



# **58 BURBANK**

SINGLE FAMILY TOWNHOUSE

58 BURBANK STREET BOSTON, MA 02115

# **Issue for Permit**

**5 OCTOBER 2022** 

# **PROJECT TEAM:**

# ARCHITECT:

MONTE FRENCH DESIGN STUDIO 650 COLUMBUS AVE, STE A BOSTON, MA 02118 (617)-606-4496

# **BUILDER:**

HAYCON INC. 35 BATCHELDER ST BOSTON, MA 02119 (857)-308-2104

# STRUCTURAL ENGINEER:

H+O STRUCTURAL ENGINEERING 100 SUMMER STREET, SUITE 1600 BOSTON, MA 02110 (617)-938-3349

#### **MECHANICAL ENGINEER:**

BLW ENGINEERS 311 GREAT RD LITTLETON, MA 01460 (978) 486-4301

#### FIRE PROTECTION ENGINEER:

MASS FIRE PREVENTION 96 RESERVOIR PARK DRIVE ROCKLAND, MA (781) 871-0131

SEMERAL			G SET	TSFT
SEMERAL			22 ZONIN	0/05/22 PERMIT SET
0.000   COUPER   SUMMARY DAMING LIST   0.000   0.00	NUMBER	NAME	11/02/	10/05/
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SS.1	54.2	TYPICAL CONCRETE DETAILS II	0	•
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1-004   DETAIL SHEET 2				
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	FP.2	SPRINKLER PLANS	0	

# PROJECT SUMMARY

ZONING OVERVIEW	(Subject to Small Project Review: Section 80B-2)	REMARKS	
ZONING DISTRICT	FENWAY NEIGHBORHOOD (WARD 4)	Article 66	
ZONING SUBDISTRICT	MULTIFAMILY RESIDENTIAL (MFR-2)		
OVERLAY DISTRICTS	NEIGHBORHOOD DESIGN OVERLAY (NDOD)		Sec. 50-38 to 50-44
	GROUNDWATER CONSERVATION	Sec. 32	
	RESTRICTED PARKING		
PROPOSED USE	TOWNHOUSE - SINGLE FAMILY		
LOT AREA	1,660sf		
PARCEL #s	401478000		

DIMENSIONAL REGULATIONS		Article 66, Table C,F	MFR2 Subdistrict
DIMENSIONAL REGULATIONS	REQUIRED	PROPOSED	COMPLIANCE
MINIMUM LOT SIZE	none	1,660sf (existing)	COMPLIANT
MINIMUM LOT AREA PER DWELLING UNIT	none	-	COMPLIANT
LOT WIDTH MINIMUM	none	20' (existing)	COMPLIANT
LOT FRONTAGE MINIMUM	none	20' (existing)	COMPLIANT
FLOOR AREA RATIO MAXIMUM	4.00	3.94	COMPLIANT
BUILDING HEIGHT MAXIMUM STORIES	N/A	6	COMPLIANT
BUILDING HEIGHT MAXIMUM FEET	75'	74'-11"	COMPLIANT
MINIMUM USABLE OPEN SPACE PER DWELLING UNIT (1)	100sf	732sf	COMPLIANT
MINIMUM FRONT YARD (2)	3' (or Modal)	5'-11' (Modal)	COMPLIANT
MINIMUM SIDE YARD	none	0'	COMPLIANT
MINIMUM REAR YARD	11'-6" (per 66-43.10)	11'-6"	COMPLIANT
MAX REAR YARD OCCUP.	25%	0%	COMPLIANT
OFF STREET PARKING (3)	1 space	1 space	COMPLIANT
Residential Housing	0.75/Unit	-	-
Other Uses	none	-	-
BICYCLE PARKING (3b)	.5/Unit	> .5 spaces	COMPLIANT
OFF STREET LOADING	1.0 (if>15,001gsf)	0 Spaces	COMPLIANT

FAR AREAS

271.8 SF

975.3 SF

1,105.4 SF 1,105.5 SF

1,109.3 SF

1,060.3 SF

6,540.7 SF

BASEMENT

**FOOTNOTES:** (1) The minimum usable open space requirement is applicable only to Residential Uses and Dormitory/Fraternity Uses.

For any lot that exceeds the minimum lot area specified in this Table C, the required number of square feet of usable open space per dwelling unit shall be calculated by adding: (a) the minimum usable open space per dwelling unit specified in this Table C, and (b) twenty-five percent (25%) of the lot area in excess of the required minimum lot area specified in this Table C for the lot.All or a portion of the usable open space requirement may be met by unenclosed porches (with or without roofs) or by suitably designed and accessible space on the roofs of Main Buildings, or on the roofs of Accessory Buildings.

(2) See Section 50-44.2 (Conformity with Existing Building Alignment). If at any time in the same Block as a Lot required by this Article to have a minimum Front Yard there exist two or more buildings fronting on the same side of the same Street as such Lot, instead of the minimum Front Yard depth specified in this Article, the minimum Front Yard depth shall be in conformity with the Existing Building Alignment of the Block. A bay window may protrude into a Front Yard.

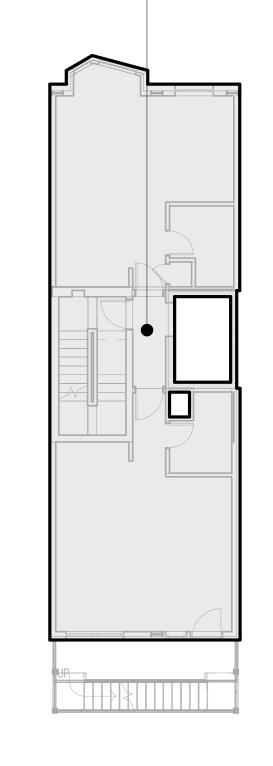
(3) The provisions of this Table F shall apply to all Proposed Projects. See Section 66-42 (Off-Street Parking and Loading Requirements). Proposed Projects subject to Large Project Review with Transportation Access Plans that include a Parking Management Element, pursuant to Section 80B-3.1a, shall assess in such Parking Management Element the need for alternative parking options, including car sharing, bicycle parking, and carpool/vanpool parking, as a means of minimizing the number of accessory spaces, promoting a more sustainable pattern of development and efficient use of land, and promoting good design. The following guidelines shall apply in determining the need for alternative parking spaces:

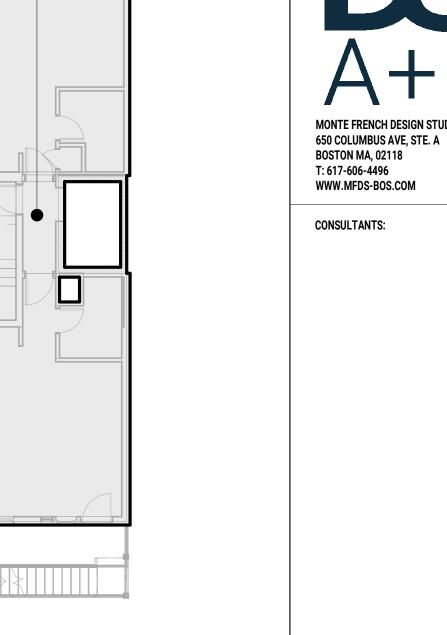
(a) Proposed projects with a gross floor area of 100,000 square feet or more should provide at least two (2) car sharing

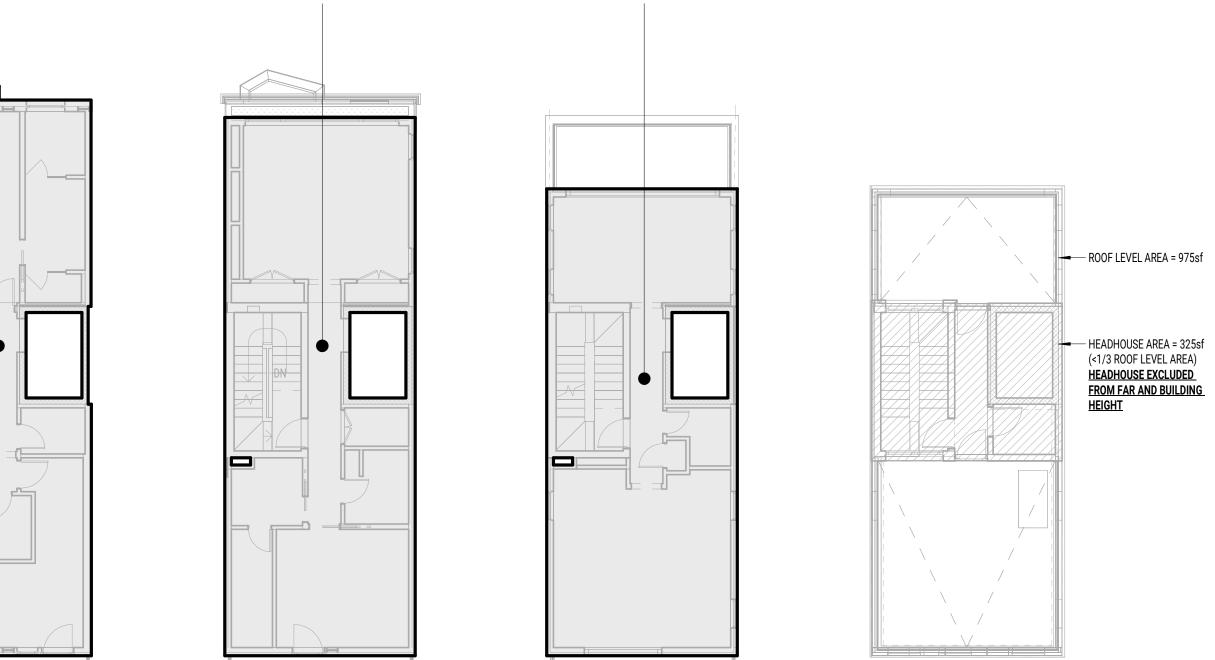
(b) Proposed Projects should provide bicycle parking spaces, in compliance with Boston Transportation Department (BTD) standards, equal to at least 0.5 spaces per Dwelling Unit (see Footnote 2, below), in the case of Residential Uses, or, in the case of other uses, ten percent (10%) of the number of vehicular spaces. Bicycle parking shall include both short- and long-term spaces, as defined by BTD; and

(c) Carpool/vanpool parking spaces should be provided, as needed, in accordance with BTD standards.

<b>LVL 0</b> 271.8 SF	<b>LVL 1</b> 975.3 SF	LVL 2 1,105.4 SF	<b>LVL 3</b> 1,105.5 SF
	UP TO THE PART OF		







LVL 6

913.1 SF

DESCRIPTION:

ISSUE FOR PERMIT

PROJECT NAME:

**58 BURBANK** ADDRESS:

ISSUE LOG:

58 BURBANK STREET BOSTON, MA, 02115 DATE ISSUED: 05 OCT 2022 **PROJECT #**: 21012 **SCALE:** 1" = 10'-0" DRAWN BY: ED, MN, AY

PROJECT SUMMARY, DRAWING LIST

6 LEVEL 4 FAR

SCALE: 1" = 10'-0"

LVL 4

1,109.3 SF

7 LEVEL 5 FAR SCALE: 1" = 10'-0"

LVL 5 1,060.3 SF

8 LEVEL 6 FAR SCALE: 1" = 10'-0"

9 ROOF FAR SCALE: 1" = 10'-0"

#### **ABBREVIATIONS**

A		FA	FIRE ALARM	NTS	NOT TO SCALE
A/E	ARCHITECT/ENGINEER	FAR	FLOOR AREA RATIO	NUM	NUMERAL
ACC ACOUS INSUL	ACCESSIBLE ACOUSTICAL INSULATION	FD FDTN	FLOOR DRAIN FOUNDATION	0 0A	OVERALL
COUS PNL	ACOUSTICAL PANEL	FE	FIRE EXTINGUISHER	0C	ON CENTER
ACS DR	ACCESS DOOR	FEC	FIRE EXTINGUISHER CABINET	OD	OUTSIDE DIAMETER
ACS FLR ACS PNL	ACCESS FLOOR ACCESS PANEL	FF BATT FGL	FOIL BACKED BATT INSULATION FIBERGLASS	OF/CI	OWNER FURNISHED/CONTRACTO
ACS FINE ACST	ACOUSTIC	FIN	FINISH	OF/OI	OWNER FURNISHED/OWNER
ACT	ACOUSTICAL CEILING TILE	FIN FLR	FINISH FLOOR	OFF	INSTALLED OFFICE
ADA ADDM	AMERICANS WITH DISABILITIES ACT ADDENDUM	FIXT FLMT	FIXTURE FLUSH MOUNT	OFF OH	OVERHEAD
ADH	ADHESIVE	FLR	FLOOR	OPH	OPPOSITE HAND
/DJ	ADJUSTABLE	FLUOR	FLUORESCENT	OPNG	OPENING
ADMIN	ADMINISTRATION	FOF	FACE OF FINISH	OPP OPR	OPPOSITE OPERABLE
AFC AFF	ABOVE FINISHED COUNTER  ABOVE FINISHED FLOOR	FOS FR	FACE OF STUD FIRE RESISTANT	OPT	OPTIMUM
AFS	ABOVE FINISHED SLAB	FRP	FIBERGLASS REINFORCED PLASTIC	ORIG	ORIGINAL
ALLOW	ALLOWANCE	FRZ	FREEZER	P PART	PARTIAL
ALNMT ALT	ALIGNMENT ALTERNATE	FT FTG	FEET FOOTING	PAT	PATTERN
ALTRN	ALTERATION	FURN	FURNITURE	PBD	PARTICLEBOARD
ALUM	ALUMINUM	FWC	FABRIC WALLCOVERING	PEND PERF	PENDANT PERFORATED
ANOD APPOX	ANODIZE APPROXIMATE	G GA	GAUGE	PLAM	PLASTIC LAMINATE
AR	AS REQUIRED	GALV	GALVANIZED	PLBG	PLUMBING
ARCH	ARCHITECT	GC	GENERAL CONTRACTOR	PLT PLYWD	PLATE PLYWOOD
ASC ASTM	ABOVE SUSPENDED CEILING  AMERICAN SOCIETY FOR TESTING	GFRG GL	GLASS-FIBER-REINFORCED GYPSUM GLASS	PM	PRESSED METAL
AST IVI	AND MATERIALS	GLZ	GLAZING	PMTL	PAINTED METAL
AV	AUDIO VISUAL	GPC	GYPSUM PLASTER CEILING	PNL	PANEL
AWI	ARCHITECTURAL WOODWORKING INSTITUTE	GRAN	GRANITE	PORC PR	PORCELAIN PAIR
AWP	ACOUSTICAL WALL PANEL	GROM GWB	GROMMET GYPSUM WALLBOARD	PROJ	PROJECT
3	DAFFIE	GYP	GYPSUM GYPSUM	PT	PAINT
BAF BALC	BAFFLE BALCONY	Н	HIGH PRESSURE BY ACTION WITH	PTN Q	PARTITION
BATTIN	BATT INSULATION	H PLAM HC	HIGH PRESSURE PLASTIC LAMINATE HANDICAP	QT	QUARRY TILE
BF	BOTH FACES	HDR	HEADER	QTB	QUARRY TILE BASE
BFF BLELD DP	BELOW FINISH FLOOR	HDW	HARDWARE	QTR	QUARTER
BI FLD DR BITUM	BIFOLDING DOORS BITUMINOUS	HDWD	HARDWOOD	QTY R	QUANTITY
BKBD	BACKBOARD	HM HMDF	HOLLOW METAL HOLLOW METAL DOOR AND FRAME	R	RADIUS
BKG	BACKING	HMF	HOLLOW METAL FRAME	R	RISER
BLDG BLT IN	BUILDING BUILT-IN	НО	HOLD OPEN	RAD RB	RADIATOR RESILIENT BASE
BLW	BELOW	HORIZ HT	HORIZONTAL HEIGHT	RB	RUBBER BASE
BLW CLG	BELOW CEILING	HVAC	HEATING, VENTILATING, AND AIR	RBR	RUBBER
BOT	BOTTOM		CONDITIONING	RCP	REFLECTED CEILING PLAN
BRKT BRZ	BRACKET BRONZE	HWH	HOT WATER HEATER	RCPTN REC	RECEPTION RECESSED
BS	BOTH SIDES	ID	INSIDE DIAMETER	RECD	RECEIVED
BSMT	BASEMENT	INCAND	INCANDESCENT	RECPT	RECEPTACLE
BTWN C	BETWEEN	INCL	INCLUDED	REF REF	REFRIGERATOR REFERENCE
CAB	CABINET	INFO INSTL	INFORMATION INSTALL	REFR	REFRIGERATION
CER	CERAMIC	INSUL	INSULATION	REP	REPAIR
CG	CORNER GUARD	INT	INTERIOR	REPL	REPLACE
CJ CL	CONTROL JOINT CENTER LINE	J-BOX	JUNCTION BOX	REQD	REQUIRE REQUIRED
CLG	CEILING	JAN	JANITOR	RES	RESILIENT
CLG DIFF	CEILING DIFFUSER	JAN CLO	JANITOR CLOSET	REST	RESTROOM
CLG HT CLKJ	CEILING HEIGHT CALKED JOINT	JT K	JOINT	RET REV	RETURN REVISION
CLOS	CLOSET	KB	KNEE BRACE	RF	RESILIENT FLOORING
CMU	CONCRETE MASONRY UNIT	KD	KNOCKED DOWN	RFI	REQUEST FOR INFORMATION
ONR CO	CORNER CASED OPENING	KIT KPL	KITCHEN KICKPLATE	RH RHR	RIGHT HAND RIGHT HAND REVERSE
COL	COLUMN	L	NICRPLATE	RL	ROOF LEADER
CONC	CONCRETE	LAB	LABORATORY	RM	ROOM
CONF	CONFERENCE CONSTRUCTION	LAM	LAMINATE	RND RO	ROUND ROUGH OPENING
CONT	CONTINUOUS	LAM GL LAV	LAMINATED GLASS  LAVATORY	RTF	RUBBER TILE FLOOR
CONTR	CONTRACTOR	LF	LINEAR FEET (FOOT)	RTG	RATING
CORR	CORRIDOR	LH	LEFT HAND	S	COLLEG
CPT CSWK	CARPET CASEWORK	LHR	LEFT HAND REVERSE	S SALV	SOUTH SALVAGE
CT CT	CERAMIC TILE	LINO	LINEAR LINOLEUM	SAMP	SAMPLE
СТВ	CERAMIC TILE BASE	LT	LIGHT	SBSTR	SUBSTRATE
CTF CTV	CERAMIC TILE FLOOR  CABLE TELEVISION	LVR	LOUVER	SCHED SCRN	SCHEDULE SCREEN
)	ONDER I ELL VIOIUN	M MACH RM	MACHINE ROOM	SECT	SECTION
	DEMOLISH	MATL	MATERIAL	SEP	SEPARATE
	DEMOLITION	MAX	MAXIMUM	SF	SQUARE FOOT (FEET)
)EMO					SHOWER
DEMO DEPT	DEPARTMENT	MDF	MEDIUM DENSITY FIBERBOARD	SHR SHV	SHFI VING
DEMO DEPT DET		MDF MDO MECH	MEDIUM DENSITY FIBERBOARD  MEDIUM DENSITY OVERLAY  MECHANICAL	SHV SIM	SHELVING SIMILAR
DEMO DEPT DET DF	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER	MDO MECH MECH RM	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM	SHV SIM SK	SIMILAR SKETCH
DEMO DEMO DEPT DET DF DIA DIFF	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER	MDO MECH MECH RM MED	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM	SHV SIM SK SLNT	SIMILAR SKETCH SEALANT
DEMO DEPT DET DF DIA DIFF	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER	MDO MECH MECH RM	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM	SHV SIM SK	SIMILAR SKETCH
DEMO DEPT DET DF DIA DIFF DIM DMR DPTN	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION	MDO MECH MECH RM MED MEZZ	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE	SHV SIM SK SLNT SMLS SNSR SPEC	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION
DEMO DEPT DET DIA DIFF DIM DMR DPTN DR	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR	MDO MECH MECH RM MED MEZZ MFD MFR MID	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE	SHV SIM SK SLNT SMLS SNSR SPEC SPKR	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER
DEMO DEPT DET DIA DIFF DIM DMR DPTN DR	DEPARTMENT  DETAIL  DRINKING FOUNTAIN  DIAMETER  DIFFUSER  DIMENSION  DIMMER  DEMOUNTABLE PARTITION  DOOR  DISHWASHER	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE
DEMO DEPT DET DIA DIA DIFF DIM DMR DPTN DR DW DWG	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR	MDO MECH MECH RM MED MEZZ MFD MFR MID	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE	SHV SIM SK SLNT SMLS SNSR SPEC SPKR	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER
DEMO DEPT DET DIA DIFF DIM DMR DPTN DR DW DW DWG DWR	DEPARTMENT  DETAIL  DRINKING FOUNTAIN  DIAMETER  DIFFUSER  DIMENSION  DIMMER  DEMOUNTABLE PARTITION  DOOR  DISHWASHER  DRAWING  DRAWER	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE STAINLESS STEEL STAGGERED
DEMO DEPT DET DIA DIFF DIM DMR DPTN DR DW DWG DWG DWR	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE SAUARE SQUARE SAUARE STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS
DEMO DEPT DET DET DIA DIFF DIM DMR DPTN DR DW DWG DWG DWR E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MODIFY	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE STAINLESS STEEL STAGGERED
DEMO DEPT DET DET DIA DIFF DIM DIM DIM DIPF DIM DIW DIW DIVINITION DIR DIVINITION DIVINI	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD
DEMO DEPT DET DET DIA DIFF DIM DMR DPTN DR DW DWG DWG DWG DWG DWG E E E E E E E E E E E E E E E E E E E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL	MEDIUM DENSITY OVERLAY  MECHANICAL  MECHANICAL ROOM  MEDIUM  MEZZANINE  MANUFACTURED  MANUFACTURER  MIDDLE  MINIMUM  MIRROR  MISCELLANEOUS  MILLWORK  MASONRY OPENING  MOUNTED  MOUNTING  METAL	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS
DEMO DEPT DET DIA DIFF DIM DIM DIM DIM DIW	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC EMERGENCY	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MODIFY MOUNTED MOUNTING METAL METAL FLASHING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR STRUCT	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS STRUCTURAL
DEMO DEPT DET DET DIA DIFF DIM DIM DIFF DIM DIM DIFF DIM DIW DIW DIV DIW	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF MVBL	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MODIFY MOUNTED MOUNTING METAL METAL METAL FLASHING MOVABLE	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS
DEMO DEPT DET DF DIA DIFF DIM DMR DPTN DR DW DWG DWG DWG E E E E E E E E E E E E E E E E E E E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR EMERGENCY ENAMEL ENTRANCE EQUAL	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MODIFY MOUNTED MOUNTING METAL METAL FLASHING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR STRUCT SV SYS T	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS STRUCTURAL SHEET VINYL
DEMO DEPT DET DET DIA DIFF DIM DMR DPTN DR DW DW DWG DWR E E E E E E E E E E E E E E E E E E E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR EMERGENCY ENAMEL ENTRANCE EQUAL EQUIPMENT	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF MVBL MW MWP N	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MOUNTED MOUNTED MOUNTING METAL METAL FLASHING MICROWAVE MEMBRANE WATERPROOFING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR STRUCT SV SYS T	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS STRUCTURAL SHEET VINYL SYSTEM
DEMO DEPT DET DET DIA DIFF DIA DIFF DIM DMR DPTN DR DW DWG DWG DWG DWG E E E E E E E E E E E E E E E E E E E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR EMERGENCY ENAMEL ENTRANCE EQUIPMENT EXISTING TO BE RELOCATED	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF MVBL MW MWP N	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MOUNTED MOUNTING METAL METAL FLASHING MOVABLE MICROWAVE MEMBRANE WATERPROOFING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR STRUCT SV SYS T T T&G	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS STRUCTURAL SHEET VINYL SYSTEM  TREAD TONGUE AND GROOVE
DEMO DEPT DET DET DET DIA DIFF DIA DIFF DIM DMR DPTN DR DW DWG DWG DWG E E E E E E E E E E E E E E E E E E E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR EMERGENCY ENAMEL ENTRANCE EQUAL EQUIPMENT	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF MVBL MW MWP N N NA	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MOUNTED MOUNTING METAL METAL FLASHING MOVABLE MICROWAVE MEMBRANE WATERPROOFING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR STRUCT SV SYS T	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS STRUCTURAL SHEET VINYL SYSTEM
DEMO DEPT DET DET DIA DIFF DIA DIFF DIM DMR DPTN DR DW DWG DWG DWG DWR E E E E E E E E E E E E E E E E E E E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR EMERGENCY ENAMEL ENTRANCE EQUIPMENT EXISTING TO BE RELOCATED EXISTING TO REMAIN	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF MVBL MW MWP N	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MOUNTED MOUNTING METAL METAL FLASHING MOVABLE MICROWAVE MEMBRANE WATERPROOFING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR STRUCT SV SYS T T T&G TA TEL TEMP	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS STRUCTURAL SHEET VINYL SYSTEM  TREAD TONGUE AND GROOVE TOILET ACCESSORIES TELEPHONE TEMPORARY
DEMO DEPT DET DET DIA DIFF DIA DIFF DIM DMR DPTN DR DW DWG DWG DWG DWG E E E E E E E E E E E E E E E E E E E	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DIMMER DEMOUNTABLE PARTITION DOOR DISHWASHER DRAWING DRAWER  EAST EACH EXPANSION JOINT ELECTRIC ELEVATOR EMERGENCY ENAMEL ENTRANCE EQUAL EQUIPMENT EXISTING TO BE REMOVED ESCALATOR	MDO MECH MECH RM MED MEZZ MFD MFR MID MIN MIRR MISC MLWK MO MOD MTD MTG MTL MTLF MVBL MW MWP N N N NA NE	MEDIUM DENSITY OVERLAY MECHANICAL MECHANICAL ROOM MEDIUM MEZZANINE MANUFACTURED MANUFACTURER MIDDLE MINIMUM MIRROR MISCELLANEOUS MILLWORK MASONRY OPENING MOUNTED MOUNTING METAL METAL FLASHING MOVABLE MICROWAVE MEMBRANE WATERPROOFING NORTH NOT APPLICABLE NOT EXCEEDING	SHV SIM SK SLNT SMLS SNSR SPEC SPKR SQ SQ YD SST STAG STC STD STL STOR STR STRUCT SV SYS T T T&G TA TEL	SIMILAR SKETCH SEALANT SEAMLESS SENSOR SPECIFICATION SPEAKER SQUARE SQUARE SQUARE YARD STAINLESS STEEL STAGGERED SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRINGERS STRUCTURAL SHEET VINYL SYSTEM  TREAD TONGUE AND GROOVE TOILET ACCESSORIES TELEPHONE

**GENERAL NOTES** 

TO MATCH EXISITNG

TEMPERED GLASS

TRUE NORTH

TOP OF STEEL

THERMOSTAT

TELEVISION

TYPICAL

UNFINISH

UNIFORM

UTILITY

VINYL BASE

VFRTICAL

VIDEO VERIFY IN FIELD

WITH

WITHOUT

WOOD

WAINSCOT

WEIGHT

WDP

WSCT

Grand total: 361

WOOD BASE

WOOD BLOCKING

WALL COVERING

WOOD PANELLING

VENEER PLASTER

VINYL WALL COVERING

TELEVISION OUTLET

UNDERSIDE OF DECK

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

VINYL FACED ACOUSTICAL TILE

UNDERSIDE OF STRUCTURE ABOVE

UNDERWRITERS LABORATORIES

TRANSOM

TMPD GL

TRANS

TSTAT

TVOUT

UNFIN

1.CODE COMPLIANCE: WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. IN CASE OF CONFLICT BETWEEN CONTRACT DOCUMENTS AND CODE NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY.

2. **PERMITS:** OBTAIN PERMITS PRIOR TO STARTING WORK. 3. CONTRACT DOCUMENTS: THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS AND SPECIFICATIONS; GENERAL CONDITIONS OF THE CONTRACT, OWNER-CONTRACTOR AGREEMENTS AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. 4. THE WORK: THE TERM "WORK" AS USED IN CONSTRUCTION DOCUMENTS SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE ARCHITECT IN THE FORM OF DRAWINGS, SPECIFICATIONS, OR

WRITTEN AND OTHER INSTRUCTIONS ISSUED BY THE ARCHITECT. 5. REQUIREMENTS FOR THE WORK: PROVIDE LABOR, SUPERVISION, TOOLS, EQUIPMENT, MATERIALS AND SUPPLIES FOR DEMOLITION, TEMPORARYAND NEW CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.

a UNLESS INDICATED IN THE CONSTRUCTION DOCUMENTS AS NOT IN CONTRACT (N.I.C.) OR EXISTING; ALL ITEMS, MATERIALS AND THEIR INSTALLATION ARE A PART OF THE CONSTRUCTION DOCUMENTS. PROVIDE ACCESSORIES, COMPONENTS AND ASSEMBLIES

b THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, FOR ACTS OR OMISSIONS BY CONTRACTOR, OR SUBCONTRACTORS, AND FOR THE FAILURE OF EITHER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

c NOTIFY THE OWNER AND ARCHITECT OF DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS PRIOR TO START OF

d in the event of discrepancy between drawings and specifications, the costlier or more restrictive condition SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING, BY THE OWNER. e CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY EXAMINING DRAWINGS, SPECIFICATIONS AND APPLICABLE CODES, AS WELL AS MAKING ACTUAL MEASUREMENTS AND ESTABLISHING ACTUAL DIMENSIONS FOR EACH PARTICULAR TYPE OF WORK, AND FOR

f DRAWINGS GRAPHICALLY DEPICT THE DESIGN INTENT OF THE PROJECT. LOCATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE DIAGRAMMATIC, AND SHOW THE GENERAL ARRANGEMENT, AND EXTENT OF WORK. DO NOT SCALE DRAWINGS OR USE AS SHOP

g CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT SCOPE OF WORK FOR EACH SPECIFICATION SECTION.

6. ACCEPTANCE OF CONDITIONS: STARTING WORK CONSTITUTES ACCEPTANCE OF THE JOB SITE CONDITIONS. 7. **DIMENSIONS**: DIMENSIONS ARE TO THE FACE OF FINISH OR MASONRY UNLESS NOTED OTHERWISE.

8. **LAYOUT:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER LAYOUT OF THE WORK. 9. SCHEDULES: PRIOR TO START OF CONSTRUCTION, PROVIDE THE OWNER AND ARCHITECT WITH A SCHEDULE OF WORK AND A LIST OF SUBCONTRACTORS WITH ADDRESS, PHONE/FAX NUMBER AND E-MAIL ADDRESS OF EACH SUBCONTRACTOR

a SUBMIT CONSTRUCTION SCHEDULE IN EASY-TO-READ GRAPHIC TERMS (GANTT CHART) AT THE PRECONSTRUCTION CONFERENCE.

1. SHOW START DATE AND FINAL COMPLETION DATE FOR EACH PHASE. 2. SHOW START DATES AND COMPLETION DATES FOR MAJOR ELEMENTS OF THE WORK WITHIN EACH PHASE.

b SUBMIT REVISED CONSTRUCTION SCHEDULE SHOWING MODIFIED ACTIVITIES, CHANGES IN SCOPE, AND CHANGES TO

PROJECTIONS OF PROGRESS AND COMPLETION DATES. c submit schedule of submittals showing time alloted for review, and long lead items.

d SUBMIT A REVISED COPY OF CONSRUCTION SCHEDULE AND SUBMITTAL SCHEDULE AT PROGRESS MEETINGS. INCLUDE DATES OF OWNER SUPPLIED ITEMS AND SERVICES IN UPDATED SCHEDULES.

10. SUBMITTALS: SUBMIT THREE SETS OF SAMPLES, SHOP DRAWINGS, DATA SHEETS AND SCHEDULES FOR REVIEW AND APPROVAL. INCLUDE:

a FINISH MATERIALS b DOORS, FRAMES AND HARDWARE

c CEILING SYSTEMS d MILLWORK

e PLUMBING FIXTURES AND EQUIPMENT

f LIGHT FIXTURES

g REFER TO MEP/FP DRAWINGS FOR ADDITIONAL SUBMITTAL REQUIREMENTS

11. **SUBSTITUTIONS:** NO SUBSTITUTIONS WILL BE CONSIDERED. 12. SHOP DRAWING REVIEW: APPROVAL OF SHOP DRAWINGS, PRODUCT DATA AND SAMPLES DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA OR SAMPLES. IN SUBMITTING SHOP DRAWINGS, PRODUCT DATA OR SAMPLES CONTRACTOR REPRESENTS THAT MATERIALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA HAVE BEEN VERIFIED, AND THAT INFORMATION CONTAINED IN SUBMITTALS HAS BEEN COORDNATED WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. MARK SUBMITTALS WITH CONTRACTOR'S REVIEW STAMP PRIOR TO SUBMISSION TO ARCHITECT. ARCHITECT WILL NOT REVIEW SUBMITTALS THAT DO NOT BEAR CONTRACTOR'S STAMP AND WILL RETURN THEM WITHOUT ACTION.

13. COORDINATE DEMOLITION, AND TEMPORARY AND PERMANENT CONSTRUCTION SO THAT OWNER'S OPERATIONS ARE NOT DISRUPTED. 14. PROVIDE TELEPHONE AND FAX LINES TO THE PROJECT SITE.

15. **DEMOLITION**: COORDINATE DEMOLITION, AND TEMPORARY AND PERMANENT CONSTRUCTION SO THAT OWNER'S OPERATIONS ARE NOT

16. LANDLORDS REQUIREMENTS: COORDINATE WITH LANDLORD'S BUILDING STANDARDS AND REQUIREMENTS. 17. **UTILITIES:** PRIOR TO WORK ON EXISTING UTILITIES OR MECHANICAL SYSTEMS THAT WILL DISRUPT BUILDING SERVICES NOTIFY THE BUILDING MANAGEMENT AND OWNER. OBTAIN WRITTEN APPROVAL IN WRITING AT LEAST 7 DAYS IN ADVANCE. PRIOR TO START OF WORK PROVIDE A 24-HOUR ADVANCED NOTICE TO THE BUILDING MANAGEMENT/OWNER.

18. SUPERVISION: FURNISH FULLTIME CONTINUOUS PROJECT SUPERVISION. SUPERINTENDENT SHALL REMAIN ON SITE WHILE WORK IS IN PROGRESS, THROUGH COMPLETION OF THE PUNCHLIST. 19. **PROJECT MEETINGS:** CONDUCT WEEKLY SITE MEETINGS. WRITE AND DISTRIBUTE MEETING MINUTES WITHIN THREE DAYS OF THE PREVIOUS

MEETING. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE PRESENT, UNLESS REQUIREMENT IS WAIVED BY OWNER. 20. MANUFACTURER'S INSTRUCTIONS: COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS UNLESS MORE STRINGENT REQUIREMENTS ARE SHOWN IN THE CONTRACT DOCUMENTS. 21. MATERIALS AND WORKMANSHIP: WHERE NEW AND OLD WORK JOIN, REMOVE, PATCH, REPAIR OR REFINISH ADJACENT SURFACES TO MATCH

EXISTING CONDITION AS SPECIFIED. MATERIALS AND WORKMANSHIP, UNLESS OTHERWISE SHOWN OR SPECIFIED, SHALL COMPLY WITH THAT OF THE ORIGINAL WORK. WORK SHALL BE PERFORMED BY TRADES NORMALLY EXPECTED TO PERFORM PARTICULAR ITEMS OR TYPES OF WORK. 22. DETERIORATION AND DAMAGE: REPORT DETERIORATION OR DAMAGE FOUND DURING THE COURSE OF THE WORK. OBTAIN ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH REVISIONS TO AFFECTED WORK. 23. DEFECTIVE WORK: CORRECT DEFECTIVE WORK, WHICH IS DEFINED AS WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS, OR

WORK THAT IS IN VIOLATION OF ANY ORDINANCE, RULE, REGULATION, LAW, OR ORDER IN EFFECT AT THE TIME THE WORK IS PERFORMED, EVEN IF THE WORK CONFORMS TO THE CONTRACT DOCUMENTS EXCEPT FOR SUCH VIOLATION. BEGIN CORRECTION WITHIN FIVE (5) DAYS AFTER NOTICE BY THE ARCHITECT. PAY FOR CORRECTION AND REPLACEMENT OF THE DEFECTIVE WORK, INCLUDING COST OF NECESSARY ADDITIONAL DESIGN WORK. NEITHER FINAL PAYMENT, NOR USE, OCCUPANCY, OR ACCEPTANCE OF ALL OR ANY PART OF THE WORK BY THE OWNER, NOR INSPECTIONS, TESTS, OR APPROVALS BY THE OWNER, NOR ANY PROVISION OF THE CONTRACT SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DEFECTIVE WORK, AND NO SPECIAL GUARANTEE TIME PERIOD SHALL LIMIT THE CONTRACTOR'S LIABILITY WITH RESPECT TO THE DEFECTIVE

#### 24. TEMPORARY FACILITIES AND CONTROLS:

a PROVIDE TEMPORARY CONSTRUCTION TO PROTECT ADJOINING PROPERTIES, THE PUBLIC, CONSTRUCTION PERSONNEL, AND BUILDING OCCUPANTS. DO NOT OBSTRUCT MEANS OF EGRESS FROM BUILDING OR SITE. b Provide Temporary Connections, Lighting and Power Distribution required for the Work, Remove Temporary

LIGHTING, CONNECTIONS AND POWER DISTRIBUTION AT COMPLETION OF WORK. c PROVIDE TEMPORARY HEATING AND VENTILATION FOR COMFORT, SAFETY AND PROTECTION OF THE WORK, WORKERS, AND INHABITANTS OF OCCUPIED AREAS.

d PROVIDE TEMPORARY FIRE EXTINGUISHERS REQUIRED BY STATE AND LOCAL BUILDING AND SAFETY CODES. e PROVIDE AND MAINTAIN SANITARY FACILITIES REQUIRED FOR EXECUTION OF THE WORK. COORDINATE WITH BUILDING OWNER FOR PERMISSION TO ACCESS TO EXISTING SANITARY FACILITIES.

f Provide Telephone and fax lines to the project site. g STORAGE SPACE AT JOB SITE IS LIMITED TO AREA OF CONSTRUCTION. ADDITIONAL OFF-SITE STORAGE REQUIREMENTS ARE CONTRACTOR'S RESPONSIBILITY. PROTECT MATERIALS STORED ON SITE FROM DAMAGE.

h MAINTIAN SECURE CONSTRUCTION SITE. LOCK ENTRANCES TO PREVENT UNAUTHORIZED ENTRY TO SITE i KEEP JOB SITE NEAT AND ORDERLY, FREE FROM ACCUMULATIONS OF DEMOLITION AND CONSTRUCION WASTE. CLEAN SITE DAILY. SCHEDULE TRASH REMOVAL ON A REGULAR BASIS, SUBJECT TO THE OWNER'S AND LOCAL AUTHORITIES' REGULATIONS

j CONTAIN DUST AND DEBRIS WITHIN AREA OF CONSTRUCTION. LIMIT CONSTRUCTION NOISE SO THAT OWNER'S OPERATIONS k NO ALCOHOLIC BEVERAGES, ILLEGAL DRUGS, OR SMOKING SHALL BE ALLOWED ON THE JOB SITE.

25. FIRE-RATED ASSEMBLIES SHALL BE INSTALLED, LABELED, AND INSPECTED ACCORDING TO APPLICABLE BUILDING CODES. IF RATED ASSEMBLIES ARE ALTERED, EXISTING RATINGS SHALL BE MAINTAINED BY GENERAL CONTRACTOR.

26. POST APPLICABLE BUILDING PERMITS IN A VISIBLE LOCATION READY FOR INSPECTION BY THE AUTHORITIES HAVING JURISDICTION. 27. RECORD DOCUMENTS: MAINTAIN PROJECT RECORD DOCUMENTS AT THE JOB SITE. LABEL EACH ONE "PROJECT RECORD."

a INCLUDE THE FOLLOWING: 1 DRAWINGS AND ADDENDA

2 CHANGE ORDERS AND OTHER MODIFICATIONS

3 ARCHITECT'S FIELD ORDERS AND ANY WRITTEN INSTRUCTIONS

5 FIELD TEST RECORDS 6 MEETING MINUTES

7 PROGRESS SCHEDULE 8 SUBMITTALS

9 SAMPLES b KEEP RECORD DOCUMENTS SEPARATE FROM DOCUMENTS USED FOR CONSTRUCTION AND AVAILABLE FOR ARCHITECT'S

c MARK RECORD DRAWINGS, SPECIFICATIONS AND ADDENDA NEATLY AND LEGIBLY, WITH COLORED PENCIL OR FELT TIP MARKER, TO SHOW ACTUAL CONSTRUCTION AND PRODUCTS USED. KEEP RECORD CURRENT WITH CONSTRUCTION

PROGRESS. DO NOT COVER UP WORK UNTIL INFORMATION IS RECORDED.

28. **INSPECTIONS:** OBTAIN INSPECTIONS AS REQUIRED BY CODE. 29. TESTING: PROVIDE SERVICES OF APPROVED TESTING LABORATORIES, OR AGENCIES REQUIRED FOR TESTS AND INSPECTIONS OF MATERIALS AND CONSTRUCTION METHODS SUBJECT TO CONTROLLED INSPECTIONS MANDATED BY LOCAL AND STATE CODES, AND

30. **DETERIORATION AND DAMAGE:** REPORT DETERIORATION OR DAMAGE FOUND DURING THE COURSE OF THE WORK. OBTAIN ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH REVISIONS TO AFFECTED WORK. 31. CLOSEOUT DOCUMENTS: PROVIDE THREE (3) SETS OF THE FOLLOWING IN THREE (3) RING BINDERS PRIOR TO APPLYING FOR FINAL

a WARRANTIES

b final waivers of Lien

c OPERATIONS & MAINTENANCE MANUALS (INCLUDING ARCHITECTURAL ELEMENTS I.E. SPECIAL LIGHT FIXTURES, SHOP DRAWINGS,

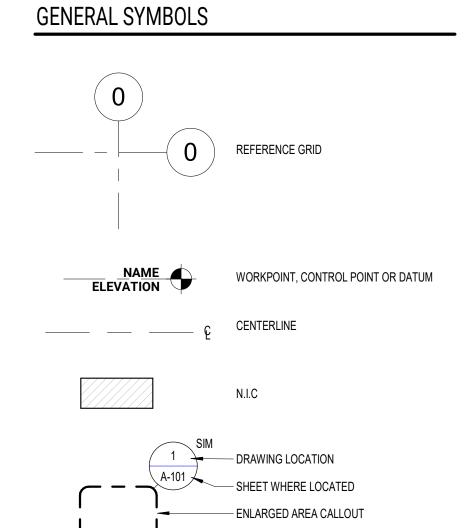
d Warranties from Subcontractors

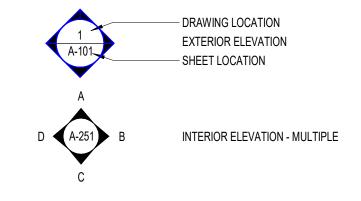
e COPY OF PERMITS (BUILDING PERMITS, OCCUPANCY PERMITS, ETC.) f RECORD DRAWINGS (ARCHITECTURAL/ENGINEERING)

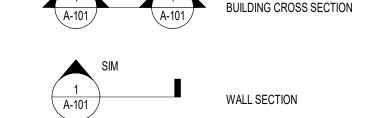
g CONTACT LIST FOR GENERAL CONTRACTOR AND SUBCONTRACTORS h LETTER OF WARRANTY FROM GENERAL CONTRACTOR

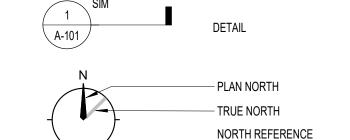
i AIR BALANCING REPORTS j FIRE ALARM CERTIFICATION

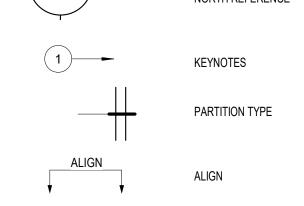
32. WARRANTIES: GUARANTEE WORK, INCLUDING LABOR, MATERIALS AND EQUIPMENT, FOR ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION (FINAL COMPLETION FOR PUNCH LIST/INCOMPLETE WORK). 33. FINAL ACCEPTANCE: TURN OVER PROJECT TO THE OWNER IN A COMPLETE, FULLY OPERATIONAL AND CLEAN CONDITION.

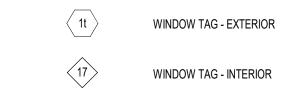


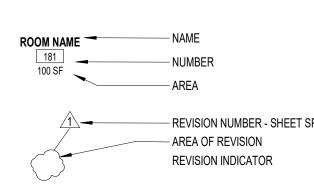


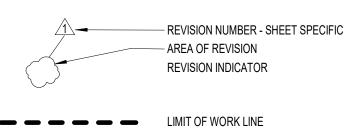






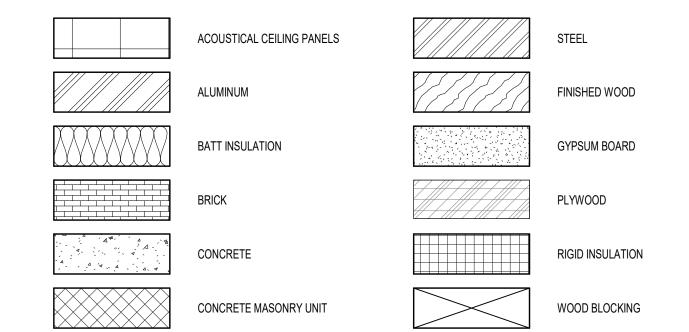






SIGNAGE

# MATERIAL CONVENTIONS



MONTE FRENCH DESIGN STUDIO (MFDS) 650 COLUMBUS AVE, STE. A BOSTON MA, 02118 T: 617-606-4496 WWW.MFDS-BOS.COM

CONSULTANTS:

ISSUE FOR PERMIT



MARK:	DATE:	DESCRIPTION:

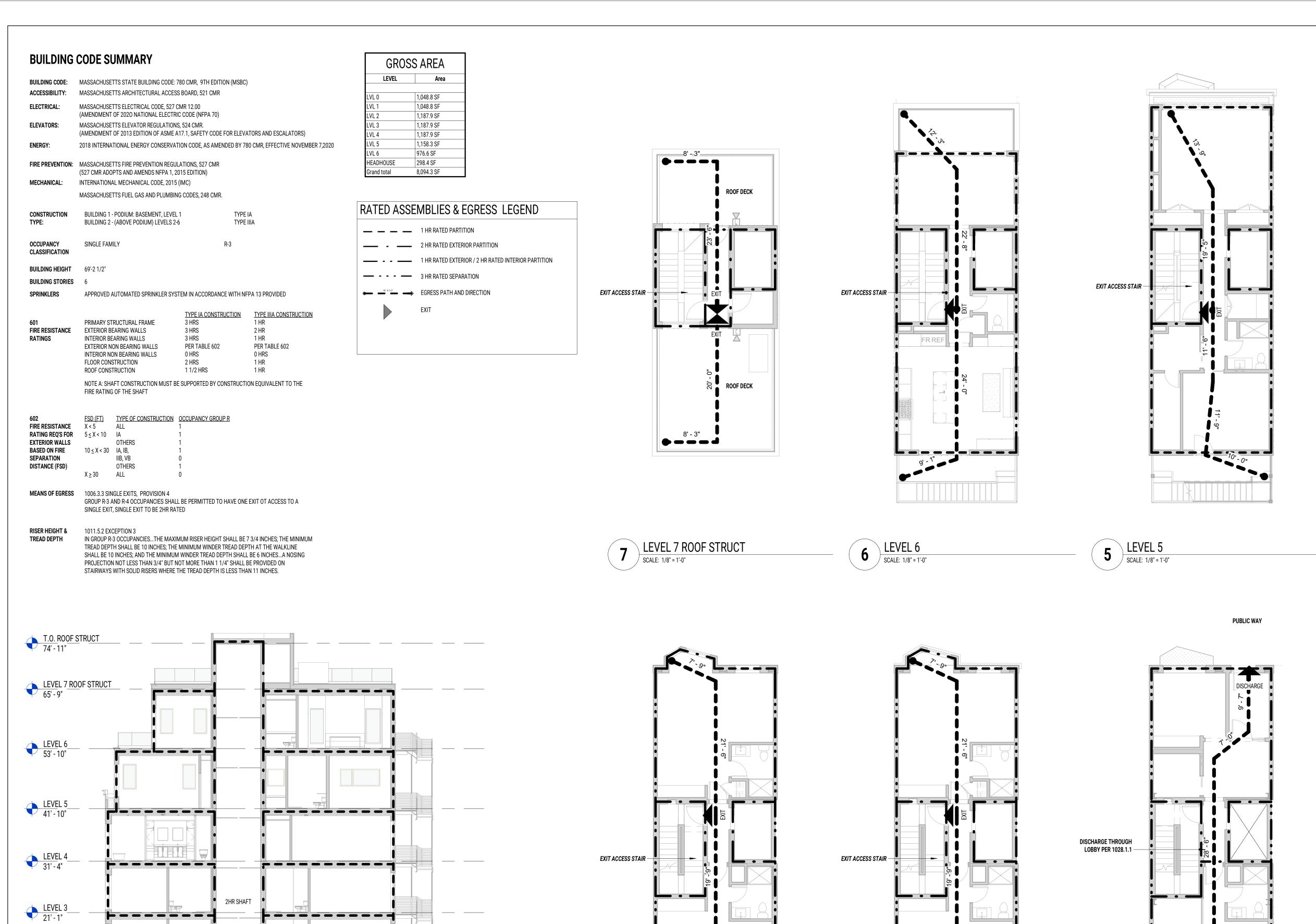
#### PROJECT NAME: **58 BURBANK**

ISSUE LOG:

ADDRESS: 58 BURBANK STREET BOSTON, MA, 02115 DATE ISSUED: 05 OCT 2022 **PROJECT #**: 21012 SCALE: As indicated

DRAWN BY: ED, MN, AY

LEGEND, GENERAL NOTES, **ABBREVIATIONS** 

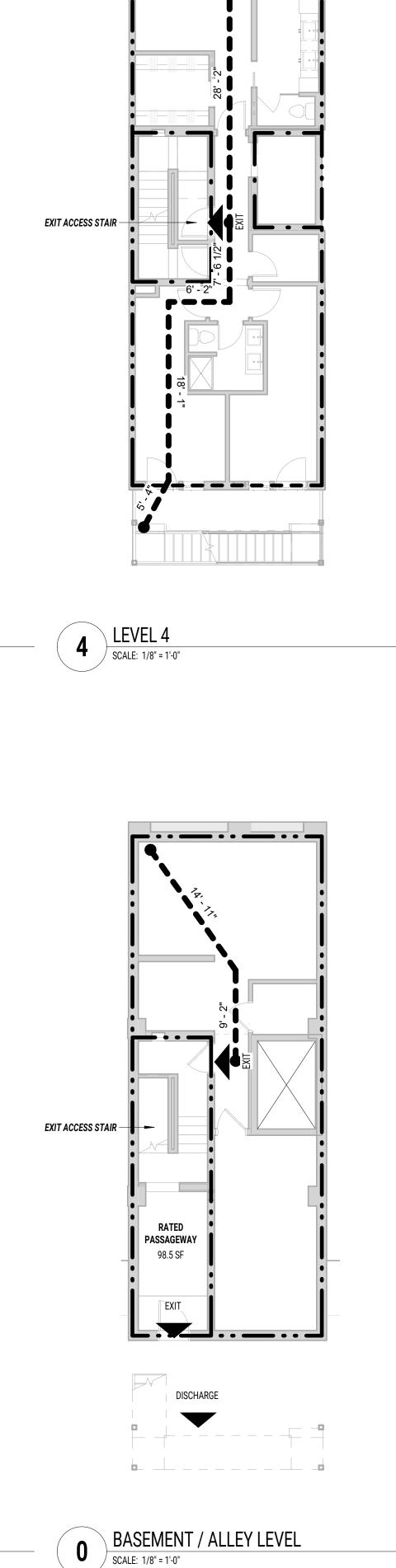


LEVEL 2 10' - 10"

RATED ASSEMBLIES - BLDG SECTION

SCALE: 1" = 10'-0"

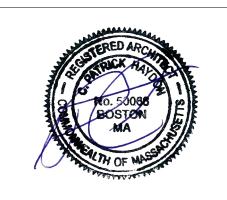
3HR SEPARATION



MONTE FRENCH DESIGN STUDIO (MFDS)
650 COLUMBUS AVE, STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

ISSUE LOG:

PROJECT NAME: 58 BURBANK

ADDRESS:
58 BURBANK STREET
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

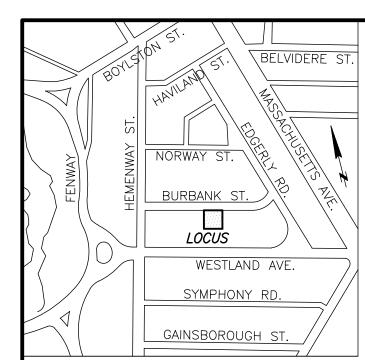
PROJECT #: 21012

SCALE: As indicated

DRAWN BY: ED, MN, AY

CODE SUMMARY & DIAGRAMS

G-004



LOCUS MAP - NOT TO SCALE



#### **REFERENCES**

SUFFOLK COUNTY REGISTRY OF DEEDS

DEED BOOK 12718, PAGE 201(LOCUS) DEED BOOK 54412, PAGE 214(LOCUS)

PLAN IN BOOK 1487, PAGE 113

PLAN IN BOOK 1828, PAGE 237 PLAN IN BOOK 2013 PAGE 73

CITY OF BOSTON ENGINEERING DEPARTMENT

L-2965

L-3359 L-10497

FIELD BOOK 334 PAGE 58

FIELD BOOK 703 PAGE 39

1) BENCH MARK INFORMATION:

BENCH MARK USED:

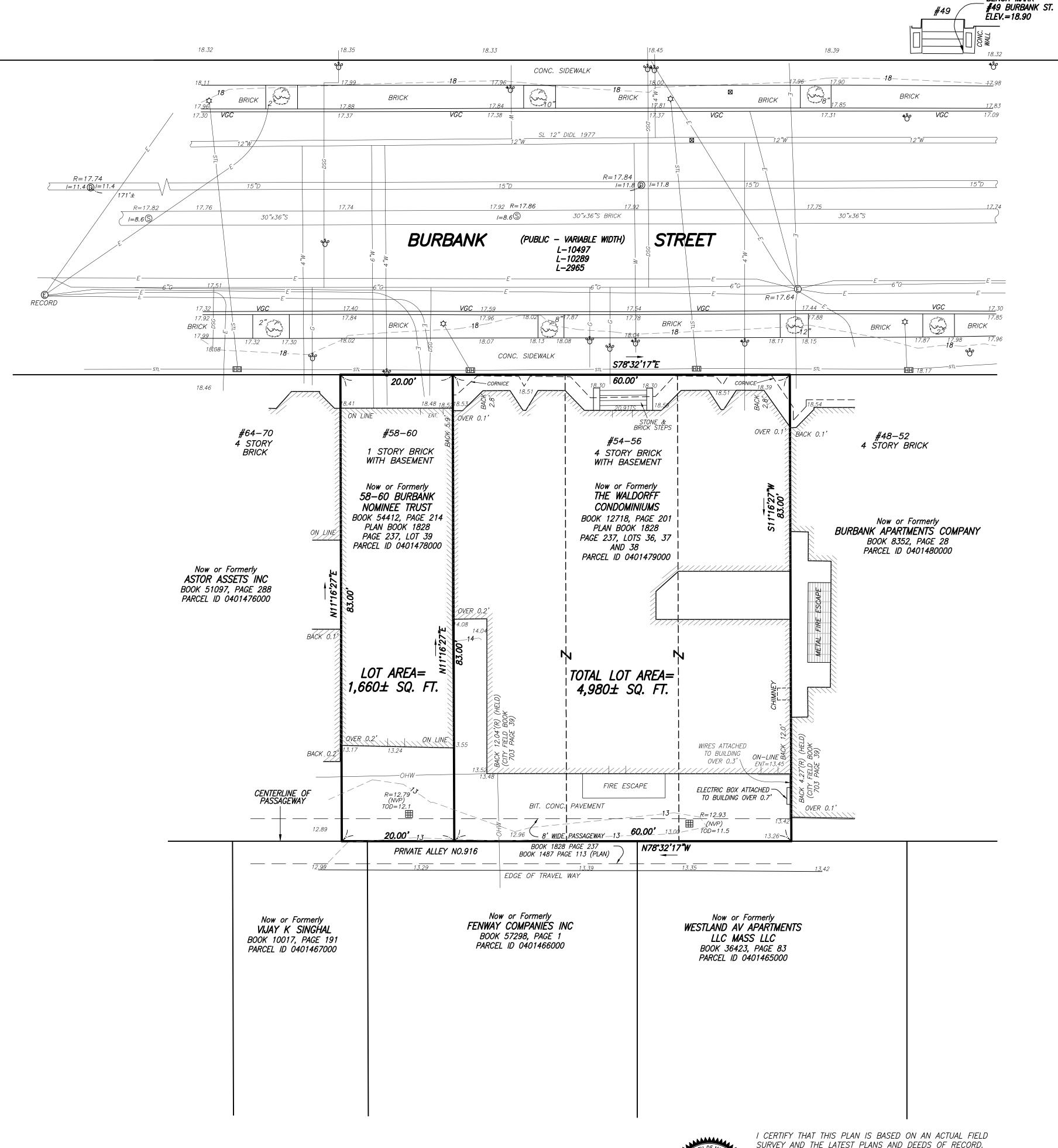
TBM-1: RIGHT OUTER CORNER OF LOWER SLATE STEP AT #49 BURBANK STREET. FELDMAN LAND SURVEYORS JOB NO. 12349. ELEVATION=18.90

TEMPORARY BENCH MARKS USED: (SEE FLS JOB#15663)

TBM-3: RIGHT OUTER CORNER OF LOWER CONCRETE STEP AT #48-52 BURBANK STREET. ELEVATION=18.88

TBM-4: RIGHT OUTER CORNER OF LOWER CONCRETE STEP AT #63 BURBANK STREET. ELEVATION=18.99

- 2) ELEVATIONS REFER TO BOSTON CITY BASE.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS, ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.
- 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- 6) RECORD CABLE TV INFORMATION NOT PLOTTABLE.
- 7) RECORD TELEPHONE INFORMATION NOT AVAILABLE AT THIS TIME.





SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.



*5–13–2021* 

BENCH MARK

#### <u>LEGEND</u>

··· SEWER MANHOLE · DRAIN MANHOLE ··· ELECTRIC MANHOLE ··· TELEPHONE MANHOLE WATER SHUT OFF/WATER GATE ··· GAS SHUT OFF/GAS GATE ·· SIGN · CATCH BASIN ·· GATE POST · DECIDUOUS TREE ·· UTILITY POLE ·· LIGHT POLE ·· WALK LIGHT " ELECTRIC HANDHOLE ·· AIR CONDITIONING UNIT ··· BITUMINOUS ·· BOTTOM OF CURB ·· BACK BOTTOM ·· BOTTOM OF WALL · CALCULATED ··· CHAINLINK FENCE CONC ···· ··· CONCRETE ·· ENTRANCE ··· FULL OF DEBRIS ·· GARAGE DOOR ··· MULCH & SHRUBS ··· NO VISIBLE PIPE ··· RIM ELEVATION ··· INVERT RECORD SQ. FT. SQUARE FEET ··· TOP OF CURB THRESHOLD ELEVATION ··· CENTER OF THROUGH ··· TOP OF TRAP ··· TOP OF WALL .. VERTICAL GRANITE CURB ... NO VISIBLE PIPE ... TOP OF DEBRIS —— C———— CABLE TELEVISION -----DSG----- DIG SAFE GAS ————— GAS -----OHW ----- OVERHEAD WIRES TELEPHONE —X————X——— METAL FENCE ----- WOOD FENCE

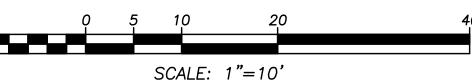
EXISTING CONDITIONS PLAN OF LAND 54-60 BURBANK STREET

BOSTON, MASS.

FELDMAN LAND SURVEYORS 152 HAMPDEN STREET BOSTON, MASS. 02119

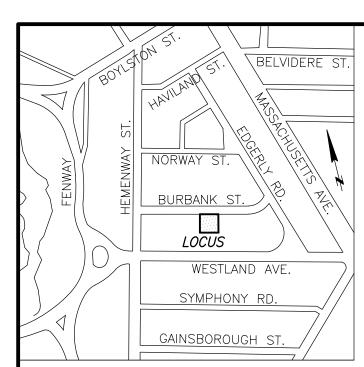
APRIL 20, 2021 PHONE: (617)357-9740 www.feldmansurveyors.com





RESEARCH GL FIELD CHIEF SSW PROJ MGR GL APPROVED SHEET NO. 1 OF 1 CADD TI FIELD CHECKED CRD FILE 18010 | JOB NO. 18010

FILENAME: S:\PROJECTS\18000\18010\DWG\18010-EC.dwg



LOCUS MAP - NOT TO SCALE



#### **REFERENCES**

SUFFOLK COUNTY REGISTRY OF DEEDS

DEED BOOK 12718, PAGE 201(LOCUS) DEED BOOK 54412, PAGE 214(LOCUS) DEED BOOK 66448, PAGE 246(LOCUS)

PLAN IN BOOK 1487, PAGE 113 PLAN IN BOOK 1828, PAGE 237 PLAN IN BOOK 2013 PAGE 73

CITY OF BOSTON ENGINEERING DEPARTMENT

L-2965 L-3359 L-10497

FIELD BOOK 334 PAGE 58 FIELD BOOK 703 PAGE 39

#### NOTES

1) BENCH MARK INFORMATION:

BENCH MARK USED:

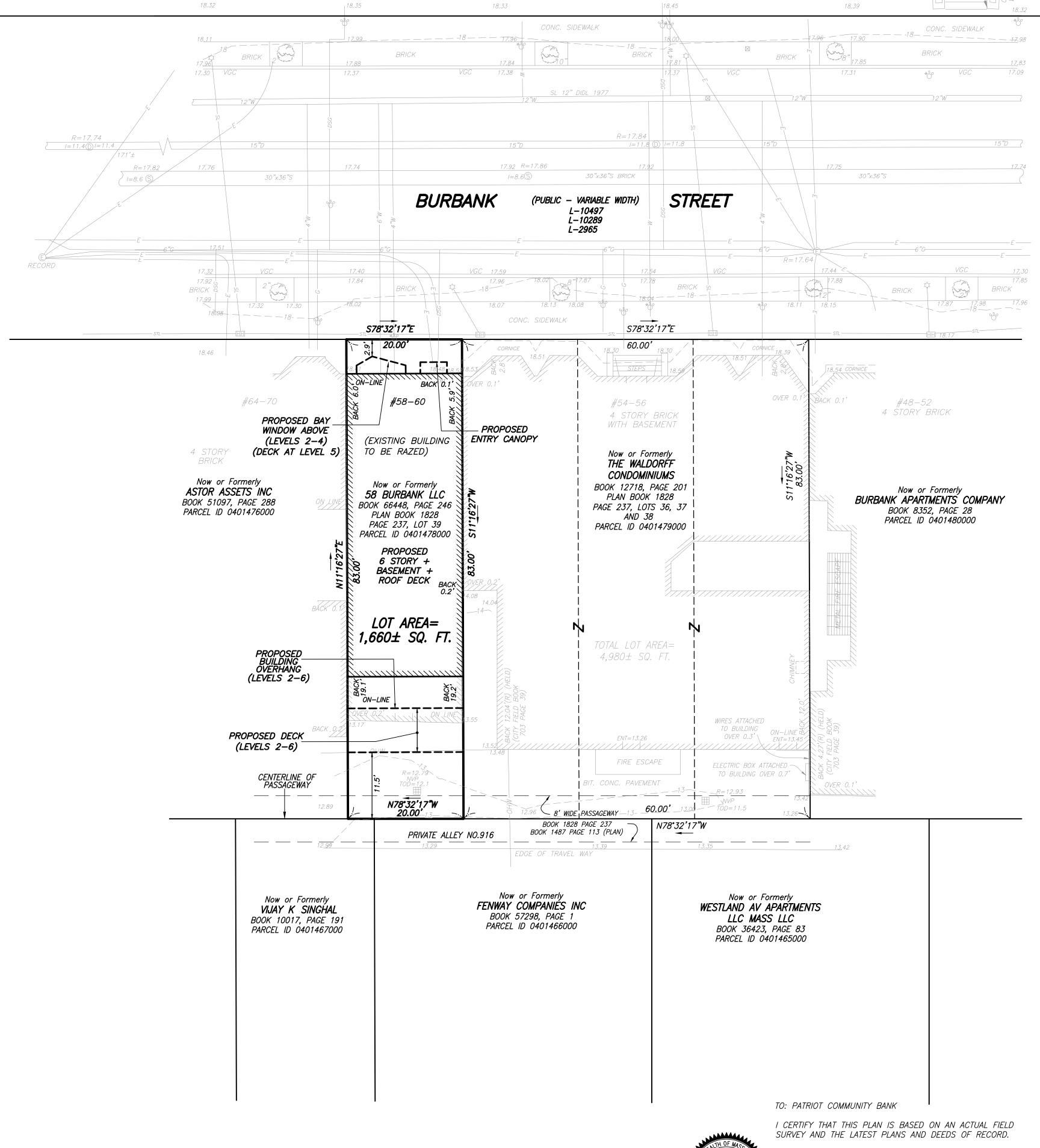
TBM-1: RIGHT OUTER CORNER OF LOWER SLATE STEP AT #49 BURBANK STREET. FELDMAN LAND SURVEYORS JOB NO. 12349. ELEVATION=18.90

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- 6) RECORD CABLE TV INFORMATION NOT PLOTTABLE.
- 7) RECORD TELEPHONE INFORMATION NOT AVAILABLE AT THIS TIME.
- 8) PROPOSED BUILDING TAKEN FROM REFERENCE CAD FILE "ASOO1.DWG", PROVIDED BY MONTE FRENCH DESIGN STUDIO ON 10-7-2022.
- 9) EXISTING CONDITIONS SURVEY COMPETED ON APRIL 20, 2021.



#### <u>LEGEND</u>

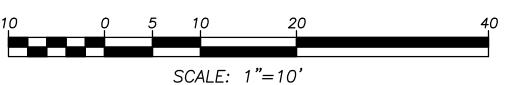
· SEWER MANHOLE · DRAIN MANHOLE ··· ELECTRIC MANHOLE ··· TELEPHONE MANHOLE WATER SHUT OFF/WATER GATE ··· GAS SHUT OFF/GAS GATE ·· SIGN ·· CATCH BASIN ·· GATE POST · DECIDUOUS TREE ·· UTILITY POLE ·· LIGHT POLE ·· WALK LIGHT " ELECTRIC HANDHOLE ·· AIR CONDITIONING UNIT ··· BITUMINOUS ·· BOTTOM OF CURB ·· BACK BOTTOM ·· BOTTOM OF WALL · CALCULATED ··· CHAINLINK FENCE CONC.. ·· CONCRETE ENT ···· ·· ENTRANCE ··· FULL OF DEBRIS ·· GARAGE DOOR ··· MULCH & SHRUBS ··· NO VISIBLE PIPE ··· RIM ELEVATION ··· INVERT RECORD SQ. FT. SQUARE FEET ··· TOP OF CURB "THRESHOLD ELEVATION ··· CENTER OF THROUGH ··· TOP OF TRAP ··· TOP OF WALL .. VERTICAL GRANITE CURB ... NO VISIBLE PIPE ... TOP OF DEBRIS —— C———— CABLE TELEVISION -----DSG----- DIG SAFE GAS ————— GAS -----OHW ----- OVERHEAD WIRES TELEPHONE —X————X——— METAL FENCE ----- WOOD FENCE

PLOT PLAN SHOWING PROPOSED BUILDING 58-60 BURBANK STREET

BOSTON, MASS.

FELDMAN GEOSPATIAL 152 HAMPDEN STREET BOSTON, MASS. 02119 OCTOBER 5, 2022 PHONE: (617)357-9740 www.feldmansurveyors.com

# FELDMAN



RESEARCH GL FIELD CHIEF SSW PROJ MGR GL APPROVED SHEET NO. 1 OF 1

CALC TI CADD TI FIELD CHECKED CRD FILE 18010 JOB NO. 18010

FILENAME: 18010A (PLOT PLAN)\DWG\18010A—PLOTPLAN (rev—2).dwg

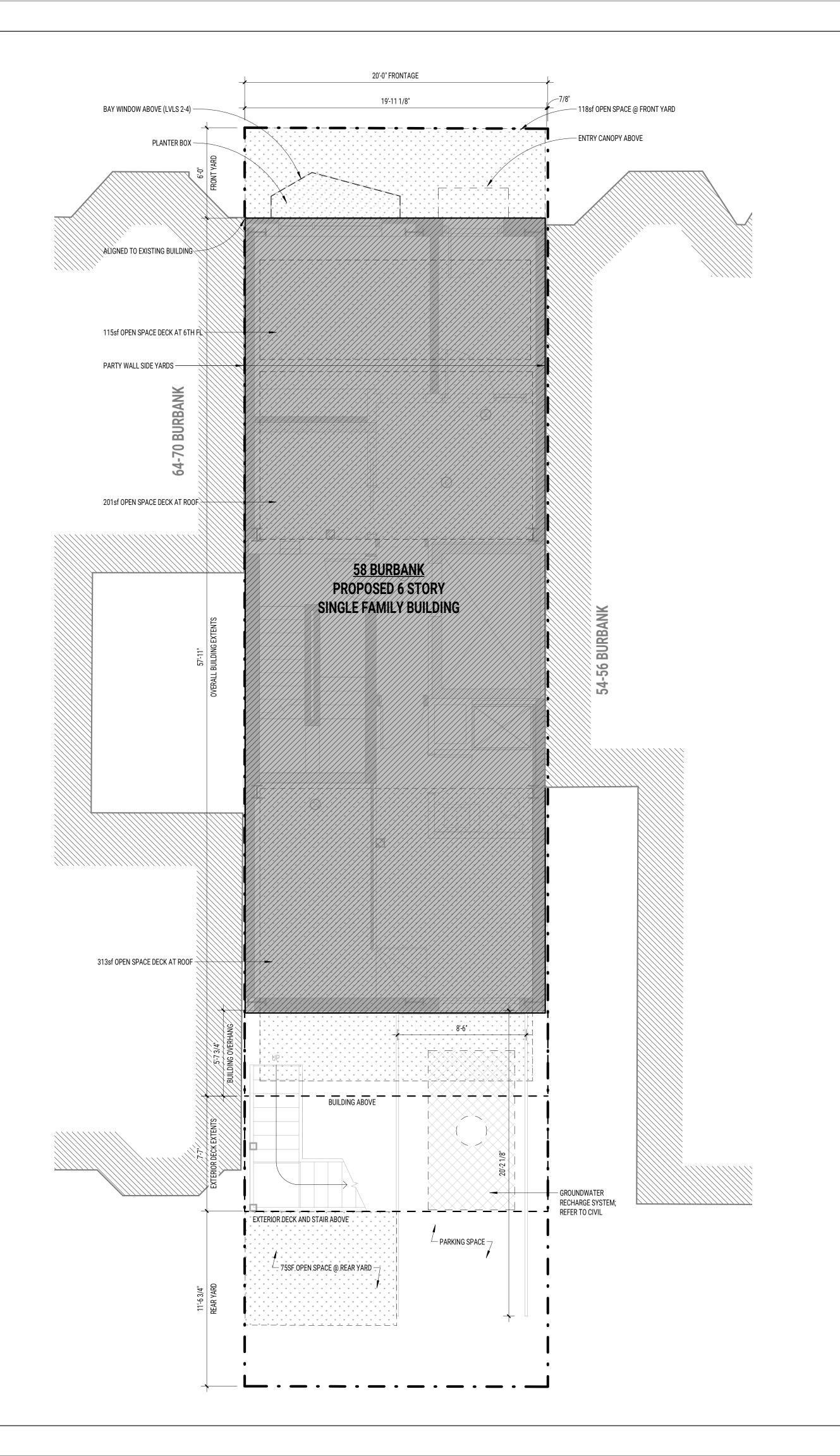


John & M. Donag L JOHN L. McDONAGH, PLS (MA# 56280) SMCDONAGH@FELDMANSURVEYORS.COM

| 10-11-2022 | PLS (MA# 56280) | DATE | NSURVEYORS COM

\_ BENCH MARK \_ #49 BURBANK ST.

ELEV.=18.90





ISSUE FOR PERMIT



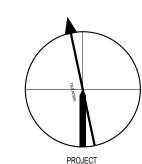
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PROJECT NAME: **58 BURBANK** 

ADDRESS:

ISSUE LOG:

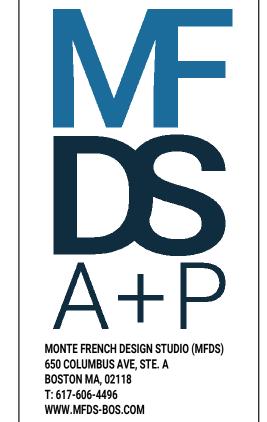
58 BURBANK STREET BOSTON, MA, 02115 DATE ISSUED: 05 OCT 2022 **PROJECT #:** 21012 **SCALE:** 1/4" = 1'-0" DRAWN BY: ED, MN, AY



NORTH ARROW

ARCHITECTURAL SITE PLAN





ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

ISSUE LOG:

# PROJECT NAME: 58 BURBANK

ADDRESS: 58 BURBANK STRE BOSTON, MA, 0211

58 BURBANK STREET
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

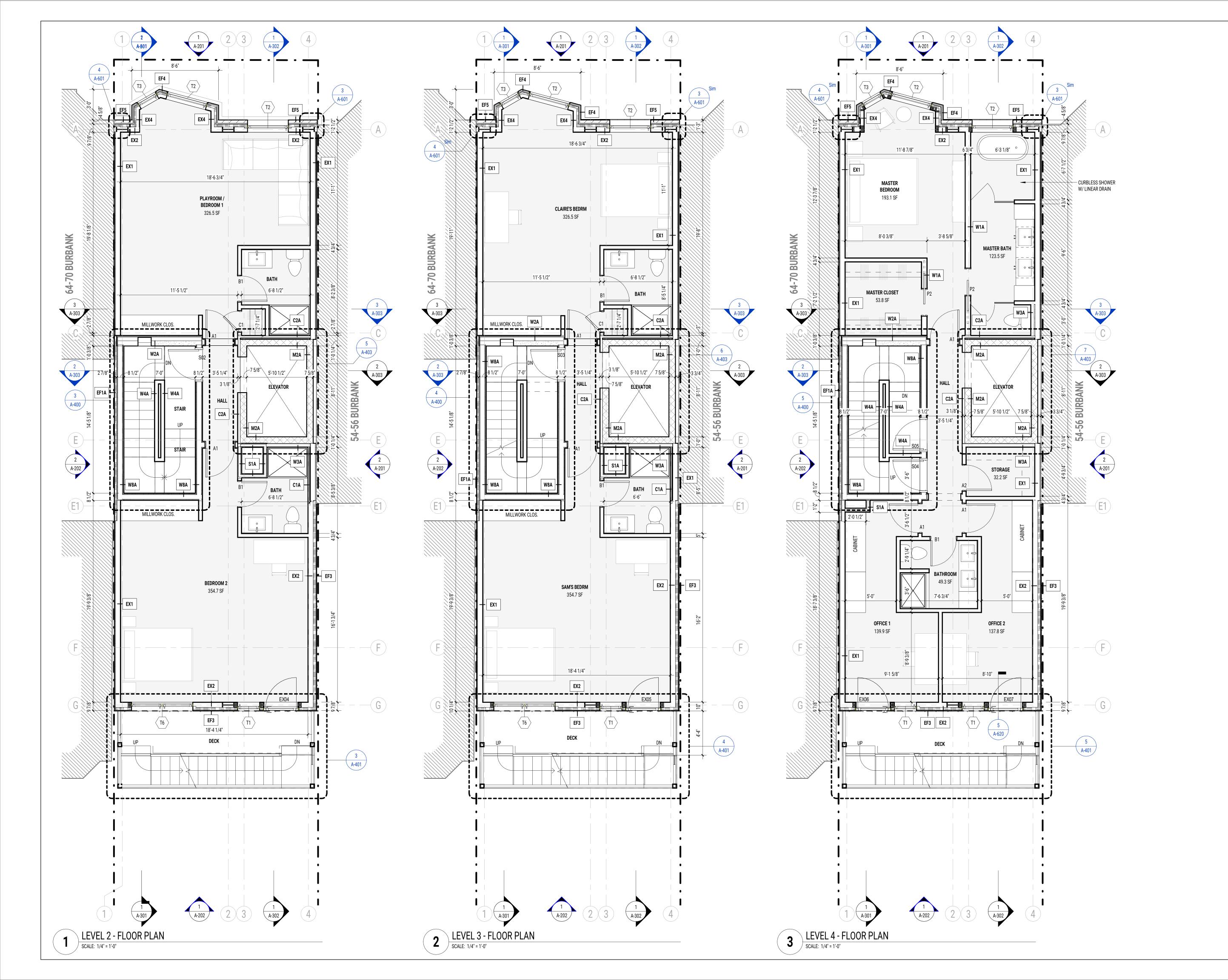
PROJECT #: 21012

SCALE: 1/4" = 1'-0"

DRAWN BY: ED, MN, AY

FLOOR PLAN

NORTH ARROW





ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

ISSUE LOG:

# PROJECT NAME: 58 BURBANK

ADDRESS:
58 BURBANK STREET
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

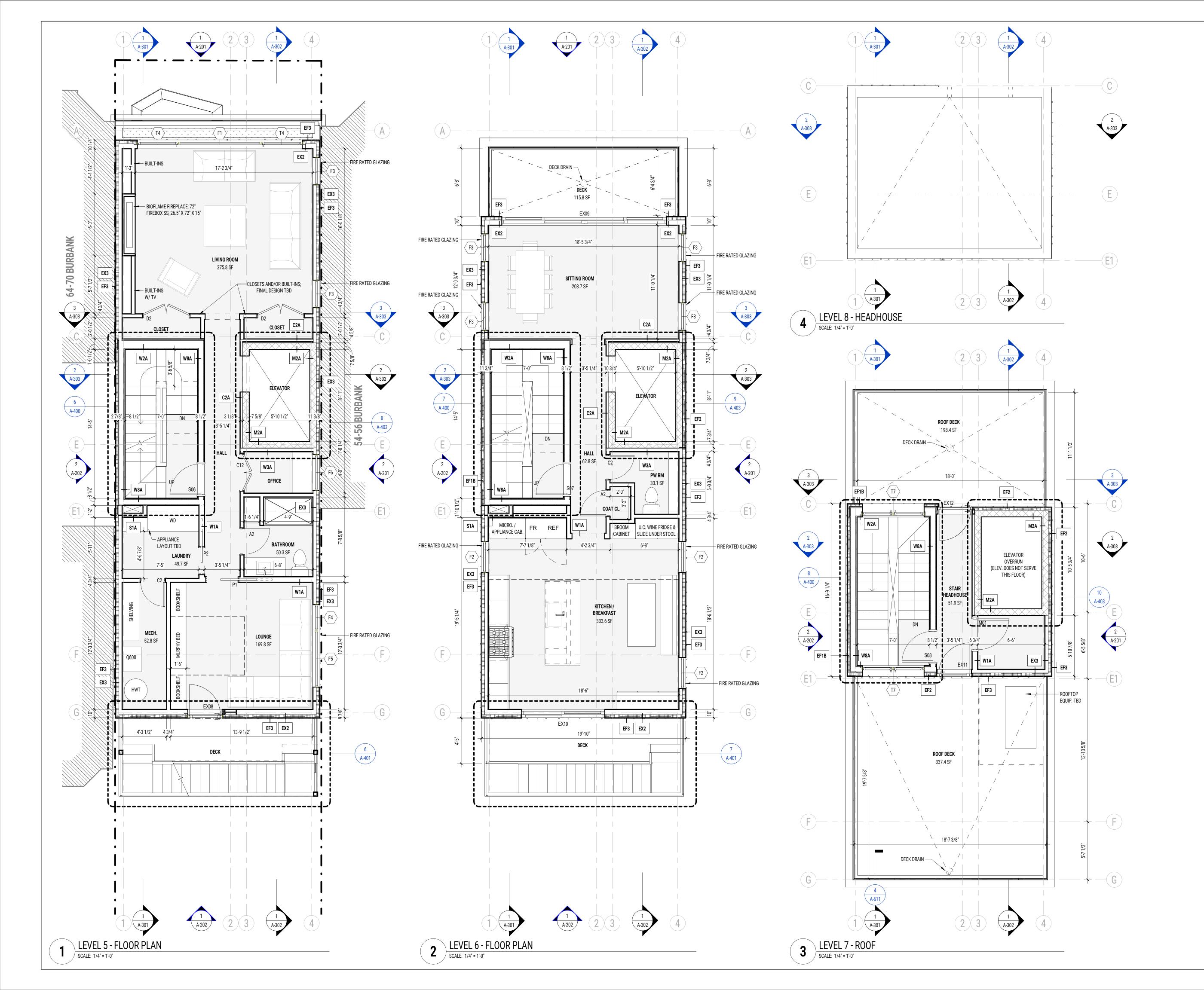
PROJECT #: 21012

SCALE: 1/4" = 1'-0"

DRAWN BY: ED, MN, AY

FLOOR PLAN

NORTH ARROW





ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

ISSUE LOG:

# PROJECT NAME: 58 BURBANK

ADDRESS: 58 BURBANK STREET BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

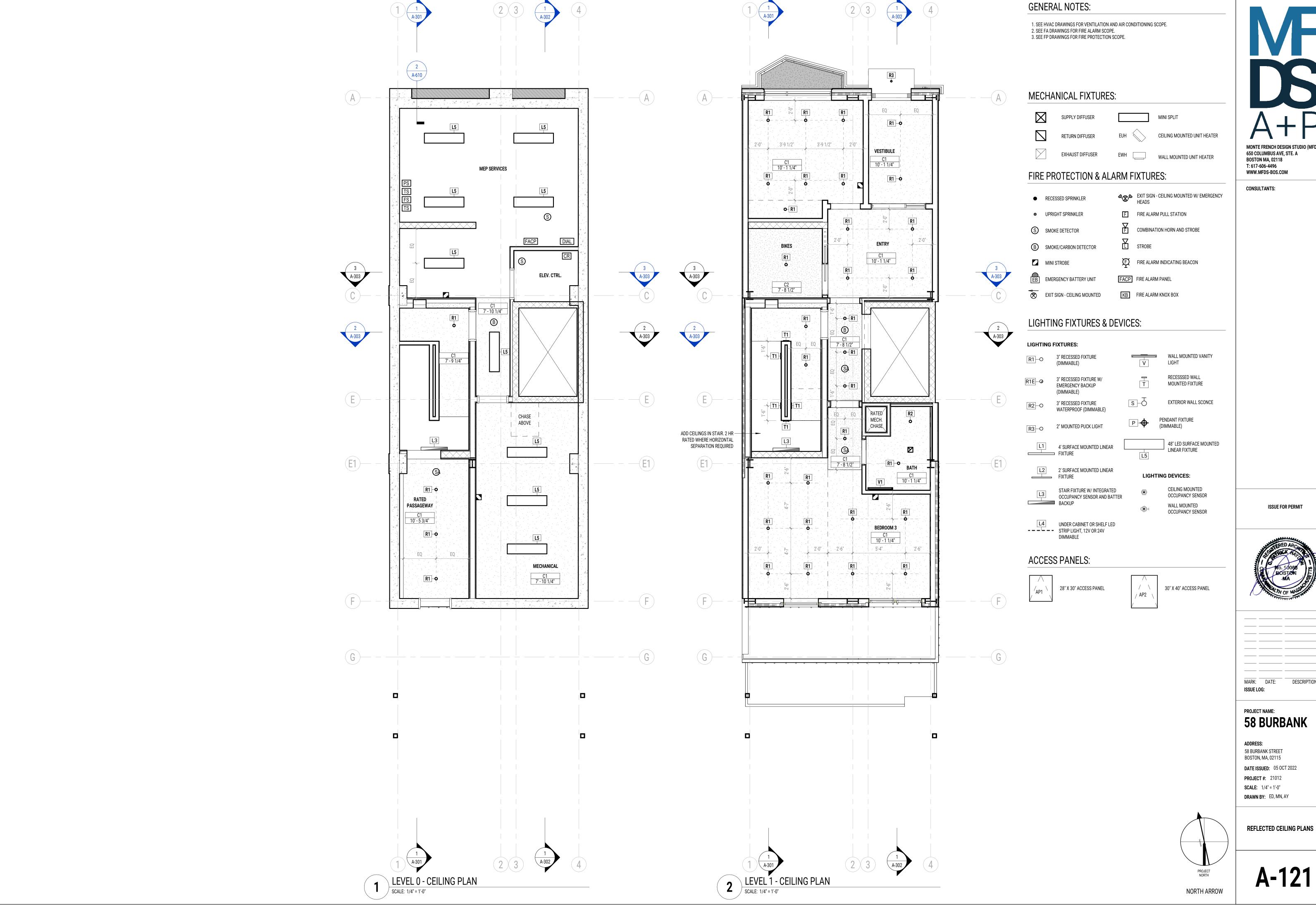
PROJECT #: 21012

SCALE: 1/4" = 1'-0"

DRAWN BY: ED, MN, AY

FLOOR PLAN

NORTH ARROW



MONTE FRENCH DESIGN STUDIO (MFDS) 650 COLUMBUS AVE, STE. A



DESCRIPTION:

# **58 BURBANK**



MONTE FRENCH DESIGN STUDIO (MFDS) 650 COLUMBUS AVE, STE. A BOSTON MA, 02118

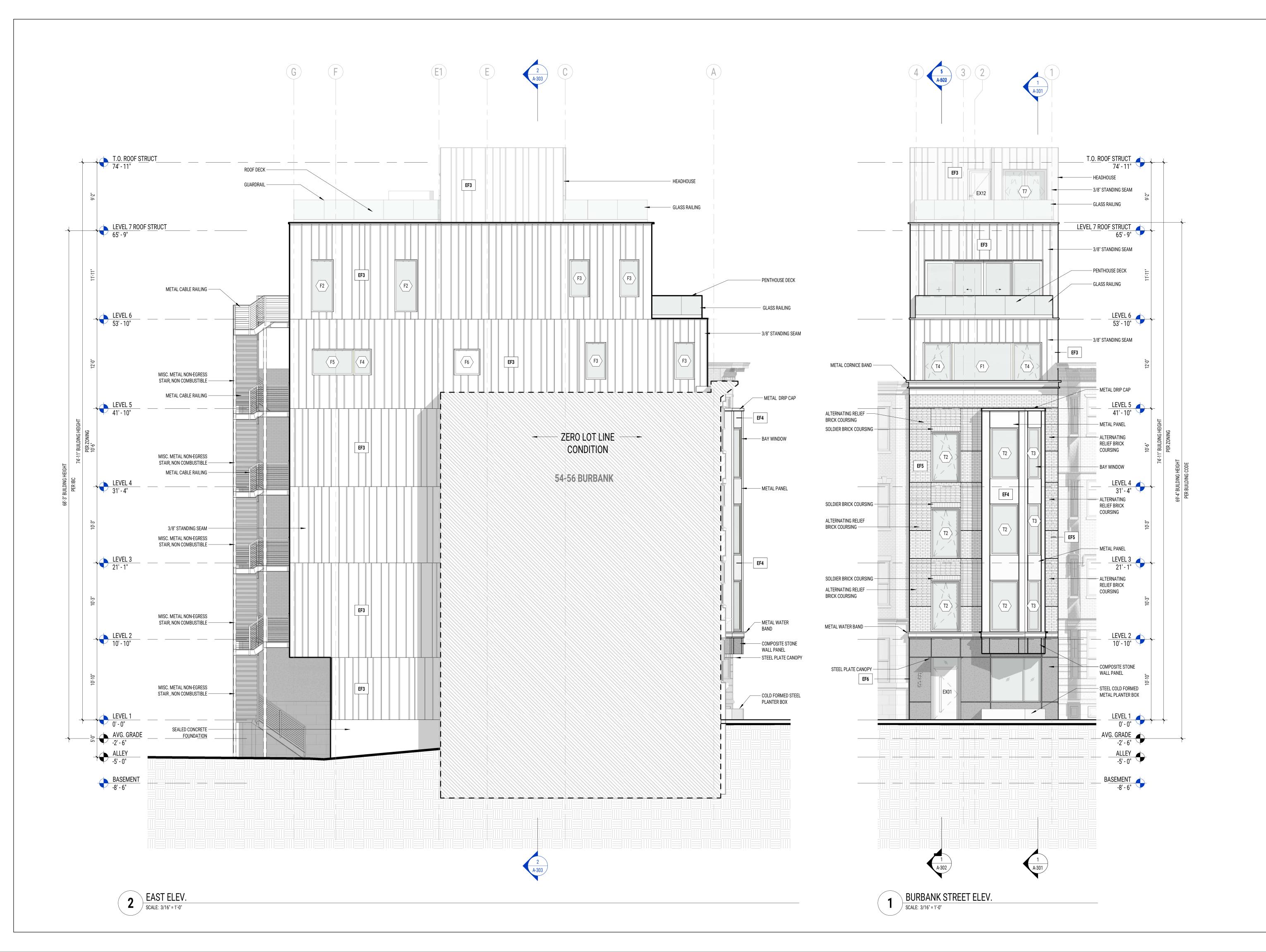


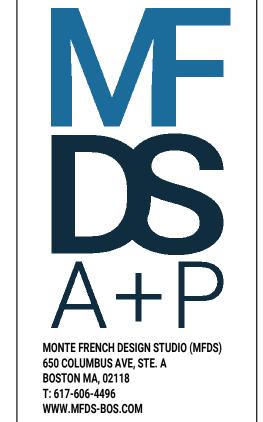


MONTE FRENCH DESIGN STUDIO (MFDS) 650 COLUMBUS AVE, STE. A BOSTON MA, 02118



REFLECTED CEILING PLANS





ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

PROJECT NAME: 58 BURBANK

ADDRESS: 58 BURBANK STRE

ISSUE LOG:

58 BURBANK STREET
BOSTON, MA, 02115

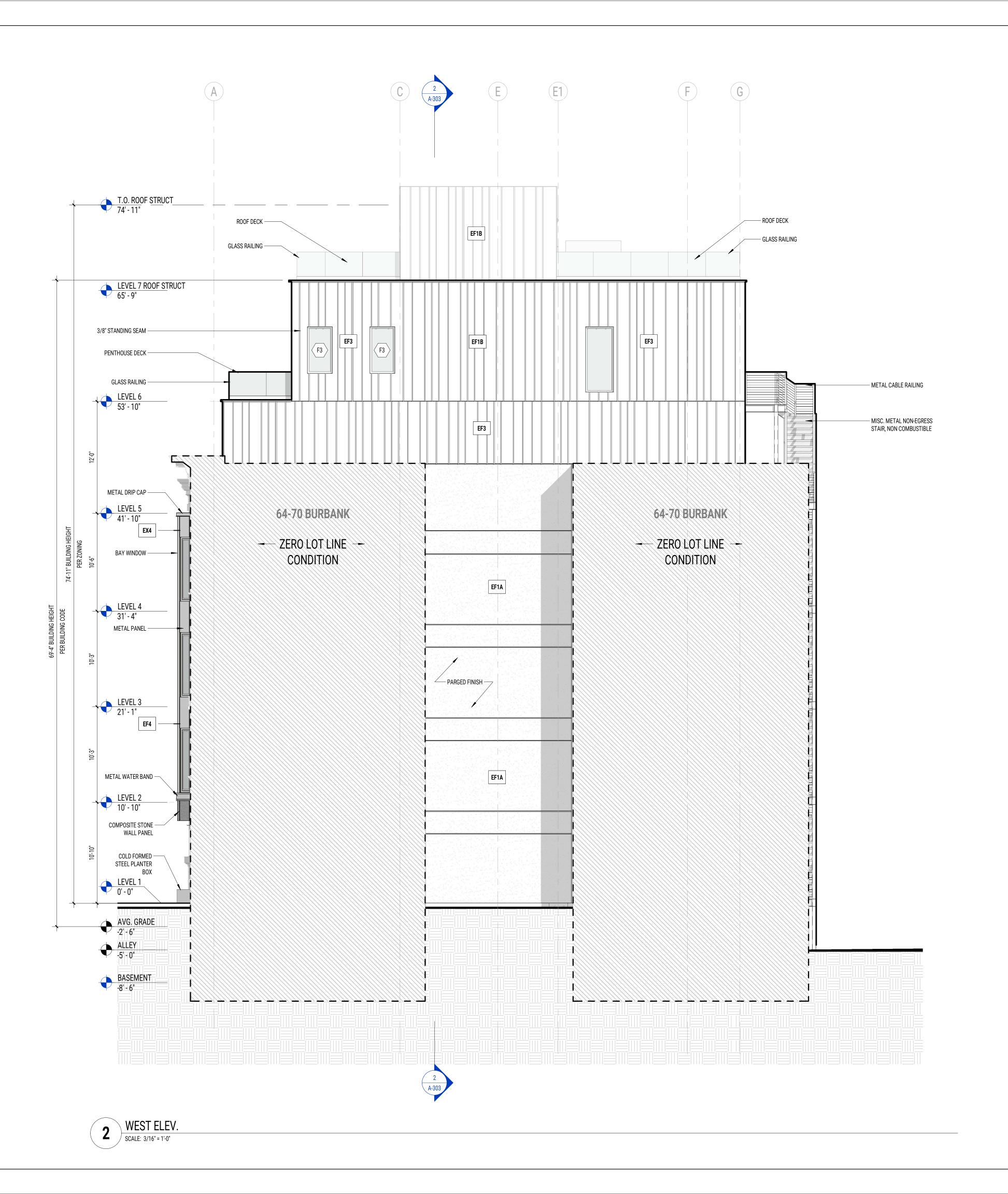
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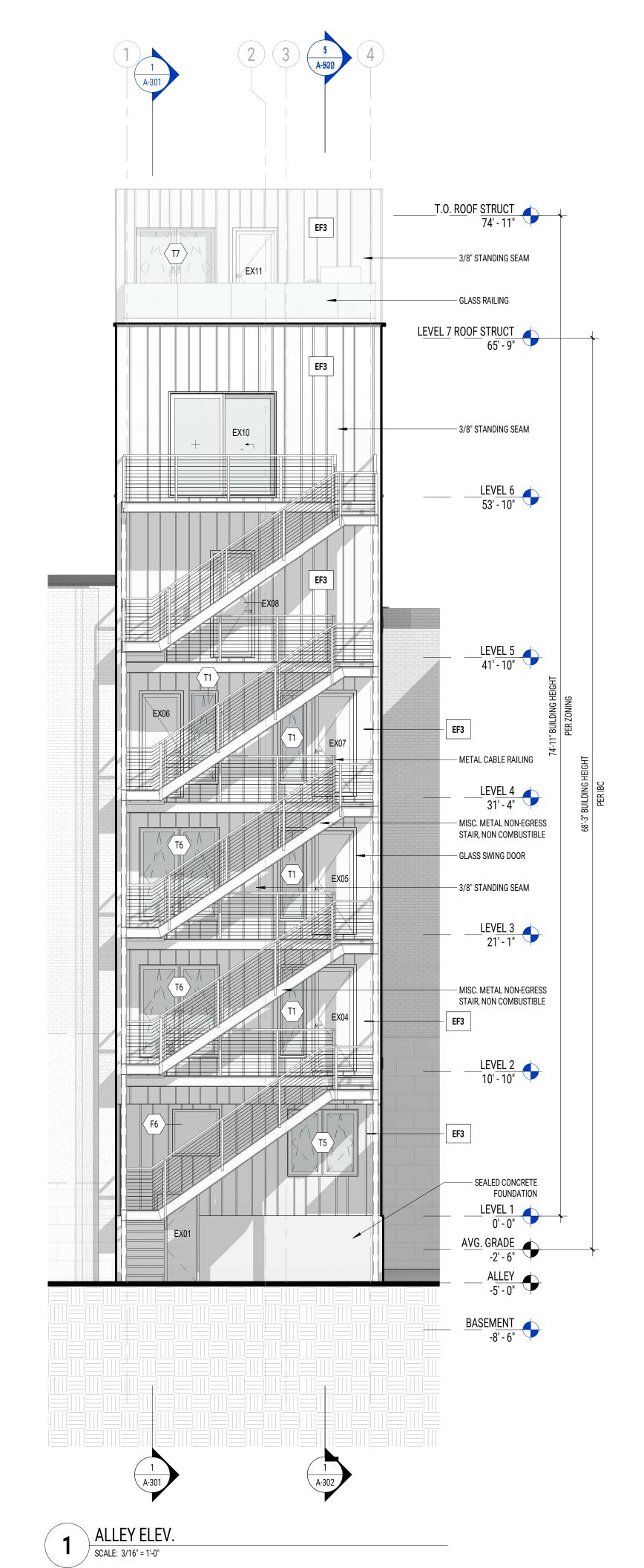
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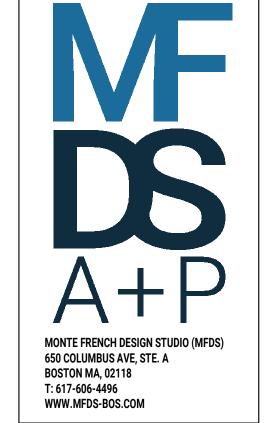
SCALE: 3/16" = 1'-0"

DRAWN BY: ED, MN, AY

FRONT & EAST BUILDING ELEVATION







ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:
ISSUE LOG:

# PROJECT NAME: 58 BURBANK

ADDRESS:
58 BURBANK STREET
BOSTON, MA, 02115

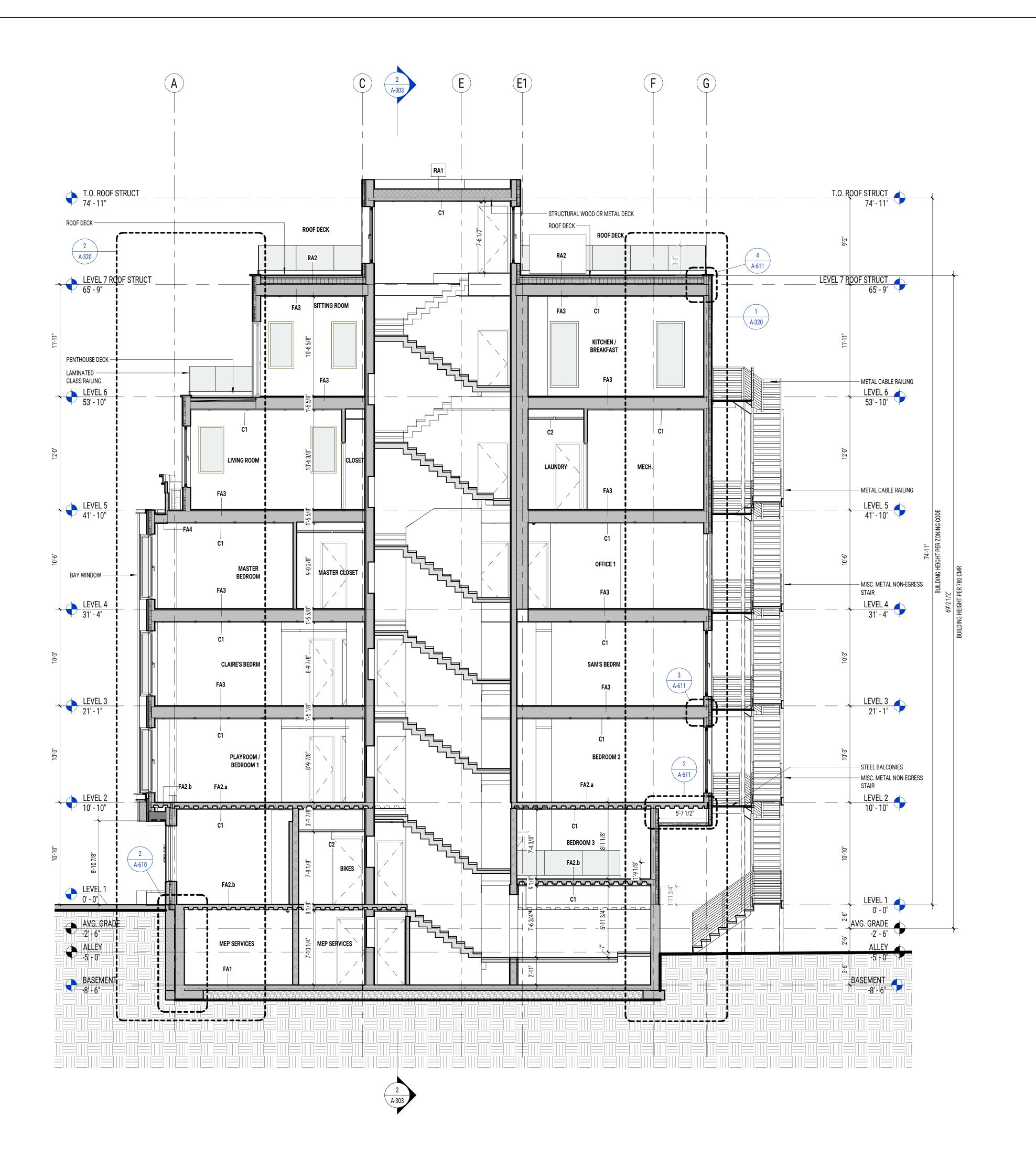
DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: 3/16" = 1'-0"

DRAWN BY: ED, MN, AY

REAR & WEST BUILDING ELEVATION





ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

# PROJECT NAME: 58 BURBANK

ADDRESS:
58 BURBANK ST

58 BURBANK STREET
BOSTON, MA, 02115

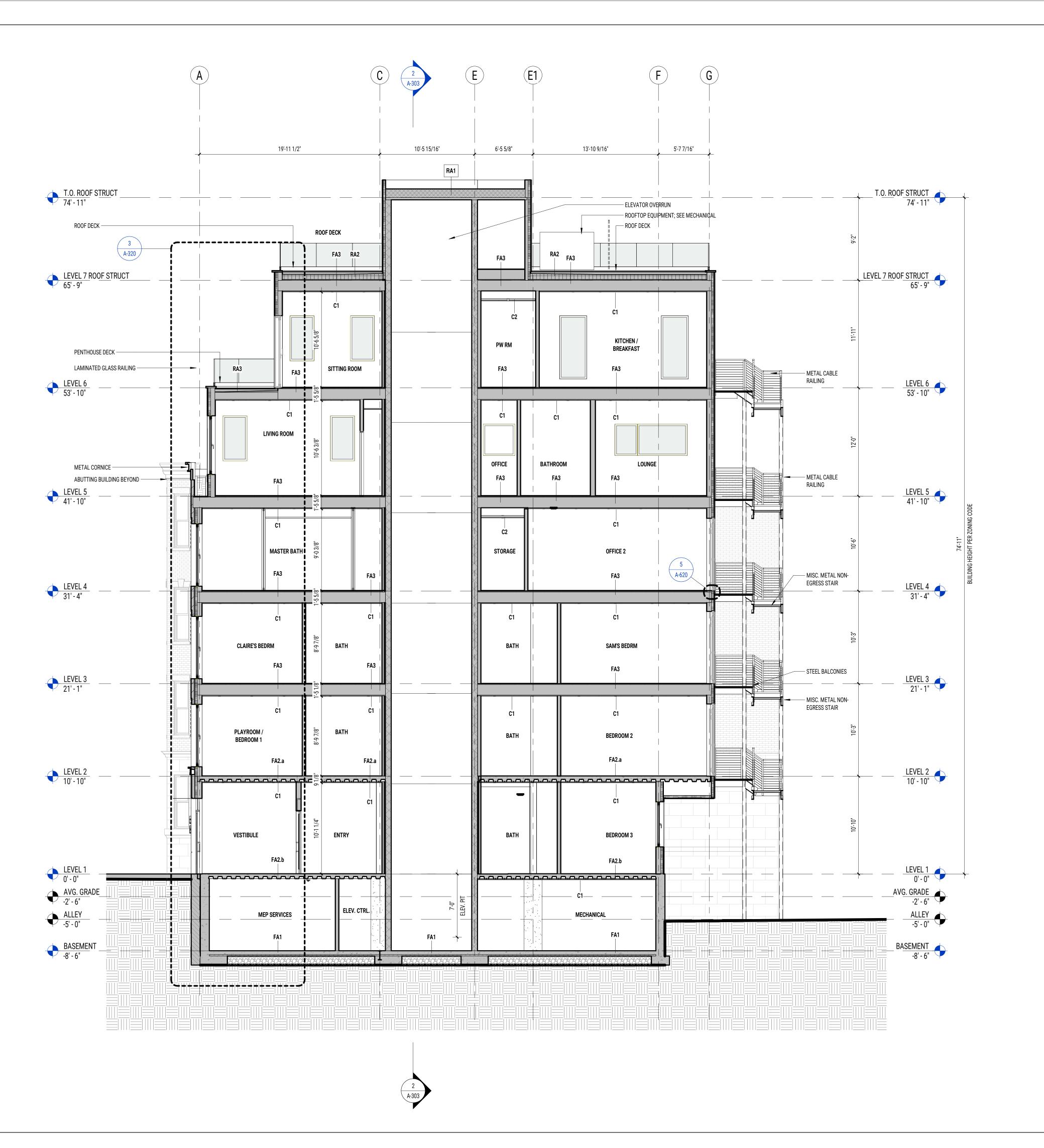
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PROJECT #: 21012

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DRAWN BY: ED, MN, AY

BUILDING SECTION





ISSUE FOR PERMIT



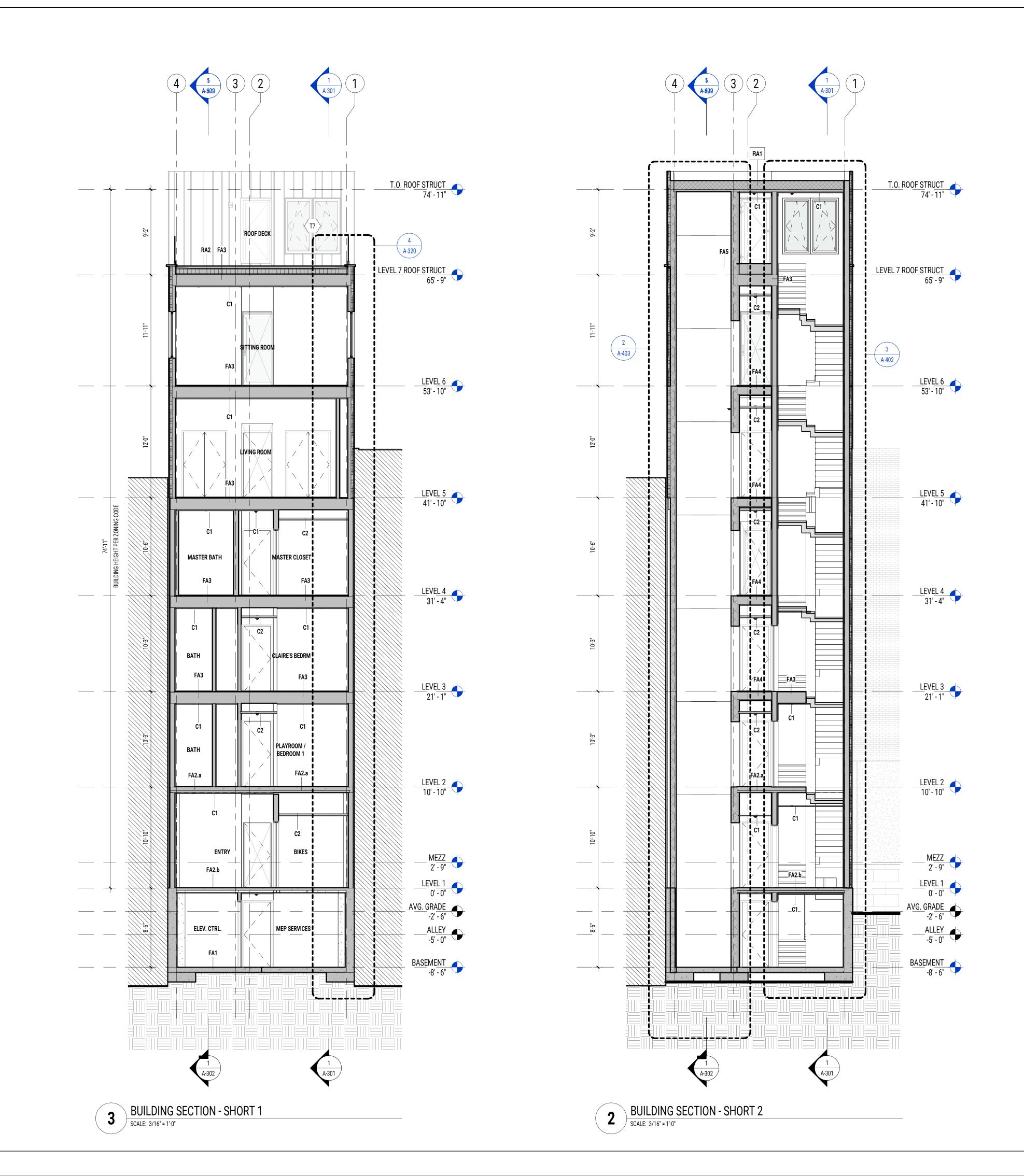
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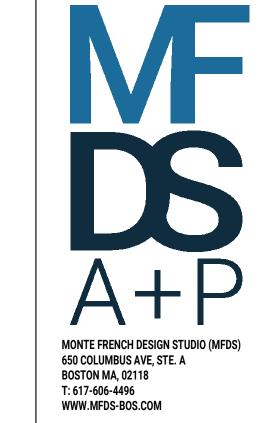
PROJECT NAME: **58 BURBANK** 

ADDRESS: 58 BURBANK STREET BOSTON, MA, 02115

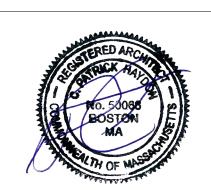
DATE ISSUED: 05 OCT 2022 **PROJECT #:** 21012 **SCALE:** 3/16" = 1'-0" DRAWN BY: ED, MN, AY

**BUILDING SECTION** 





ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

# PROJECT NAME: 58 BURBANK

ADDRESS: 58 BURBANK STREET BOSTON, MA, 02115

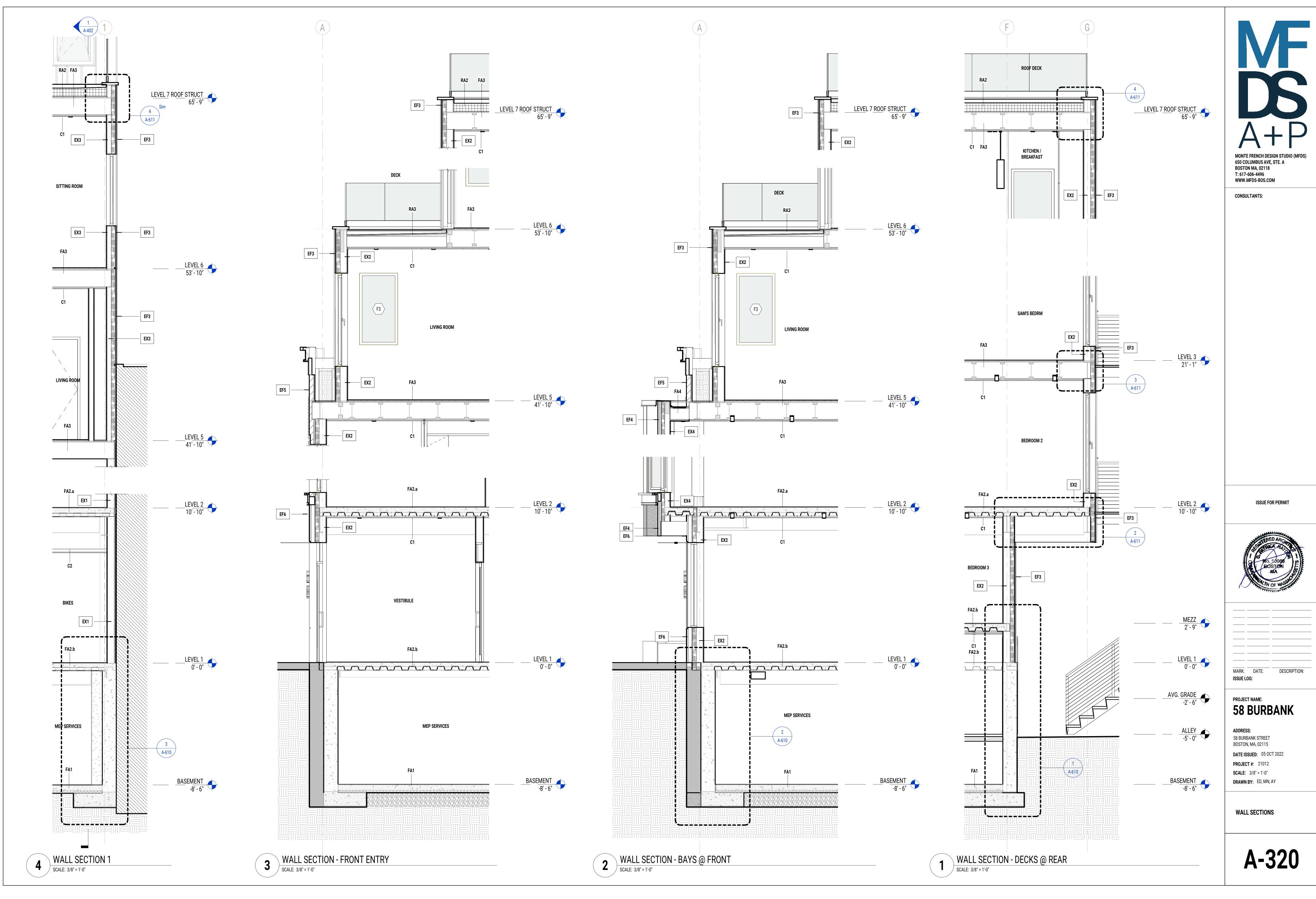
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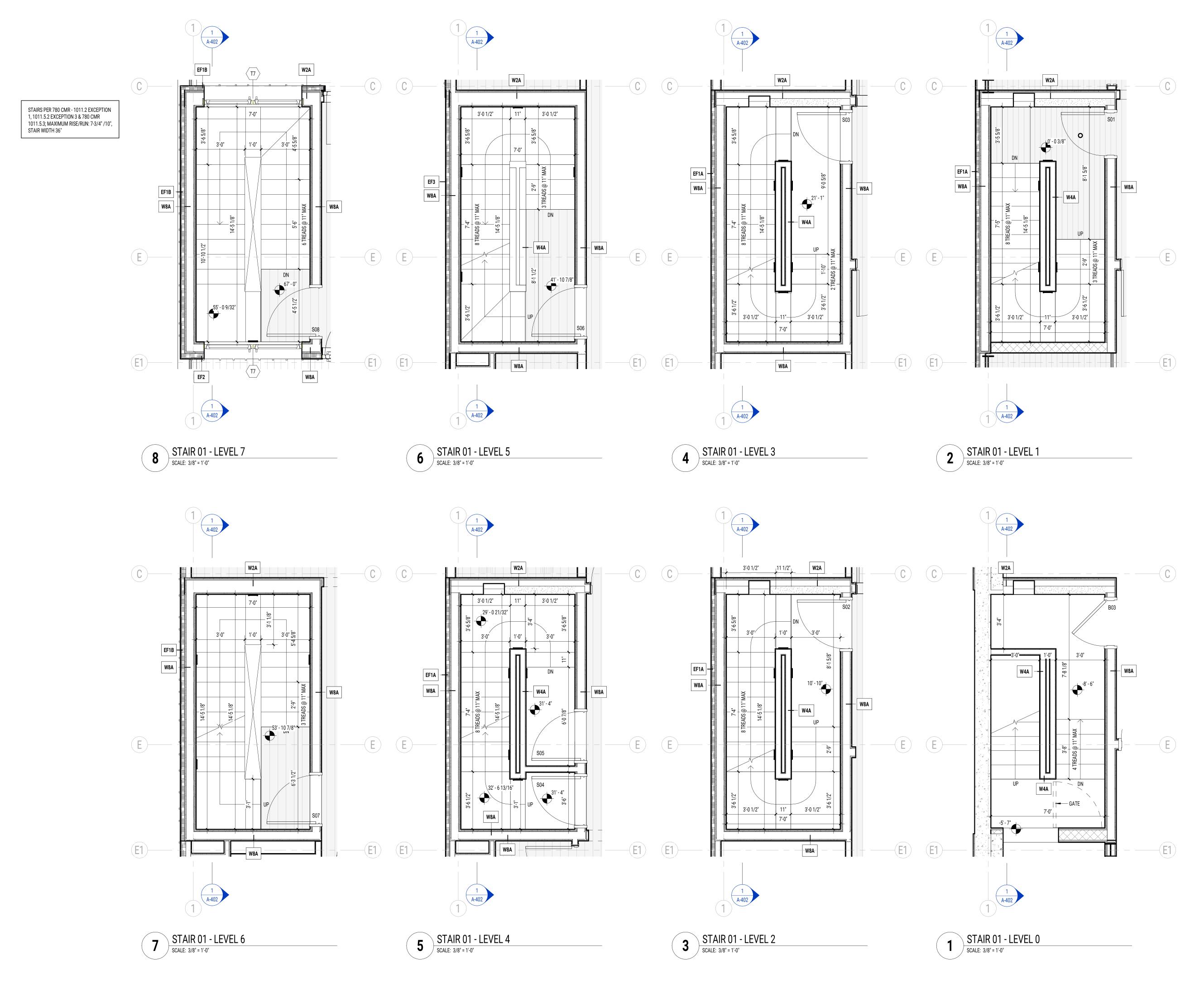
PROJECT #: 21012

SCALE: 3/16" = 1'-0"

DRAWN BY: ED, MN, AY

BUILDING SECTION





MONTE FRENCH DESIGN STUDIO (MFDS)
650 COLUMBUS AVE, STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:
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# PROJECT NAME: 58 BURBANK

ADDRESS:
58 BURBANK STREET
BOSTON, MA, 02115

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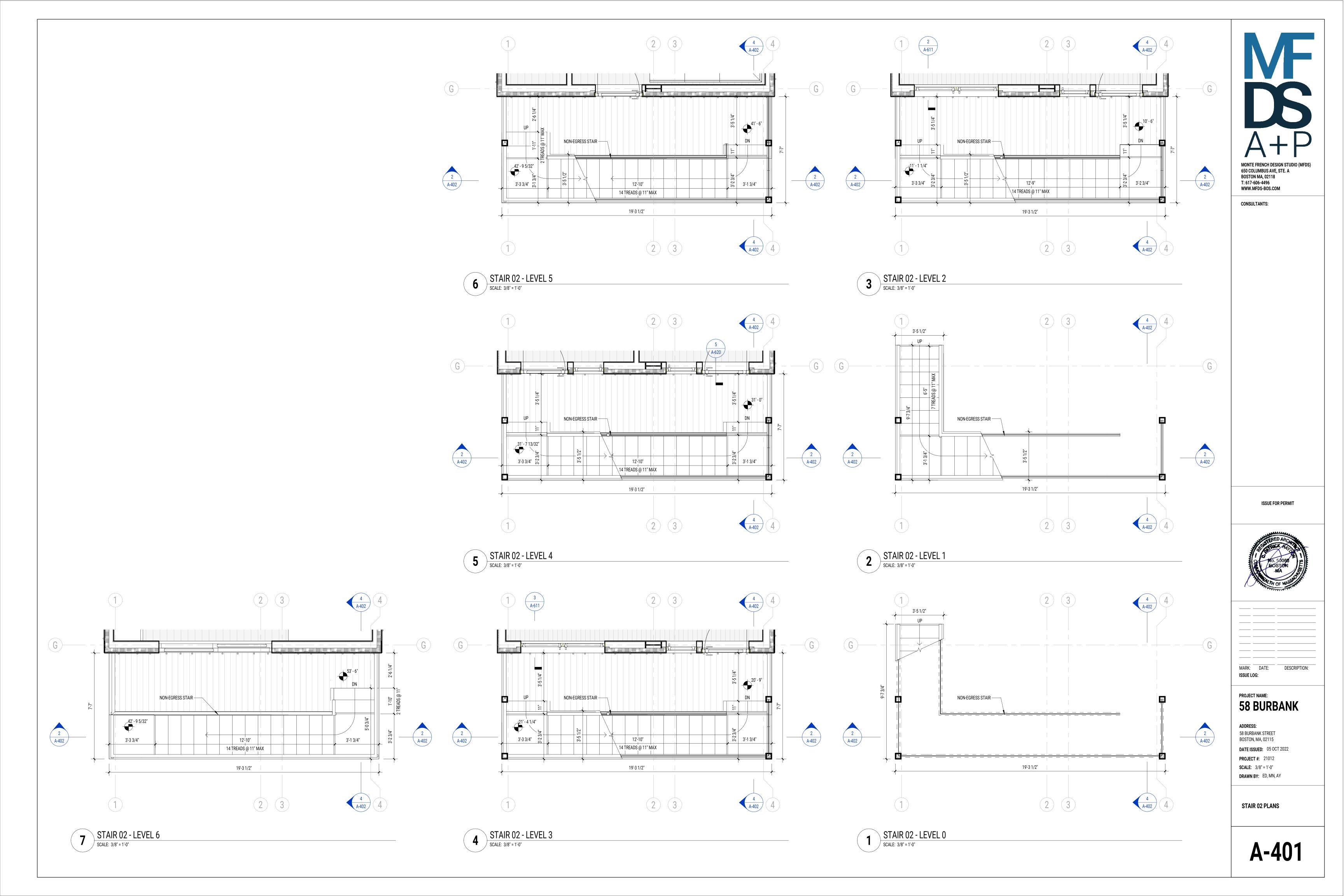
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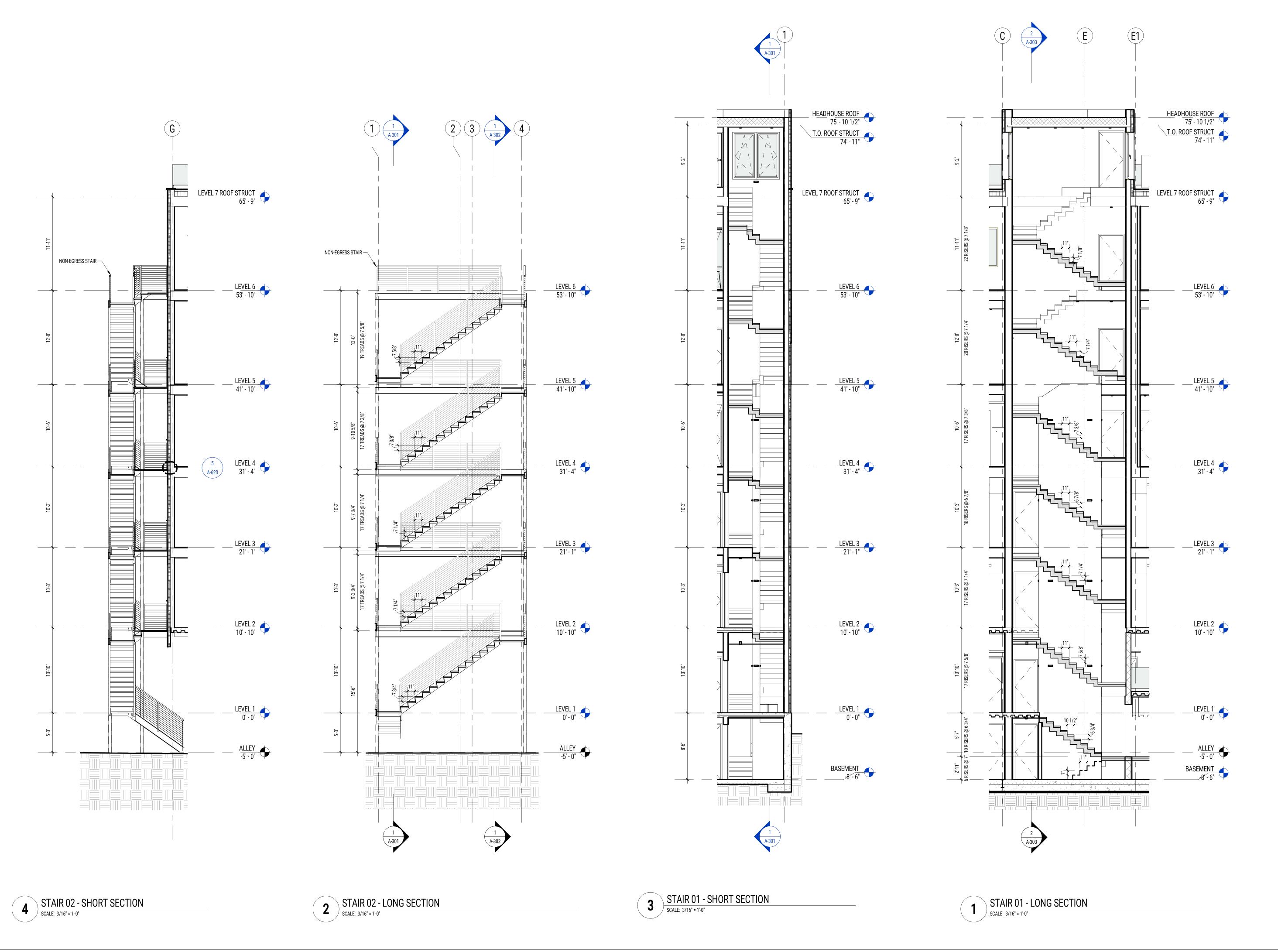
PROJECT #: 21012

SCALE: 3/8" = 1'-0"

DRAWN BY: ED, MN, AY

STAIR 01 PLANS

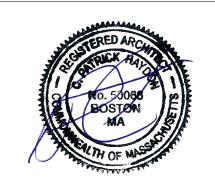




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BOSTON MA, 02118
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CONSULTANTS:

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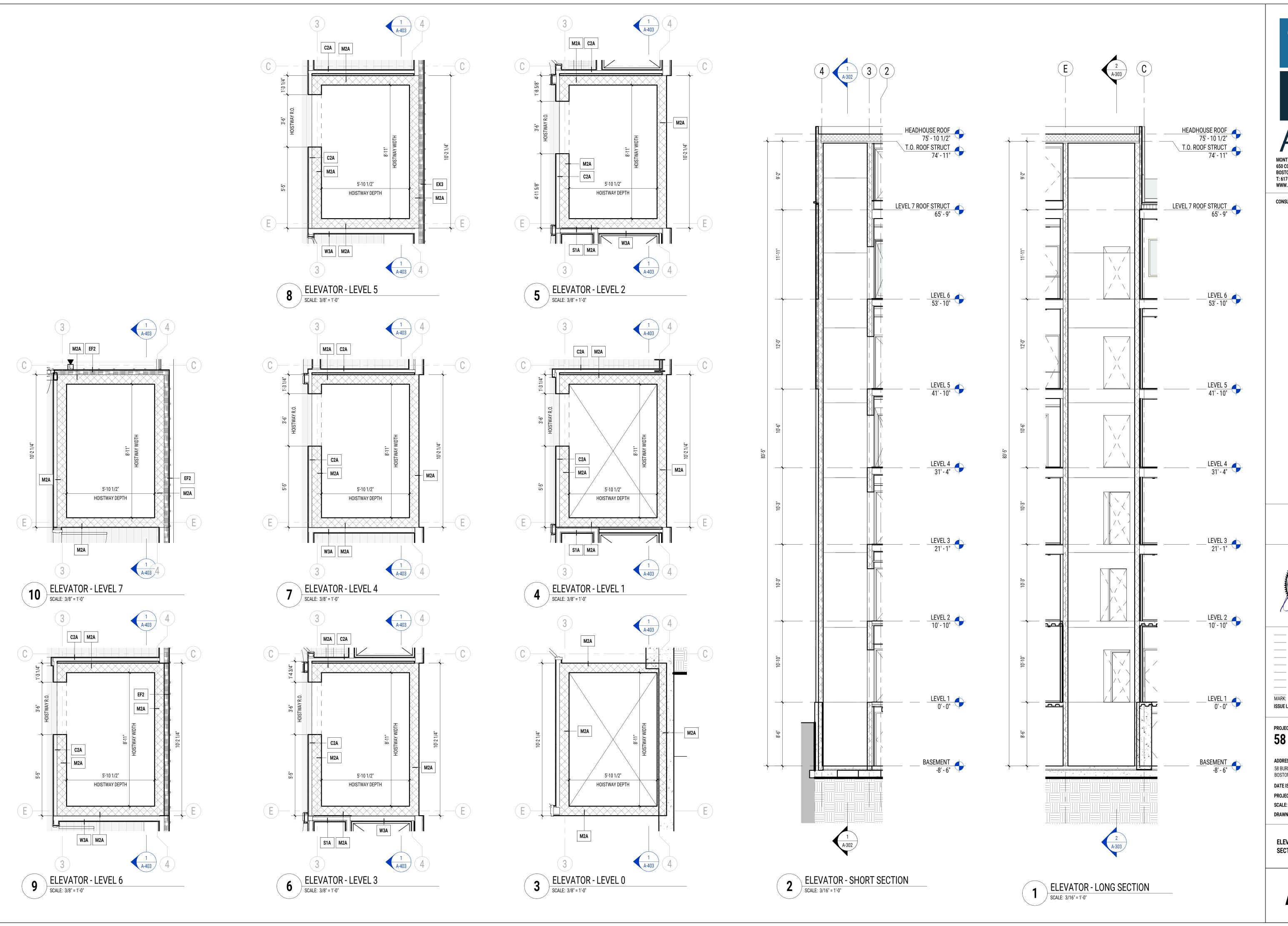
DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: 3/16" = 1'-0"

STAIR 01 & STAIR 02 SECTIONS

DRAWN BY: ED, MN, AY





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58 BURBANK STREET
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

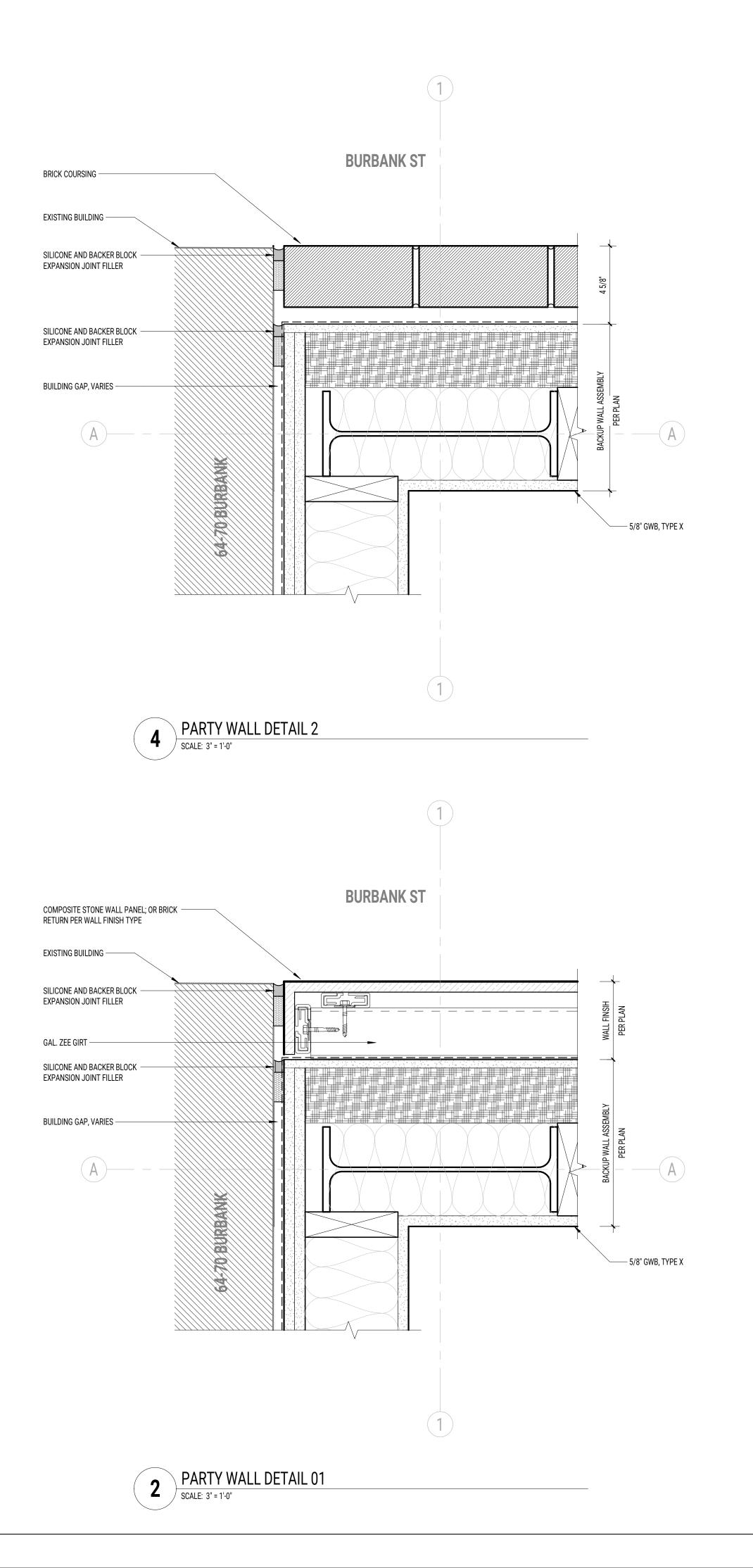
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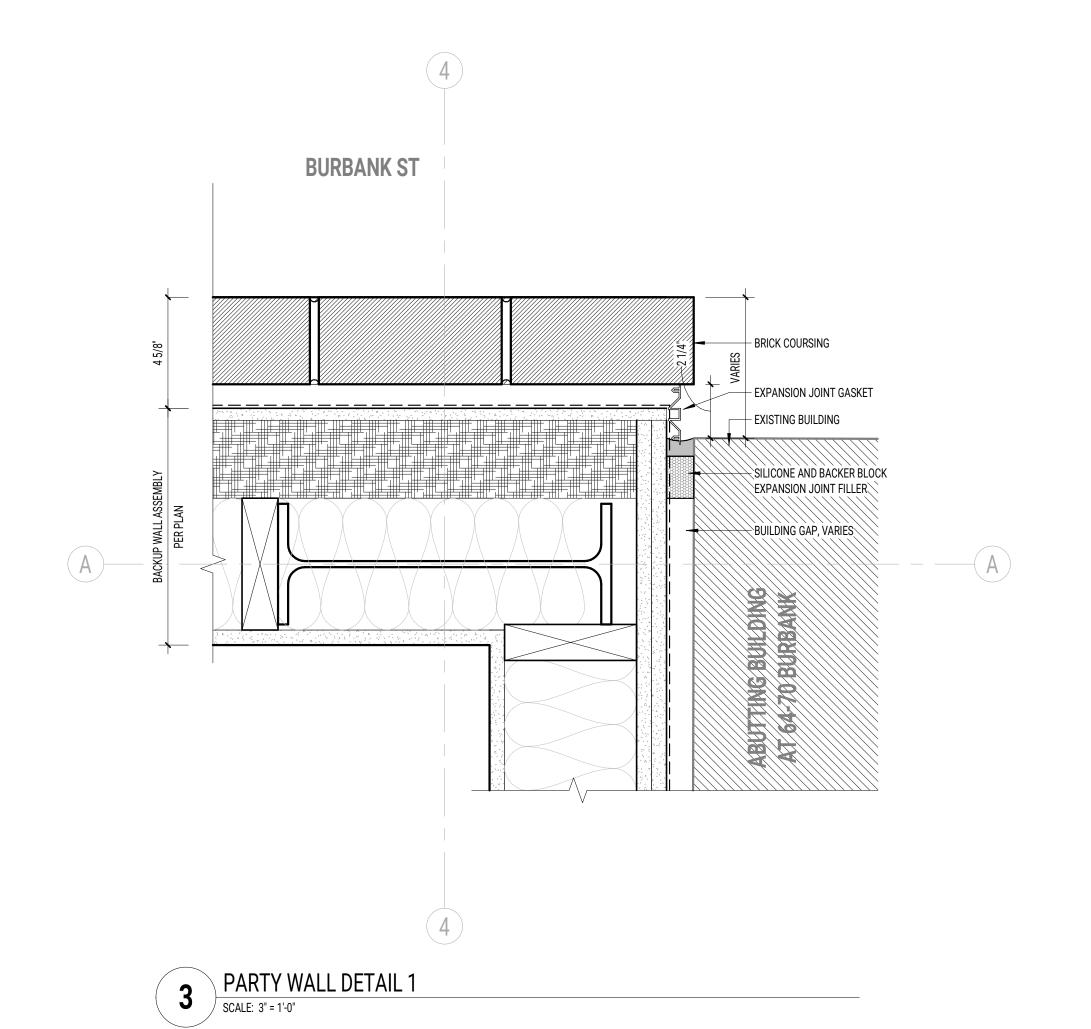
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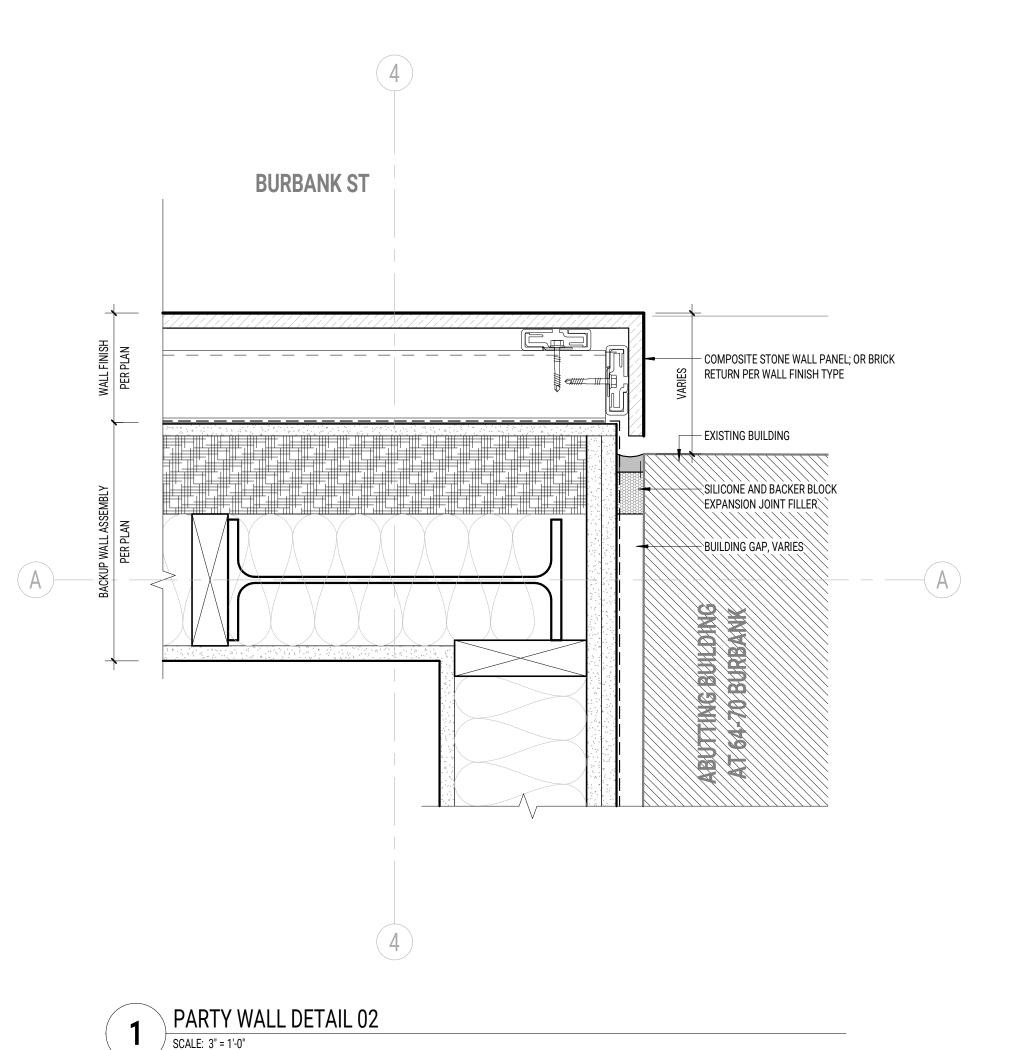
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DRAWN BY: ED, MN, AY

ELEVATOR PLANS AND SECTIONS









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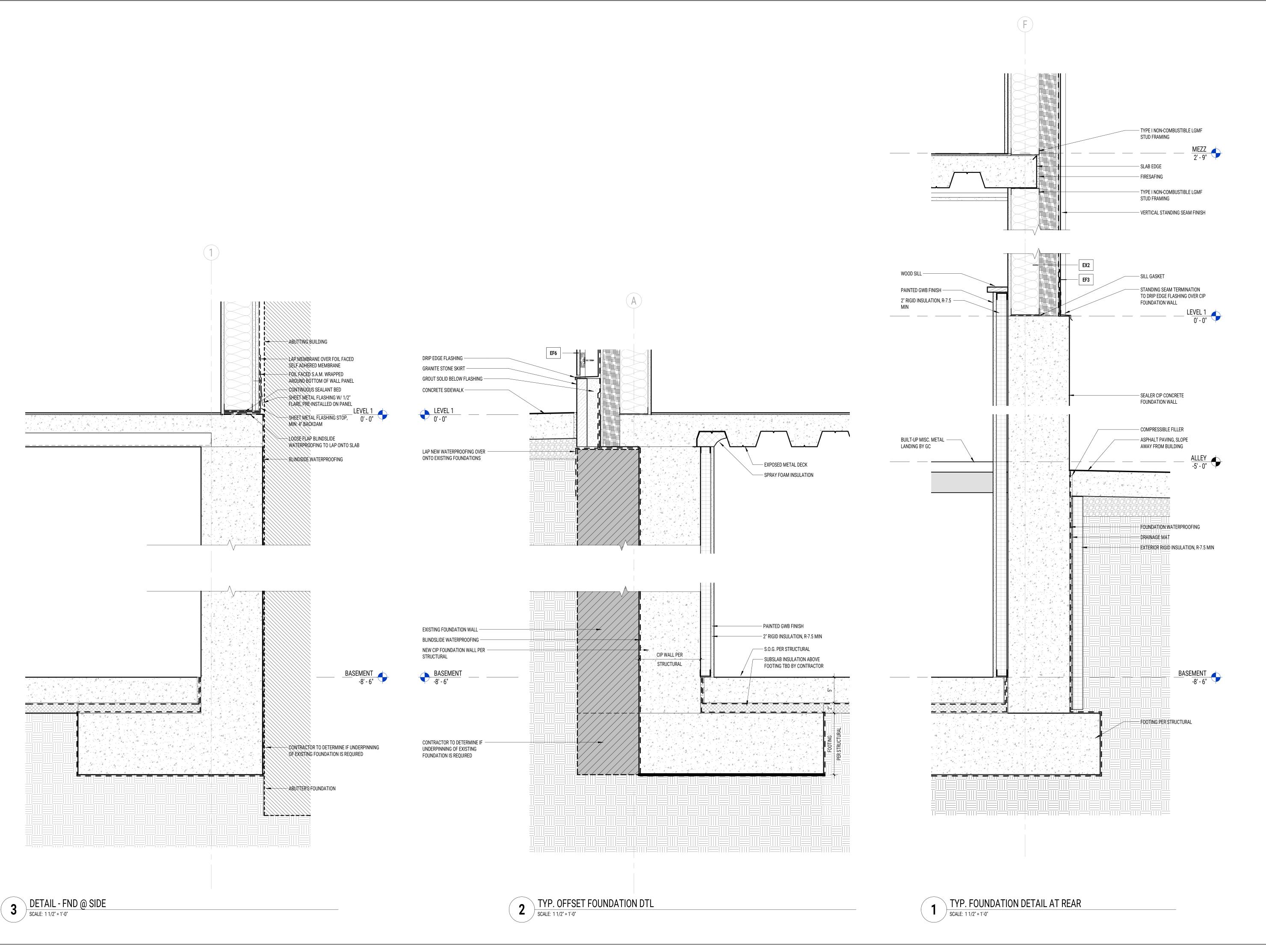
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SCALE: 3" = 1'-0"

DRAWN BY: ED, MN, AY

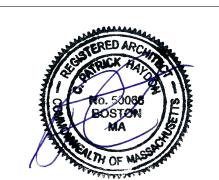
EXTERIOR PLAN DETAILS



MONTE FRENCH DESIGN STUDIO (MFDS)
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CONSULTANTS:

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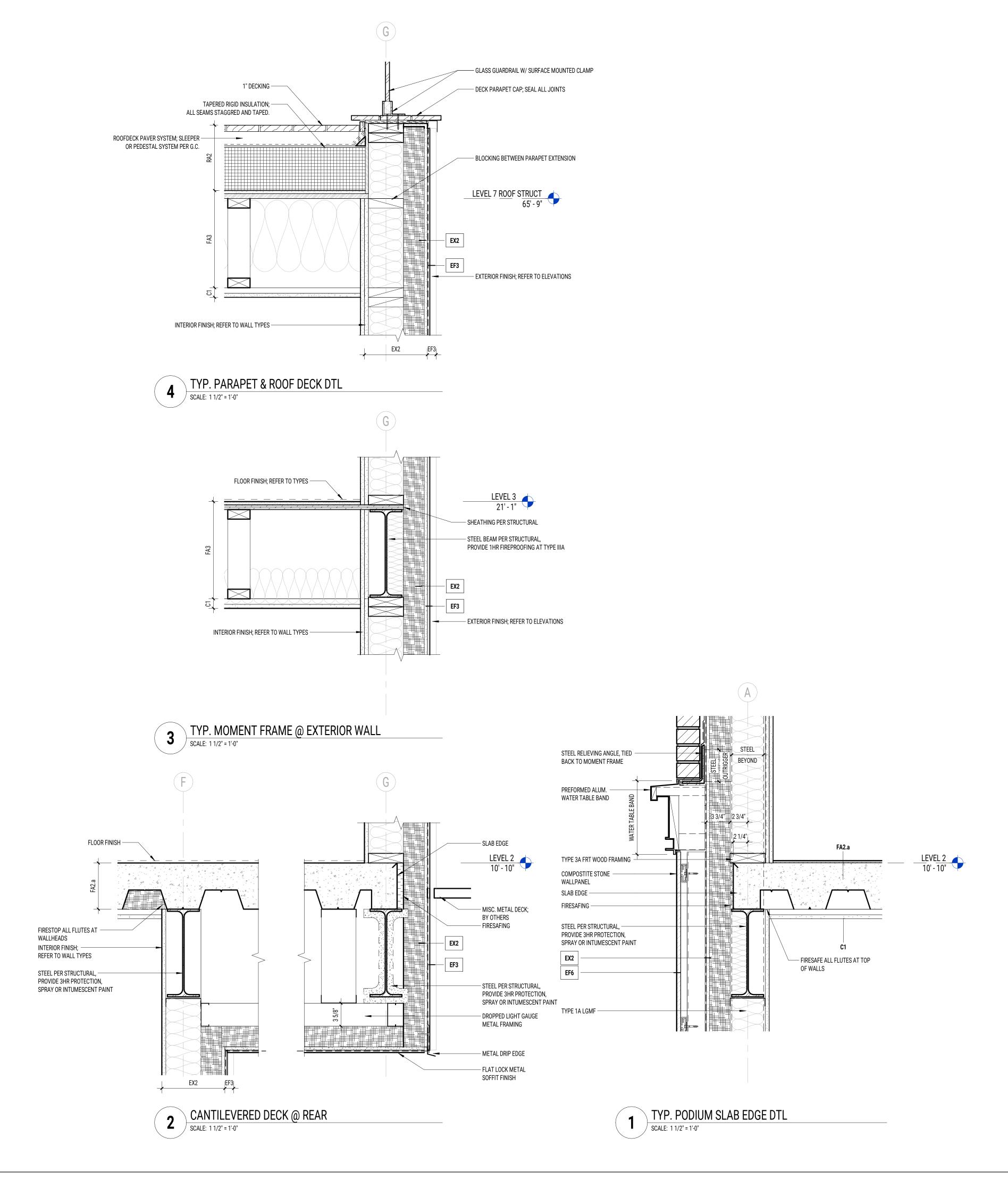
DATE ISSUED: 05 OCT 2022

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SCALE: 1 1/2" = 1'-0"

DRAWN BY: ED, MN, AY

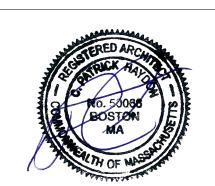
EXTERIOR DETAILS -FOUNDATION





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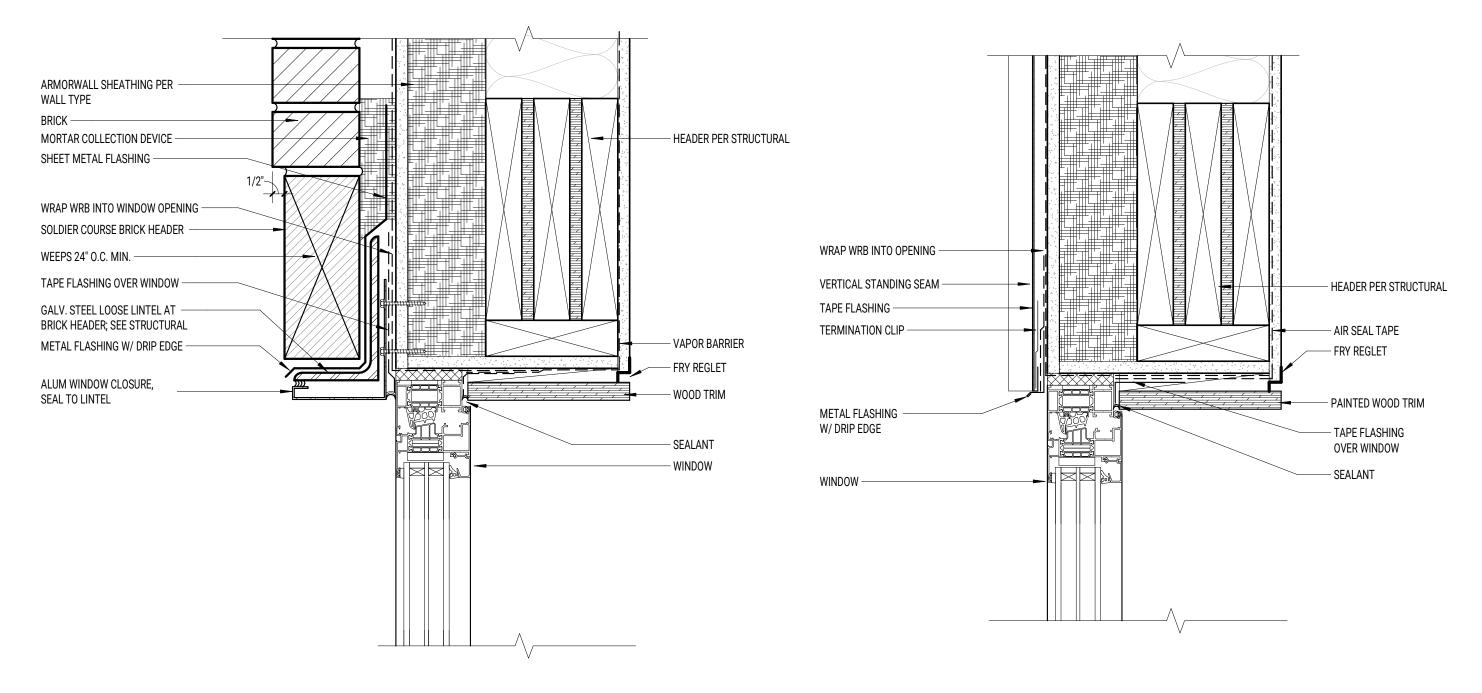
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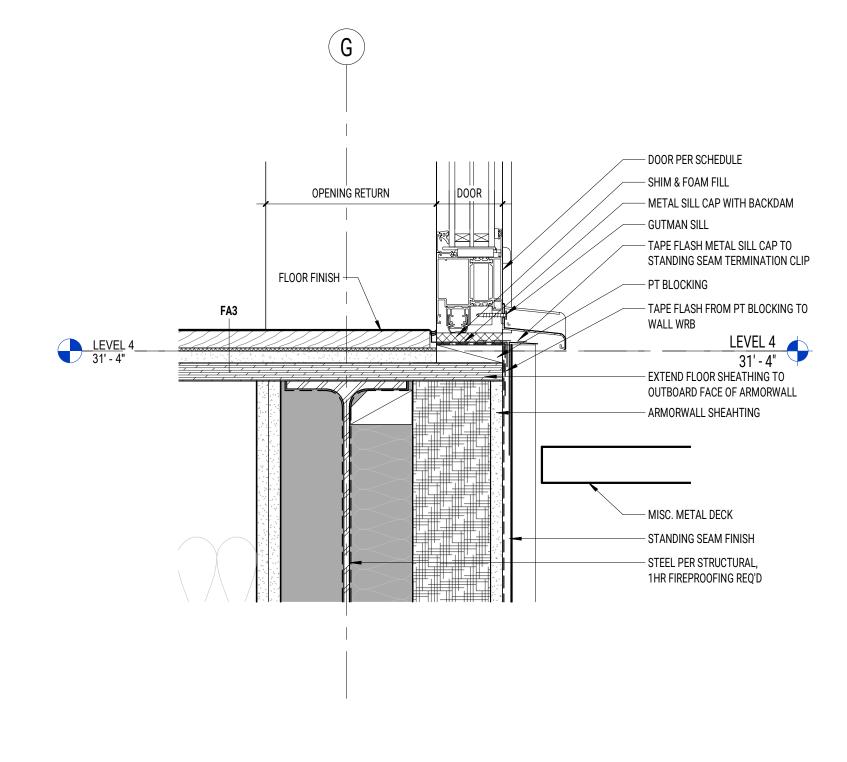
EXTERIOR DETAILS - EXTERIOR WALL



TYP. WINDOW HEAD @ BRICK

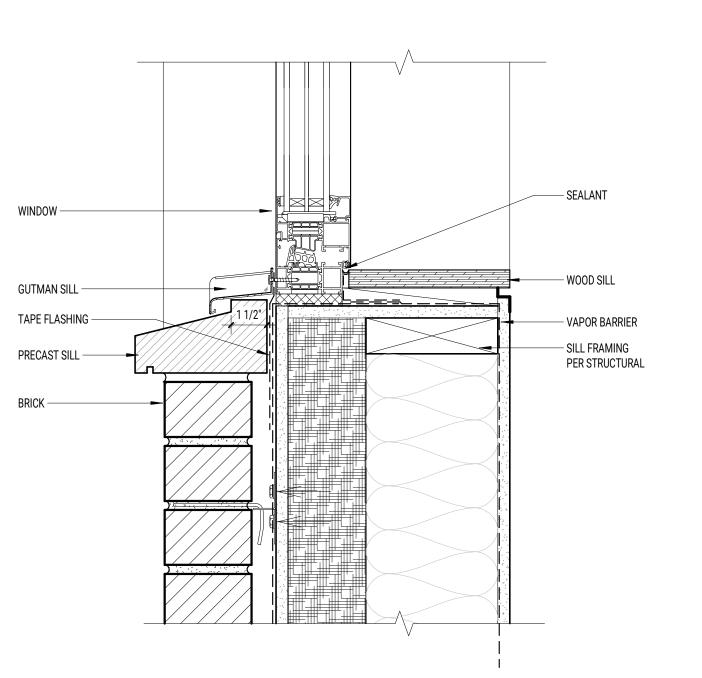
SCALE: 3" = 1'-0"

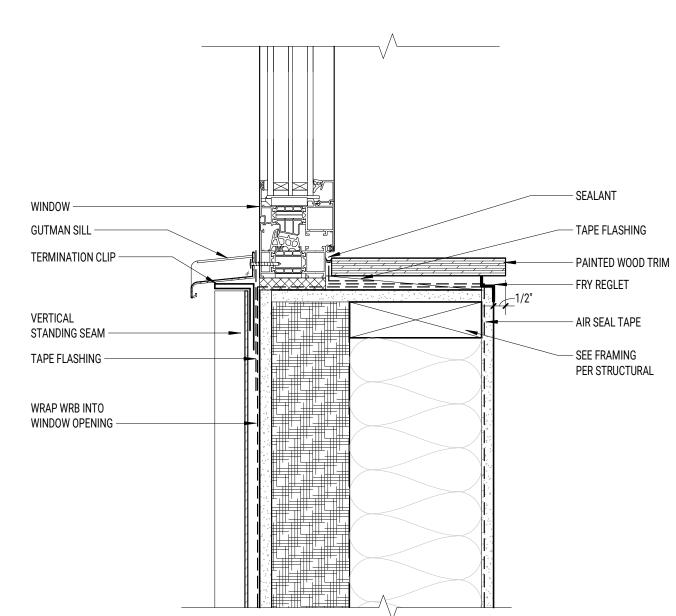




TYP. DOOR SILL DTL

SCALE: 3" = 1'-0"





TYP. WINDOW SILL @ BRICK

SCALE: 3" = 1'-0"

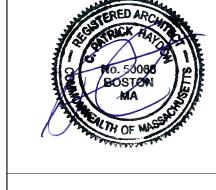
TYP. WINDOW SILL @ STANDING SEAM

SCALE: 3" = 1'-0"

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SCALE: 3" = 1'-0"

DRAWN BY: ED, MN, AY

TYPICAL DOOR & WINDOW DETAILS

#### PARTITION GENERAL NOTES EXTERIOR WALL ASSEMBLIES 1. ALL PARTITIONS ARE TYPE W4B UNLESS OTHERWISE NOTED. PARTITIONS TYPES ARE KEYED ON FLOOR PLANS. 2. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS. 1 1/4" 3 1/2" | 3 3/4" 5 1/2" 3 3/4" 1 1/4" 3 1/2" |2 1/4" | 1/2" 3. VERIFY RATED WALLS WITH CODE PLANS. - STANDING SEAM CLIP 2X4 FRT WOOD FRAMING 2X4 WOOD FRAMING - 3/8" STANDING SEAM; - 2X6 FRT WOOD FRAMING $\rightarrow \leftarrow$ - 2X6 FRT WOOD FRAMING PER STRUCTURAL CONSTRUCTION AROUND ITEMS. PER STRUCTURAL DIRECT APPLIED PER STRUCTURAL PER STRUCTURAL — EIFS PARGED FINISH - (2) LAYERS 5/8" GWB TYPE X — (2) LAYERS 5/8" GWB TYPE X 6. PARTITIONS ENCLOSING SPACES WITHOUT CEILINGS ARE TO EXTEND TO UNDERSIDE OF SLAB ABOVE. - 5/8" GWB TYPE X - 2-3/4" STRUCTURAL INSULATED — 5/8" GWB TYPE X VAPOR BARRIER VAPOR BARRIER SHEATHING, "ARMOR WALL VP" OR VAPOR BARRIER — 2-3/4" STRUCTURAL INSULATED 7. ALL FIRE RATED PARTITION ASSEMBLIES ARE TO CONTINUE FROM FLOOR TO DECK ABOVE. - R21 FIBERGLASS BATT CAVITY INSULATION EQUAL, R-21, ALL SEAMS SEALED VAPOR BARRIER SHEATHING, "ARMOR WALL VP" OR - R21 FIBERGLASS BATT CAVITY EQUAL, R-21, ALL SEAMS SEALED INSULATION 2 3/4" STRUCTURAL INSULATED - R21 FIBERGLASS BATT CAVITY 3 3/4" STRUCTURAL INSULATED AND/OR CONSTRUCTION REQUIREMENTS OF THE WALL. - SHEATHING, "ARMOR WALL VP" OR INSULATION - 3 3/4" STRUCTURAL INSULATED - SHEATHING, "ARMOR WALL VP" OR - 2 HR RATED BACKUP EQUAL, R-21, ALL SEAMS SEALED SHEATHING, "ARMOR WALL VP" OR EQUAL, R-21, ALL SEAMS SEALED ASSEMBLY TYPE W8A, U301 — 2 HR RATED BACKUP - (2) LAYERS 5/8" GWB TYPE X 9. THE ENVELOPE CREATED BY FIRE RATED PARTITIONS AND SHAFTS IS REQUIRED TO BE CONTINUOUS AND UNINTERRUPTED EXCEPT BY TESTED EQUAL, R-21, ALL SEAMS SEALED ASSEMBLY TYPE W8A, U301 THROUGH-PENETRATION FIRE STOP ASSEMBLIES AS SPECIFIED. REFER TO THE CODE PLAN FOR DIAGRAMS EXTERIOR FINISH. EXTERIOR FINISH. 2 HR RATED EXTERIOR WALL ASSEMBLY - EXTERIOR FINISH: SEE PARTITION TYPES. WATERPROOFING SEE PARTITION TYPES. REFER TO PLANS & ELEVATIONS ACHIEVED IN COMBINATION WITH W8A 2 HR RATED EXTERIOR WALL MEMBRANE **BACKUP STUD WALL** APPROVAL ASSEMBLY ACHIEVED IN COMBINATION WITH W8A BACKUP STUD WALL PLAN PLAN PLAN SECTION PLAN FIRE RATING: 1 HR SYMMETRICAL FIRE RATING: 2 HR INT, 1 HR EXT FIRE RATING: 2 HR FIRE RATING: 2 HR FIRE RATING: 2 HR SYMMETRICAL FIRE RATING: 2HR INT, 1 HR EXT PLANS PRIOR TO THE COVERING OF STUD FRAMING. REFER TO MANUFACTURER'S RECOMMENDATIONS. EX4 UL NO.: EEV 10727d **EF1B** UL NO.: **EEV 10727d EF1A** UL NO.: **EEV 10727d** EX1 UL NO.: UL U301 **EX2** UL NO.: **EEV 10727d** EX3 UL NO.: EEV 10727d STC RATING: STC RATING: STC RATING: STC RATING: STC RATING: STC RATING: 12. ALL PARTITIONS DIMENSIONS PROVIDED ARE TO FINISHED FACE UNLESS OTHERWISE NOTED. TYP. EXTERIOR WALL (FL 5 & ABOVE) **FRONT & REAR EXTERIOR WALL** TYP. EXTERIOR (BAY) TYP. STAIR EXTERIOR (FL 1-5) TYP. STAIR EXTERIOR (FL 6 & ABOVE) TYP. ZERO FSD WALL 3" 1" 5/8" 3 3/4" 15. MAINTAIN FIRE RATING AROUND RECESSED FIXTURES. BRICK VENEER WITH TYPE S - 3/8" STANDING SEAM; - 5/8" COMPOSITE STONE MORTAR, UNIT AND MORTAR - 3/8" STANDING SEAM; RESISTANT BOARD SHALL CONFORM TO REQUIREMENT FOR FIRE RESISTANCE RATINGS INDICATED. DIRECT APPLIED WALL PANEL COLOR BY ARCHITECT — ACM PANEL DIRECT APPLIED 17. DO NOT LOCATE OUTLET BOXES (INCLUDING TELECOM/DATA AND ELECTRICAL) OPPOSITE ONE ANOTHER IN ACOUSTICALLY RATED - CLIP VAPOR BERMABLE AIR AND - 3 3/4" STRUCTURAL ----- 3/4" FURRING CHANNEL INSULATED SHEATHING, WATER BARRIER; PRIMARY AIR – 3" ZEE GIRT ACOUSTIC SEALANT. AT RATED PARTITIONS, LOCATE OUTLET BOXES 24" APART, MIN. UNLESS AT SHAFT WALLS. "ARMOR WALL VP" OR EQUAL, BARRIER - VAPOR PERMABLE AIR AND - REVEAL CAP AT PANEL R-21, ALL SEAMS SEALED WATER BARRIER TRANSITIONS - 1" AIR GAP MASONRY TIES, SPACED AS OF FINISH UNLESS OTHERWISE NOTED. - REQUIRED BY CODE — NEW OR EXISTING CONSTRUCTION AS OCCURS NEW OR EXISTING - NEW OR EXISTING NEW OR EXISTING CONSTRUCTION AS OCCURS - NEW OR EXISTING CONSTRUCTION AS CONSTRUCTION CONSTRUCTION AS OCCURS 21. PROVIDE CEMENTIOUS BOARD AT TILED WALLS. REFER TO FINISH PLAN FOR LOCATIONS. AS OCCURS OCCURS PLAN SECTION PLAN PLAN PLAN

FIRE RATING:

STC RATING:

EF5 UL NO.:

#### **WOOD PARTITIONS**

MASONRY PARTITIONS

TYPE 'S' MORTAR STRUCTURAL

AND NON-EXPOSED WALLS

■ 8" CMU WALL

7 5/8"

PLAN

FIRE RATING: NONE

STC RATING: NONE

M2A UL NO.: NONE

FIRE RATING:

STC RATING:

EF2 UL NO.:

FIRE RATING:

STC RATING:

\*LGMF AT BASEMENT & LVL 1

**SHAFT PARTITIONS** 

- 1" GWB-UL CLASSIFIED

- C-T SHAPED STUDS @ 24 O.C.

- 2 LAYERS 5/8" GWB. USE FIRE

RESISTANT GYPSUM RATED

- 1  $^{1}/_{2}$ " MIN. ATTENTUATION AS

NOTE: MIN. 25 GAUGE

FIRE RATING: 2 HOUR

STC RATING: NONE

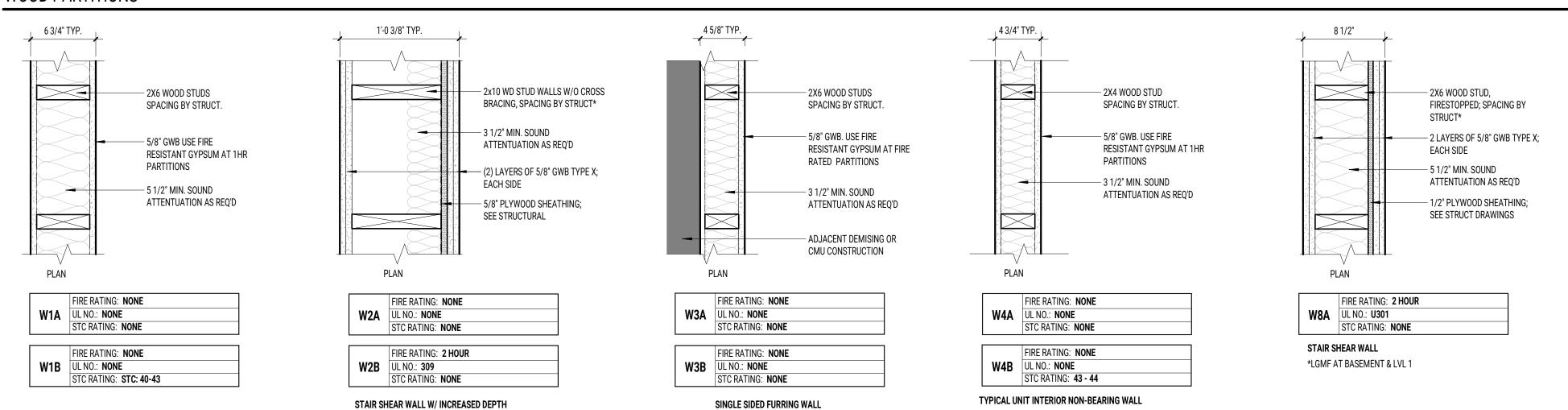
S1A UL NO.: 417 SYSTEM C

GALVANIZED STEEL STUDS

PARTITIONS

3 5/8"

**EF3** UL NO.:

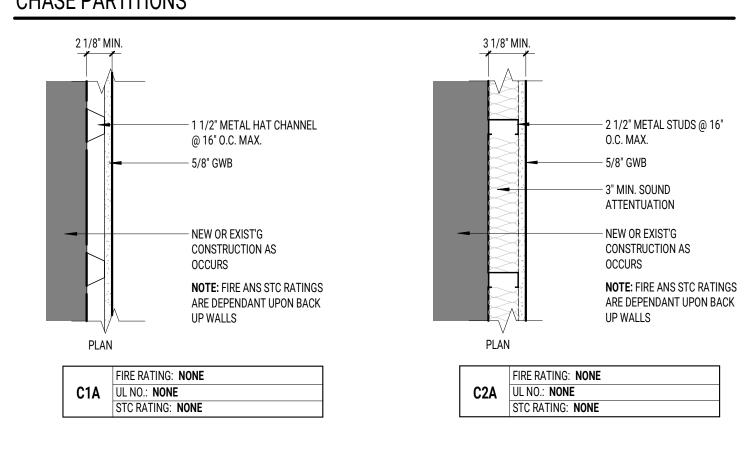


FIRE RATING:

STC RATING:

EF4 UL NO.:

# **CHASE PARTITIONS**

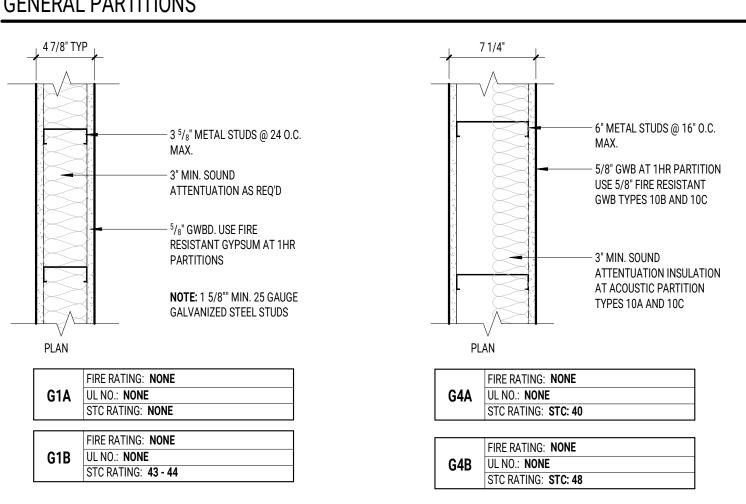


## **GENERAL PARTITIONS**

FIRE RATING:

STC RATING

EF6 UL NO.:



4. REVIEW ALL DRAWINGS AND COORDINATE WALL CONSTRUCTION INCLUDING LOCATION OF FRAMING MEMBERS WITH PENETRATIONS, RECESSED AND SURFACE MOUNTED ITEMS. PROVIDE FRAMING AND OR BACKING AS REQUIRED TO SUPPORT WALL MOUNTED OR RECESSED ITEMS AND WALL

8. ALL FIRE AND SMOKE RATED PARTITIONS ARE TO HAVE ANY/ALL GAPS FILLED WITH A MATERIAL THAT WILL MEET OR EXCEED THE RATING

10. PROJECT IS BASED ON QUOTED UL DESIGNS. OTHER DESIGNS ACCEPTABLE TO ALL AGENCIES WITH JURISDICTION MAY BE SUBMITTED FOR

11. WALL TYPES DESCRIBED ON THIS SHEET DO NOT ACCOUNT FOR REQUIRED BACKING AND /OR SUPPORT FOR WALL MOUNT FIXTURES, EQUIPMENT, CASEWORK AND/OR SYSTEMS FURNITURE. COORDINATE WITH ENLARGED FLOOR PLANS, INTERIOR ELEVATIONS, AND EQUIPMENT

13. LOCATE HINGE SIDE OF DOOR AT 4" FROM FINISHED FACE OF ADJACENT WALL UNLESS OTHERWISE NOTED OR DIMENSIONED.

14. WALL TYPES AND RATINGS INDICATED ON PLAN CONTINUE ABOVE/BELOW ADJACENT WINDOW OR DOOR OPENINGS.

16. AT PARTITIONS SCHEDULED TO RECEIVE CERAMIC OR STONE TILE FINISH, USE CEMENT BOARD AT THE OUTER LAYER AND MOISTURE/MOLD RESISTANT BOARD IN THE REMAINING LAYERS OF THAT SIDE OF THE PARTITION, INSTALLATION OF CEMENT BOARD AND MOISTURE/MOLD

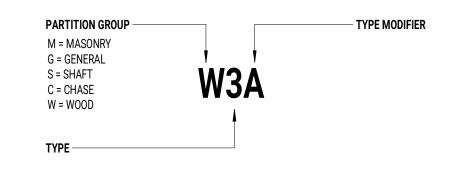
PARTITIONS. LOCATE OUTLETS AT LEAST ONE STUD BAY APART. SEAL THE OUTLET BOXES WITH PUTTY PADS AND CAULK THE PERIMETER USING

18. AT ALL ACOUSTICALLY RATED PARTITIONS USE ACOUSTICAL SEALANT APPLIED PER MANUFACTURERS INSTRUCTIONS.

19. ON CONTINUOUS WALL SURFACE WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH, OR MATERIAL THICKNESS ALIGN FACE

20. REFER TO REFLECTED CEILING PLAN FOR CEILING MATERIALS AND HEIGHTS; REFER TO ROOM FINISH SCHEDULE FOR FINISHES AND SPECIAL

## PARTITION TYPE LEGEND



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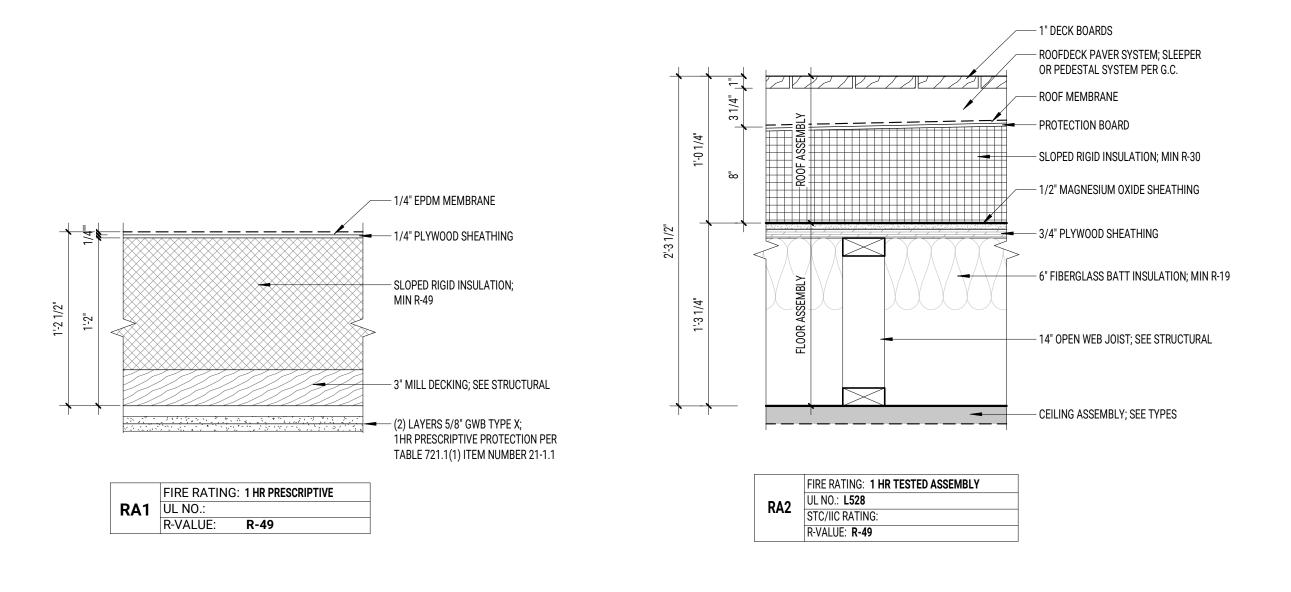
#### PROJECT NAME: **58 BURBANK**

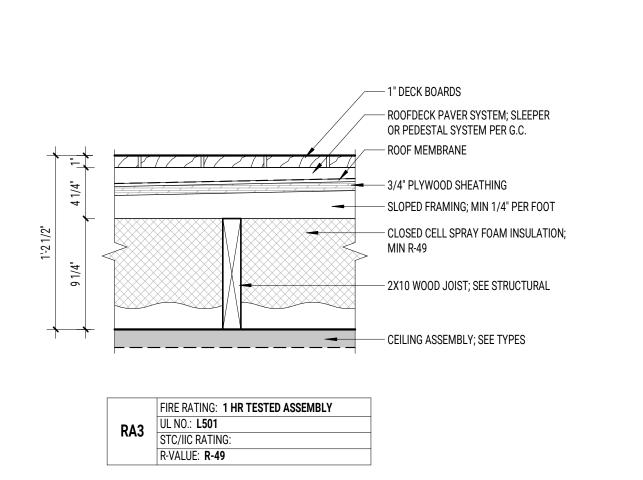
ADDRESS: 58 BURBANK STREET BOSTON, MA, 02115

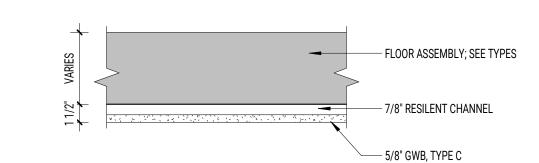
DATE ISSUED: 05 OCT 2022 **PROJECT #:** 21012 SCALE: As indicated DRAWN BY: ED, MN, AY

**PARTITION TYPES** 

ROOF ASSEMBLIES

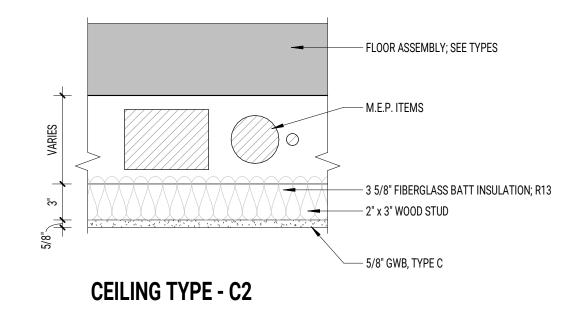






**CEILING TYPE - C1** 

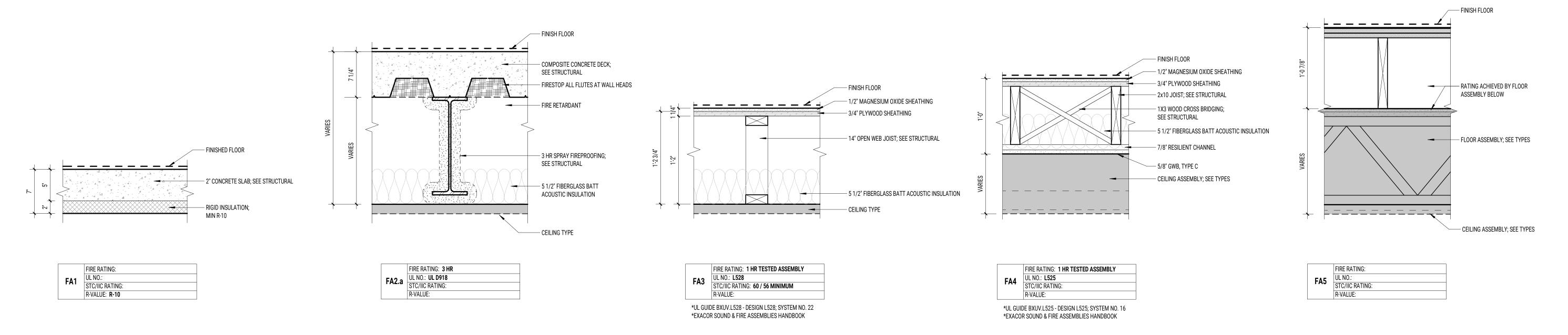
CEILING ASSEMBLIES



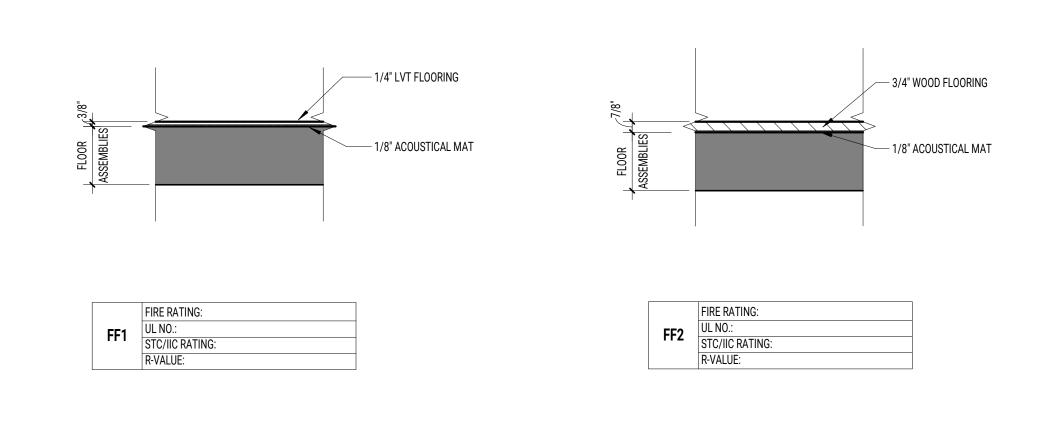


CONSULTANTS:

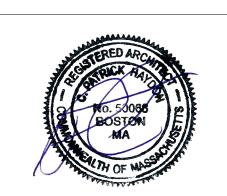
## FLOOR ASSEMBLIES



# FINISH FLOOR ASSEMBLIES



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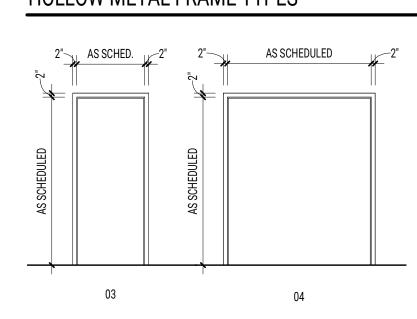
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FLOOR AND ROOF TYPES

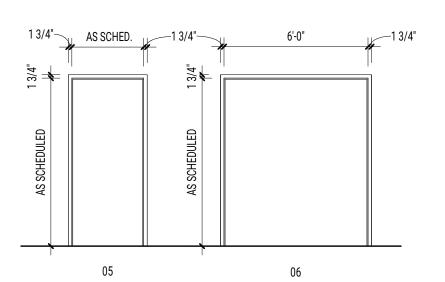
## **WOOD FRAME TYPES**

# 2" AS SCHEDULED 2" Q3 NOHEDNIED VS SCHEDULED VS SCHEDULED VS SCHEDULED

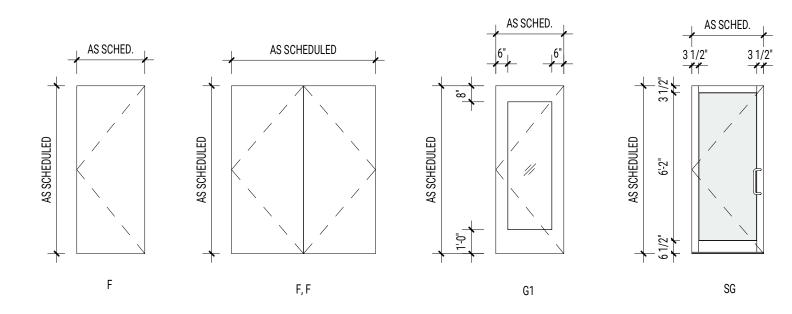
# HOLLOW METAL FRAME TYPES



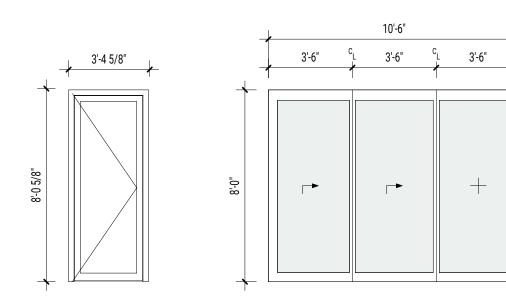
# ALUMINUM FRAME TYPES



#### PANEL TYPES



#### **EXTERIOR PANEL TYPES**



_	<b>L</b>	16	'-0"	ما
_	4'-0"	C <sub>L</sub> 4'-0"	<sup>2</sup> L 4'-0"	4'-0"
+		1		1
_O-,8	+	•	<b> </b>	+

DOOR SCHEDULE										
	FRAME D	ETAILS			DOOR DETAIL	.S			HDWR	
MARK	MATL	TYPE	PANEL	MATL	WIDTH	HEIGHT	THK	FIRE RATING	SET	REMARKS
BASEMEN	т									
B01	HM	03	F	MTL	2' - 10"	7' - 0"				
B02	HM	03	F	MTL	2' - 10"	7' - 0"				
B03	НМ	03	F	MTL	2' - 10"	7' - 0"		90MIN		RATED DOOR, W/ CLOSER
ALLEY										
EX01	НМ	03	F	MTL	3' - 0"	6' - 8"		90MIN		RATED DOOR, W/ CLOSER
LAGI	11111		•		0 0	0 0		ZOMINY		TATLES BOOK, IT/ OLOGER
LEVEL 1										
EX02	AL	01	SG2: SG 2	ALU/GL	3' - 3"	6' - 11 1/4"				
EX03	AL	01	SG2: SG 2	ALU/GL	3' - 2 1/4"	6' - 11 1/4"				
S01	НМ	03	F	MTL	2' - 8"	6' - 8"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 2										
EX04	AL	05	SG	ALU/GL	3' - 4"	8' - 0"				
S02	НМ	03	F	MTL	3' - 0"	7' - 0"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 3										
EX05	AL	05	SG	ALU/GL	3' - 4"	8' - 0"				
S03	НМ	03	F	MTL	3' - 0"	7' - 0"		45MIN		RATED DOOR, W/ CLOSER
					ı					
LEVEL 4										
EX06	AL	05	SG	ALU/GL	3' - 4"	8' - 0"				
EX07	AL	05	SG	ALU/GL	3' - 4"	8' - 0"				
S04	НМ	03	F	MTL	3' - 0"	7' - 0"		45MIN		RATED DOOR, W/ CLOSER
S05	НМ	03	F	MTL	3' - 0"	7' - 0"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 5										
EX08	AL	05	SG	ALU/GL	3' - 4"	8' - 0"				
S06	НМ	03	F	MTL	3' - 0"	7' - 0"		45MIN		RATED DOOR, W/ CLOSER
					1					
EX09	AL	05	SG	ALU/GL	16' - 0"	8' - 0"				
EX10	AL	05	SG	ALU/GL	8' - 0 27/32"	7' - 10 11/16"				
S07	HM	03	F	MTL	3' - 0"	7' - 0"		45MIN		RATED DOOR, W/ CLOSER
	OOF STRUCT	1 33	<u> </u>		1					
EX11	AL	05	SG	ALU/GL	3' - 4"	7' - 0"				
EX12	AL	05	SG	ALU/GL	3' - 4"	7'-0"				
S08	HM	03	F	MTL	3' - 0"	7' - 0"		45MIN		RATED DOOR, W/ CLOSER

DOOR TYPE SCHEDULE										
	FRAME D	ETAILS			DOOR DETAIL	S			HDWR	
MARK	MATL	TYPE	PANEL	MATL	WIDTH	HEIGHT	THK	FIRE RATING	SET	REMARKS
A1	WD	01	F	WD	2' - 10"	7' - 0"				TYPICAL IN-UNIT DOOR
A2	WD	01	F	WD	2' - 6"	7' - 0"				STORAGE
B1	WD	01	F	WD	2' - 6"	7' - 0"				BATHROOM
C1	WD	01	F	WD	2' - 0"	7' - 0"				CLOSET
C2	WD	01	F	WD	2' - 4"	7' - 0"				CLOSET
C12	WD	02	F, F	WD	3' - 6"	7' - 0"				DOUBLE DOOR
D2	WD	02	F, F	WD	4' - 6"	7' - 0"				DOUBLE CLOSET
P1	WD	01	Р	WD	3' - 0"	7' - 0"				POCKET DOOR
P2	WD	01	Р	WD	2' - 6"	7' - 0"				POCKET DOOR



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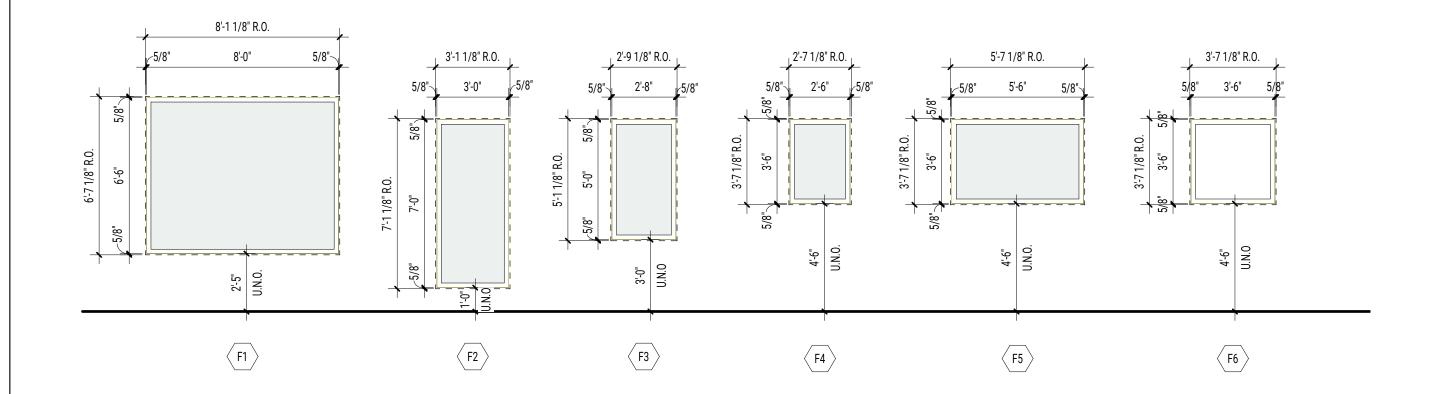
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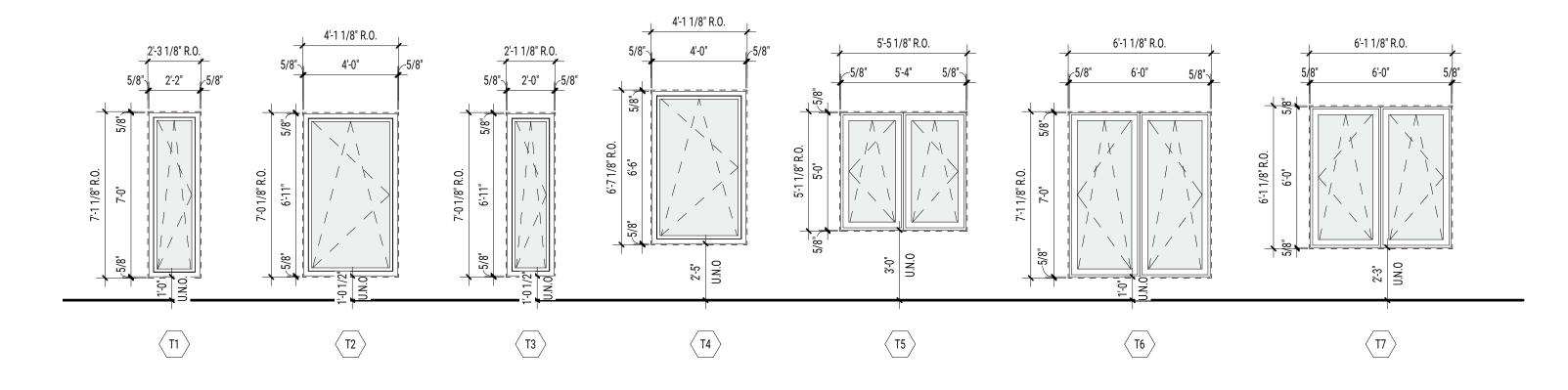
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DOOR TYPES AND SCHEDULE

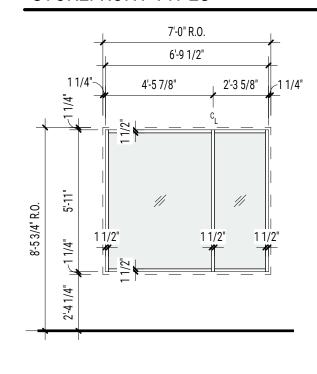
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# WINDOW TYPES

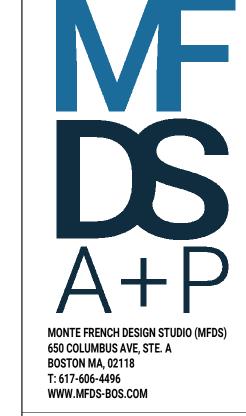




## STOREFRONT TYPES



WINDOW SCHEDULE									
TYPE MARK	HEIGHT	WIDTH	SILL HEIGHT	MATERIAL	OPERATION	MODEL	MANUFACTURER	FINISH	COMMENTS
F1	6' - 6"	8' - 0"	2' - 5"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		
F2	7' - 0"	3' - 0"	1' - 0"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F3	5' - 0"	2' - 8"	3' - 0"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F3	5' - 0"	2' - 8"	3' - 11"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F4	3' - 6"	2' - 6"	4' - 6"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F5	3' - 6"	5' - 6"	4' - 6"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F6	3' - 6"	3' - 6"	4' - 6"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		
F6	3' - 6"	3' - 6"	4' - 6"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
T1	7' - 0"	2' - 2"	1' - 0"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T2	6' - 11"	4' - 0"	0' - 6 1/2"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T2	6' - 11"	4' - 0"	1' - 0 1/2"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T3	6' - 11"	2' - 0"	1' - 0 1/2"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T4	6' - 6"	4' - 0"	2' - 5"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T5	5' - 0"	5' - 4"	3' - 0"	ALUMINUM	2X TILT/TURN	MB-79N SI	ALUPROF S.A.		
T6	7' - 0"	6' - 0"	1' - 0"	ALUMINUM	2X TILT/TURN	MB-79N SI	ALUPROF S.A.		
T7	6' - 0"	6' - 0"	2' - 3"	ALUMINUM	2X TILT/TURN	MB-79N SI	ALUPROF S.A.		



CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:

# PROJECT NAME: 58 BURBANK

ISSUE LOG:

ADDRESS:
58 BURBANK STREET
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: As indicated

WINDOW TYPES AND SCHEDULE

DRAWN BY: ED, MN, AY