



Michelle Wu
Mayor

Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Marc A. Joseph
Inspector of Buildings

MORE INFORMATION REQUEST LETTER

June 06, 2022

RICHARD LYNDS
245 SUMNER STREET SUITE 110
BOSTON, MA 02128

RE: Application #: **ALT1316705**
Location: 17 Alveston ST, Ward 19
Zoning District: Jamaica Plain Neighborhood, 2F-9000
Purpose: Subdivide existing 16,005 s.f. lot into two lots. Lot 1 to contain 9,503 s.f. and Lot 2 to contain 6,502 s.f., renovate existing two family dwelling (**with new addition in rear**) on Lot 1 and erect a new single family dwelling on Lot 2 as per plans see ERT1316710 for proposed new dwelling.

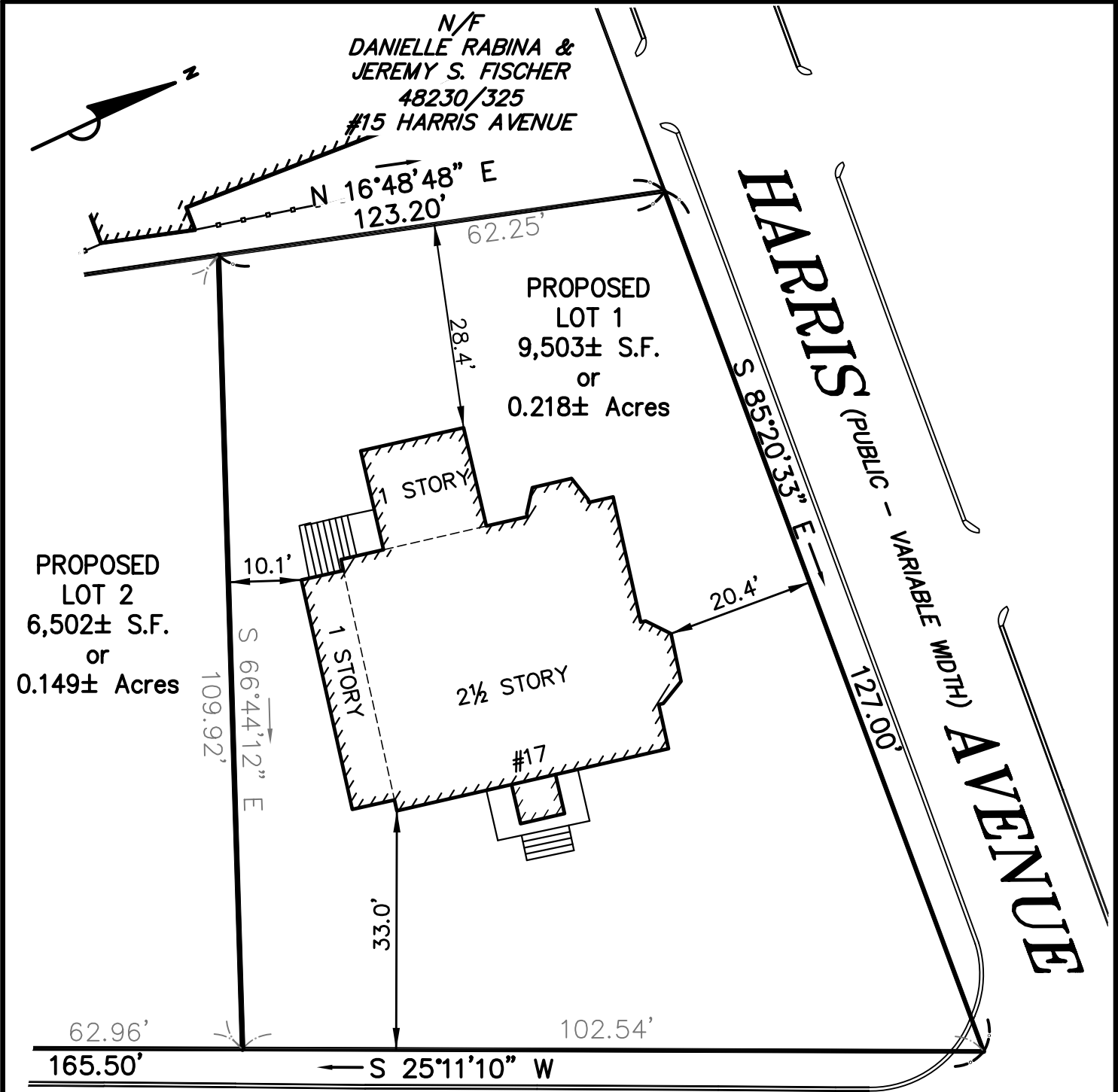
The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. **Construction Documents (two sets and to scale):**
 - Structural and Fire Alarm Plans, stamped and signed by MA Registered Design Professional
2. **Supporting Documents:**
 - Licensed Builder's Info (Construction License, Workers' Compensation Affidavit, Certification of Liability Insurance)
 - Home Improvement Contractor Registration
 - Construction Cost Estimate with Breakdown
 - NFPA 241 Report
3. **City Agencies' Approvals:**
 - Boston Planning and Development Agency: Two Sets of Approved Drawings: NDOD
 - Department of Public Works
4. **Additional Information/Comments:**

Mattock Higgins submission and UOP permit application number for off street parking new curb cuts

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Francesco D'Amato, Plans Examiner
frank.damato@boston.gov / (617) 961-3265



ALVESTON (PUBLIC - VARIABLE WIDTH) STREET

NOTE: BOUNDARY LINES SHOWN HEREON REFER TO "#17 ALVESTON STREET, PLAN OF LAND IN BOSTON, MA DATED OCTOBER 13, 2021, BY THIS OFFICE, TO BE RECORDED WITH THE SUFFOLK COUNTY REGISTRY OF DEEDS.

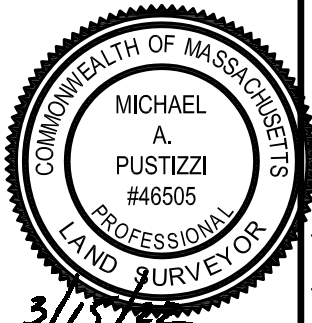
OWNER: ALVESTON DEVELOPMENT LLC
DEED BOOK 66935 PAGE 26
ASSESSORS PARCEL ID #1901321000

**PROPOSED PLOT PLAN
LOT 1 (17 ALVESTON STREET)
IN
BOSOTN, MA
(SUFFOLK COUNTY)**

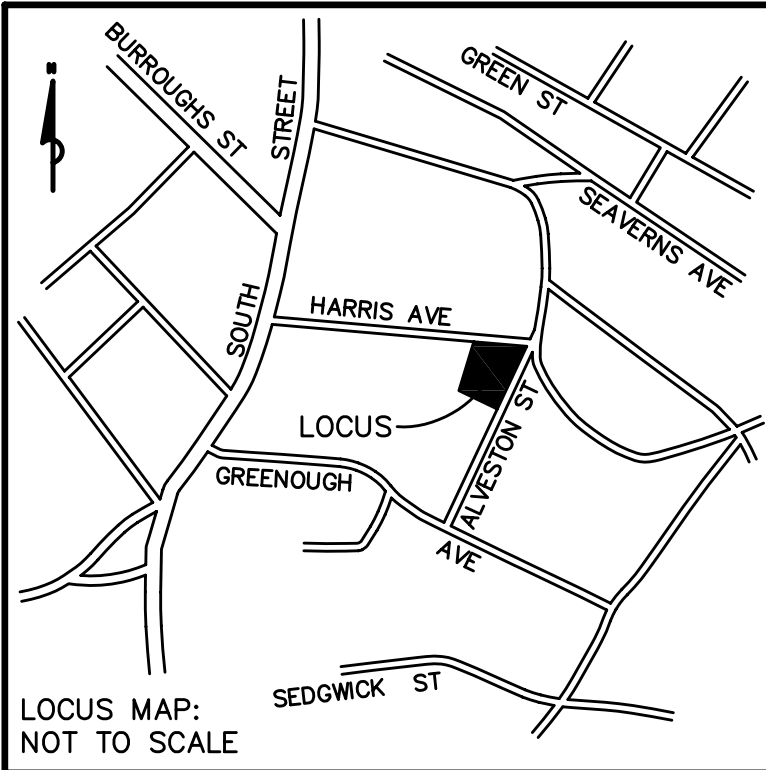
SCALE: 1"= 20' DATE: 3/15/2022



Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096
495701PP1.DWG



MICHAEL PUSTIZZI, PLS 3/15/22 DATE



NOTES

- 1) THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND ARE SUBJECT TO THE FINDINGS SUCH A REPORT MAY DISCLOSE.
- 2) OWNER: ALVESTON DEVELOPMENT LLC
DEED BOOK 66935 PAGE 26
ASSESSORS PARCEL ID #1901321000

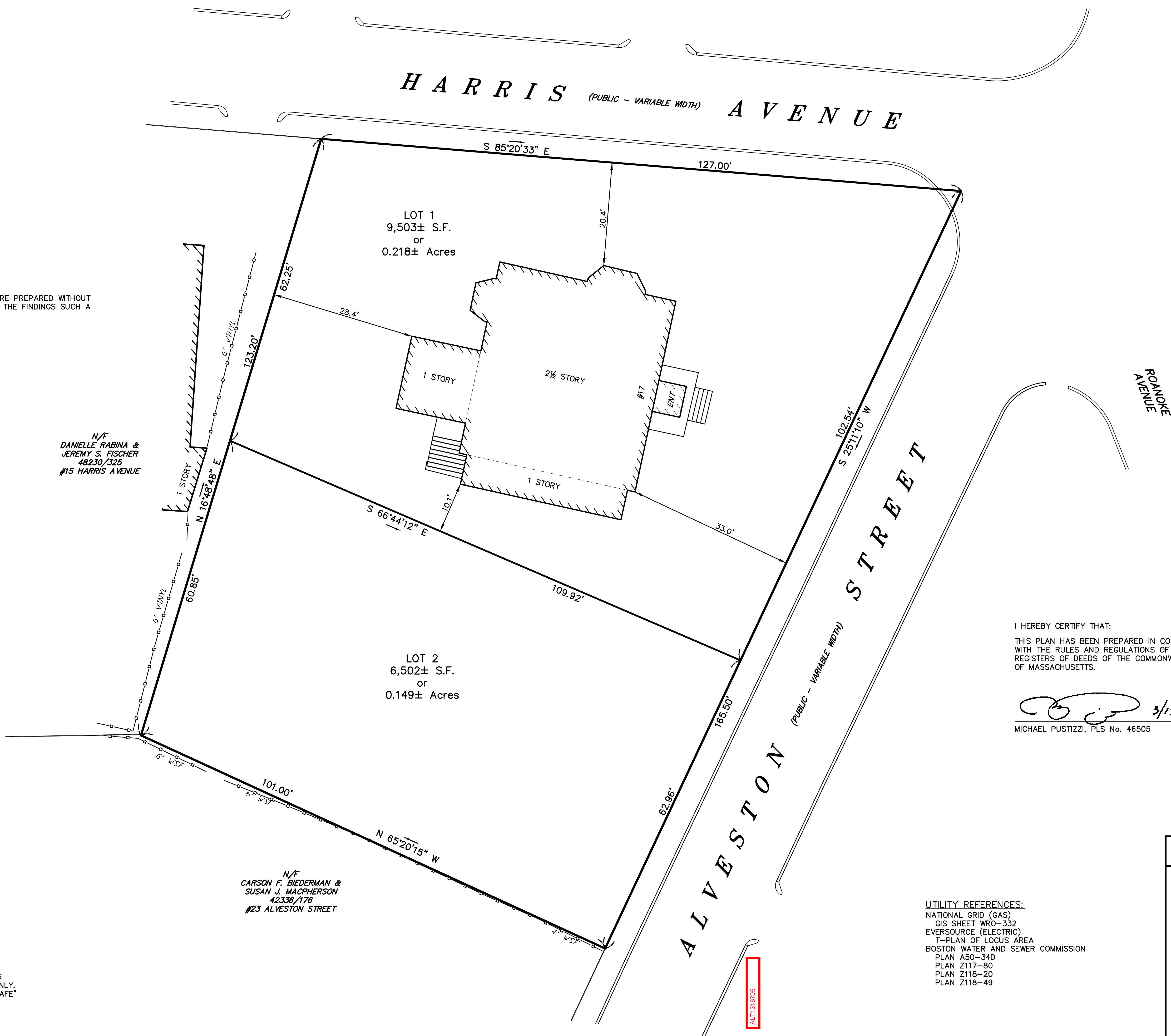
REFERENCES:

SUFFOLK COUNTY REGISTRY OF DEEDS
DEED BOOK 8110 - PAGE 659 (LOCUS)
PLAN WITH DEED BOOK 7512/489
PLAN WITH DEED BOOK 7869/443
PLAN WITH DEED BOOK 19281/299
PLAN BOOK 2007 PLAN 588

CITY OF BOSTON ENGINEERING DEPARTMENT
FIELD BOOK 118/92
FIELD BOOK 122/136-140
FIELD BOOK 128/56-61
FIELD BOOK 134/92
FIELD BOOK 266/156
FIELD BOOK 363/27
FIELD BOOK 629/133
FIELD BOOK 714/63



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

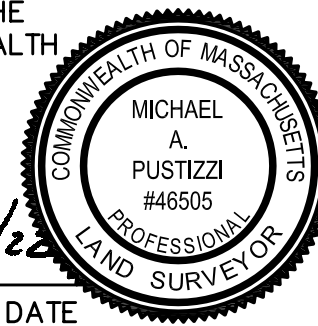


I HEREBY CERTIFY THAT:

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

 3/15/22

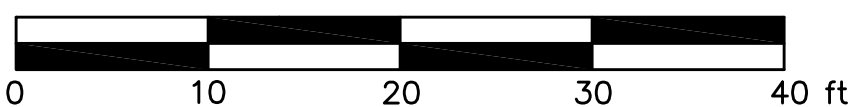
MICHAEL PUSTIZZI, PLS No. 46505



#17 ALVESTON STREET

PLAN OF LAND
IN
BOSTON, MA
(SUFFOLK COUNTY)

SCALE: 1"= 10' DATE: MARCH 15, 2022



Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096
495701PL1.DWG

UTILITY REFERENCES:

NATIONAL GRID (GAS)
GIS SHEET WRO-332
EVERSOURCE (ELECTRIC)
T-PLAN OF LOCUS AREA
BOSTON WATER AND SEWER COMMISSION
PLAN A50-340
PLAN Z117-80
PLAN Z118-20
PLAN Z118-49

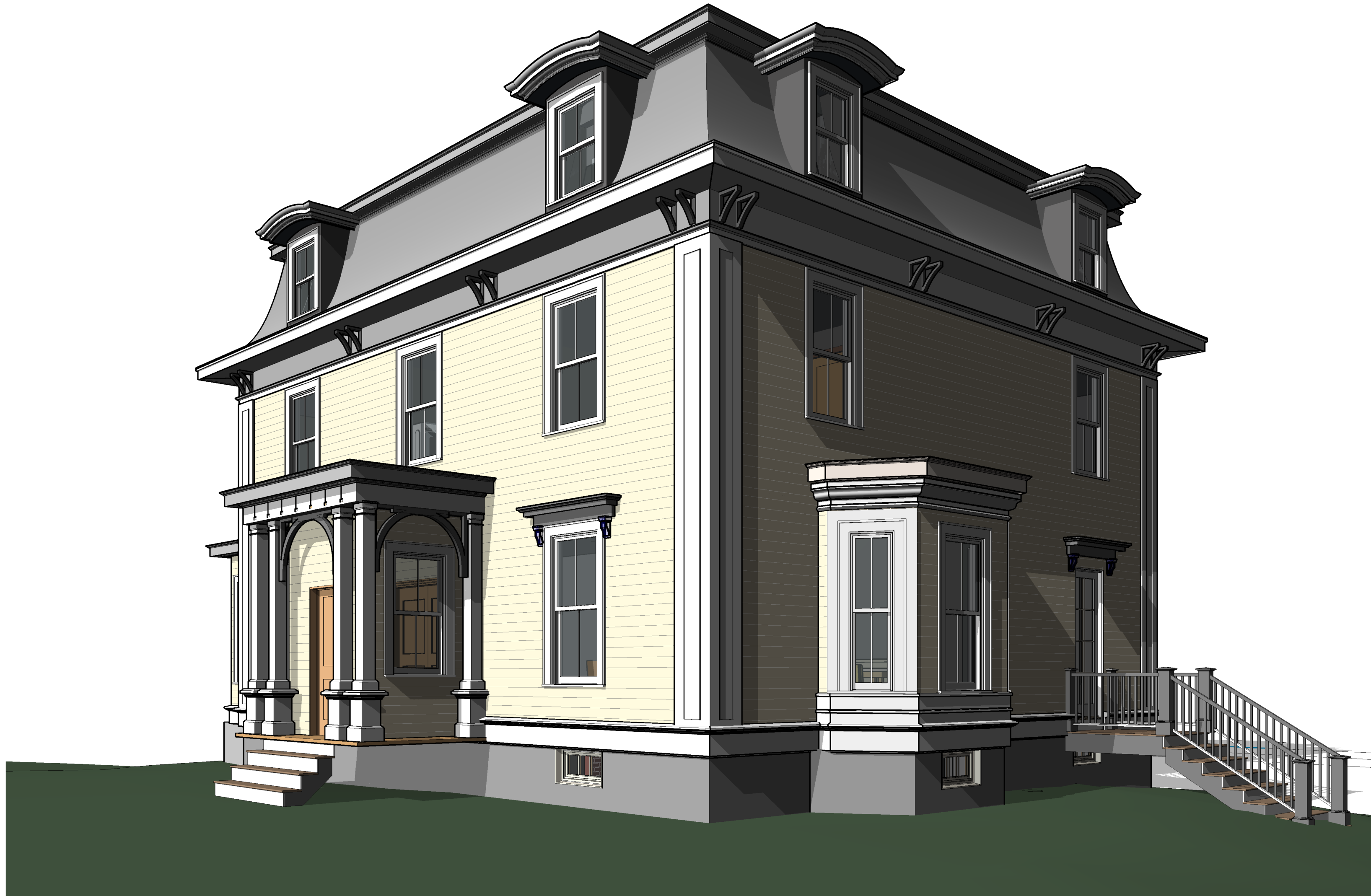
ALT1316705

APPLICABLE CODES - 1-2 FAMILY RESIDENTIAL

| | |
|---|-----------------------------|
| BUILDING CODES | |
| MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AMENDMENTS | 780 CMR |
| INTERNATIONAL RESIDENTIAL CODE | 2015 IRC |
| INTERNATIONAL EXISTING BLDG CODE | 2015 IBC |
| FIRE PREVENTION CODES | |
| INTERNATIONAL FIRE CODE | 2015 IFC, 527 CMR |
| ACCESSIBILITY | |
| MA ARCHITECTURAL ACCESS BOARD | 521 CMR |
| M-E-P CODES | |
| MASSACHUSETTS ELECTRICAL CODE | 527 CMR 12.00 |
| INTERNATIONAL ELECTRICAL CODE | 2015 IEC |
| INTERNATIONAL MECHANICAL CODE | 2015 IMC |
| UNIFORM STATE PLUMBING CODE | 2015 IPC, 248 CMR |
| ENERGY CODE | |
| INTERNATIONAL ENERGY CONSERV. WITH MASSACHUSETTS AMENDMENTS | 2015 IECC 780 CMR CH. 11 |

BUILDING USE AND OCCUPANCY

| | |
|--|--|
| GENERAL BUILDING/PROJECT DESCRIPTION: | |
| RENOVATION AND RECONSTRUCTION OF A 2 FAMILY RESIDENTIAL WOOD FRAME STRUCTURE. PROPERTY HAS AN EXISTING DETACHED 2 CAR CONC. BLOCK GARAGE | |
| THE PROJECT IS AS-OF-RIGHT REQUIRING NO ZONING OR OTHER RELIEF FROM THE CITY OF CAMBRIDGE. | |
| OCCUPANCY GROUP: PER IBC 310.5 RESIDENTIAL - GROUP R-3 ONE AND TWO FAMILY | |
| CONSTRUCTION TYPE: PER IBC TABLE 6.1 CONSTRUCTION TYPE V-B WOOD FRAME STRUCTURE, RATED BEARING WALLS REQ. | |
| FIRE PROTECTION SYSTEMS: THE BUILDING WILL BE EQUIPPED WITH A LOCAL TYPE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM. ALARM AND SPRINKLER SYSTEMS ARE NOT REQUIRED. | |



17 ALVESTON STREET, JAMAICA PLAIN MA

PERMIT PLAN

03.14.22

ARCHITECT

KBA

119 BRAINTREE STREET
BOSTON, MA 02134
(617)-827-3527

www.boucherarchitecture.com

OWNER

ADCO Development

300 1st AVENUE
NEEDHAM, MA 02494

| No. | Descrip. | Date |
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client

ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

title

COVER SHEET

project

17 ALVESTON STREET, JAMAICA PLAIN MA



job number

21-023

scale

1/4" = 1'-0"

issue date

03.14.22

PERMIT PLAN

Sheet no.

A000

DRAWING ABBREVIATIONS

| | |
|---|--|
| A A/C A/E AB ACC ACS ACS DR ACS FNL ACT ADA ADMIN AFC AFF AFG AFS AGGR AHU AIB ALT ALUM ANOD APC APPROX AR ARCH ASC ASSY ATC AVG AW AWT | AIR CONDITION ARCHITECT/ENGINEER ANCHOR BOLT ACCESSIBLE AUTOMATIC CONTROL SYSTEM ACCESS DOOR ACCESS PANEL ACOUSTICAL CEILING TILE AMERICANS WITH DISABILITIES ACT ADMINISTRATION ACQUISITION COUNTER ABOVE FINISHED FLOOR ABOVE FINISHED GRADE ABOVE FINISHED SLAB AGGREGATE AIR HANDLING UNIT AIR INFILTRATION BARRIER ALTERNATE ALUMINUM ANODIZE ACOUSTICAL PANEL CEILING APPROXIMATE AS REQUIRED ARCHITECT ABOVE SUSPENDED CEILING ASSEMBLY ACOUSTICAL TILE CEILING AVERAGE ARCHITECTURAL WOODWORK ACOUSTICAL WALL TREATMENT |
| B B LABEL BALC BB BC BD BDY BFF BLDG BLKG BLTN BN BOS BOT BP BRKT BSMT BTWN BUR | CLASS B DOOR BALCONY BASEBOARD BOOKCASE BOARD BOUNDARY BELOW FINISH FLOOR BUILDING BLOCKING BUILT-IN BULLNOSE BOTTOM OF STEEL BOTTOM BUILDING PAPER BRACKET BASEMENT BETWEEN BUILT-UP ROOFING |
| C C LABEL CAB CATW CAV CBB CD CDW CE CE CFE CFE CFLG CFM CFMF CFS CG CI CJ CL CLG CLG HT CLL CLO CLR CLRM CMU CNDS CNR CO COL COMM CONC CONF CONT COORD CORR CP CPT CR CS CSWK CT CTB CTF CU FT CW | CLASS C DOOR CABINET CATWALK CAVITY CEMENTITIOUS (BACKER) BOARD CONSTRUCTION DOCUMENTS CHILLED DRINKING WATER CE CONTRACTOR FURNISHED CONTRACTOR INSTALLED CONTRACTOR FURNISHED EQUIPMENT COUNTERFLASHING CUBIC FEET PER MINUTE COLD-FORMED METAL FRAMING CUBIC FEET PER SECOND CORNER GUARD CAST IRON CAST-IN PLACE CONTROL JOINT CENTER LINE CEILING CEILING HEIGHT COLUMN LINE CLOSET COLOR CLASSROOM CONCRETE MASONRY UNIT CONDENSATE CARD READER CLEANOUT COLUMN COMMUNICATION CONCRETE CONFERENCE CONTINUE COORDINATE CORRIDOR CONCRETE PIPE CARPET CONTROL ROOM CAST STONE CASEWORK CEMIC TILE MECH MECHANICAL ROOM MEMBRANE MILL FINISH MANUFACTURER MIDDLE MIL STD MIN MIRROR MISC MOLDING (MOLDING) MASONRY OPENING MODIFY MOISTURE BARRIER MOUNTING METAL MOVABLE MEMBRANE WATERPROOFING |
| D D LABEL DBL DEMO DEPT DET DIA DIR DIST DOC DR DS | DEPTH CLASS D DOOR DOUBLE DEMOLITION DEPARTMENT DETAIL DIAMETER DIRECTION DISTANCE DOCUMENT DOOR DOWNSPOUT |
| E E LABEL EA EF EFS EJ ES EL ELEV ENR EPS EQ EWC EWP EXT EXT EXT GR | CLASS E DOOR EACH EACH FACE EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT EACH SIDE ELEVATION ELEVATOR ENTRANCE EXPANDED POLYSTYRENE BOARD (INSULATION) EQUAL ELECTRIC WATER COOLER EXPOSED EXTERIOR EXTINGUISHER EXTERIOR GRADE |

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|--|--|
| F FA FAAP FAS BD FC BRK FCO FD FDTN FE FEC FED FF FF EL FF INSUL FGL FH FHP FIN FIN BS FIN FLR FIN GR FIN GR FMT FLDG FLEX FLG FLMT FLR FM FMC FMD FR FRG FRMG FRP FRW FS FSNR FT FTG FWC | FIRE ALARM FIRE ALARM ANNUNCIATOR PANEL FASCIA BOARD FACE BRICK FLOOR CLEANOUT FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FEDERAL FINISH FACE FINISH FLOOR ELEVATION FOIL BACKED INSULATION FIBERGLASS FIRE HOSE FULL HEIGHT PARTITION FINISH FINISH BOTH SIDES FINISH FLOOR FINISH GRADE FIXTURE FOLDING FLEXIBLE FLOORING FLUSH MOUNT FLOOR FACTORY MUTUAL FACE OF CONCRETE FACE OF MASONRY FIRE RESISTANT FIBER REINFORCED GYPSUM FRAMING FIBERGLASS REINFORCED PLASTIC FIRE RETARDANT TREATED WOOD FEDERAL SPECIFICATION FASTENER FEET FOOTING FABRIC WALLCOVERING |
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|--|---|
| G G GALV GB GFRG GLZ GR FL GUT GYP BD | NATURAL GAS GALVANIZED GRAB BAR GLASS-FIBER-REINFORCED GYPSUM GLAZING GROUND FLOOR GUTTER GYPSUM BOARD |
|--|---|

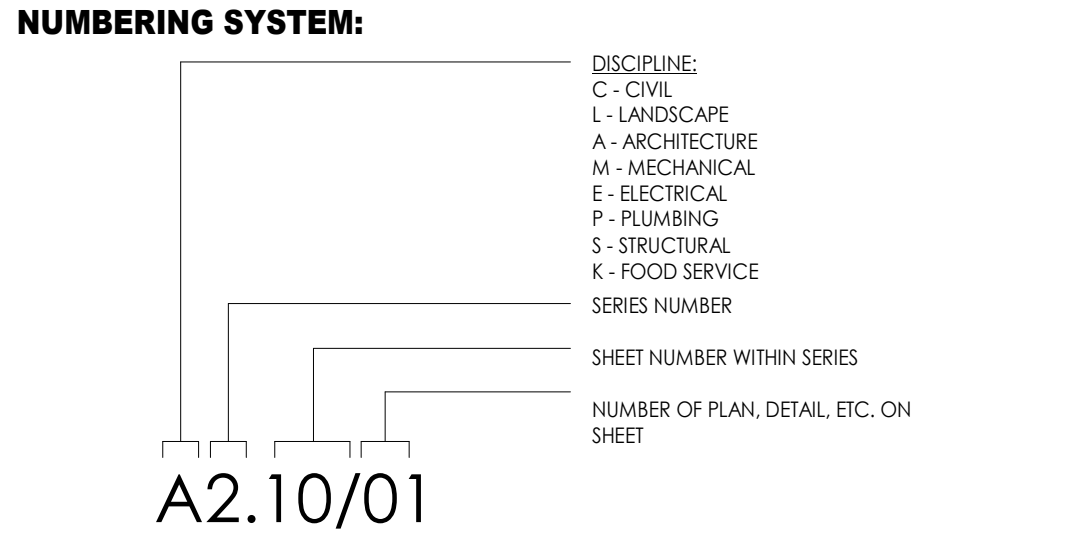
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| H HB HDPE HDW HDWD HEPA HMA HMD HORIZ HT HYDR | HOSE BIBB HIGH DENSITY POLYETHYLENE HARDWARE HARDWOOD HIGH EFFICIENCY PARTICULATE AIR (FILTER) HOLLOW METAL HOLLOW METAL DOOR HORIZONTAL HEIGHT HYDRAULIC |
|--|--|

| | |
|--|---|
| I IBC INSUL INT ILO J JAN K KPD KIT KPL L LAM LAV LBR LBS LDG LF LIB LIN LKR LOC LT LVDR LVR M MATL MAX MC MD MECH MECH MEMB MF MFR MID MIL STD MIN MIRR MISC MOLDG MO MODIFY MB MOUNTING MTL MYBL MWP | INTERNATIONAL BUILDING CODE INSULATION INTERIOR IN LIEU OF JANITOR KEYPAD KITCHEN KICKPLATE LAMINATE LAVATORY LUMBER POUND LANDING LINEAR FEET (FOOT) LIBRARY LINEAR LOCKER LOCATION LIGHT LOUVER DOOR LOUVER MATERIAL MAXIMUM MOISTURE CONTENT METAL DECK MECHANICAL MECHANICAL ROOM MEMBRANE MILL FINISH MANUFACTURER MIDDLE MILITARY STANDARD MINIMUM, MINUTE MIRROR MISCELLANEOUS MOLDING (MOLDING) MASONRY OPENING MODIFY MOISTURE BARRIER MOUNTING METAL MOVABLE MEMBRANE WATERPROOFING |
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| | |
|---|--|
| N N NA NFPA NIC NO NOM NP NRC NTS | NORTH NOT APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION NOT IN CONTRACT NUMBER NOMINAL NO PAINT NOISE REDUCTION COEFFICIENT NOT TO SCALE |
|---|--|

| | |
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| O OA OC OD OFD OFF OGL OPH OPNG OPP OPAQ OWSJ OPR ORD ORIG | OVERALL ON CENTER OUTSIDE DIAMETER OVERFLOW DRAIN OFFICE OBSCURE GLASS OPPOSITE HAND OPENING OPPOSITE OPAQUE OPEN WEB STEEL JOIST OPERABLE OVERFLOW ROOF DRAIN ORIGINAL |
|---|--|

INDEX OF DRAWINGS



LEGEND

| | | | |
|--|---|--|---|
| | CONCRETE/ PRECAST CONCRETE | | GYPSUM BOARD |
| | SOIL | | EXTERIOR GYPSUM SHEATHING |
| | SAND, EIFS FINISH COAT, OR CEMENT PLASTER | | EXTERIOR CEMENT BOARD |
| | BRICK | | COATED GLASS MAT WATER RESISTANT GYP BD |
| | CMU | | PLYWOOD |
| | STONE | | COVER BOARD |
| | FIBERGLASS BATT INSULATION | | FIRE RATED WALL SYMBOLS: 1 HR FIRE 2 HR FIRE 3 HR FIRE 4 HR FIRE 1 HR FIRE/SMOKE WALL 2 HR FIRE/SMOKE WALL 3 HR FIRE/SMOKE WALL 4 HR FIRE/SMOKE WALL |
| | FIBERGLASS SEMI RIGID INSULATION | | |
| | MINERAL WOOL SEMI RIGID INSULATION | | |
| | EXPANDED POLYSTYRENE RIGID INSULATION | | |
| | EXTRUDED POLYSTYRENE RIGID INSULATION | | |
| | POLYISOCYANURATE RIGID INSULATION | | |

ANNOTATION CALLOUTS/
DRAWING SYMBOLS

| | | | |
|--|---------------------------|--|--------------------------------------|
| | INTERIOR ELEVATION | | SHEET KEYNOTE |
| | EXTERIOR ELEVATION | | WINDOW TYPE |
| | | | DOOR NUMBER |
| | | | WALL TYPE |
| | | | GRID / COLUMN LINE DESIGNATOR |
| | | | REVISION TAG |
| | | | NORTH ARROW |
| | | | SPOT ELEVATION |
| | | | FLOOR LEVEL |

LOCUS MAP

GENERAL NOTES

- A. **DISCREPANCIES:** THE GENERAL CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES FOUND BETWEEN THE ARCHITECT'S DRAWINGS AND FIELD CONDITIONS.
- B. **PERMITS AND APPROVALS:** THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING REQUIREMENTS FOR, IDENTIFYING AND SECURING ALL NECESSARY PERMITS AND APPROVALS REQUIRED FROM AUTHORITIES HAVING JURISDICTION OVER THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND OCCUPANCY OF THE WORK. SHALL PREPARE THE NECESSARY APPLICATIONS AND SUBMIT REQUIRED PLANS AND DOCUMENTS TO OBTAIN SUCH PERMITS IN A TIMELY MANNER, AND SHALL PAY ALL FEES AND CHARGES IN CONNECTION THEREWITH.
- C. **SCALING:** DO NOT SCALE OFF THESE DRAWINGS.
- D. **CODES AND REQUIREMENTS:** THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL TRADES CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS.
- E. **SCHEDULING AND COORDINATION:** THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF SEQUENCES AND SCHEDULES AND THE ACTUAL INSTALLED LOCATION AND INTERFACE OF THE WORK.
- F. **LANGUAGE:** THE USE OF THE WORDS 'PROVIDE' OR 'PROVIDED' IN CONNECTION WITH ANY ITEM SPECIFIED OR INDICATED SHALL MEAN, UNLESS OTHERWISE NOTED, THAT SUCH ITEM SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR (OR HIS/HER SUBCONTRACTORS) WITH ALL REQUIRED ACCESSORIES AND CONNECTED WHERE REQUIRED. THE ARCHITECT SHALL BE THE SOLE AND FINAL JUDGE OF WHAT CONSTITUTES AN ACCEPTABLE MATCH.
- G. **TEMPORARY UTILITIES:** THE GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES AS REQUIRED FOR THE CONTRACTOR'S EQUIPMENT.
- H. **PUBLIC ACCESS:** PUBLIC SIDEWALKS AND STREETS USED FOR DELIVERY, ACCESS TO THE CONSTRUCTION SITE, AND WHICH MAY BE PART OF THE CONSTRUCTION SITE, SHALL BE PROTECTED AND MAINTAINED BY THE GENERAL CONTRACTOR IN A CLEAN AND SAFE CONDITION AT ALL TIMES. THESE AREAS SHALL NOT BE USED TO STORE CONSTRUCTION MATERIALS OR EQUIPMENT. THE GENERAL CONTRACTOR SHALL REPAIR ANY CONSTRUCTION RELATED DAMAGE TO THESE AREAS.
- I. **DEMOLITION:** THE GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS OFFSITE.
- J. **WORK IN THE RIGHT-OF-WAY:** THE GENERAL CONTRACTOR SHALL COORDINATE HIS/HER OCCUPANCY, USE, AND POSSIBLE BLOCKAGE OF ANY PUBLIC STREET OR SIDEWALK WITH THE CITY OF CAMBRIDGE AND ANY AND ALL OTHER PUBLIC AGENCIES HAVING JURISDICTION.
- K. **CONSTRUCTION AREA:** THE GENERAL CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION AREA IN A CLEAN AND ORDERLY CONDITION, AND SHALL REMOVE AND LEGALLY DISPOSE OF ANY WASTE OFF-SITE.
- L. **CONDITIONS OF COMPLETION:** UPON COMPLETION OF THIS PROJECT, THE GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN ALL FLOOR COVERING, FLOOR BASES, INTERIOR AND EXTERIOR FACE GLASS, AND ALL OTHER ITEMS INSTALLED OR AFFECTED DURING THE CONSTRUCTION, PRIOR TO TURNING THE SPACE OVER TO THE OWNER.
- M. **BASIS OF PERFORMANCE:** THESE DRAWINGS AR INTENDED TO PROVIDE THE BASIS FOR THE PERFORMANCE OF A COMPLETELY FINISHED JOB. ANYTHING NOT EXPRESSLY SET FORTH, BUT WHICH IS REASONABLY IMPLIED AND/OR NECESSARY FOR THE PROPER PERFORMANCE AND COMPLETION OF THIS WORK SHALL BE INCLUDED.
- N. **LICENSING:** THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED TO PERFORM THE WORK SPECIFIED HEREIN IN THE CITY OF CAMBRIDGE AND THE STATE OF MASSACHUSETTS.

GENERAL CONSTRUCTION NOTES

- A. INTERIOR WALL FINISH TO BE 1/2" "BLUEBOARD" WITH VENEER PLASTER FINISH (TYP U.N.O.)
- B. GARAGE SIDE OF ALL WALLS AND CEILINGS BETWEEN GARAGE SPACE AND LIVING SPACE TO RECEIVE MIN. (1) LAYER OF 5/8" TYPE 'X' GYP. BD. (TYP. U.N.O.)
- C. ALL BATHROOM AND BEDROOM WALLS TO RECEIVE MIN. 3-1/2" SOUND ATTENUATION BATT INSULATION.
- D. PROVIDE 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL WALLS AND FLOOR CEILING ASSEMBLIES SEPARATING INDIVIDUAL RESIDENTIAL UNITS.
- E. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL DROP CEILINGS AND SOFFITS AS REQUIRED FOR MECHANICAL SYSTEMS. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR.
- F. THE SUPPORTING STRUCTURE FOR ALL FIRE RATED FLOOR/CEILING ASSEMBLIES SHALL BE FIRE RATED WITH AN EQUAL OR GREATER FIRE RATING. ALL BEARING POSTS AND FIRE RATED WALL ASSEMBLY.
- G. PRESSURE TREATED LUMBER IS TO BE USED AT ALL DAMP OR WET LOCATIONS. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO :
a. 2X SLEEPERS ON CONCRETE SLABS AT THE BASEMENT OR GARAGE LEVEL.
b. ALL SILLS AND SOLE PLATES AT CONC. OR MASONRY FOUNDATION WALLS.
c. ALL SLEEPERS ABOVE THE WATERPROOF MEMBRANE AT EXTERIOR DECKING ABOVE AN INTERIOR SPACE.
d. THE SUPPORTING STRUCTURE FOR ALL EXTERIOR PATIOS AND DECKS AND THEIR ASSOCIATED RAILING SYSTEMS.
- H. ALL BATH AND POWDER ROOMS TO BE MECHANICALLY VENTILATED PER 780 CMR 3603.6.2
- I. NO SHEET METAL OR OTHER FASTENING MEANS SHALL BE ALLOWED TO PENETRATE CLOTHES DRYER EXHAUST VENTS. VENTS SHALL BE MIN. 016" THICK RIGID METAL DUCTING WITH SMOOTH INTERIOR SURFACE AND JOINTS RUNNING IN THE DIRECTION OF AIR FLOW. (780 CMR 3618.1)

PROJECT SUMMARY

ZONING SUMMARY

THIS IS AN EXISTING RESIDENTIAL 2 FAMILY STRUCTURE LOCATED IN A RES C-1 ZONE.

THE HOUSE IS EXISTING NONCONFORMING FOR LOT SIZE, FAR AND SETBACKS. THE PERMIT PLANS TO ENCLOSE EXISTING COVERED PORCHES WITH NEW EXTERIOR WALLS AT THE FRONT & REAR.

- NO NEW WINDOWS LOCATED WITHIN SETBACKS.
- NO NEW GFA CREATED
- NO NEW NONCONFORMITIES OR INCREASE IN EXISTING NONCONFORMITIES.

HISTORIC / OVERLAY DISTRICT SUMMARY

THIS PROJECT IS LOCATED WITHIN THE XXX HISTORIC NEIGHBORHOOD CONSERVATION DISTRICT. RECEIVED A CERTIFICATE OF APPROPRIATENESS FROM THE MCNCD ON XX/XX/20XX CASE NUMBER: XXX

BUILDING USE AND OCCUPANCY

GENERAL BUILDING/PROJECT DESCRIPTION:

RENOVATION AND RECONSTRUCTION OF A 2 FAMILY RESIDENTIAL WOOD FRAME STRUCTURE. PROPERTY HAS AN EXISTING DETACHED 2 CAR CONC. BLOCK GARAGE

THE PROJECT IS **AS-OF-RIGHT** REQUIRING NO ZONING OR OTHER RELIEF FROM THE CITY OF CAMBRIDGE.

OCCUPANCY GROUP:
PER IBC 310.5 RESIDENTIAL - GROUP **R-3** ONE AND TWO FAMILY

CONSTRUCTION TYPE:
PER IBC TABLE 6.1 CONSTRUCTION TYPE **V-B** WOOD FRAME STRUCTURE, RATED BEARING WALLS REQ.

FIRE PROTECTION SYSTEMS:
THE BUILDING WILL BE EQUIPPED WITH A LOCAL TYPE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM. ALARM AND SPRINKLER SYSTEMS ARE NOT REQUIRED.

APPLICABLE CODES - 1-2 FAMILY RESIDENTIAL

| | |
|--|--|
| BUILDING CODES MASSACHUSETTS STATE BUILDING CODE, 780 CMR 9TH EDITION AMENDMENTS INTERNATIONAL RESIDENTIAL CODE 2015 IRC INTERNATIONAL EXISTING BLDG CODE 2015 IEBC | |
| FIRE PREVENTION CODES INTERNATIONAL FIRE CODE 2015 IFC, 527 CMR | |
| ACCESSIBILITY MA ARCHITECTURAL ACCESS BOARD 521 CMR | |
| M-E-P CODES MASSACHUSETTS ELECTRICAL CODE 527 CMR 12.00 INTERNATIONAL ELECTRICAL CODE 2015 IEC INTERNATIONAL MECHANICAL CODE 2015 IMC UNIFORM STATE PLUMBING CODE 2015 IPC, 248 CMR | |
| ENERGY CODE INTERNATIONAL ENERGY CONSERV. WITH MASSACHUSETTS AMENDMENTS 2015 IECC 780 CMR CH. 11 | |

| No. | Descrip. | Date |
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client
ADCO Development
300 1st AVENUE
NEEDHAM, MA 02494

file
LEGENDS



job number 21-023

scale As indicated

issue date 03.14.22

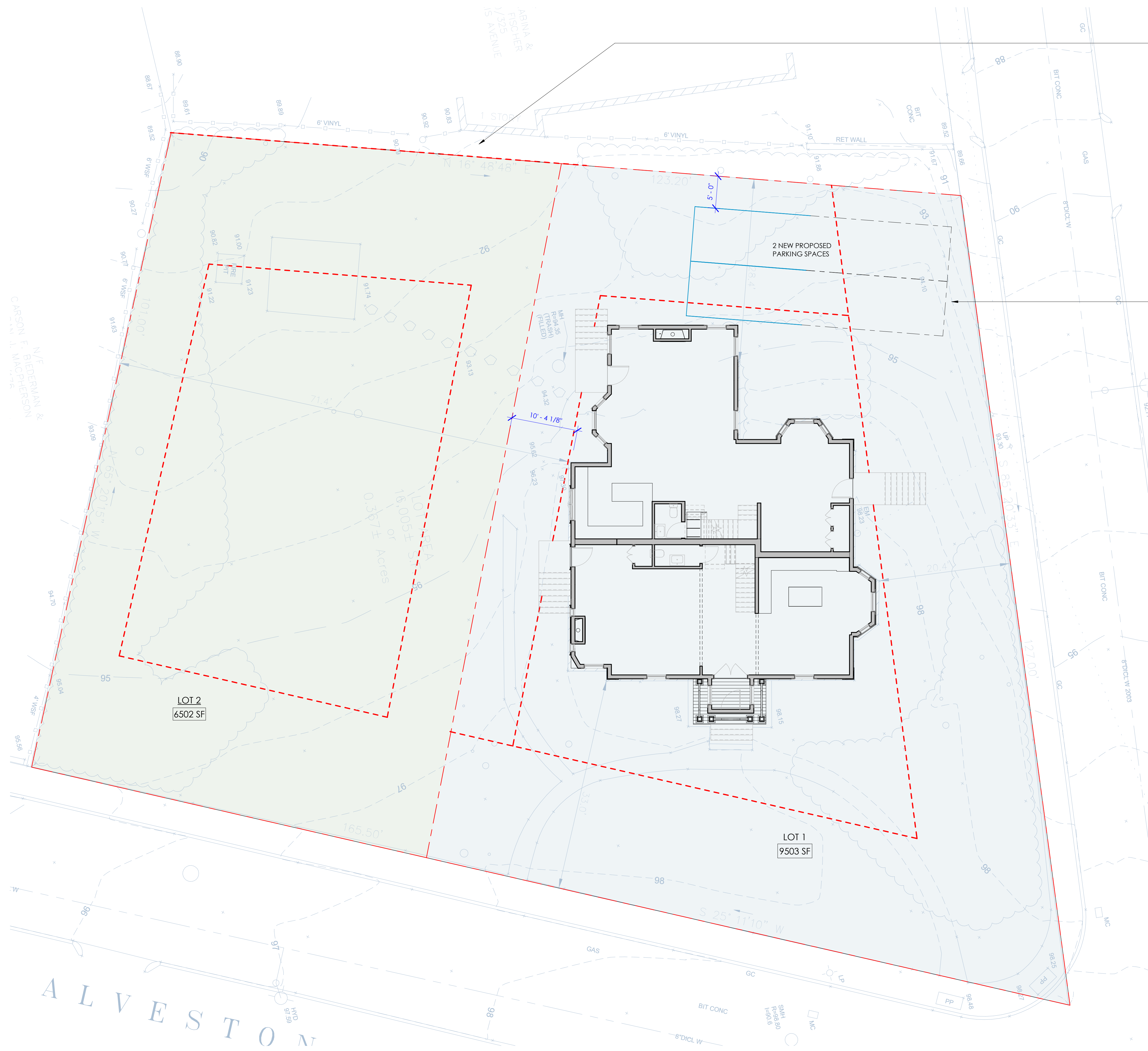
PERMIT PLAN

Sheet no.

A011

project
17 ALVESTON STREET, JAMAICA PLAIN MA

ALT1316705



LOT 2
LOT AREA: 6502 SF
ALLOWABLE GSF 3251 SF

LOT 1
LOT AREA: 9503 SF
ALLOWABLE GSF: 4751 SF

PROPOSED GSF: 4683 SF

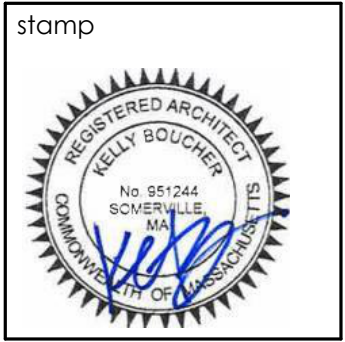
| OPEN SPACE DIAGRAM | |
|--------------------|---------|
| Name | Area |
| LOT 2 | 6502 SF |
| LOT 1 | 9503 SF |

OPEN SPACE

- LOT 1
- LOT 2

1 LOT AREA DIAGRAM
1/8" = 1'-0"

| No. | Descrip. | Date |
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file
LOT AREA PLAN
project
17 ALVESTON STREET, JAMAICA PLAIN MA



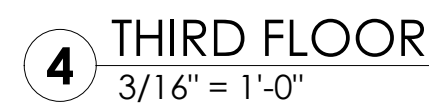
job number 21-023

scale 1/8" = 1'-0"

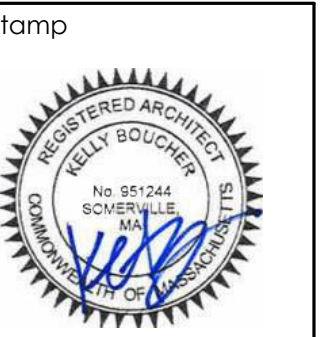
issue date 03.14.22

PERMIT PLAN

Sheet no.
A012



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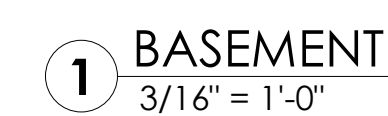
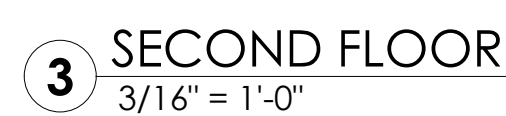
GFA AREA DIAGRAMS EXISTING

17 ALVESTON STREET, JAMAICA PLAIN MA



PERMIT PLAN

Sheet no.
A020



PROJECT ZONING

GFA CALCULATION REQUIREMENTS IN BOSTON ZONING CODE

FLOOR AREA, GROSS.
THE SUM OF AREAS OF THE SEVERAL FLOORS OF THE STRUCTURE, AS MEASURED BY THE EXTERIOR FACES OF THE WALLS, INCLUDING FULLY ENCLOSED PORCHES AND THE LIKE AS MEASURED BY THE EXTERIOR LIMITS THEREOF, BUT EXCLUDING

- (A) GARAGE SPACE WHICH IS IN THE BASEMENT OF A BUILDING OR, IN THE CASE OF GARAGE SPACE ACCESSORY TO A DWELLING, IS AT GRADE,
- (B) BASEMENT AND CELLAR AREAS DEVOTED EXCLUSIVELY TO USES ACCESSORY TO THE OPERATION OF THE STRUCTURE, AND
- (C) AREAS ELSEWHERE IN THE STRUCTURE DEVOTED TO HOUSING MECHANICAL EQUIPMENT CUSTOMARILY LOCATED IN THE BASEMENT OR CELLAR SUCH AS HEATING AND AIR CONDITIONING EQUIPMENT, PLUMBING, ELECTRICAL EQUIPMENT, LAUNDRY FACILITIES AND STORAGE FACILITIES, PROVIDED, HOWEVER, THAT IN AN H-2-45, H-2-65, H-3-65, L-2-65 OR B-3-65 DISTRICT NO AREA IN AN EXISTING STRUCTURE PREVIOUSLY INCLUDED IN GROSS FLOOR AREA AND NO AREA IN ANY ADDITION TO AN EXISTING STRUCTURE, EXCEPT AREAS NOT USED OR DESIGNED TO BE USED FOR HUMAN OCCUPANCY, SUCH AS ATTICS, BASEMENTS, CELLARS OR SPACE UNDER SLOPING EAVES, SHALL BE EXCLUDABLE FROM GROSS FLOOR AREA AS AREA FOR STORAGE FACILITIES OR LAUNDRY FACILITIES.

https://library.municode.com/ma/boston/codes/redevelopment_authority?nodeId=ART2DE_S2-1MECEWOPH

PARKING REQUIREMENTS IN BOSTON ZONING ORDINANCE FOR ALVESTON

ACCESSORY STRUCTURES (GARAGES)

- ALLOWED, SQUARE FOOTAGE NOT MORE THAN 25% ALLOWABLE FLOOR AREA
- DISTANCE FROM SIDE/REAR YARD LOT LINE = 5'
- ACCESSORY STRUCTURES NOT ALLOWED IN FRONT YARD SETBACK
- MAXIMUM FOOTPRINT = 25% OF REAR YARD AREA

HTTPS://LIBRARY.MUNICODE.COM/MA/BOSTON/CODES/REDEVELOPMENT_AUTHORITY?NODEID=ART10ACUS

PARKING

- 2 SPACES PER UNIT
- PARKING SPACE = 8.5' WIDE X 20' LONG
- DRIVEWAY 10' WIDE

https://library.municode.com/ma/boston/codes/redevelopment_authority?nodeId=ART23OREPA

| PROPOSED AREA SCHEDULE | | | |
|------------------------|--------------|---------|--------|
| NAME | LEVEL | AREA | ZONING |
| UNIT 1 | FIRST FLOOR | 928 SF | GFA |
| UNIT 2 | FIRST FLOOR | 964 SF | GFA |
| UNIT 1 ADDITION | FIRST FLOOR | 171 SF | GFA |
| UNIT 1 | SECOND FLOOR | 642 SF | GFA |
| UNIT 2 | SECOND FLOOR | 780 SF | GFA |
| UNIT 1 | THIRD FLOOR | 655 SF | GFA |
| UNIT 2 | THIRD FLOOR | 554 SF | GFA |
| | | 4693 SF | |

| | | | |
|----------|----------|---------|---------|
| UNIT 1 | BASEMENT | 1030 SF | NON-GFA |
| UNIT 2 | BASEMENT | 805 SF | NON-GFA |
| | | 1835 SF | |
| TOTAL SF | | 6528 SF | |

| No. | Descrip. | Date |
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file GFA AREA DIAGRAMS PROPOSED
project 17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale As indicated

issue date 03.14.22

PERMIT PLAN

Sheet no.
A021

4 THIRD FLOOR
3/16" = 1'-0"

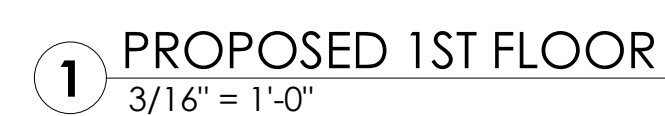
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3 SECOND FLOOR
3/16" = 1'-0"

2 FIRST FLOOR
3/16" = 1'-0"

1 BASEMENT
3/16" = 1'-0"



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17 ALVESTON STREET, JAMAICA PLAIN MA



MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN.
EXCEPTIONS PER MA CODE 781 C.M.R.
GRADE OR BELOW NCO 5.0 SF MIN
SINGLE OR DOUBLE HUNG NCO 3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN.
NET OPENING WIDTH 20" MIN.
WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION
MUST BE OBTAINED BY THE NORMAL OPERATION OF THE
EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

EGRESS DOORS

PER IRC R311.2; R311.3

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT
DOOR STYLE SIDE HINGED
CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE
DOOR AND STOP WITH THE DOOR OPEN 90 DEG.

CLEAR HEIGHT 6'-6" (72") MIN MEASURED FROM THE TOP OF THE
THRESHOLD TO THE BOT. OF THE STOP

DOOR HEIGHT 6'-8"
OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE
OF THE DWELLING WITHOUT THE USE OF A KEY
OR SPECIAL KNOWLEDGE OR EFFORT

LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR
DOOR

REQUIRED FIRE RATINGS FOR
2 FAMILY STRUCTURES

FIRE PARTITIONS BETWEEN UNITS

PER IRC R302.3

DWELLING UNITS IN TWO-FAMILY DEWLLINGS SHALL BE
SEPARATED FROM EACH OTHER BY WALL AND FLOOR
ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-
RESISTANCE RATING...EXTENDED TO AND TIGHT AGAINST
THE EXTEIOR WALL (HORIZ.) AND SHALL EXTEND FROM
FOUNDATION TO UNDERSIDE OF ROOF SHEATHING
(TYPICAL)

VERTICAL, SEPARATION WALL 1 HOUR RATED
VERTICAL, BEARING WALL 1 HOUR RATED
VERTICAL, NONBEARING INTERIOR PARTITIONS 0 HOUR RATED

HORIZONTAL, FLOOR 1 HOUR RATED
HORIZONTAL, FLOOR WITHIN UNIT 0 HOUR RATED

HORIZONTAL, ROOF 0 HOUR RATED

FIRE RATED EXTERIOR WALLS

PER IRC TABLE R302.1 (1)

CONSTRUCTION, PROJECTIONS, OPENINGS AND
PENETRATIONS OF EXTERIOR WALLS FO DEWLLING UNITS SHALL
COMPLY WITH TABLE R302.1 (1).
NOTE ALL DISTANCE RANGES ARE MEASURED FROM PROPERTY
LINE TO EXTERIOR FACE OF WALL.

EXTERIOR WALL DISTANCE FROM PROPERTY LINE

0' - 5' = 1 HOUR RATED
> 5' = 0 HOUR RATED

PROJECTIONS:

0' - 2' = PROJECTIONS NOT ALLOWED
2'-5' = PROJECTIONS 1 HR RATED ON UNDERSIDE
> 5' = PROJECTIONS ALLOWED (NOT RATED)

OPENINGS IN WALLS:

0'-3' = OPENINGS NOT ALLOWED
3' - 5' = 25% OF WALL AREA MAX. ALLOWED
> 5' = UNLIMITED OPENINGS

WALL PENETRATIONS:

0' - 3' = COMPLY WITH R302.4
>3' = RATING NOT REQUIRED

FLOOR PLAN KEY

INDICATES EXISTING WALL TO REMAIN

INDICATES EXISTING WALL TO BE REMOVED

INDICATES NEW WALL. SEE WALL TYPES FOR
CONSTRUCTION INFORMATION

INDICATES NEW 1 HOUR FIRE RATED WALL. SEE WALL
TYPES FOR CONSTRUCTION INFOMRATION

ENERGY CODE - BUILDING ENVELOPE REQ.

MA AMENDMENTS 780 CMR 51.00 APPENDIX AA104 FOR
ALTERATIONS, RENOVATIONS ADDITIONS OR REPAIRS OF
EXISTING BUIDINGS 780 CMR 13.00 ENERGY EFFICIENCY TO BE
USED AS BASE CODE

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N110.1.7

INSULATION REQ. BY COMPONENT

IRC TABLE 01102.1.2 (R402.1.2)

| | |
|-----------------|-------------------------|
| FENESTRATION | U- 0.30 MAX. |
| SKYLIGHT | U- 0.55 MAX. |
| CEILING | R-49 MIN. |
| WOOD FRAME WALL | R-20 MIN. |
| MASS WALL | R-13 MIN. |
| FLOOR | R-30 MIN. |
| BASEMENT WALL | R-19 MIN. CAVITY INSUL. |
| SLAB | R-10 / 2" DEEP MIN. |
| CRAWL SPACE | R-19 MIN. CAVITY INSUL. |

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE
BUILDING PERMIT

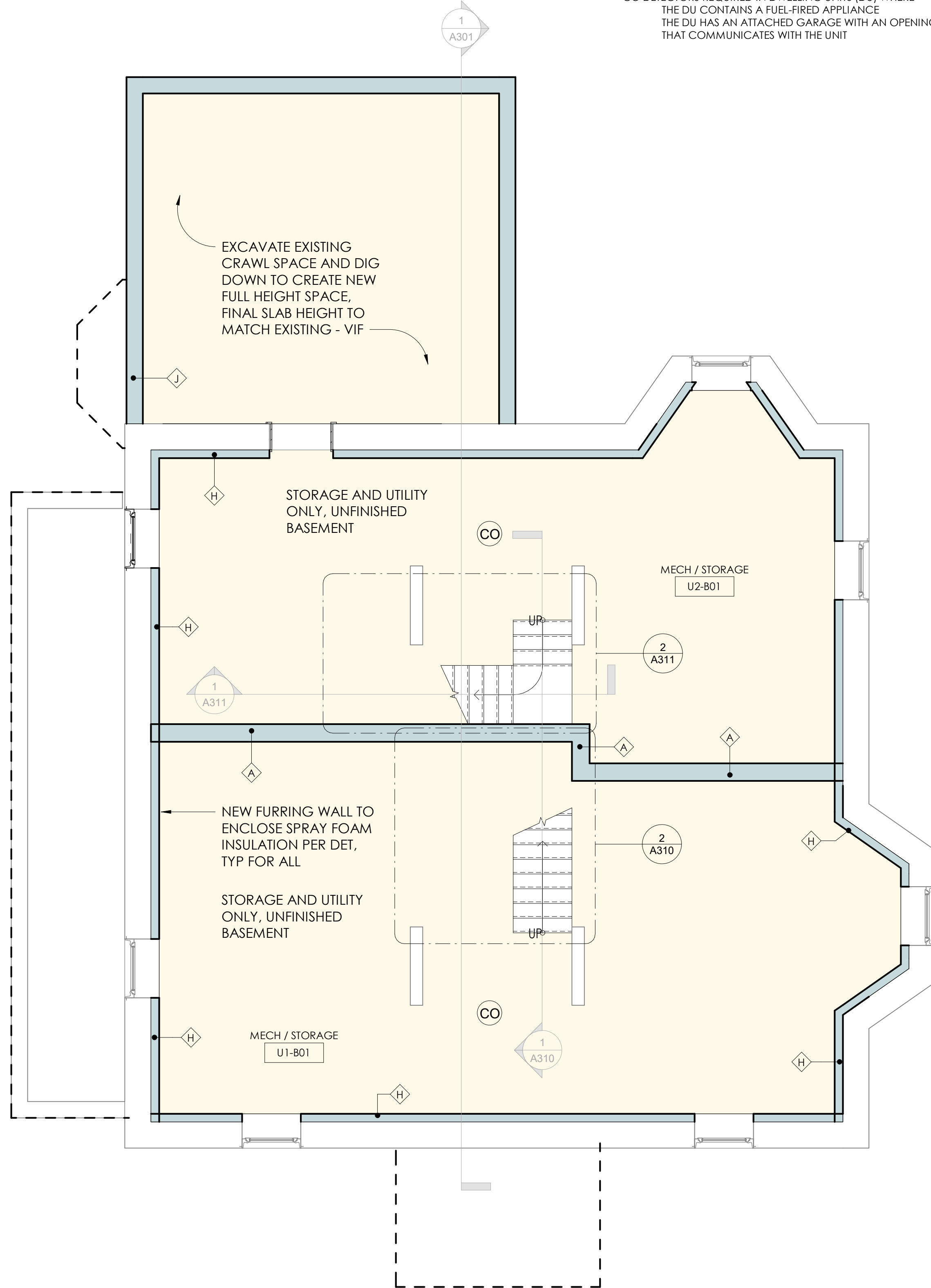
MEANS OF EGRESS - BASEMENT

WINDOW WELLS

PER IRC R310.22.3

HORIZONTAL AREA 9 SF MIN.
HORIZ. PROJECTION AND WIDTH 36" MIN. CLEAR
THE AREA OF THE WINDOW WELL MUST ALLOW THE
EMERGENCY ESCAPE AND RESCUE OPENING TO BE
FULLY OPENED.
WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN
44" MUST BE EQUIPPED WITH A PERMANENTLY AFFIXED
LADDER USEABLE WITH THE WINDOW IN THE FULLY OPEN
POSITION

LADDERS OR RUNGS INSIDE WIDTH 12" MIN
LADDER OR RUNGS PROJECTION 3" MIN. FROM WALL
LADDER OR RUNGS SPACING 18" O.C. FOR FULL HEIGHT



2 BASEMENT PROPOSED
1/4" = 1'-0"

SMOKE AND CARBON MONOXIDE DETECTORS

S SMOKE ALARM LOCATIONS

PER IRC R314.3

SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING
LOCATIONS:

- IN EACH SLEEPING ROOM
 - OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS
- EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

CO COMBO SMOKE/CARBON MONOXIDE

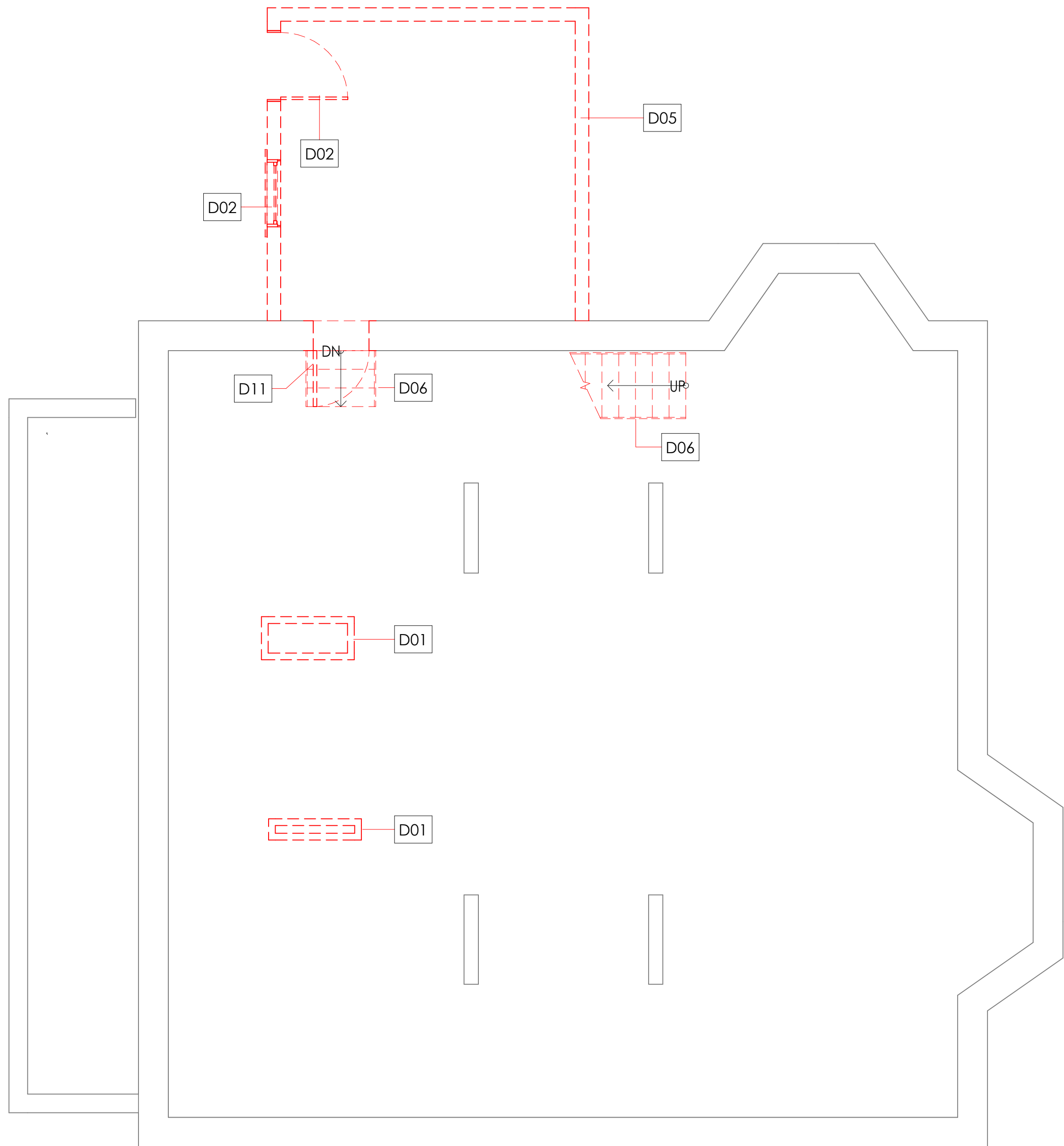
PER IRC R315

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED
OUTSIDIE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE
THE DU CONTAINS A FUEL-FIRED APPLIANCE
THE DU HAS AN ATTACHED GARAGE WITH AN OPENING
THAT COMMUNICATES WITH THE UNIT

SELECTIVE REMOVAL KEYNOTES

| KEY | DEMOLITION NOTE |
|-----|--|
| D01 | REMOVE EXISTING MASONRY CHIMNEY FROM SLAB THROUGH ROOF INCLUDING ANY FINISH FACING. |
| D02 | EXTERIOR WINDOW &/OR DOOR TO BE REMOVED. |
| D03 | EXTERIOR WALL TO BE REMOVED TO ACCOMMODATE NEW OPENING. VERIFY W STRUCTURAL FOR REQ. |
| D04 | EXISTING ROOF INCLUDING FRAMING, SHEATHING AND FINISH MATERIALS TO BE REMOVED. GC TO SALVAGE ALL UNBROKEN SLATES AND STOCKPILE IN THE BASEMENT. |
| D05 | EXISTING BACK ELL TO BE REMOVED COMPLETELY AND PREPPED FOR NEW ADDITION. |
| D06 | REMOVE EXISTING INTERIOR STAIR (COMPLETE REMOVAL) |
| D07 | REMOVE EXISTING INTERIOR WOOD WALL (FINISH ONLY) PLASTER AND LATH TO BE COMPLETELY REMOVED. FRAMING TO REMAIN TO BE DETAILED AS REQUIRED. |
| D08 | REMOVE EXISTING INTERIOR WOOD WALL (COMPLETE REMOVAL), PLASTER, LATH AND FRAMING TO BE COMPLETELY REMOVED. GC TO PROVIDE SHORING AS REQ. AT BEARING LOCATIONS. |
| D11 | EXISTING INTERIOR DOOR AND FRAME TO BE REMOVED. |
| D13 | REMOVE FLOOR AND FRAMING AS REQUIRED TO CREATE NEW OPENING (AREA SHOWN HATCHED). PROVIDE SHORING AS REQ. |
| D16 | REMOVE EXISTING FRONT DOOR AND PROTECT JAMB AND TRANSOM THROUGHOUT CONSTRUCTION. DOOR TO BE RESTORED AS REQ. |



1 BASEMENT SELECTIVE REMOVAL
1/4" = 1'-0"

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EXISTING AND PROPOSED BASEMENT PLANS

project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A101

MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN.
EXCEPTIONS PER MA CODE 781 CMR
GRADE OR BELOW NCO 5.0 SF MIN
SINGLE OR DOUBLE HUNG NCO 3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN.
NET OPENING WIDTH 20" MIN.
WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION
MUST BE OBTAINED BY THE NORMAL OPERATION OF THE
EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

EGRESS DOORS

PER IRC R311.2; R311.3

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT

DOOR STYLE SIDE HINGED
CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE
DOOR AND STOP WITH THE DOOR
OPEN 90 DEG.

CLEAR HEIGHT 6'-6" (72") MIN MEASURED FROM THE TOP OF THE
THRESHOLD TO THE BOT. OF THE STOP

DOOR HEIGHT 6'-8"
OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE
OF THE DWELLING WITHOUT THE USE OF A KEY
OR SPECIAL KNOWLEDGE OR EFFORT

LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR
DOOR

ENERGY CODE - BUILDING ENVELOPE REQ.

MA AMENDMENTS 780 CMR 51.00 APPENDIX AA104 FOR
ALTERATIONS, RENOVATIONS ADDITIONS OR REPAIRS OF
EXISTING BUIDINGS 780 CMR 13.00 ENERGY EFFICIENCY TO BE
USED AS BASE CODE

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N110.1.7

INSULATION REQ. BY COMPONENT
IRC TABLE 01102.1.2 (R402.1.2)

| | |
|-----------------|-------------------------|
| FENESTRATION | U- 0.30 MAX. |
| SKYLIGHT | U- 0.55 MAX. |
| CEILING | R-49 MIN |
| WOOD FRAME WALL | R-20 MIN. |
| MASS WALL | R-13 MIN. |
| FLOOR | R-30 MIN |
| BASEMENT WALL | R-19 MIN. CAVITY INSUL. |
| SLAB | R-10 / 2" DEEP MIN. |
| CRAWL SPACE | R-19 MIN. CAVITY INSUL. |

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE
BUILDING PERMIT

SMOKE AND CARBON MONOXIDE DETECTORS

S SMOKE ALARM LOCATIONS
PER IRC R314.3

SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING
LOCATIONS:

- IN EACH SLEEPING ROOM
 - OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS
- EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

CO COMBO SMOKE/CARBON MONOXIDE
PER IRC R315

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED
OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE
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SELECTIVE REMOVAL KEYNOTES

| KEY | DEMOLITION NOTE |
|-----|--|
| D01 | REMOVE EXISTING MASONRY CHIMNEY FROM SLAB THROUGH ROOF INCLUDING ANY FINISH FACING. |
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REQUIRED FIRE RATINGS FOR
2 FAMILY STRUCTURES

FIRE PARTITIONS BETWEEN UNITS

PER IRC R302.3

DWELLING UNITS IN TWO-FAMILY DEWLLINGS SHALL BE
SEPARATED FROM EACH OTHER BY WALL AND FLOOR
ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-
RESISTANCE RATING...EXTENDED TO AND TIGHT AGAINST
THE EXTERIOR WALL (HORIZ.) AND SHALL EXTEND FROM
FOUNDATION TO UNDERSIDE OF ROOF SHEATHING
(VERTICAL)

VERTICAL SEPARATION WALL 1 HOUR RATED
VERTICAL BEARING WALL 1 HOUR RATED
VERTICAL NONBEARING INTERIOR PARTITIONS 0 HOUR RATED

HORIZONTAL FLOOR 1 HOUR RATED
HORIZONTAL FLOOR WITHIN UNIT 0 HOUR RATED

HORIZONTAL ROOF 0 HOUR RATED

FIRE RATED EXTERIOR WALLS

PER IRC TABLE R302.1(1)

CONSTRUCTION, PROJECTIONS, OPENINGS AND
PENETRATIONS OF EXTERIOR WALLS FO DEWLLING UNITS SHALL
COMPLY WITH TABLE R302.1 (1).
NOTE ALL DISTANCE RANGES ARE MEASURED FROM PROPERTY
LINE TO EXTERIOR FACE OF WALL.

EXTERIOR WALL DISTANCE FROM PROPERTY LINE

0' - 5' = 1 HOUR RATED
> 5' = 0 HOUR RATED

PROJECTIONS:

0' - 2' = PROJECTIONS NOT ALLOWED
2'-5' = PROJECTIONS 1 HR RATED ON UNDERSIDE
> 5' = PROJECTIONS ALLOWED (NOT RATED)

OPENINGS IN WALLS:

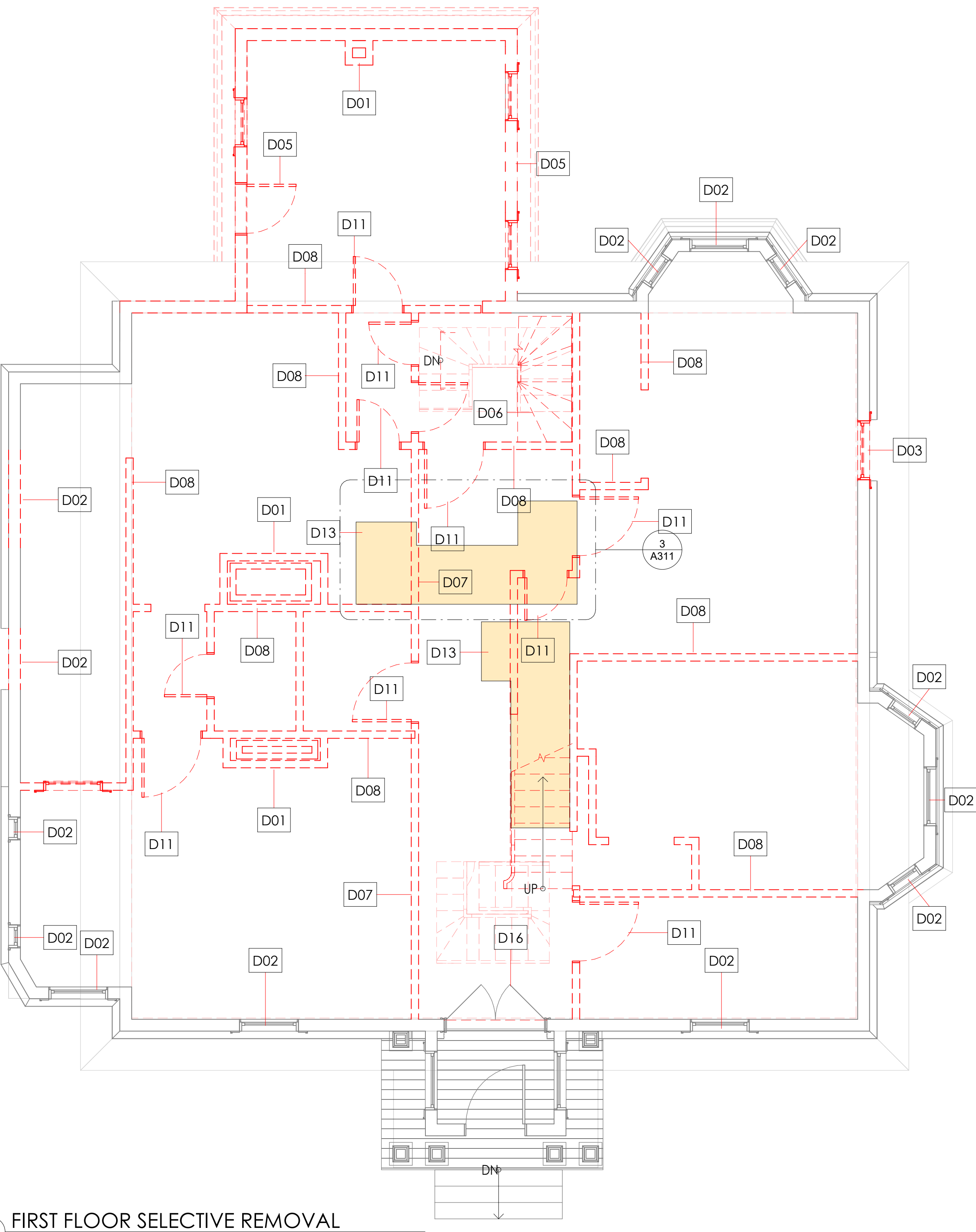
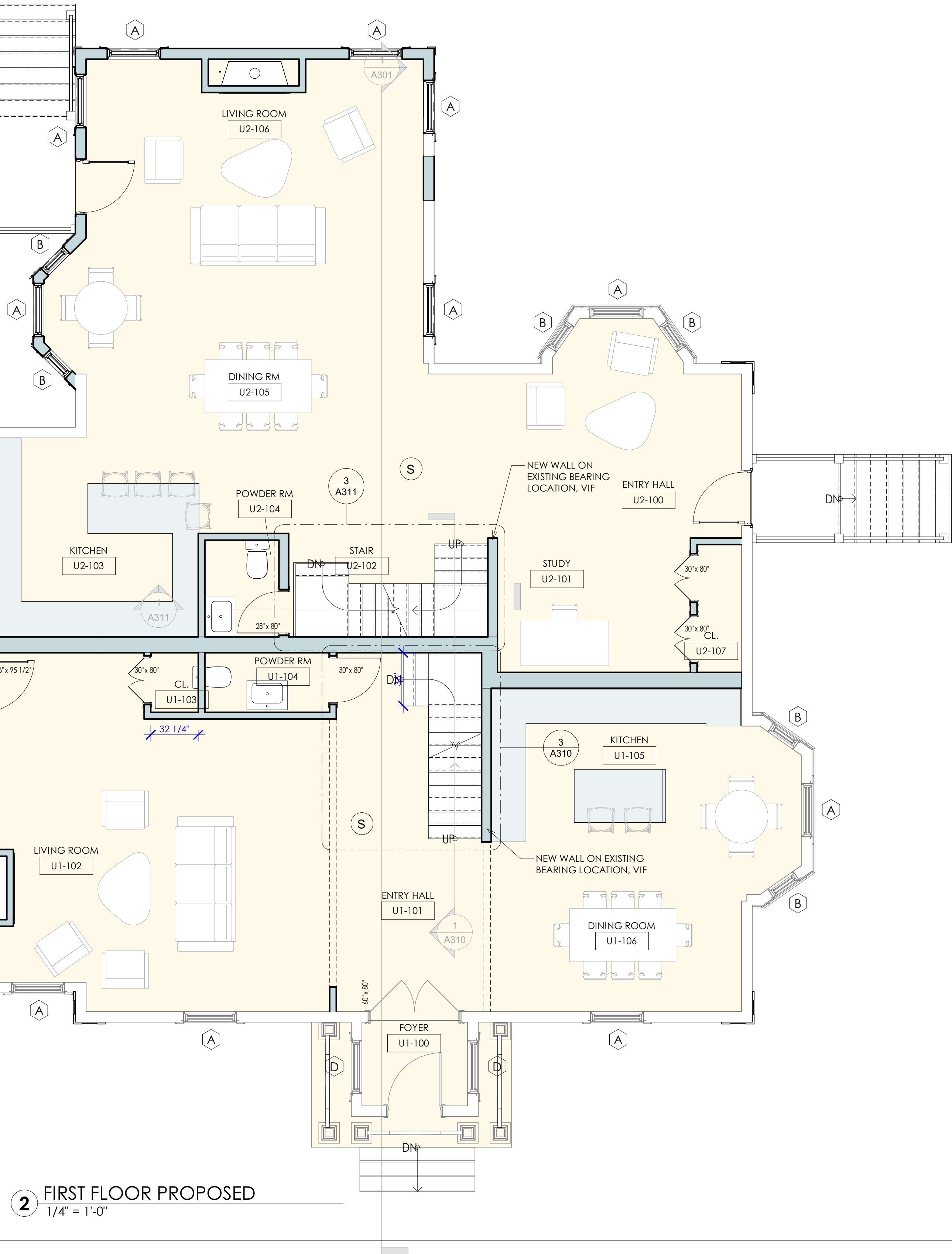
0'-3' = OPENINGS NOT ALLOWED
3' - 5' = 25% OF WALL AREA MAX. ALLOWED
> 5' = UNLIMITED OPENINGS

WALL PENETRATIONS:

0' - 3' = COMPLY WITH R302.4
>3' = RATING NOT REQUIRED

FLOOR PLAN KEY

- INDICATES EXISTING WALL TO REMAIN
- - - - - INDICATES EXISTING WALL TO BE REMOVED
- INDICATES NEW WALL, SEE WALL TYPES FOR CONSTRUCTION INFORMATION
- INDICATES NEW 1 HOUR FIRE RATED WALL, SEE WALL TYPES FOR CONSTRUCTION INFORMATION



| No. | Descrip. | Date |
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file
EXISTING AND PROPOSED FIRST FLOOR PLANS

project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A102

MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN.
EXCEPTIONS PER MA CODE 781 CMR
GRADE OR BELOW NCO 5.0 SF MIN
SINGLE OR DOUBLE HUNG NCO 3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN.
NET OPENING WIDTH 20" MIN.
WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION
MUST BE OBTAINED BY THE NORMAL OPERATION OF THE
EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

EGRESS DOORS

PER IRC R311.2; R311.3

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT

DOOR STYLE SIDE HINGED
CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE
DOOR AND STOP WITH THE DOOR
OPEN 90 DEG.

CLEAR HEIGHT 6'-6" (72") MIN MEASURED FROM THE TOP OF THE
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OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE
OF THE DWELLING WITHOUT THE USE OF A KEY
OR SPECIAL KNOWLEDGE OR EFFORT

LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR
DOOR

REQUIRED FIRE RATINGS FOR
2 FAMILY STRUCTURES

FIRE PARTITIONS BETWEEN UNITS

PER IRC R302.3

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ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-
RESISTANCE RATING...EXTENDED TO AND TIGHT AGAINST
THE EXTERIOR WALL (HORIZ.) AND SHALL EXTEND FROM
FOUNDATION TO UNDERSIDE OF ROOF SHEATHING
(VERTICAL)

VERTICAL SEPARATION WALL 1 HOUR RATED
VERTICAL BEARING WALL 1 HOUR RATED
VERTICAL
NONBEARING INTERIOR PARTITIONS 0 HOUR RATED

HORIZONTAL, FLOOR 1 HOUR RATED
HORIZONTAL, FLOOR WITHIN UNIT 0 HOUR RATED

HORIZONTAL, ROOF 0 HOUR RATED

FIRE RATED EXTERIOR WALLS

PER IRC TABLE R302.1(1)

CONSTRUCTION, PROJECTIONS, OPENINGS AND
PENETRATIONS OF EXTERIOR WALLS FO DWELLING UNITS SHALL
COMPLY WITH TABLE R302.1 (1).
NOTE ALL DISTANCE RANGES ARE MEASURED FROM PROPERTY
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EXTERIOR WALL DISTANCE FROM PROPERTY LINE

0' - 5' = 1 HOUR RATED
> 5' = 0 HOUR RATED

PROJECTIONS:

0' - 2' = PROJECTIONS NOT ALLOWED
2'-5' = PROJECTIONS 1 HR RATED ON UNDERSIDE
> 5' = PROJECTIONS ALLOWED (NOT RATED)

OPENINGS IN WALLS:

0'-3' = OPENINGS NOT ALLOWED
3' - 5' = 25% OF WALL AREA MAX. ALLOWED
> 5' = UNLIMITED OPENINGS

WALL PENETRATIONS:

0' - 3' = COMPLY WITH R302.4
>3' = RATING NOT REQUIRED

FLOOR PLAN KEY

INDICATES EXISTING WALL TO REMAIN

INDICATES EXISTING WALL TO BE REMOVED

INDICATES NEW WALL. SEE WALL TYPES FOR
CONSTRUCTION INFORMATION

INDICATES NEW 1 HOUR FIRE RATED WALL. SEE WALL
TYPES FOR CONSTRUCTION INFORMATION

ENERGY CODE - BUILDING ENVELOPE REQ.

MA AMENDMENTS 780 CMR 51.00 APPENDIX AA104 FOR
ALTERATIONS, RENOVATIONS ADDITIONS OR REPAIRS OF
EXISTING BUIDINGS 780 CMR 13.00 ENERGY EFFICIENCY TO BE
USED AS BASE CODE

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N110.1.7

INSULATION REQ. BY COMPONENT
IRC TABLE 01102.1.2 (R402.1.2)

FENESTRATION U- 0.30 MAX.
SKYLIGHT U- 0.55 MAX.
CEILING R-49 MIN
WOOD FRAME WALL R-20 MIN.
MASS WALL R-13 MIN.
FLOOR R-30 MIN
BASEMENT WALL R-19 MIN. CAVITY INSUL.
SLAB R-10 / 2" DEEP MIN.
CRAWL SPACE R-19 MIN. CAVITY INSUL.

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE
BUILDING PERMIT

SMOKE AND CARBON MONOXIDE DETECTORS

S SMOKE ALARM LOCATIONS
PER IRC R314.3

SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING
LOCATIONS:

- IN EACH SLEEPING ROOM
 - OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS
- EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

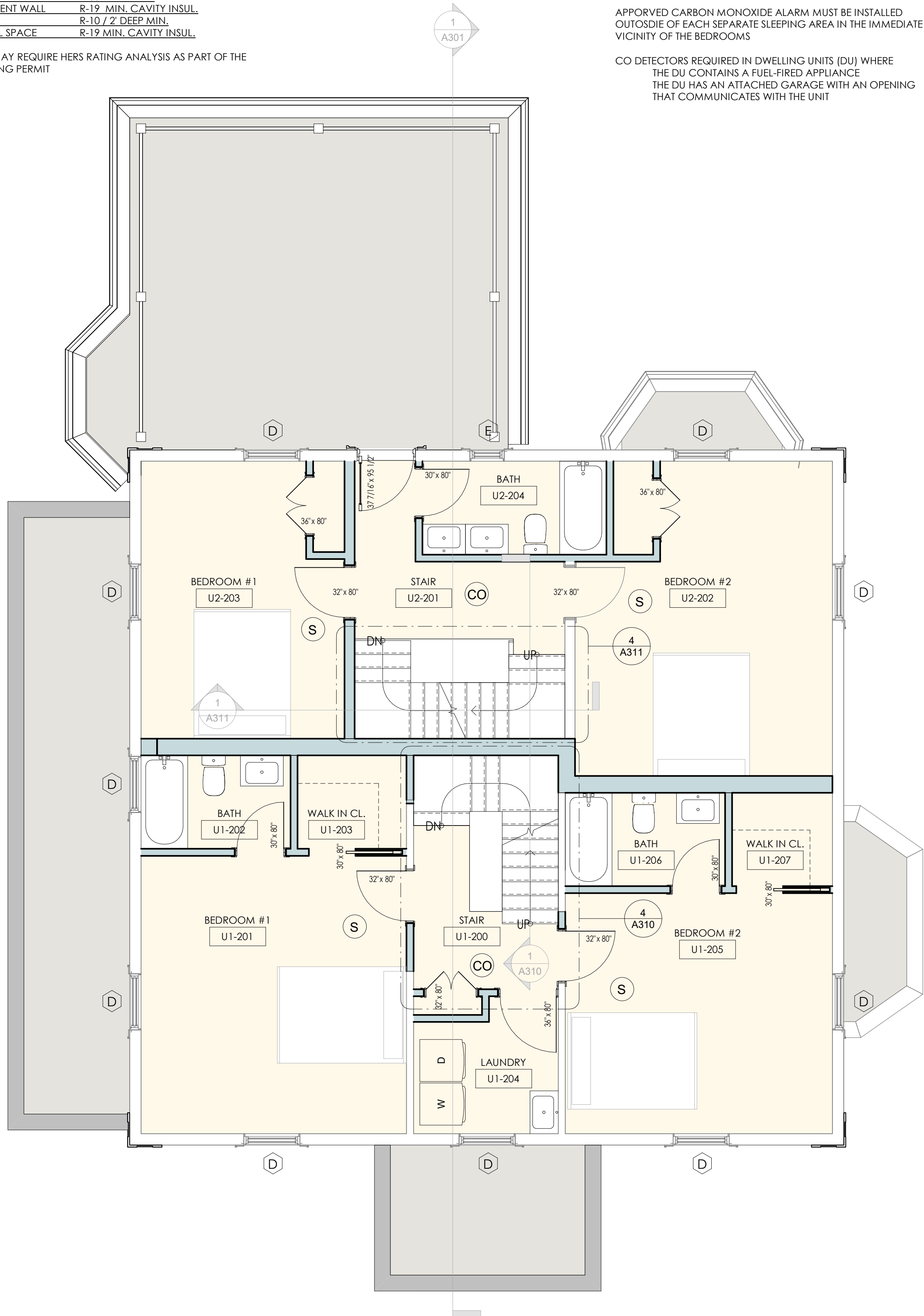
CO COMBO SMOKE/CARBON MONOXIDE
PER IRC R315

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED
OUTSIDIE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS

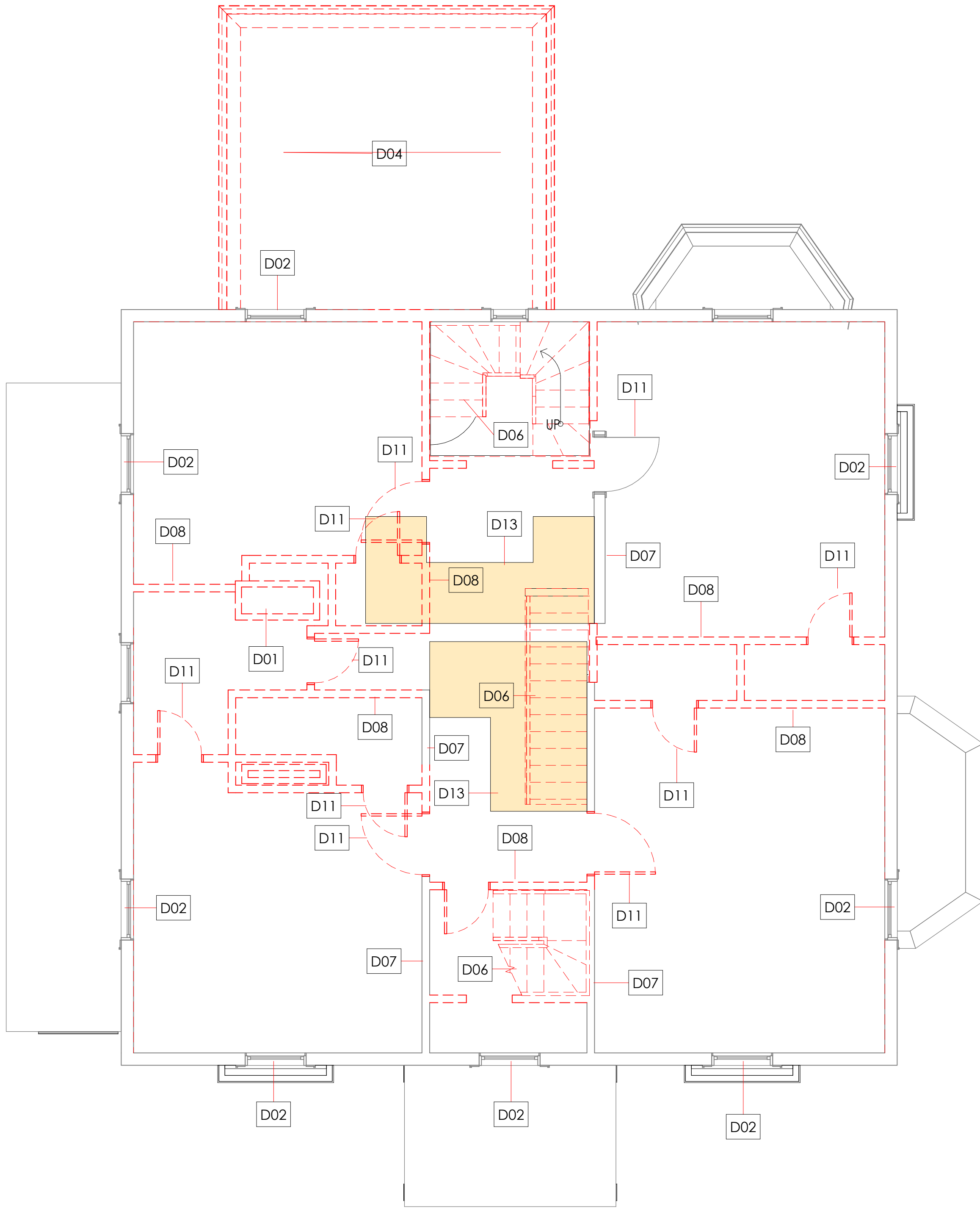
CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE
THE DU CONTAINS A FUEL-FIRED APPLIANCE
THE DU HAS AN ATTACHED GARAGE WITH AN OPENING
THAT COMMUNICATES WITH THE UNIT

SELECTIVE REMOVAL KEYNOTES

| KEY | DEMOLITION NOTE |
|-----|--|
| D01 | REMOVE EXISTING MASONRY CHIMNEY FROM SLAB THROUGH ROOF INCLUDING ANY FINISH FACING. |
| D02 | EXTERIOR WINDOW &/OR DOOR TO BE REMOVED. |
| D03 | EXTERIOR WALL TO BE REMOVED TO ACCOMMODATE NEW OPENING. VERIFY W STRUCTURAL FOR REQ. |
| D04 | EXISTING ROOF INCLUDING FRAMING, SHEATHING AND FINISH MATERIALS TO BE REMOVED. GC TO SALVAGE ALL UNBROKEN SLATES AND STOCKPILE IN THE BASEMENT. |
| D05 | EXISTING BACK ELL TO BE REMOVED COMPLETELY AND PREPPED FOR NEW ADDITION. |
| D06 | REMOVE EXISTING INTERIOR STAIR (COMPLETE REMOVAL) |
| D07 | REMOVE EXISTING INTERIOR WOOD WALL (FINISH ONLY) PLASTER AND LATH TO BE COMPLETELY REMOVED. FRAMING TO REMAIN TO BE DETAILED AS REQUIRED. |
| D08 | REMOVE EXISTING INTERIOR WOOD WALL (COMPLETE REMOVAL), PLASTER, LATH AND FRAMING TO BE COMPLETELY REMOVED. GC TO PROVIDE SHORING AS REQ. AT BEARING LOCATIONS. |
| D11 | EXISTING INTERIOR DOOR AND FRAME TO BE REMOVED. |
| D13 | REMOVE FLOOR AND FRAMING AS REQUIRED TO CREATE NEW OPENING (AREA SHOWN HATCHED). PROVIDE SHORING AS REQ. |
| D16 | REMOVE EXISTING FRONT DOOR AND PROTECT JAMB AND TRANSOM THROUGHOUT CONSTRUCTION. DOOR TO BE RESTORED AS REQ. |



2 SECOND FLOOR PROPOSED
1/4" = 1'-0"



1 SECOND FLOOR SELECTIVE REMOVAL
1/4" = 1'-0"

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

file
EXISTING AND PROPOSED SECOND FLOOR PLANS

project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A103

MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN.
EXCEPTIONS PER MA CODE 781 CMR
GRADE OR BELOW NCO 5.0 SF MIN
SINGLE OR DOUBLE HUNG NCO 3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN.
NET OPENING WIDTH 20" MIN.
WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION
MUST BE OBTAINED BY THE NORMAL OPERATION OF THE
EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

EGRESS DOORS

PER IRC R311.2; R311.3

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT

DOOR STYLE SIDE HINGED
CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE
DOOR AND STOP WITH THE DOOR
OPEN 90 DEG.

CLEAR HEIGHT 6'-6" (72") MIN MEASURED FROM THE TOP OF THE
THRESHOLD TO THE BOT. OF THE STOP

DOOR HEIGHT 6'-8"
OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE
OF THE DWELLING WITHOUT THE USE OF A KEY
OR SPECIAL KNOWLEDGE OR EFFORT

LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR
DOOR

ENERGY CODE - BUILDING ENVELOPE REQ.

MA AMENDMENTS 780 CMR 51.00 APPENDIX AA104 FOR
ALTERATIONS, RENOVATIONS ADDITIONS OR REPAIRS OF
EXISTING BUIDINGS 780 CMR 13.00 ENERGY EFFICIENCY TO BE
USED AS BASE CODE

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N110.1.7

INSULATION REQ. BY COMPONENT
IRC TABLE 01102.1.2 (R402.1.2)

| | |
|-----------------|-------------------------|
| FENESTRATION | U- 0.30 MAX. |
| SKYLIGHT | U- 0.55 MAX. |
| CEILING | R-49 MIN. |
| WOOD FRAME WALL | R-20 MIN. |
| MASS WALL | R-13 MIN. |
| FLOOR | R-30 MIN. |
| BASEMENT WALL | R-19 MIN. CAVITY INSUL. |
| SLAB | R-10 / 2" DEEP MIN. |
| CRAWL SPACE | R-19 MIN. CAVITY INSUL. |

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE
BUILDING PERMIT

SMOKE AND CARBON MONOXIDE DETECTORS

S SMOKE ALARM LOCATIONS
PER IRC R314.3

SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING
LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- ON EACH ADDITIONL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS

CO COMBO SMOKE/CARBON MONOXIDE
PER IRC R315

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED
OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE
THE DU CONTAINS A FUEL-FIRED APPLIANCE
THE DU HAS AN ATTACHED GARAGE WITH AN OPENING
THAT COMMUNICATES WITH THE UNIT

SELECTIVE REMOVAL KEYNOTES

| KEY | DEMOLITION NOTE |
|-----|--|
| D01 | REMOVE EXISTING MASONRY CHIMNEY FROM SLAB THROUGH ROOF INCLUDING ANY FINISH FACING. |
| D02 | EXTERIOR WINDOW &/OR DOOR TO BE REMOVED. |
| D03 | EXTERIOR WALL TO BE REMOVED TO ACCOMMODATE NEW OPENING. VERIFY W STRUCTURAL FOR REQ. |
| D04 | EXISTING ROOF INCLUDING FRAMING, SHEATHING AND FINISH MATERIALS TO BE REMOVED. GC TO SALVAGE ALL UNBROKEN SLATES AND STOCKPILE IN THE BASEMENT. |
| D05 | EXISTING BACK ELL TO BE REMOVED COMPLETELY AND PREPPED FOR NEW ADDITION. |
| D06 | REMOVE EXISTING INTERIOR STAIR (COMPLETE REMOVAL) |
| D07 | REMOVE EXISTING INTERIOR WOOD WALL (FINISH ONLY).PLASTER AND LATH TO BE COMPLETELY REMOVED. FRAMING TO REMAIN TO BE DETAILED AS REQUIRED. |
| D08 | REMOVE EXISTING INTERIOR WOOD WALL (COMPLETE REMOVAL). PLASTER, LATH AND FRAMING TO BE COMPLETELY REMOVED. GC TO PROVIDE SHORING AS REQ. AT BEARING LOCATIONS. |
| D11 | EXISTING INTERIOR DOOR AND FRAME TO BE REMOVED. |
| D13 | REMOVE FLOOR AND FRAMING AS REQUIRED TO CREATE NEW OPENING (AREA SHOWN HATCHED). PROVIDE SHORING AS REQ. |
| D16 | REMOVE EXISTING FRONT DOOR AND PROTECT JAMB AND TRANSOM THROUGHOUT CONSTRUCTION. DOOR TO BE RESTORED AS REQ. |

REQUIRED FIRE RATINGS FOR
2 FAMILY STRUCTURES

FIRE PARTITIONS BETWEEN UNITS

PER IRC R302.3

DWELLING UNITS IN TWO-FAMILY DEWLLINGS SHALL BE
SEPARATED FROM EACH OTHER BY WALL AND FLOOR
ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-
RESISTANCE RATING...EXTENDED TO AND TIGHT AGAINST
THE EXTERIOR WALL (HORIZ.) AND SHALL EXTEND FROM
FOUNDATION TO UNDERSIDE OF ROOF SHEATHING
(VERTICAL)

VERTICAL SEPARATION WALL 1 HOUR RATED
VERTICAL BEARING WALL 1 HOUR RATED
VERTICAL NONBEARING INTERIORS PARTITIONS 0 HOUR RATED

HORIZONTAL FLOOR 1 HOUR RATED
HORIZONTAL FLOOR WITHIN UNIT 0 HOUR RATED

HORIZONTAL, ROOF 0 HOUR RATED

FIRE RATED EXTERIOR WALLS

PER IRC TABLE R302.1(1)

CONSTRUCTION, PROJECTIONS, OPENINGS AND
PENETRATIONS OF EXTERIOR WALLS FO DEWLLING UNITS SHALL
COMPLY WITH TABLE R302.1 (1).
NOTE ALL DISTANCE RANGES ARE MEASURED FROM PROPERTY
LINE TO EXTERIOR FACE OF WALL.

EXTERIOR WALL DISTANCE FROM PROPERTY LINE

0' - 5' = 1 HOUR RATED
> 5' = 0 HOUR RATED

PROJECTIONS:

0' - 2' = PROJECTIONS NOT ALLOWED
2'-5' = PROJECTIONS 1 HR RATED ON UNDERSIDE
> 5' = PROJECTIONS ALLOWED (NOT RATED)

OPENINGS IN WALLS:

0'-3' = OPENINGS NOT ALLOWED
3' - 5' = 25% OF WALL AREA MAX. ALLOWED
> 5' = UNLIMITED OPENINGS

WALL PENETRATIONS:

0' - 3' = COMPLY WITH R302.4
>3' = RATING NOT REQUIRED

FLOOR PLAN KEY

- INDICATES EXISTING WALL TO REMAIN
- INDICATES EXISTING WALL TO BE REMOVED
- INDICATES NEW WALL. SEE WALL TYPES FOR CONSTRUCTION INFORMATION
- INDICATES NEW 1 HOUR FIRE RATED WALL. SEE WALL TYPES FOR CONSTRUCTION INFORMATION

2 THIRD FLOOR PROPOSED
1/4" = 1'-0"

1 THIRD FLOOR SELECTIVE REMOVAL
1/4" = 1'-0"

| No. | Descrip. | Date |
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Development
300 1st AVENUE
NEEDHAM, MA 02494

file
EXISTING AND PROPOSED THIRD FLOOR PLANS
project
17 ALVESTON STREET, JAMAICA PLAIN MA



Kelly Boucher Architecture
kelly@boucherarchitecture.com
phone: (617) 827-3527

job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A104

Professional Engineer Seal for Kelly Boucher, No. 951244, Commonwealth of Massachusetts. The seal is circular with a serrated edge. The text around the top reads "REGISTERED ARCHITECT" and "KELLY BOUCHER". The text around the bottom reads "COMMONWEALTH OF MASSACHUSETTS". In the center, it says "No. 951244" and "SCHEMILLER, MA". A blue ink signature is written across the seal.

| | |
|---|----------------|
| <p>EXISTING AND PROPOSED ROOF PLANS</p> | <p>project</p> |
| <p>17 ALVESTON STREET, JAMAICA PLAIN MA</p> | |



scale $1/4" = 1'-0"$

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| issue date | 03.14.22 |
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PERMIT PLAN

Sheet no.
A105

ROOF PLAN SELECTIVE REMOVAL
1/4" = 1'-0"

ENERGY CODE - BUILDING ENVELOPE REQ.

MA AMENDMENTS 780 CMR 51.00 APPENDEX AA104 FOR
ALTERATIONS, RENOCATIONS ADDITIONS OR REPAIRS OF
EXSITING BUIDINGS 780 CMR 13.00 ENERGY EFFICIENCY TO BE
USED AS BASE CODE

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N110.1.7

INSULATION REQ. BY COMPONENT

IRC TABLE 01102.1.2 (R402.1.2)

| | |
|-----------------|-------------------------|
| FENESTRATION | U- 0.30 MAX. |
| SKYLIGHT | U- 0.55 MAX. |
| CEILING | R-49 MIN. |
| WOOD FRAME WALL | R-20 MIN. |
| MASS WALL | R-13 MIN. |
| FLOOR | R-30 MIN. |
| BASEMENT WALL | R-19 MIN. CAVITY INSUL. |
| SLAB | R-10 / 2" DEEP MIN. |
| CRAWL SPACE | R-19 MIN. CAVITY INSUL. |

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE BUILDING PERMIT

FLOOR PLAN KEY

===== INDICATES EXISTING WALL TO REMAIN

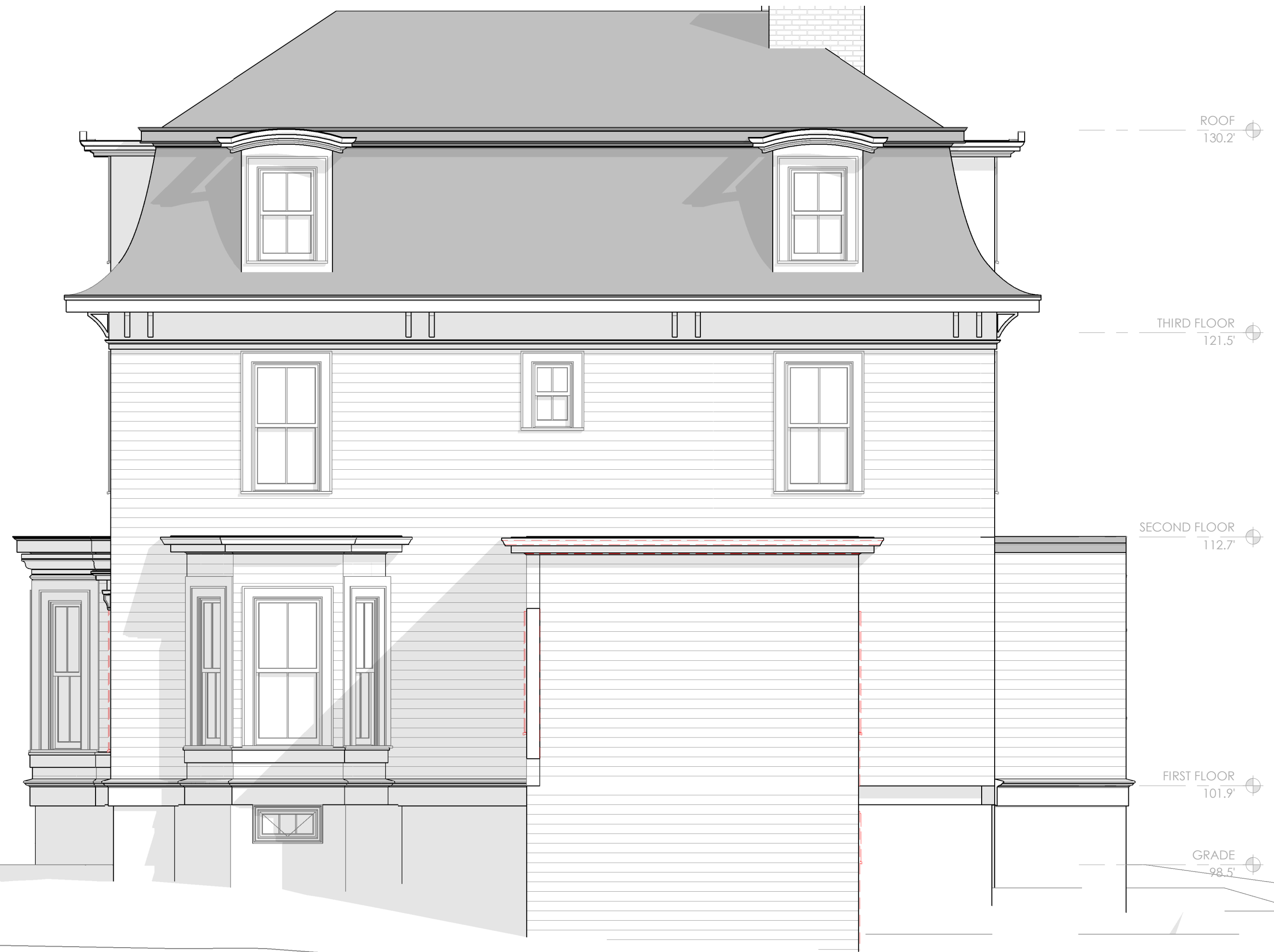
--- INDICATES EXISTING WALL TO BE REMOVED

 INDICATES NEW WALL, SEE WALL TYPES FOR CONSTRUCTION INFORMATION

 INDICATES NEW 1 HOUR FIRE RATED WALL, SEE WALL TYPES FOR CONSTRUCTION INFORMATION

2 ROOF PLAN PROPOSED
1/4" = 1'-0"

ALT1316705



4 EXISTING NORTH ELEVATION (REAR)
1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION (FRONT)
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION (REAR)
1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION (FRONT)
1/4" = 1'-0"

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300 1st AVENUE
NEEDHAM, MA 02494

file
EXISTING & PROPOSED ELEVATIONS

project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A201



4 EXISTING EAST ELEVATION (DRIVEWAY SIDE)
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION (DRIVEWAY SIDE)
1/4" = 1'-0"

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

title
EXISTING & PROPOSED ELEVATIONS
project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A202

ALT1316705

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2 EXISTING WEST ELEVATION (LEFT SIDE)
1/4" = 1'-0"



1 PROPOSED WEST ELEVATION (LEFT SIDE)
1/4" = 1'-0"

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300 1st AVENUE
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file EXISTING AND PROPOSED ELEVATIONS

project 17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

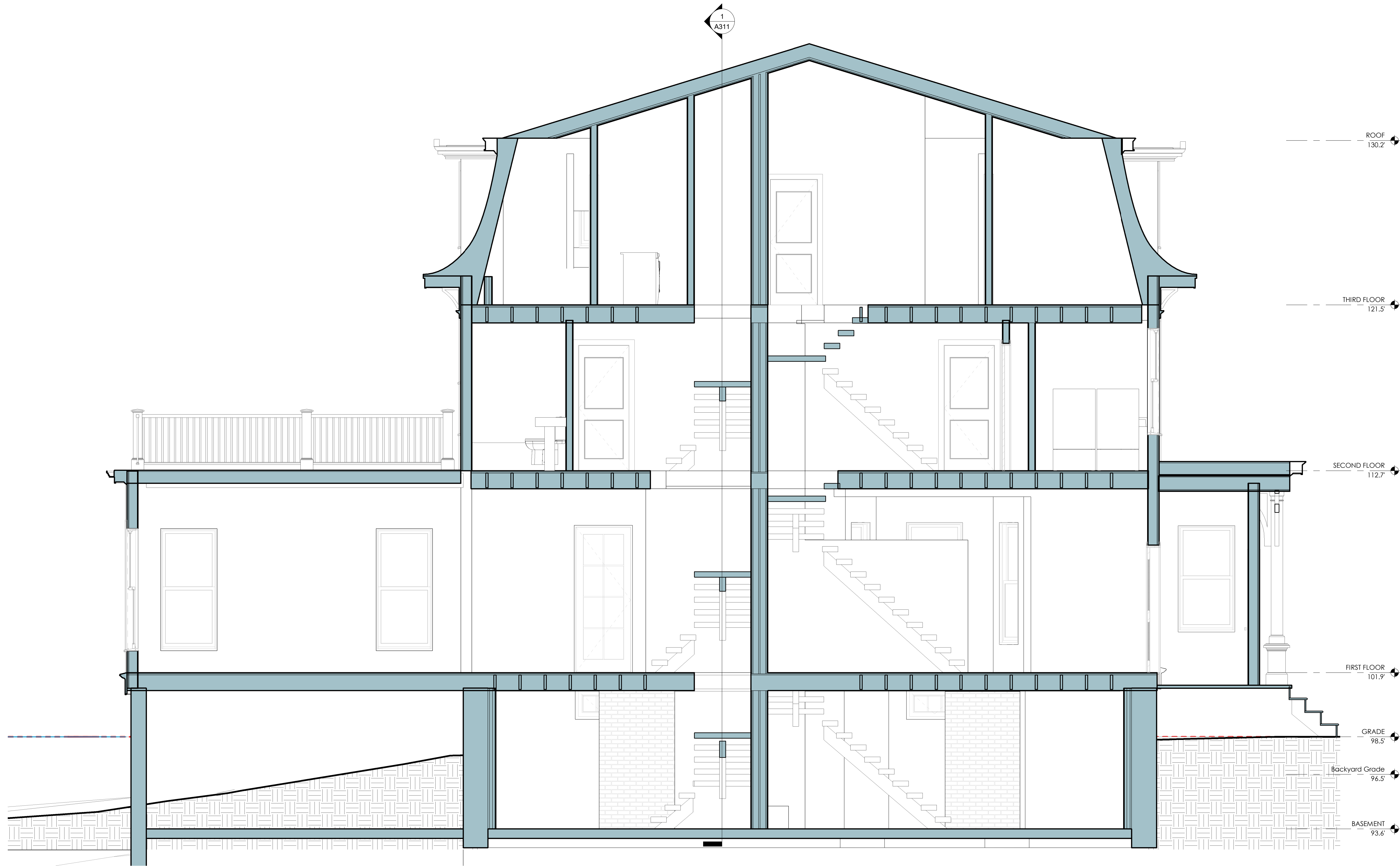
scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A203

ALT1316705



1 LONGITUDINAL SECTION
3/8" = 1'-0"

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

file BUILDING SECTION
project 17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 3/8" = 1'-0"

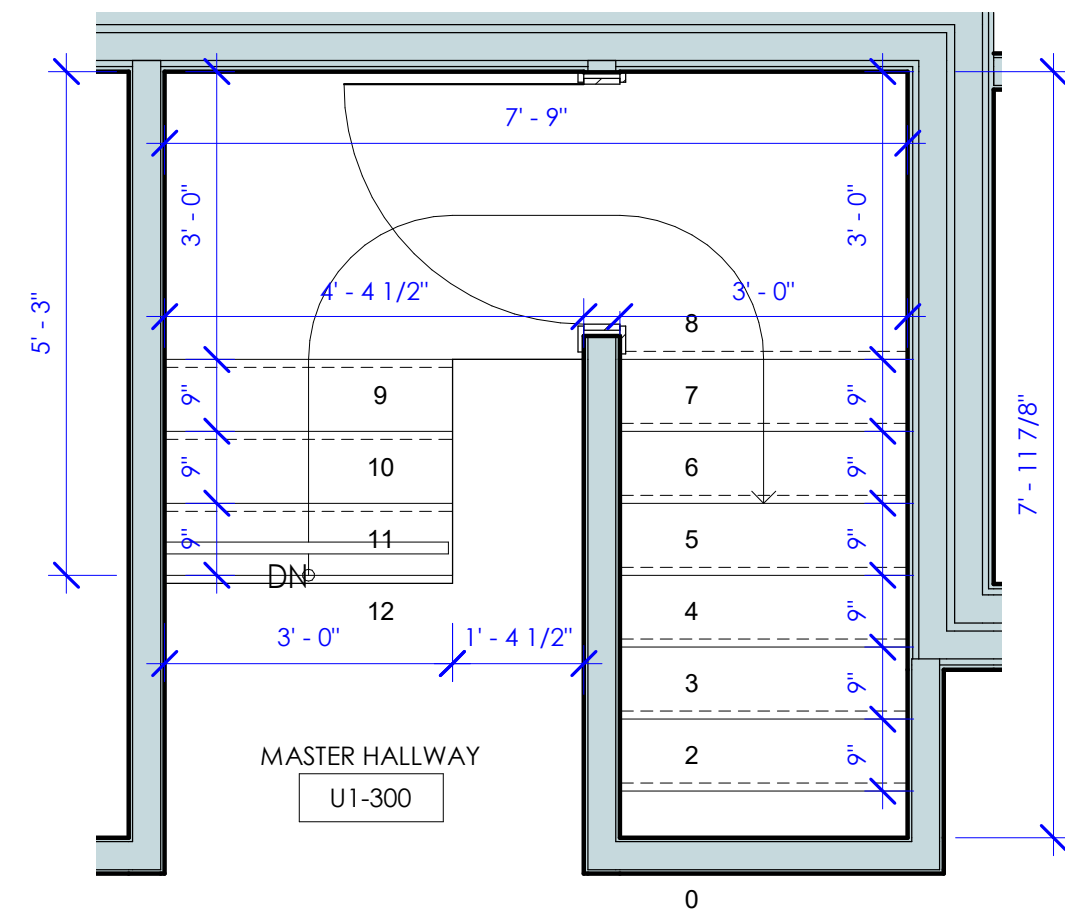
issue date 03.14.22

PERMIT PLAN

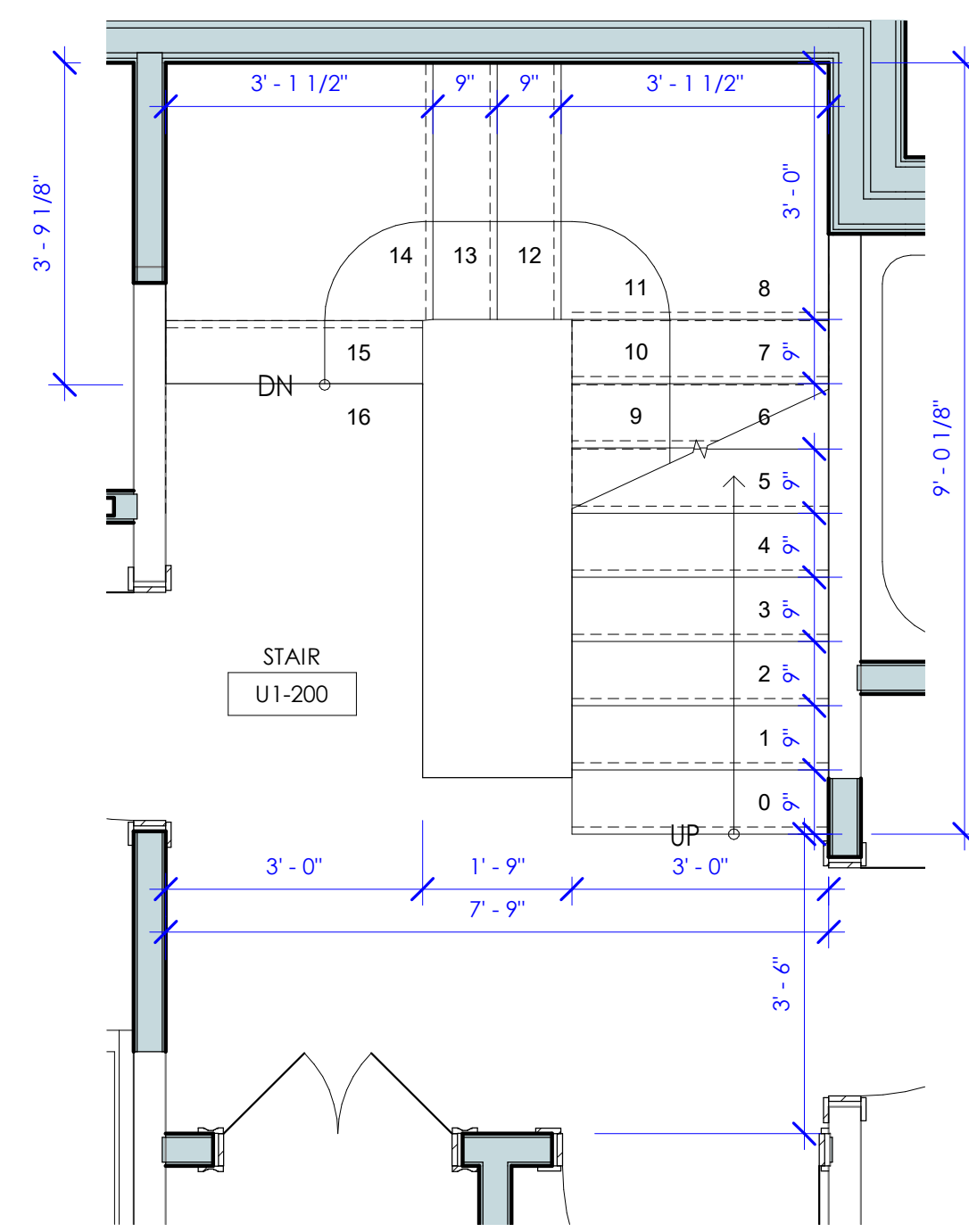
Sheet no.
A301

ALT1316705

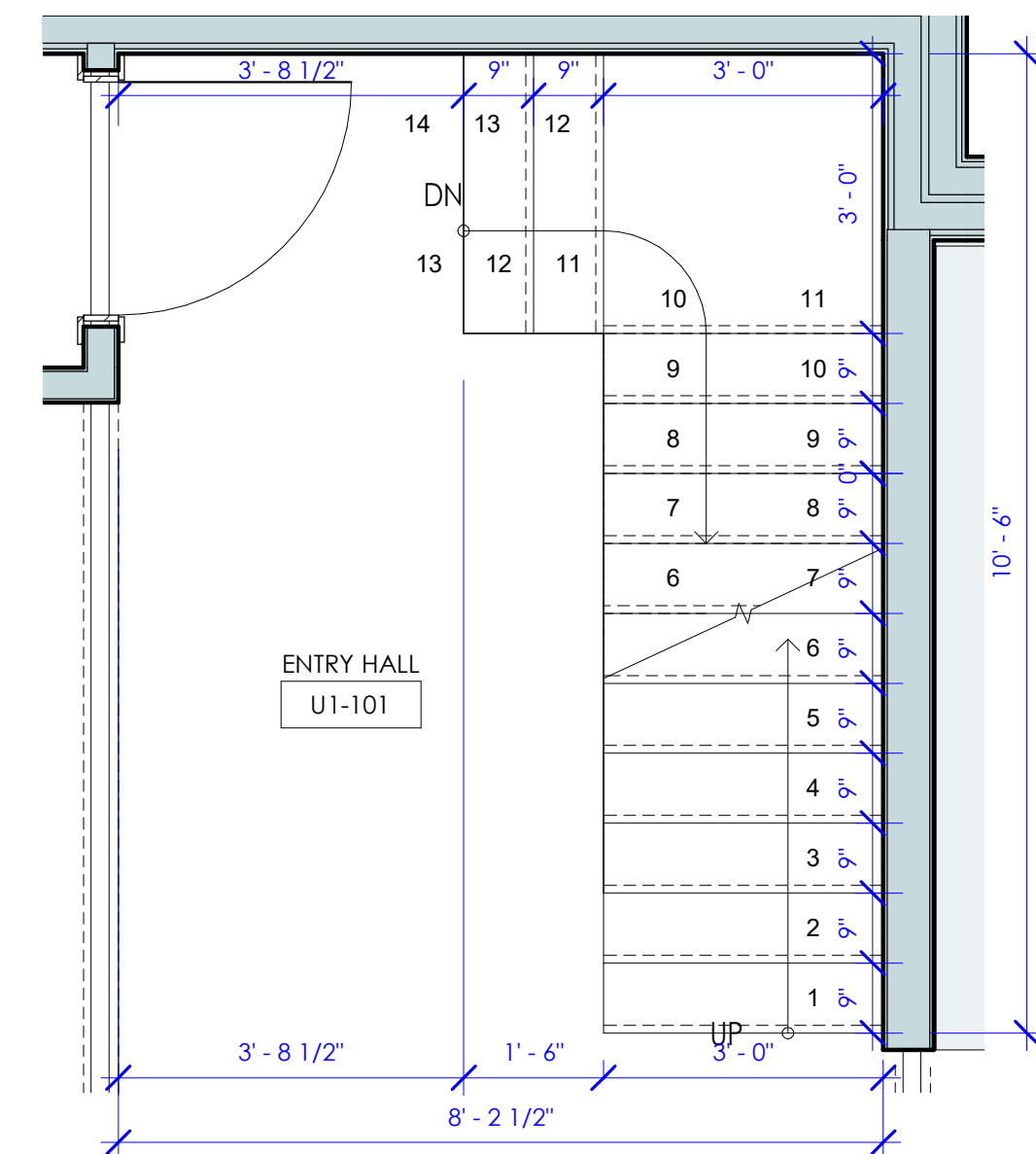
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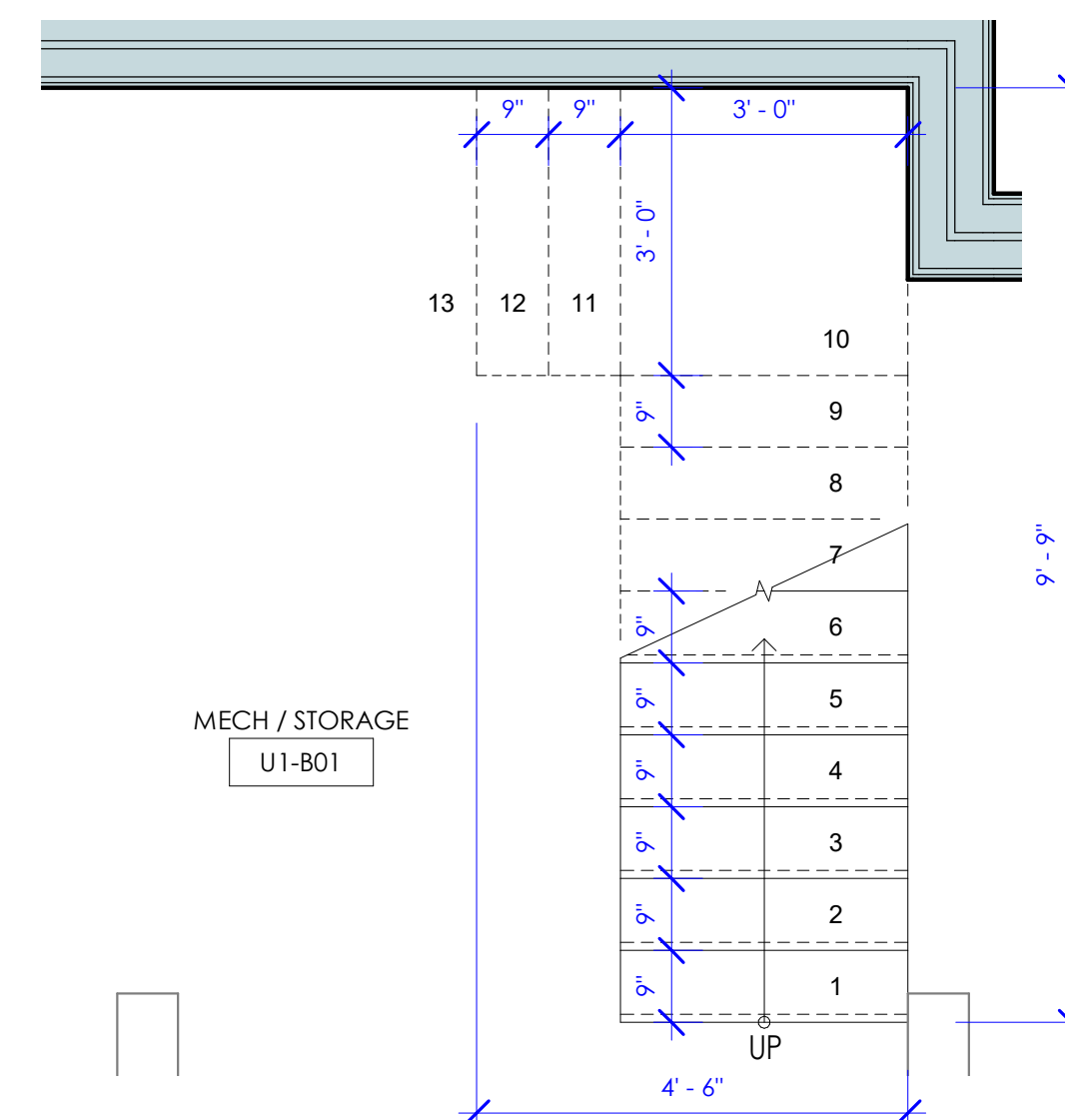
5 UNIT 1 STAIR - THIRD FLOOR
1/2" = 1'-0"



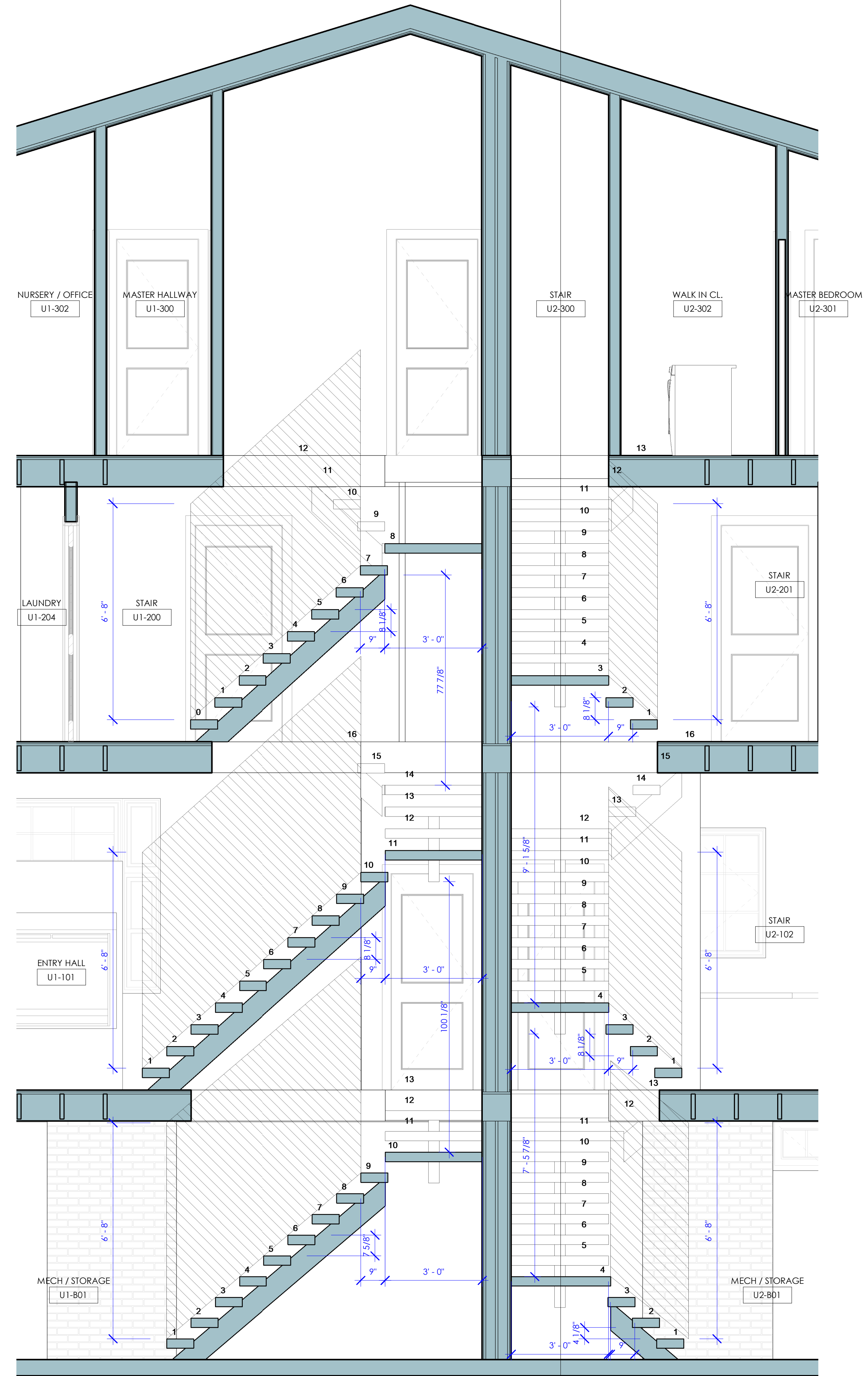
4 UNIT 1 STAIR - SECOND FLOOR
1/2" = 1'-0"



3 UNIT 1 STAIR - FIRST FLOOR
1/2" = 1'-0"

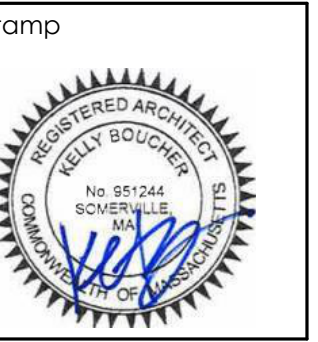


2 UNIT 1 STAIR - BASEMENT
1/2" = 1'-0"



1 STAIR SECTION - UNIT 1
1/2" = 1'-0"

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

title
UNIT 1 - STAIR SECTION AND ENLARGED PLANS

project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number
21-023

scale
1/2" = 1'-0"

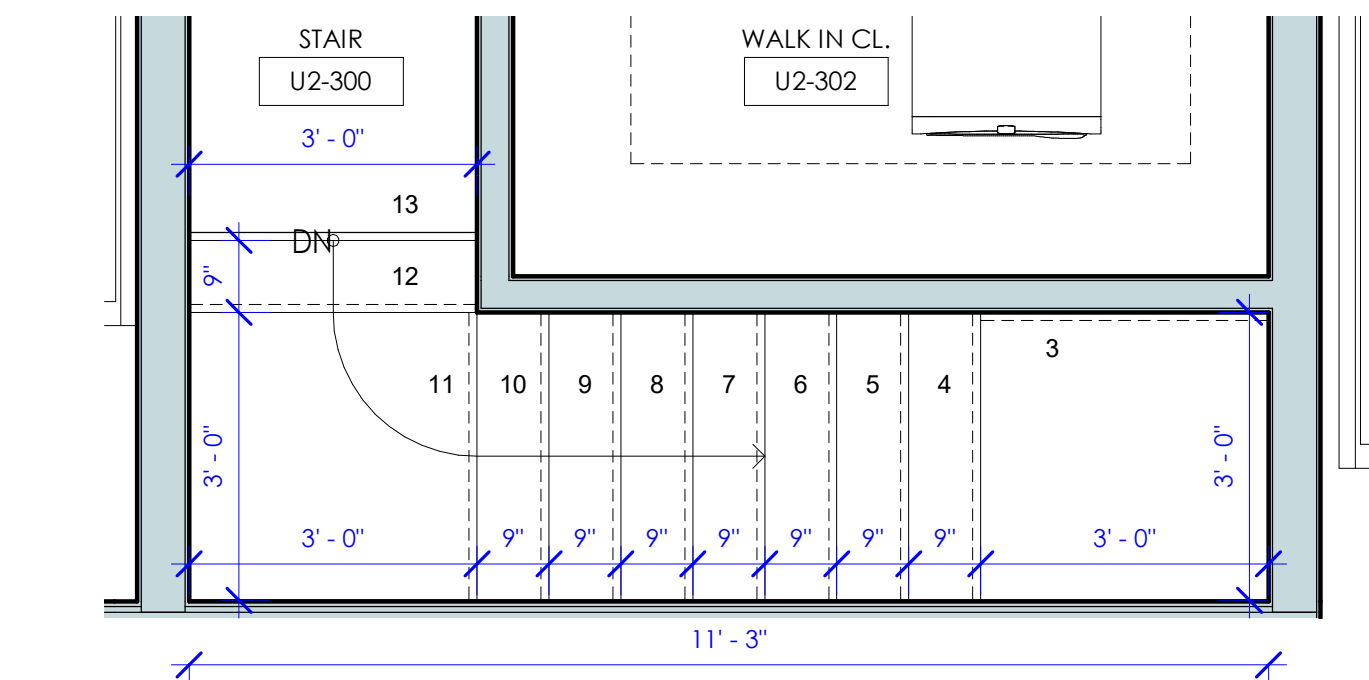
issue date
03.14.22

PERMIT PLAN

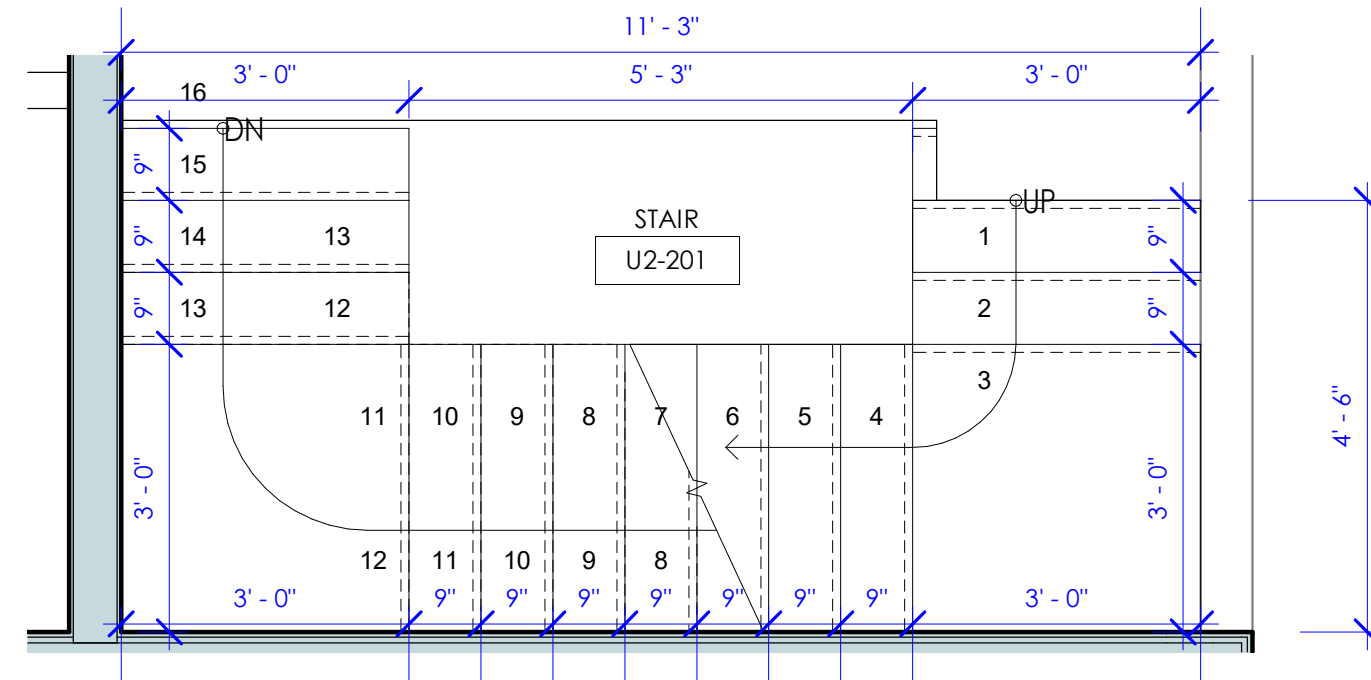
Sheet no.
A310

ALT1316705

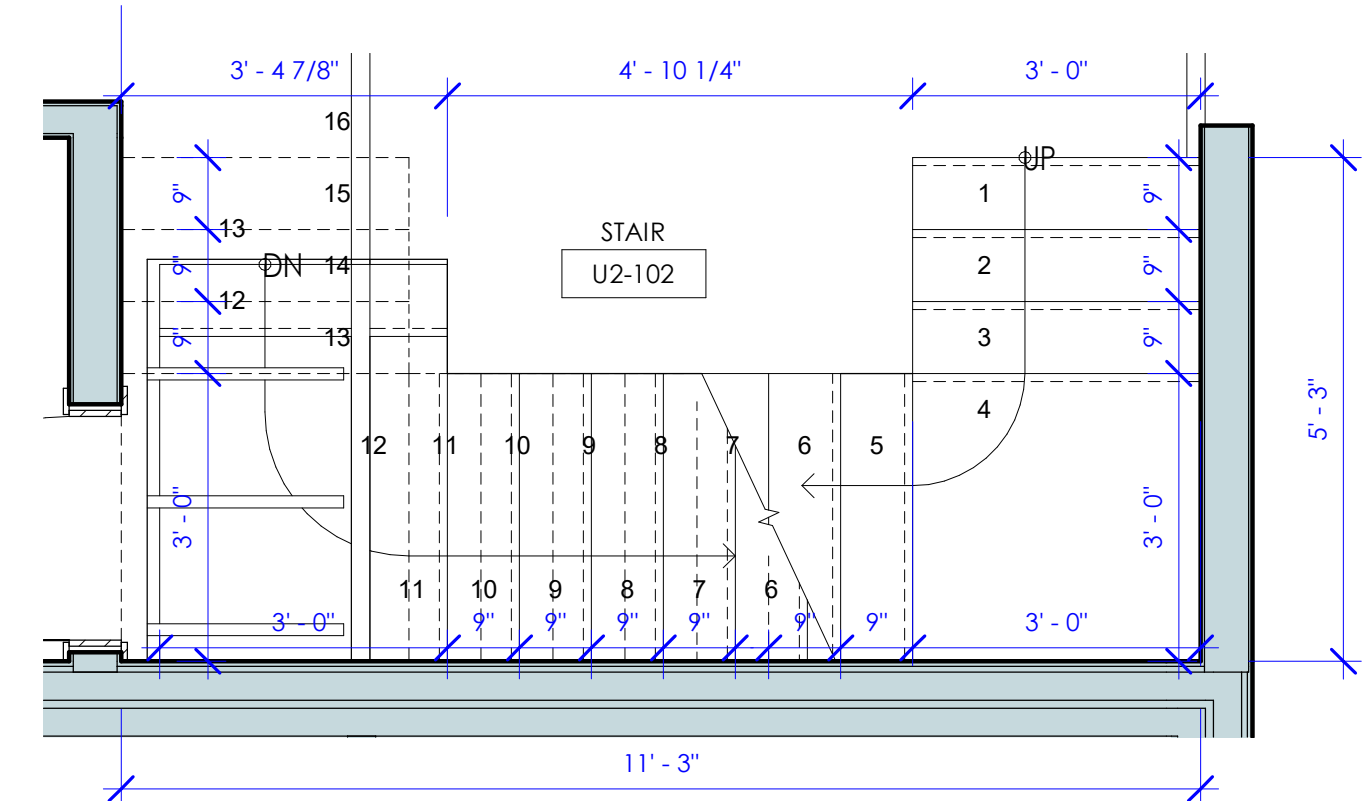
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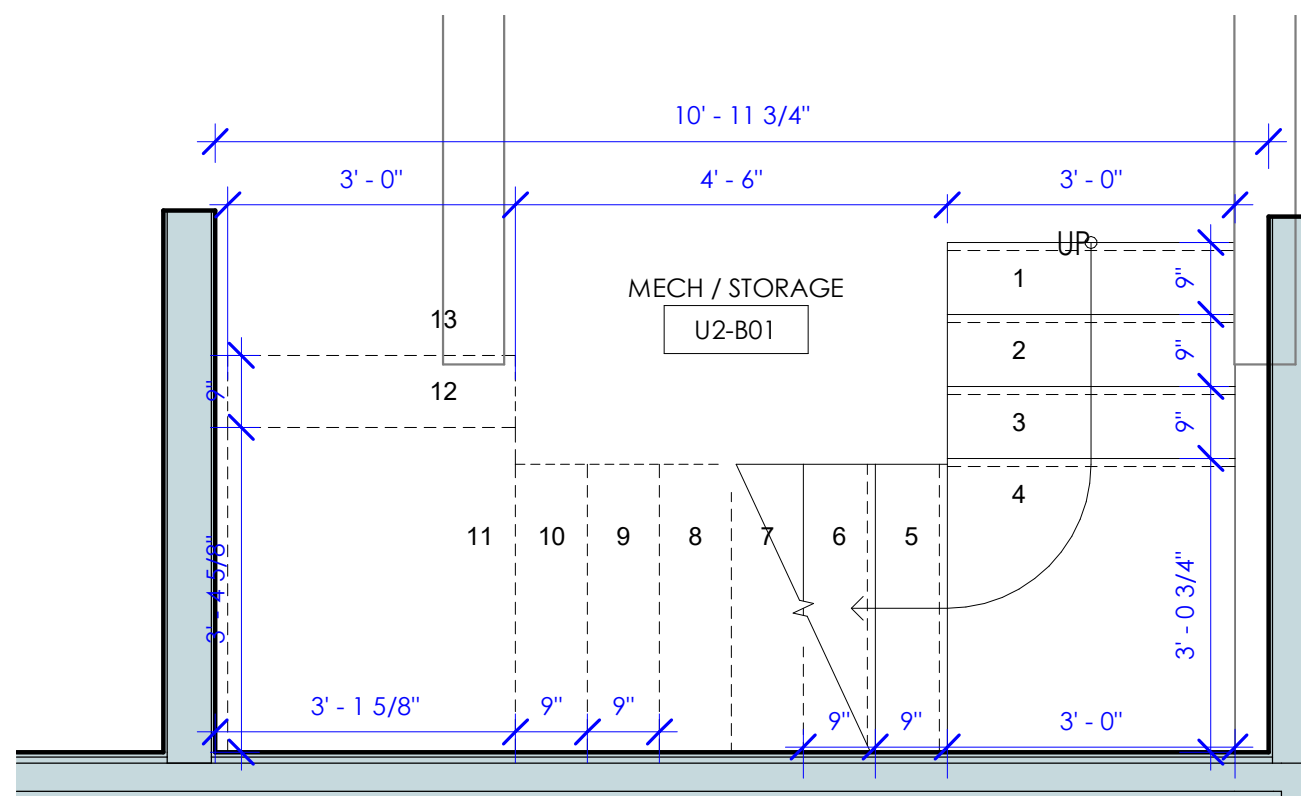
5 UNIT 2 STAIR - THIRD FLOOR
1/2" = 1'-0"



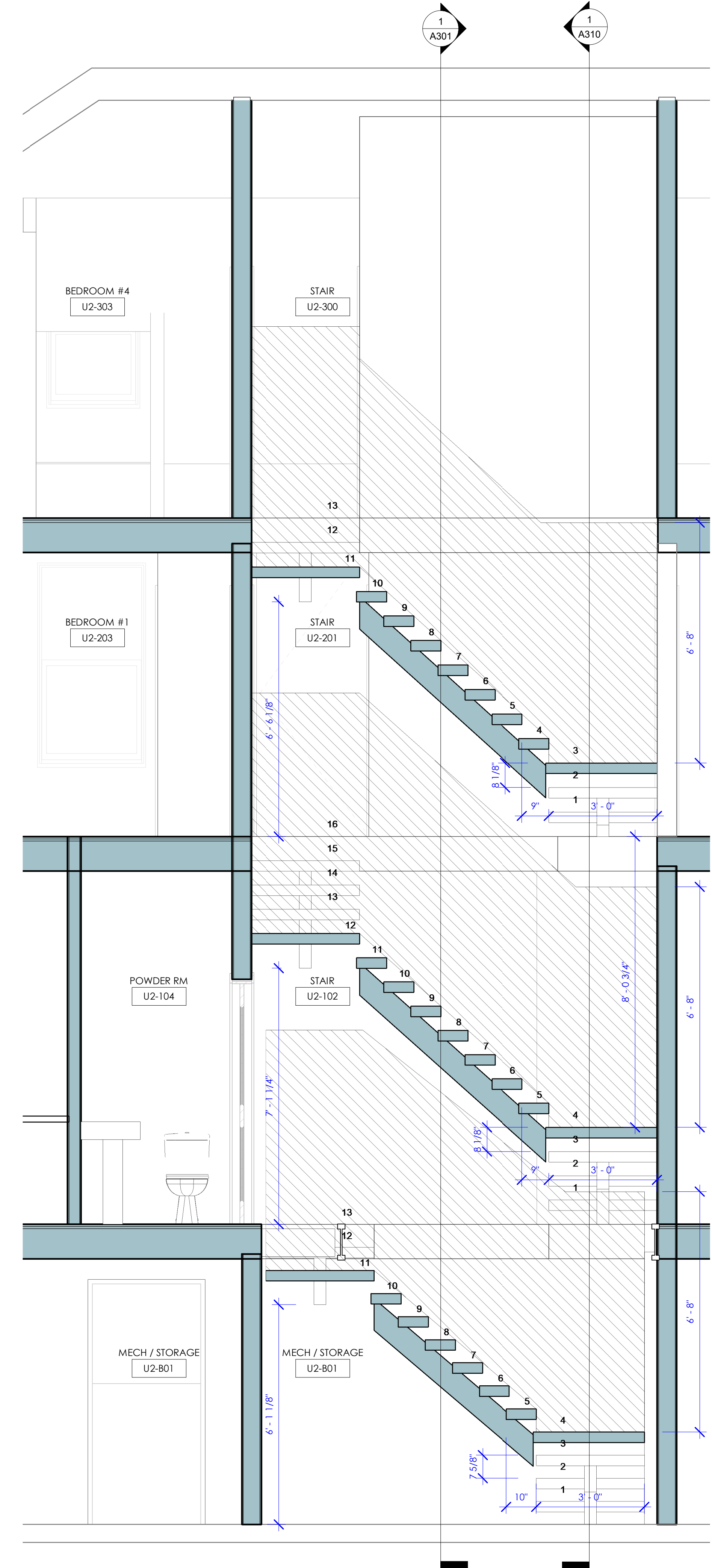
4 UNIT 2 STAIR - SECOND FLOOR
1/2" = 1'-0"



3 UNIT 2 STAIR - FIRST FLOOR
1/2" = 1'-0"

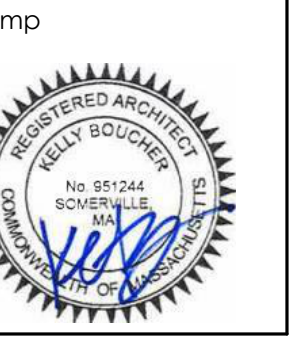


2 UNIT 2 STAIR - BASEMENT
1/2" = 1'-0"



1 STAIR SECTION - UNIT 2
1/2" = 1'-0"

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

file UNIT 2 - STAIR SECTION AND ENLARGED PLANS

project 17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/2" = 1'-0"

issue date 03.14.22

PERMIT PLAN

Sheet no.
A311

REQUIRED FIRE RATINGS FOR
2 FAMILY STRUCTURES

FIRE PARTITIONS BETWEEN UNITS
PER IRC R302.3

DWELLING UNITS IN TWO-FAMILY DEWLLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING...EXTENDED TO AND TIGHT AGAINST THE EXTEIOR WALL (HORIZ.) AND SHALL EXTEND FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING (VERTICAL)

VERTICAL, SEPARATION WALL 1 HOUR RATED
VERTICAL, BEARING WALL 1 HOUR RATED
VERTICAL, NONBEARING INTERIOR PARTITIONS 0 HOUR RATED

HORIZONTAL, FLOOR 1 HOUR RATED
HORIZONTAL, FLOOR WITHIN UNIT 0 HOUR RATED
HORIZONTAL, ROOF 0 HOUR RATED

FIRE RATED EXTERIOR WALLS

PER IRC TABLE R302.1(1)
CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATIONS OF EXTERIOR WALLS FO DEWLLING UNITS SHALL COMPLY WITH TABLE R302.1 (1).
NOTE ALL DISTANCE RANGES ARE MEASURED FROM PROPERTY LINE TO EXTERIOR FACE OF WALL.

EXTERIOR WALL DISTANCE FROM PROPERTY LINE

0' - 5' = 1 HOUR RATED
> 5' = 0 HOUR RATED

PROJECTIONS:

0' - 2' = PROJECTIONS NOT ALLOWED
2'-5' = PROJECTIONS 1 HR RATED ON UNDERSIDE
> 5' = PROJECTIONS ALLOWED (NOT RATED)

OPENINGS IN WALLS:

0'-3' = OPENINGS NOT ALLOWED
3' - 5' = 25% OF WALL AREA MAX. ALLOWED
> 5' = UNLIMITED OPENINGS

WALL PENETRATIONS:

0' - 3' = COMPLY WITH R302.4
>3' = RATING NOT REQUIRED

BUILDING USE AND OCCUPANCY

GENERAL BUILDING/PROJECT DESCRIPTION:

RENOVATION AND RECONSTRUCTION OF A 2 FAMILY RESIDENTIAL WOOD FRAME STRUCTURE. PROPERTY HAS AN EXISTING DETACHED 2 CAR CONC. BLOCK GARAGE

THE PROJECT IS **AS-OF-RIGHT** REQUIRING NO ZONING OR OTHER RELIEF FROM THE CITY OF CAMBRIDGE.

OCCUPANCY GROUP:

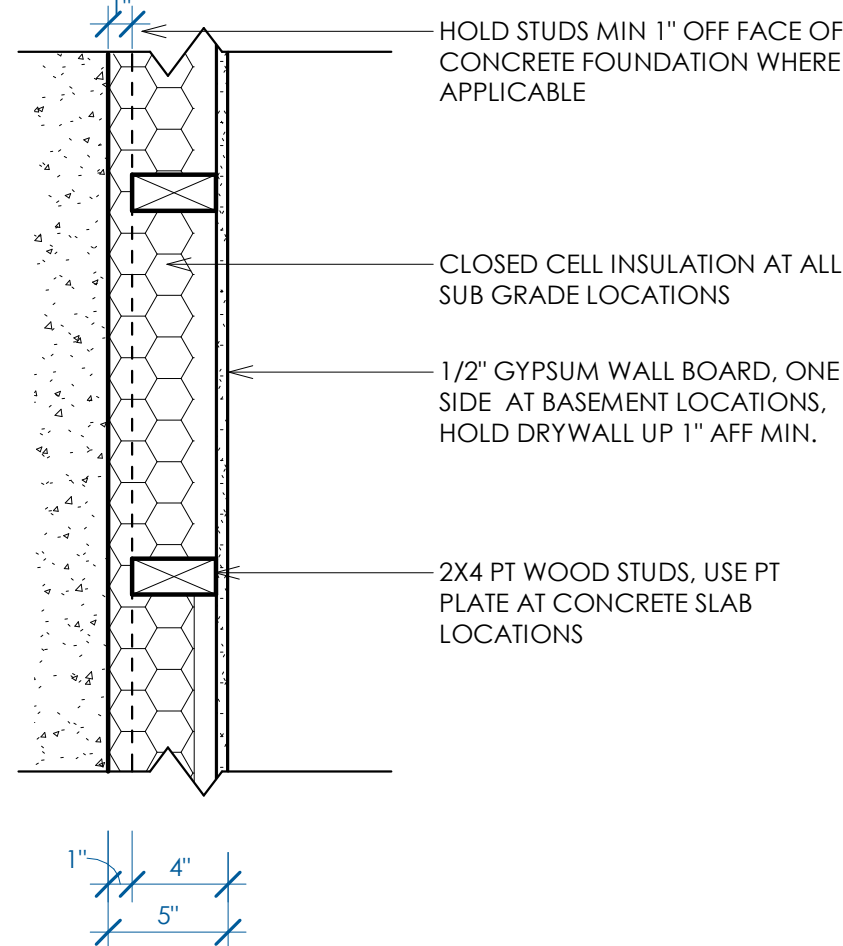
PER IBC 310.5 RESIDENTIAL - GROUP **R-3** ONE AND TWO FAMILY

CONSTRUCTION TYPE:

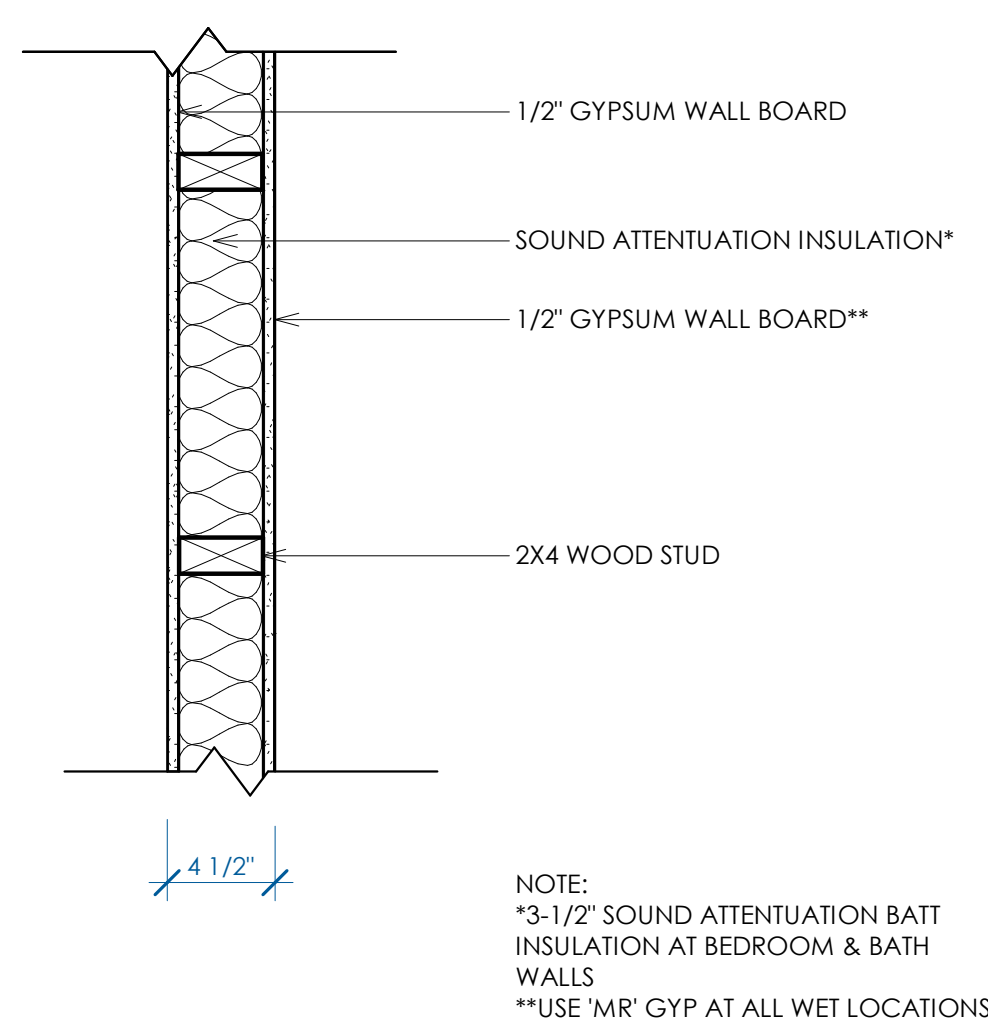
PER IBC TABLE 6.1 CONSTRUCTION TYPE **V-B** WOOD FRAME STRUCTURE, RATED BEARING WALLS REQ.

FIRE PROTECTION SYSTEMS:

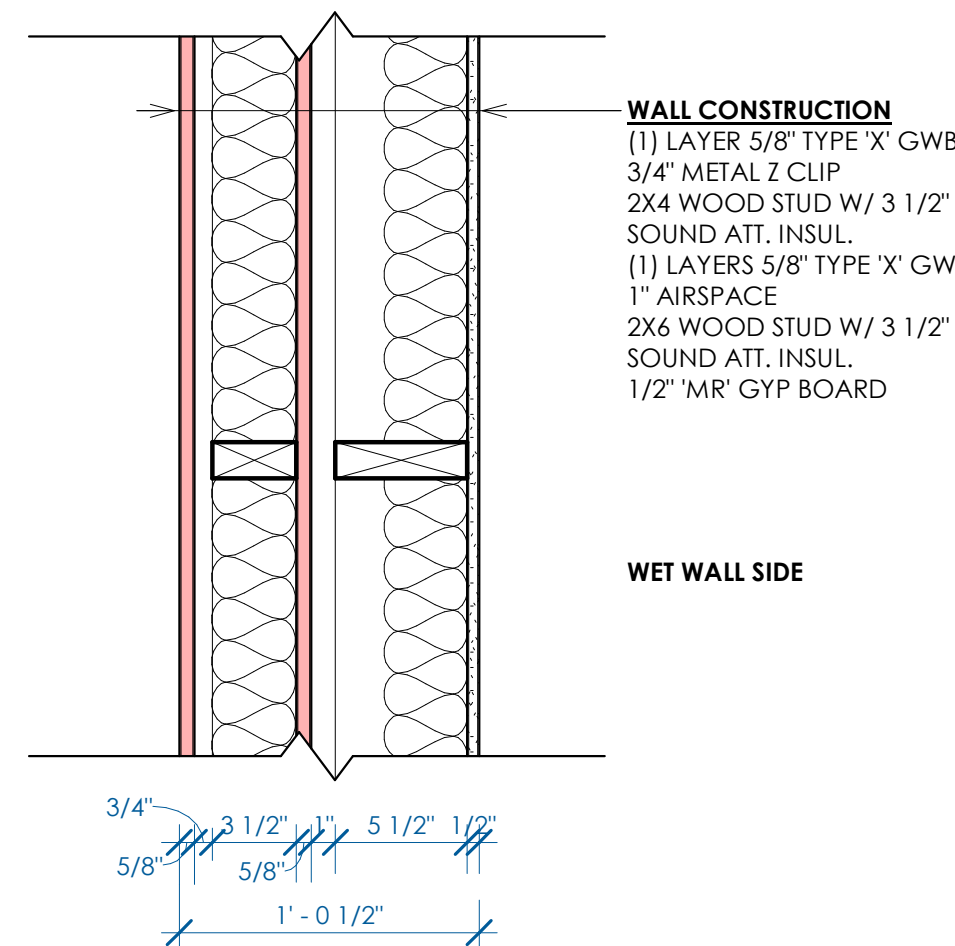
THE BUILDING WILL BE EQUIPPED WITH A LOCAL TYPE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM. ALARM AND SPRINKLER SYSTEMS ARE NOT REQUIRED.



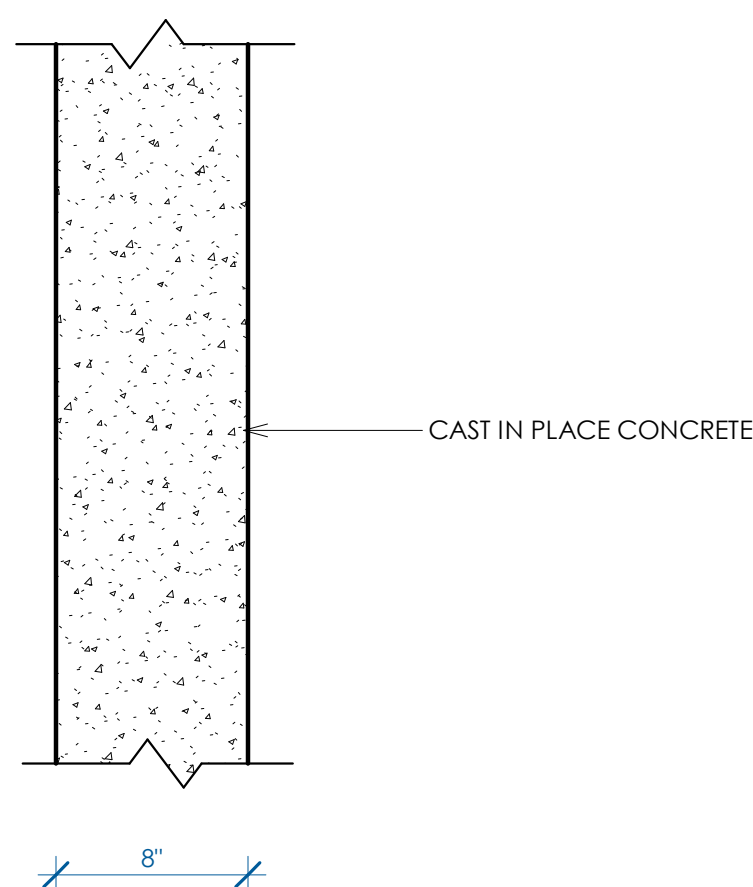
H 2X4 INTERIOR BELOW GRADE FURRING WALL
RATING: 0 HR



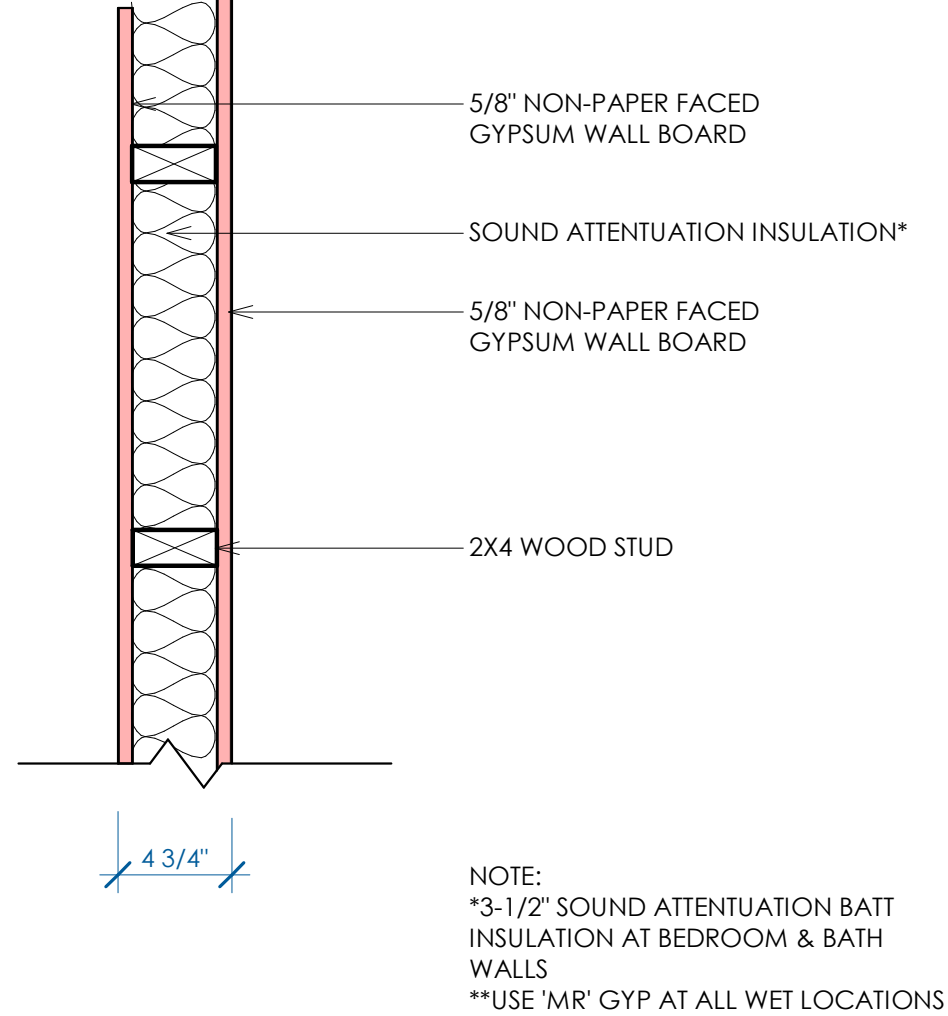
E 2X4 INTERIOR WALL
RATING: 0 HR



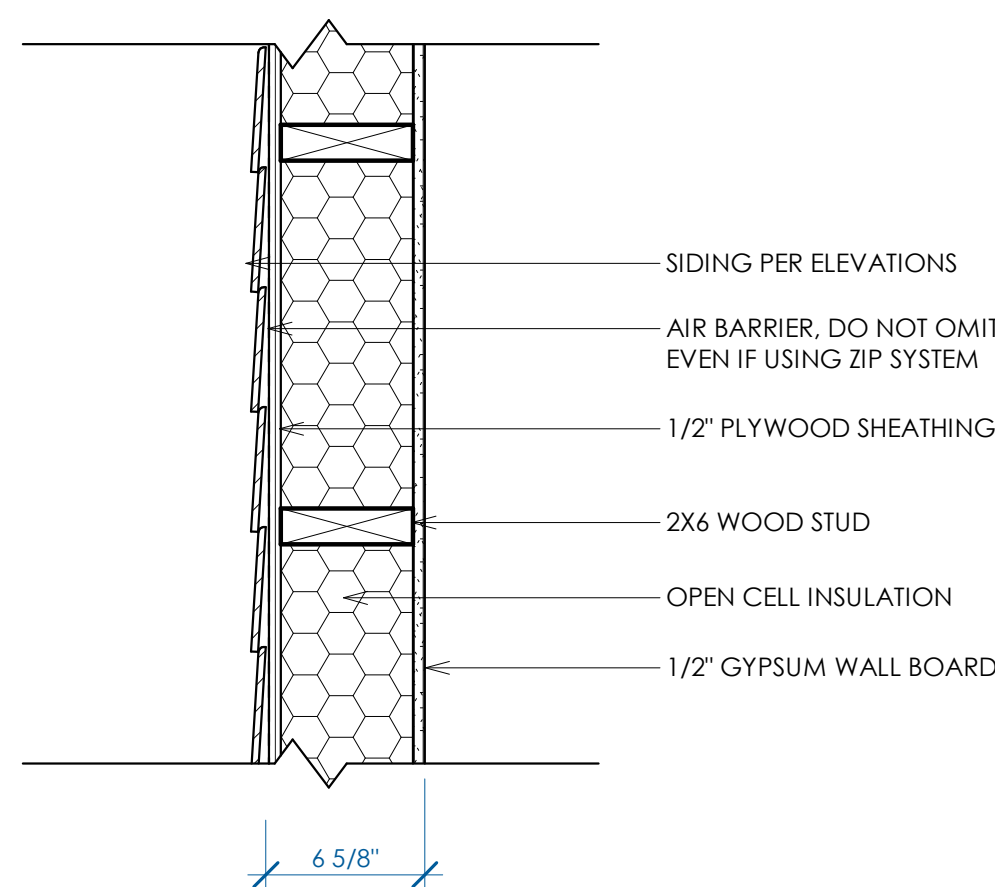
B FIRE RATED UNIT SEPARATION WALL AT BATH LOCATIONS
RATING: 1 HR UL:341 STC: XX



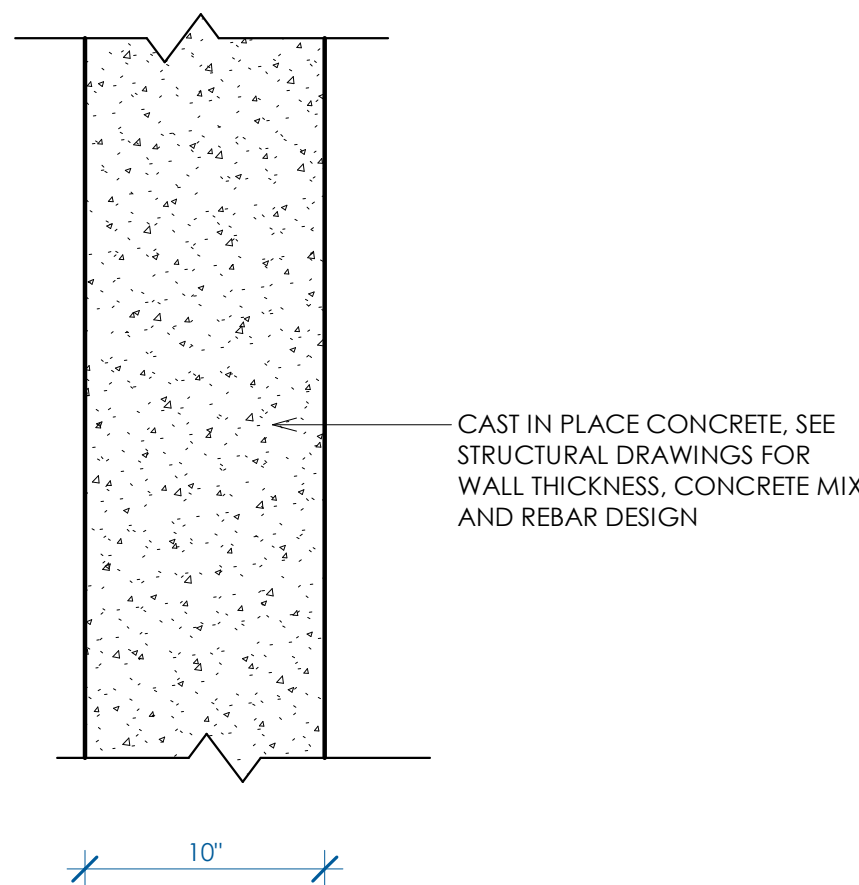
K CONCRETE RETAINING WALL
RATING: 0 HR



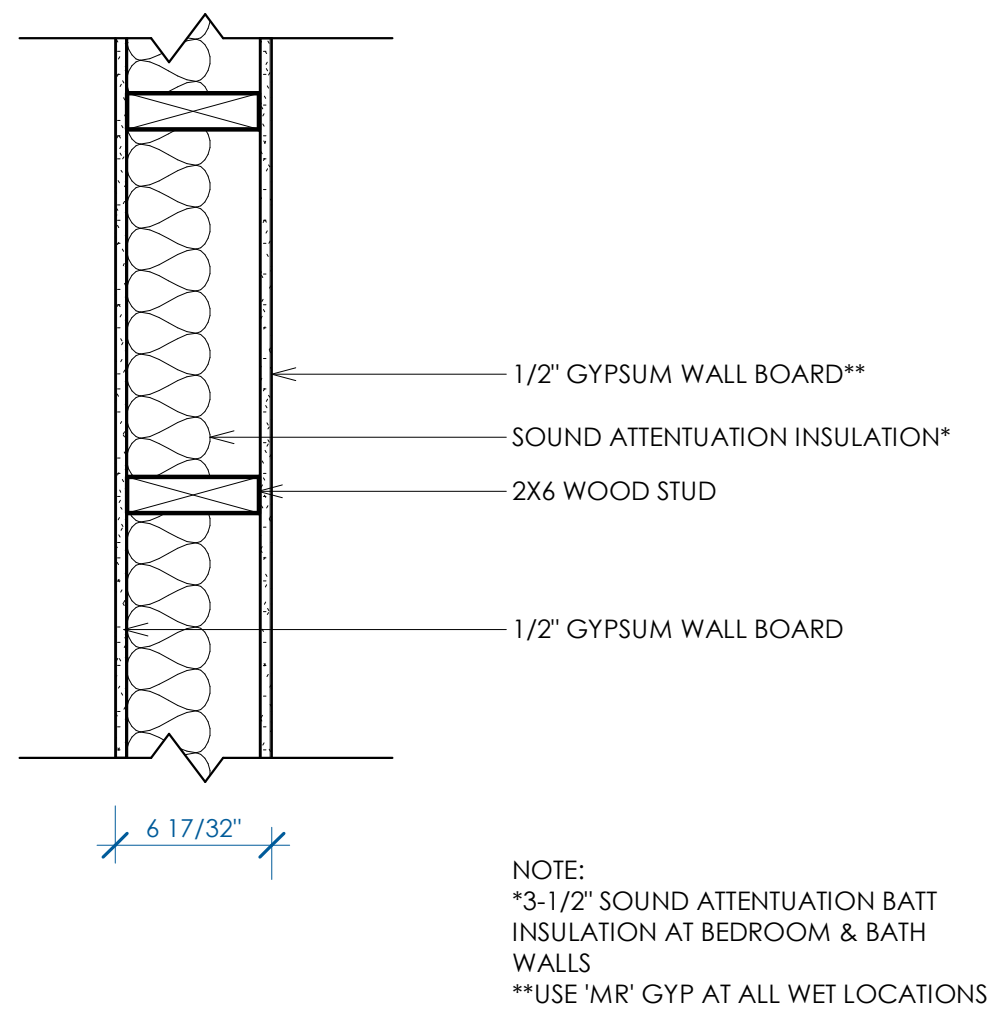
G 2X4 INTERIOR WALL AT MECHANICAL CLOSET
RATING: 1 HR



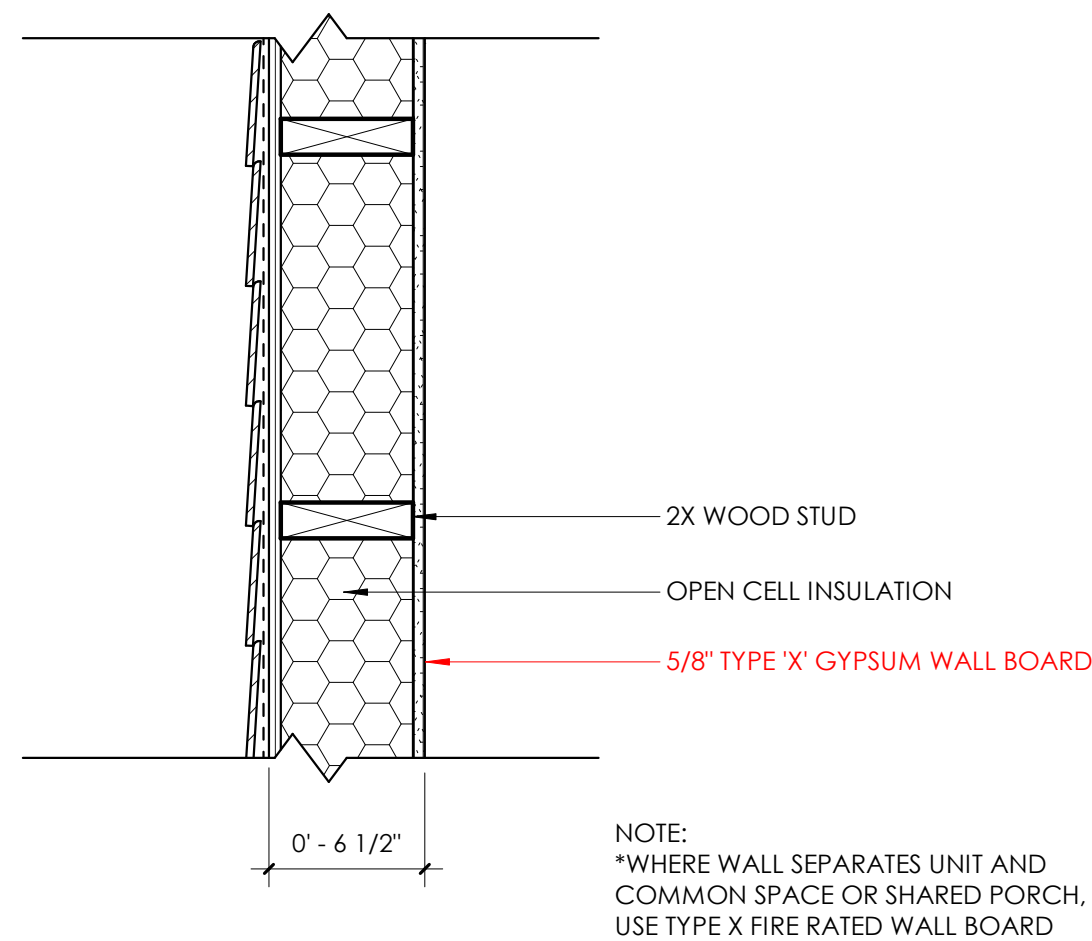
D NEW 2X6 EXTERIOR WALL
RATING: 0 HR



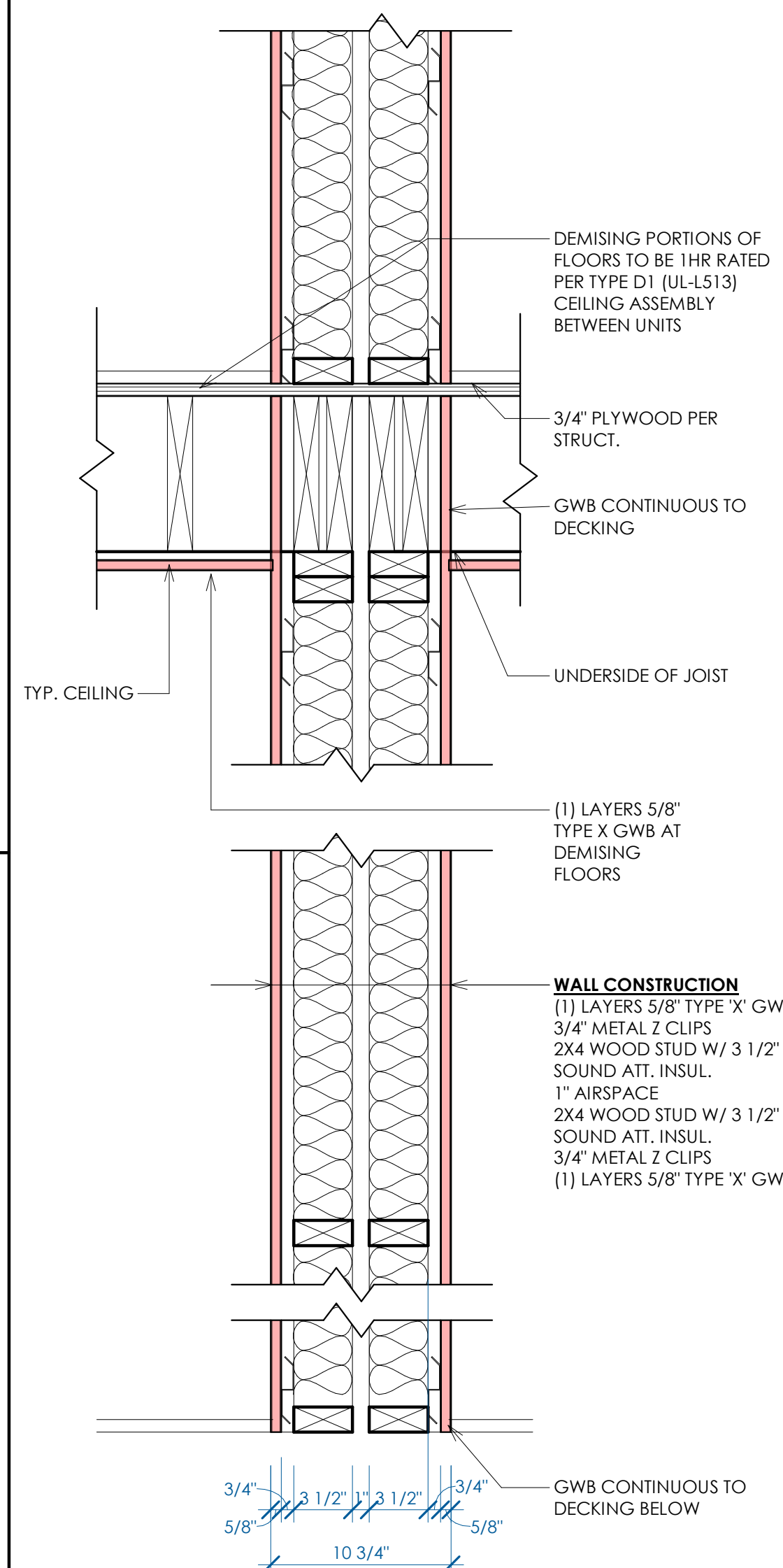
J CONCRETE FOUNDATION WALL
RATING: 0 HR



F 2X6 INTERIOR WALL
RATING: 0 HR



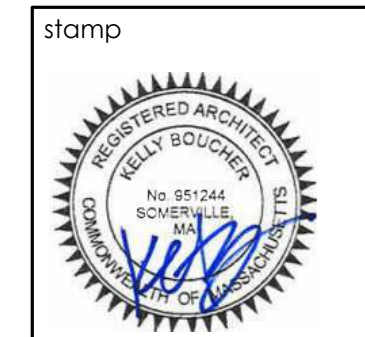
C TYPICAL 2X EXTERIOR WALL
RATING: 0 HR



A TYPICAL FIRE RATED UNIT SEPARATION WALL
RATING: 1 HR UL:341 STC: XX

WALL TYPES
1 1/2" = 1'-0"

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client
ADCO Development
300 1st AVENUE
NEEDHAM, MA 02494

file
WALL TYPES

project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale As indicated

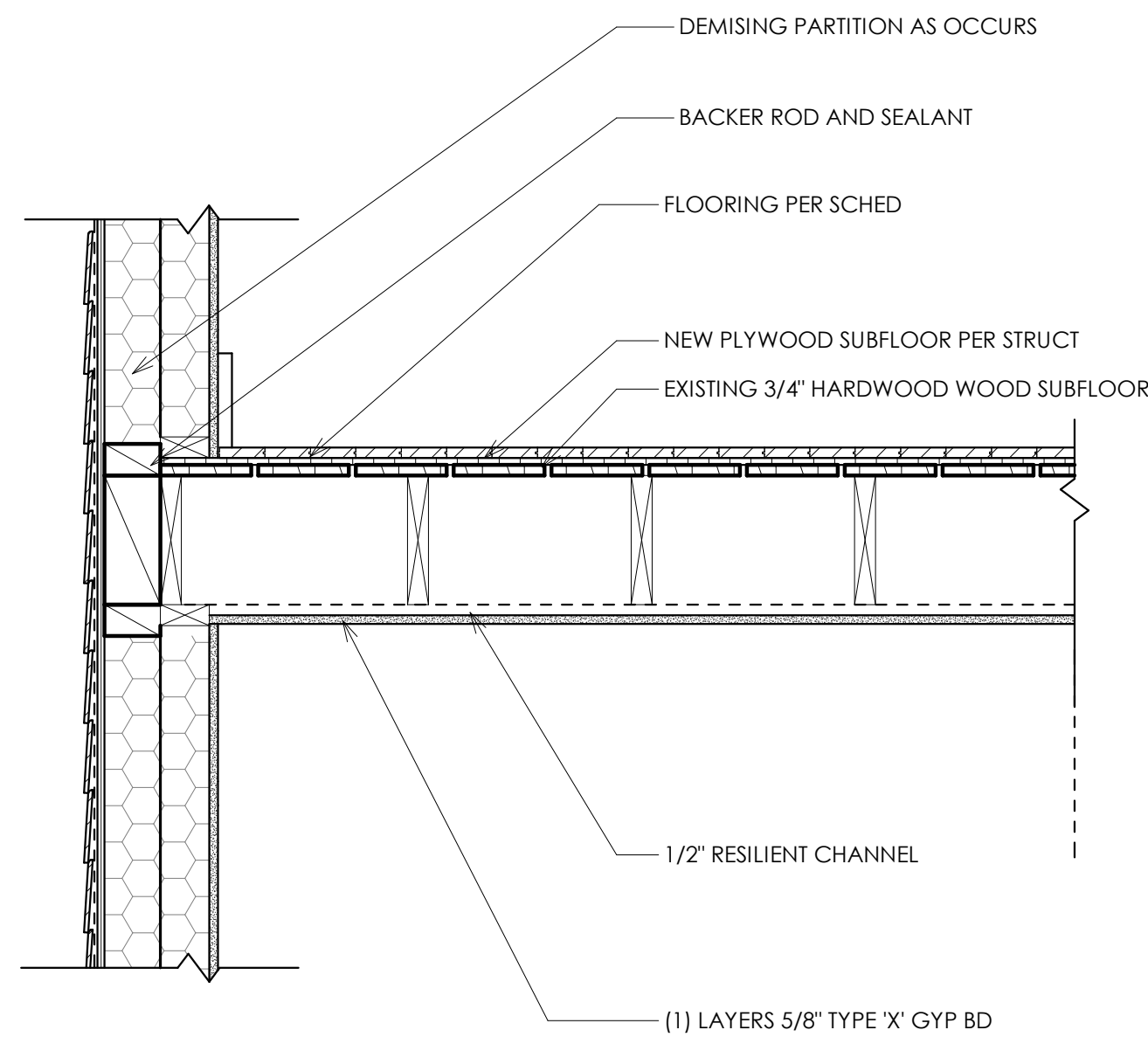
issue date 03.14.22

PERMIT PLAN

Sheet no.

A401

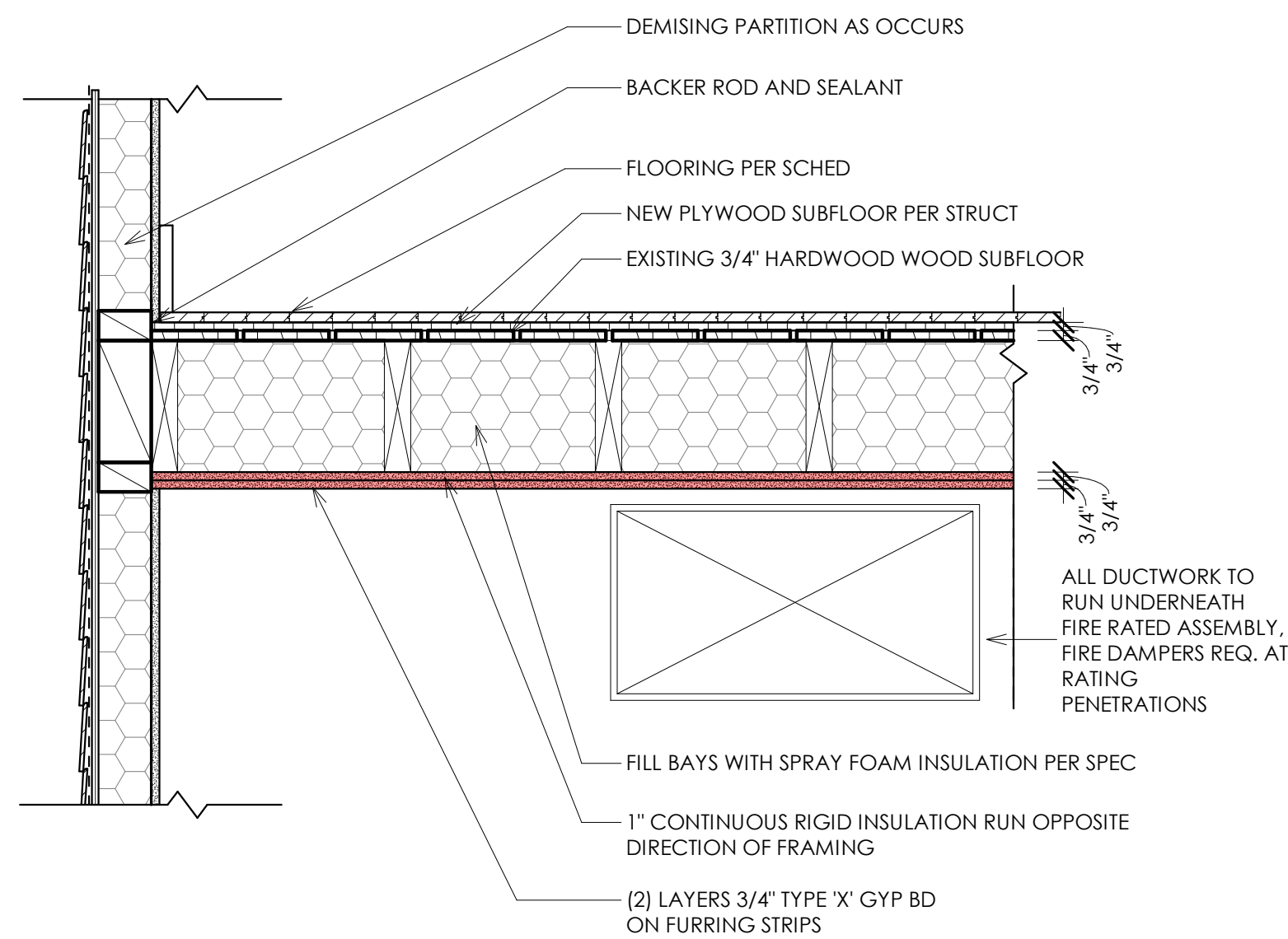
TYPE B -
WOOD JOIST FLOOR ASSEMBLY - WITHIN A SINGLE DWELLING UNIT



STC- N/A

B FLOOR TYPE B - WOOD FRAME FLOOR ASSEMBLY - WITHIN SAME UNIT
1" = 1'-0"

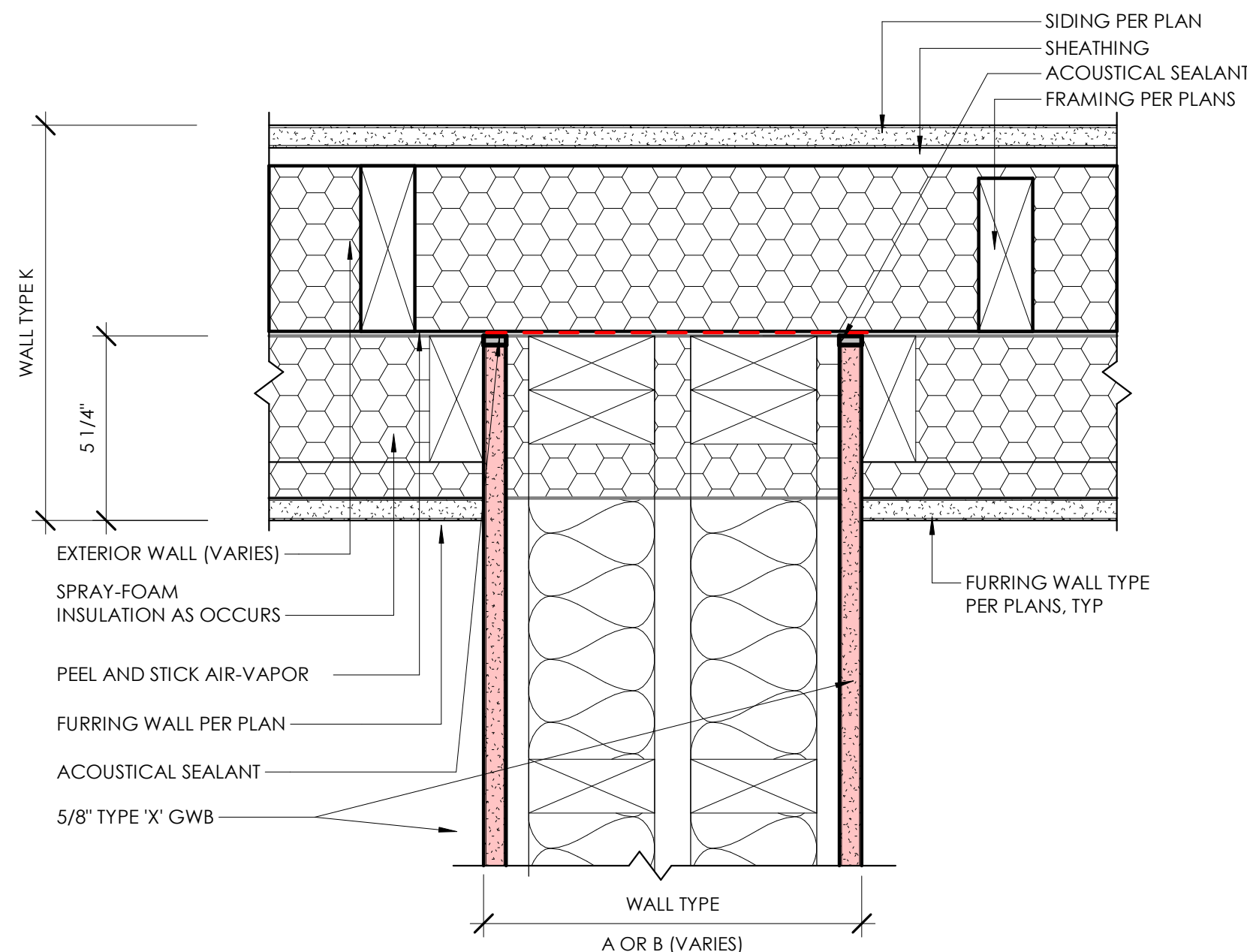
TYPE A -
WOOD JOIST FLOOR ASSEMBLY - SEPARATION BETWEEN UNIT /
BASEMENT RATED MECHANICAL SPACE



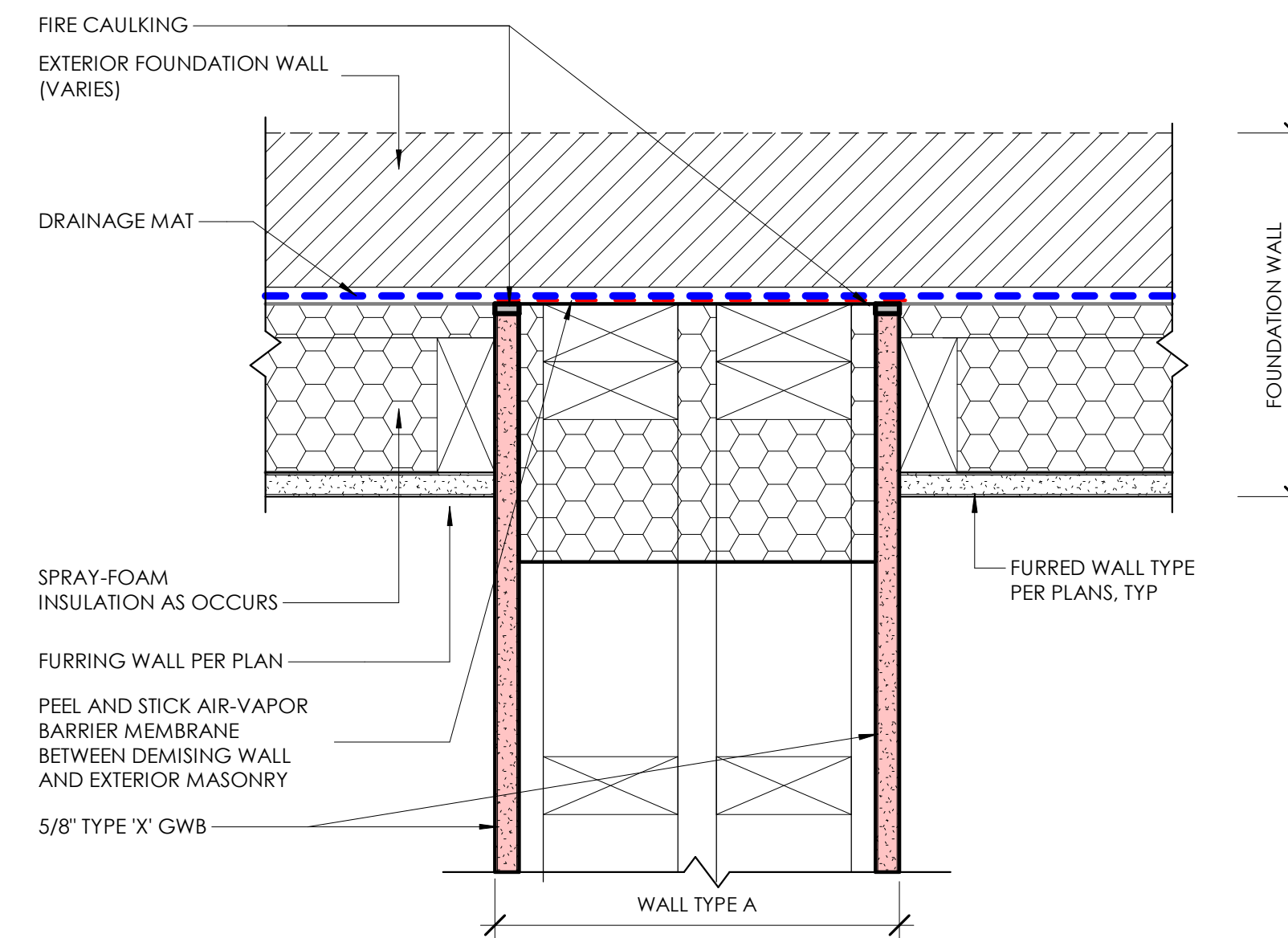
UL L-520 1-HOUR RATED FLOOR/CEILING ASSEMBLY

STC-N/A IIC-N/A

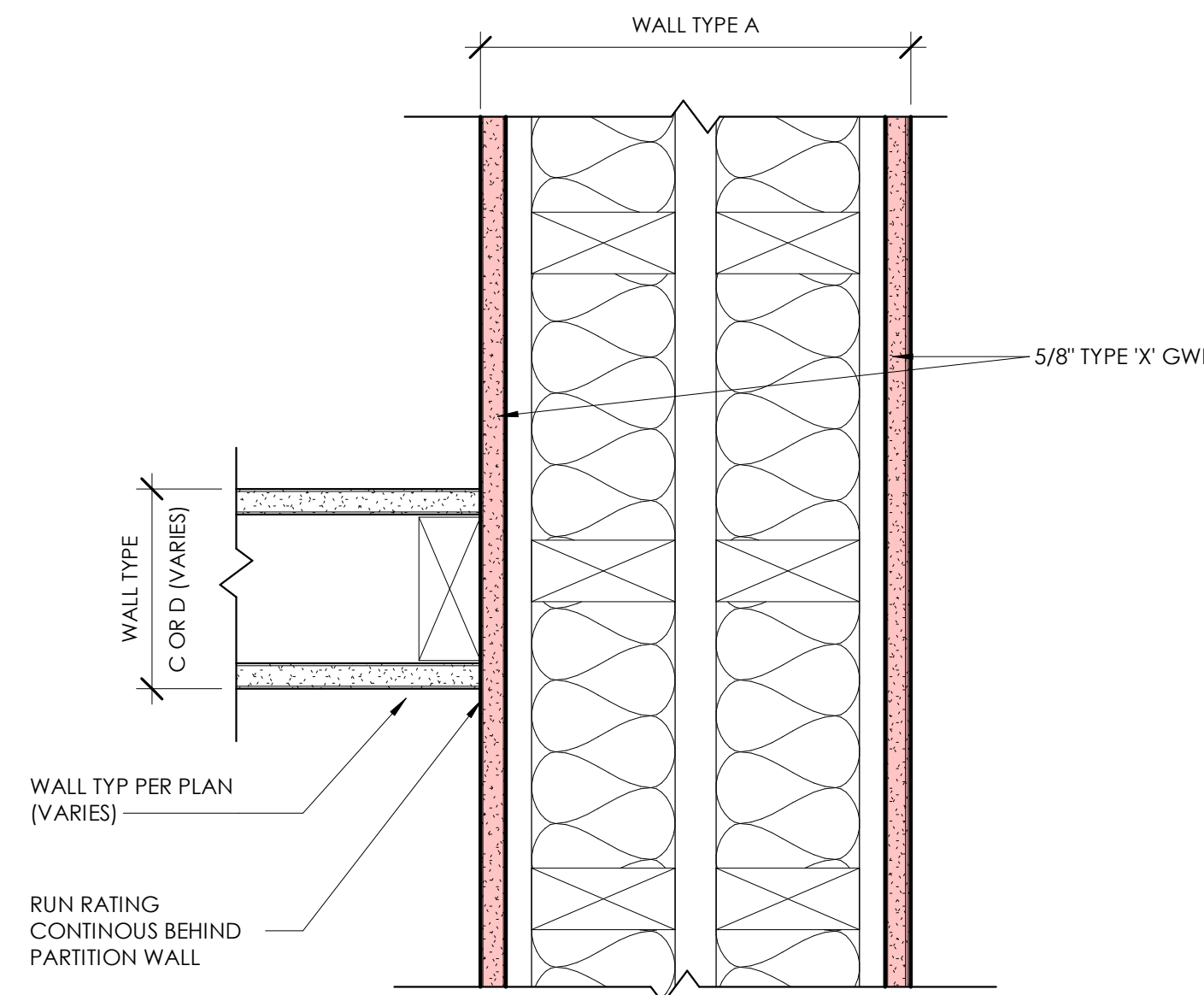
A FLOOR TYPE A - WOOD FRAME FLOOR ASSEMBLY - ABOVE BASEMENT
1" = 1'-0"



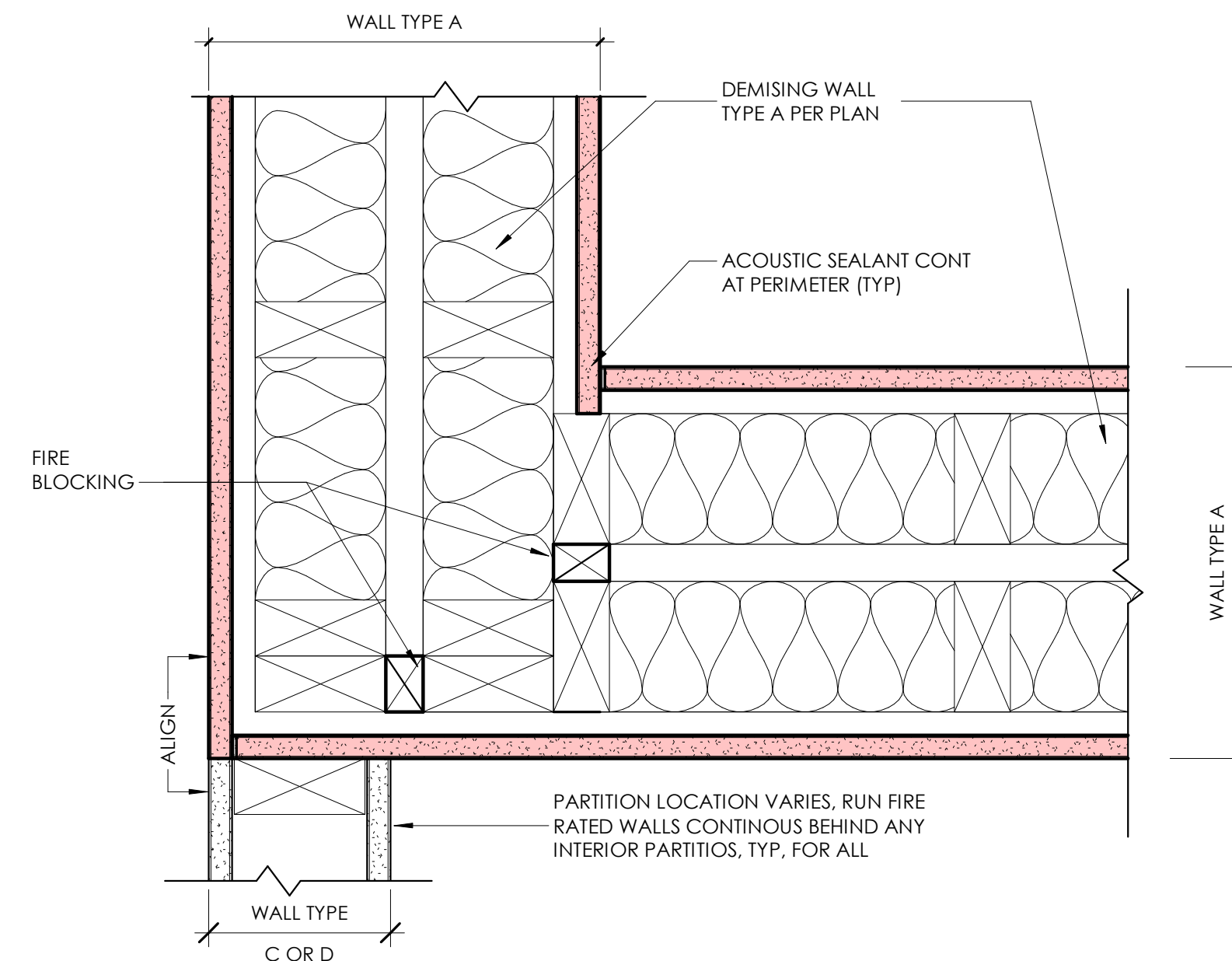
4 DEMISING WALL @ EXTERIOR WALL
3" = 1'-0"



3 DEMISING WALL @ EXTERIOR FOUNDATION WALL
3" = 1'-0"



2 DEMISING WALL & INTERIOR PARTITION - WALLS A, C/D
3" = 1'-0"



1 DEMISING WALL AT CORNER
3" = 1'-0"

| No. | Descrip. | Date |
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client
ADCO Development
300 1st AVENUE
NEEDHAM, MA 02494

file
FIRE RATED ASSEMBLIES

project
17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale As indicated

issue date 03.14.22

PERMIT PLAN

Sheet no.
A402

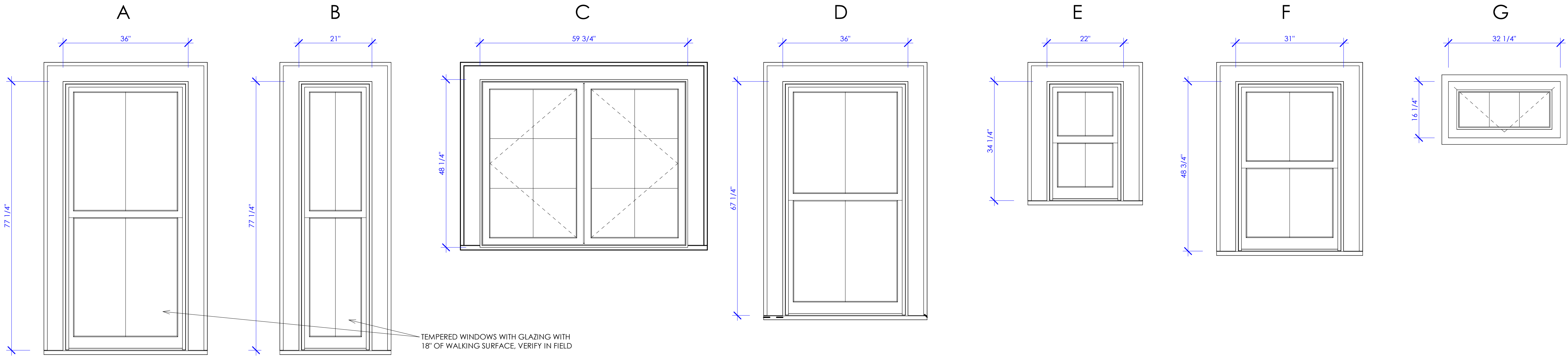
ALT1316705

SAFETY GLAZING

SAFETY (TEMPERED) GLAZING
PER IBC 2015 R308

- SAFETY GLAZING REQUIRED AT THE FOLLOWING LOCATIONS
- ALL GLASING SWING/SLIDING DOORS
 - GLAZING WITHIN 24" OF A SWING DOOR (EITHER HINGE SIDE OR PULL SIDE)
 - ANY INDIVIDUAL PANE GREATER THAN 9 SF IN AREA
 - ANY PANE THAT IS INSTALLED WITHIN 18" OF A WALKING SURFACE
 - ANY PANE WITHIN 60" OF AN EDGE OF BATHTUB, SHOWER, HOT TUB SPA, WHIRPOOL OR SWIMMING POOL

| WINDOW SCHEDULE | | | | | | | | | | | | | |
|-----------------|-----|----------|-----------------|--|---------------------|---------|----------------|-------------|---------------|---------------|--------|-------|---|
| KEY | QTY | MFR. | WINDOW STYLE | Description | GC TO VERIFY EXIST. | | Head Height | Sill Height | Lites Wide | Lites High | Egress | Temp. | Comments |
| | | | | | RO (H) | RO (W) | | | | | | | |
| BASEMENT | | | | | | | | | | | | | |
| G | 7 | JELD-WEN | UTTHOP | Aluminum Clad Wood Hopper Window with 7/8" SDL & Spacer Bar per Elevs | 20 1/2" | 37" | <varies > | <varies> | 3 | 1 | | | GC TO VERIFY EXISTING UNIT SIZE PRIOR TO ORDER |
| FIRST FLOOR | | | | | | | | | | | | | |
| A | 11 | JELD-WEN | SCDH3776 | Aluminum Clad Wood Double Hung Window with 7/8" SDL & Spacer Bar per Elevs | 78 1/2" | 37" | <varies > | <varies> | | | YES | YES | GC TO VERIFY EXISTING UNIT SIZE PRIOR TO ORDER |
| B | 6 | JELD-WEN | SCDH2176 | Aluminum Clad Wood Double Hung Window with 7/8" SDL & Spacer Bar per Elevs | 78 1/2" | 22" | <varies > | <varies> | | | NO | YES | GC TO VERIFY EXISTING UNIT SIZE PRIOR TO ORDER |
| C | 1 | JELD-WEN | SCC3048-2 | Aluminum Clad Wood Casement Window with 7/8" SDL & Spacer Bar per Elevs | 48 3/4" | 60 3/4" | 8' - 1" | 4' - 1" | 2 | 3 | | | |
| D | 2 | JELD-WEN | SCDH3768 | Aluminum Clad Wood Double Hung Window with 7/8" SDL & Spacer Bar per Elevs | 68 1/2" | 37" | <varies > | <varies> | | | YES | | GC TO VERIFY EXISTING UNIT SIZE PRIOR TO ORDER |
| SECOND FLOOR | | | | | | | | | | | | | |
| D | 10 | JELD-WEN | SCDH3768 | Aluminum Clad Wood Double Hung Window with 7/8" SDL & Spacer Bar per Elevs | 68 1/2" | 37" | 7' - 7" | 1' - 11" | | | YES | YES | GC TO VERIFY EXISTING UNIT SIZE PRIOR TO ORDER |
| E | 1 | JELD-WEN | SCDH2436 | Aluminum Clad Wood Double Hung Window with 7/8" SDL & Spacer Bar per Elevs | 35 1/2" | 23" | 7' - 7" | 4' - 8" | | | NO | | GC TO VERIFY EXISTING UNIT SIZE PRIOR TO ORDER |
| THIRD FLOOR | | | | | | | | | | | | | |
| F | 8 | JELD-WEN | SCDH3352 | Aluminum Clad Wood Double Hung Window with 7/8" SDL & Spacer Bar per Elevs | 50" | 32" | 7' - 2" | 3' - 0 1/2" | | | NO | | GC TO VERIFY EXISTING UNIT SIZE PRIOR TO ORDER |
| TOTAL | | | | | | | | | | | | | |



WINDOW KEY
3/4" = 1'-0"

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02464

file WINDOW ELEVATIONS & SCHEDULE
project 17 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale As indicated

issue date 03.14.22

PERMIT PLAN

Sheet no.
A501



Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Michelle Wu
Mayor

MORE INFORMATION REQUEST LETTER

Marc A. Joseph
Inspector of Buildings

June 06, 2022

RICHARD LYNDIS
245 SUMNER STREET SUITE 110
BOSTON, MA 02128

RE: Application #: **ERT1316710**
Location: 21 Alveston St, Ward 19
Zoning District: Jamaica Plain Neighborhood, 2F-9000
Purpose: Subdivide existing 16,005 s.f. lot into two lots. Lot 1 to contain 9,503 s.f. and **Lot 2 to contain 6,502 s.f.**, renovate existing two family dwelling on Lot 1 and **erect a new single family dwelling (with detached garage) on Lot 2** as per plans see ALT1316705 for subdivision and renovation of existing structure.

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. Construction Documents (two sets and to scale):

- Architectural, Structural and Fire Alarm Plans

2. Supporting Documents:

- Licensed Builder's Info (Construction License, Workers' Compensation Affidavit, Certification of Liability Insurance)
- Home Improvement Contractor Registration
- Construction Cost Estimate with Breakdown
- IECC/MA Stretch Energy Code Compliance Report
- Property Deed
- NFPA 241 Report
- Construction Management Plan Report

3. City Agencies' Approvals:

- Boston Planning and Development Agency: Two Sets of Approved Drawings: NDOD
- Boston Water & Sewer Department: Two Sets of Approved Drawings
- Department of Public Works
- Environmental Sanitation Department

4. Additional Information/Comments:

Mattock Higgins

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

| TABLE OF CONTENTS | | | |
|-------------------|--|------------------|------------------|
| # | Sheet Name | Sheet Issue Date | Current Revision |
| A000 | COVER SHEET | 03.14.22 | |
| A001 | LEGENDS | 03.14.22 | |
| A010 | OPEN SPACE DIAGRAM | 03.14.22 | |
| A011 | ARCHITECTURAL SITE PLAN | 03.14.22 | |
| A012 | GFA AREA DIAGRAMS | 03.14.22 | |
| A100 | BASEMENT, FIRST AND SECOND FLOOR PLANS | 03.14.22 | |
| A101 | THIRD FLOOR AND ROOF PLANS | 03.14.22 | |
| A201 | BUILDING ELEVATIONS | 03.14.22 | |
| A210 | 3D VIEWS | 03.14.22 | |
| A301 | BUILDING SECTION | 03.14.22 | |
| A401 | WALL AND FLOOR ASSEMBLIES | 03.14.22 | |
| S100 | FRAMING PLANS | 03.11.22 | |

BUILDING USE AND OCCUPANCY

GENERAL BUILDING/PROJECT DESCRIPTION:
RENOVATION AND RECONSTRUCTION OF A 2 FAMILY RESIDENTIAL WOOD FRAME STRUCTURE. PROPERTY HAS AN EXISTING DETACHED 2 CAR CONC. BLOCK GARAGE

THE PROJECT IS **AS-OF-RIGHT** REQUIRING NO ZONING OR OTHER RELIEF FROM THE CITY OF CAMBRIDGE.

OCCUPANCY GROUP:
PER IBC 310.5 RESIDENTIAL - GROUP **R-3** ONE AND TWO FAMILY

CONSTRUCTION TYPE:
PER IBC TABLE 6.1 CONSTRUCTION TYPE **V-B**

WOOD FRAME STRUCTURE, RATED BEARING WALLS REQ.

FIRE PROTECTION SYSTEMS:
THE BUILDING WILL BE EQUIPPED WITH A LOCAL TYPE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM. ALARM AND SPRINKLER SYSTEMS ARE NOT REQUIRED.

APPLICABLE CODES - 1-2 FAMILY RESIDENTIAL

BUILDING CODES
MASSACHUSETTS STATE BUILDING CODE, 780 CMR
9TH EDITION AMENDMENTS
INTERNATIONAL RESIDENTIAL CODE 2015 IRC
INTERNATIONAL EXISTING BLDG CODE 2015 IEBC

FIRE PREVENTION CODES
INTERNATIONAL FIRE CODE 2015 IFC, 527 CMR

ACCESSIBILITY
MA ARCHITECTURAL ACCESS BOARD 521 CMR

M-E-P CODES
MASSACHUSETTS ELECTRICAL CODE 527 CMR 12.00
INTERNATIONAL ELECTRICAL CODE 2015 IEC
INTERNATIONAL MECHANICAL CODE 2015 IMC
UNIFORM STATE PLUMBING CODE 2015 IPC, 248 CMR

ENERGY CODE
INTERNATIONAL ENERGY CONSERV. 2015 IECC
WITH MASSACHUSETTS AMENDMENTS 780 CMR CH. 11



19 ALVESTON STREET, JAMAICA PLAIN MA

PERMIT SET

03.14.22

ARCHITECT
KBA

119 BRAINTREE STREET
BOSTON, MA 02134
(617)-827-3527

www.boucherarchitecture.com

OWNER
ADCO Development

300 1st AVENUE
NEEDHAM, MA 02494

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client
ADCO Development
300 1st AVENUE
NEEDHAM, MA 02494

title
COVER SHEET

project
19 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT SET

Sheet no.
A000

| | | | | | |
|---------|---------------------------------|----------|--|-----------|------------------------|
| A | ***** | F | ***** | P | ***** |
| A/C | AIR CONDITION | FA | FIRE ALARM | PA | PUBLIC ADDRESS |
| A/E | ARCHITECT/ENGINEER | FAAP | FIRE ALARM ANNUNCIATOR PANEL | PAR | PARAPET |
| AB | ANCHOR BOLT | FAS BD | FASCA BOARD | PAT | PATTERN |
| ACC | ACCESSIBLE | FC BRK | FACE BRICK | PB | PULL BOX |
| ACS | AUTOMATIC CONTROL SYSTEM | FCO | FLOOR CLEANOUT | PBD | PARTICLEBOARD |
| ACS DR | ACCESS PANEL | FDD | FLOOR DRAIN | PCC | PRECAST CONCRETE |
| ACS PNL | ACCESS PANEL | FDN | FOUNDATION | PCF | POUNDS PER CUBIC FOOT |
| ACT | ACoustical CEILING TILE | FE | FIRE EXTINGUISHER | PERCT | PERCENT |
| ADA | AMERICANS WITH DISABILITIES ACT | FEC | FIRE EXTINGUISHER CABINET | PERF | PERFORATED |
| ADMIN | ADMINISTRATION | FED | FEDERAL | PERIM | PERIMETER |
| AFC | ABOVE FINISHED COUNTER | FF | FINISH FACE | PH | PHASE |
| AFB | ABOVE FINISHED FLOOR | FF EL | FINISH FLOOR ELEVATION | PIL | PILASTER |
| AFG | ABOVE FINISHED GRADE | FF INSUL | FOL BACKED INSULATION | PL | PROPERTY LINE |
| AG | AGGREGATE | FG | FIBERGLASS | PL GL | PLATE GLASS |
| AGGR | AGGREGATE | FE | FIRE HOSE | PLM | PLASTIC LAMINATE |
| AHU | AIR HANDLING UNIT | FHP | FULL HEIGHT PARTITION | PLAS | PLASTER |
| AIB | AIR INFLATION BARRIER | FIN | FINISH | PLBG | PLUMBING |
| ALT | ALTERNATE | FIN BS | FINISH BOTH SIDES | PILING | PILING |
| ALUM | ALUMINUM | FIN FLR | FINISH FLOOR | PLYWD | PLYWOOD |
| ANOD | ANODIZE | FIN GR | FINISH GRADE | PNL | PANEL |
| APC | ACoustical PANEL CEILING | FI | FIXTURE | PP PL | PUSH/PULL PLATE |
| APPROX | APPROXIMATE | FLDG | FOLDING | PR | PAIR |
| AR | AS REQUIRED | FLEX | FLEXIBLE | PRCST | PRECAST |
| ARCH | ARCHITECT | FLG | FLOORING | PRKG | PARKING |
| ASC | ABOVE SUSPENDED CEILING | FLMT | FLUSH MOUNT | PSF | POUNDS PER SQUARE FOOT |
| ASB | ASSEMBLY | FL | FLOOR | PSGI | POUNDS PER SQUARE INCH |
| ATC | ACoustical TILE CEILING | FM | FACTORY MUTUAL | PT | PRESSURE TREATED |
| AVG | AVERAGE | FOC | FACE OF CONCRETE | PTD | PAPER TOWEL DISPENSER |
| AW | ARCHITECTURAL WOODWORK | FOH | FACE OF MASONRY | PARTITION | PARTITION |
| AWT | ACoustical WALL TREATMENT | FR | FIRE RESISTANT | PWR | POWER |
| | | FRG | FIBER REINFORCED GYPSUM | | |
| | | FRMG | FRAMING | | |
| | | FRP | FIBERGLASS REINFORCED PLASTIC | | |
| | | FRW | FIRE RETARDANT TREATED WOOD | | |
| | | FS | FEDERAL SPECIFICATION | | |
| | | FSNR | FASTENER | | |
| | | FT | FEET | | |
| | | FTG | FOOTING | | |
| | | FWC | FABRIC WALLCOVERING | | |
| | | | | | |
| | | G | ***** | | |
| | | G | NATURAL GAS | | |
| | | GALV | GALVANIZED | | |
| | | GB | GRAB BAR | | |
| | | GFB | GLASS-FIBER-REINFORCED GYPSUM | | |
| | | GGLZ | GLAZING | | |
| | | GR FL | GROUND FLOOR | | |
| | | GUT | GUTTER | | |
| | | GY BD | GYPSUM BOARD | | |
| | | | | | |
| | | H | ***** | | |
| | | HB | HOSE BIBB | | |
| | | HDF | HIGH DENSITY POLYETHYLENE | | |
| | | HDB | HARDWARE | | |
| | | HDWD | HARDWOOD | | |
| | | HEPA | HIGH EFFICIENCY PARTICULATE AIR (FILTER) | | |
| | | HHL | HOLLOW METAL | | |
| | | HMD | HOLLOW METAL DOOR | | |
| | | HORIZ | HORIZONTAL | | |
| | | HT | HEIGHT | | |
| | | HYD | HYDRAULIC | | |
| | | | | | |
| | | I | ***** | | |
| | | IBC | INTERNATIONAL BUILDING CODE | | |
| | | INSUL | INSULATION | | |
| | | INT | INTERIOR | | |
| | | ILO | IN LIEU OF | | |
| | | | | | |
| | | J | ***** | | |
| | | JAN | JANITOR | | |
| | | | | | |
| | | K | ***** | | |
| | | KPD | KEYPAD | | |
| | | KIT | KITCHEN | | |
| | | KFL | KICKPLATE | | |
| | | | | | |
| | | L | ***** | | |
| | | LA | LAMINATE | | |
| | | LAV | LAVATORY | | |
| | | LBR | LUMBER | | |
| | | LBS | POUND | | |
| | | LDS | LANDING | | |
| | | LF | LINEAR FEET (FOOT) | | |
| | | LIB | LIBRARY | | |
| | | LIN | LINEAR | | |
| | | LKR | LOCKER | | |
| | | LCC | LOCATION | | |
| | | LGT | LIGHT | | |
| | | LVDOR | LOUVER DOOR | | |
| | | LVR | LOUVER | | |
| | | | | | |
| | | M | ***** | | |
| | | MATL | MATERIAL | | |
| | | MAX | MAXIMUM | | |
| | | MC | MODULUS CONTENT | | |
| | | MD | METAL DECK | | |
| | | MECH | MECHANICAL | | |
| | | MECH | MECHANICAL ROOM | | |
| | | MEMB | MEMBRANE | | |
| | | MFI | MILL FINISH | | |
| | | MFR | MANUFACTURER | | |
| | | MD | MIDDLE | | |

NUMBERING SYSTEM:

DISCIPLINE:
C - CIVIL
L - LANDSCAPE
A - ARCHITECTURE
M - MECHANICAL
E - ELECTRICAL
P - PLUMBING
S - STRUCTURAL
K - FOOD SERVICE

SERIES NUMBER

SHEET NUMBER WITHIN SERIES

NUMBER OF PLAN, DETAIL, ETC., ON SHEET

A2.10/01

LEGEND

MATERIALS

| | | | |
|--|---|--|---|
| | CONCRETE/ PRECAST CONCRETE | | GYPSUM BOARD |
| | SOIL | | EXTERIOR GYPSUM SHEATHING |
| | SAND, EIFS FINISH COAT, OR CEMENT PLASTER | | EXTERIOR CEMENT BOARD |
| | BRICK | | COATED GLASS MAT WATER RESISTANT GYP BD |
| | CMU | | PLYWOOD |
| | STONE | | COVER BOARD |
| | FIBERGLASS BATT INSULATION | | |
| | FIBERGLASS SEMI RIGID INSULATION | | |
| | MINERAL WOOL SEMI RIGID INSULATION | | |
| | EXPANDED POLYSTYRENE RIGID INSULATION | | |
| | EXTRUDED POLYSTYRENE RIGID INSULATION | | |
| | POLYISOCYANURATE RIGID INSULATION | | |

FIRE RATED WALL SYMBOLS:

| | |
|--|----------------------|
| | 1 HR FIRE |
| | 2 HR FIRE |
| | 3 HR FIRE |
| | 4 HR FIRE |
| | 1 HR FIRE/SMOKE WALL |
| | 2 HR FIRE/SMOKE WALL |
| | 3 HR FIRE/SMOKE WALL |
| | 4 HR FIRE/SMOKE WALL |

ANNOTATION CALLOUTS/ DRAWING SYMBOLS

INTERIOR ELEVATION

SHEET NUMBER WHERE ELEVATION IS DRAWN

EXTERIOR ELEVATION

SHEET NUMBER WHERE ELEVATION IS DRAWN

PLAN, BLOW-UP DETAIL

SHEET NUMBER WHERE SECTION/ DETAIL IS DRAWN

Room name

**ROOM NAME/
NUMBER**

101

SHEET KEYNOTE

WINDOW TYPE

DOOR NUMBER

WALL TYPE

GRID / COLUMN LINE DESIGNATOR

REVISION TAG

NORTH ARROW

SPOT ELEVATION

FLOOR LEVEL

Name
Elevation

LOCUS MAP

A. **DISCREPANCIES:** THE GENERAL CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES FOUND BETWEEN THE ARCHITECT'S DRAWINGS AND FIELD CONDITIONS.

B. **PERMITS AND APPROVALS:** THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING REQUIREMENTS FOR, IDENTIFYING AND SECURING ALL NECESSARY PERMITS AND APPROVALS REQUIRED FROM AUTHORITIES HAVING JURISDICTION OVER THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND OCCUPANCY OF THE WORK. SHALL PREPARE THE NECESSARY APPLICATIONS AND SUBMIT REQUIRED PLANS AND DOCUMENTS TO OBTAIN SUCH PERMITS IN A TIMELY MANNER, AND SHALL PAY ALL FEES AND CHARGES IN CONNECTION THEREWITH.

C. **SCALING:** DO NOT SCALE OFF THESE DRAWINGS.

D. **CODES AND REQUIREMENTS:** THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL TRADES CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS.

E. **SCHEDULING AND COORDINATION:** THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF SEQUENCES AND SCHEDULES AND THE ACTUAL INSTALLED LOCATION AND INTERFACE OF THE WORK.

F. **LANGUAGE:** THE USE OF THE WORDS 'PROVIDE' OR 'PROVIDED' IN CONNECTION WITH ANY ITEM SPECIFIED OR INDICATED SHALL MEAN, UNLESS OTHERWISE NOTED, THAT SUCH ITEM SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR (OR HIS/HER SUBCONTRACTORS) WITH ALL REQUIRED ACCESSORIES AND CONNECTED WHERE REQUIRED. THE ARCHITECT SHALL BE THE SOLE AND FINAL JUDGE OF WHAT CONSTITUTES AN ACCEPTABLE MATCH.

G. **TEMPORARY UTILITIES:** THE GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES AS REQUIRED FOR THE CONTRACTOR'S EQUIPMENT.

H. **PUBLIC ACCESS:** PUBLIC SIDEWALKS AND STREETS USED FOR DELIVERY, ACCESS TO THE CONSTRUCTION SITE, AND WHICH MAY BE PART OF THE CONSTRUCTION SITE, SHALL BE PROTECTED AND MAINTAINED BY THE GENERAL CONTRACTOR IN A CLEAN AND SAFE CONDITION AT ALL TIMES. THESE AREAS SHALL NOT BE USED TO STORE CONSTRUCTION MATERIALS OR EQUIPMENT. THE GENERAL CONTRACTOR SHALL REPAIR ANY CONSTRUCTION RELATED DAMAGE TO THESE AREAS.

I. **DEMOLITION:** THE GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS OFFSITE.

J. **WORK IN THE RIGHT-OF-WAY:** THE GENERAL CONTRACTOR SHALL COORDINATE HIS/HER OCCUPANCY, USE, AND POSSIBLE BLOCKAGE OF ANY PUBLIC STREET OR SIDEWALK WITH THE CITY OF CAMBRIDGE AND ANY AND ALL OTHER PUBLIC AGENCIES HAVING JURISDICTION.

K. **CONSTRUCTION AREA:** THE GENERAL CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION AREA IN A CLEAN AND ORDERLY CONDITION, AND SHALL REMOVE AND LEGALLY DISPOSE OF ANY WASTE OFF-SITE.

L. **CONDITIONS OF COMPLETION:** UPON COMPLETION OF THIS PROJECT, THE GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN ALL FLOOR COVERING, FLOOR BASES, INTERIOR AND EXTERIOR FACE GLASS, AND ALL OTHER ITEMS INSTALLED OR AFFECTED DURING THE CONSTRUCTION, PRIOR TO TURNING THE SPACE OVER TO THE OWNER.

M. **BASIS OF PERFORMANCE:** THESE DRAWINGS ARE INTENDED TO PROVIDE THE BASIS FOR THE PERFORMANCE OF A COMPLETELY FINISHED JOB. ANYTHING NOT EXPRESSLY SET FORTH, BUT WHICH IS REASONABLY IMPLIED AND/OR NECESSARY FOR THE PROPER PERFORMANCE AND COMPLETION OF THIS WORK SHALL BE INCLUDED.

N. **LICENSING:** THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED TO PERFORM THE WORK SPECIFIED HEREIN IN THE CITY OF CAMBRIDGE AND THE STATE OF MASSACHUSETTS.

GENERAL CONSTRUCTION NOTES

A. INTERIOR WALL FINISH TO BE 1/2" 'BLUEBOARD' WITH VENEER PLASTER FINISH (TYP U.N.O.)

B. GARAGE SIDE OF ALL WALLS AND CEILINGS BETWEEN GARAGE SPACE AND LIVING SPACE TO RECEIVE MIN. (1) LAYER OF 5/8" TYPE 'X' GYP. BD. (TYP. U.N.O.)

C. ALL BATHROOM AND BEDROOM WALLS TO RECEIVE MIN. 3-1/2" SOUND ATTENUATION BATT INSULATION.

D. PROVIDE 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL WALLS AND FLOOR CEILING ASSEMBLIES SEPARATING INDIVIDUAL RESIDENTIAL UNITS.

E. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL DROP CEILINGS AND SOFFITS AS REQUIRED FOR MECHANICAL SYSTEMS. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR.

F. THE SUPPORTING STRUCTURE FOR ALL FIRE RATED FLOOR/CEILING ASSEMBLIES SHALL BE FIRE RATED WITH AN EQUAL OR GREATER FIRE RATING. ALL BEARING POSTS AND FIRE RATED WALL ASSEMBLY.

G. PRESSURE TREATED LUMBER IS TO BE USED AT ALL DAMP OR WET LOCATIONS. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO :

- a. 2X SLEEPERS ON CONCRETE SLABS AT THE BASEMENT OR GARAGE LEVEL.
- b. ALL SILLS AND SOLE PLATES AT CONC. OR MASONRY FOUNDATION WALLS.
- c. ALL SLEEPERS ABOVE THE WATERPROOF MEMBRANE AT EXTERIOR DECKING ABOVE AN INTERIOR SPACE.
- d. THE SUPPORTING STRUCTURE FOR ALL EXTERIOR PATIOS AND DECKS AND THEIR ASSOCIATED RAILING SYSTEMS.

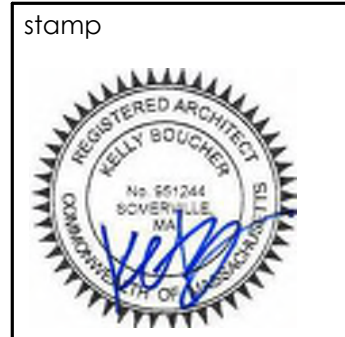
H. ALL BATH AND POWDER ROOMS TO BE MECHANICALLY VENTILATED PER 780 CMR 3603.6.2

I. NO SHEET METAL OR OTHER FASTENING MEANS SHALL BE ALLOWED TO PENETRATE CLOTHES DRYER EXHAUST VENTS. VENTS SHALL BE MIN. 016" THICK RIGID METAL DUCTING WITH SMOOTH INTERIOR SURFACE AND JOINTS RUNNING IN THE DIRECTION OF AIR FLOW. (780 CMR 3618.1)

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

title
OPEN SPACE DIAGRAM

project
19 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/8" = 1'-0"

issue date 03.14.22

PERMIT SET

Sheet no.
A010

LOT 1
PROPOSED GSF: 4683 SF
MIN. LOT AREA REQ. TO SUPPORT SF: 9366 SF
LOT AREA PROVIDED: 9495 SF

LOT 2
NEWLY ESTABLISHED LOT
LOT AREA: 6502+/- SF
ALLOWABLE GFA 3251 SF
PROPOSED GFA 3111 SF

OPEN SPACE

- LOT 1
- LOT 2

| OPEN SPACE DIAGRAM | |
|----------------------------|---------|
| Name | Area |
| LOT 2 | 6502 SF |
| LOT 1 | 9503 SF |
| TOTAL LOT AREA: 2 16005 SF | |



1 LOT AREA PLAN
1/8" = 1'-0"

N A L V E S T O N (PUBLIC - VARIABLE WIDTH) S T R E E T

MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN.
EXCEPTIONS PER MA CODE 781 CMR
GRADE OR BELOW NCO 5.0 SF MIN
SINGLE OR DOUBLE HUNG NCO 3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN.
NET OPENING WIDTH 20" MIN.
WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION
MUST BE OBTAINED BY THE NORMAL OPERATION OF THE
EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

EGRESS DOORS

PER IRC R310.2.1; R311.3

NUMBER OF EGRESS DOORS REQ.
1 MIN. PER UNIT

DOOR STYLE SIDE HINGED
CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE
DOOR AND STOP WITH THE DOOR
OPEN 90 DEG.

CLEAR HEIGHT 6'-6" (72") MIN MEASURED FROM THE TOP OF THE
THRESHOLD TO THE BOT. OF THE STOP

DOOR HEIGHT 6'-8"
OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE
OF THE DWELLING WITHOUT THE USE OF A KEY
OR SPECIAL KNOWLEDGE OR EFFORT

LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR
DOOR

GENERAL FLOOR PLAN NOTES:

A. EXTERIOR DIMENSIONS ARE FROM FACE OF STUD, AND CENTER OF
OPENINGS.

B. INTERIOR DIMENSIONS ARE FINISH TO FINISH.

C. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL
WALLS SEPARATING DWELLING UNITS FROM ALL OTHER SPACES.

D. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL
BATHROOM AND BEDROOM WALLS.

E. UNLESS OTHERWISE NOTED THE HINGE SIDE OF DOOR JAMBS SHALL
BE SET 4" FROM ADJACENT WALLS

F. THE G.C. SHALL COORDINATE LOCATION OF ALL BLOCKING AS
REQUIRED IN THE ACCESSIBILITY AND ADAPTABILITY GENERAL
NOTES.

SMOKE AND CARBON MONOXIDE DETECTORS

S SMOKE ALARM LOCATIONS
PER IRC R314.3

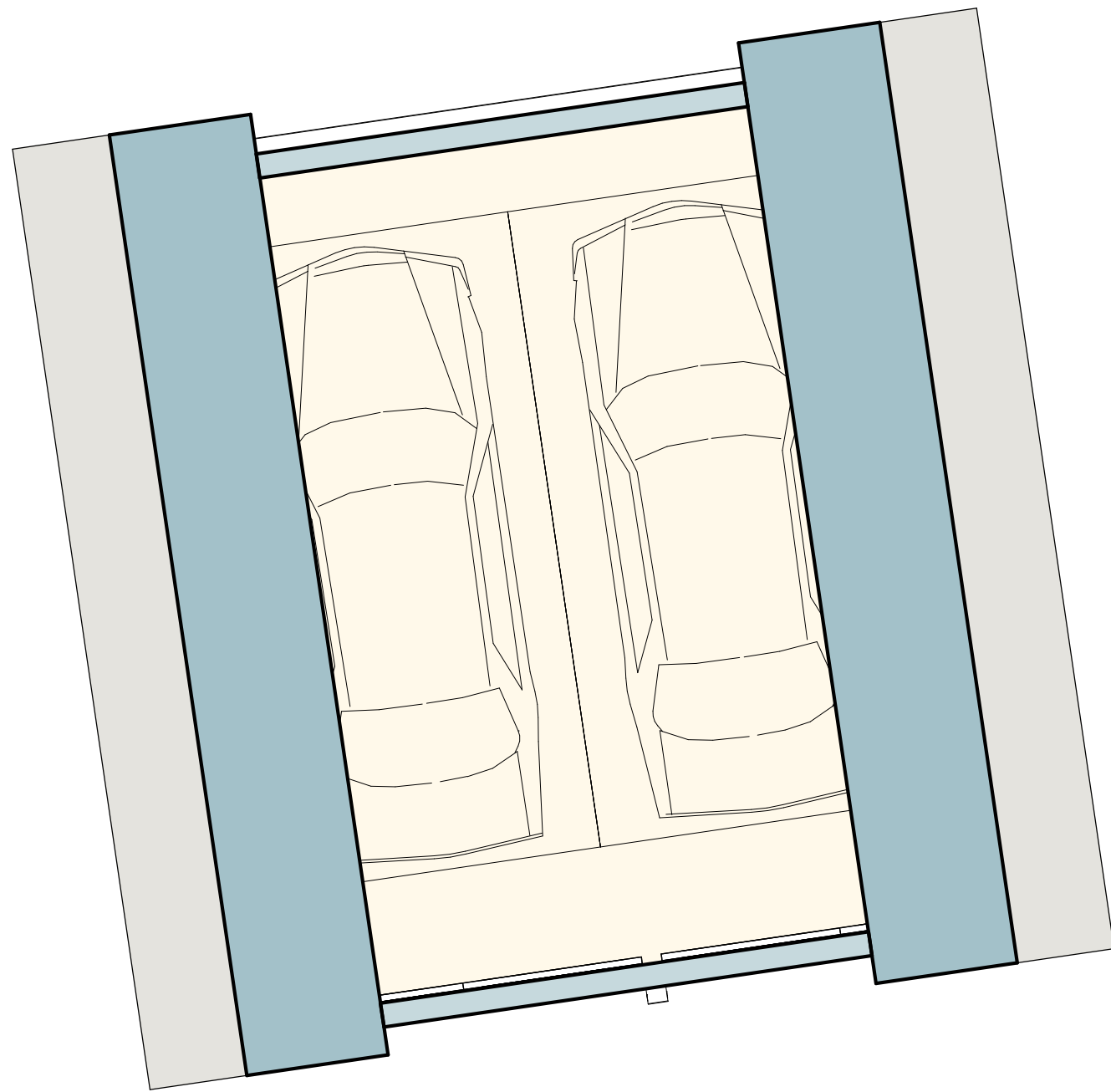
SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING
LOCATIONS:

- IN EACH SLEEPING ROOM
OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS
- ON EACH ADDITIONAL STORY OF THE DWELLING UNIT
INCLUDING BASEMENTS AND HABITABLE ATTICS

CO COMBO SMOKE/CARBON MONOXIDE
PER IRC R315

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED
OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS

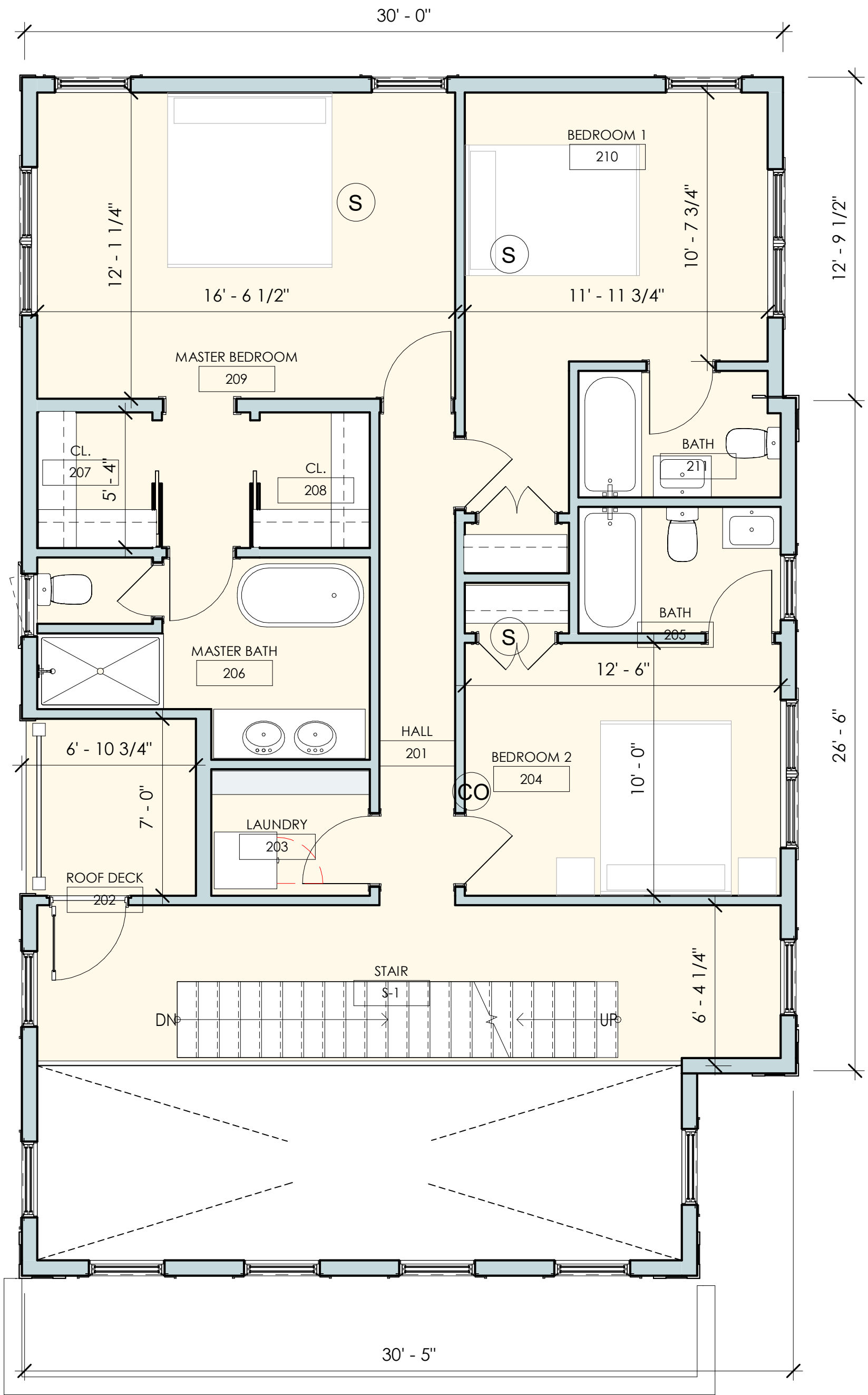
CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE
THE DU CONTAINS A FUEL-FIRED APPLIANCE
THE DU HAS AN ATTACHED GARAGE WITH AN OPENING
THAT COMMUNICATES WITH THE UNIT



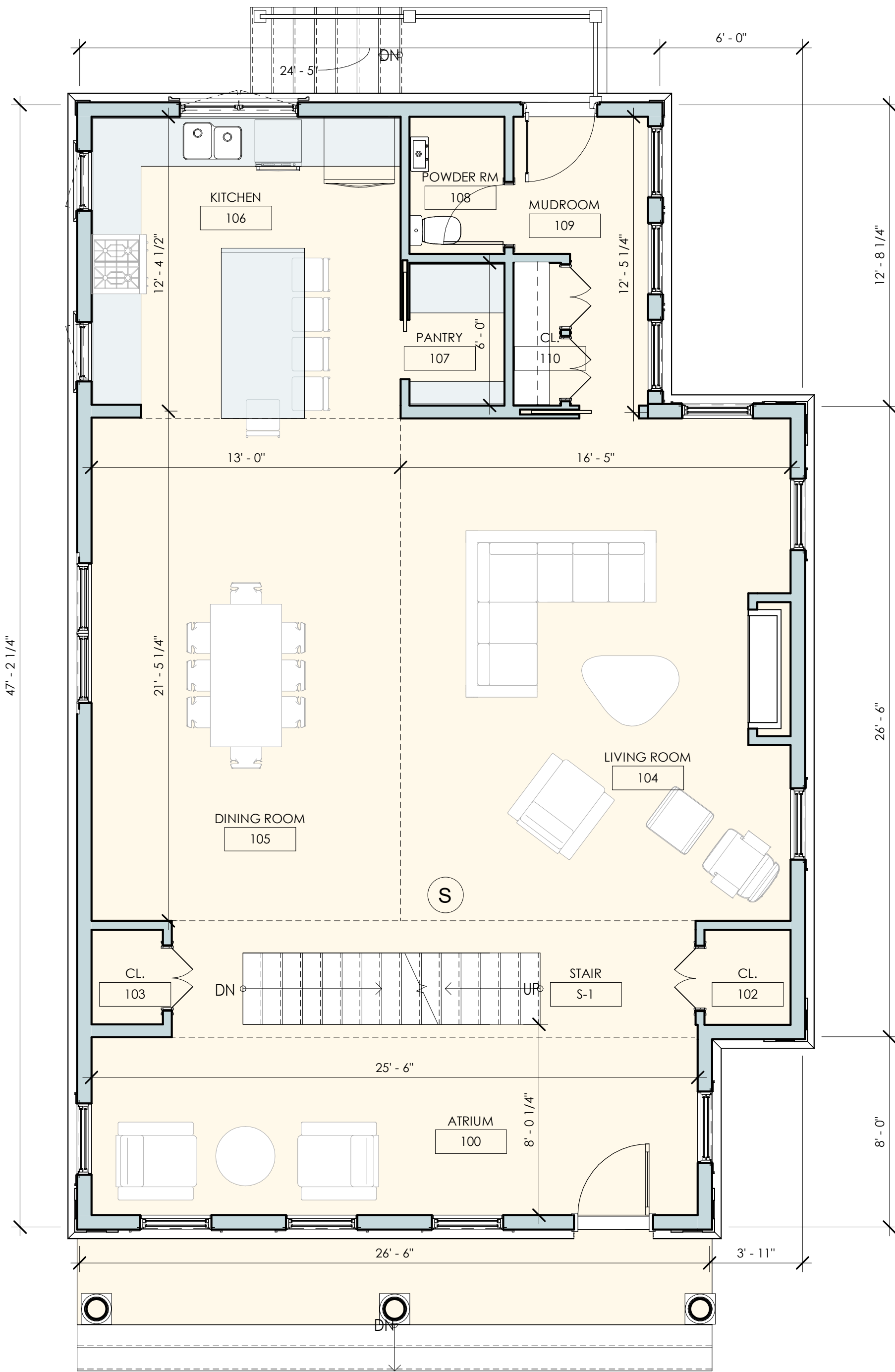
MEANS OF EGRESS - BASEMENT

WINDOW WELLS
PER IRC R310.22.3

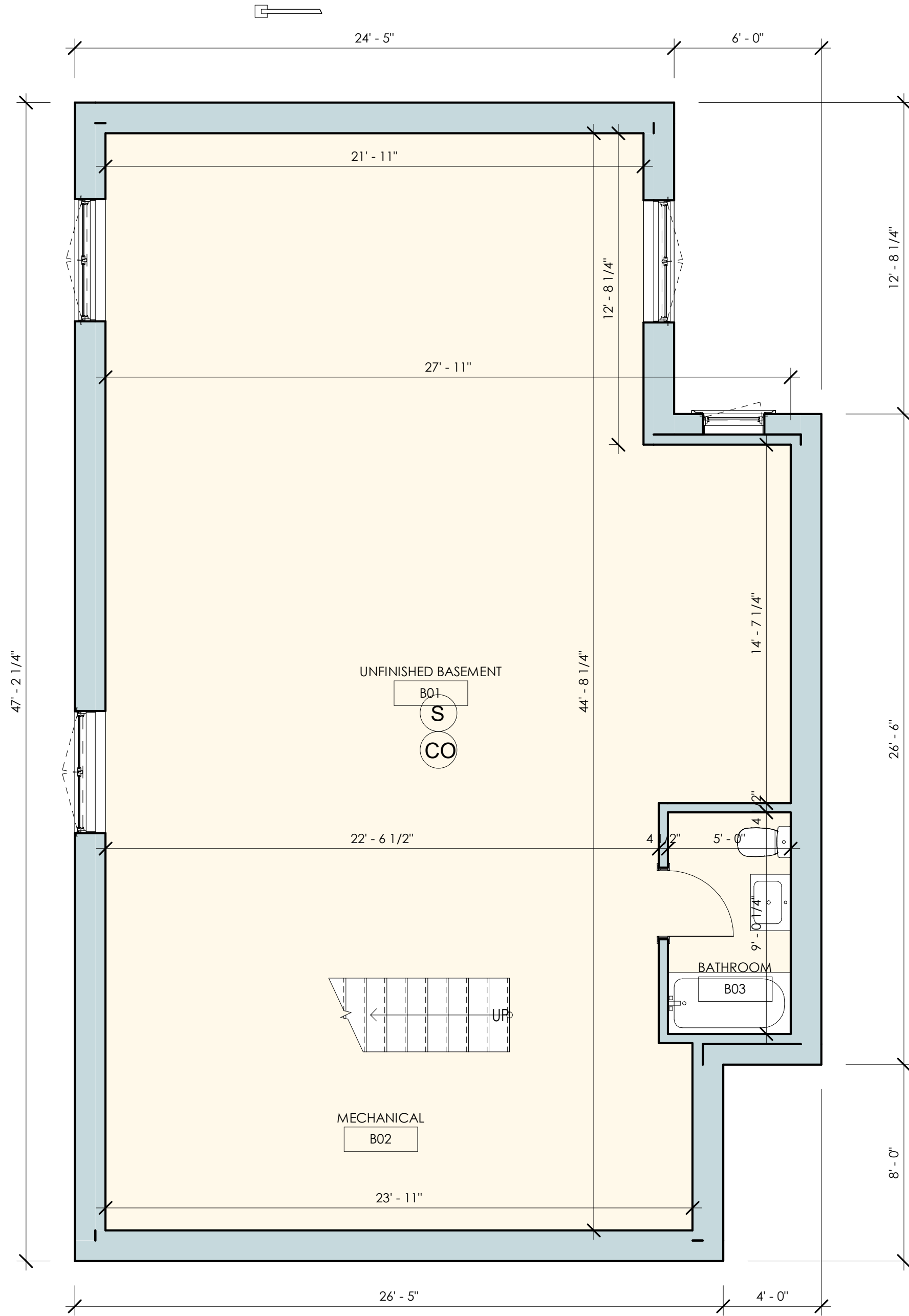
HORIZONTAL AREA 9 SF MIN.
HORIZ. PROJECTION AND WIDTH 36" MIN. CLEAR
THE AREA OF THE WINDOW WELL MUST ALLOW THE
EMERGENCY ESCAPE AND RESCUE OPENING TO BE
FULLY OPENED.
WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN
44" MUST BE EQUIPPED WITH A PERMANENTLY AFFIXED
LADDER USEABLE WITH THE WINDOW IN THE FULLY OPEN
POSITION
LADDERS OR RUNGS INSIDE WIDTH 12" MIN
LADDER OR RUNGS PROJECTION 3" MIN. FROM WALL
LADDER OR RUNGS SPACING 18" O.C. FOR FULL HEIGHT



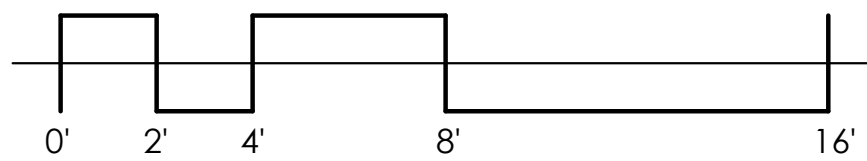
SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



BASEMENT FLOOR PLAN
1/4" = 1'-0"



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Development
300 1st AVENUE
NEEDHAM, MA 02494

file
project
BASEMENT, FIRST AND SECOND FLOOR PLANS
19 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT SET

Sheet no.
A100

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

| | |
|----------------------|---------------|
| CLEAR OPENING HEIGHT | 24" MIN. |
| NET OPENING WIDTH | 20" MIN. |
| WIN. SILL HEIGHT: | 44" MAX. AFF. |

EGRESS DOORS
PER IRC R311.2; R311.3

GENERAL FLOOR PLAN NOTES:

- ENERGY CODE - BUILDING ENVELOPE REQ.

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N110.1.7

INSULATION REQ. BY COMPONENT
IRC TABLE 01102.1.2 (R402.1.2)

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE BUILDING PERMIT

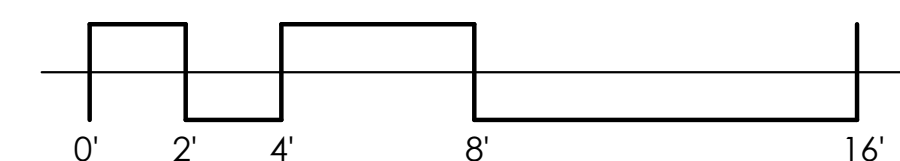
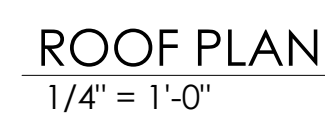
S **SMOKE ALARM LOCATIONS**
PER IRC R314.3

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- ON EACH ADDITIONAL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS

EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

CO COMBO SMOKE/CARBON MONOXIDE
PER IRC R315

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE
THE DU CONTAINS A FUEL-FIRED APPLIANCE
THE DU HAS AN ATTACHED GARAGE WITH AN OPENING
THAT COMMUNICATES WITH THE UNIT



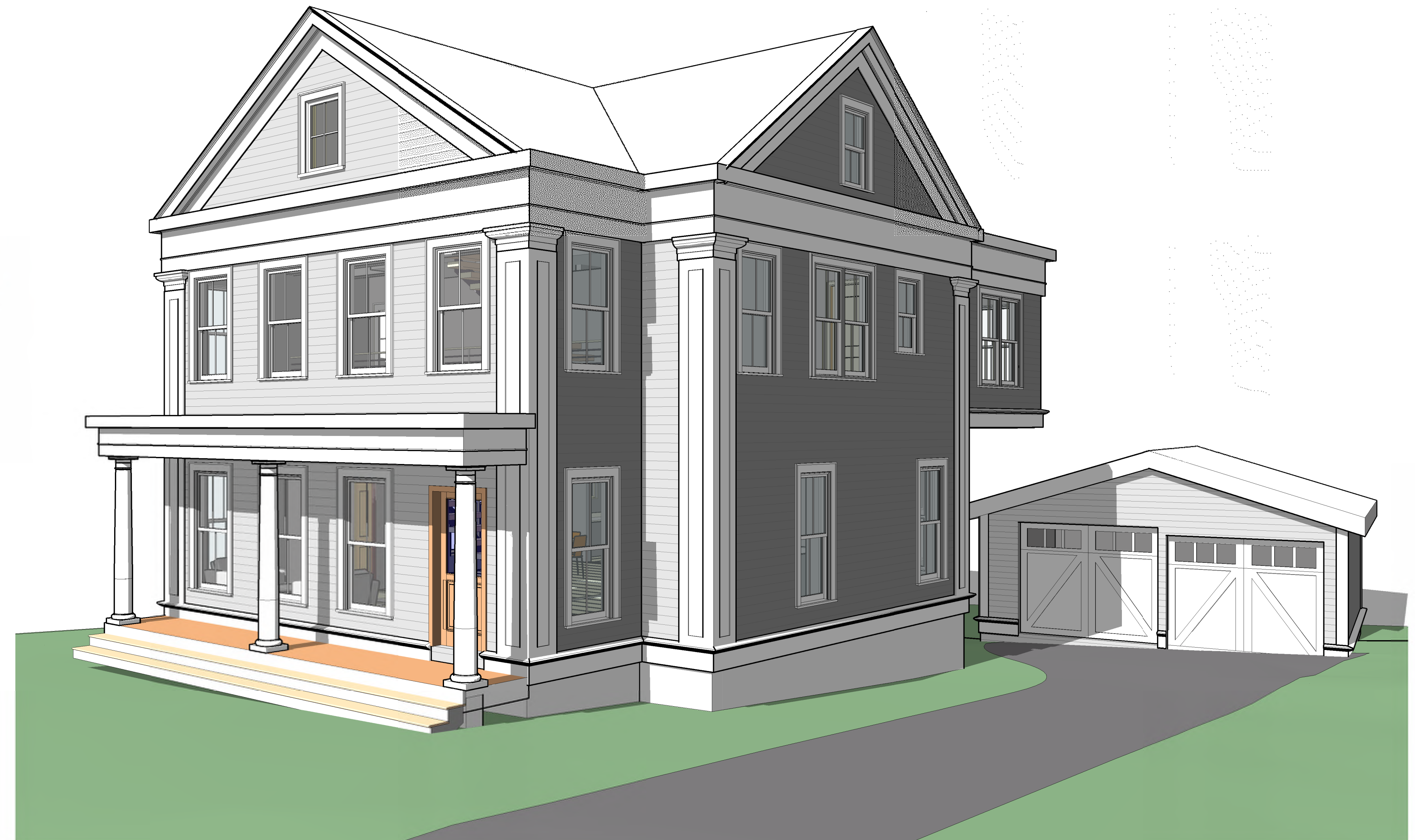
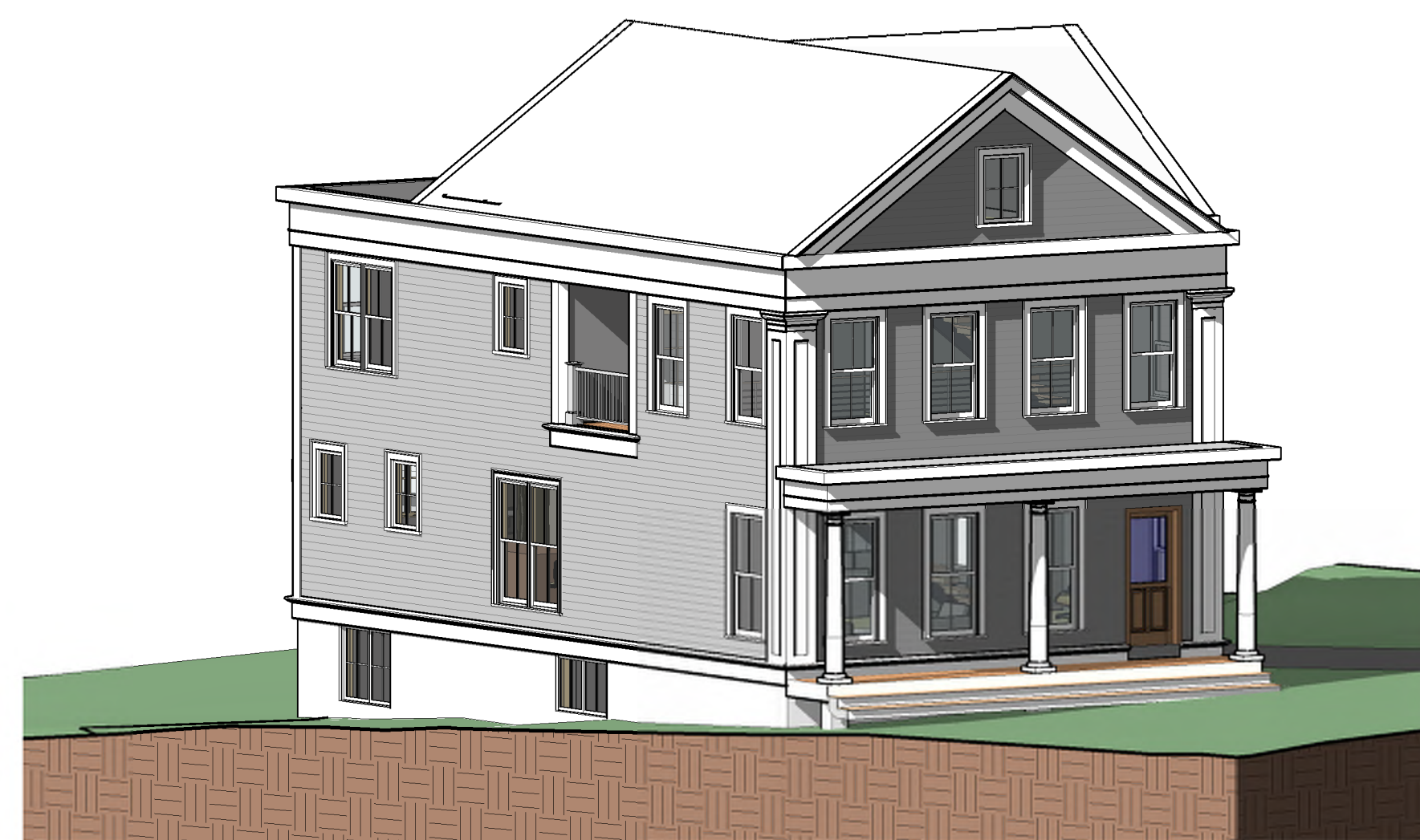
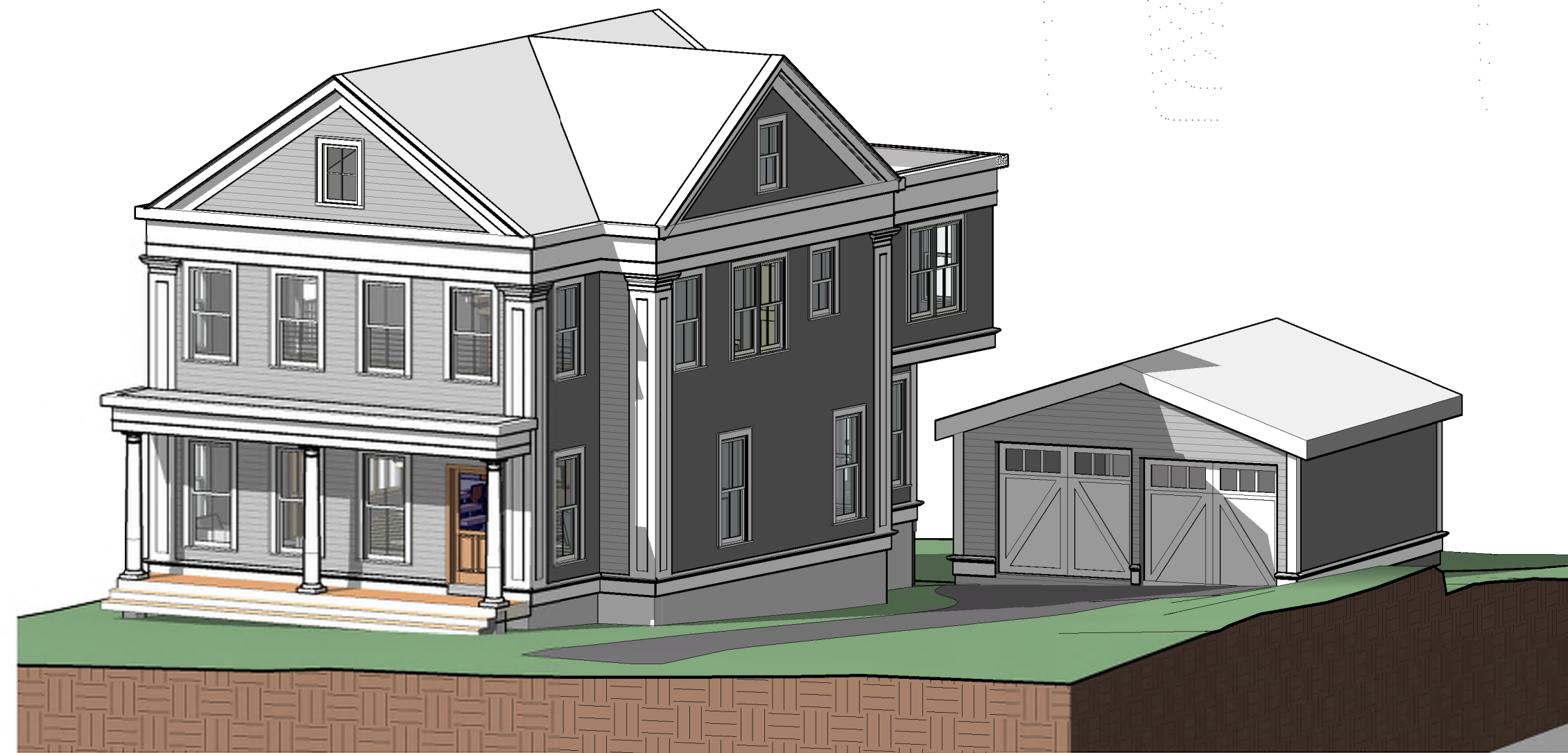
THIRD FLOOR AND ROOF PLANS

19 ALVESTON STREET, JAMAICA PLAIN MA



PERMIT SET

Sheet no.
A101

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ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

3D VIEWS

19 ALVESTON STREET, JAMAICA PLAIN MA



Job number 21-023

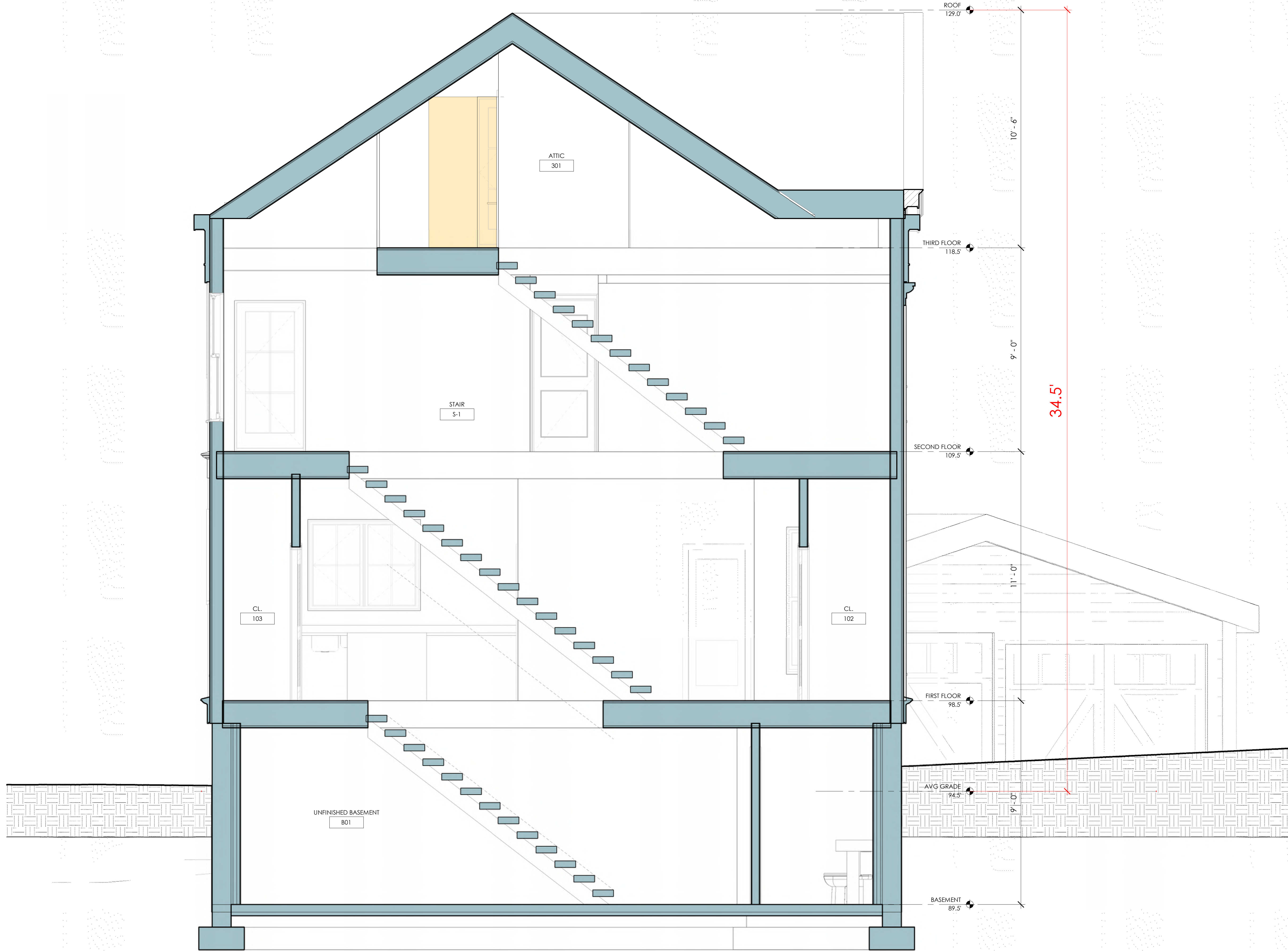
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Issue date: 03.14.22

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1 STAIR SECTION
1/2" = 1'-0"

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client
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NEEDHAM, MA 02494

file BUILDING SECTION
project 19 ALVESTON STREET, JAMAICA PLAIN MA



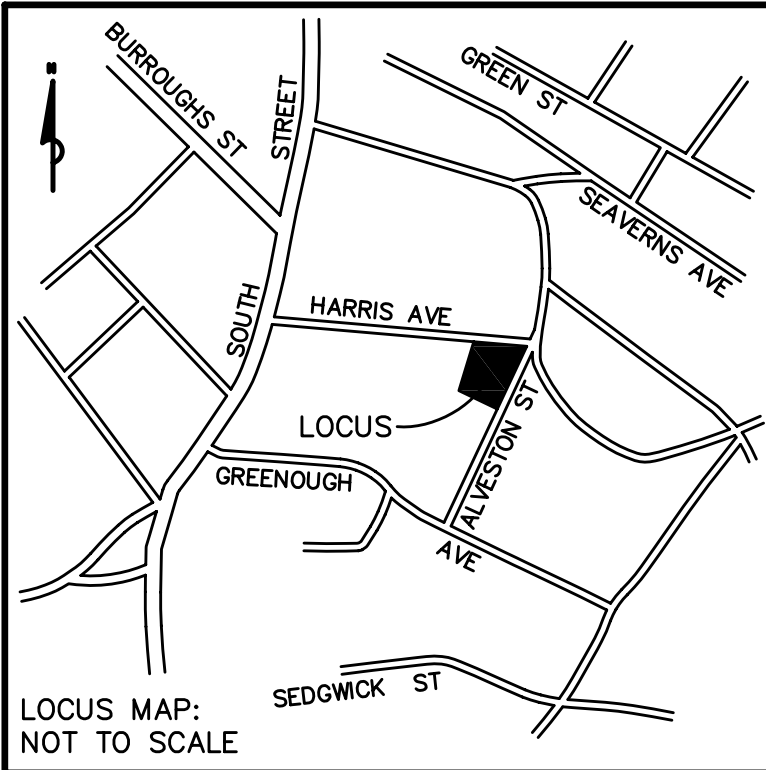
job number 21-023

scale 1/2" = 1'-0"

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NOTES

- 1) THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND ARE SUBJECT TO THE FINDINGS SUCH A REPORT MAY DISCLOSE.
- 2) OWNER: ALVESTON DEVELOPMENT LLC
DEED BOOK 66935 PAGE 26
ASSESSORS PARCEL ID #1901321000

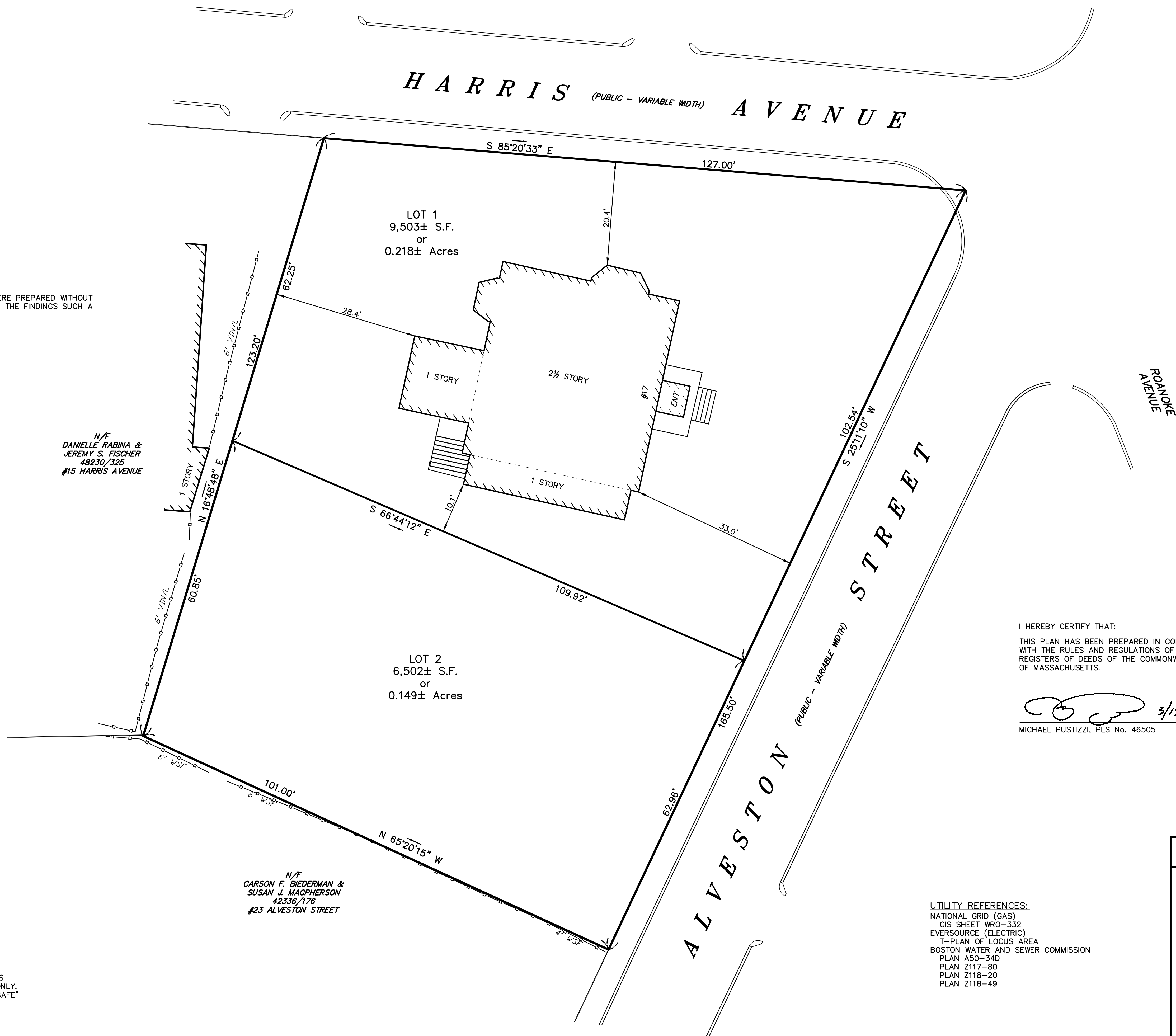
REFERENCES:

SUFFOLK COUNTY REGISTRY OF DEEDS
DEED BOOK 8110 PAGE 659 (LOCUS)
PLAN WITH DEED BOOK 7512/489
PLAN WITH DEED BOOK 7869/443
PLAN WITH DEED BOOK 19281/299
PLAN BOOK 2007 PLAN 588

CITY OF BOSTON ENGINEERING DEPARTMENT
FIELD BOOK 118/92
FIELD BOOK 122/136-140
FIELD BOOK 128/56-61
FIELD BOOK 134/92
FIELD BOOK 266/156
FIELD BOOK 363/27
FIELD BOOK 629/133
FIELD BOOK 714/63



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

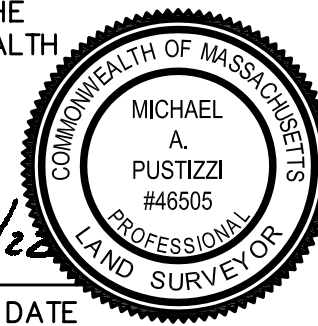


I HEREBY CERTIFY THAT:

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

 3/15/22

MICHAEL PUSTIZZI, PLS No. 46505 DATE



UTILITY REFERENCES:


NATIONAL GRID (GAS)
GIS SHEET WRO-332
EVERSOURCE (ELECTRIC)
T-PLAN OF LOCUS AREA
BOSTON WATER AND SEWER COMMISSION
PLAN A50-340
PLAN Z117-80
PLAN Z118-20
PLAN Z118-49

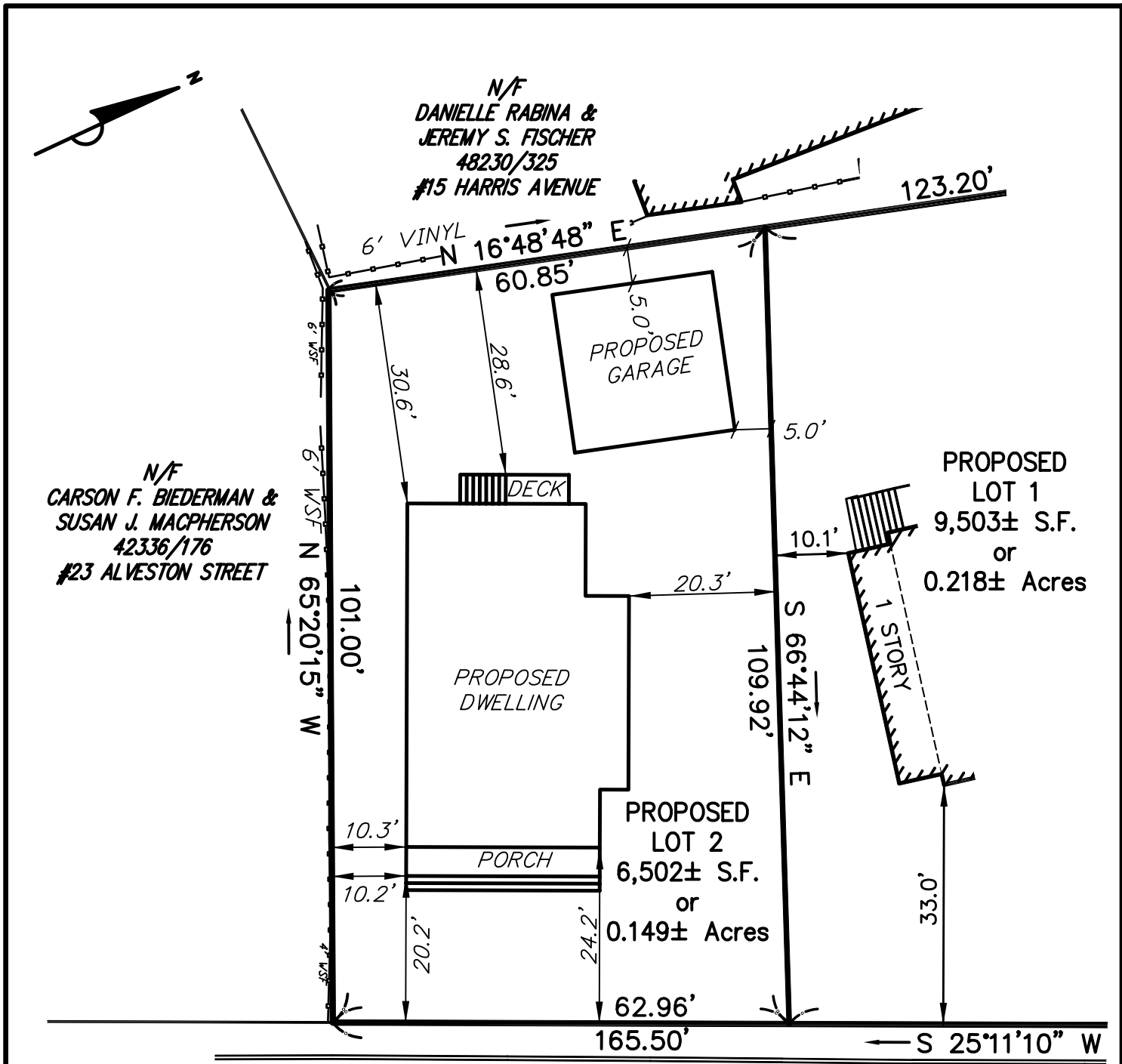
#17 ALVESTON STREET

PLAN OF LAND
IN
BOSTON, MA
(SUFFOLK COUNTY)

SCALE: 1"= 10' DATE: MARCH 15, 2022



 Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096
495701PL1.DWG



ALVESTON (PUBLIC - VARIABLE WIDTH) STREET

NOTE: BOUNDARY LINES SHOWN HEREON REFER TO "#17 ALVESTON STREET, PLAN OF LAND IN BOSTON, MA DATED OCTOBER 13, 2021, BY THIS OFFICE, TO BE RECORDED WITH THE SUFFOLK COUNTY REGISTRY OF DEEDS.

OWNER: ALVESTON DEVELOPMENT LLC
DEED BOOK 66935 PAGE 26
ASSESSORS PARCEL ID #1901321000

PROPOSED PLOT PLAN LOT 2 (17 ALVESTON STREET) IN BOSTON, MA (SUFFOLK COUNTY)

SCALE: 1"= 20' DATE: 3/15/2022



Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096
495701PP1.DWG



[Signature]

MICHAEL PUSTIZZI, PLS

DATE

3/15/22