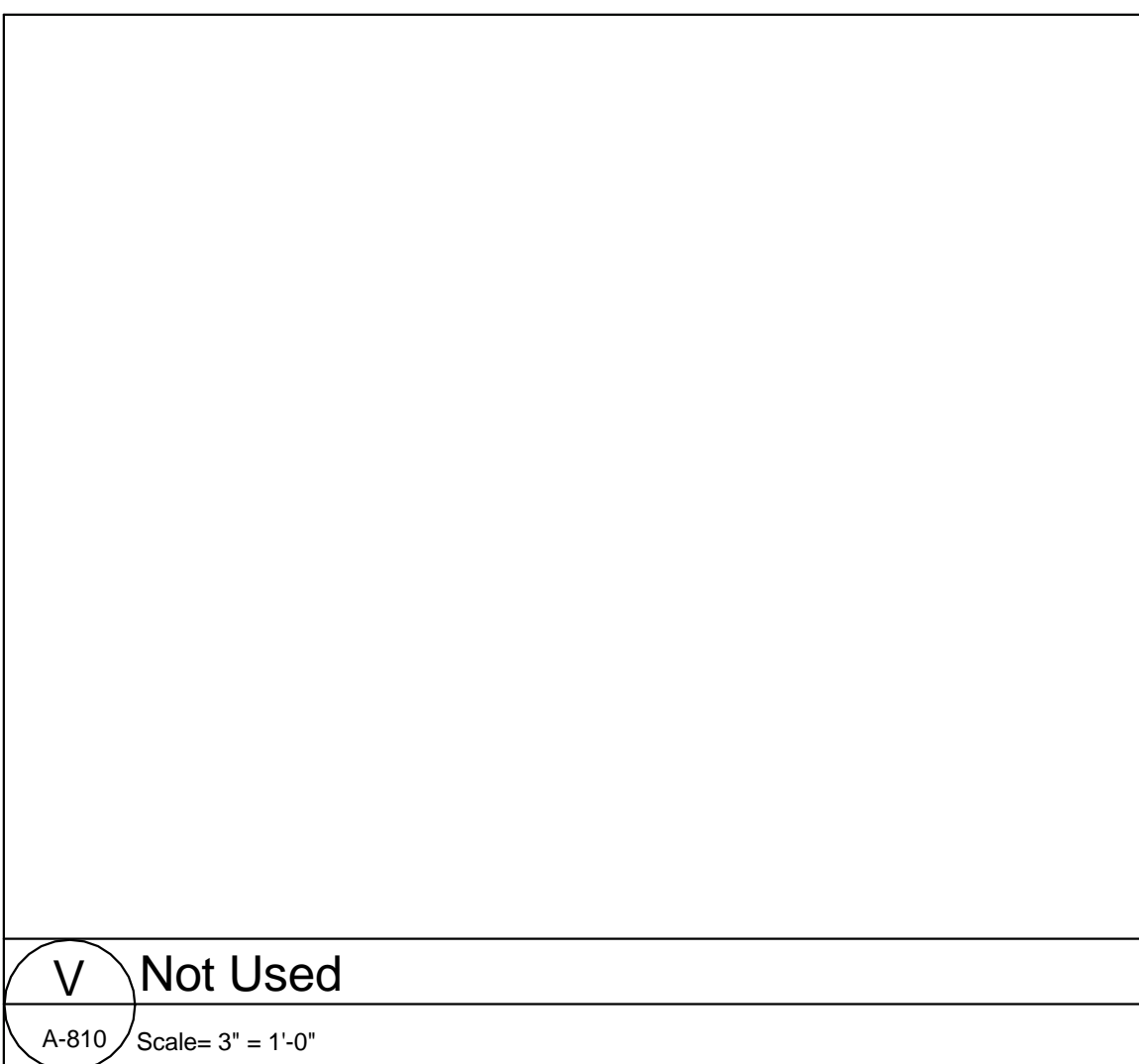
A-810 Scale= 3" = 1'-0"



U Not Used

A-810 Scale= 3" = 1'-0"

UL# 514 GA# FC5107 (1hr) w/STC 55 to 59 & IIC 73



V Not Used

A-810 Scale= 3" = 1'-0"

PROJECT NAME
364-370 BEECH ST RESIDENCES

PROJECT ADDRESS
364-370 BEECH STREET BOSTON, MA

CLIENT
NTABOS REALTY TRUST

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
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CONSULTANTS:

REGISTRATION



Project number 13002
Date 01-10-2014
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Scale 3" = 1'-0"

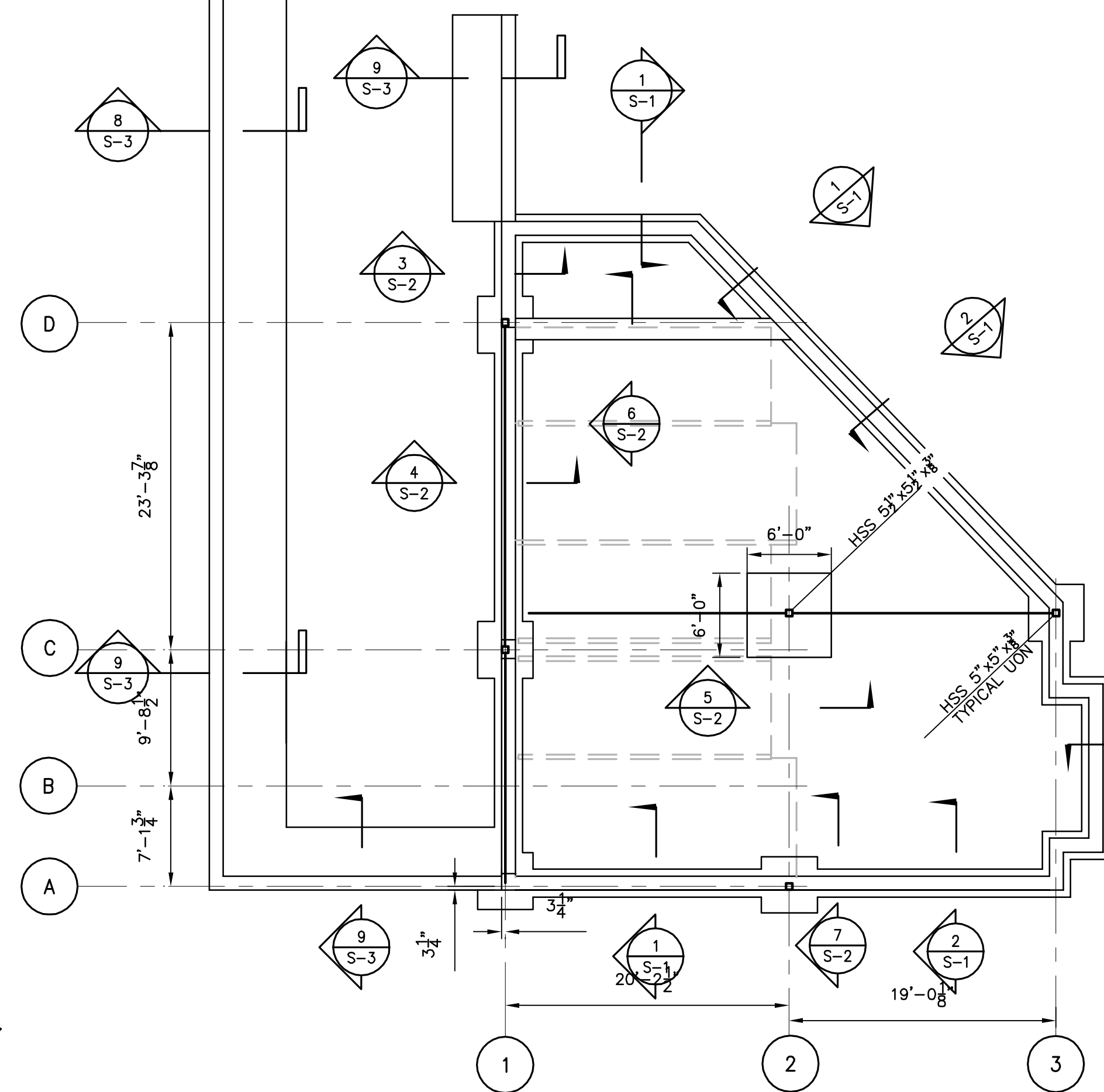
REVISIONS

No.	Description	Date
1	Revision 1	02-28-14

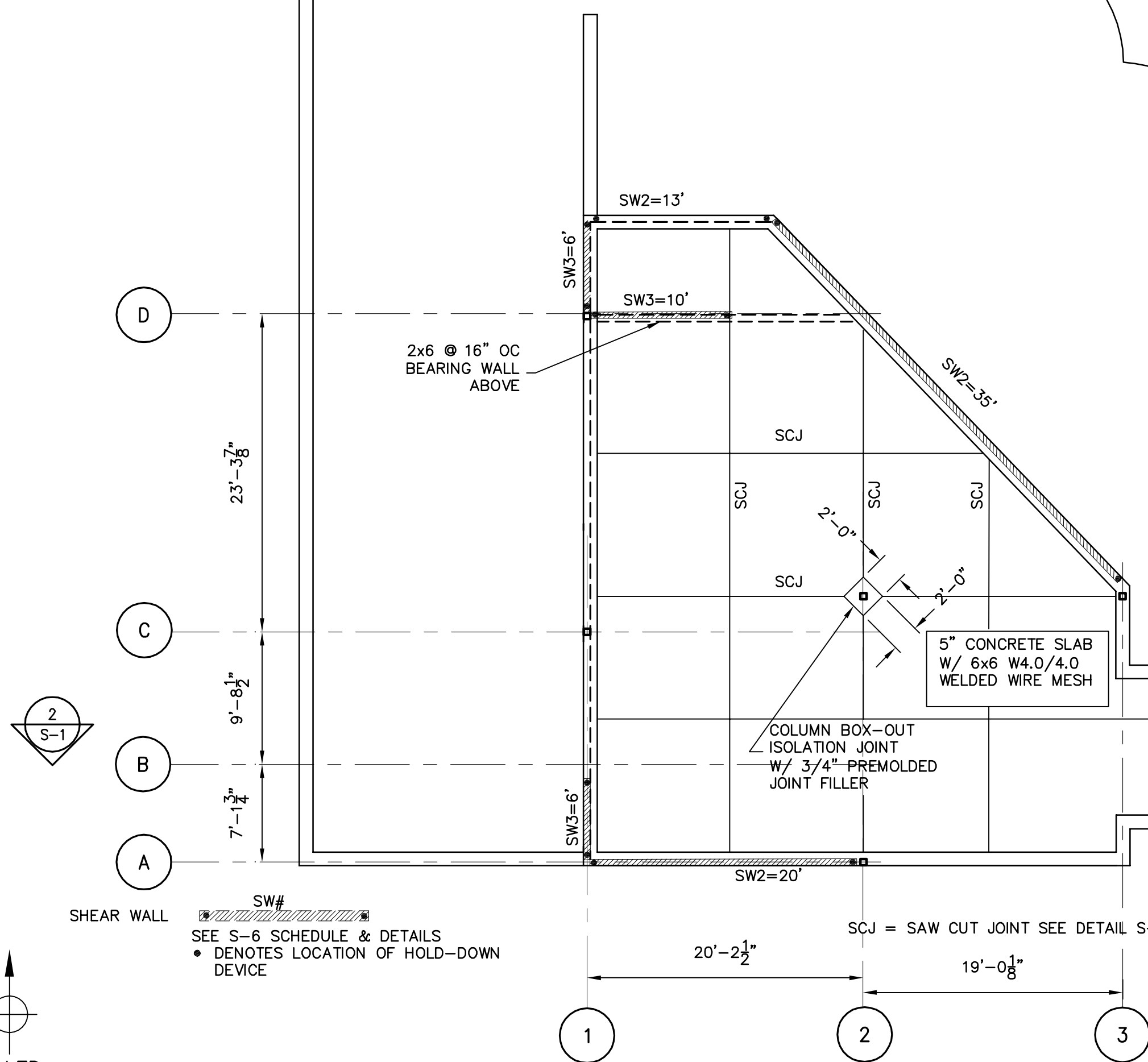
Partition Types

A-910

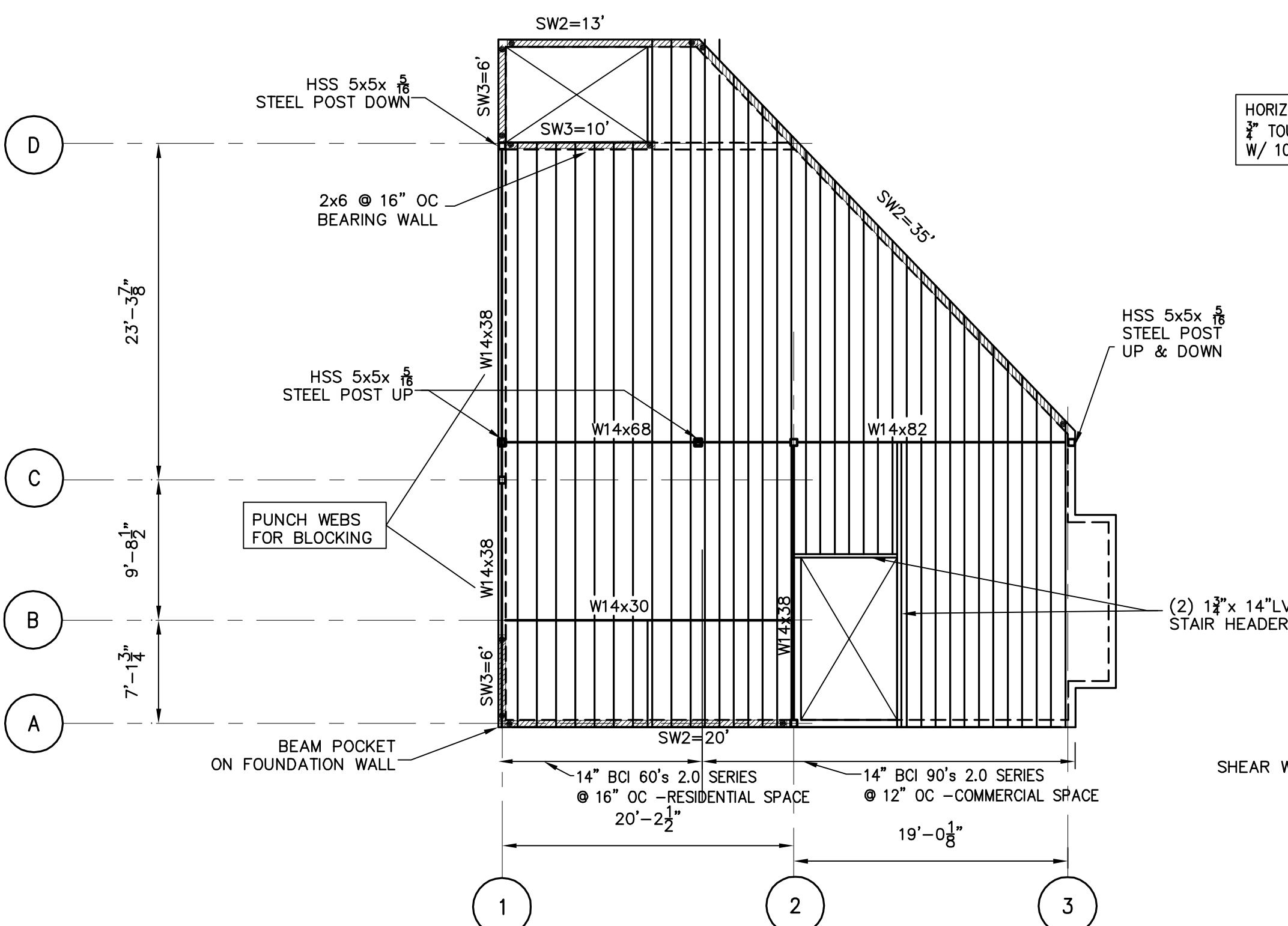
364-370 BEECH ST RESIDENCES



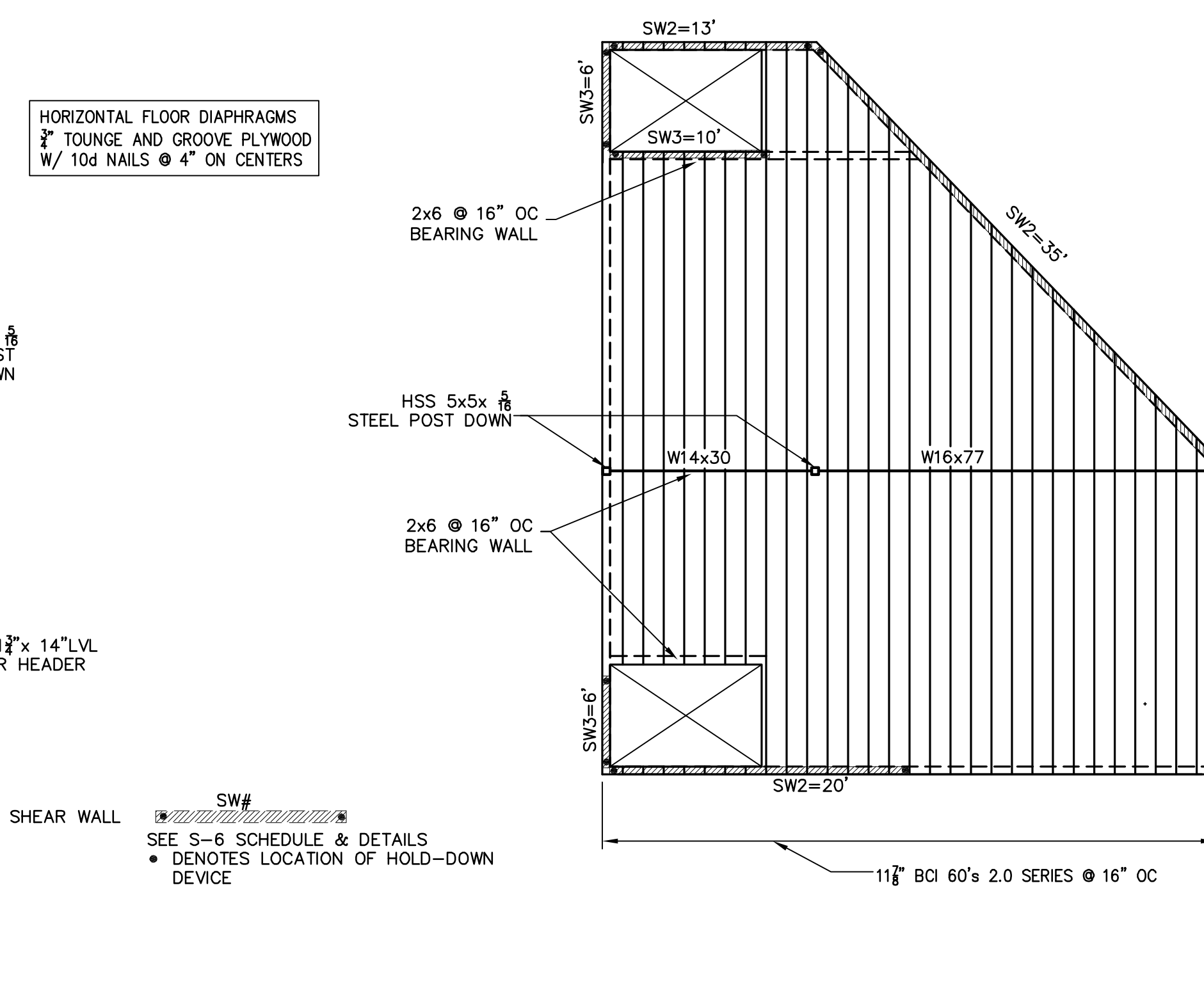
FOUNDATION PLAN
SCALE: 1/8"=1'-0"



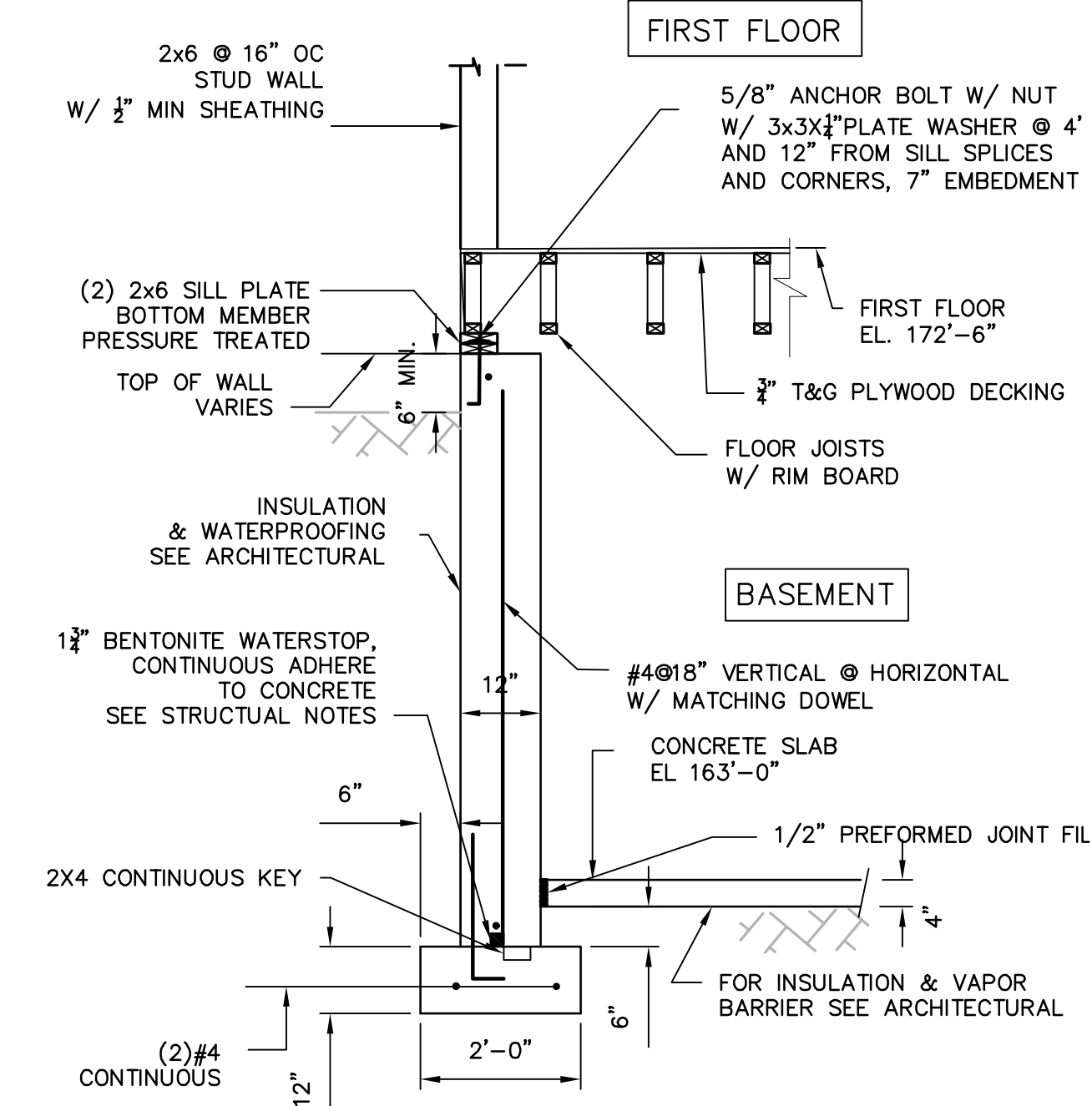
LEVEL 1 - GARAGE SLAB PLAN
SCALE: 1/8"=1'-0"



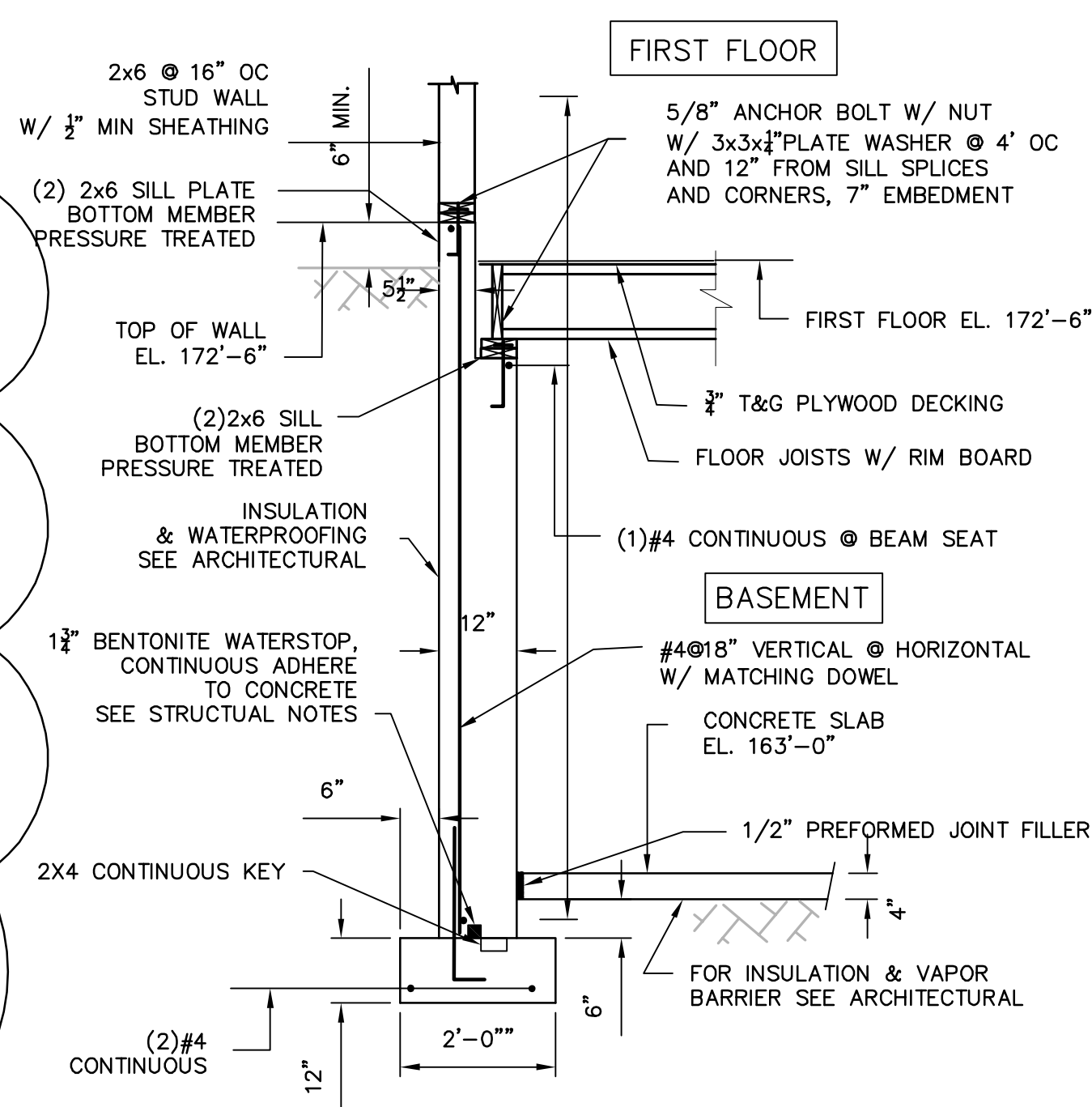
LEVEL 2 - FIRST FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



LEVEL 3 - SECOND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



SECTION 1 - BASEMENT FOUNDATION WALL
SCALE: 1/2"=1'-0"



SECTION 2 - BASEMENT FOUNDATION WALL
SCALE: 1/2"=1'-0"

CONTRACTOR: _____

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ARCHITECT: KHALSA DESIGN INC. SOMERVILLE, MA

OWNER: _____

BOMBARDIER
STRUCTURAL ENGINEERING

#	REVISIONS	DATE
1	MISC REVISIONS	2-24-14

LEON A. BOMBARDIER, PE
Structural Engineer
131 Lincoln Street
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phone: (508) 631-3332 fax: (781) 871-2062

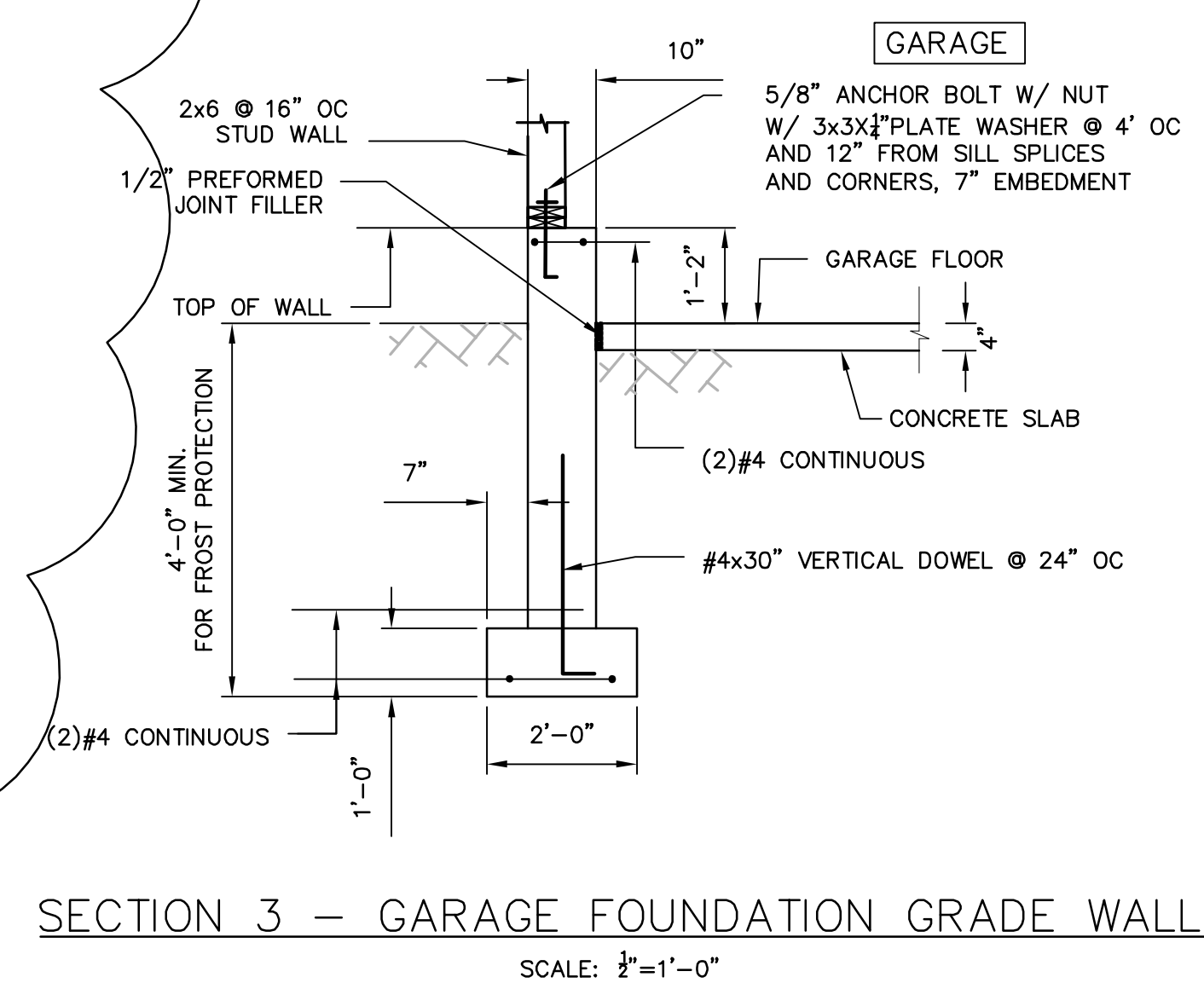
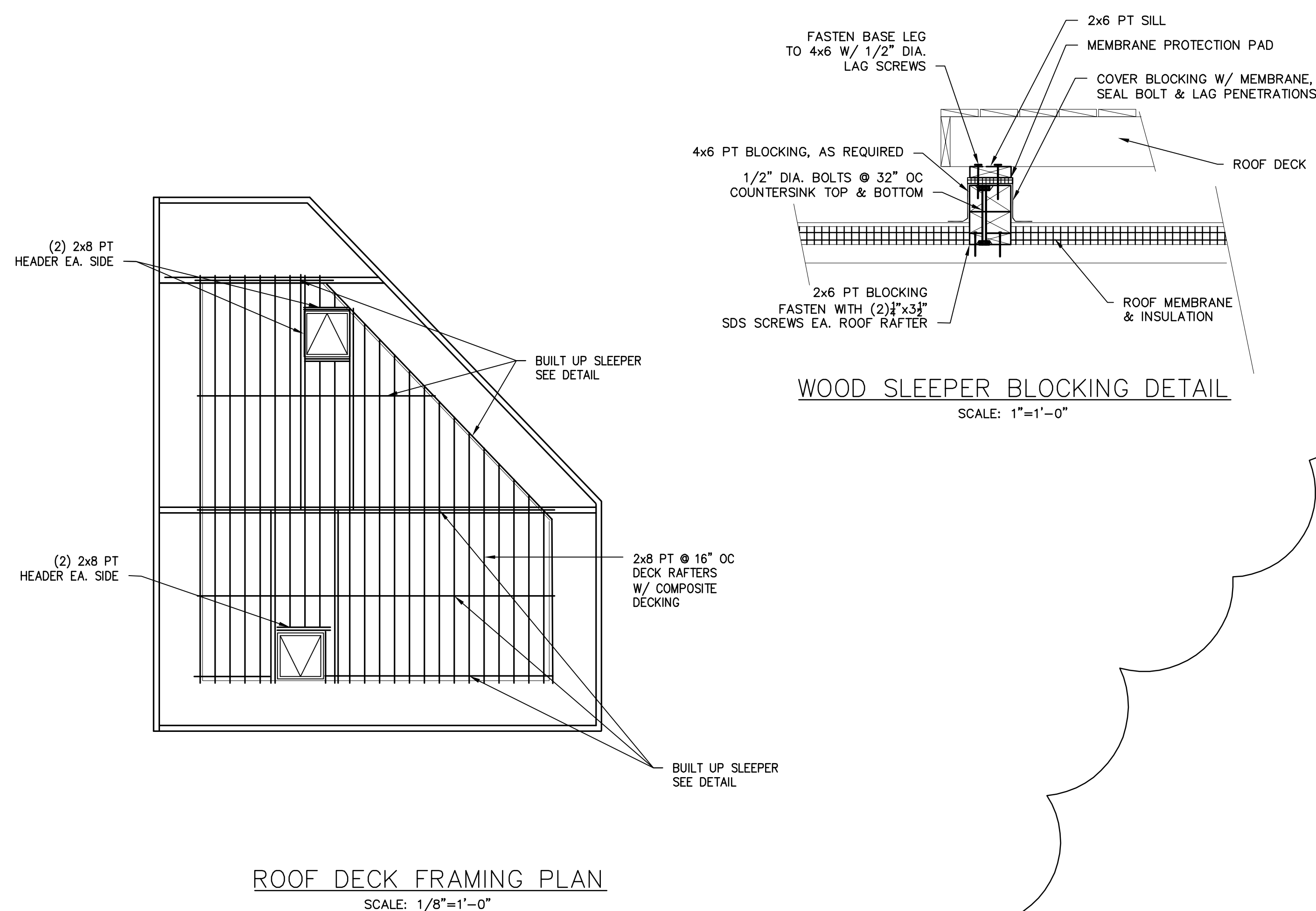
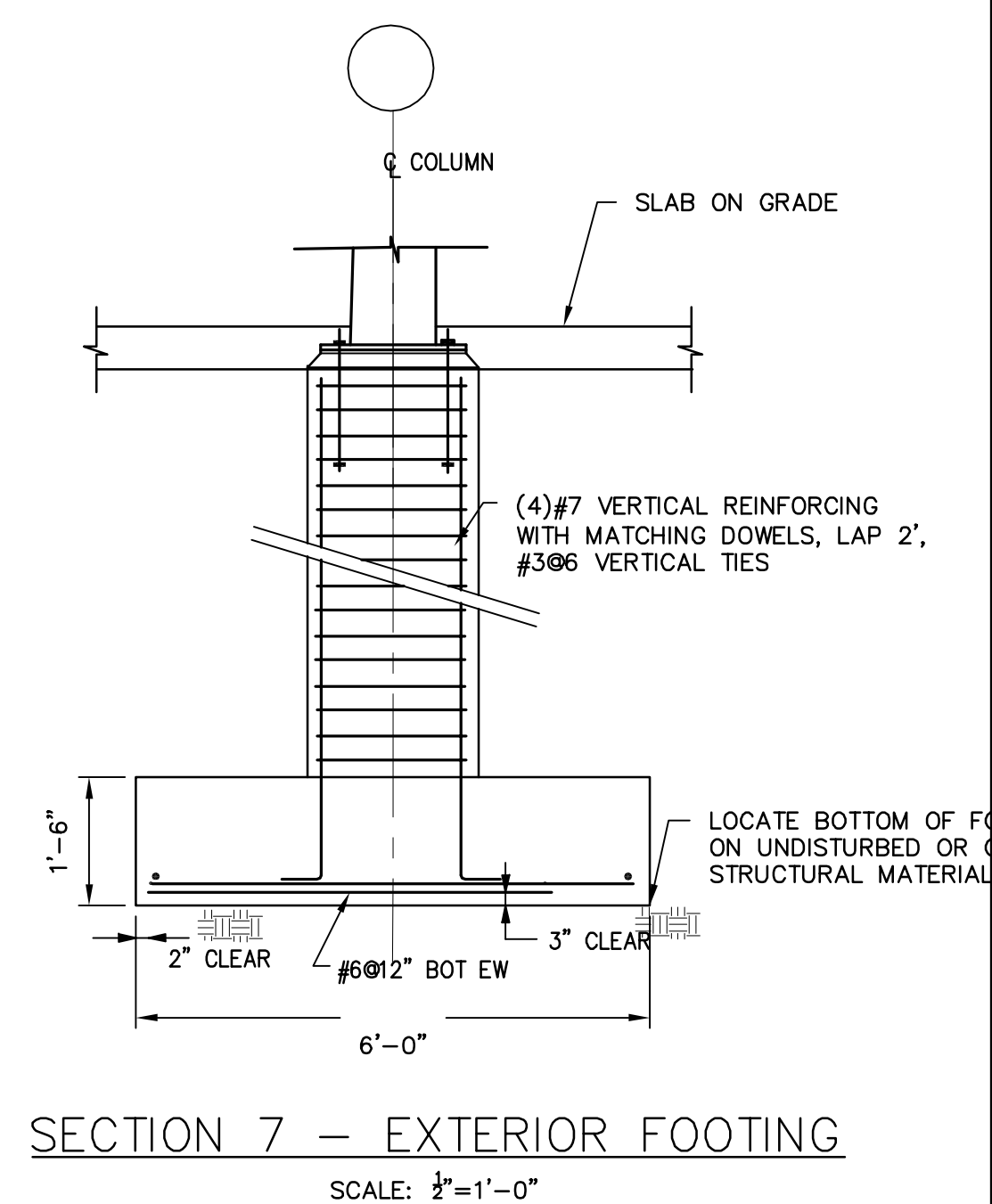
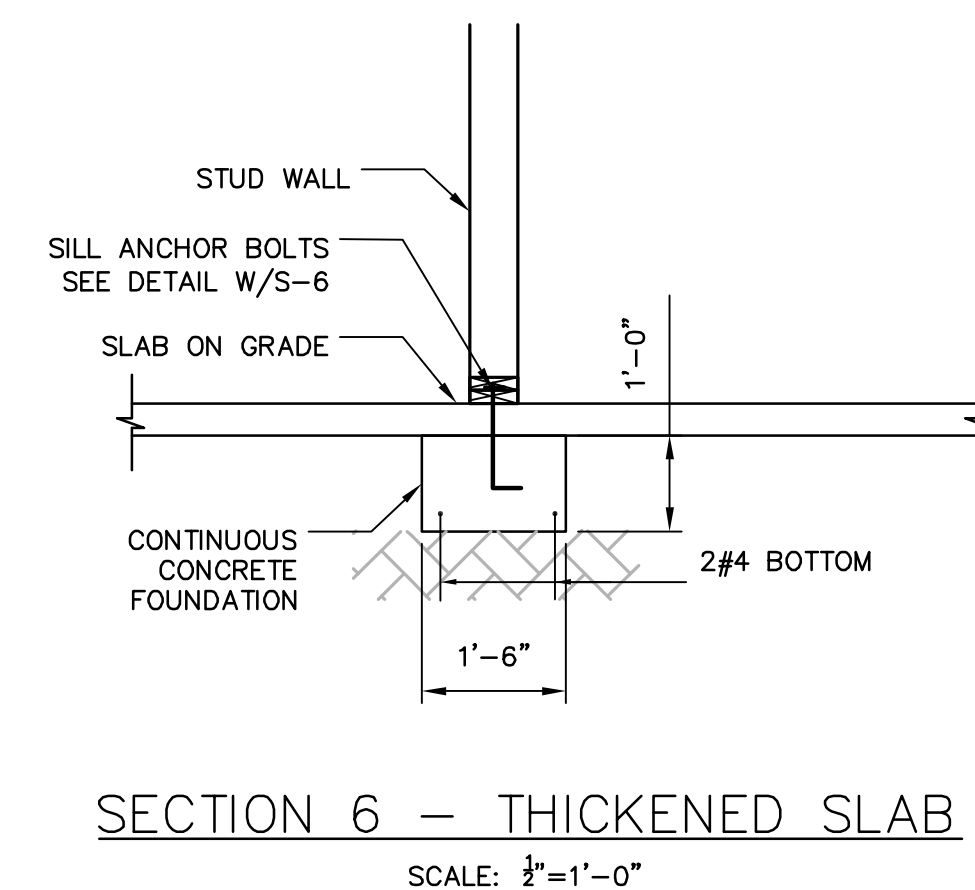
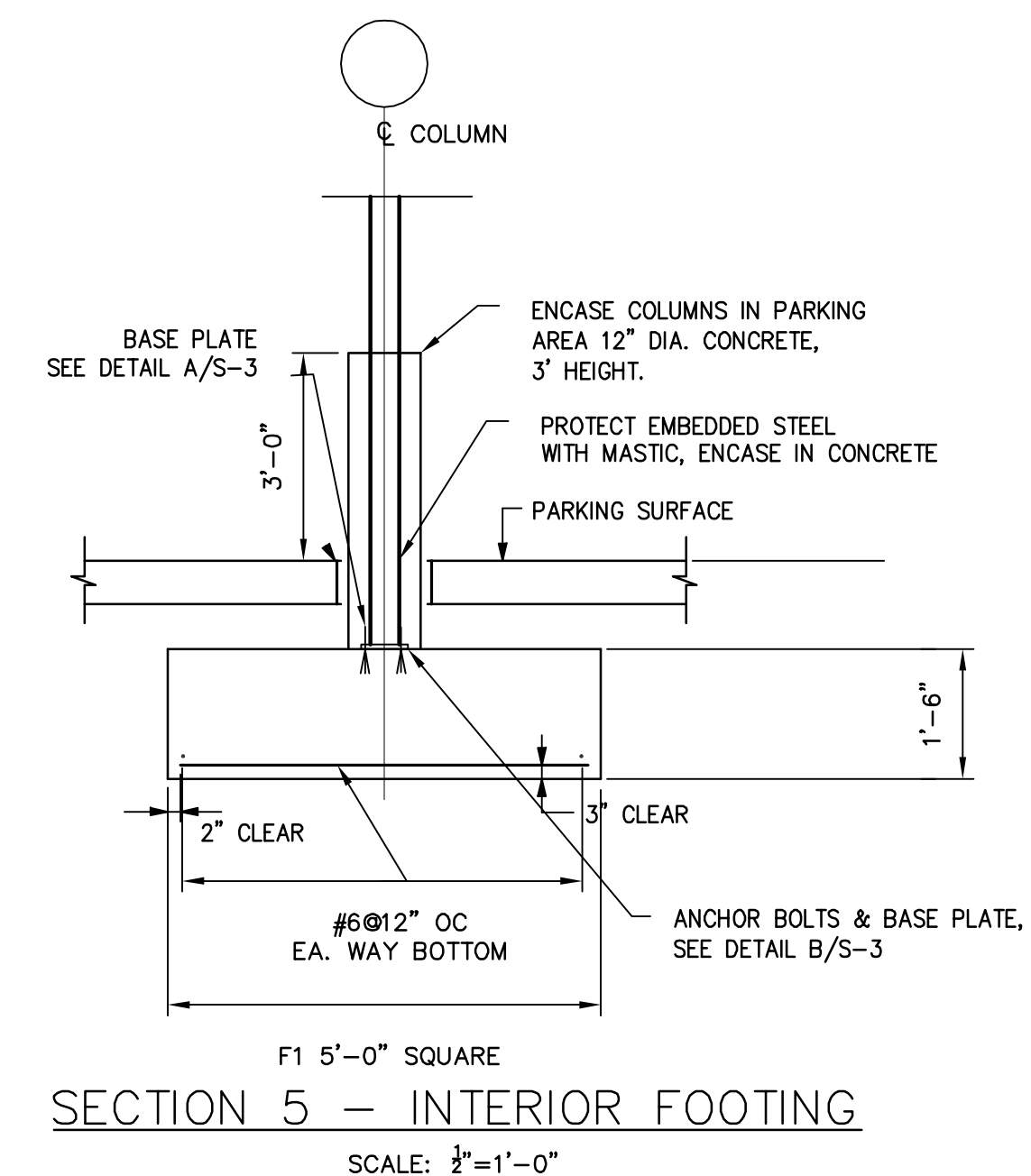
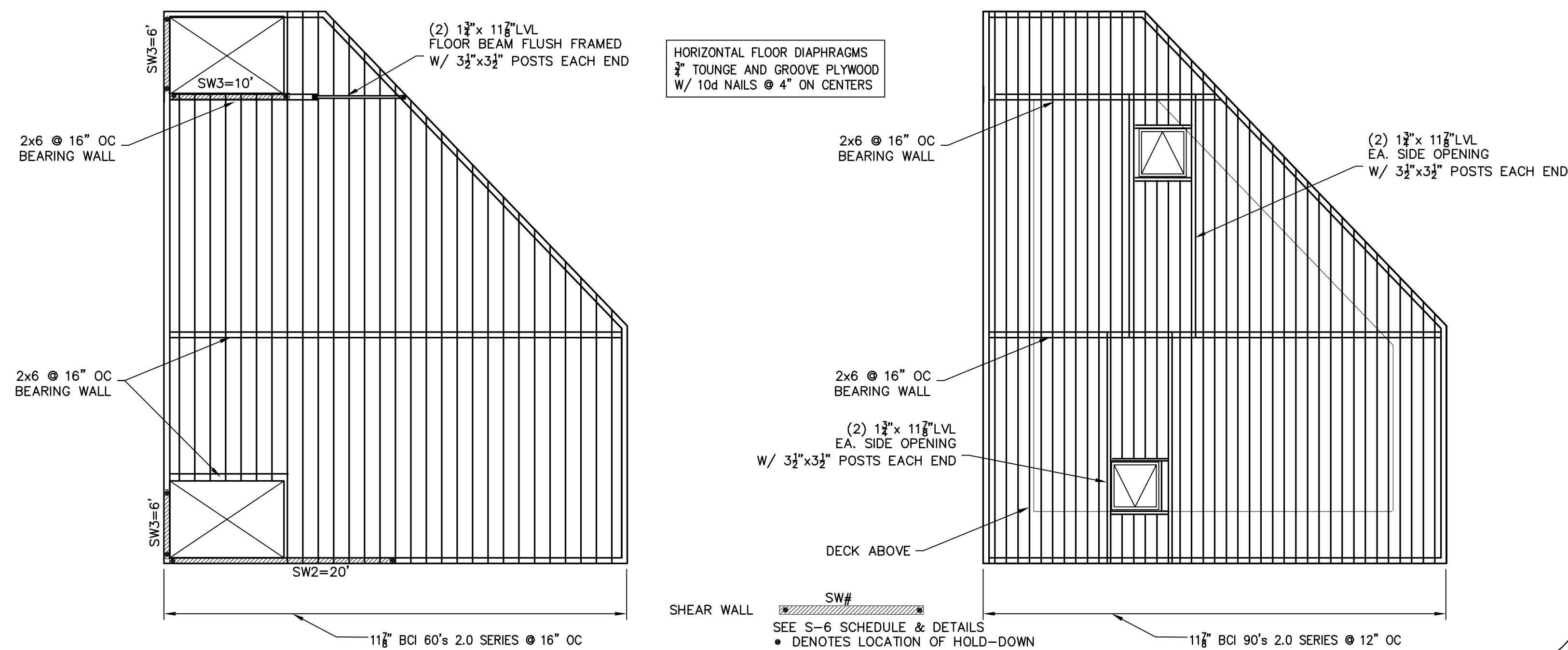
PROJECT: RESIDENCES
364-370 BEECH STREET
BOSTON, MA

DRAWING TITLE: FOUNDATION, GARAGE,
& FIRST FLOOR
PLANS

STAMP: _____

SCALE: AS NOTED
DATE: 1/14/2014
DRAWN BY: LAB
CHECKED BY: LAB
PROJECT #: 2013-96

S-1



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BOMBARDIER
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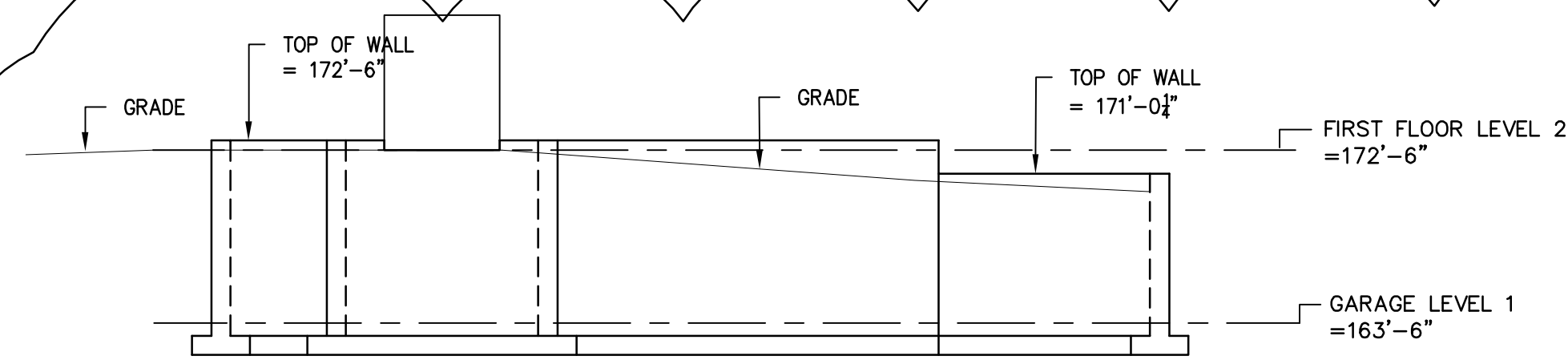
PROJECT: RESIDENCES
364-370 BEECH STREET
BOSTON, MA

DRAWING TITLE: SECOND, THIRD & ROOF PLANS

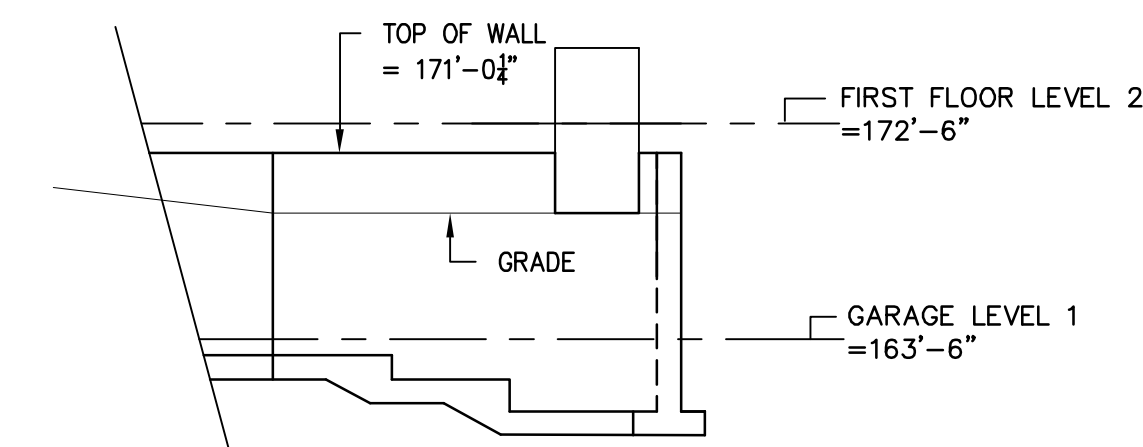
STAMP:

SCALE: AS NOTED
DATE: 1/14/2014
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PROJECT #: 2013-96

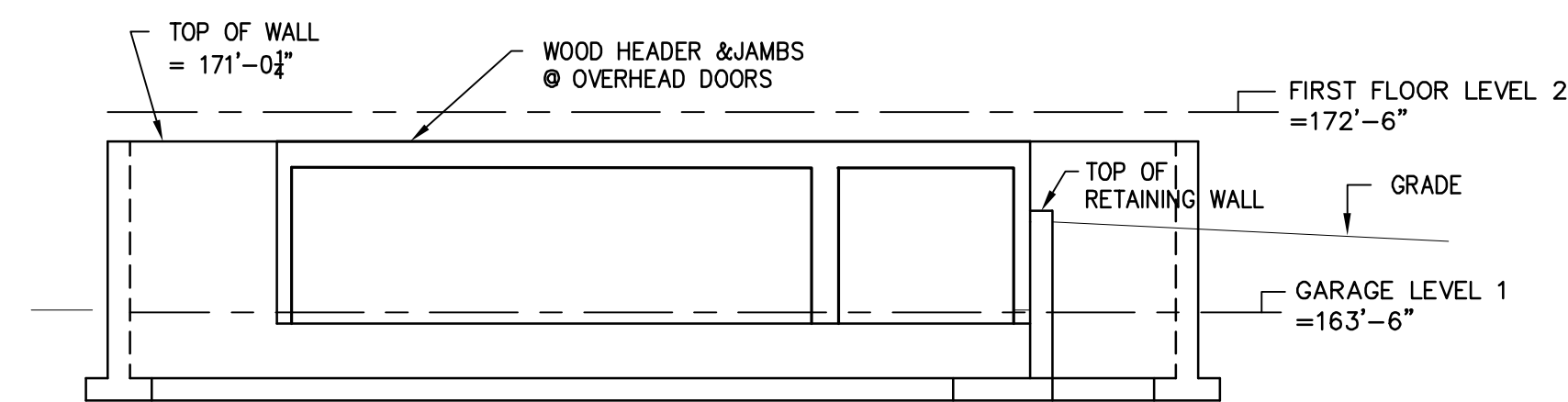
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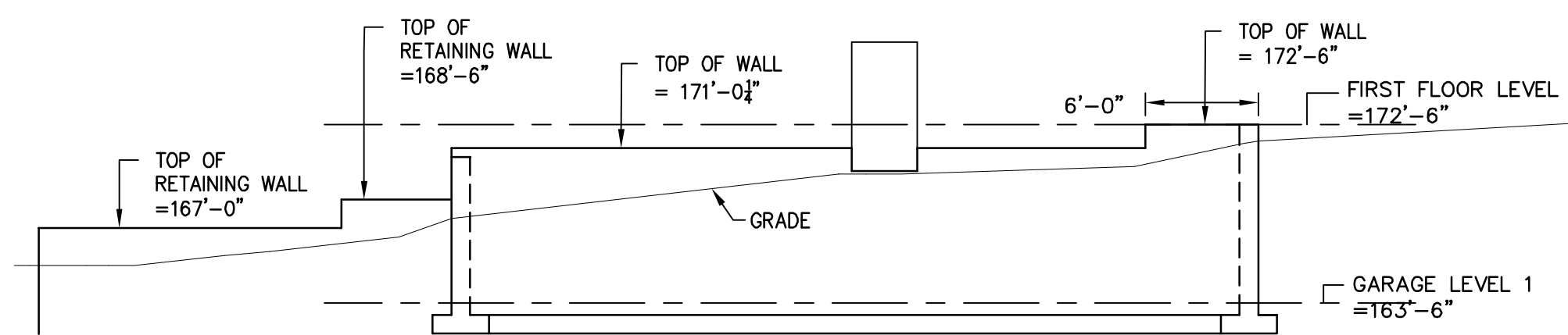
EAST ELEVATION



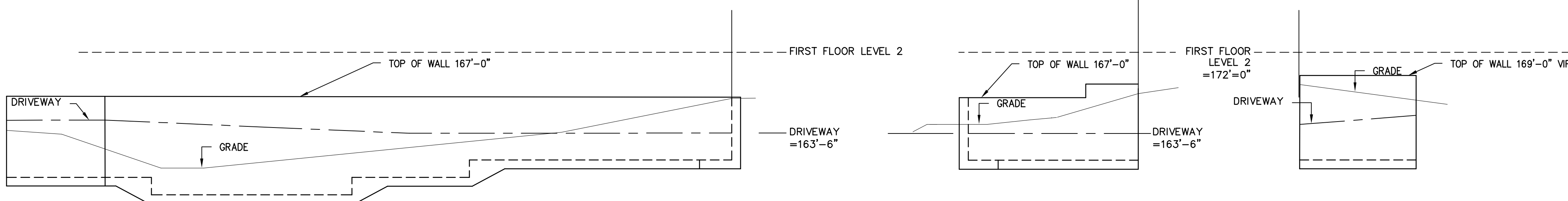
NORTH ELEVATION



WEST ELEVATION



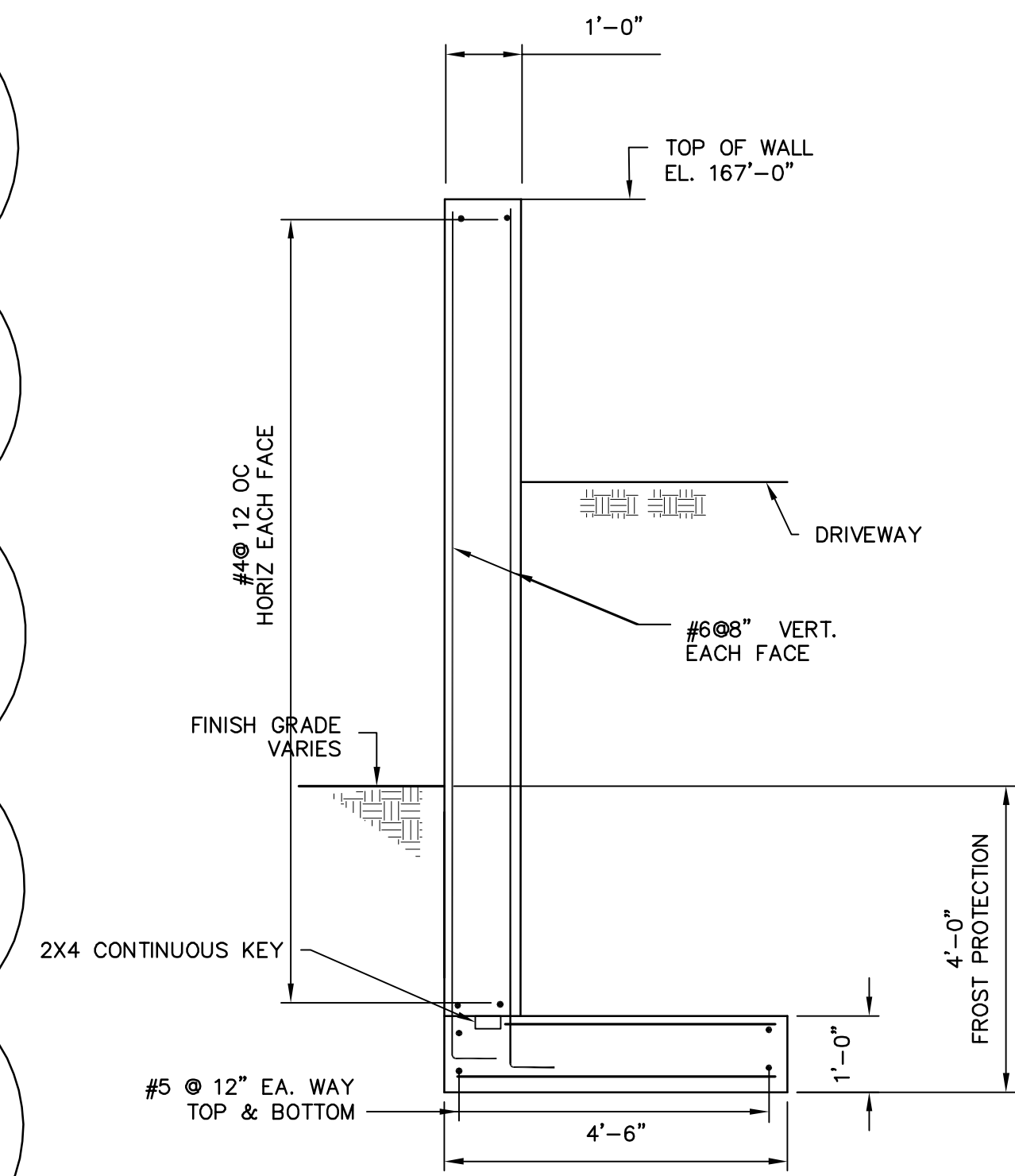
SOUTH ELEVATION



WEST ELEVATION

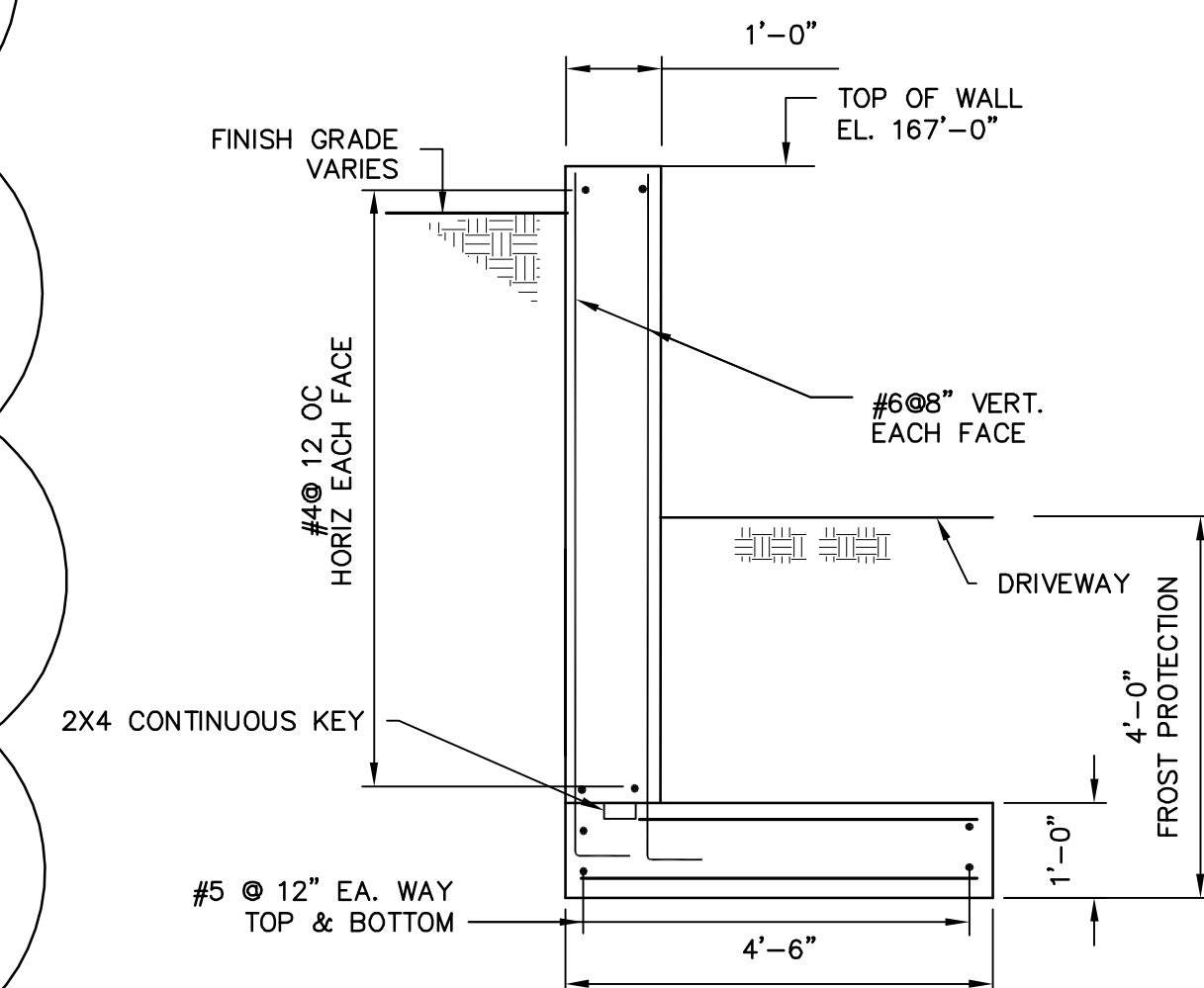
SOUTH ELEVATION

EAST ELEVATION



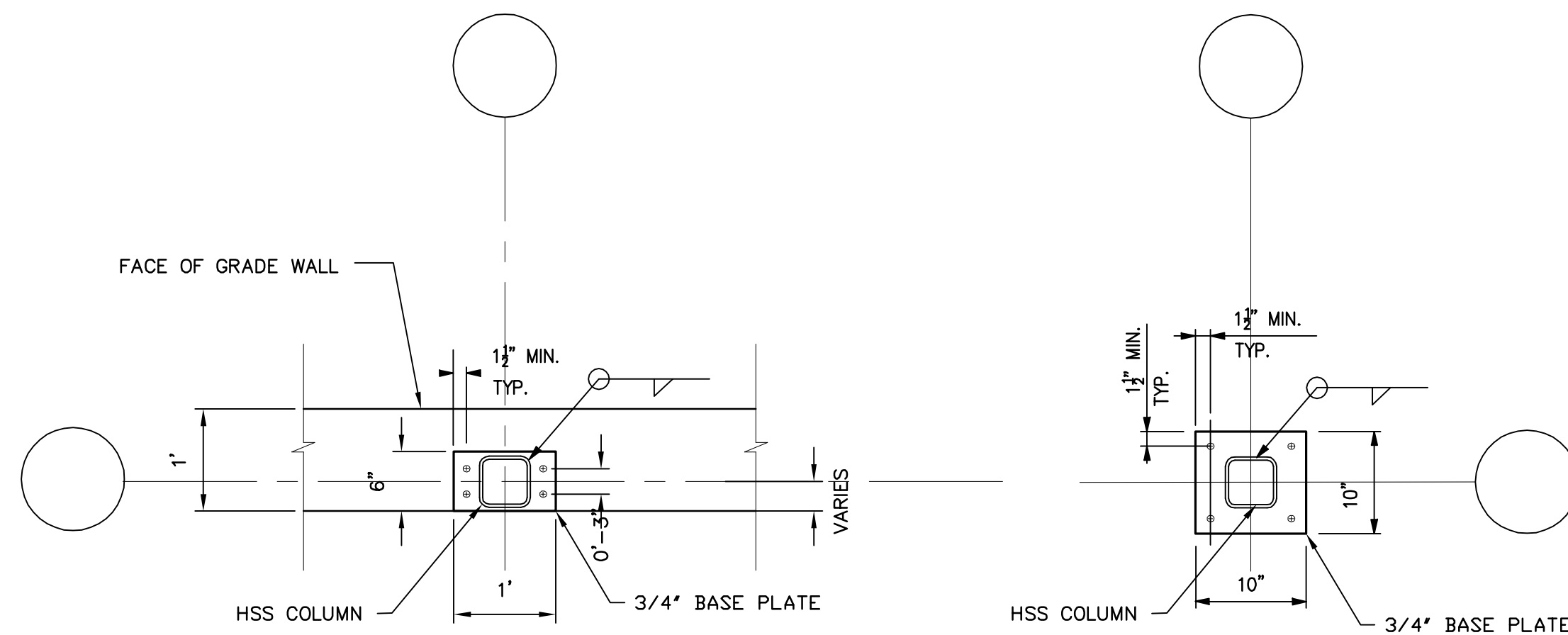
SECTION 8 - RETAINING WALL

SCALE: 1/2"=1'-0"



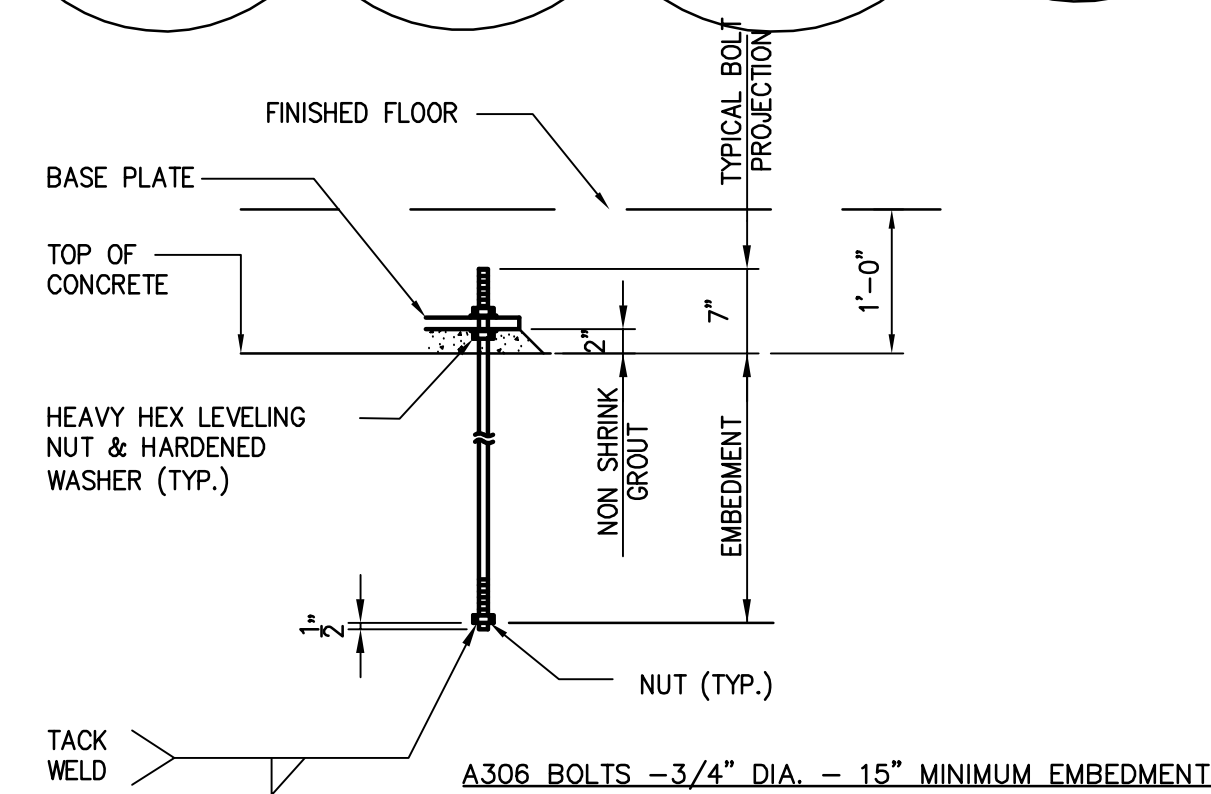
SECTION 9 - RETAINING WALL

SCALE: 1/2"=1'-0"



DETAIL A - ANCHOR BOLTS & BASE PLATES

SCALE: 3/8"=1'-0"



EPOXY ALTERNATE:
DRILL HOLE MIN. 7" EMBEDMENT
AND GROUT IN BOLT WITH HILTI RE-500 + HAS
(7" EMBEDMENT + 7" PROJECTION=14" TOTAL LENGTH)

EXPANSION ANCHOR ALTERNATE:
HILTI KWIK BOLT III, W/8" EMBEDMENT

USE LEVELING NUTS AND GROUT BASE PLATE SOLID

CONTRACTOR:

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OWNER:

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#	REVISIONS	DATE

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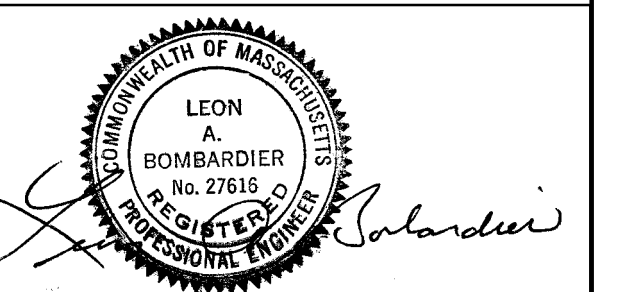
PROJECT:

RESIDENCES
364-370 BEECH STREET
BOSTON, MA

DRAWING TITLE:

FOUNDATION
ELEVATIONS
& DETAILS

STAMP:



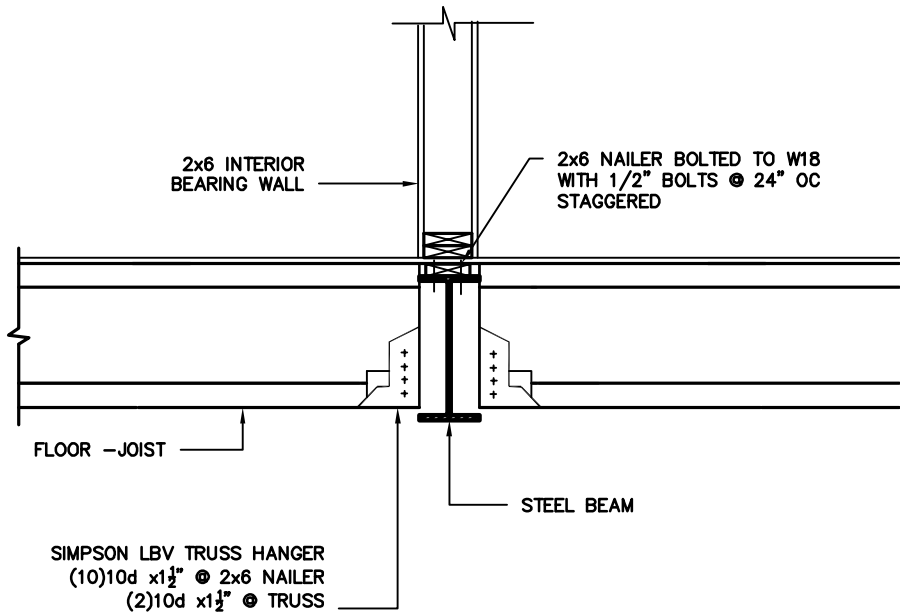
SCALE:
AS NOTED
DATE:
1/14/2014
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LAB
CHECKED BY:
LAB
PROJECT #:
2013-96

S-3

FASTENER SCHEDULE *

1/2" ROOF SHEATHING	6" OC -INTERMEDIATE SUPPORTS 4" OC -48" FROM EDGES & EAVES 8d COMMON NAILS
1/2" WALL SHEATHING	12" OC -INTERMEDIATE SUPPORTS 6" OC -48" FROM EDGES & EAVES 6d COMMON NAILS
1/2" FLOOR SHEATHING OR LESS	12" OC -INTERMEDIATE SUPPORTS 6" OC -48" FROM EDGES 1 1/2" RING OR SCREW NAIL (.099") 12 1/2 GA.
JOISTS TO SILL OR GIRDER	TOE NAIL (3) 8d NAILS
STUD TO SOLE PLATE	TOE NAIL (3)8d OR (2)16d NAILS
DOUBLE STUDS	FACE NAIL 10d 24" O.C.
DOUBLE TOP PLATES	FACE NAIL 10d 24" O.C. 24" MIN. OFFSET OF END JOINTS/LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL (2)-10d
RIM JOIST TO TOP PLATE	TOE NAIL 8d 6" O.C.
BUILT-UP HEADER	TWO PIECES WITH 1/2" SPACER 16d 16" O.C. TO STUD: TOE NAIL (4) 8d
CEILING JOIST	LAPS OVER PARTITIONS AND PARALLEL TO RAFTERS: FACE NAIL (3) 10d TO PLATE: TOE NAIL (3) 8d
RAFTER TO PLATE	TOE NAIL (2) 16d
BUILT-UP CORNER STUDS	10d 24" O.C.

* FOR COMPLETE TABLE SEE 780 CMR TABLE 5602.3(1)



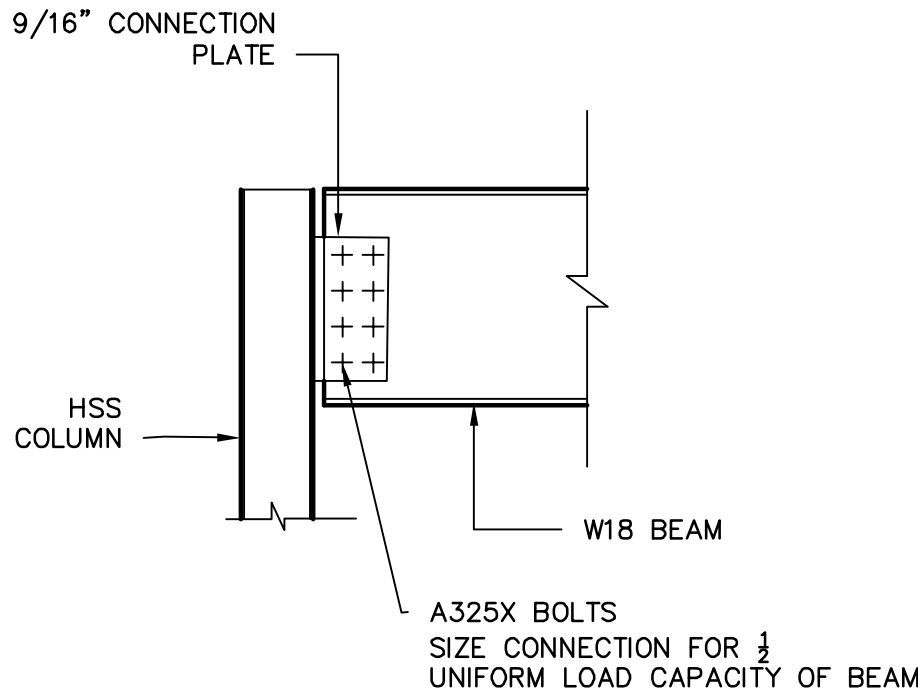
C DETAIL

3/4"=1'-0" WOOD JOIST TO STEEL BEAM CONNECTION

REINFORCING LAP SCHEDULE

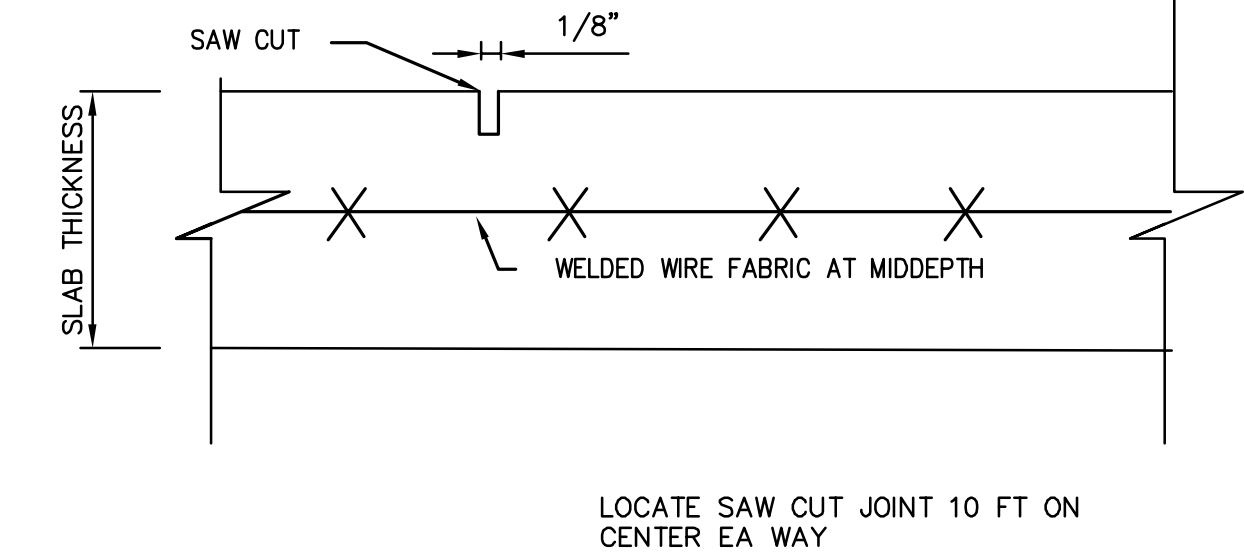
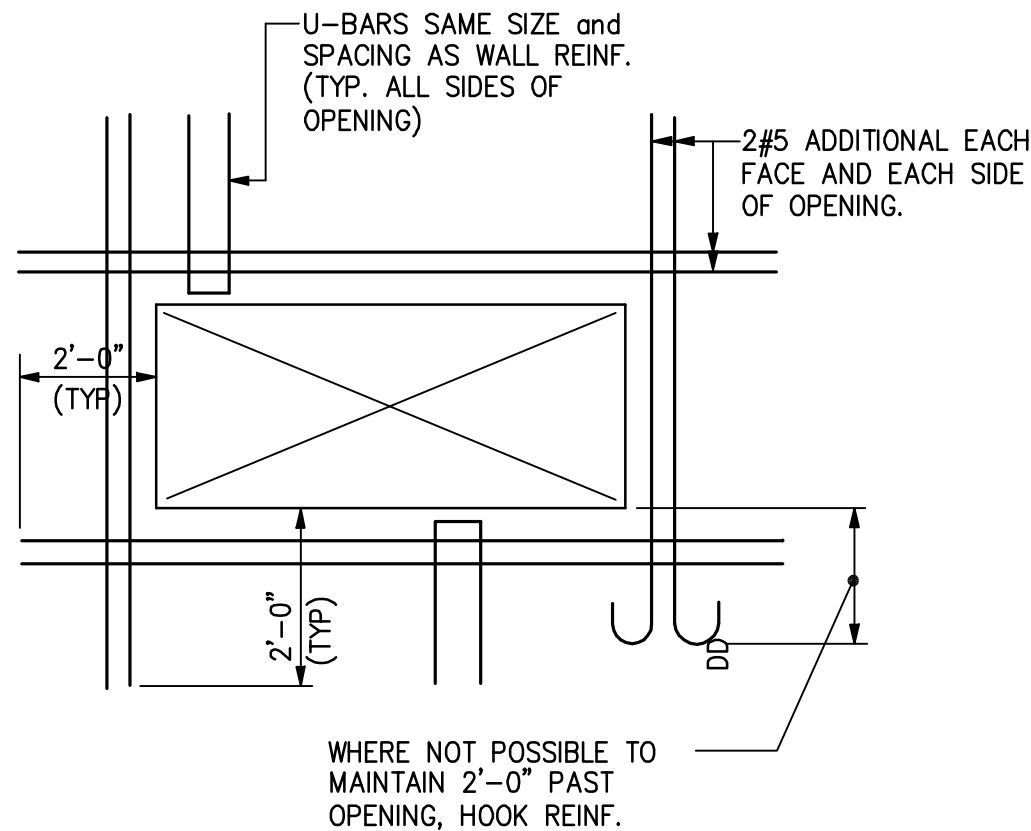
BAR SIZE	LAP SPLICES IN ALL CONCRETE	LAP SPLICE IN TENSION ZONE			
		fc =3,000 PSI		fc =4,000 PSI	
		TOP BARS	OTHER BARS	TOP BARS	OTHER BARS
#3	18"	28"	21"	24"	19"
#4	18"	37"	29"	32"	25"
#5	23"	46"	36"	40"	31"
#6	27"	56"	43"	48"	37"
#7	32"	81"	63"	70"	53"
#8	36"	93"	72"	79"	61"
#9	42"	105"	48"	48"	48"
#10	48"	118"	91"	101"	78"
#11	52"	131"	101"	112"	86"

NOTES:
1. ALL SPLICES TO BE "LAP SPLICES" UNLESS NOTED OTHERWISE IN SECTIONS.
2. TENSION LAP SPLICE WILL BE INDICATED ON PLANS AND SECTIONS.
3. A TOP BAR IS A HORIZONTAL WITH AT LEAST 12" OF FRESH CONCRETE BELOW



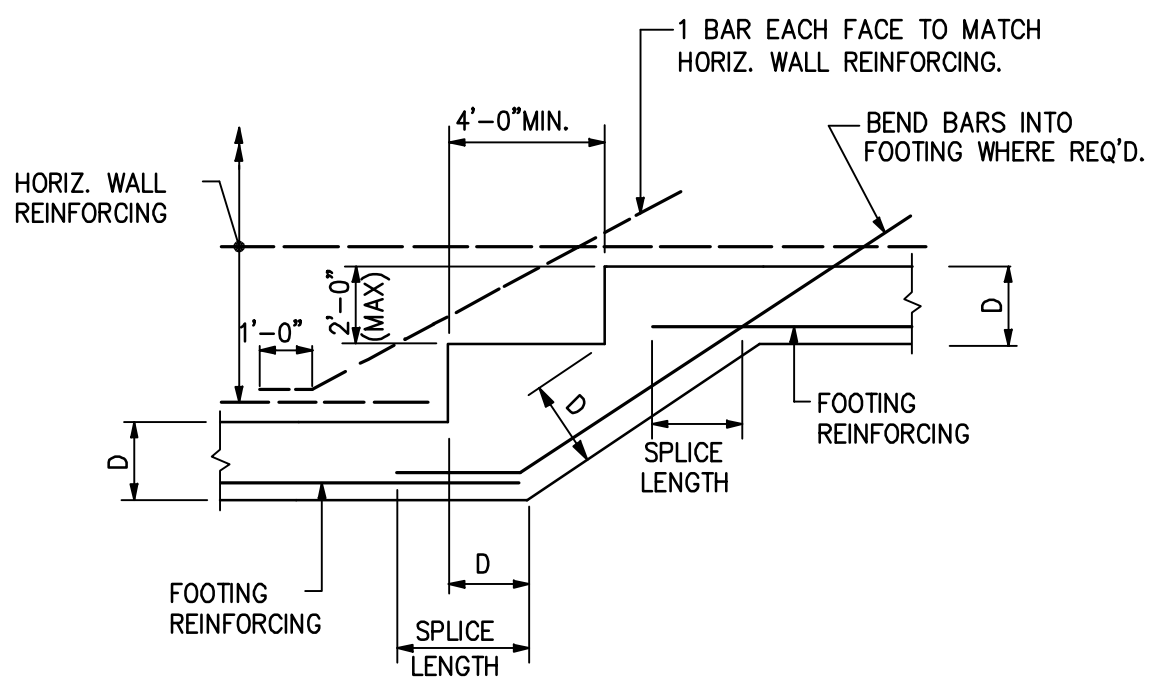
D DETAIL

3/4"=1'-0" STEEL BEAM TO COLUMN CONNECTION



E DETAIL

NO SCALE SLAB ON GRADE SAW CUT DETAIL

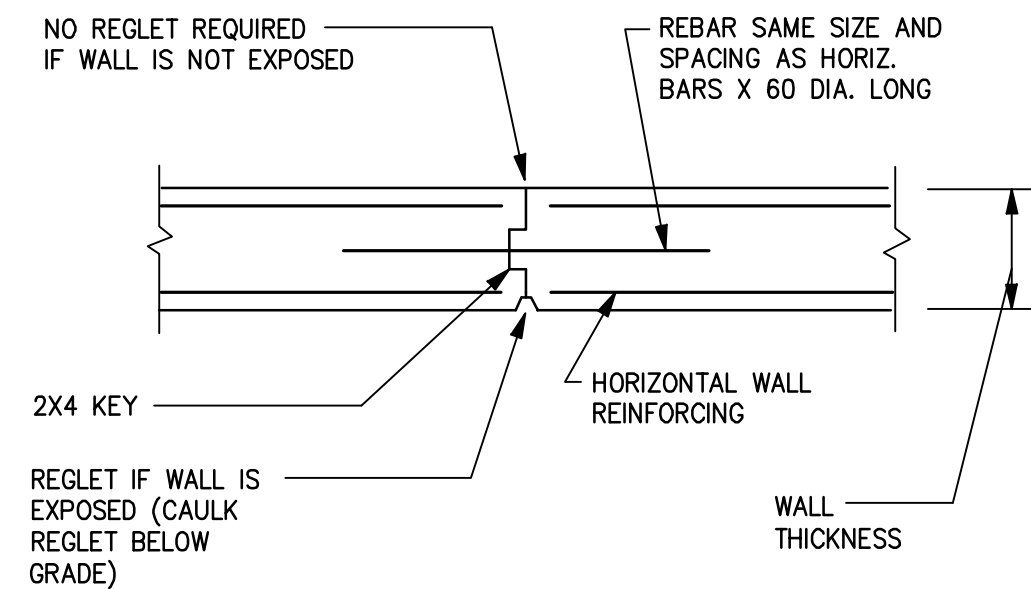
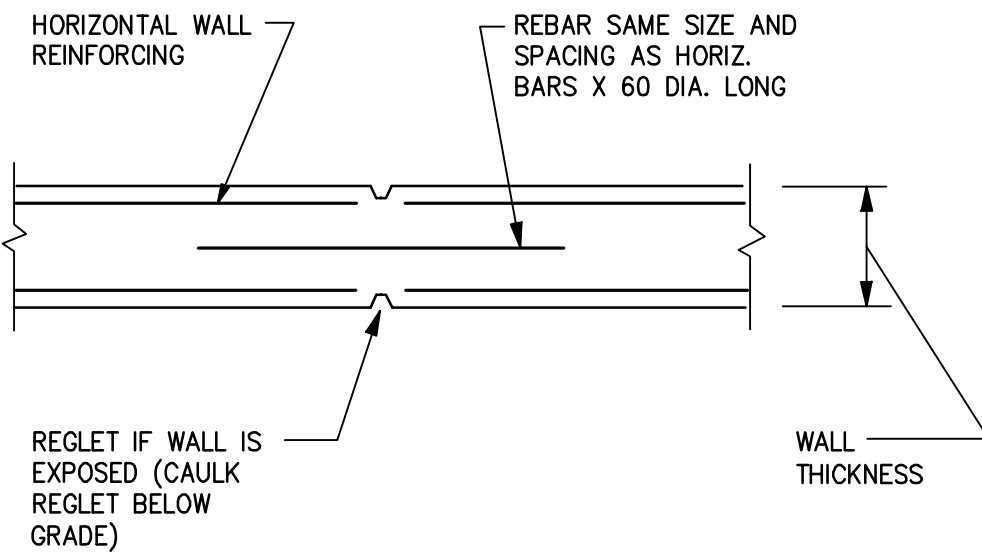


G DETAIL

NO SCALE TYPICAL FOUNDATION WALL OPENING

H DETAIL

NO SCALE TYPICAL CONTINUOUS STEPPED WALL FOOTING

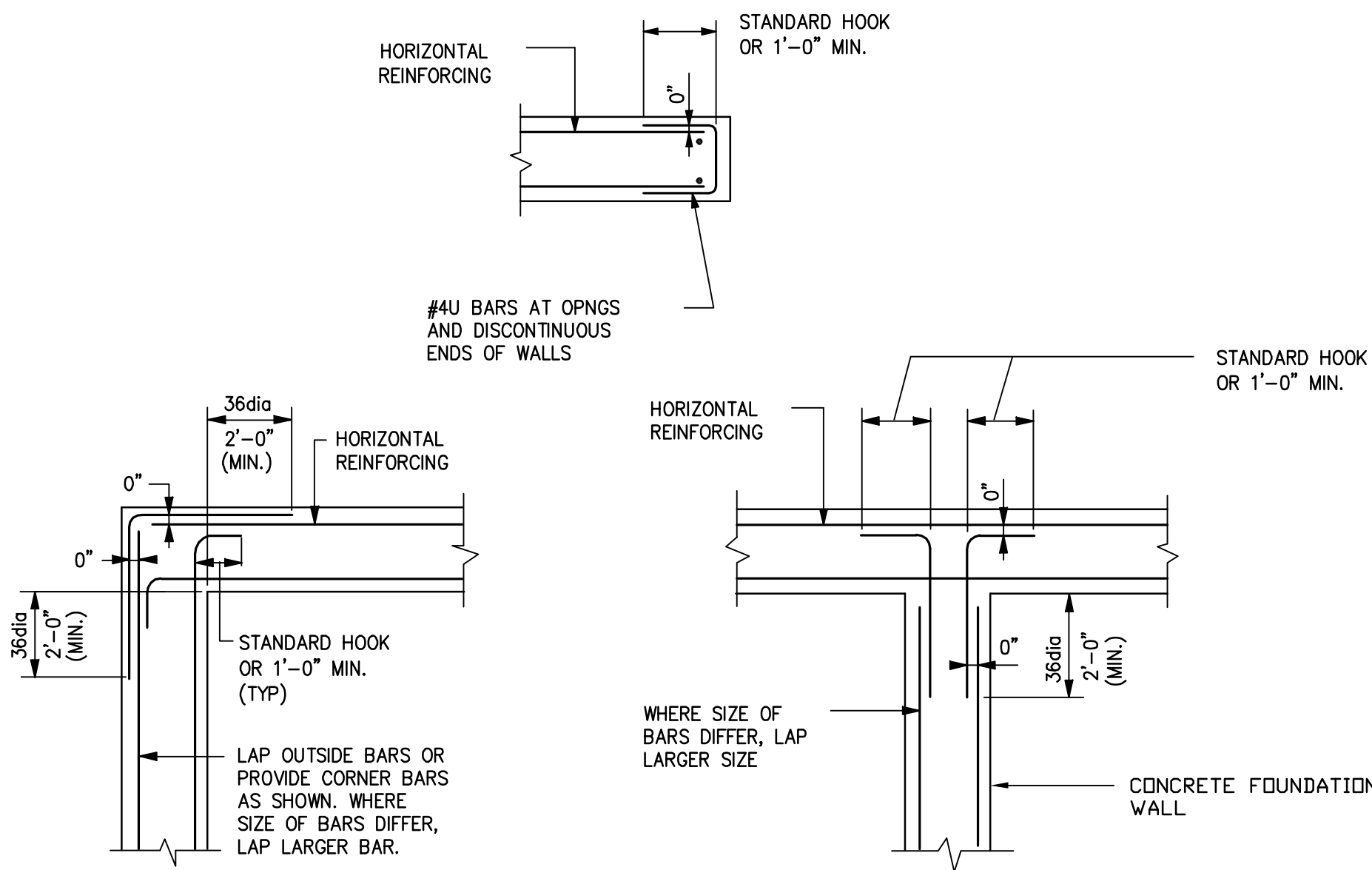


J DETAIL

NO SCALE PLAN OF TYPICAL HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS

K DETAIL

NO SCALE TYPICAL CONTROL JOINT IN CONCRETE WALLS



B DETAIL

1/4"=1'-0" WOOD FRAMING FASTENING SCHEDULE

F DETAIL

NO SCALE REINFORCING STEEL LAP SCHEDULE

H DETAIL

NO SCALE TYPICAL CONTINUOUS STEPPED WALL FOOTING

L DETAIL

NO SCALE TYPICAL CONSTRUCTION JOINT IN CONCRETE WALLS

CONTRACTOR:

DRAWING NOTES:

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OWNER:

BOMBARDIER
STRUCTURAL ENGINEERING

REVISIONS DATE

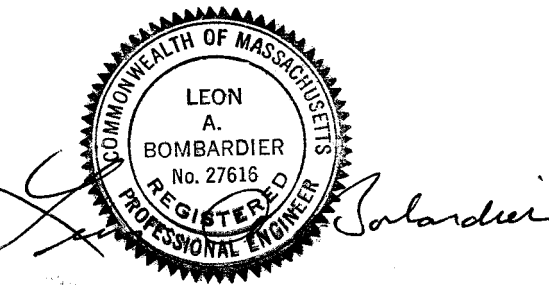
LEON A. BOMBARDIER, PE
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phone. (508) 631-3332 fax. (781) 871-2062

PROJECT: RESIDENCES
364-370 BEECH STREET
BOSTON, MA

DRAWING TITLE:
TYPICAL
DETAILS
SHEET 1

STAMP:



SCALE: AS NOTED
DATE: 1/14/2014
DRAWN BY: LAB
CHECKED BY: LAB
PROJECT #: 2013-96

S-4

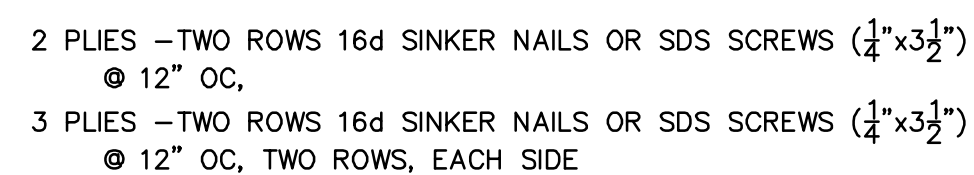
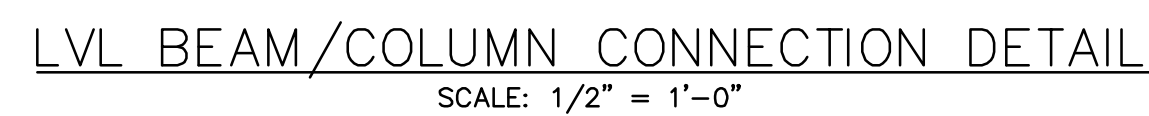


1/2"=1'-0"	BLOCKING AT INTERMEDIATE BEARING WALLS
------------	--

1/2"=1'-0"	BLOCKING AT EXTERIOR BEARING WALLS
------------	------------------------------------

3/4"=1'-0"	TYPICAL FRAMING @ DOOR OPENINGS
------------	---------------------------------

NO SCALE	TYPICAL FRAMING @ WINDOW OPENINGS
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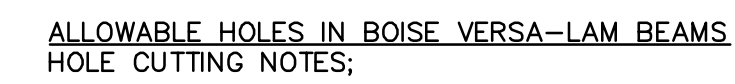
MULTIPLE MEMBER FASTENING
SIDE AND TOP LOADED LVL



HOLE CUTTING NOTES;

1. A 1 1/2" DIA. HOLE MAY BE CUT ANYWHERE OUTSIDE OF HATCHED ZONE.
2. ONE 9" DIA OR SQUARE HOLE MAY BE CUT ANYWHERE FROM 10 FEET FROM SUPPORTS.
3. OTHER LOCATIONS MUST BE APPROVED BY A BOISE REPRESENTATIVE AND APPROVED BY THE ENGINEER.

I-JOIST – ALLOWABLE HOLES



1. SQUARE OR RECTANGULAR HOLES NOT PERMITTED
2. ROUND HOLES MAY BE DRILLED OR CUT WITH A HOLE SAW ANYWHERE WITHIN THE SHADED AREA
3. THE HORIZONTAL DISTANCE BETWEEN ADJACENT HOLES MUST BE AT LEAST TWO TIMES THE SIZE OF THE LARGER HOLE.
4. DO NOT DRILL MORE THAN THREE ACCESS HOLES IN ANY FOUR FOOT LONG SECTION OF BEAM.
5. THE MAXIMUM ROUND HOLE DIAMETER PERMITTED IS 2".
6. FOR LARGER HOLES CONTACT BOISE ENGINEERED WOOD PRODUCT ENGINEERING.

LVL - ALLOWABLE HOLES

1/2"=1'-0"	LVL BEAM TO COLUMN CONNECTION
------------	-------------------------------

NO SCALE	MULTIPLE LVL FASTENING
----------	------------------------

NO SCALE	I-JOIST ALLOWABLE HOLES
----------	-------------------------

NO SCALE	LVL ALLOWABLE HOLES
----------	---------------------

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SOMERVILLE, MA

OWNER:

BOMBARDIER



STRUCTURAL ENGINEERING

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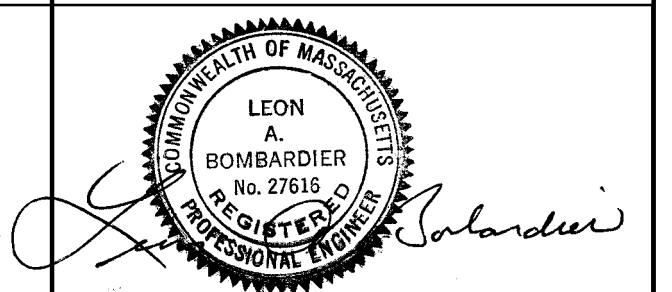
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RESIDENCES
364-370 BEECH STREET
BOSTON, MA

DRAWING TITLE:

TYPICAL
DETAILS
SHEET 2

STAMP:



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DATE:	1/14/2014
DRAWN BY:	LAB
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PROJECT #:	2013-96

S-5

TYPE	SIMPSON ANCHOR	ANCHOR BOLT	"D"	"SO"	SDS SCREWS	SHEATHING*	NAILING ***	HOLD-DOWN CAPACITY
SW1	HDU1 SDS2.5	1" DIA.	5½"	1½"	30 SDS X 1½"X2½"	15"PLYWD	8dx2½" LONG@ 4"OC EDGES	6,685 POUNDS
SW2	HDU5 SDS2.5	8" DIA.	3"	18"	14 SDS X 1½"X2½"	15"PLYWD	8dx2½" LONG@ 6"OC EDGES	4,065 POUNDS
SW3	HDU4 SDS2.5	8" DIA.	3"	18"	10 SDS X 1½"X2½"	15"PLYWD	8dx2½" LONG@ 6"OC EDGES	5,665 POUNDS

HORIZONTAL DIAPHRAGM SCHEDULE (FLOORS)

MARK	LEVEL	SHEATHING PANEL	BLOCKING	ATTACHMENT (PANEL EDGES)	—
HD1	ALL LEVELS	3/4" T&G PLYWOOD	PANEL EDGES	10d @ 4" OC	—

MARK	LEVEL	TOP & BOTTOM PLATE	STUD SPACING	NAILING	—
BEARING WALL	ALL LEVELS	2 -2x6 (ONE PT @ CONCRETE)	2x6 @ 16" OC	16d @ 12" OC	—
NON-BRG WALL	ALL LEVELS	1 -2x4 (ONE PT @ CONCRETE)	2x4 @ 16" OC	16d @ 12" OC	—

NO SCALE	SHEAR WALL AND FLOOR DIAPHRAGM SCHEDULES
----------	--



NO SCALE	PLAN OF TYPICAL HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS
----------	---

NO SCALE	TYPICAL CONTROL JOINT IN CONCRETE WALLS
----------	---

NO SCALE	TYPICAL CONSTRUCTION JOINT IN CONCRETE WALLS
----------	--

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ARCHITECT: KHALSA DESIGN INC.
SOMERVILLE, MA

OWNER:

BOMBARDIER



STRUCTURAL ENGINEERING

#	REVISIONS	DATE

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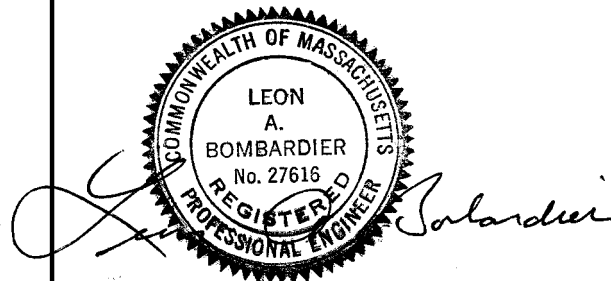
phone. (508) 631-3332 fax. (781) 871-2062

PROJECT: RESIDENCES
364-370 BEECH STREET
BOSTON, MA

DRAWING TITLE

SHEAR WALL DETAILS

STAMP:



SALE:
AS NOTED

DATE: 1/14/2014

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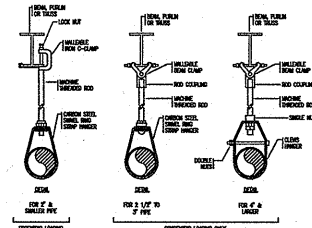
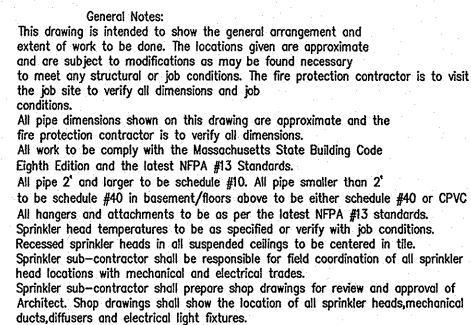
LAB

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PROJECT #: 2013-96

S-6



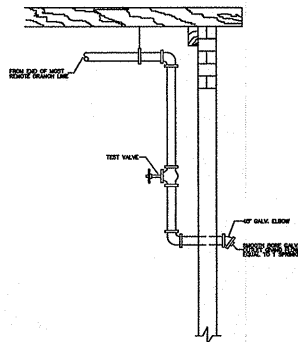
HANGERS MUST BEAR SELF-THREADING SCREWS IS PROVIDED WITH THE HANGER AND IS THE HANGER FASTENER SIZE ACCEPTABLE.

CPVC DOUBLE FASTENER STRAP TYPE HANGER

TOLCO

CPVC HANGER
HANGER CODE #28

①	NIL	0
②	TOLCO CPVC DOUBLE FASTENER STRAP	1
③	NIL	0
④	SELF THREADING SCREW	2
⑤	NIL	0



NOTE:

21.20.19 New Apartment Buildings

AS PER NFPA-13 21.20.19.2.1 in buildings sprinklered in accordance with NFPA-13, closets less than 12ft in area in individual dwelling units shall not be required to be sprinklered. Closets that contain equipment such as washers, dryers, furnaces, or water heaters shall be sprinklered regardless of size.

NOTE:

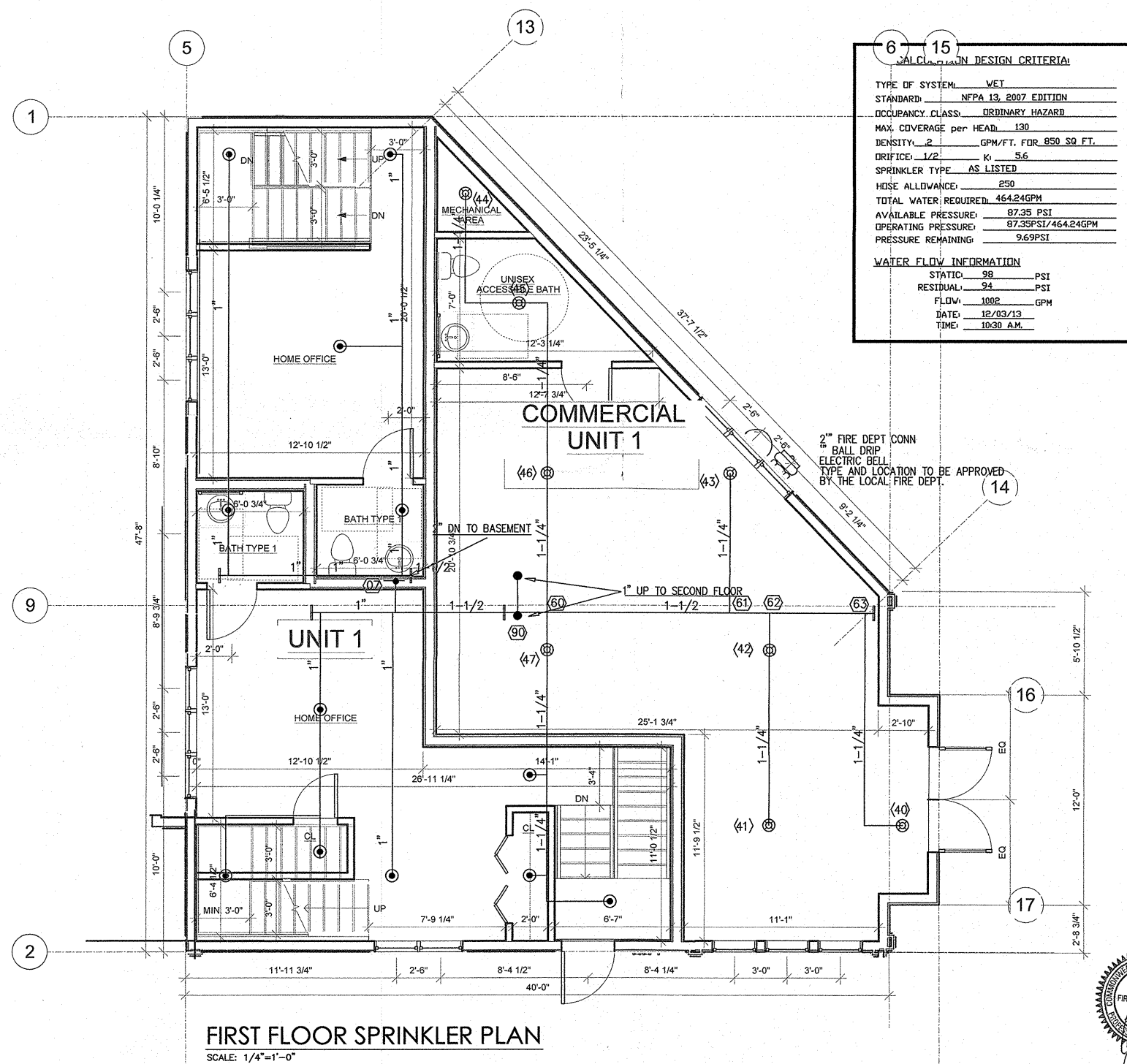
AS PER NFPA-13 8.15.8.1 unless sprinklers required by 8.15.8.1.2 or 8.15.8.1.3, sprinkler shall not be required in bathrooms that are located in dwelling units, that not exceed 55 sq. ft. in area, and that have walls and ceilings of noncombustible or limited combustible material within a 15-minute thermal barrier rating, including the walls and ceilings behind any shower enclosure or tub.

NOTE:

ALL RESIDENTIAL LOW FLOW PENDENTS HEADS TO BE INSTALLED WITH A 18 X 18 SPACING BETWEEN HEADS AND BY NO MORE THAN 9" OFF ANY WALL. HEADS SHOULD NOT BE ANY CLOSER THAN 8" BETWEEN HEADS

ALL RESIDENTIAL LOW FLOW SPOONHEADS HEADS TO BE INSTALLED WITH A 18 X 18 SPACING BETWEEN HEADS AND BY NO MORE THAN 9" OFF ANY WALL. HEADS SHOULD NOT BE ANY CLOSER THAN 8" BETWEEN HEADS

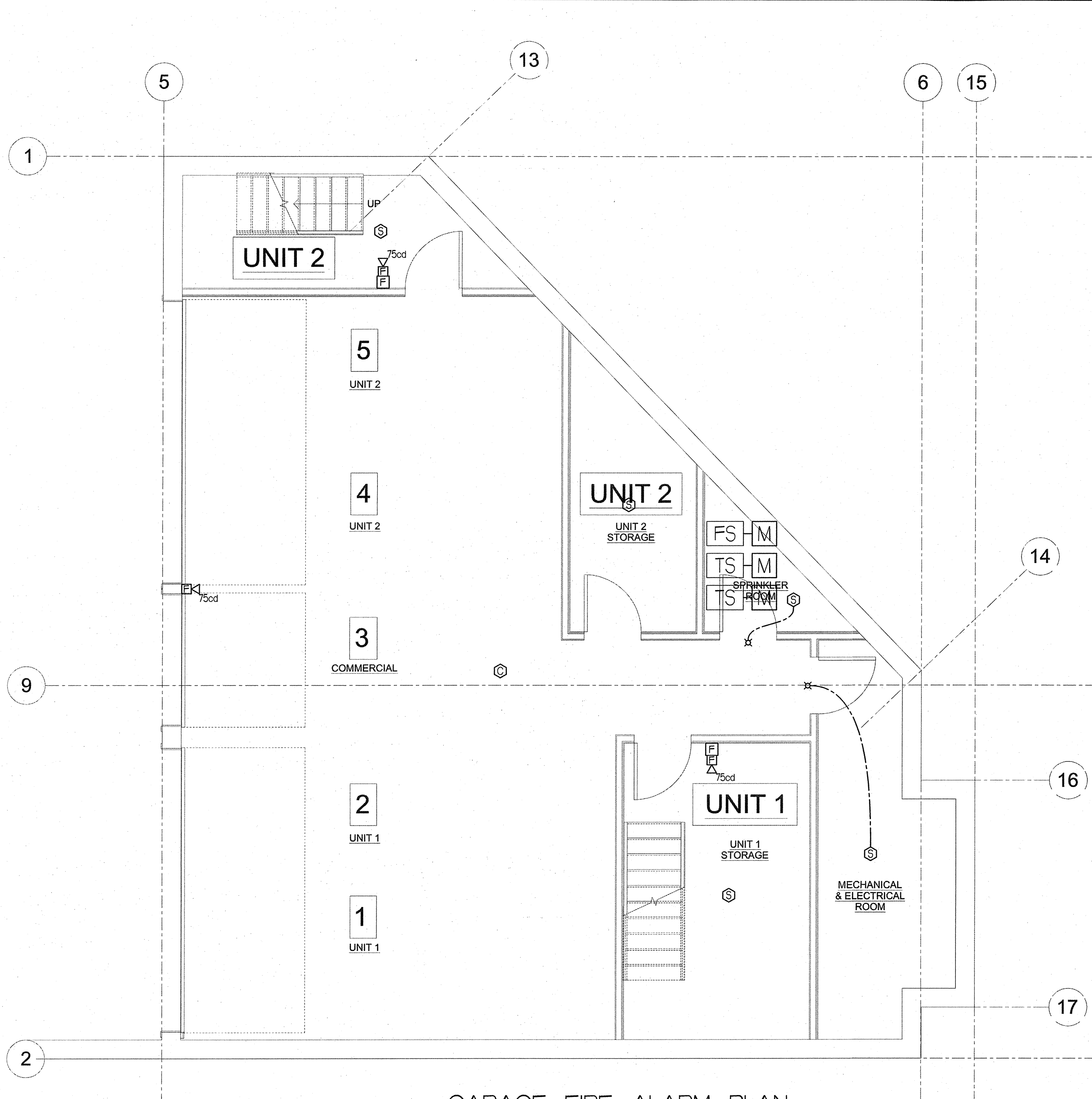
SPACING ON OR UPRIGHT/DRY SPOONAL TO BE INSTALLED AS PER THEIR LISTING. SPACING IS TO NOT EXCEED 130 SQFT. IN PLACEMENT. SPACING BETWEEN HEADS SHALL NOT EXCEED 15'-0" - SHALL NOT EXCEED 7'-0" OFF WALL/ MIN BETWEEN HEADS IS 6'-0"



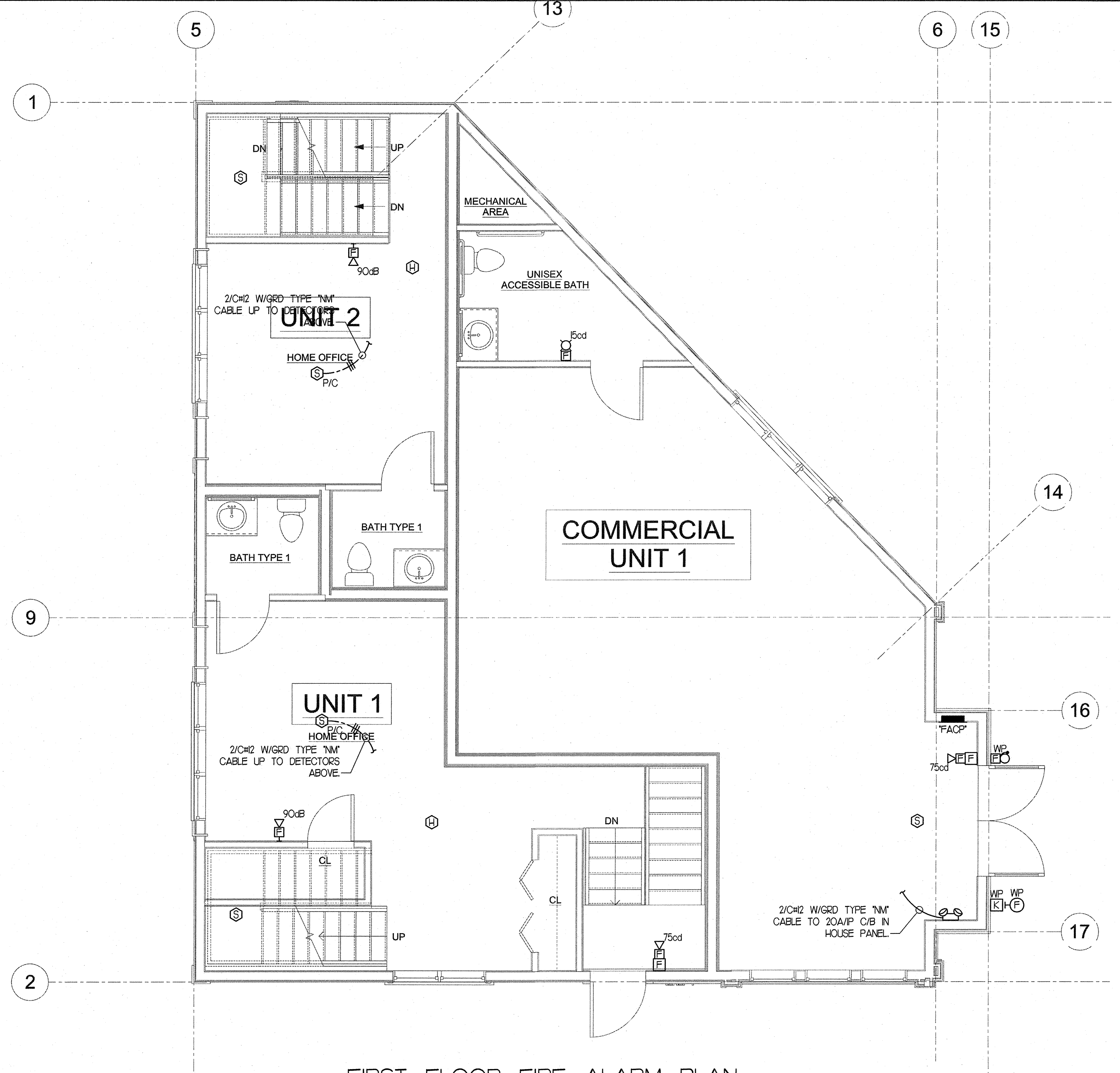
CALCULATED DESIGN CRITERIA:	
TYPE OF SYSTEM	WET
STANDARD	NFPA 13, 2007 EDITION
OCCUPANCY CLASS	ORDINARY HAZARD
MAX. COVERAGE per HEAD	130
DENSITY	2 GPM/FT. OR .850 SQ. FT.
ORIFICE: 1/2"	K: 5.6
SPRINKLER TYPE	AS LISTED
HOSE ALLOWANCE	250
TOTAL WATER REQUIRED	464.24GPM
AVAILABLE PRESSURE	87.35 PSI
OPERATING PRESSURE	87.35PSI/464.24GPM
PRESSURE REMAINING	9.69PSI

<u>WATER FLOW INFORMATION</u>	
STATIC	98 PSI
RESIDUAL	94 PSI
FLOW	1082 GPM
DATE	12/03/13
TIME	10:30 A.M.

[illegible]



GARAGE FIRE ALARM PLAN
SCALE: 1/4"=1'-0"



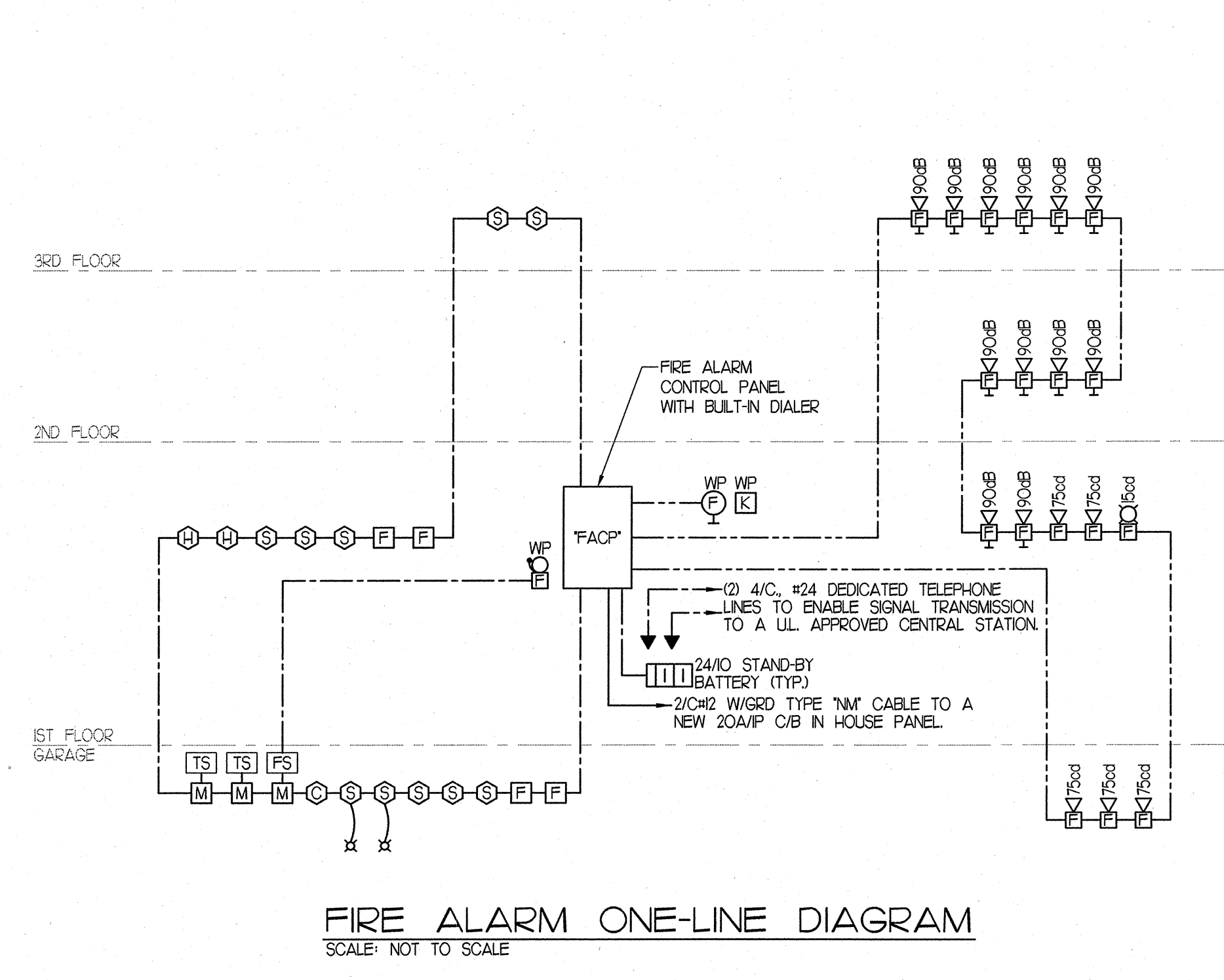
FIRST FLOOR FIRE ALARM PLAN
SCALE: 1/4"=1'-0"

FIRE ALARM LEGEND

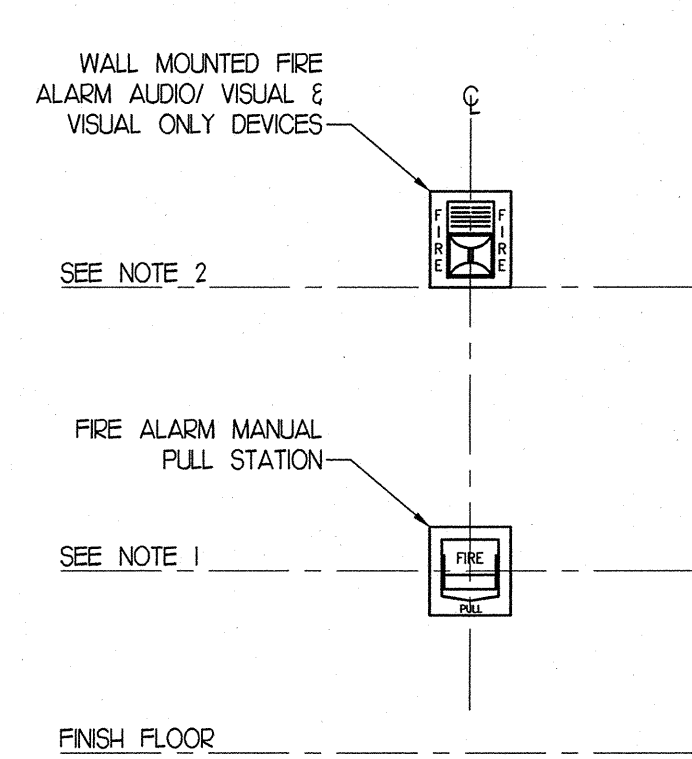
- FIRE ALARM SYSTEM ADA TYPE 90db/750d HORN/STROBE UNIT. SEE MOUNTING DETAIL FOR HEIGHTS.
- FIRE ALARM SYSTEM ADA TYPE 150d STROBE ONLY UNIT. SEE MOUNTING DETAIL FOR HEIGHTS.
- FIRE ALARM SYSTEM ADA TYPE 90db MINI HORN UNIT. SEE MOUNTING DETAIL FOR HEIGHTS.
- FIRE ALARM SYSTEM ADA TYPE 750d BELL. SEE MOUNTING DETAIL FOR HEIGHTS.
- MANUAL PULL STATION, MOUNTED 48" ABOVE FINISHED FLOOR.
- CEILING MOUNTED PHOTOELECTRIC SYSTEM TYPE SMOKE DETECTOR.
- AUTOMATIC HEAT DETECTOR 135 DEGREES FIXED TEMPERATURE WITH ZONE ADDRESSABLE MODULE.
- CEILING MOUNTED PHOTOELECTRIC SYSTEM CARBON MONOXIDE (CO) DETECTOR.
- FIRE ALARM CONTROL PANEL "FACP".
- FIRE ALARM WEATHERPROOF BEACON.
- FIRE PROTECTION SYSTEM FLOW SWITCH, FURNISHED AND INSTALLED BY THE SPRINKLER CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR.
- FIRE PROTECTION SYSTEM TAMPER SWITCH, FURNISHED AND INSTALLED BY THE SPRINKLER CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR.
- FIRE PROTECTION SYSTEM PRESSURE SWITCH, FURNISHED AND INSTALLED BY THE SPRINKLER CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR.
- REMOTE INDICATOR.
- REMOTE INDICATOR W/ TEST STATION.
- ADDRESSABLE MONITOR MODULE.
- KNOX BOX.
- 24/10 HOUR BATTERY.
- AUXILIARY POWER SUPPLY 5 AMPS / 24 VOLTS WITH 4 NOTIFICATIONS CIRCUITS, NOTIFIER CAT. NO. FCP5245SR WITH BATTERY BACK-UP AND INTEGRAL CHARGER.
- 2/CH4 TWISTED POWER LIMITED FIRE ALARM CABLE (INITIATING).
- 2/CH4 POWER LIMITED FIRE ALARM CABLE (NOTIFICATION).

FIRE ALARM NOTES:

- ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ANALOG/ ADDRESSABLE MICRO-PROCESSOR BASED, FIRE ALARM SYSTEM AS INDICATED AND AS SPECIFIED. ALL FIRE ALARM CIRCUIT WIRING SHALL BE POWER LIMITED FIRE ALARM CABLE. AUDIO/VISUAL CIRCUITS SHALL BE 24V POWER LIMITED FIRE ALARM CABLE. AS MENTIONED ABOVE. CIRCUITS SHALL BE ARRANGED CLASS 'A'.
- ELECTRICAL CONTRACTOR SHALL UTILIZE ALARM VERIFICATION AS A STANDARD FEATURE FOR ALL ADDRESSABLE SMOKE DETECTORS.
- THE CONTRACTOR, BEFORE INSTALLATION OR PROCUREMENT OF EQUIPMENT, SHALL SUBMIT A SHOP DRAWING OF ALL THE DEVICES BEING SUPPLIED FOR THIS PROJECT. THE SHOP DRAWING SHALL INCLUDE, AS PART OF THE SUBMITTAL PACKAGE, A ONE-LINE DIAGRAM INDICATING HOW THE SYSTEM WILL OPERATE.
- ALL PULL AND JUNCTION BOXES AS WELL AS 6" OF ANY CONDUIT ENTERING OR LEAVING ANY PULL OR JUNCTION BOX SHALL BE PAINTED RED.
- FIRE ALARM SYSTEM SHALL BE MANUFACTURED BY NOTIFIER.
- UPON ACTIVATION OF AIR HANDLING UNIT DUCT SMOKE DETECTOR THE RESPECTIVE UNIT AND ASSOCIATED SMOKE AND FIRE DAMPERS SHALL BE DE-ACTIVATED.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR A SET OF AS-BUILT DRAWINGS OF THE FIRE ALARM SYSTEM. AS-BUILT DRAWINGS SHALL INDICATE THE LOCATION OF THE CONTROL PANEL, ALL FIRE ALARM DEVICES AND WIRING INSTALLED. AS-BUILT DRAWINGS SHALL BE TURNED OVER TO THE OWNER'S PROJECT REPRESENTATIVE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING THE FIRE ALARM SYSTEM COMMUNICATOR TO AN UL APPROVED CENTRAL STATION USING 4/C #24 CAT3 CABLES.
- THE FIRE ALARM SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 72. ANY CHANGES TO THE SYSTEM DESIGN SHALL BE PRE-APPROVED BY THE LOCAL FIRE DEPARTMENT AND VINCENT A. DIORIO INC.
- FIRE ALARM ONE-LINE DIAGRAM IS COMPLEMENTARY TO THE FLOOR PLAN WHERE A CONFLICT ARISES THE MOST STRINGENT CONDITION SHALL PREVAIL.
- ALL AUDIO/VISUAL DEVICES SHALL BE SYNCHRONIZED CODE 3, TEMPORAL PATTERN.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL FIRE DEPARTMENT REGARDING TESTING FOR A BI-DIRECTIONAL ANTENNA SYSTEM. TESTING SHALL COMMENCE ONCE THE BUILDING IS COMPLETE AND BASED ON TEST RESULTS A DETERMINATION SHALL BE MADE TO INSTALL THE SYSTEM.
- UPON ACTIVATION OF SYSTEM CARBON MONOXIDE DETECTOR A SUPERVISORY SIGNAL SHALL BE SENT TO A UL APPROVED CENTRAL STATION MONITOR COMPANY. RETRANSMISSION SIGNAL SHALL BE SENT TO A BUILDING MAINTENANCE SUPERVISOR TO ALERT OF AN EXCESS CARBON MONOXIDE LEVEL WITHIN THE BUILDING.
- UPON COMPLETION OF THE INSTALLATION, THE FIRE ALARM SYSTEM AND ALL FIRE ALARM COMPONENTS SHALL BE TESTED IN ACCORDANCE WITH NFPA 72.
- A RECORD OF COMPLETION IN ACCORDANCE WITH NFPA 72 VERIFYING THAT THE SYSTEM HAS BEEN INSTALLED AND TESTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS SHALL BE PROVIDED.



FIRE ALARM ONE-LINE DIAGRAM
SCALE: NOT TO SCALE



- NOTES**
- THE OPERABLE PART OF EACH MANUAL FIRE ALARM BOX SHALL BE NOT LESS THAN 42" AND NOT MORE THAN 48" ABOVE FINISHED FLOOR LEVEL.
 - WALL-MOUNTED APPLIANCES SHALL BE MOUNTED SUCH THAT THE ENTIRE LENS IS NOT LESS THAN 80" AND NOT GREATER THAN 96" ABOVE THE FINISHED FLOOR.
 - WHERE LOW CEILING HEIGHTS DO NOT PERMIT MOUNTING AT A MINIMUM OF 80" AFF, VISUAL APPLIANCES SHALL BE MOUNTED WITHIN 6" OF THE CEILING.
 - DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHERE EVER POSSIBLE.
 - ALL DEVICES SHALL BE INSTALLED AT MOUNTING HEIGHTS AS INDICATED ON THIS DETAIL UNLESS OTHERWISE NOTED.

FIRE ALARM DEVICE MOUNTING HEIGHT DETAIL
NOT TO SCALE

PROJECT NAME
370 BEECH ST RESIDENCES

PROJECT ADDRESS
370 BEECH STREET
BOSTON, MA

CLIENT
NTABOS REALITY TRUST

ARCHITECT
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CONSULTANTS:
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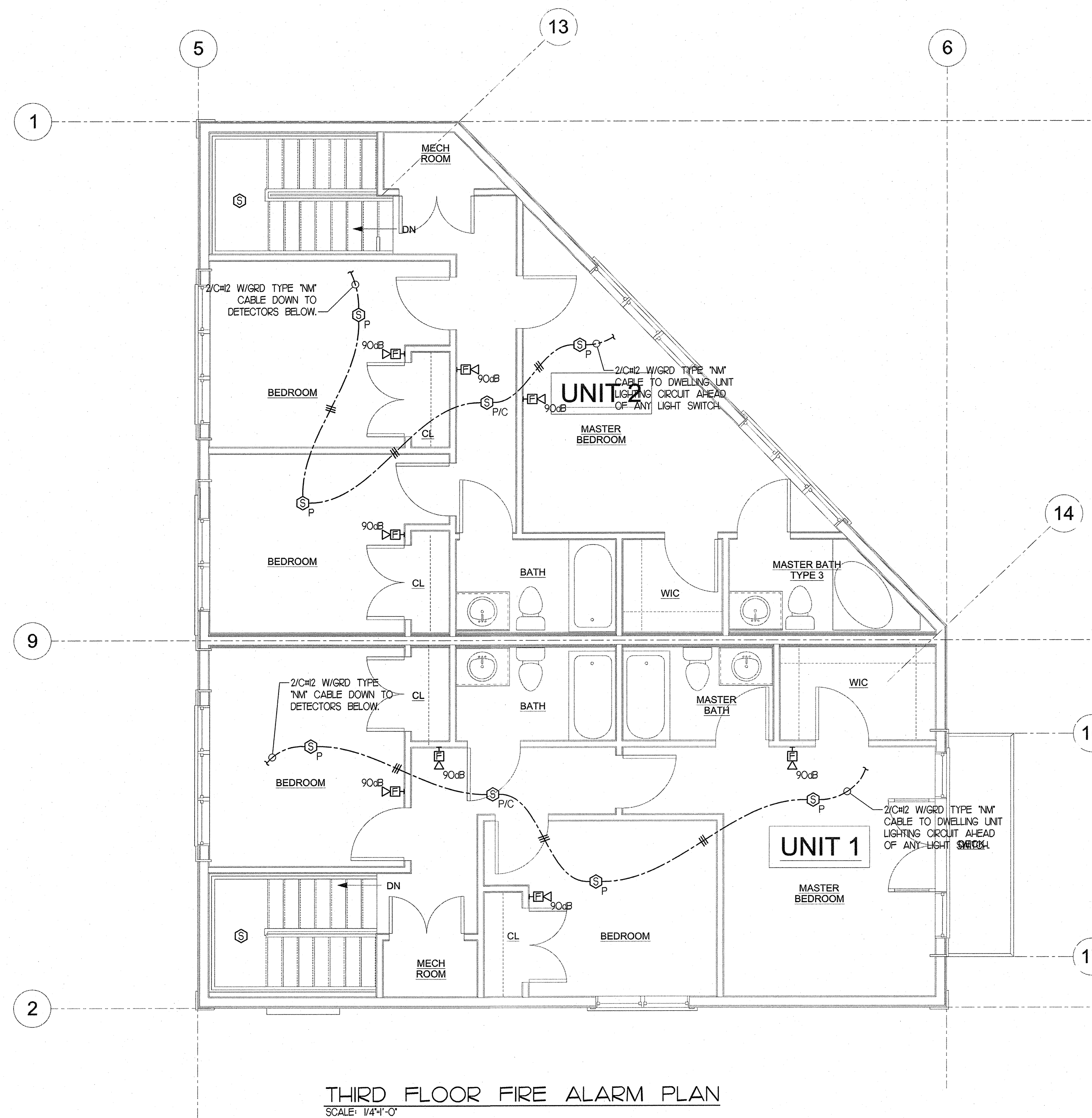
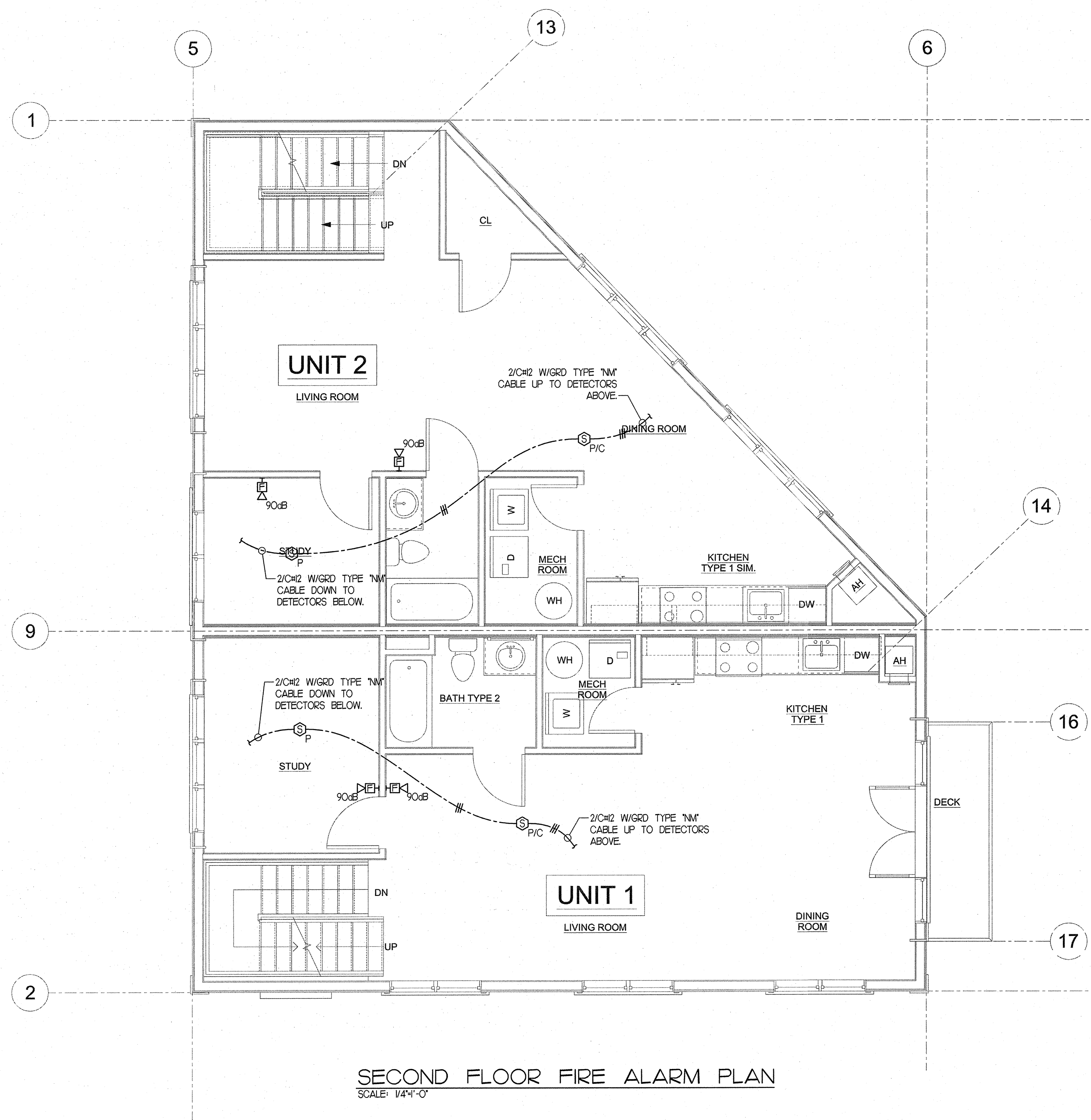
REGISTRATION

Project number 13002
Date 11-13-2013
Drawn by CIM
Checked by VADJR
Scale 1/8" = 1'-0"

No.	Description	Date

FIRE ALARM LEGEND, NOTES, ONE-LINE DIAGRAM, GARAGE & 1ST FLOOR PLANS

FA0.01
370 BEECH ST RESIDENCES



PROJECT NAME

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PROJECT ADDRESS

370 BEECH STREET
BOSTON, MA

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CONSULTANTS:

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vincent a. diorio, inc.



Project number	13002
Date	11-13-2013
Drawn by	CIM
Checked by	VADJR
Scale	1/8" = 1'-0"

REVISIONS

[illegible]

2ND AND 3RD FLOOR FIRE ALARM PLANS

FA1.01

370 BEECH ST RESIDENCES