APPROVED

Design Section **BOSTON REDEVELOPMENT AUTHORITY**

Design Review

Board of Appeal

M. CANHITZO Signature

10/18/2022

BUILDING USE AND OCCUPANCY

GENERAL BUILDING/PROJECT DESCRIPTION:

RENOVATION AND RECONSTRUCTION OF A 2 FAMILY RESIDENTIAL WOOD FRAME STRUCTURE PROPERTY HAS AN EXISTING DETACHED 2 CAR CONC. BLOCK GARAGE

THE PROJECT IS AS-OF-RIGHT REQUIRING NO ZONING OR OTHER RELIEF FROM THE CITY OF CAMBRIDGE.

PER IBC 310.5 RESIDENTIAL - GROUP R-3 ONE AND TWO FAMILY

CONSTRUCTION TYPE V-B

WOOD FRAME STRUCTURE, RATED BEARING WALLS REQ.

FIRE PROTECTION SYSTEMS:

THE BUILDING WILL BE EQUIPPED WITH A LOCAL TYPE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM. ALARM AND SPRINKLER SYSTEMS ARE NOT REQUIRED.

APPLICABLE CODES - 1-2 FAMILY RESIDENTIAL

BUILDING CODES

MASSACHUSETTS STATE BUILDING CODE, 780 CMR 9TH EDITION AMENDMENTS 2015 IRC INTERNATIONAL RESIDENTIAL CODE INTERNATIONAL EXISTING BLDG CODE 2015 IEBC

FIRE PREVENTION CODES INTERNATIONAL FIRE CODE

MA ARCHITECTURAL ACCESS BOARD 521 CMR

M-E-P CODES

MASSACHUSETTS ELECTRICAL CODE INTERNATIONAL ELECTRICAL CODE INTERNATIONAL MECHANICAL CODE UNIFORM STATE PLUMBING CODE

INTERNATIONAL ENERGY CONSERV.

2015 IECC 780 CMR CH. 11

2015 IPC, 248 CMR

527 CMR 12.00

2015 IEC

2015 IMC

2015 IFC, 527 CMR



21 ALVESTON STREET, JAMAICA PLAIN MA PERMIT SET REVISED 10.11.22

ARCHITECT

KBA

119 BRAINTREE STREET **BOSTON**, MA 02134 (617)-827-3527

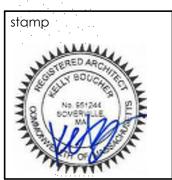
www.boucherarchitecture.com

OWNER

ADCO Development

03.14.22

300 1st AVENUE NEEDHAM, MA 02494



<u>Development</u> NEEDHAM, MA 02494

SHEE



job number 21-023 scale 1/4'' = 1'-0''

issue date 03.14.22 PERMIT SET REVISED

10.11.22

Sheet no. A000 GENERAL NOTES

A. **DISCREPANCIES**: THE GENERAL CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES FOUND BETWEEN THE ARCHITECT'S DRAWINGS AND FIELD CONDITIONS

B. **PERMITS AND APPROVALS**: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING REQUIREMENTS FOR, IDENTIFYING AND SECURING ALL NECESSARY PERMITS AND APPROVALS REQUIRED FROM AUTHORITIES HAVING JURISDICTION OVER THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND OCCUPANCY OF THE WORK, SHALL PREPARE THE NECESSARY APPLICATIONS AND SUBMIT REQUIRED PLANS AND DOCUMENTS TO OBTAIN SUCH PERMITS IN A TIMELY MANNER, AND SHALL PAY ALL FEES AND CHARGES IN CONNECTION THEREWITH.

- C. **SCALING**: DO NOT SCALE OFF THESE DRAWINGS.
- D. **CODES AND REQUIREMENTS**: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL TRADES CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS.
- E. **SCHEDULING AND COORDINATION**: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF SEQUENCES AND SCHEDULES AND THE ACTUAL INSTALLED LOCATION AND INTERFACE OF THE WORK.
- F. LANGUAGE: THE USE OF THE WORDS 'PROVIDE' OR 'PROVIDED' IN CONNECTION WITH ANY ITEM SPECIFIED OR INDICATED SHALL MEAN, UNLESS OTHERWISE NOTED, THAT SUCH ITEM SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR (OR HIS/HER SUBCONTRACTORS) WITH ALL REQUIRED ACCESSORIES AND CONNECTED WHERE REQUIRED. THE ARCHITECT SHALL BE THE SOLE AND FINAL JUDGE OF WHAT CONSTITUTES AN ACCEPTABLE MATCH.
- G. **TEMPORARY UTILITIES**: THE GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES AS REQUIRED FOR THE CONTRACTOR'S EQUIPMENT.
- H. PUBLIC ACCESS: PUBLIC SIDEWALKS AND STREETS USED FOR DELIVERY, ACCESS TO THE CONSTRUCTION SITE, AND WHICH MAY BE PART OF THE CONSTRUCTION SITE, SHALL BE PROTECTED AND MAINTAINED BY THE GENERAL CONTRACTOR IN A CLEAN AND SAFE CONDITION AT ALL TIMES. THESE AREAS SHALL NOT BE USED TO STORE CONSTRUCTION MATERIALS OR EQUIPMENT. THE GENERAL CONTRACTOR SHALL REPAIR ANY CONSTRUCTION RELATED DAMAGE TO THESE AREAS.
- I. **DEMOLITION**: THE GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS OFFSITE.
- J. **WORK IN THE RIGHT-OF-WAY:** THE GENERAL CONTRACTOR SHALL COORDINATE HIS/HER OCCUPANCY, USE, AND POSSIBLE BLOCKAGE OF ANY PUBLIC STREET OR SIDEWALK WITH THE CITY OF CAMBRIDGE AND ANY AND ALL OTHER PUBLIC AGENCIES HAVING JURISDICTION.
- . **CONSTRUCTION AREA:** THE GENERAL CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION AREA IN A CLEAN AND ORDERLY CONDITION, AND SHALL REMOVE AND LEGALLY DISPOSE OF ANY WASTE OFF-SITE.
- L. **CONDITIONS OF COMPLETION**: UPON COMPLETION OF THIS PROJECT, THE GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN ALL FLOOR COVERING, FLOOR BASES, INTERIOR AND EXTERIOR FACE GLASS, AND ALL OTHER ITEMS INSTALLED OR AFFECTED DURING THE CONSTRUCTION, PRIOR TO TURNING THE SPACE OVER TO THE OWNER.
- M. **BASIS OF PERFORMANCE:** THESE DRAWINGS AR INTENDED TO PROVIDE THE BASIS FOR THE PERFORMANCE OF A COMPLETELY FINISHED JOB. ANYTHING NOT EXPRESSLY SET FORTH, BUT WHICH IS REASONABLY IMPLIED AND/OR NECESSARY FOR THE PROPER PERFORMANCE AND COMPLETION OF THIS WORK SHALL BE INCLUDED.
- LICENSING: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED TO PERFORM THE WORK SPECIFIED HEREIN IN THE CITY OF CAMBRIDGE AND THE STATE OF MASSACHUSETTS.

GENERAL CONSTRUCTION NOTES

- A. INTERIOR WALL FINISH TO BE 1/2" 'BLUEBOARD' WITH VENEER PLASTER FINISH (TYP U.N.O.)
- GARAGE SIDE OF ALL WALLS AND CEILINGS BETWEEN GARAGE SPACE AND LIVING SPACE TO RECEIVE MIN. (1) LAYER OF 5/8" TYPE 'X' GYP. BD. (TYP. U.N.O.)
- C. ALL BATHROOM AND BEDROOM WALLS TO RECEIVE MIN. 3-1/2" SOUND ATTENUATION BATT INSULATION.
- D. PROVIDE 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL WALLS AND FLOOR CEILING ASSEMBLIES SEPARATING INDIVIDUAL RESIDENTIAL UNITS.
- E. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL DROP CEILINGS AND SOFFITS AS REQUIRED FOR MECHANICAL SYSTEMS. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR.
- F. THE SUPPORTING STRUCTURE FOR ALL FIRE RATED FLOOR/CEILING ASSEMBLIES SHALL BE FIRE RATED WITH AN EQUAL OR GREATER FIRE RATING. ALL BEARING POSTS AND FIRE RATED WALL ASSEMBLY.
- G. PRESSURE TREATED LUMBER IS TO BE USED AT ALL DAMP OR WET LOCATIONS. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO:
 - 2X SLEEPERS ON CONCRETE SLABS AT THE BASEMENT OR GARAGE LEVEL.

 ALL SILLS AND SOLE PLATES AT CONC. OR MASONRY FOUNDATION WALLS.

 ALL SLEEPERS ABOVE THE WATERPROOF MEMBRANE AT EXTERIOR DECKING ABOVE AN INTERIOR SPACE.
 - d. THE SUPPORTING STRUCTURE FOR ALL EXTERIOR PATIOS AND DECKS AND THEIR ASSOCIATED RAILING SYSTEMS.
- I. ALL BATH AND POWDER ROOMS TO BE MECHANICALLY VENTILATED PER 780 CMR 3603.6.2
- I. NO SHEET METAL OR OTHER FASTENING MEANS SHALL BE ALLOWED TO PENETRATE CLOTHES DRYER EXHAUST VENTS. VENTS SHALL BE MIN. 016" THICK RIGID METAL DUCTING WITH SMOOTH INTERIOR SURFACE AND JOINTS RUNNING IN THE DIRECTION OF AIR FLOW. (780 CMR 3618.1)

PROJECT SUMMARY

ZONING SUMMARY

THIS IS AN EXISTING RESIDENTIAL 2 FAMILY STRUCTURE LOCATED IN A RES C-1 ZONE.

THE HOUSE IS EXISTING NONCONFORMING FOR LOT SIZE, FAR AND SETBACKS. THE PERMIT PLANS TO ENCLOSE EXISITING COVERED PORCHES WITH NEW EXTERIOR WALLS AT THE FRONT & REAR.

- NO NEW WINDOWS LOCATED WITHIN SETBACKS.
- NO NEW GFA CREATED
- NO NEW NONCONFORMITIES OR INCREASE IN EXISTING NONCONFORMITIES.

HISTORIC / OVERLAY DISTRICT SUMMARY

THIS PROJECT IS LOCATED WITHIN THE XXX HISTORIC NEIGHBORHOOD CONSERVATION DISTRICT. RECEIVED A CERTIFICATE OF APPROPRIATENESS FROM THE MCNCD ON XX/XX/20XX CASE NUMBER: XXX

BUILDING USE AND OCCUPANCY

GENERAL BUILDING/PROJECT DESCRIPTION:

RENOVATION AND RECONSTRUCTION OF A 2 FAMILY RESIDENTIAL WOOD FRAME STRUCTURE PROPERTY HAS AN EXISTING DETACHED 2 CAR CONC. BLOCK GARAGE

THE PROJECT IS **AS-OF-RIGHT** REQUIRING NO ZONING OR OTHER RELIEF FROM THE CITY OF CAMBRIDGE.

OCCUPANCY GROUP:

PER IBC 310.5 RESIDENTIAL - GROUP **R-3** ONE AND TWO FAMILY

CONSTRUCTION TYPE:

PER IBC TABLE 6.1 CONSTRUCTION TYPE V-B

WOOD FRAME STRUCTURE, RATED BEARING WALLS REQ.

FIRE PROTECTION SYSTEMS:

THE BUILDING WILL BE EQUIPPED WITH A LOCAL TYPE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM. ALARM AND SPRINKLER SYSTEMS ARE NOT

APPLICABLE CODES - 1-2 FAMILY RESIDENTIAL

BUILDING CODES

MASSACHUSETTS STATE BUILDING CODE,
9TH EDITION AMENDMENTS
INTERNATIONAL RESIDENTIAL CODE
INTERNATIONAL EXISTING BLDG CODE

780 CMR 2015 IRC 2015 IEBC

FIRE PREVENTION CODES

INTERNATIONAL FIRE CODE

2015 IFC, 527 CMR

521 CMR

ACCESSIBILITY

MA ARCHITECTURAL ACCESS BOARD

M-E-P CODES

MASSACHUSETTS ELECTRICAL CODE INTERNATIONAL ELECTRICAL CODE INTERNATIONAL MECHANICAL CODE UNIFORM STATE PLUMBING CODE

527 CMR 12.00 2015 IEC 2015 IMC 2015 IPC, 248 CMR

ENERGY CODE

INTERNATIONAL ENERGY CONSERV.
WITH MASSACHUSETTS AMENDMENTS

2015 IECC 780 CMR CH. 11 KBA

KELLY BOUCHER ARCHITECTURE

kelly@bouchergrchitecture.com
phone: (617) 827.3527

Z H JAMAIC

STR

No. Descrip. Date

<u>ADCO</u>

<u>Development</u>

300 1st AVENUE

NEEDHAM, MA 02494

job number 21-023

scale As indicated

issue date 03.14.22
PERMIT SET REVISED

Sheet no.

10.11.22

DocuSign Envelope ID: D6923D1E-D495-4357-A167-06266F86D327

JAMAICA PLAIN, MA

PLANTING NOTES

- 1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEY, OF SOUTHBOROUGH, MA, DATED 13 OCTOBER 2021.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOY THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- 3. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- 4. LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- 7. MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- 9. ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND
- 10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFOR DIGGING.
- 11. ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- 12. MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLC AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- 13. PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
- 14. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FRODATE OF ACCEPTANCE.
- 15. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- 16. ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE

LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.

17. PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.



Land Planning, Civil Engineering,
Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

DeVellis Zrein Inc.

PLANTING PLAN

 SCALE:
 1" = 10'

 JOB:
 2G1S-509

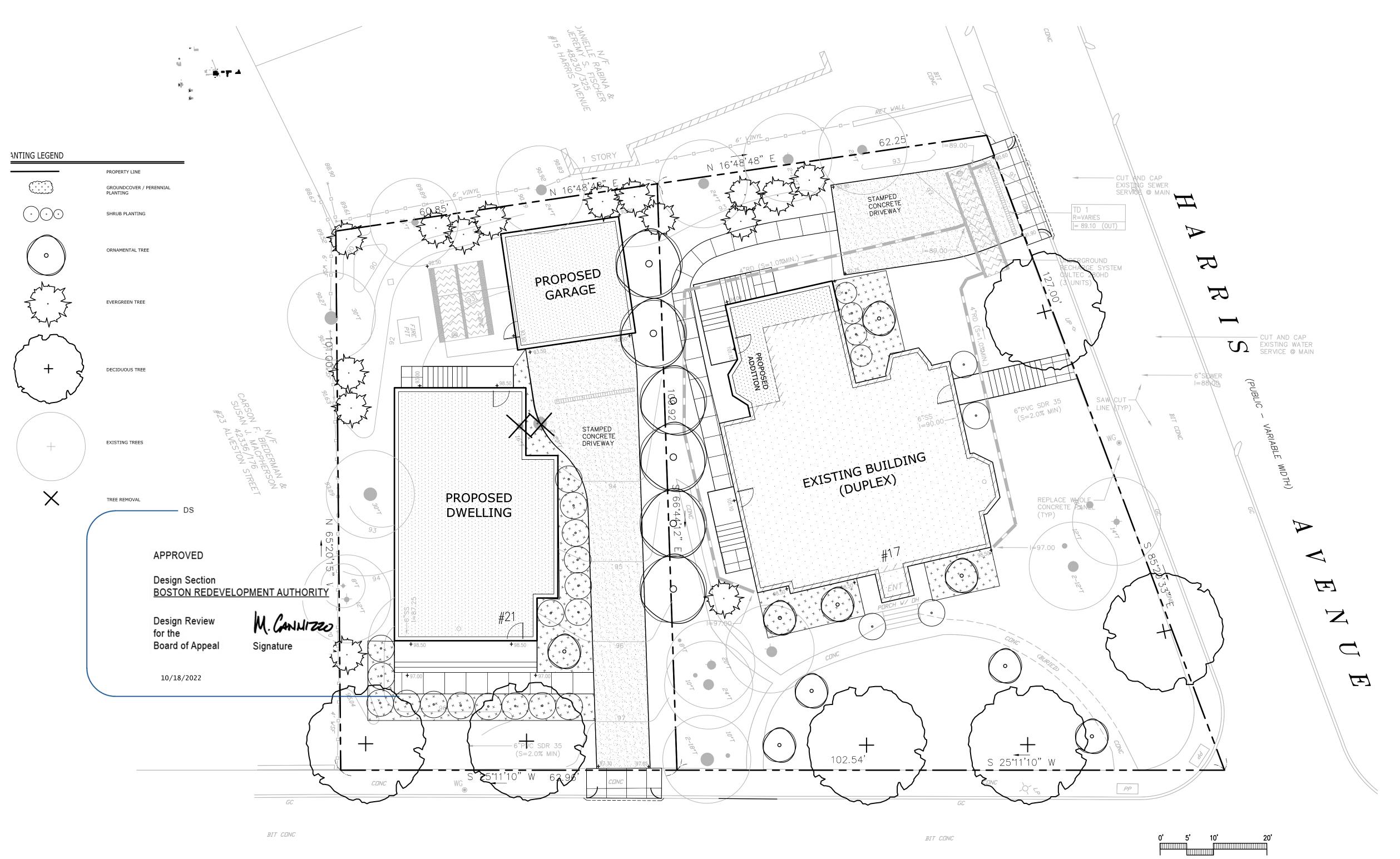
 FILE:
 DRAWN:

 IAZ

 CHECKED:

 DATE:
 07.15.22

C-3



ALVESTON (PUBLIC - VARIABLE WIDTH) STREET

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
DECIDUOUS	TREES				
GT	GLEDITSIA TRIACANTHOS 'INERMIS'	THORNLESS HONEYLOCUST		3 −3 1/2" CAL.	
СВ	CAPRINUS BETULUS	EUROPEAN HORNBEAM		2 1/3- 3" CAL.	
ORNAMENTA	L TREES				
CK	CORNUS KOUSA	DOGWOOD		6-7' HT.	CLUMP
ORNAMENT	AL TREES				
TP	THUJA PLICATUM	WESTERN ARBORVITAE		6-7' HT.	CLUMP
SHRUBS					
НМ	HYDRANGEA MACR. ENDLESS SUMMER	ENDLESS SUMMER HYDRANGEA		24-36" HT.	
IM	ILEX MESERVAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY		24-36" HT.	
RC	RHODEDENDRON CHINOIDES	WHITE RHODODENDRON		24-36" HT.	
PERENN	IALS, GROUNDCOVER AND ORNAMENTAL GRASSSE	ES .			
EC	ECHINACEA BUTTERFLY KISSES	PINK CONE FLOWER		1 GAL.	*
PV	PANICUM VIRGATUM	SWITCH GRASS		1 GAL.	*
RB	RUDBECKIA 'GOLDSTRUM'	BLACK EYED SUSAN		1 GAL.	*
VM	VINCA MINOR	COMMON MYRTLE		4" POTS	*



10/11/2022 3:43:10 PA

A010



REV 1 9.19.22 REV 2 9.27.22

ADCO Development

300 1st AVENUE NEEDHAM, MA 02494

21 ALVESTON STREET, JAMAIC ARCHITECTURAL SITE PLAN



job number 21-023

scale 1/8" = 1'-0"

issue date 03.14.22 PERMIT SET REVISED 10.11.22

Sheet no.

NEWLY ESTABLISHED LOT AREA = 6514 SF ALLOWABLE GFA: 3257 SF

AREA SCHEDULE						
Name	Level	Area	Zoning Area Type			
FIRST FLOOR	FIRST FLOOR	1343 SF	GFA			
SECOND FLOOR	SECOND FLOOR	1200 SF	GFA			
THIRD FLOOR	THIRD FLOOR	569 SF	GFA			

3111 SF

BASEMENT	BASEMENT	1323 SF	NON-GFA	
GARAGE	FIRST FLOOR	491 SF	NON-GFA	
		1813 SF		

TOTAL SF

4925 SF

APPROVED

Design Section **BOSTON REDEVELOPMENT AUTHORITY**

Design Review for the Board of Appeal

Signature

10/18/2022



THIRD FLOOR
3/16" = 1'-0"

PROJECT ZONING

GFA CALCULATION REQUIREMENTS IN BOSTON ZONING CODE

FLOOR AREA, GROSS.

THE SUM OF AREAS OF THE SEVERAL FLOORS OF THE STRUCTURE, AS MEASURED BY THE EXTERIOR FACES OF THE WALLS, INCLUDING FULLY ENCLOSED PORCHES AND THE LIKE AS MEASURED BY THE EXTERIOR LIMITS THEREOF, BUT EXCLUDING

- (A) GARAGE SPACE WHICH IS IN THE BASEMENT OF A BUILDING OR, IN THE CASE OF GARAGE SPACE ACCESSORY TO A DWELLING, IS AT GRADE,
- (B) BASEMENT AND CELLAR AREAS DEVOTED EXCLUSIVELY TO USES ACCESSORY TO THE OPERATION OF THE STRUCTURE, AND
- (C) AREAS ELSEWHERE IN THE STRUCTURE DEVOTED TO HOUSING MECHANICAL EQUIPMENT CUSTOMARILY LOCATED IN THE BASEMENT OR CELLAR SUCH AS HEATING AND AIR CONDITIONING EQUIPMENT, PLUMBING, ELECTRICAL EQUIPMENT, LAUNDRY FACILITIES AND STORAGE FACILITIES, PROVIDED, HOWEVER, THAT IN AN H-2-45, H-2-65, H-3-65, L-2-65 OR B-3-65 DISTRICT NO AREA IN AN EXISTING STRUCTURE PREVIOUSLY INCLUDED IN GROSS FLOOR AREA AND NO AREA IN ANY ADDITION TO AN EXISTING STRUCTURE, EXCEPT AREAS NOT USED OR DESIGNED TO BE USED FOR HUMAN OCCUPANCY, SUCH AS ATTICS, BASEMENTS, CELLARS OR SPACE UNDER SLOPING EAVES, SHALL BE EXCLUDABLE FROM GROSS FLOOR AREA AS AREA FOR STORAGE FACILITIES OR LAUNDRY FACILITIES.

https://library.municode.com/ma/boston/codes/redevelopment_authority?nodeId=ART2DE_S2-1MECEWOPH

PARKING REQUIREMENTS IN BOSTON ZONING ORDINANCE FOR ALVESTON

ACCESSORY STRUCTURES (GARAGES)

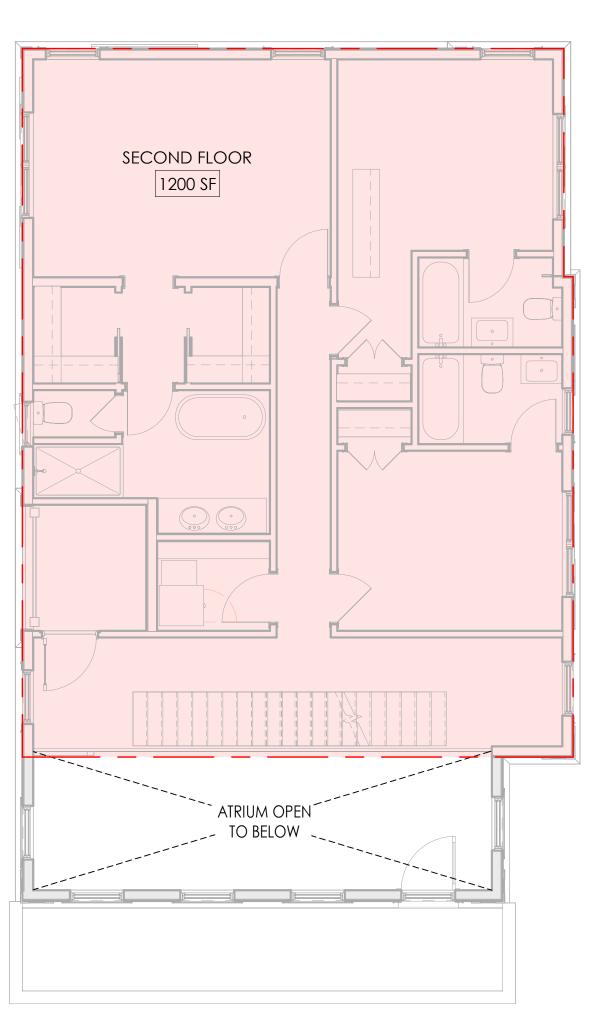
- ALLOWED, SQUARE FOOTAGE NOT MORE THAN 25% ALLOWABLE FLOOR AREA
- DISTANCE FROM SIDE/REAR YARD LOT LINE = 5'
- ACCESSORY STRUCTURES NOT ALLOWED IN FRONT YARD SETBACK
- MAXIMUM FOOTPRINT = 25% OF REAR YARD AREA

HTTPS://LIBRARY.MUNICODE.COM/MA/BOSTON/CODES/REDEVELOPMENT_AUTHORITY?NODEID=ART10ACUS

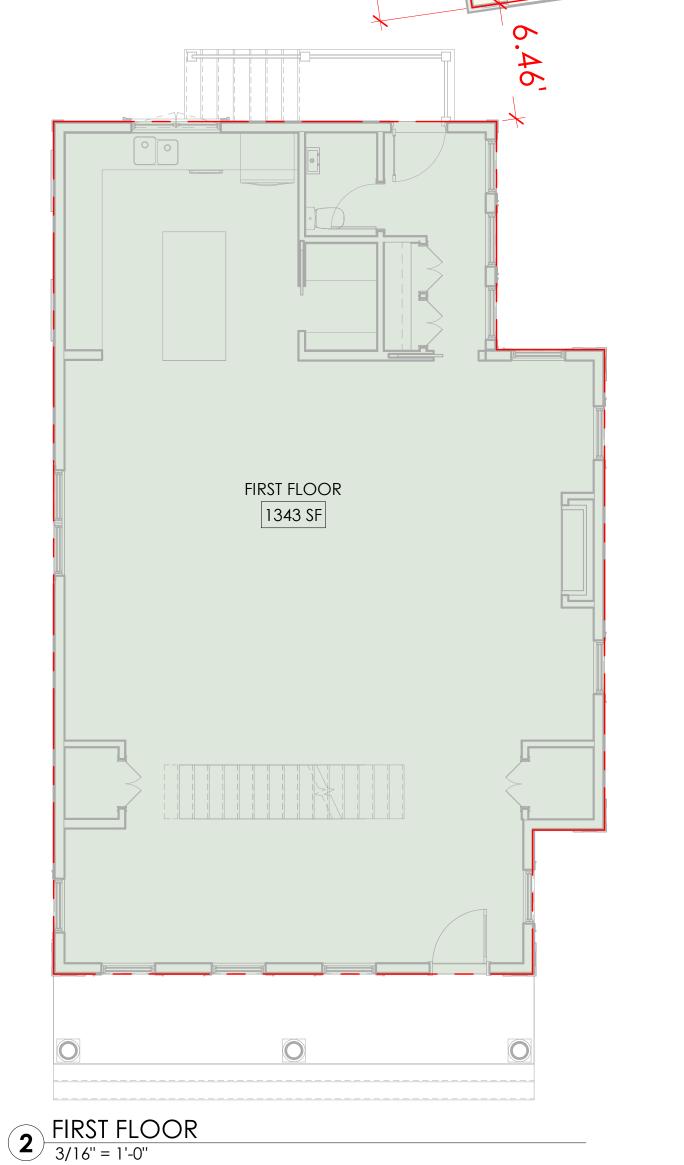
<u>PARKING</u>

- 2 SPACES PER UNIT
- PARKING SPACE = 8.5' WIDE X 20' LONG
- DRIVEWAY 10' WIDE

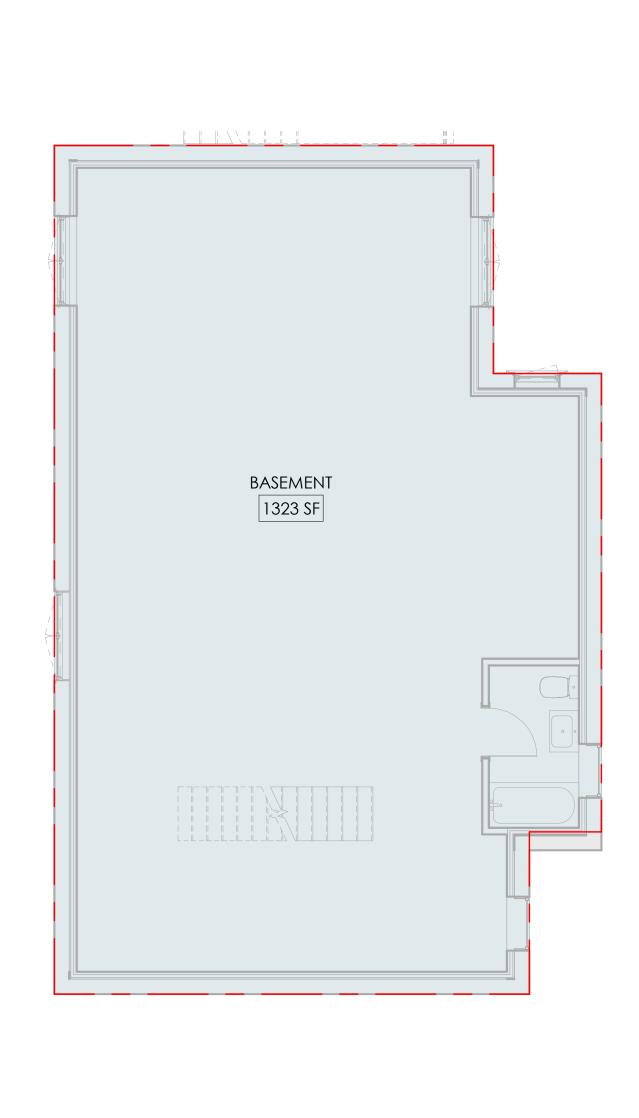
https://library.municode.com/ma/boston/codes/redevelopment_authority?nodeId=ART23OREPA







GARAGE



BASEMENT
3/16" = 1'-0"

No. Descrip. Date

<u>Development</u> 300 1st AVENUE NEEDHAM, MA 02494

KELLY BOUCHER ARCHITECTURE

ARE/

kelly@boucherarchitecture.com phone: (617) 827.3527

job number 21-023 scale As indicated

issue date 03.14.22 PERMIT SET REVISED 10.11.22

Sheet no. A012

MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA

EXCEPTIONS PER MA CODE 781 CMR

GRADE OR BELOW NCO

SINGLE OR DOUBLE HUNG NCO

3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN.
NET OPENING WIDTH 20" MIN.
WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION MUST BE OBTAINED BY THE NORMAL OPERNATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

EGRESS DOORS PER IRC R311.2; R311.3

TENING NOTTLE, NOTTLO

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT

DOOR STYLE SIDE HINGED

CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE

DOOR AND STOP WITH THE DOOR

OPEN 90 DEG.

OF THE DWELLING WITHOUT THE USE OF A KEY

CLEAR HEIGHT 6-6" (72") MIN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOT. OF THE STOP DOOR HEIGHT 6'-8"

OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE

OR SPECIAL KNOWLEDGE OR EFFORT
LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR
DOOR

GENERAL FLOOR PLAN NOTES:

A. EXTERIOR DIMENSIONS ARE FROM FACE OF STUD, AND CENTER OF OPENINGS.

B. INTERIOR DIMENSIONS ARE FINISH TO FINISH.

C. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL WALLS SEPARATING DWELLING UNITS FROM ALL OTHER SPACES.

D. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL BATHROOM AND BEDROOM WALLS.

E. UNLESS OTHERWISE NOTED THE HINGE SIDE OF DOOR JAMBS SHALL BE SET 4" FROM ADJACENT WALLS

F. THE G.C. SHALL COORDINATE LOCATION OF ALL BLOCKING AS REQUIRED IN THE ACCESSIBILITY AND ADAPTABILITY GENERAL NOTES

SMOKE AND CARBON MONOXIDE DETECTORS

SMOKE ALARM LOCATIONS
PER IRC R314.3

SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING

LOCATIONS:

• IN EACH SLEEPING ROOM

IN EACH SLEEPING ROOM
 OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE

EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

 VINICITY OF THE BEDROOMS
 ON EACH ADDITIONL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS

COMBO SMOKE/CARBON MONOXIDE

APPORVED CARBON MONOXIDE ALARM MUST BE INSTALLED OUTOSDIE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE THE DU CONTAINS A FUEL-FIRED APPLIANCE

THE DU HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE UNIT

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review or the

Board of Appeal Signate

10/18/2022

MEANS OF EGRESS - BASEMENT

WINDOW WELLS
PER IRC R310.22.3

HORIZONTAL AREA

24' - 5"

HORIZ. PROJECTION AND WIDTH 36" MIN. CLEAR
THE AREA OF THE WINDOW WELL MUST ALLOW THE
EMERGENCY ESCAPE AND RESCUE OPENING TO BE
FULLY OPENED.
WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN

WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN
44" MUST BE EQUIPPED WITH A PERMANENTLY AFFIXED
LADDER USEABLE WITH THE WINDOW IN THE FULLY OPEN
POSITION

9 SF MIN.

6' - 0''

LADDERS OR RUNGS INSIDE WIDTH 12" MIN
LADDER OR RUNGS PROJECTION 3" MIN. FROM WALL
LADDER OR RUNGS SPACING 18" O.C. FOR FULL HEIGHT

ADCO

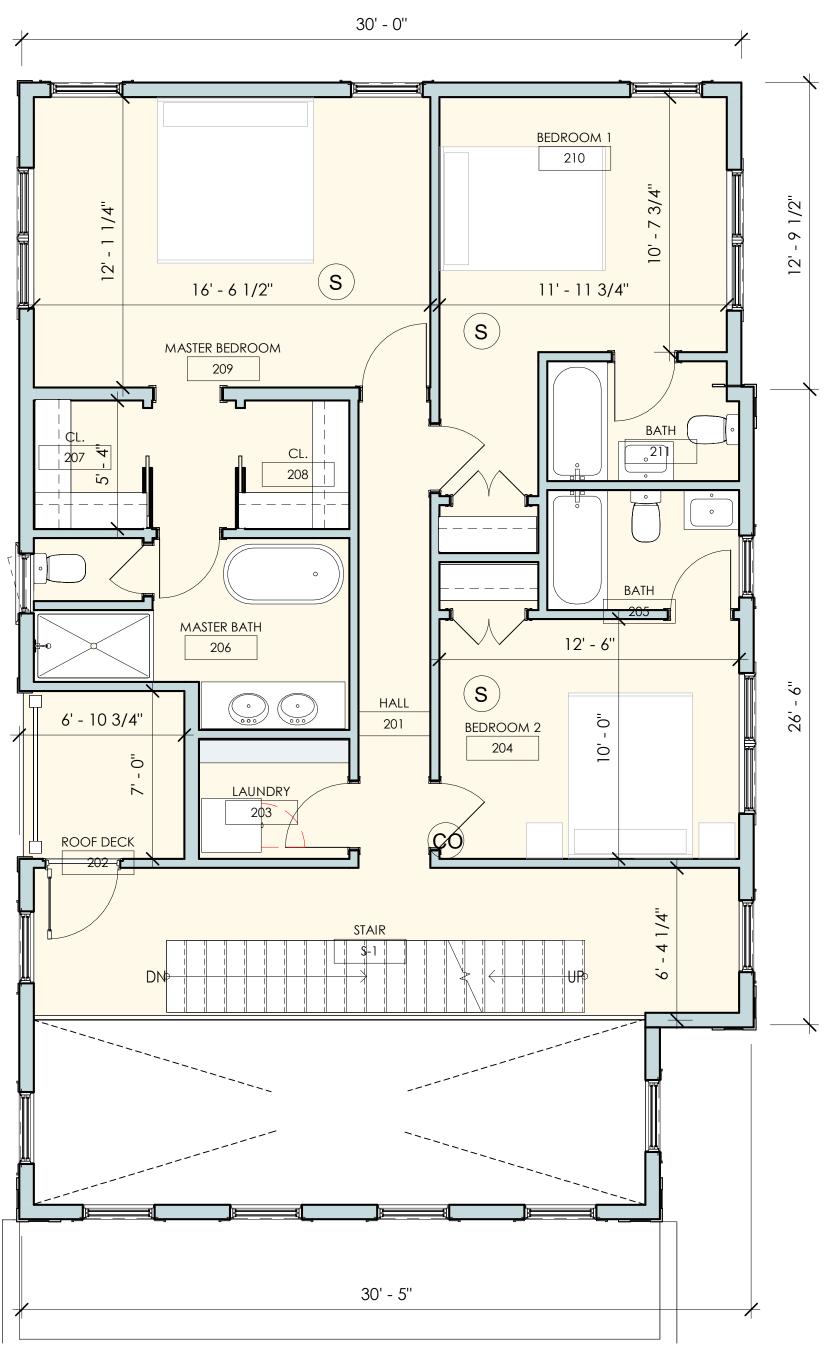
Development

300 1st AVENUE

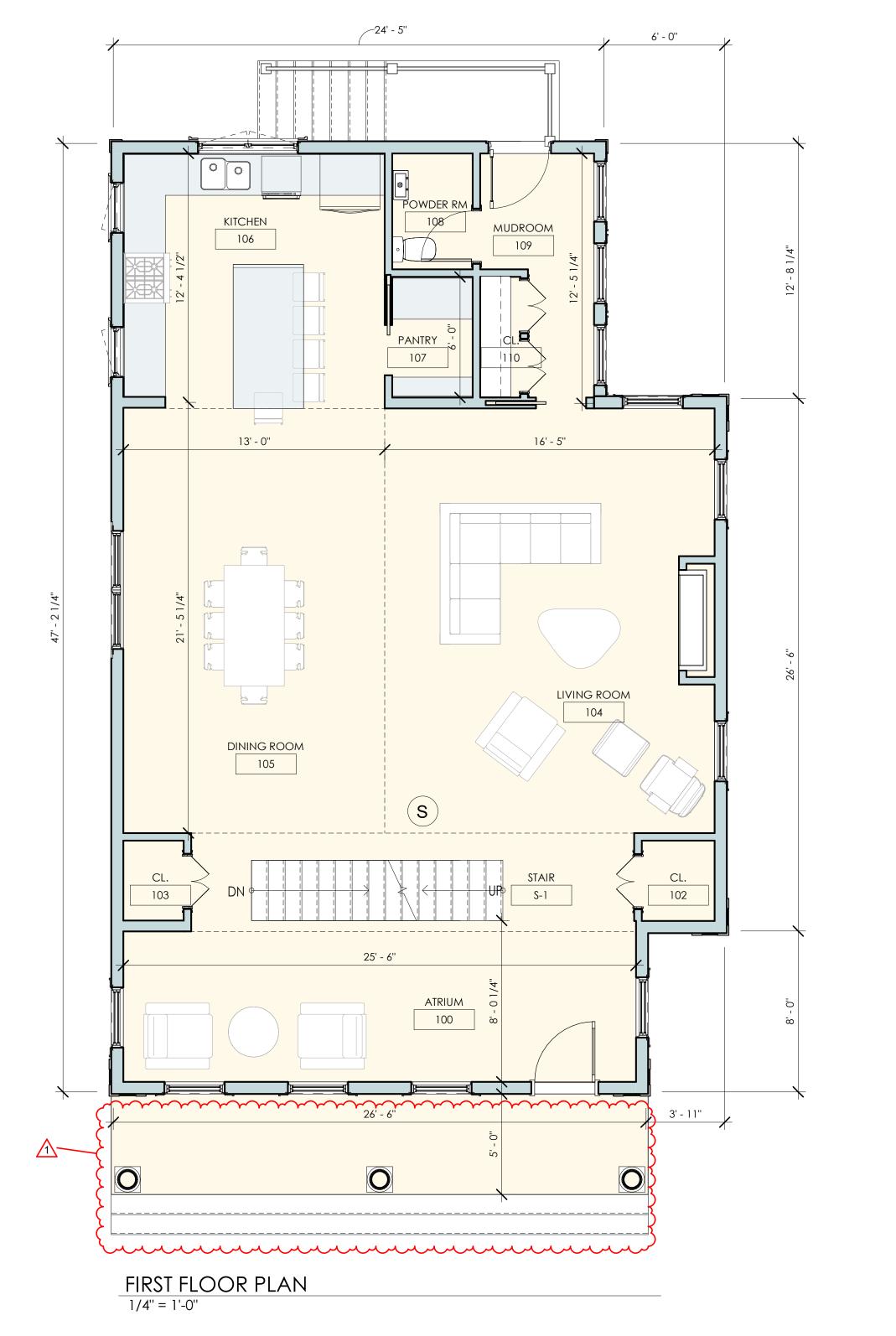
NEEDHAM, MA 02494

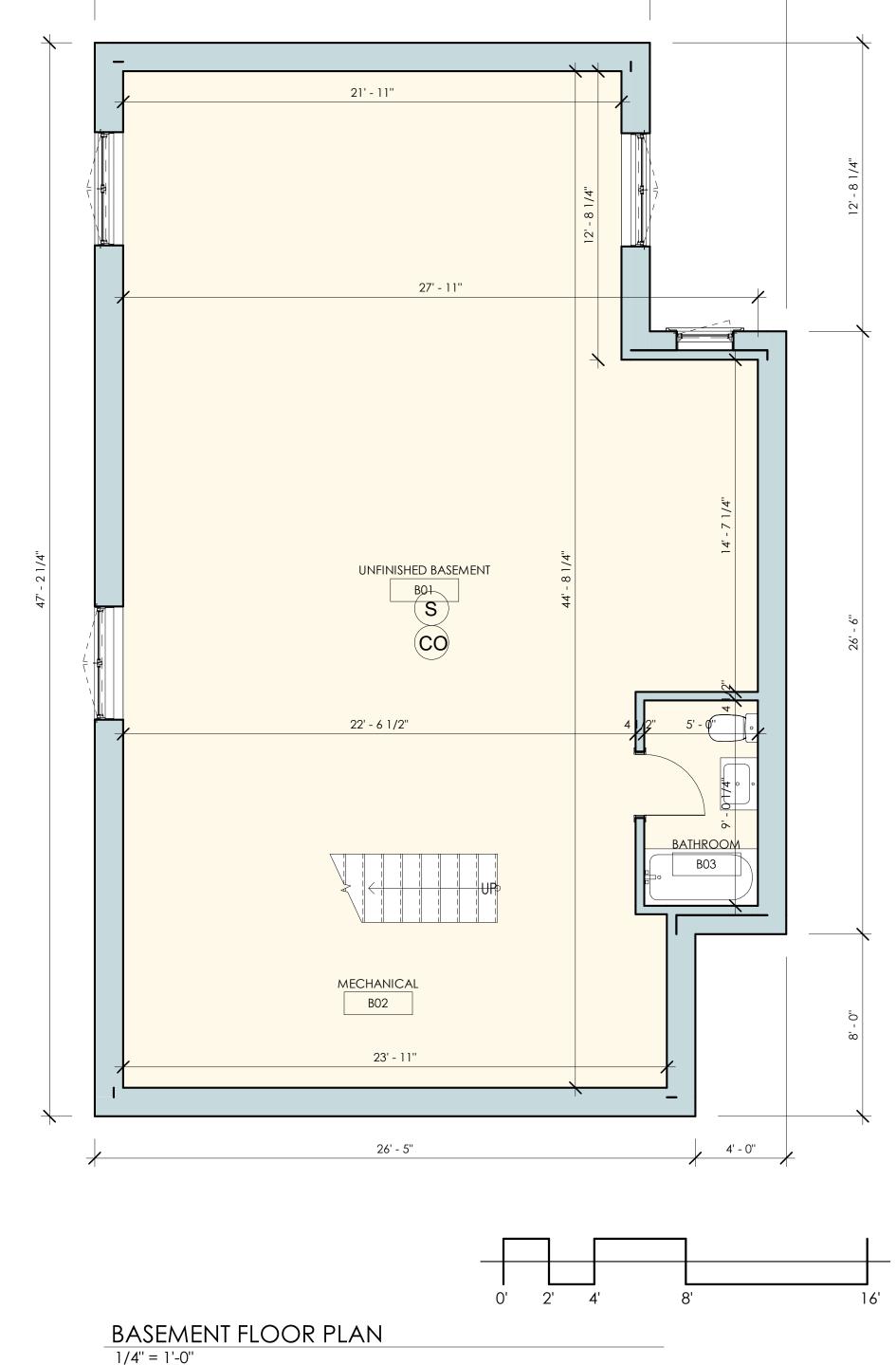
 No.
 Descrip.
 Date

 1
 REV 1
 9.19.22











SEC

FIRST

SEMENT,

 $\mathbf{\Omega}$

Sheet no.

10.11.22

11/2022 3:43:30 PM

MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN. EXCEPTIONS PER MÁ CODE 781 CMR
GRADE OR BELOW NCO 5.0 SF MIN SINGLE OR DOUBLE HUNG NCO 3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN. NET OPENING WIDTH 20" MIN. WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION MUST BE OBTAINED BY THE NORMAL OPERNATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT DOOR STYLE SIDE HINGED

CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE DOOR AND STOP WITH THE DOOR OPEN 90 DEG.

CLEAR HEIGHT 6-6" (72") MIN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOT. OF THE STOP

DOOR

DOOR HEIGHT 6'-8"

LANDINGS

OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR

GENERAL FLOOR PLAN NOTES:

A. EXTERIOR DIMENSIONS ARE FROM FACE OF STUD, AND CENTER OF OPENINGS.

B. INTERIOR DIMENSIONS ARE FINISH TO FINISH.

C. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL WALLS SEPARATING DWELLING UNITS FROM ALL OTHER SPACES.

BATHROOM AND BEDROOM WALLS. E. UNLESS OTHERWISE NOTED THE HINGE SIDE OF DOOR JAMBS SHALL

D. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL

BE SET 4" FROM ADJACENT WALLS F. THE G.C. SHALL COORDINATE LOCATION OF ALL BLOCKING AS REQUIRED IN THE ACCESSIBILITY AND ADAPTABILITY GENERAL

ENERGY CODE - BUILDING ENVELOPE REQ.

MA AMENDMENTS 780 CMR 51.00 APPENDEX AA104 FOR ALTERATIONS, RENOCATIONS ADDITIONS OR REPARIS OF EXSITING BUIDINGS 780 CMR 13.00 ENERGY EFFICIENCY TO BE USED AS BASE CODE

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N 1 10.1.7

INSULATION REQ. BY COMPONENT IRC TABLE 01102.1.2 (R402.1.2)

FENESTRATION	U- 0.30 MAX.
SKYLIGHT	U- 0.55 MAX.
CEILING	R-49 MIN
WOOD FRAME WALL	R-20 MIN.
MASS WALL	R-13 MIN.
FLOOR	R-30 MIN
BASEMENT WALL	R-19 MIN. CAVITY INSUL.
SLAB	R-10 / 2' DEEP MIN.
CRAWL SPACE	R-19 MIN. CAVITY INSUL.

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE **BUILDING PERMIT**

SMOKE AND CARBON MONOXIDE DETECTORS

PER IRC R314.3

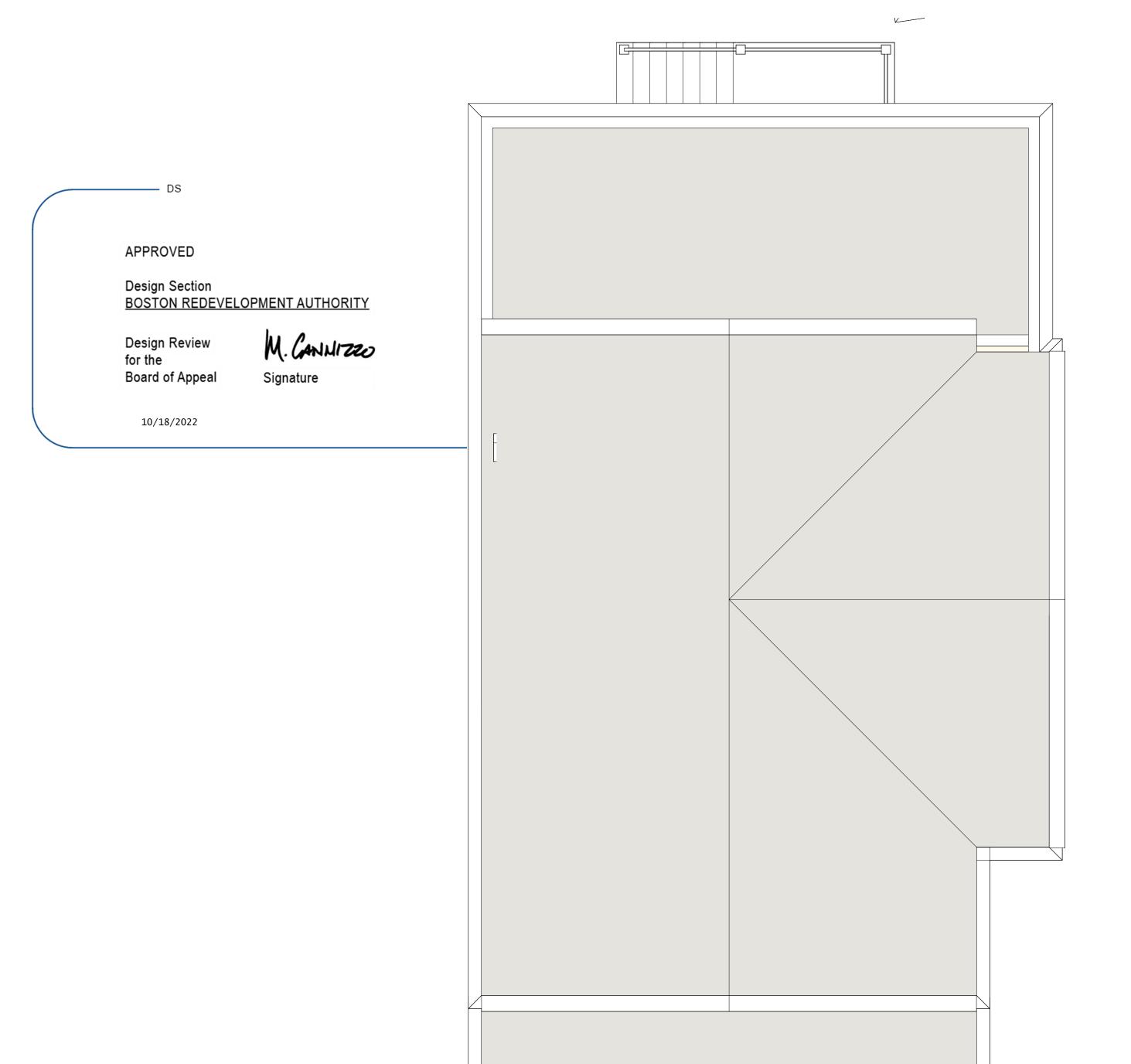
SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VINICITY OF THE BEDROOMS ON EACH ADDITIONL STORY OF THE DWELLING UNIT
- INCLUDING BASEMENTS AND HABITABLE ATTICS EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

COMBO SMOKE/CARBON MONOXIDE

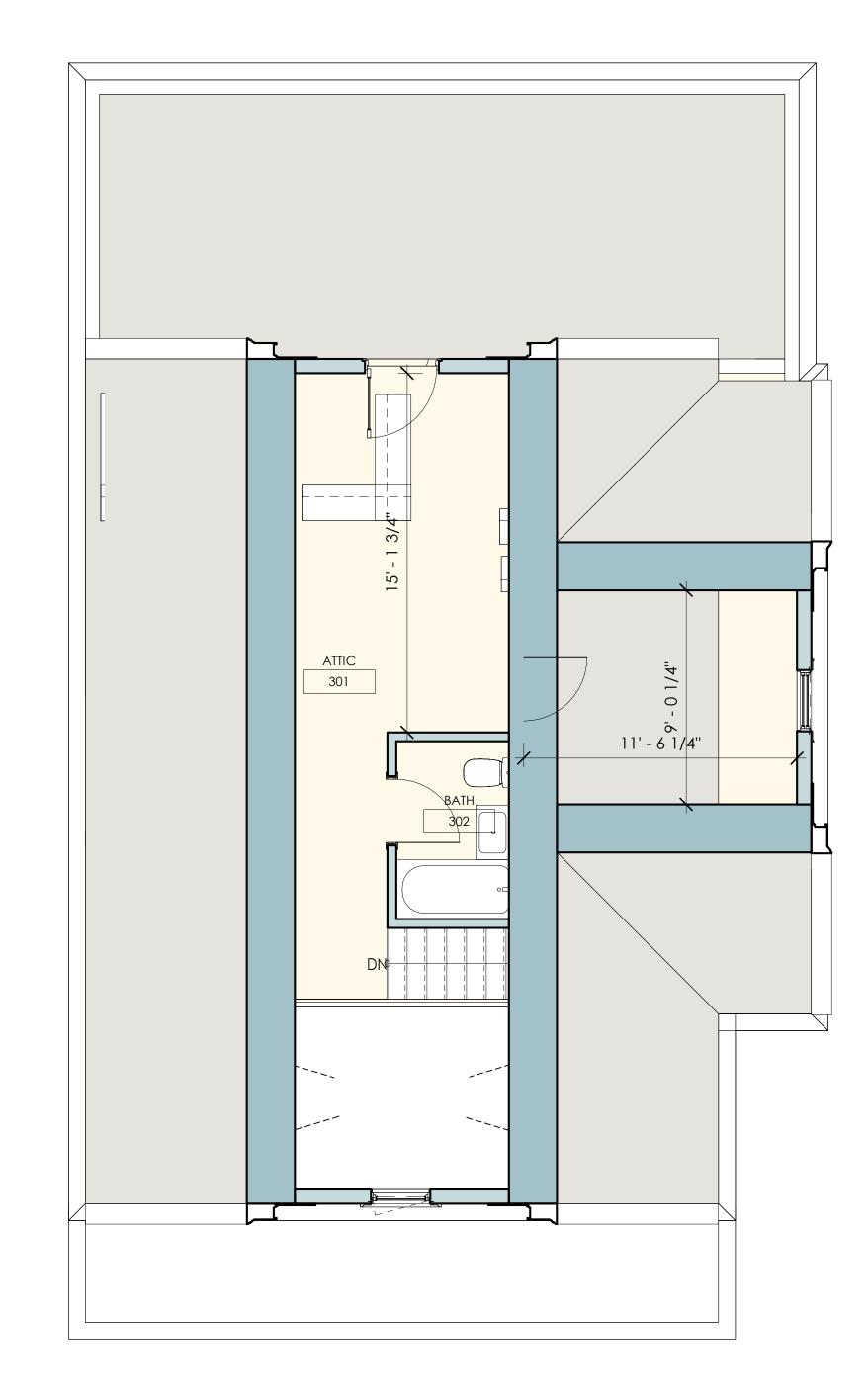
APPORVED CARBON MONOXIDE ALARM MUST BE INSTALLED OUTOSDIE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE THE DU CONTAINS A FUEL-FIRED APPLIANCE THE DU HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE UNIT



ROOF PLAN

1/4" = 1'-0"



THIRD FLOOR PLAN 1/4" = 1'-0"

No. Descrip. Date

<u>Development</u> 300 1st AVENUE

NEEDHAM, MA 02494

STRE THIRD

KELLY BOUCHER ARCHITECTURE

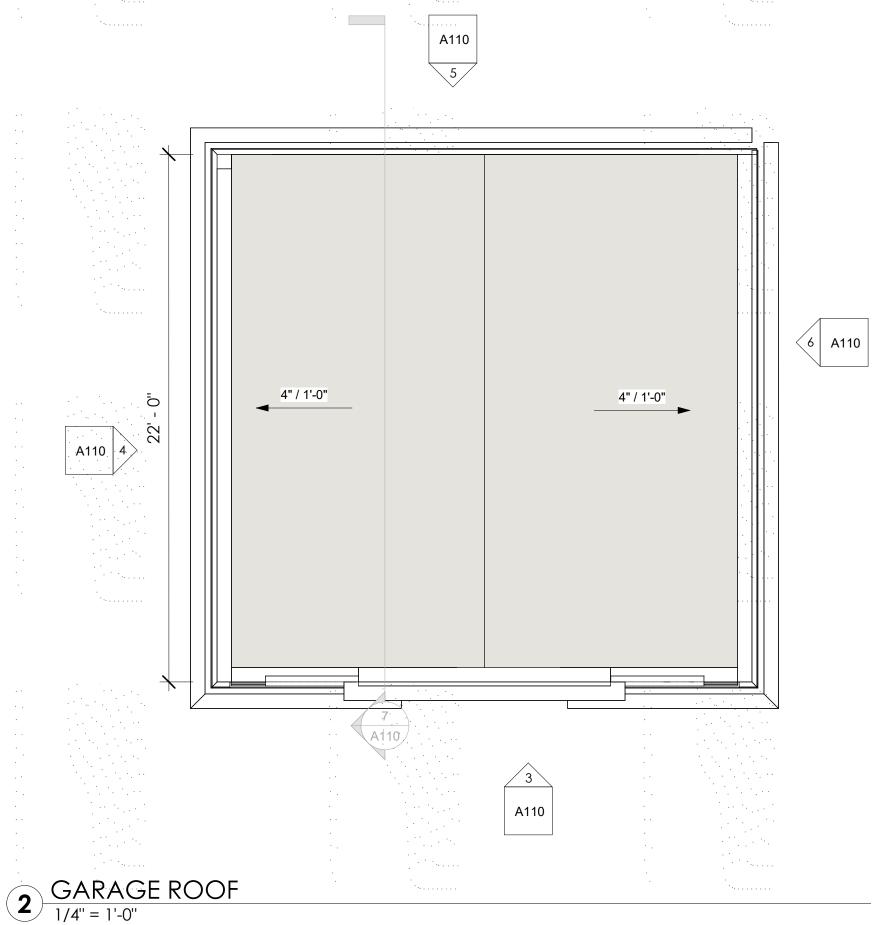
kelly@boucherarchitecture.com phone: (617) 827.3527

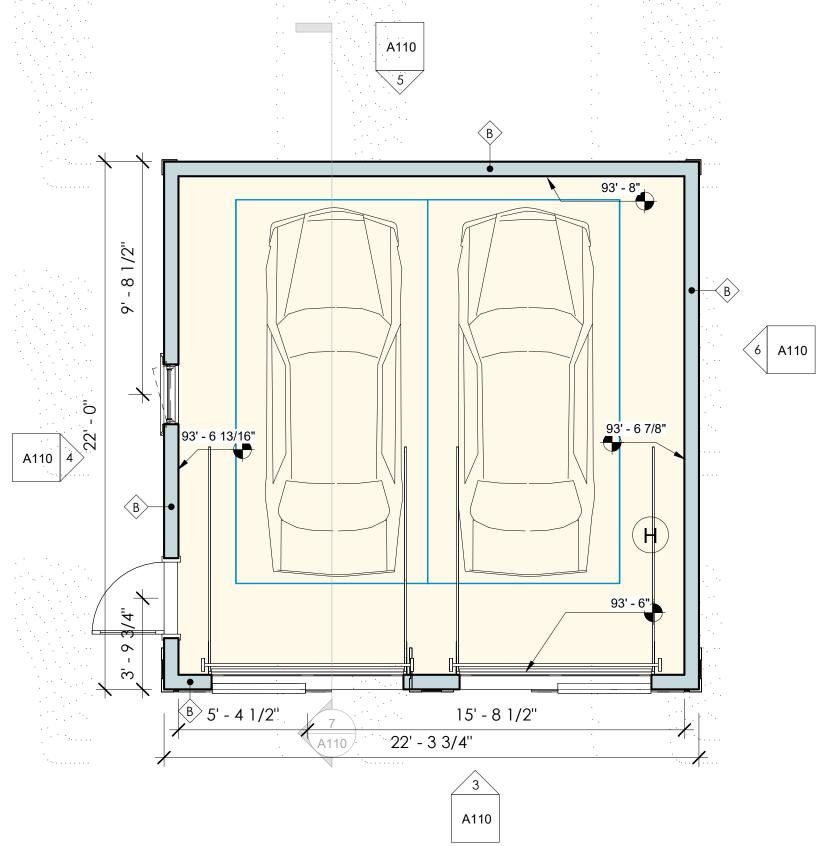
job number 21-023 scale 1/4" = 1'-0"

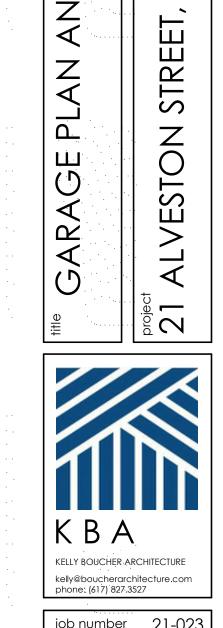
issue date 03.14.22

PERMIT SET REVISED 10.11.22

Sheet no. A101







JAMAIC

ELEVA

 No.
 Descrip.
 Date

 2
 REV 2
 9.27.22

ADCO Development

300 1st AVENUE

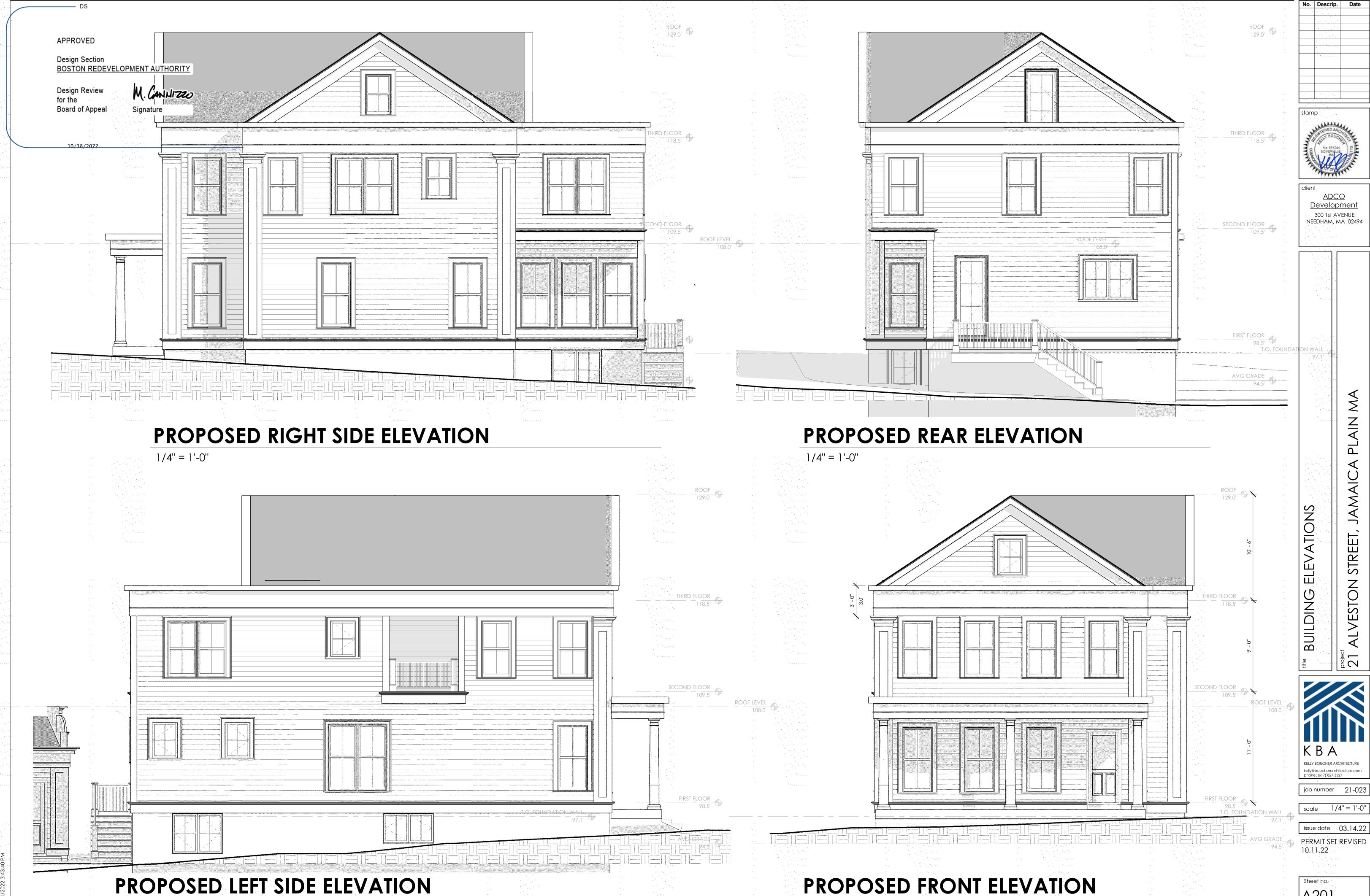
NEEDHAM, MA 02494

job number 21-023

issue date 03.14.22
PERMIT SET REVISED
10.11.22

Sheet no.

1/4" = 1'-0"



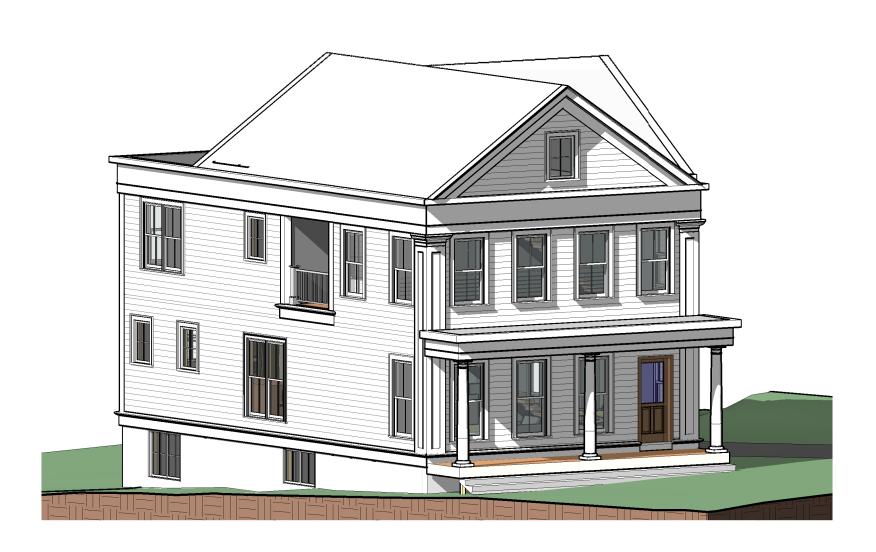
1/4" = 1'-0"

and the Samuel Control of the Samuel Control of Samuel Control of Samuel Control of Samuel Control of Samuel Co

A201



3D VIEW 1



3D VIEW 2



VIEW FROM ALVESTON

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

Board of Appeal

10/18/2022



300 1st AVENUE NEEDHAM, MA 02494

VIEWS 3D

KBA

issue date 03.14.22 PERMIT SET REVISED 10.11.22

A210

