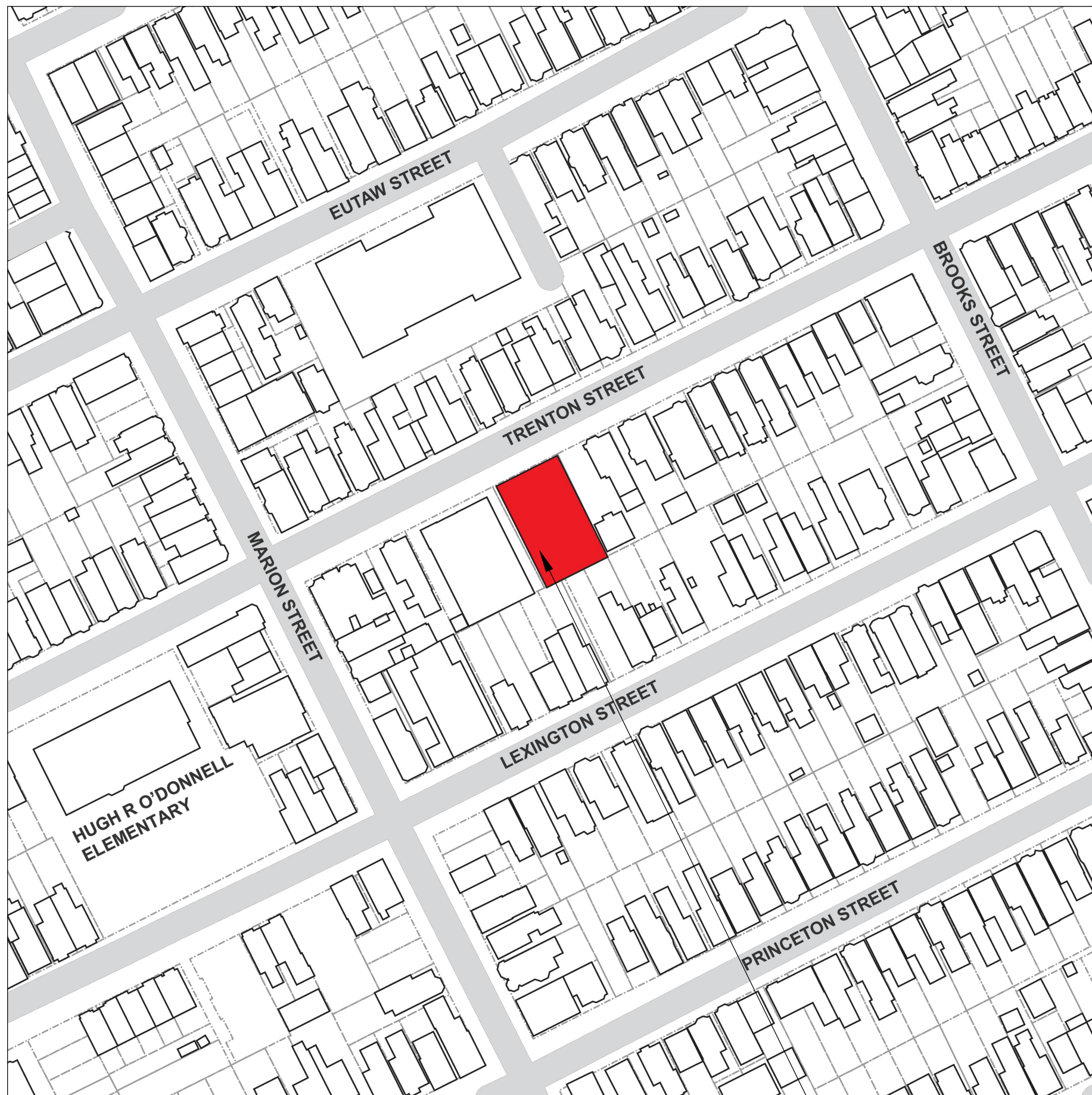


71 TRENTON STREET

EAST BOSTON, MA 02128

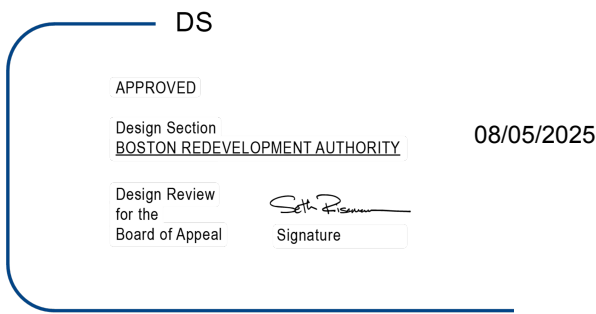


R RENDER
SCALE: NOT TO SCALE



1 LOCATION PLAN
SCALE: NOT TO SCALE

71-73 TRENTON STREET



SCOPE OF WORK

ADAPTIVE RE-USE AND ADDITION OF 2 STORIES TO EXISTING 1 STORY BUILDING WITH 6 UNITS AND 6 ENCLOSED PARKING. BUILDING WILL HAVE AN ELEVATOR. BUILDING WILL BE SPRINKLERED

GENERAL NOTES

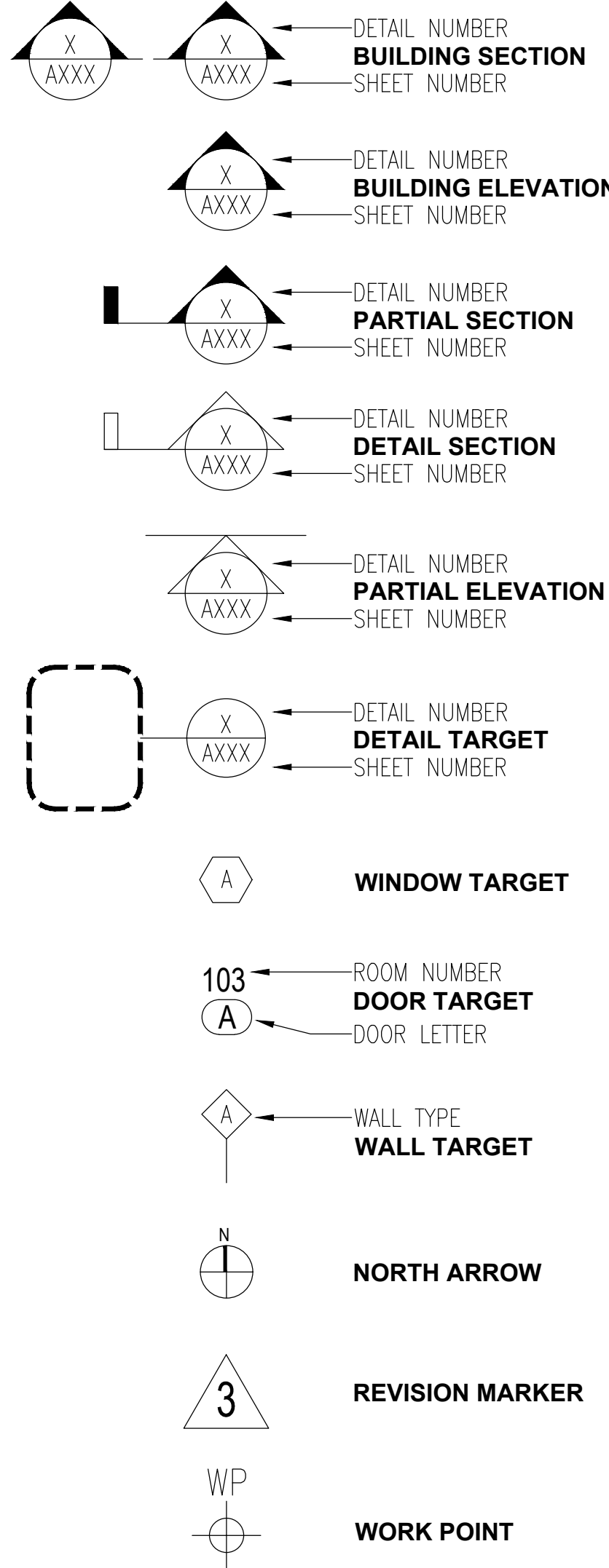
- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES. THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT
- THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
 - BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
 - WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
 - DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
 - DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS ARE TO FACE OF WALLS.
 - UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 4 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT WALL.
- CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS

CODE ANALYSIS

OCCUPANCY TYPE: RESIDENTIAL (R-2), UTILITY (U)
TYPE OF CONSTRUCTION: **TYPE VB**
REFER TO G004, G005

- ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
 - SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR & EXTERIOR FINISHES
 - SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
 - ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
 - ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE NORTH ANDOVER FIRE CODE
 - ALL WOOD COMPONENTS SHALL BE FIRE TREATED
 - CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL (OSHA 1926.55)
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
 - ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1' OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
- EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
 - MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
 - COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
- PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
- SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
- EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING, CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
 - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES

SYMBOLS



71 TRENTON ST
EAST BOSTON, MA 02128

JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:
context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

CONSULTANTS:

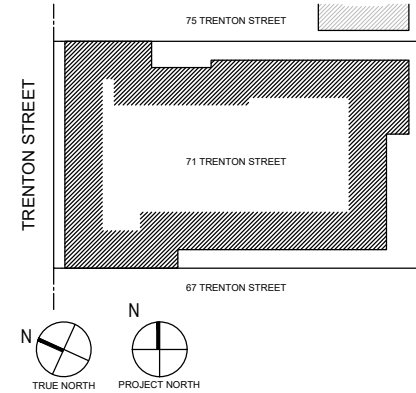
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STRUCTURAL ENGINEER
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ENGINEERING**
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BOSTON, MA 02116
(617) 447-8030

**REVIVALRY
ENGINEERING**
MEP | FIRE PROTECTION

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BOSTON, MA 02128
(857) 244-1461

PROJECT KEY PLAN:



SEAL:



Joseph Ricupero

DRAWN BY:

CHECKED BY: EZ

00

03-07-2025

ISSUED FOR DESIGN REVIEW

COVER

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.:

G000



City of Boston
Planning Department

DS

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Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal

Signature

Planning Department Design Review Provisos
71-73 Trenton Street, East Boston
Boston, MA
NDOD
10 March 2025

08/05/2025

General

1. All changes to the exterior and/or site plans shall be submitted to the Planning Department for review and approval.
2. All building improvements shall be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department.
3. All site improvements, including but not limited to hardscape and plantings, must be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department for a delay in completing the site improvements.

Landscape/Street/Site

4. All new trees shall have a minimum caliper of 3-inch caliper.
5. Existing trees on the parcel shall be prioritized for preservation when considering lot coverage and building footprint. Mature, healthy and native trees of 6" caliper and above are particularly significant and should be protected to the greatest extent possible. Where impacts are unavoidable and trees must be removed, trees shall be mitigated as specified in the following:
 - a. Tree replacement shall be based on 1:1 ratio, based on caliper size of removed trees.
 - b. Replacement trees are to be planted in landscaped areas within the project site, or off-site in the near vicinity (in open pits or other available areas in the general location of the project), with approval by the City.
 - c. The Proponent shall be responsible for installation of trees, and maintenance of newly planted trees for at least 24 months after the date of Final Inspection, or issuance of a Certificate of Occupancy.
6. Existing street trees within the public right of way are to be protected and retained. Building, building protrusions, and construction shall not negatively impact the existing street tree, critical root zone, nor impede the healthy growth of the tree's canopy.

- a. Where impacts are unavoidable and public street trees must be removed, the proponent must apply for tree removal approval from the City's Tree Warden and provide mitigation as specified by the Parks and Recreation Department.
7. Fences shall be of high-quality material; wood or metal is preferred. Chain link fencing is not preferred, especially in front yards; if chain-link is used, it must be vinyl-coated chain link in combination with landscaping. Fences shall not be higher than 6'-0" without ZBA approval. Fences of 6'-0" height are only allowed for rear yards. Front yard fences should not be taller than 42" (3'-6").
8. Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
9. Parking shall be located in the rear, as such that it is not visible from the public realm, wherever possible. Parking shall not be located in the front yard. Screening and buffering shall be provided between parking and the public right of way, and from your neighbors if space allows. A minimum five (5) foot wide buffer is encouraged. Parking shall not be partially covered by the building; it should be wholly within the footprint of the building and screened or entirely outside the building footprint.
10. Curb-cuts should be limited to 10ft wide for residential projects, and 20ft wide for commercial projects. The pedestrian sidewalk must be continuous over the access driveway.
11. Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
12. Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces. Project sites located in a Groundwater Conservation Overlay District (GCOD) are strongly encouraged to maximize permeable surfaces on their site.
13. Public sidewalks fronting the project site should be upgraded to meet the Americans with Disabilities Act (ADA) minimum 4' wide clear path of travel (exclusive of the 6" curb).
14. Projects are encouraged to provide usable open space for its residents. Open space at the ground level is encouraged to contribute to an active and engaging public realm, such as at-grade courtyards or garden spaces. Balconies, terraces, accessible rooftops, green roofs, and other means of providing above-grade amenities are also encouraged.

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Building

15. No more than 12" of the foundation shall be exposed.
16. Masonry: Brick veneer must be at least one full wythe of brick deep. Thin brick will not be allowed.
17. Stucco: Stucco must be a traditional hard-coat stucco exterior system. An Exterior Insulation and Finish System (EIFS) is not approved.
18. Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. Shingles shall be wood or fiber-cement. All trim (corner boards, door/window casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.
19. Doors: All doors including garage doors should be wood. Metal or vinyl doors will not be allowed. Fiberglass doors may be considered as long as the detailing and finish matches wood doors and has a painted finish. All doors facing the street including garage doors shall have translucent panels.
20. Windows: Windows should be wood or wood clad in another material, such as aluminum, fiberglass, or vinyl. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
21. Window and door trim shall have the following minimum dimensions: 4" casings with 5" or 6" trim at head. Cornerboards shall be 8" wide at minimum.
22. All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.
23. Pressure treated lumber will not be allowed as an externally visible material for exterior decking. All pressure treated wood exposed to public views on the site shall be covered and shielded from view. Use of PVC, composite, and/or natural wood materials is acceptable.
24. Access to roof decks shall be through a hatch, not headhouse.
25. Where applicable: Dormers: Shed dormers should have a slope ratio of 3.5 to 12 minimum. They shall be held from the sides of the roof 3'-0" and from the edge of the roof (in the direction the dormer faces) 1'-6" or the minimum dimension is necessary to allow a visible portion of roof to pass in front of the dormer.
26. Where applicable: Dormers: Gable dormers shall be held down from the roof ridge 1'-0" minimum. They shall be held from the sides of the roof 3'-0" and from the edge



of the roof (in the direction the dormer faces) 1'-6" or whatever minimum dimension is necessary to allow a visible portion of roof to pass in front of the dormer.

Mechanical

27. The final location of the HVAC compressors, gas meters, electric meters, generators, switchgear, and transformers shall be adequately screened from public view and will not be allowed in the front yard.
28. All mechanical vents shall be through the roof or rear wall and shall not be visible from the public street. Vents located on elevations that do not directly face a public way should be composed on the facade so as to minimize their appearance.

Project Specific

29. All insulated glass windows and doors with mullions and/or muntins must have specifications that state, 'true simulated divided lites with black spacers'. This label must appear on all elevations where these windows occur.



08/05/2025

LIST OF DRAWINGS

GENERAL

G000 COVER
G001 LIST OF DRAWINGS

ARCHITECTURAL

A001 ARCHITECTURAL SITE PLAN
A101 LEVEL 1 PLAN
A102 LEVEL 2 PLAN
A103 LEVEL 3 PLAN
A104 ROOF PLAN
A201 BUILDING ELEVATION
A202 BUILDING ELEVATION
A203 BUILDING ELEVATION
A204 BUILDING ELEVATION
A251 BUILDING SECTION
A252 BUILDING & ELEVATOR SECTIONS
A501 WALL SECTIONS
A551 EXTERIOR DETAILS
A701 EXTERIOR WALL ASSEMBLIES
A702 ROOF-CEILING & FLOOR-CEILING ASSEMBLIES
A703 INTERIOR PARTITIONS
A704 TYPICAL DETAILS
A705 TYPICAL DETAILS

71 TRENTON ST
EAST BOSTON, MA 02128

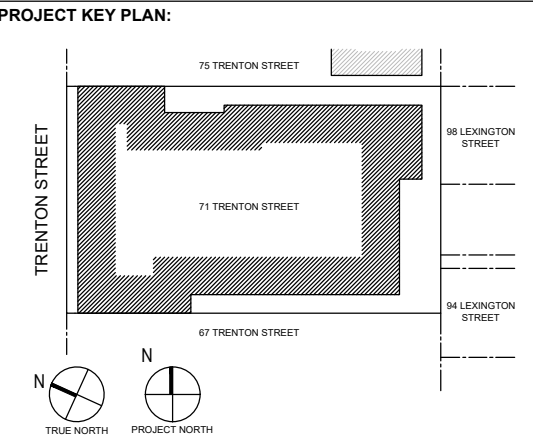
JOSEPH RICUPERO
EAST BOSTON, MA, 02128

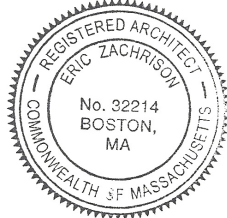
ARCHITECT:
context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

CONSULTANTS:

STRUCTURAL ENGINEER
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946 SARATOGA ST, STE 204
BOSTON, MA 02128
(857) 244-1461



SEAL:



DRAWN BY:		CHECKED BY: EZ	
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LIST OF DRAWINGS

PROJECT No:	0676	SHEET No:	G001
DATE:	03-07-2025		
SCALE:	AS INDICATED		

GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR DETAILS, GRADE, AND SITE INFORMATION
2. SEE MECHANICAL, ELECTRICAL, PLUMBING PLANS FOR DETAILS
3. SEE SHEETS A100-A104 FOR INTERIOR PLAN INFORMATION

SHEET NOTES

1. NEIGHBOR BUILDINGS AND THEIR SETBACKS ARE ESTIMATES FOR DIAGRAMMING ONLY

LEGEND

- PROPERTY LINE
- EXISTING WALLS
- NEW PARTITIONS
- 0 1 5 10 FEET

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JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:

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CONSULTANTS:

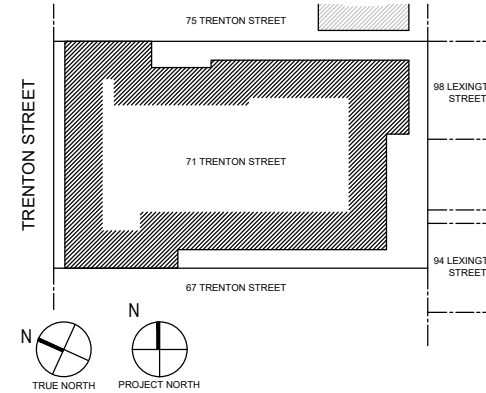


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(857) 244-1461

PROJECT KEY PLAN:



SEAL:



Eric Zahner

DRAWN BY:

CHECKED BY: EZ

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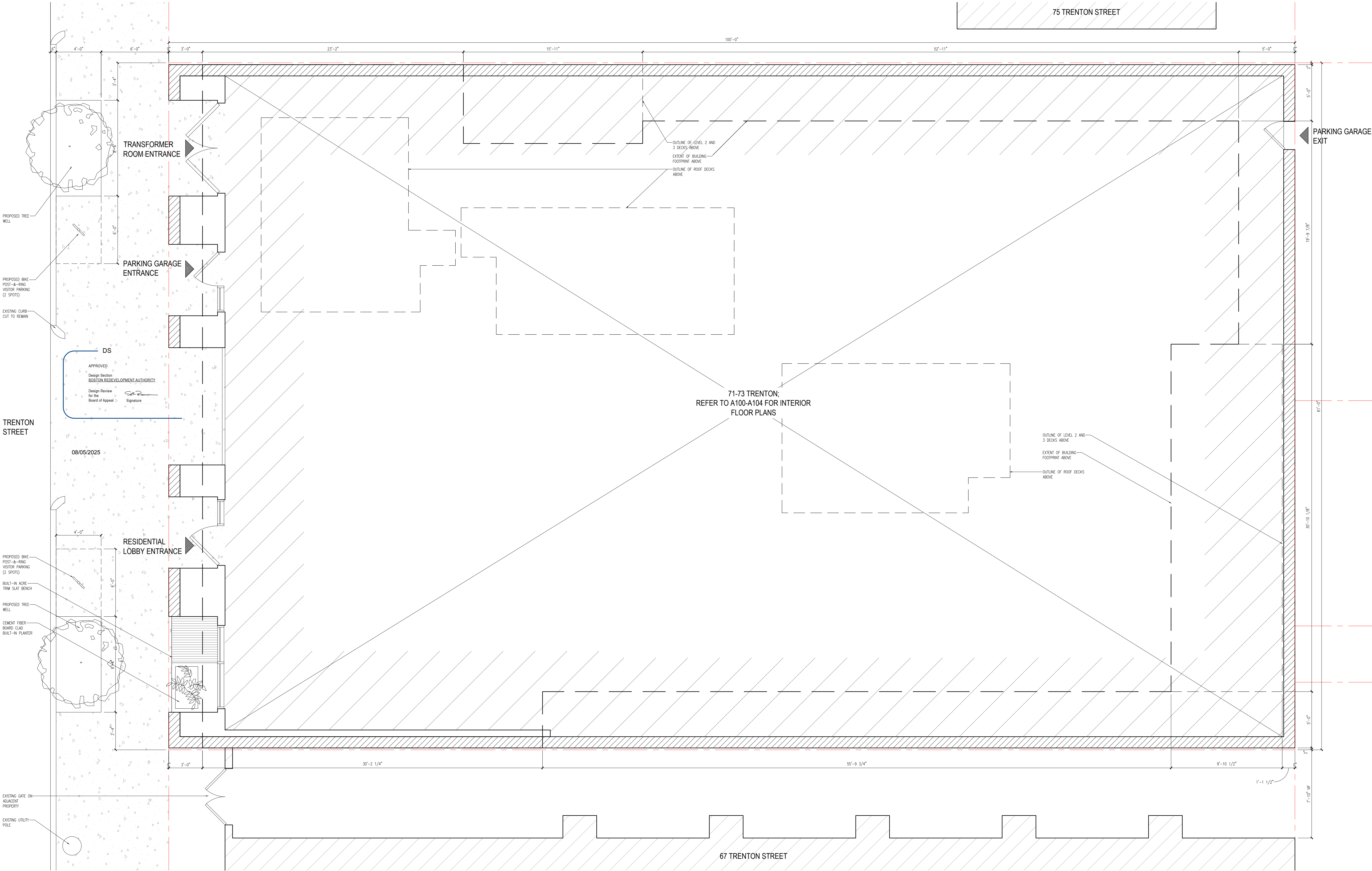
ARCHITECTURAL SITE
PLAN

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.: **A001**



SITE PLAN
SCALE: 1/4" = 1'-0"



TRENTON STREET

67 TRENTON STREET

75 TRENTON STREET

71-73 TRENTON;
REFER TO A100-A104 FOR INTERIOR
FLOOR PLANS

PARKING GARAGE
EXIT

TRANSFORMER
ROOM ENTRANCE

PARKING GARAGE
ENTRANCE

RESIDENTIAL
LOBBY ENTRANCE

PROPOSED TREE
WELL

PROPOSED BIKE
POST-4-RING
VISITOR PARKING
(2 SPOTS)

EXISTING CURB-
OUT TO REMAIN

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PROPOSED BIKE
POST-4-RING
VISITOR PARKING
(2 SPOTS)

BUILT-IN ACRE-
TRIM SLAT BENCH

PROPOSED TREE
WELL

CONCRETE FIBER-
BOARD CLAD
BUILT-IN PLANTER

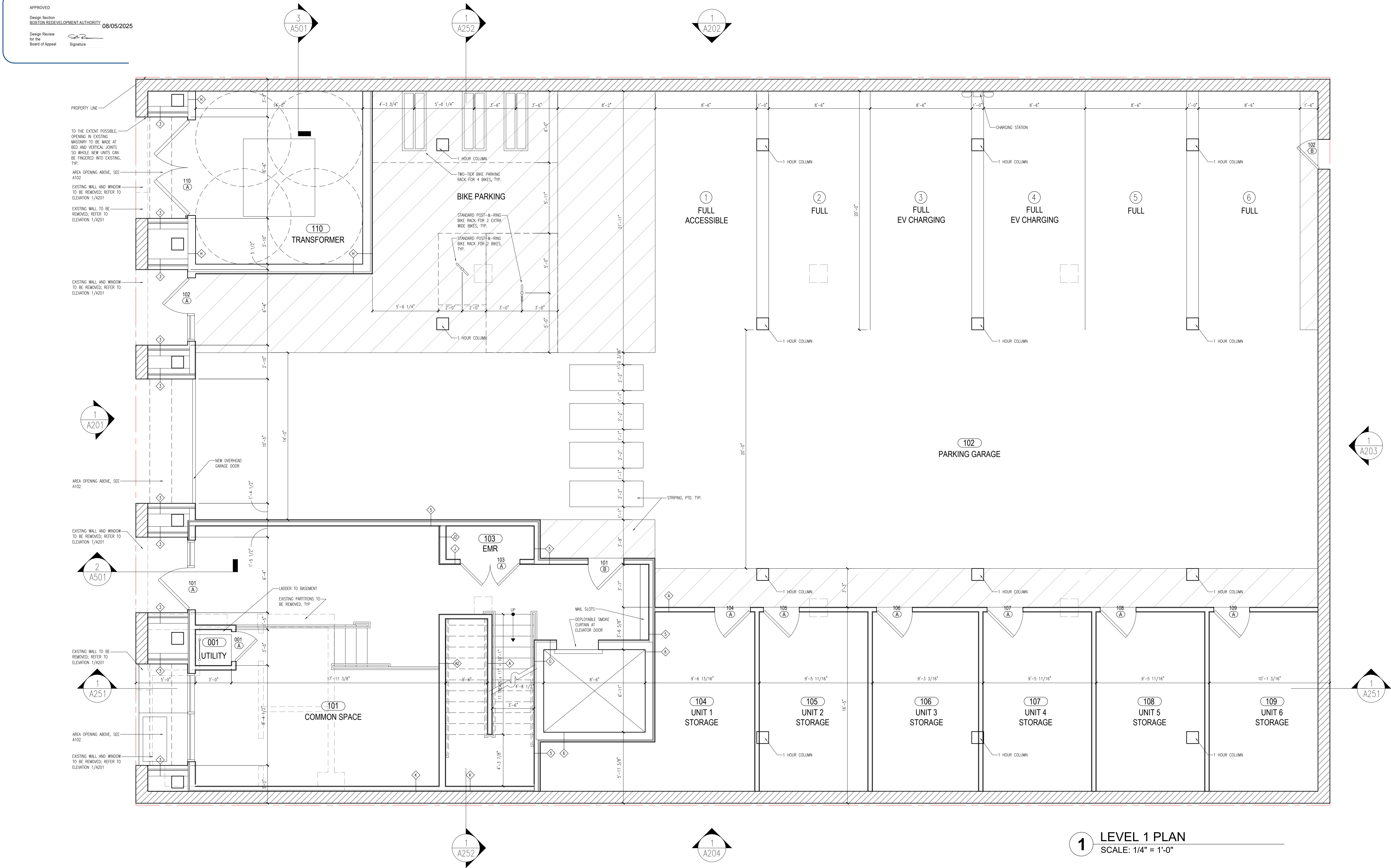
EXISTING GATE ON
ADJACENT
PROPERTY

EXISTING UTILITY
POLE

OUTLINE OF LEVEL 2 AND
3 DECKS ABOVE
EXTENT OF BUILDING
FOOTPRINT ABOVE
OUTLINE OF ROOF DECKS
ABOVE

OUTLINE OF LEVEL 2 AND
3 DECKS ABOVE
EXTENT OF BUILDING
FOOTPRINT ABOVE
OUTLINE OF ROOF DECKS
ABOVE

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EAST BOSTON, MA 02128

JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:
context
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(312) 780-9456

CONSULTANTS:

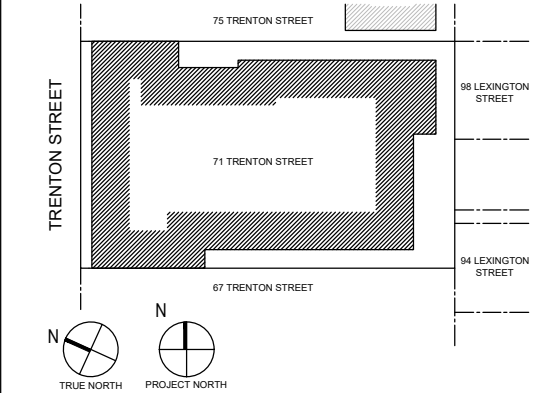
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MEP ENGINEER
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PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY:

CHECKED BY: EZ

00

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LEVEL 1 PLAN

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET

A101

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GENERAL NOTES

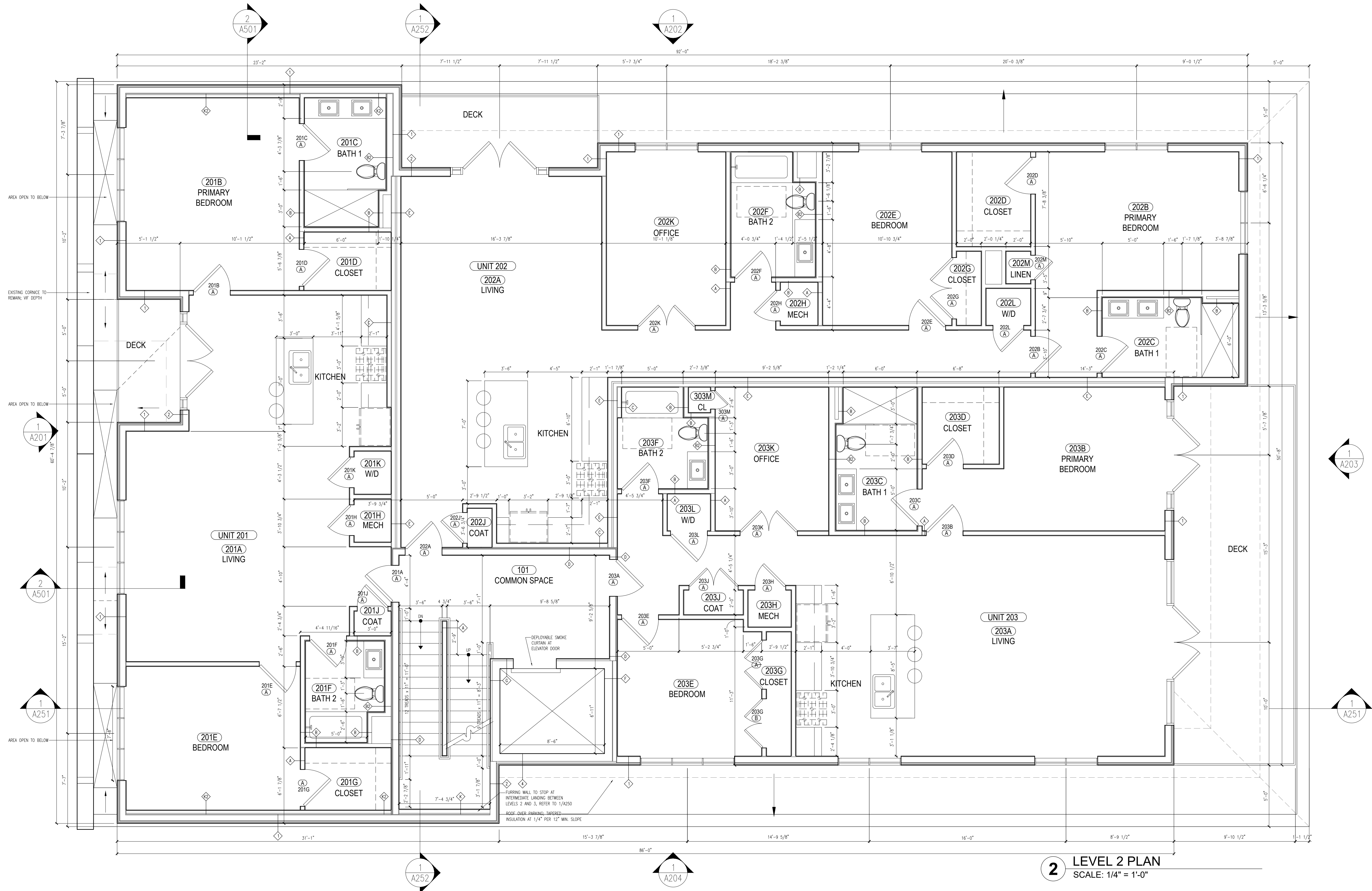
1. ALL UNITS TO BE GROUP 1 ADA COMPLIANT
2. SEE SHEET A701 FOR EXTERIOR WALL ASSEMBLIES
3. SEE SHEET A703 FOR PARTITION TYPES
4. SEE SHEET G003 FOR MOUNTING HEIGHTS
5. SEE SHEET A704 FOR INTERIOR STAIR AND HANDRAIL DETAILS
6. SEE SHEET A601 FOR DOOR SCHEDULE AND DOOR DETAILS
7. SEE SHEET A602 FOR WINDOW SCHEDULE AND WINDOW DETAILS
8. SEE STRUCTURAL PLANS FOR GRID LINES, LOCATION OF COLUMNS, AND ALL STRUCTURAL DETAILS
9. SEE MECHANICAL, ELECTRICAL, PLUMBING PLANS FOR DETAILS
10. SEE PLUMBING PLANS FOR DRAIN DETAILS
11. SEE STRUCTURAL PLANS FOR ROOF STRUCTURE AND SLOPES
12. SEE MECHANICAL PLANS FOR ROOFTOP CONDENSER LOCATIONS

PLAN NOTES

1. PARTITIONS TO BE TYPE A UNLESS NOTED OTHERWISE
2. ALL ELECTRICAL OUTLETS, SWITCHES & CONTROLS, REFER TO ELECTRICAL PLANS.
3. ALL UNIT HVAC AND W/D CLOSETS ARE A MINIMUM INTERIOR CLEAR 36"X36"
4. UNIT ENTRY DOORS TO BE 4" MINIMUM FROM AN INTERIOR CORNER; DOORS WITHIN UNITS TO BE CENTERED BETWEEN WALLS WHEN 4" WIDTH NOT POSSIBLE.

LEGEND

- WALL LAYERS-SEE ASSEMBLY
- NEW PARTITION
- EXISTING PARTITION
- PARTITION TO BE DEMOLISHED
- 0 1 5 10 FEET



2 LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"

71 TRENTON ST
EAST BOSTON, MA 02128

JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:

context
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200 Portland Street, Boston, MA, 02114
(312) 780-9456

CONSULTANTS:

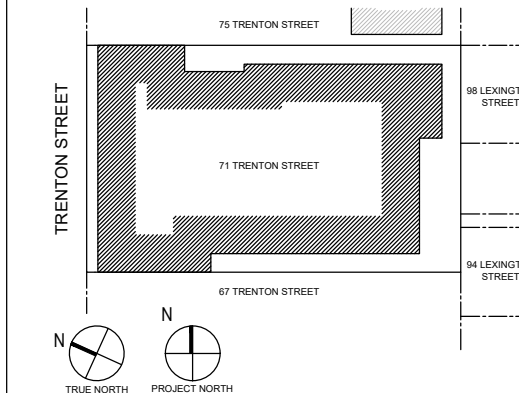
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(857) 244-1461

PROJECT KEY PLAN:



SEAL:



Joe Ricupero

DRAWN BY:

CHECKED BY: EZ

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LEVEL 2 PLAN

PROJECT No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET No.: **A102**

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GENERAL NOTES

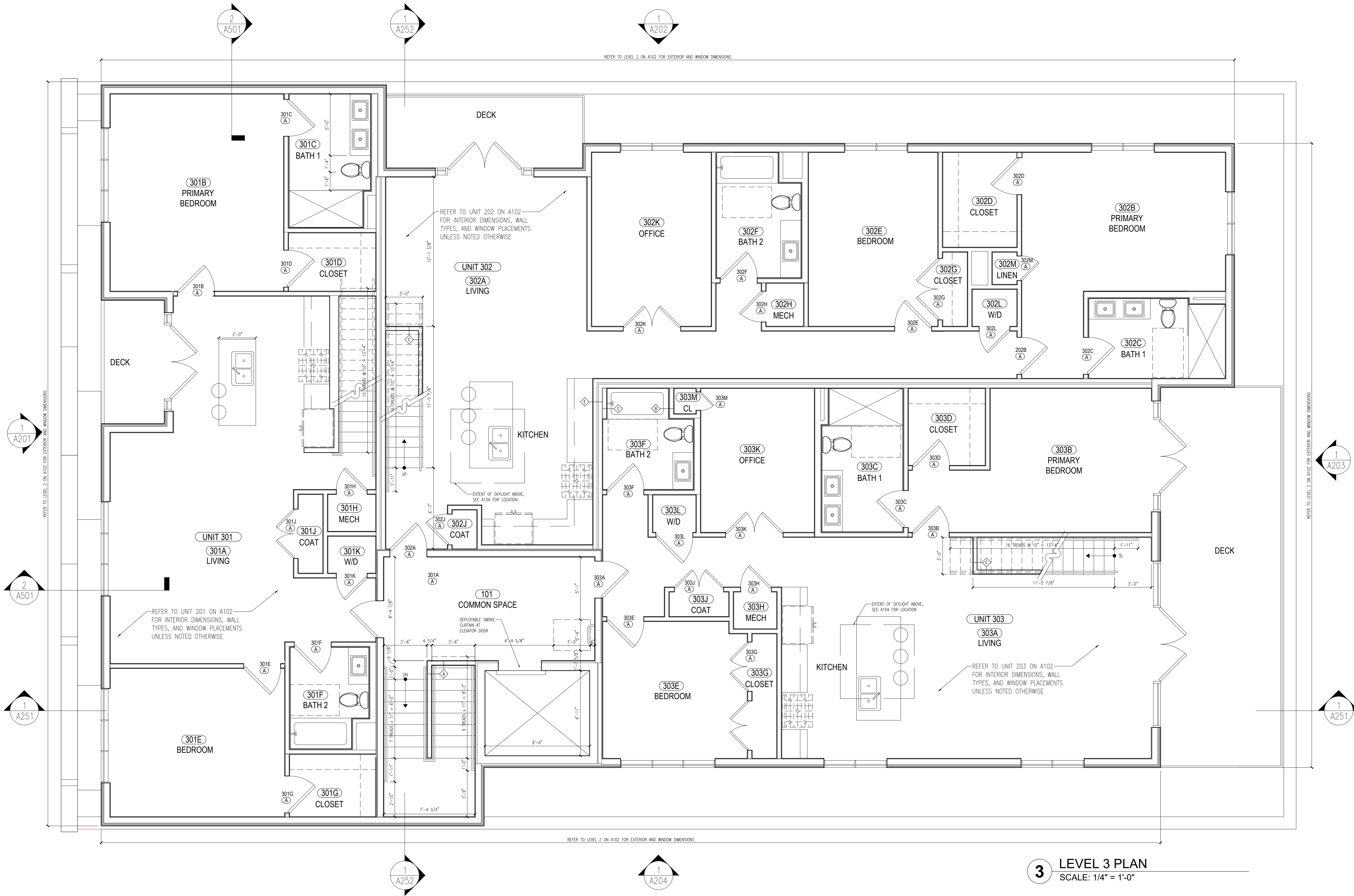
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1. PARTITIONS TO BE TYPE A UNLESS NOTED OTHERWISE
2. ALL ELECTRICAL OUTLETS, SWITCHES & CONTROLS, REFER TO ELECTRICAL PLANS.
3. ALL UNIT HVAC AND W/D CLOSETS ARE A MINIMUM INTERIOR CLEAR 36"X36"
4. UNIT ENTRY DOORS TO BE 4" MINIMUM FROM AN INTERIOR CORNER; DOORS WITHIN UNITS TO BE CENTERED BETWEEN WALLS WHEN 4" WIDTH NOT POSSIBLE.

LEGEND

- WALL LAYERS-SEE ASSEMBLY
- NEW PARTITION
- EXISTING PARTITION
- PARTITION TO BE DEMOLISHED
- 0 1 5 10 FEET



3 LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"

71 TRENTON ST
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JOSEPH RICUPERO
EAST BOSTON, MA, 02128

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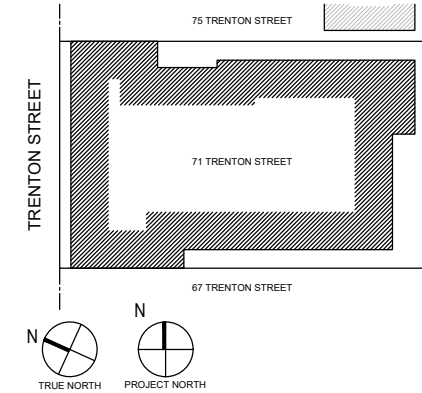
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(857) 244-1461

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY:

CHECKED BY: EZ

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LEVEL 3 PLAN

PROJECT
No.:

0676

DATE:

03-07-2025

SCALE:

AS INDICATED

A103

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GENERAL NOTES

1. SEE SHEET A702 FOR ROOF ASSEMBLIES
3. SEE STRUCTURAL PLANS FOR GRID LINES, LOCATION OF COLUMNS, AND ALL STRUCTURAL DETAILS
4. SEE MECHANICAL, ELECTRICAL, PLUMBING PLANS FOR DETAILS
5. SEE PLUMBING PLANS FOR DRAIN DETAILS
6. SEE STRUCTURAL PLANS FOR ROOF STRUCTURE AND SLOPES
7. SEE MECHANICAL PLANS FOR ROOFTOP CONDENSER LOCATIONS
8. SEE ELEVATIONS ON A201-A202 FOR TOP OF SHEATHING ELEVATION

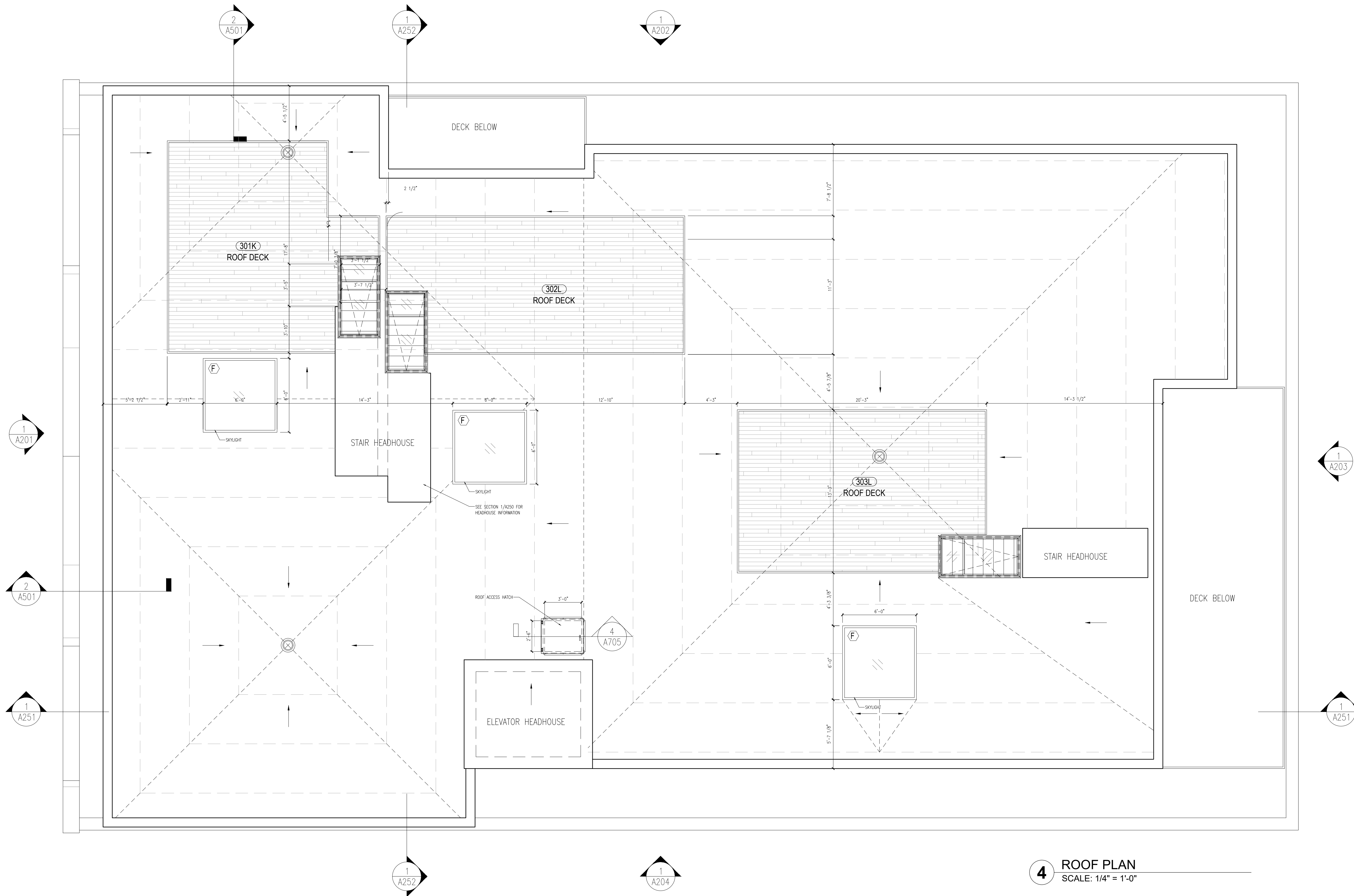
PLAN NOTES

1. SPOT ELEVATIONS ON ROOF INDICATE ELEVATION AT TOP OF INSULATION AT PEAK OF SLOPE UNLESS NOTED OTHERWISE
2. TAPERED INSULATION TO SLOPE 1/4" PER 1'-0" MINIMUM TOWARDS ROOF DRAINS; GRAY DASHED LINES SPACED 48" INDICATE A 1" RISE IN ELEVATION
3. SEE SHEET A701 FOR FLAT ROOF ASSEMBLY AND MATERIAL

LEGEND

ROOF DRAIN

0 1 5 10 FEET



4 ROOF PLAN
SCALE: 1/4" = 1'-0"

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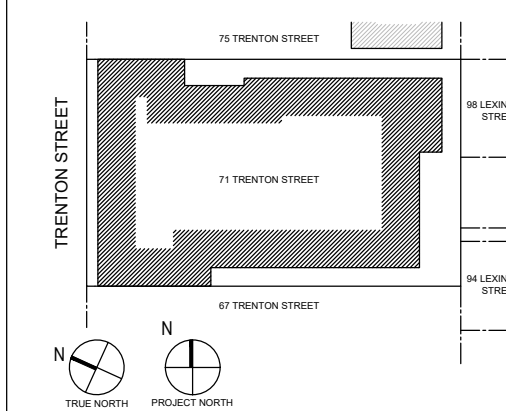
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ROOF PLAN

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.:

A104

GENERAL NOTES

1. SEE FLOOR PLANS ON SHEETS A101-A103 FOR BUILDING ELEVATION CALLOUTS
2. SEE FLOOR PLANS FOR WINDOW LOCATIONS
3. SEE WINDOW SCHEDULE ON SHEET A602 FOR DIMENSIONS OF WINDOW TYPES CALLED OUT IN THE ELEVATIONS
4. ALL ELEVATIONS MEASURED TO TOP OF FINISH FLOOR UNLESS NOTED OTHERWISE
5. DIRECTIONS CALLED OUT IN DRAWING TITLE REFERENCE TRUE NORTH DIRECTIONS

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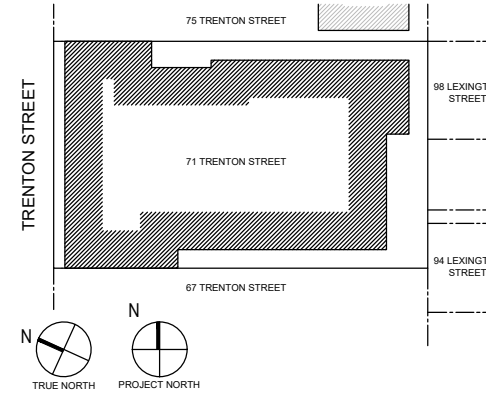
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1 NORTH (TRENTON STREET) ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



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BUILDING ELEVATION

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.:

A201

GENERAL NOTES

1. SEE FLOOR PLANS ON SHEETS A101-A103 FOR BUILDING ELEVATION CALLOUTS
2. SEE FLOOR PLANS FOR WINDOW LOCATIONS
3. SEE WINDOW SCHEDULE ON SHEET A602 FOR DIMENSIONS OF WINDOW TYPES CALLED OUT IN THE ELEVATIONS
4. ALL ELEVATIONS MEASURED TO TOP OF FINISH FLOOR UNLESS NOTED OTHERWISE
5. DIRECTIONS CALLED OUT IN DRAWING TITLE REFERENCE TRUE NORTH DIRECTIONS

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1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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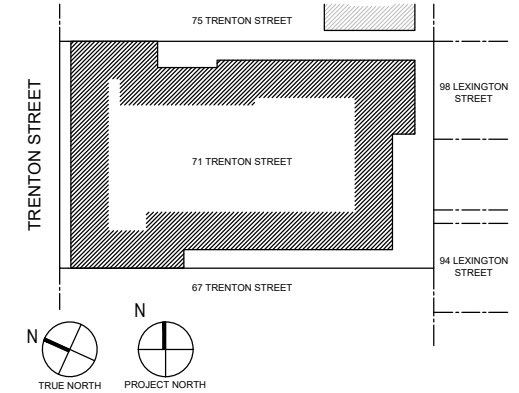
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PROJECT KEY PLAN:



SEAL:



Eric J. Zuber

DRAWN BY:

CHECKED BY: EZ

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PROJECT
No.:

0676

DATE:

03-07-2025

SCALE:

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SHEET
No.:

A202

GENERAL NOTES

1. SEE FLOOR PLANS ON SHEETS A101-A103 FOR BUILDING ELEVATION CALLOUTS
2. SEE FLOOR PLANS FOR WINDOW LOCATIONS
3. SEE WINDOW SCHEDULE ON SHEET A602 FOR DIMENSIONS OF WINDOW TYPES CALLED OUT IN THE ELEVATIONS
4. ALL ELEVATIONS MEASURED TO TOP OF FINISH FLOOR UNLESS NOTED OTHERWISE
5. DIRECTIONS CALLED OUT IN DRAWING TITLE REFERENCE TRUE NORTH DIRECTIONS

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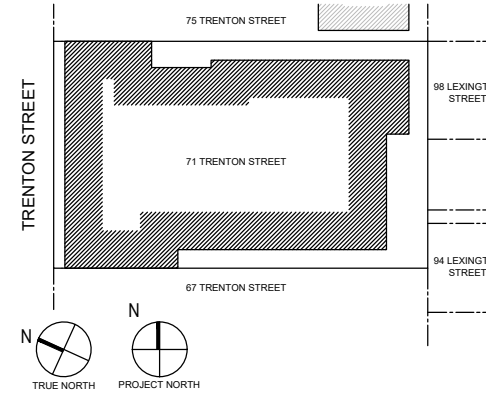
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1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



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PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.:

A203

GENERAL NOTES

1. SEE FLOOR PLANS ON SHEETS A101-A103 FOR BUILDING ELEVATION CALLOUTS
2. SEE FLOOR PLANS FOR WINDOW LOCATIONS
3. SEE WINDOW SCHEDULE ON SHEET A602 FOR DIMENSIONS OF WINDOW TYPES CALLED OUT IN THE ELEVATIONS
4. ALL ELEVATIONS MEASURED TO TOP OF FINISH FLOOR UNLESS NOTED OTHERWISE
5. DIRECTIONS CALLED OUT IN DRAWING TITLE REFERENCE TRUE NORTH DIRECTIONS

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1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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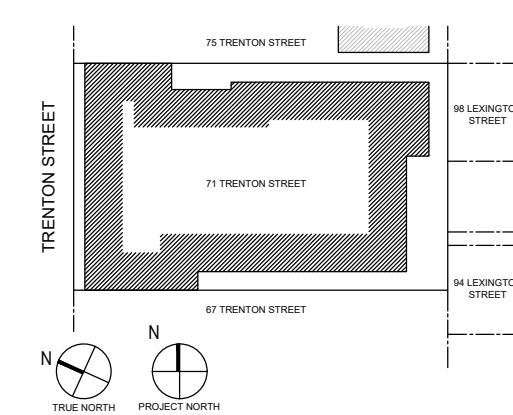


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PROJECT No.:

0676

DATE:

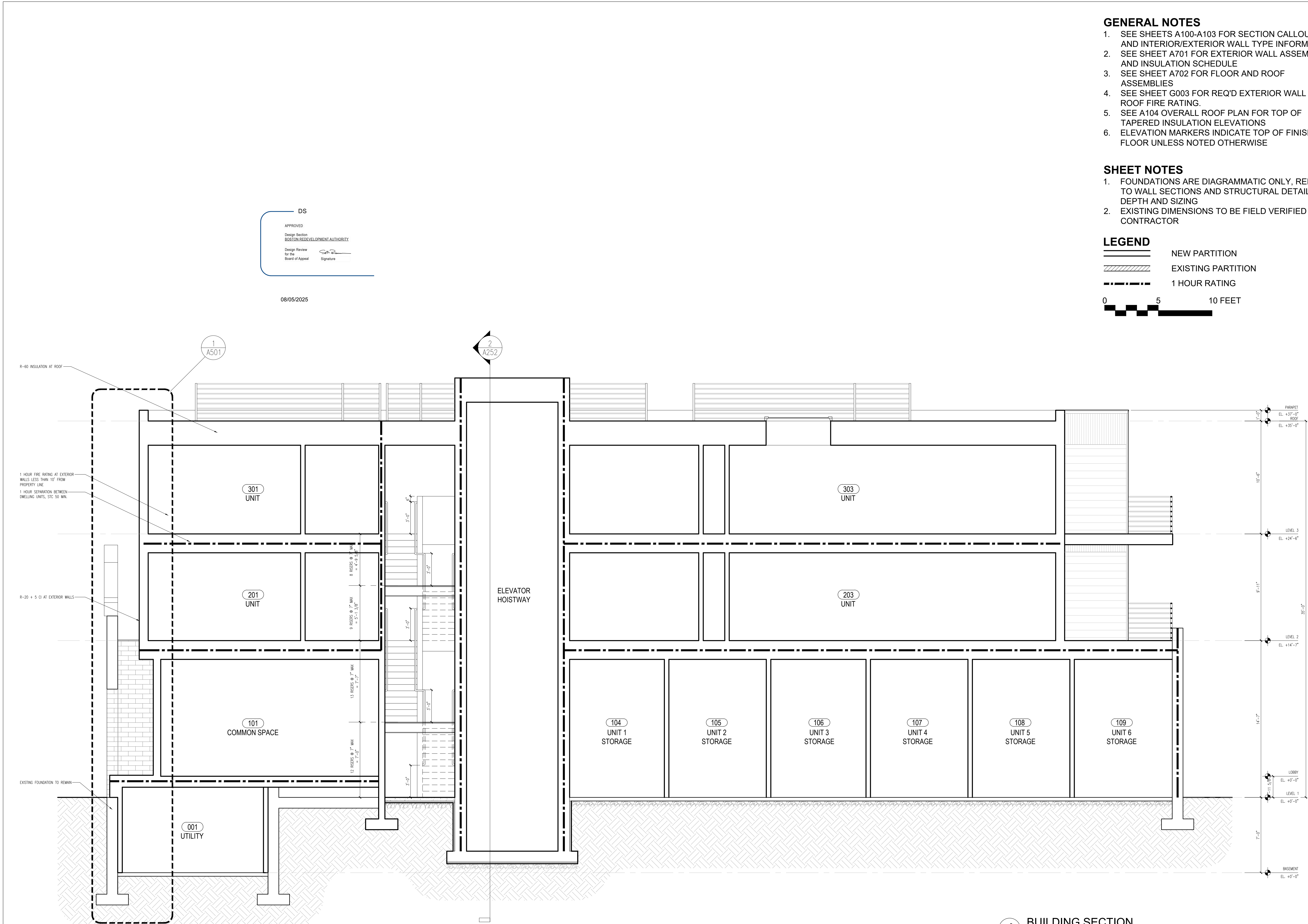
03-07-2025

SCALE:

AS INDICATED

SHEET No.:

A204



GENERAL NOTES

1. SEE SHEETS A100-A103 FOR SECTION CALLOUTS AND INTERIOR/EXTERIOR WALL TYPE INFORMATION
2. SEE SHEET A701 FOR EXTERIOR WALL ASSEMBLIES AND INSULATION SCHEDULE
3. SEE SHEET A702 FOR FLOOR AND ROOF ASSEMBLIES
4. SEE SHEET G003 FOR REQ'D EXTERIOR WALL AND ROOF FIRE RATING.
5. SEE A104 OVERALL ROOF PLAN FOR TOP OF TAPERED INSULATION ELEVATIONS
6. ELEVATION MARKERS INDICATE TOP OF FINISH FLOOR UNLESS NOTED OTHERWISE

SHEET NOTES

1. FOUNDATIONS ARE DIAGRAMMATIC ONLY, REFER TO WALL SECTIONS AND STRUCTURAL DETAILS FOR DEPTH AND SIZING
2. EXISTING DIMENSIONS TO BE FIELD VERIFIED BY CONTRACTOR

LEGEND

- NEW PARTITION
 - EXISTING PARTITION
 - 1 HOUR RATING
- 0 5 10 FEET

1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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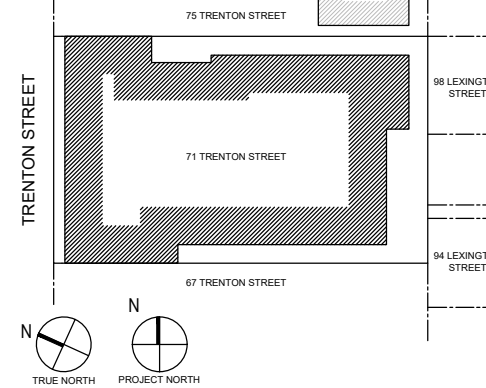
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PROJECT KEY PLAN:



SEAL:



Eric John

DRAWN BY:

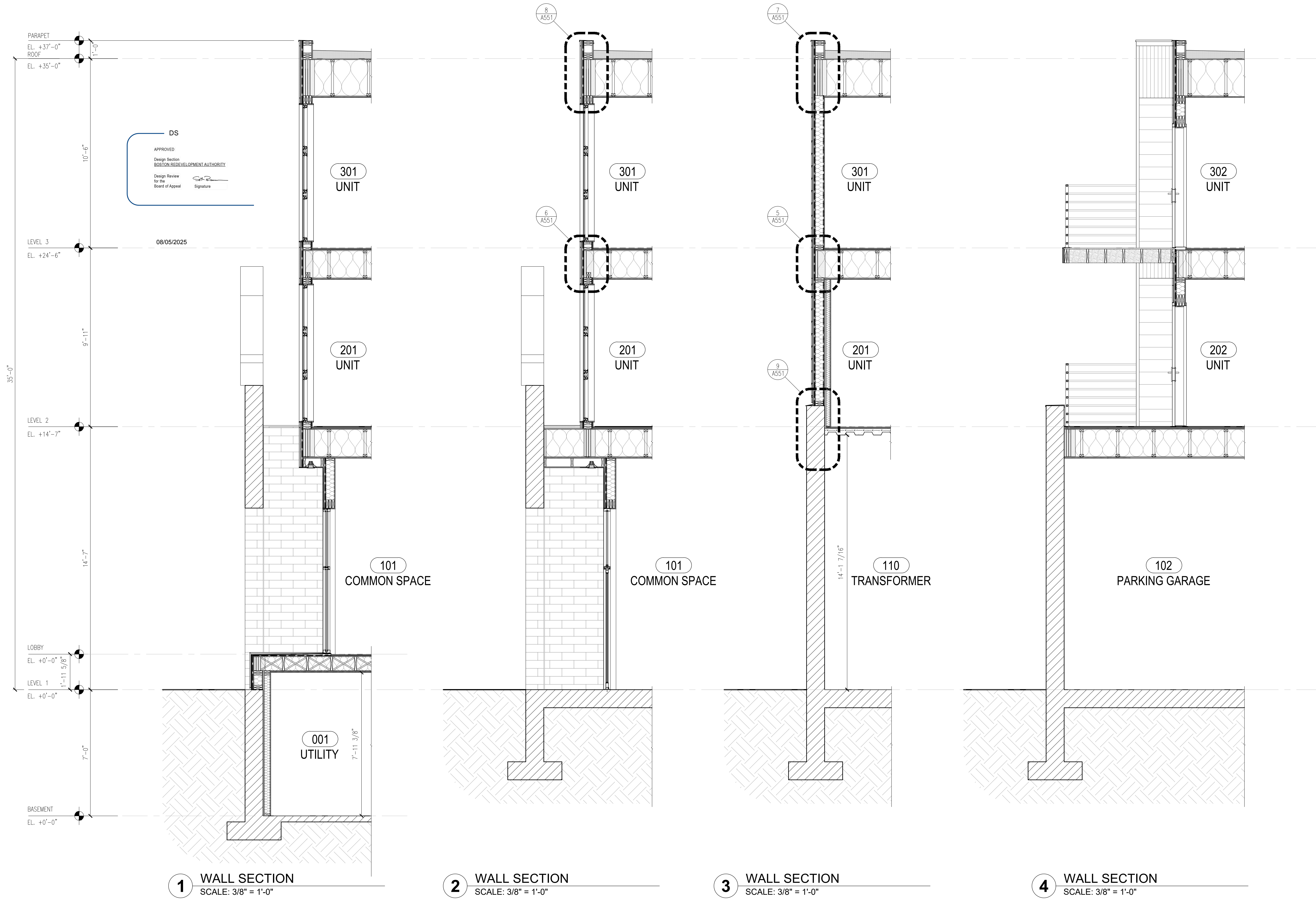
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BUILDING SECTION

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.: **A251**



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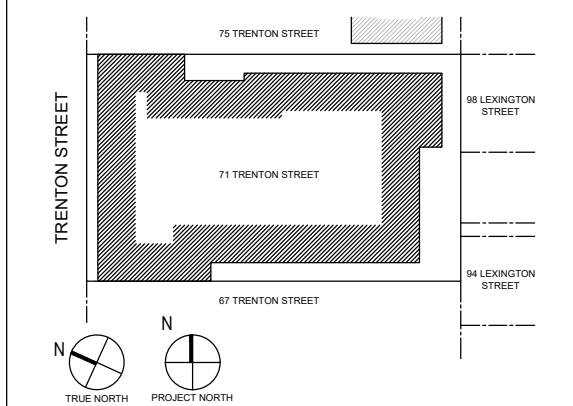


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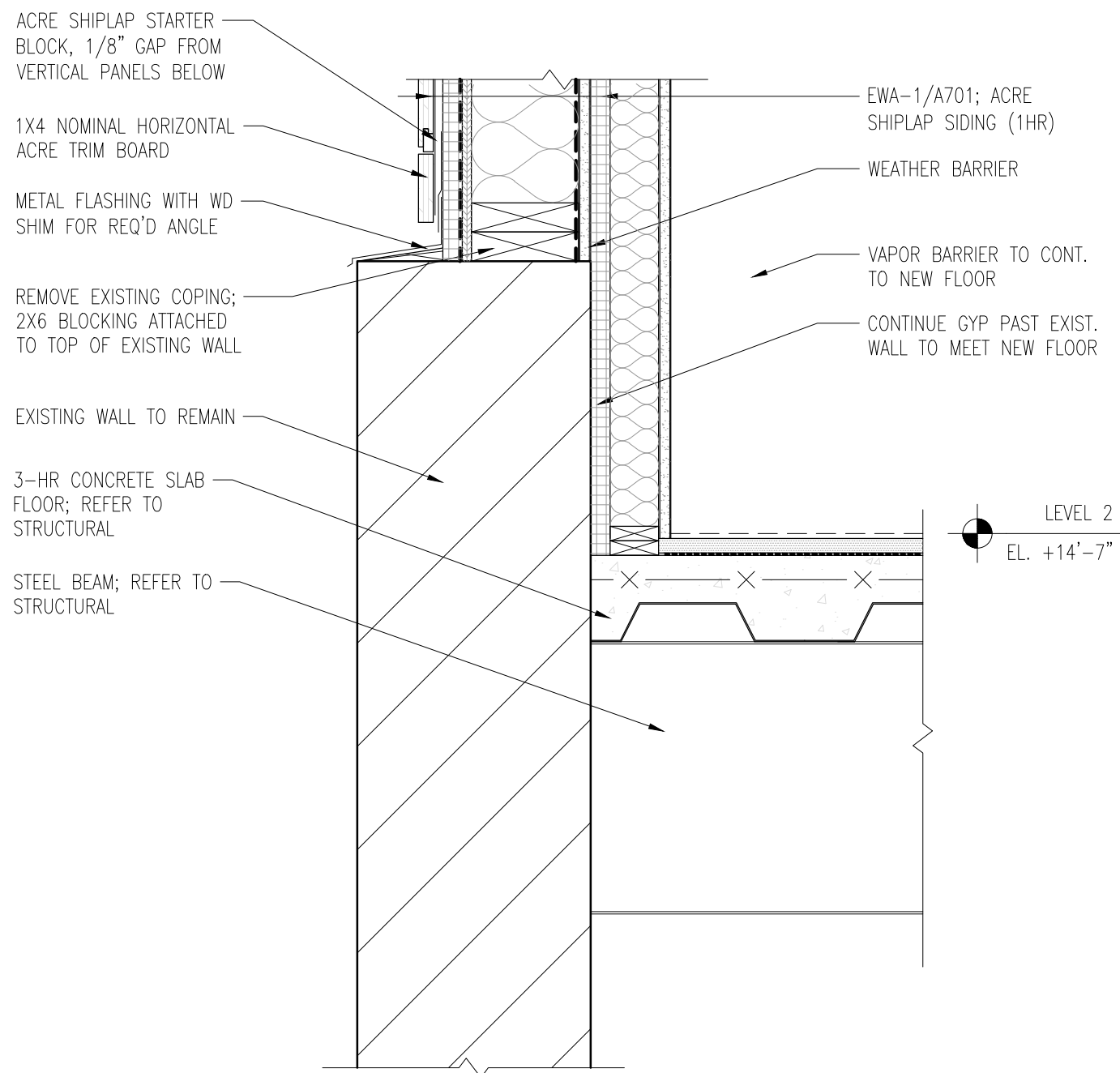
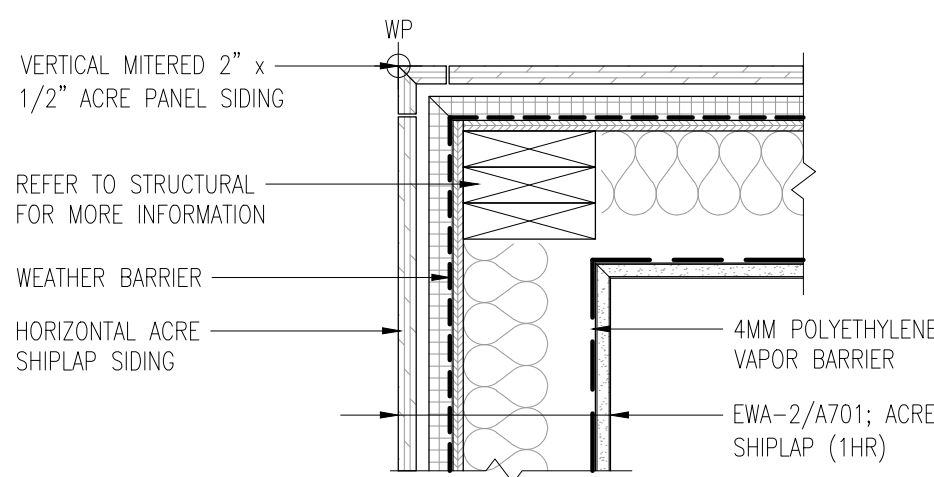
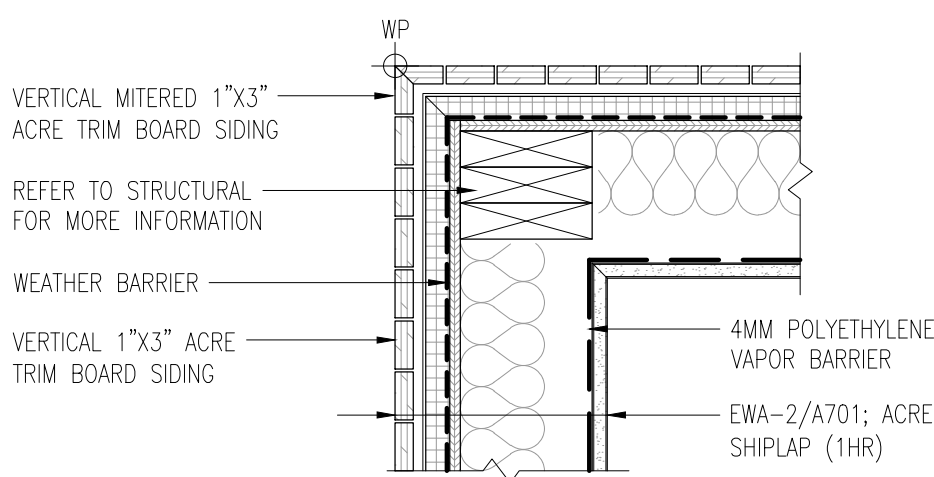
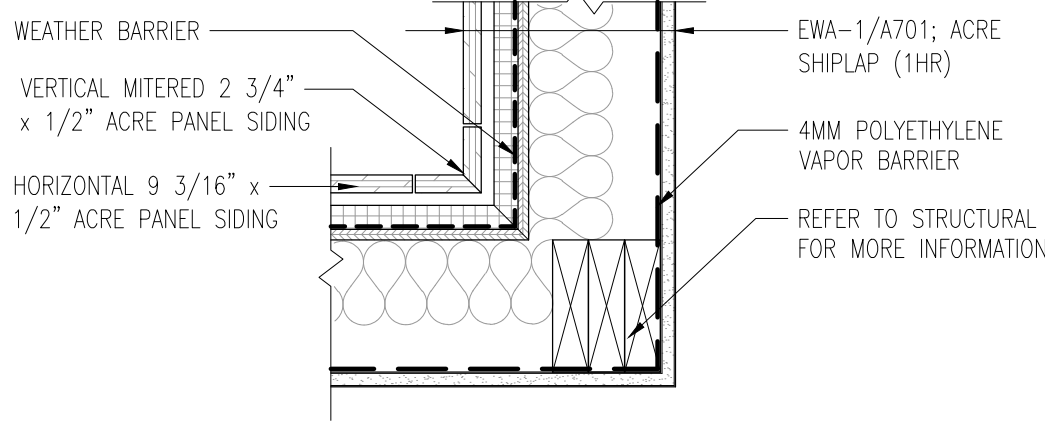
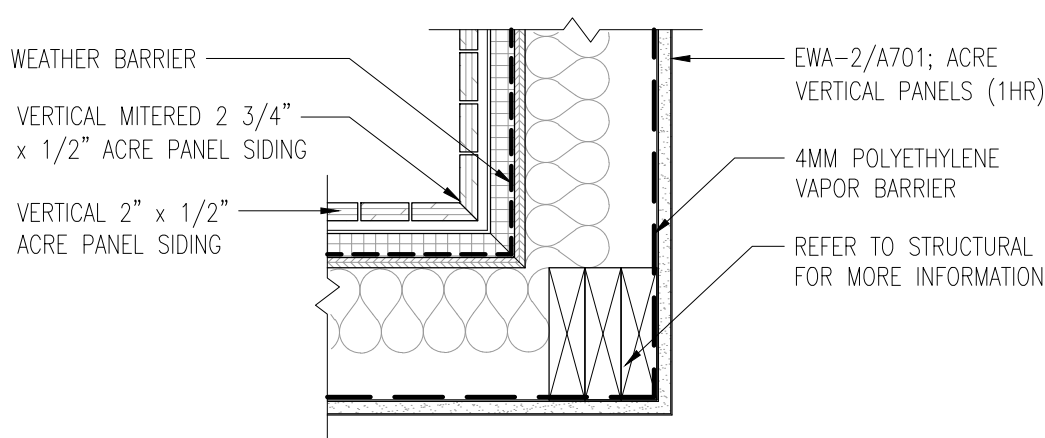
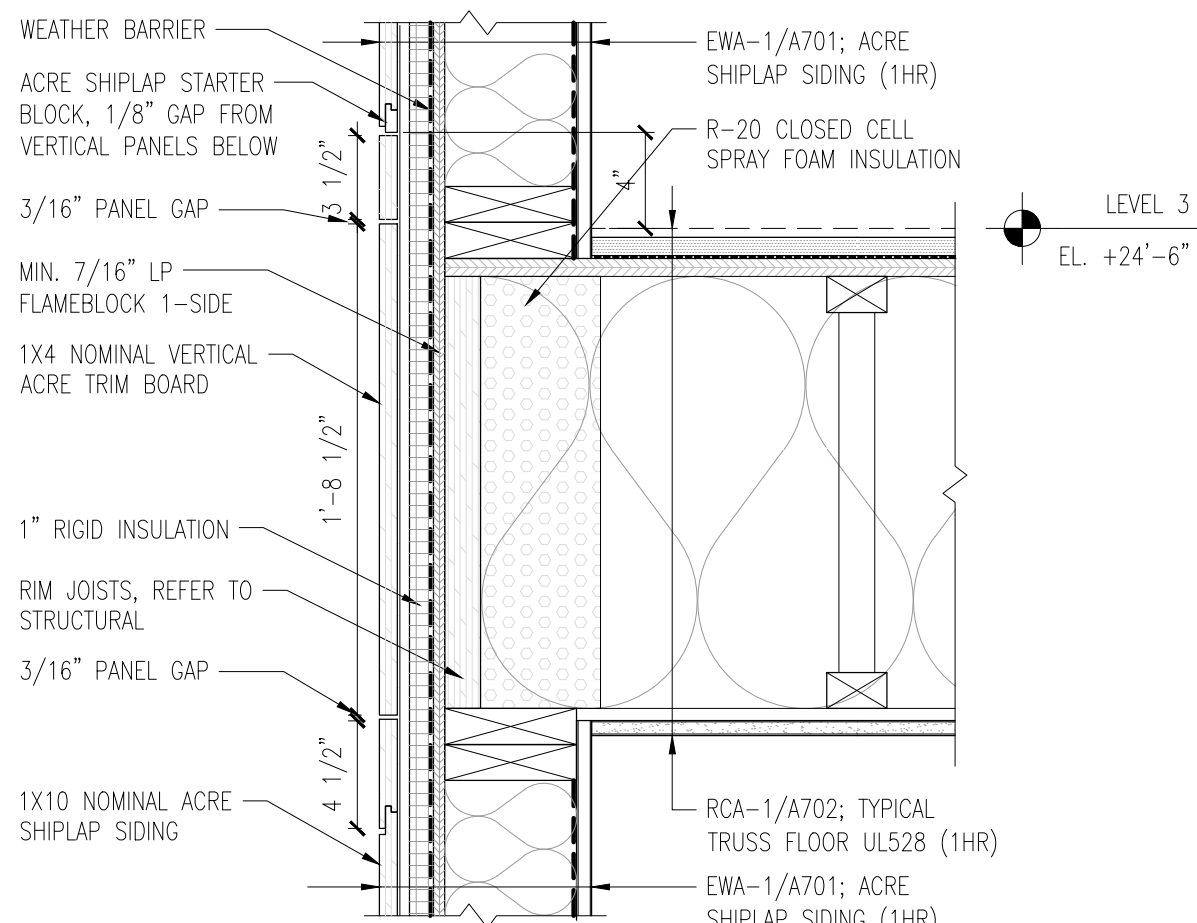
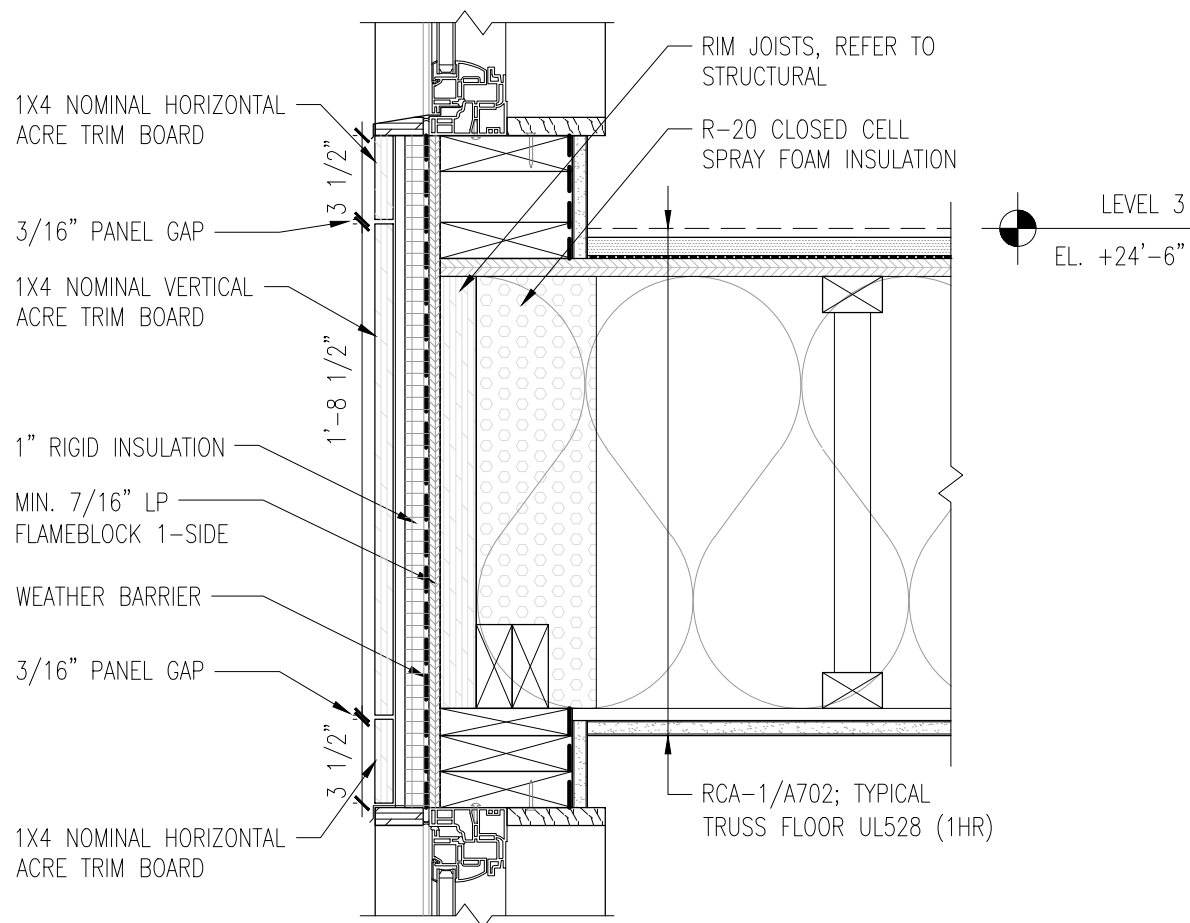
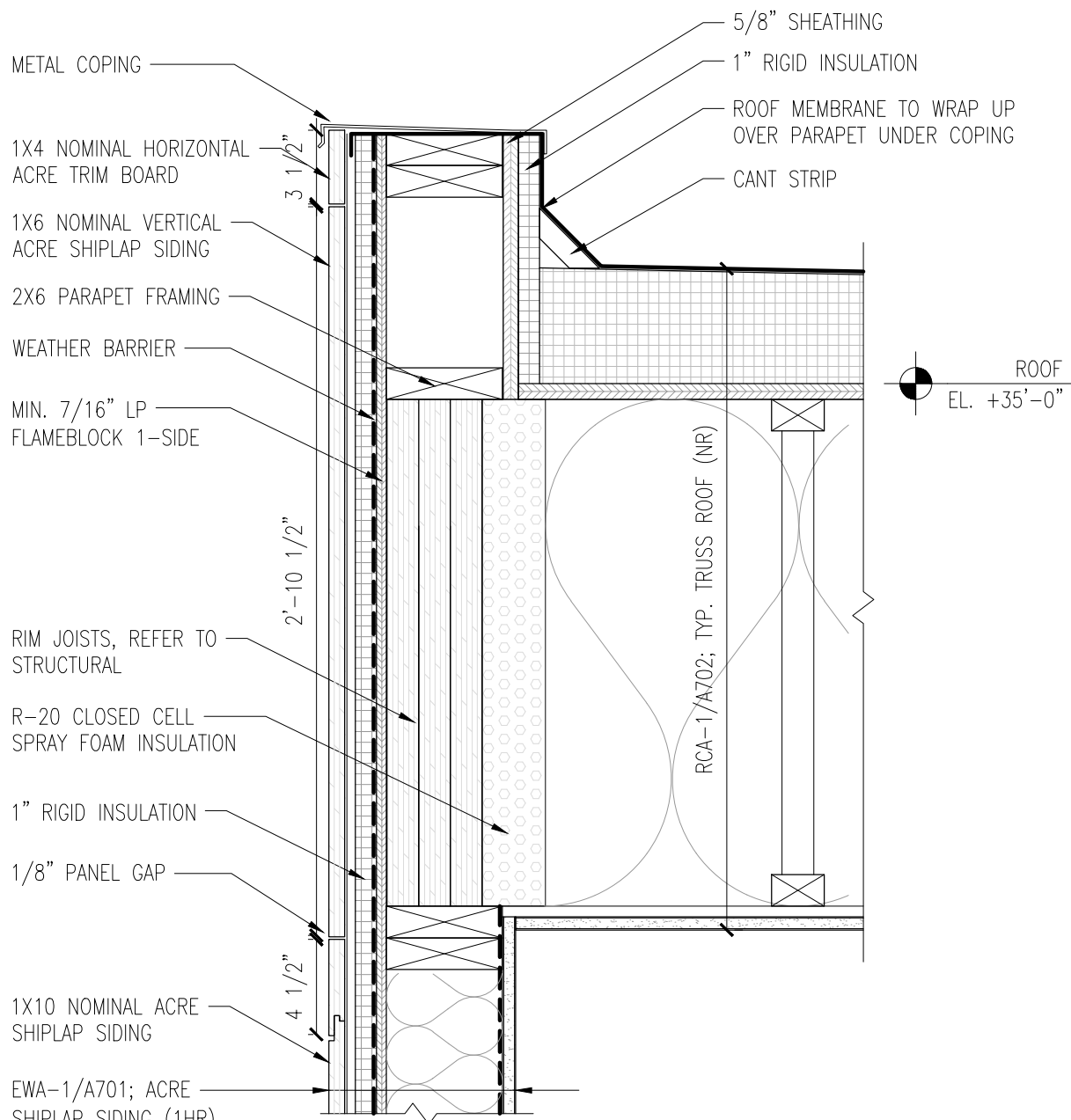
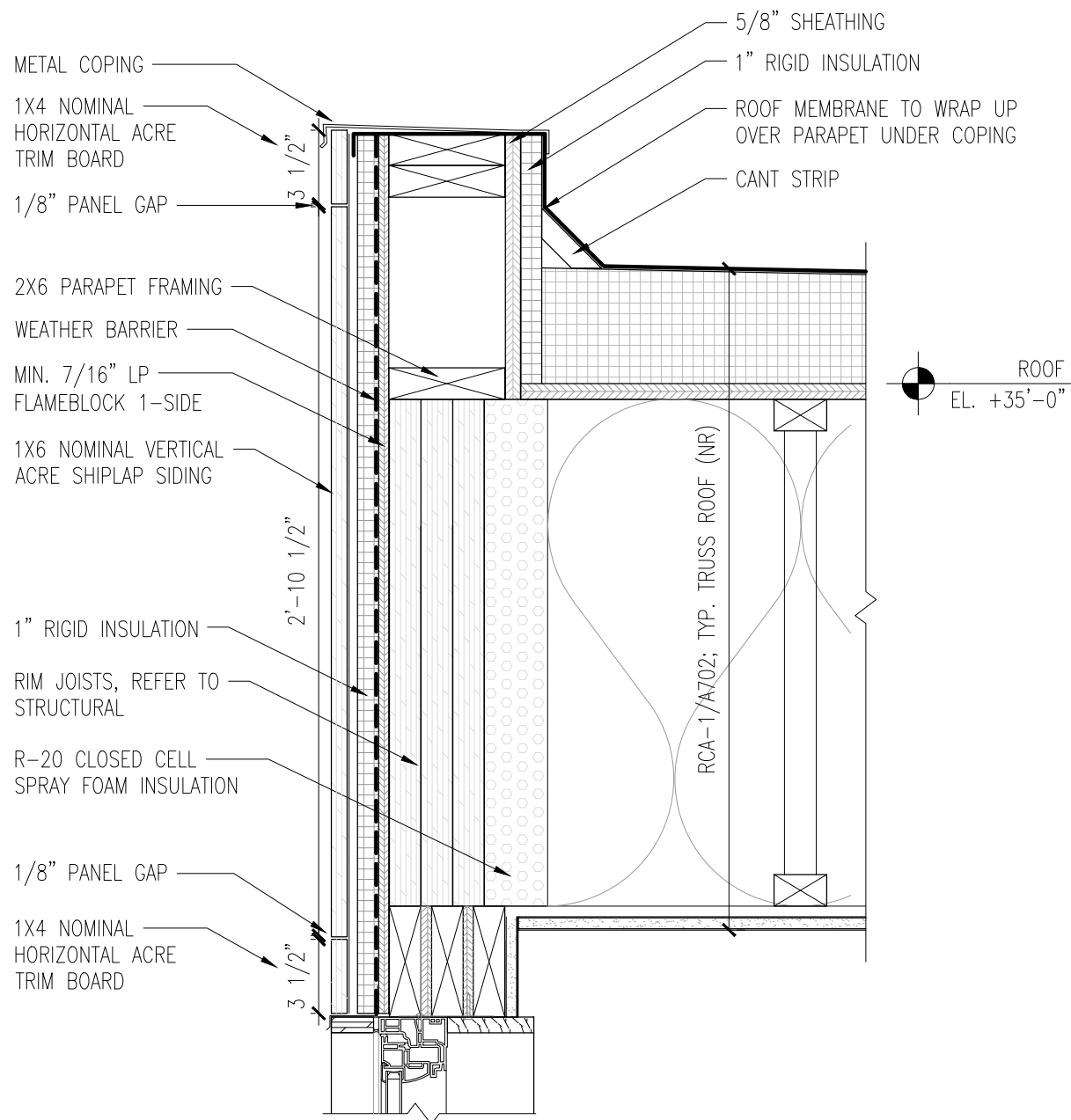
WALL SECTIONS

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.: **A501**



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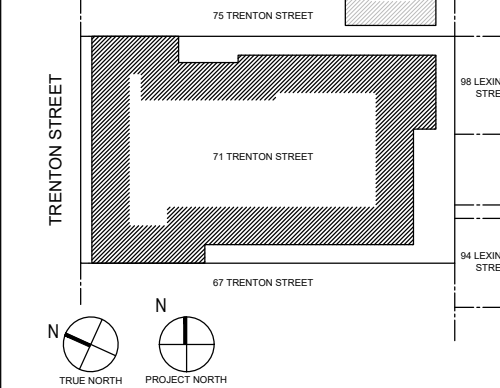
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PROJECT KEY PLAN:



SEAL:



Eric Johnson

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CHECKED BY: EZ

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EXTERIOR WALL
DETAILS

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.:

A551

INSULATION SCHEDULE							
TAG	CONSTRUCTION MATERIAL	DESCRIPTION	LOCATION	R-VALUE	FIRE RATING	UL#	INSULATION MATERIAL
EWA1	WOOD FRAME	EXTERIOR WALL, SHIPLAP	LEVELS 2 AND 3	R-20 + 5 C.I.	1HR	V340	MINERAL FIBER + FOAM BOARD
EWA2	WOOD FRAME	EXTERIOR WALL, VERTICAL BATTENS	LEVELS 2 AND 3 @ FLOOR/ROOF AND DECKS	R-20 + 5 C.I.	1HR	V340	MINERAL FIBER + FOAM BOARD
EWA4	MASS (CMU)	EXTERIOR WALL, ELEVATOR HOISTWAY	LEVELS 2 AND 3 @ ELEVATOR	R-5 C.I.	2HR	U905	FOAM BOARD
EWA5	WOOD FRAME	DEMISING WALL AT HEATED AND UNHEATED SPACES	BETWEEN LOBBY AND PARKING	R-20 + 5 C.I.	1HR	U309	FIBERGLASS BATT + FOAM BOARD
IPB	WOOD FRAME	INTERIOR PARTITION, BATHROOM PLUMBING WALL	BATHROOM PLUMBING WALL	R-11	NR	N/A	FIBERGLASS BATT
IPD	WOOD FRAME	INTERIOR PARTITION, STAIR WALL	LEVELS 2 AND 3 AROUND STAIRS	R-11	1HR	U327	FIBERGLASS BATT
IPE	WOOD FRAME	INTERIOR PARTITION, LOAD BEARING WALL	DEMISING WALL BETWEEN UNITS	R-13	1HR	U327	THERMAFIBER SAFB
IPF	MASS (CMU)	INTERIOR PARTITION, ELEVATOR HOISTWAY	LEVELS 2 AND 3 BETWEEN ELEVATOR AND UNIT	R-11	2HR	U937	FIBERGLASS BATT
IPK	WOOD FRAME	INSULATED FURRING WALL	ALONG EXISTING WALL @ HEATED SPACES	R-20 + 5 C.I.	NR	N/A	MINERAL FIBER + FOAM BOARD
FCA1	WOOD FRAME	TYPICAL TRUSS FLOOR ASSEMBLY	LEVELS 2 AND 3	R-11	1HR	L528	MINERAL WOOL
FCA2	WOOD FRAME	TYPICAL TRUSS FLOOR ASSEMBLY	CEILING OVER PARKING	R-30	1HR	L528	MINERAL WOOL
RCA3	WOOD FRAME	TYPICAL TRUSS ROOF ASSEMBLY	ROOF	R-60	NR	N/A	GLASS FIBER
RCA4	WOOD FRAME	ROOF OVER HOISTWAY	ROOF @ ELEVATOR AND STAIR HATCHES	R-60	NR	N/A	CLOSED-CELL SPRAY FOAM

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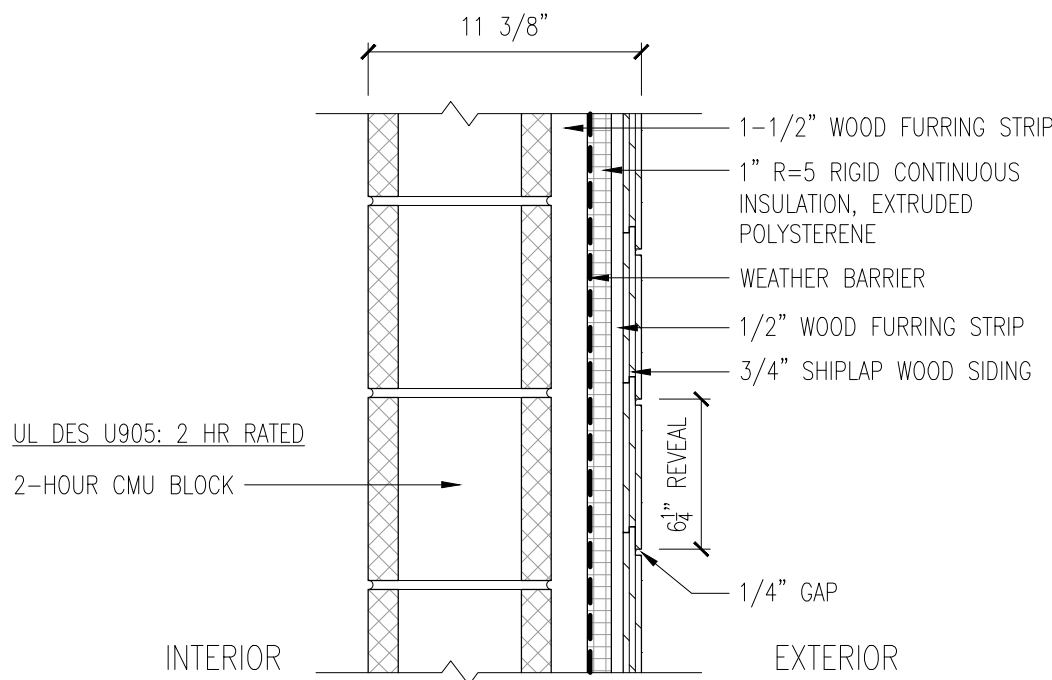
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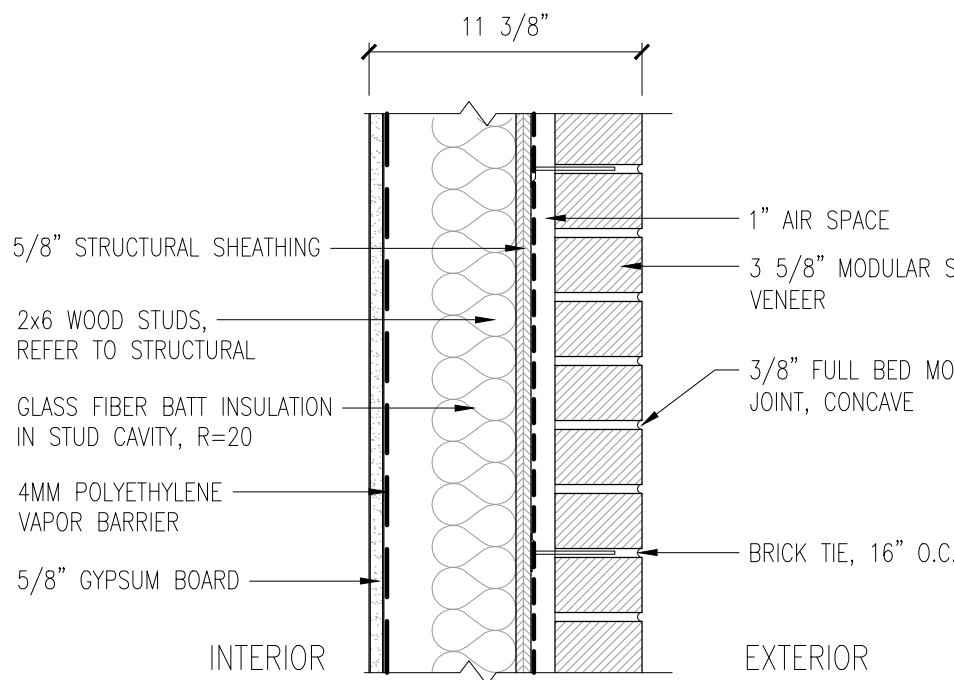
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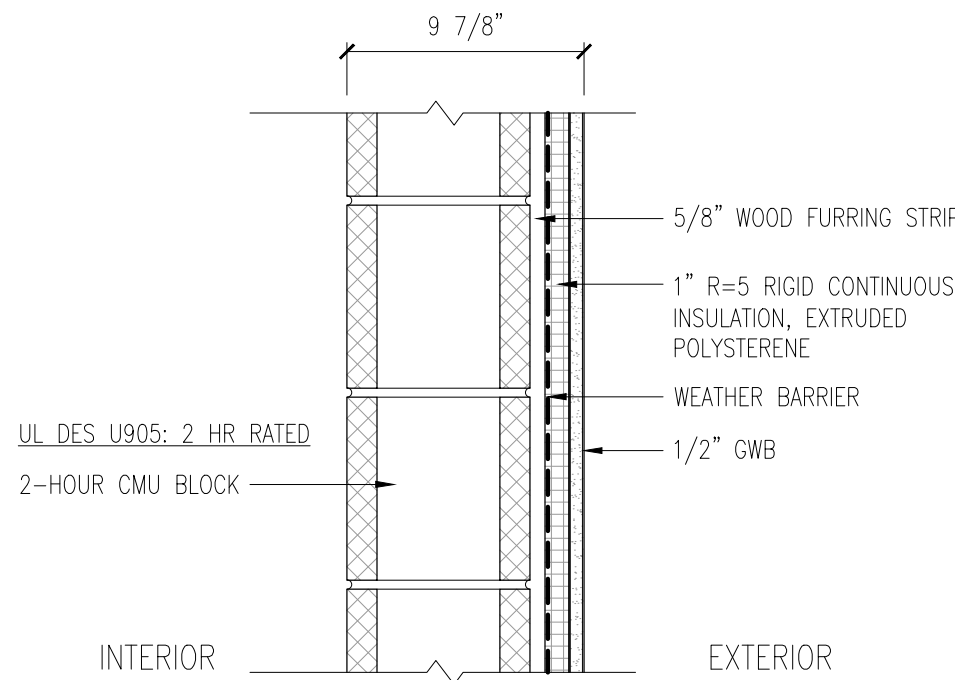
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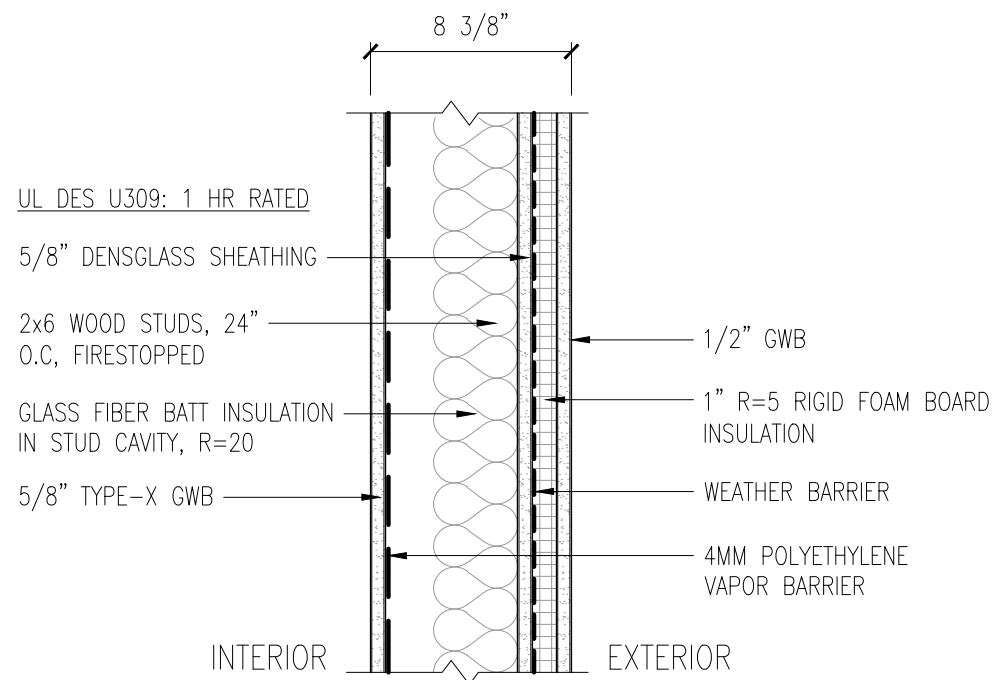
4 EWA: ACRE SHIPLAP (2HR)
SCALE: 1-1/2" = 1'-0"



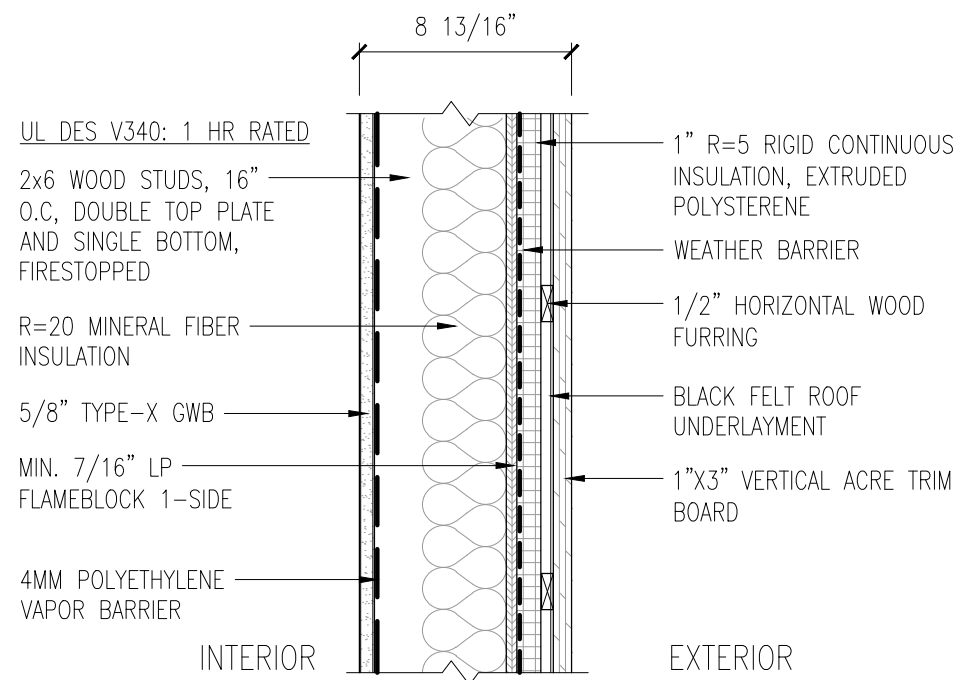
3 EWA: BRICK VENEER (NR)
SCALE: 1-1/2" = 1'-0"



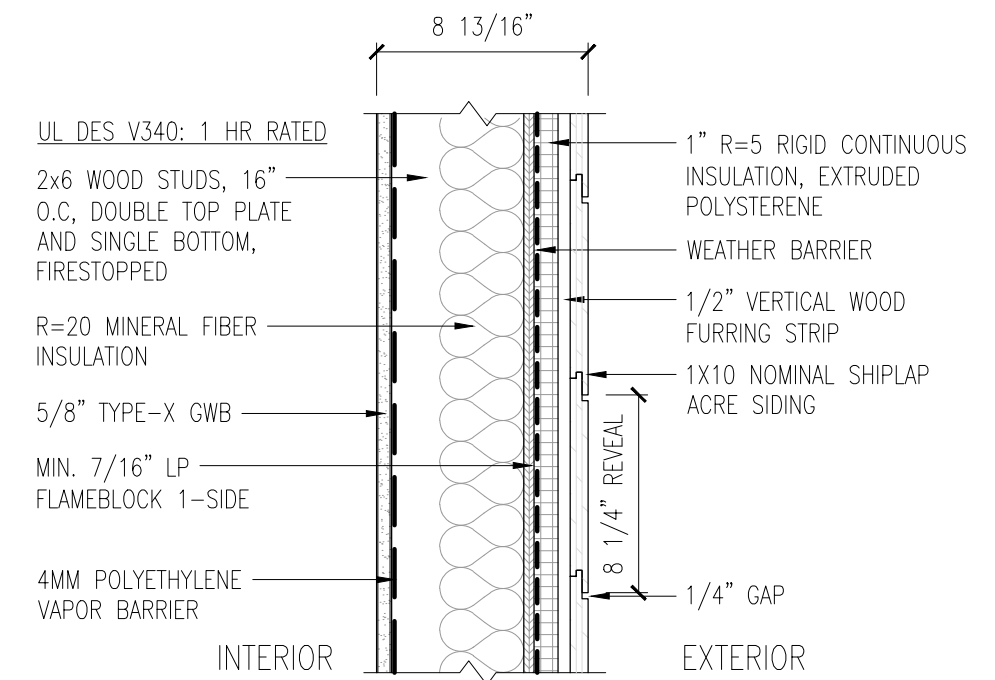
6 EWA: GYPSUM (2HR)
SCALE: 1-1/2" = 1'-0"



5 EWA: DOUBLE-SIDED GYPSUM (1HR)
SCALE: 1-1/2" = 1'-0"



2 EWA: ACRE VERTICAL PANELS (1HR)
SCALE: 1-1/2" = 1'-0"



1 EWA: ACRE SHIPLAP (1HR)
SCALE: 1-1/2" = 1'-0"

SHEET NOTES

1. EWA = EXTERIOR WALL ASSEMBLY
2. NR = NOT RATED
3. NUMBER REFERENCES TYPE IN WALL TARGETS ON ENLARGED PLANS
4. CONTRACTOR TO COORDINATE AND CONFIRM WITH ARCHITECT FOR ACCEPTABLE ALTERNATIVES IDENTIFIED WITHIN UL ASSEMBLIES

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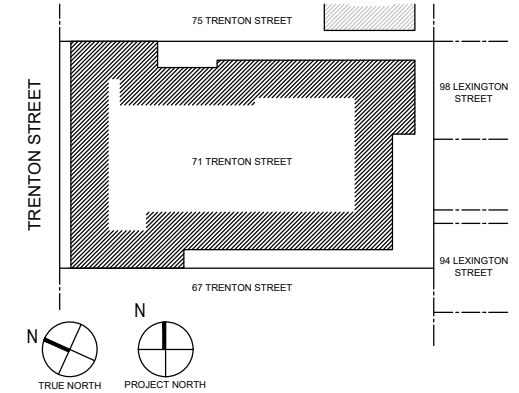
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(857) 244-1461

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY:

CHECKED BY: EZ

00

03-07-2025

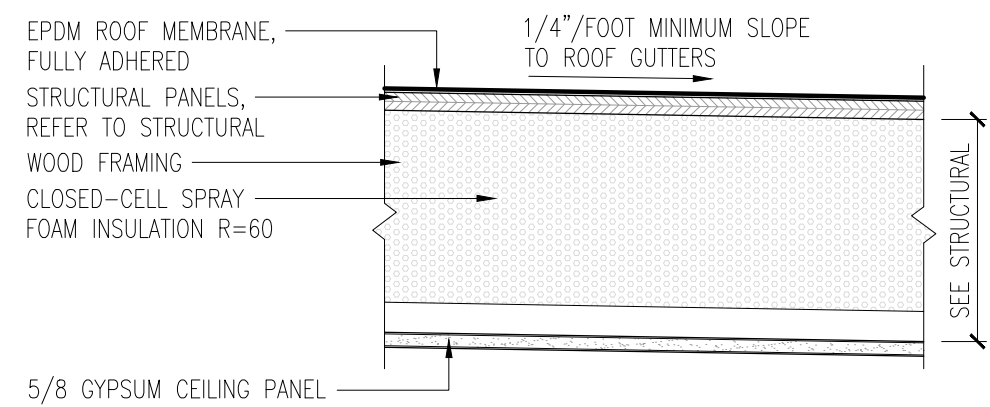
ISSUED FOR DESIGN REVIEW

EXTERIOR WALL, FLOOR,
AND ROOF ASSEMBLIES

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.:

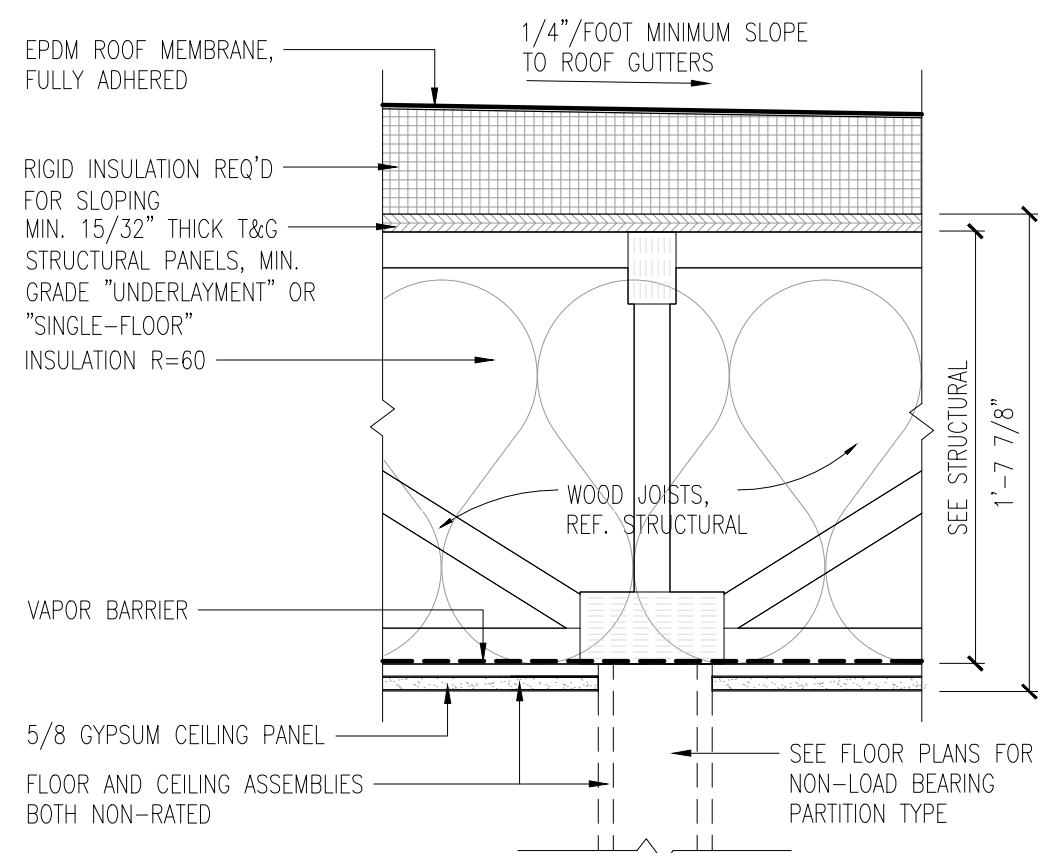
A701



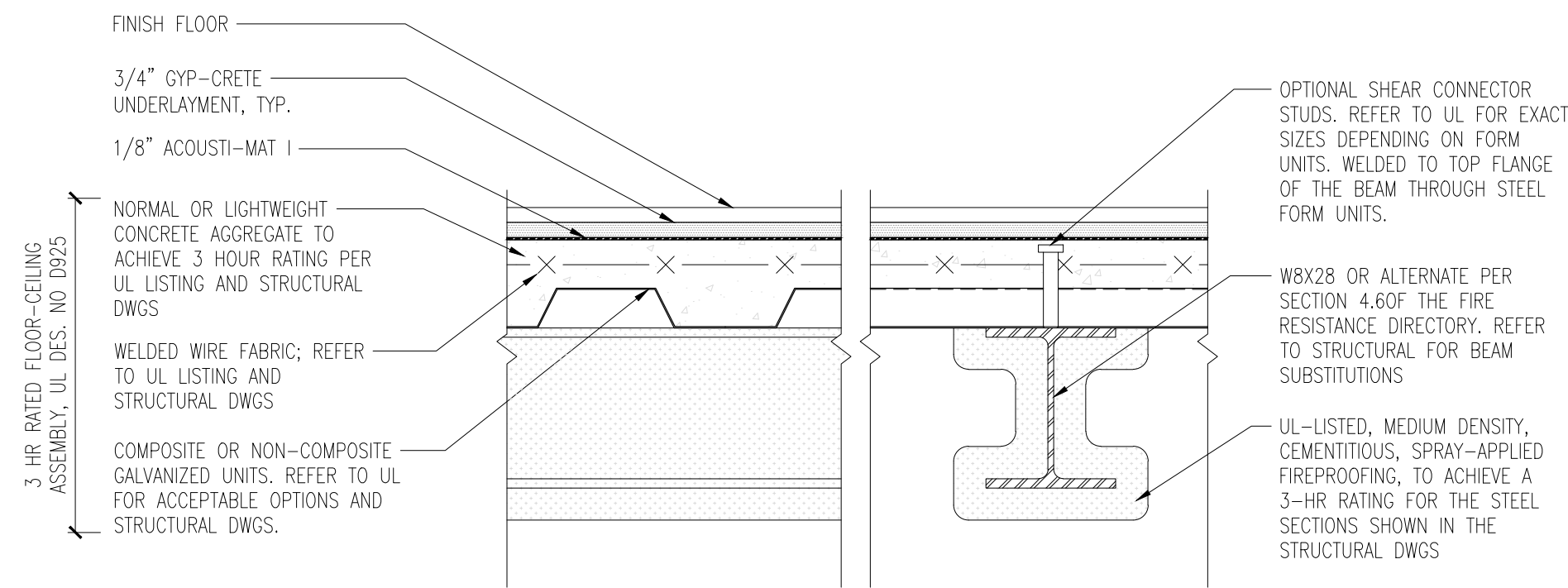
DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
Signature

08/05/2025

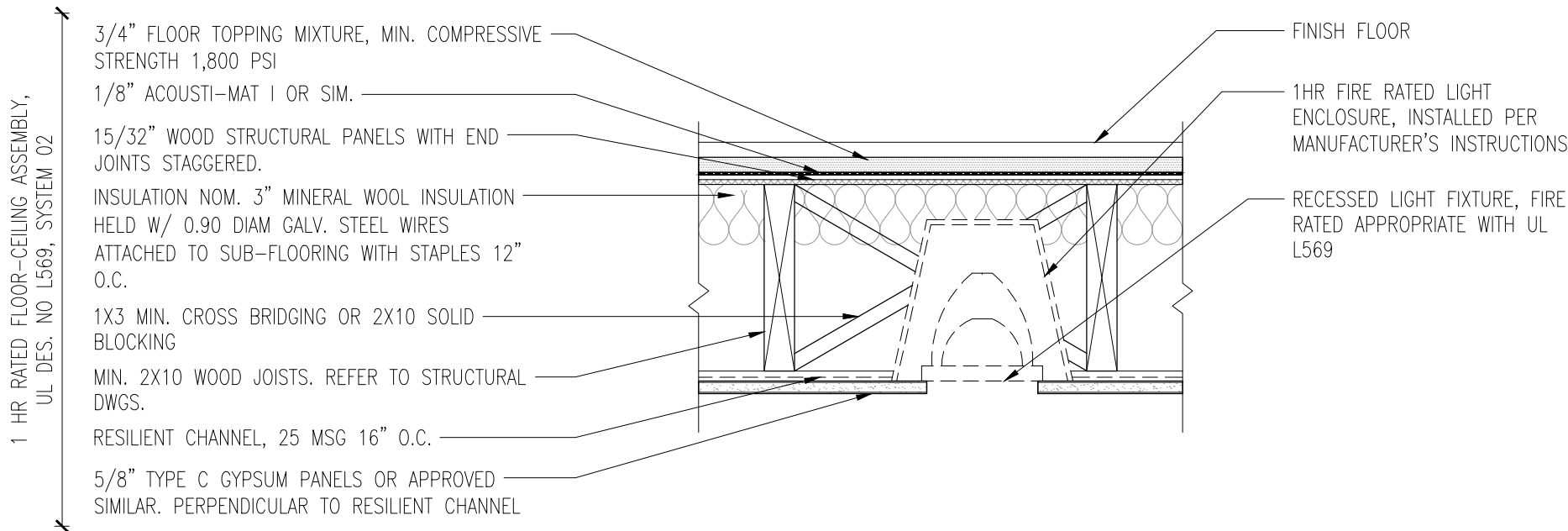
6 RCA: ROOF OVER HOISTWAY (NR)
SCALE: 1-1/2" = 1'-0"



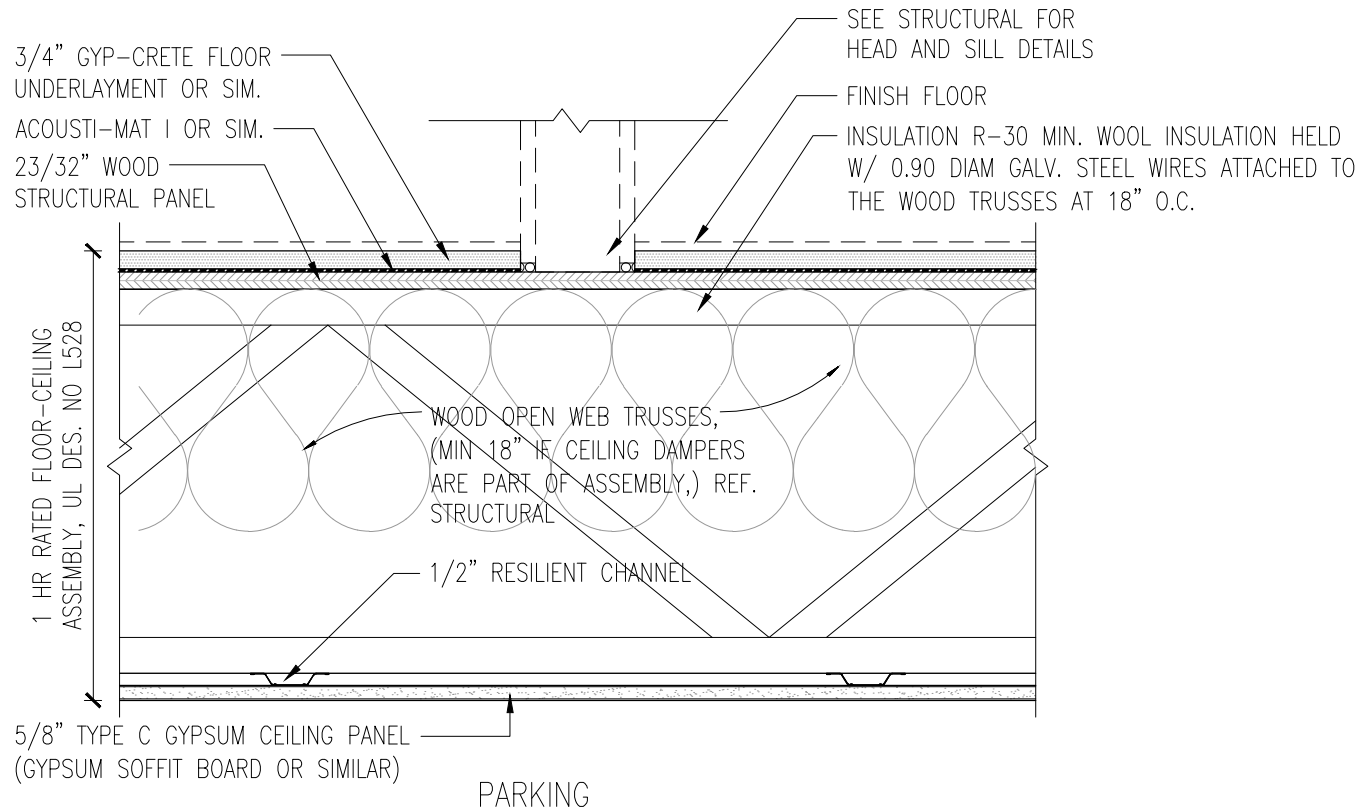
5 RCA: TYPICAL TRUSS ROOF (NR)
SCALE: 1-1/2" = 1'-0"



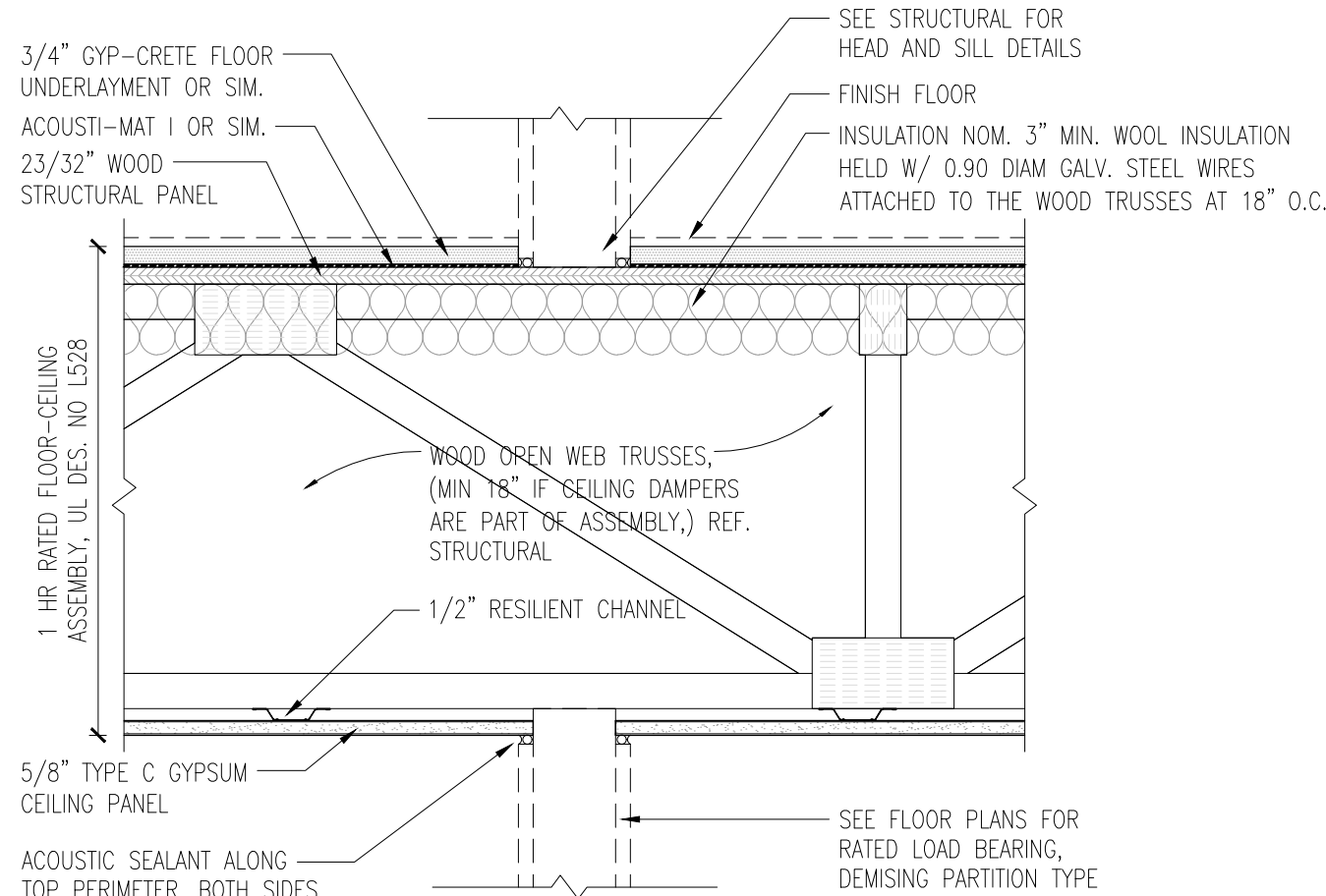
4 FCA: CONCRETE SLAB FLOOR (3HR)
SCALE: 1-1/2" = 1'-0"



3 FCA: TYPICAL JOIST FLOOR (1HR)
SCALE: 1-1/2" = 1'-0"



2 FCA: FLOOR OVER PARKING (1HR)
SCALE: 1-1/2" = 1'-0"



1 FCA: TYPICAL TRUSS FLOOR (1HR)
SCALE: 1-1/2" = 1'-0"

SHEET NOTES

1. FCA = FLOOR-CEILING ASSEMBLY
2. RCA = ROOF-CEILING ASSEMBLY
3. NR = NOT RATED
4. CONTRACTOR TO COORDINATE AND CONFIRM WITH ARCHITECT FOR ACCEPTABLE ALTERNATIVES IDENTIFIED WITHIN UL ASSEMBLIES

71 TRENTON ST
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JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:

context
a collaborative design workshop
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(312) 780-9456

CONSULTANTS:

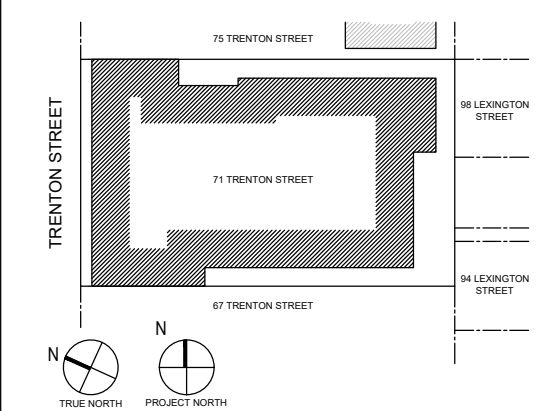
FSE
FOREST STRUCTURAL ENGINEERING INC.

STRUCTURAL ENGINEER
**FOREST STRUCTURAL
ENGINEERING**
231 W. NEWTON ST #1
BOSTON, MA 02116
(617) 447-8030

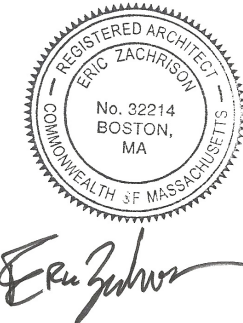
**REVIVALRY
ENGINEERING**
MEP | FIRE PROTECTION

MEP ENGINEER
REVIVALRY ENGINEERING
946 SARATOGA ST, STE 204
BOSTON, MA 02128
(857) 244-1461

PROJECT KEY PLAN:



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DRAWN BY:

CHECKED BY: EZ

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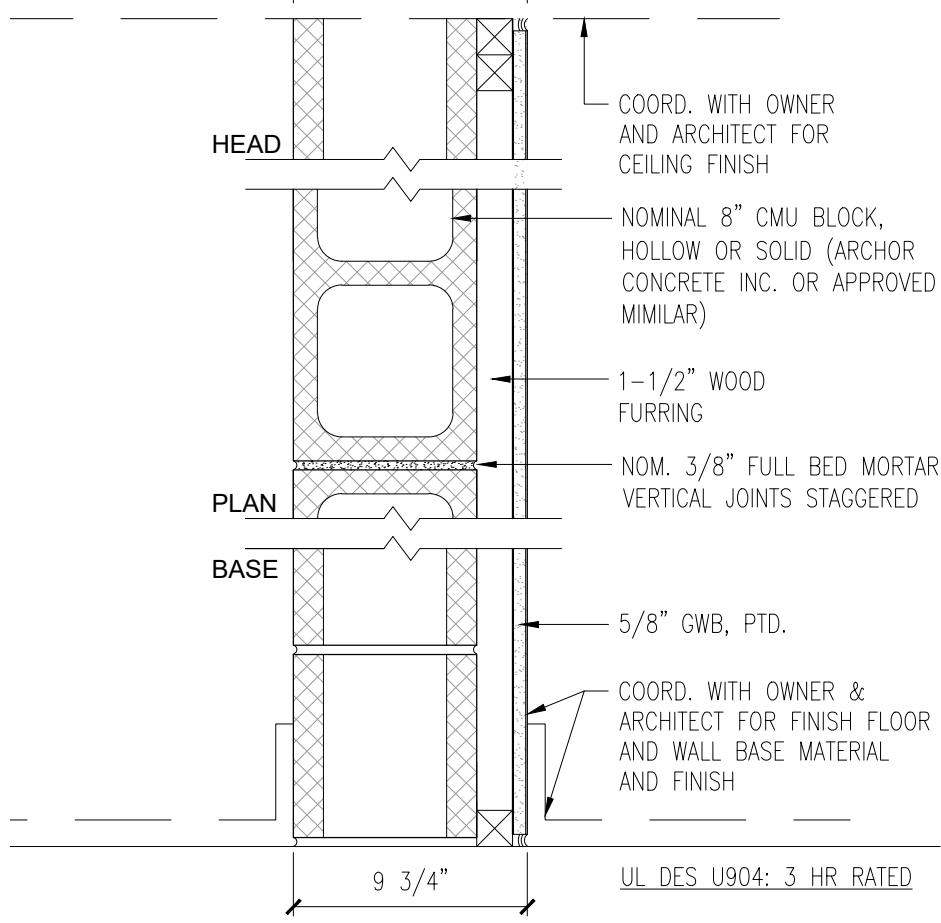
FLOOR-CEILING AND
ROOF-CEILING
ASSEMBLIES

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

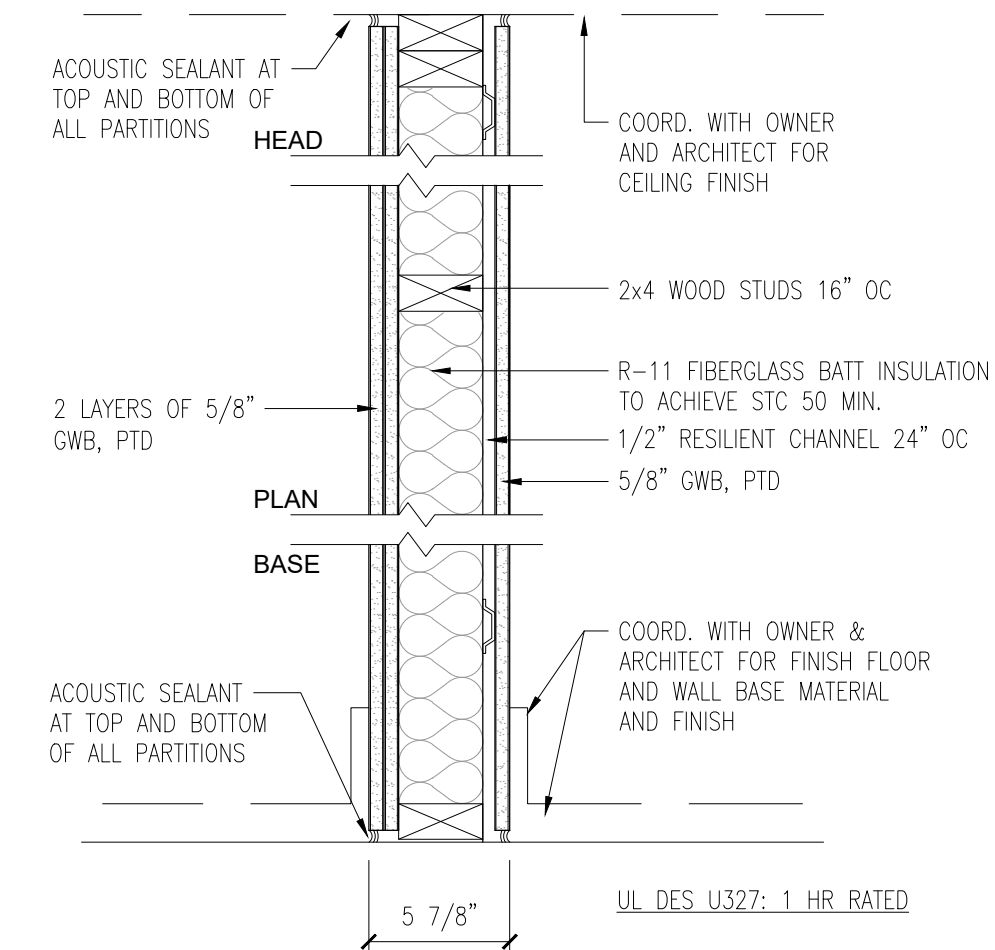
SHEET
No.: **A702**

DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
Signature

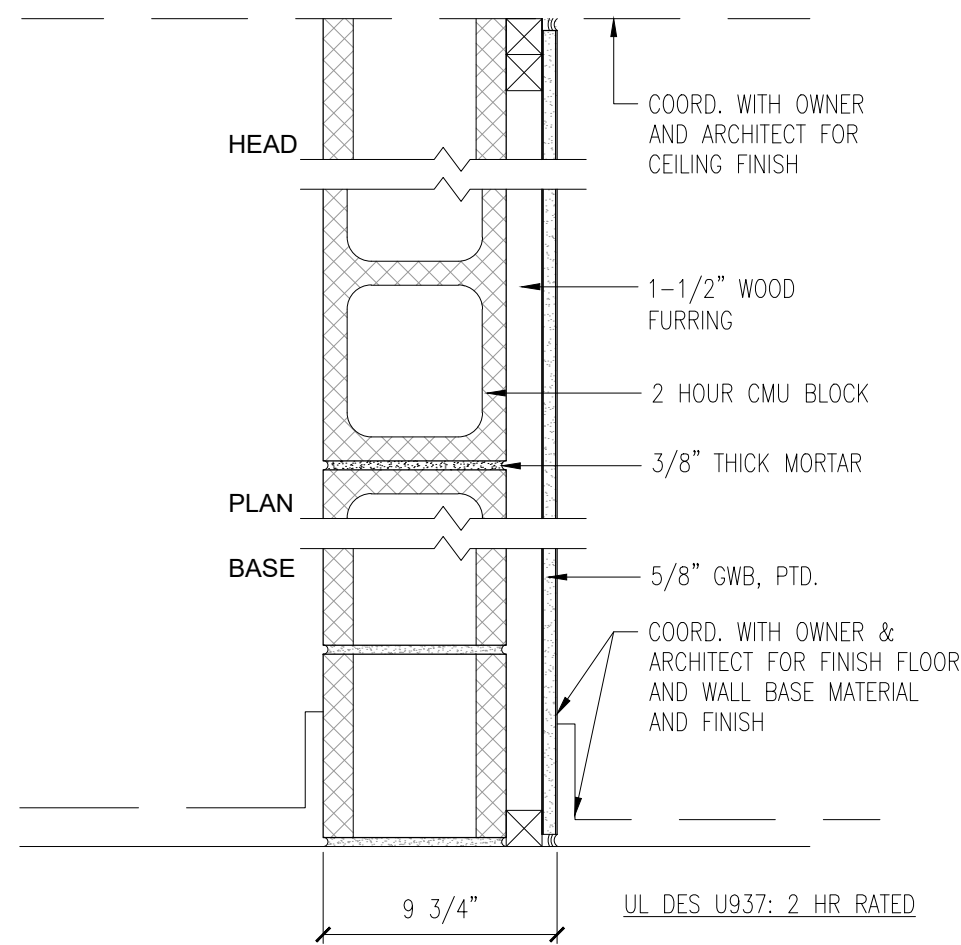
08/05/2025



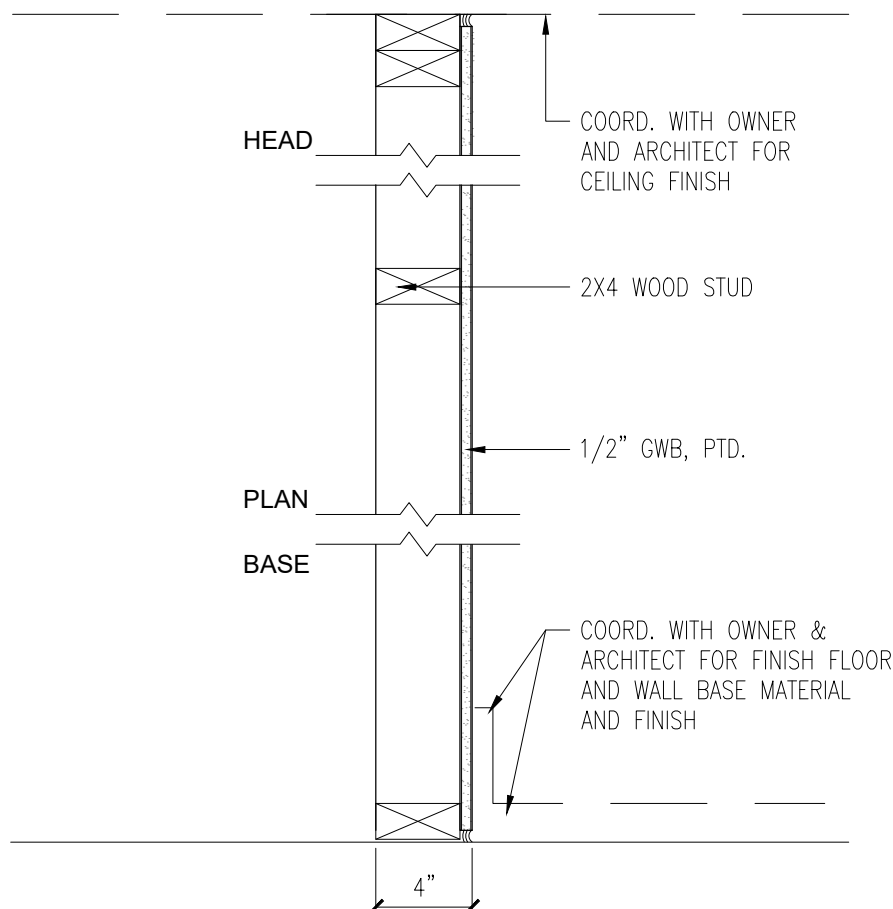
H IP: TRANSFORMER VAULT (3HR)
SCALE: 1 1/2" = 1'-0"



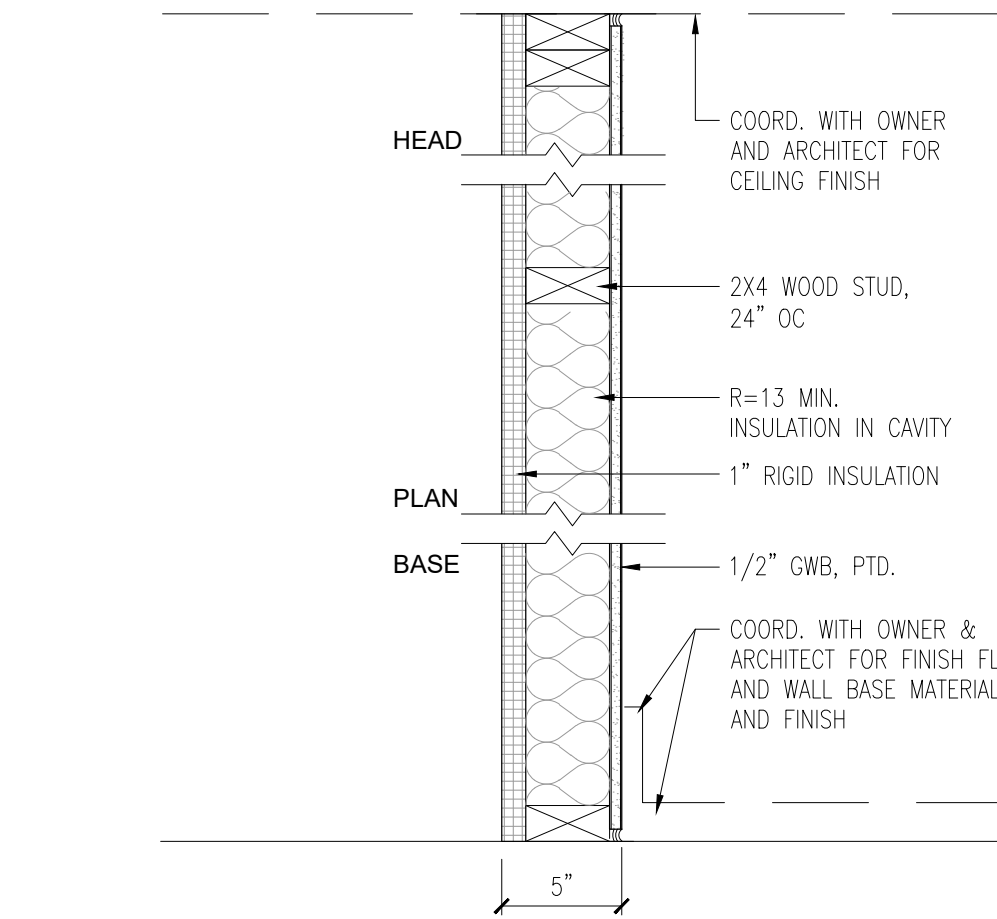
D IP: STAIR WALL (1HR)
SCALE: 1 1/2" = 1'-0"



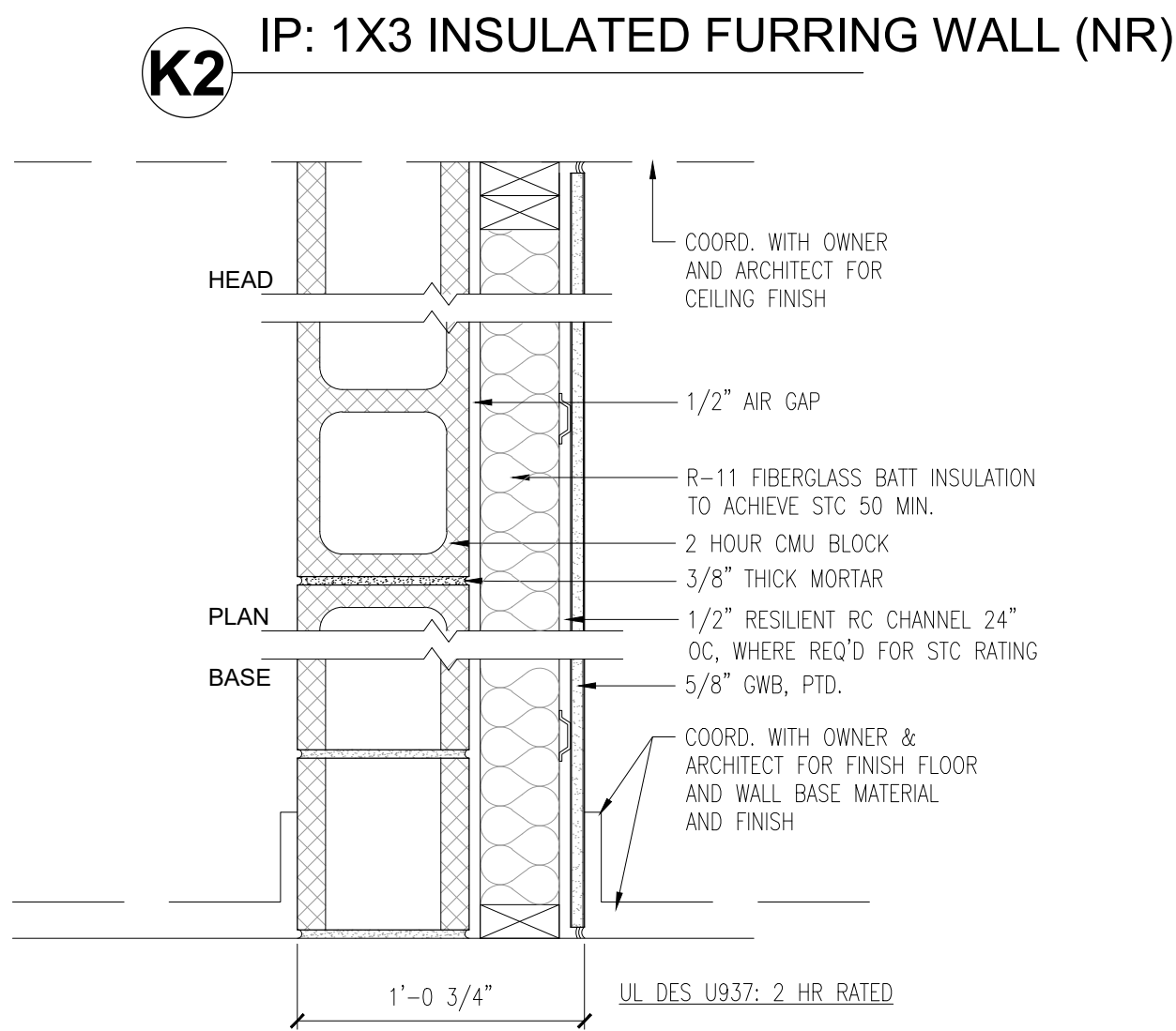
G IP: HOISTWAY (2HR)
SCALE: 1 1/2" = 1'-0"



C IP: FURRING WALL (NR)
SCALE: 1 1/2" = 1'-0"

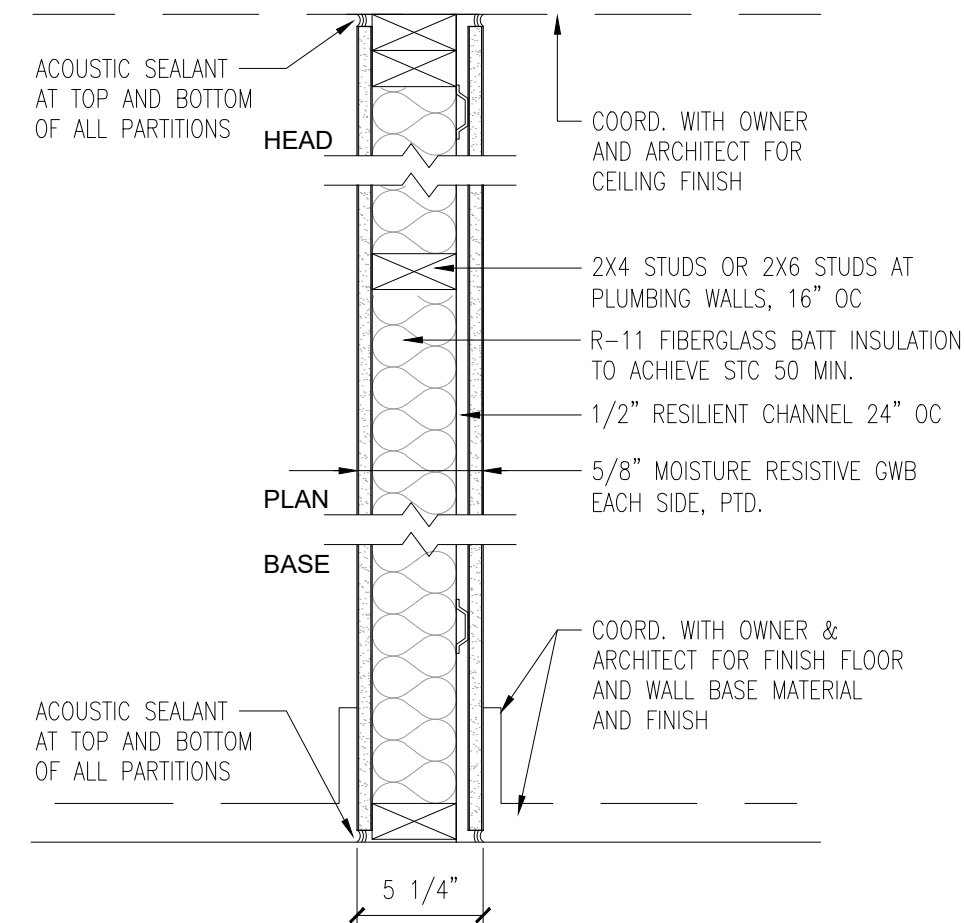


K IP: 2X4 INSULATED FURRING WALL (NR)
SCALE: 1 1/2" = 1'-0"



K2 IP: 1X3 INSULATED FURRING WALL (NR)

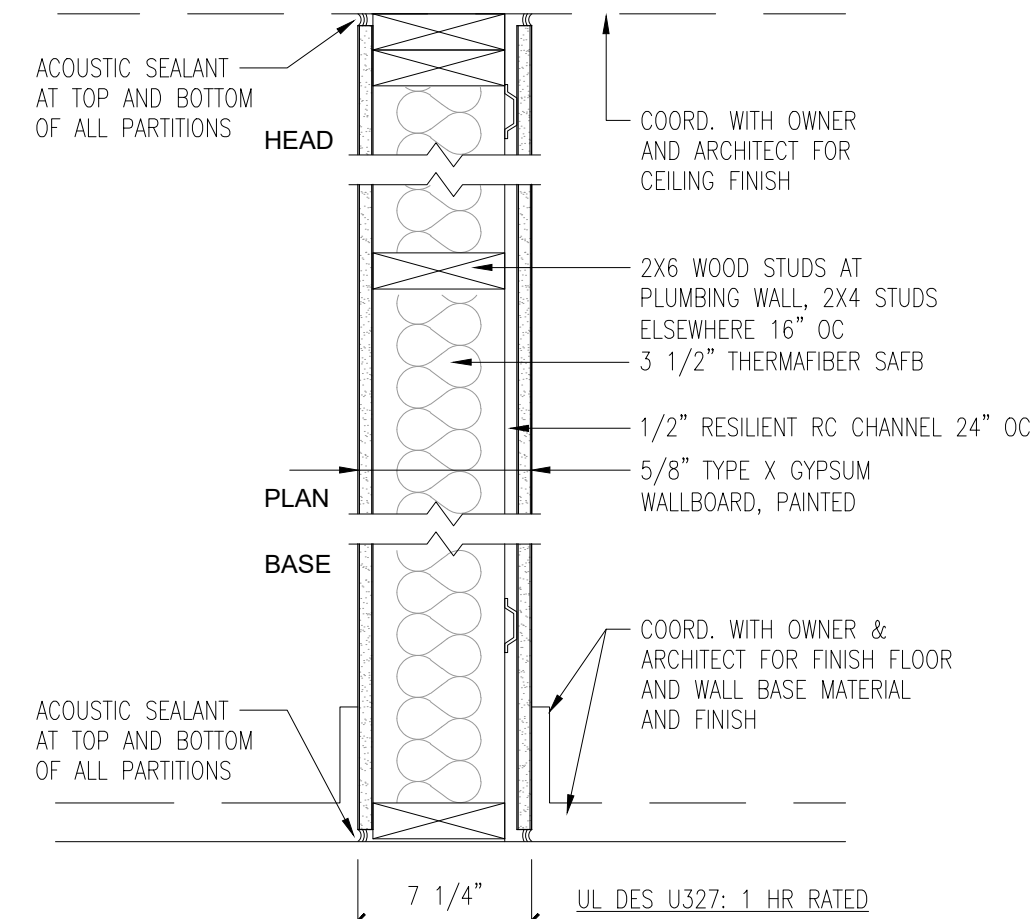
F IP: HOISTWAY (2HR)
SCALE: 1 1/2" = 1'-0"



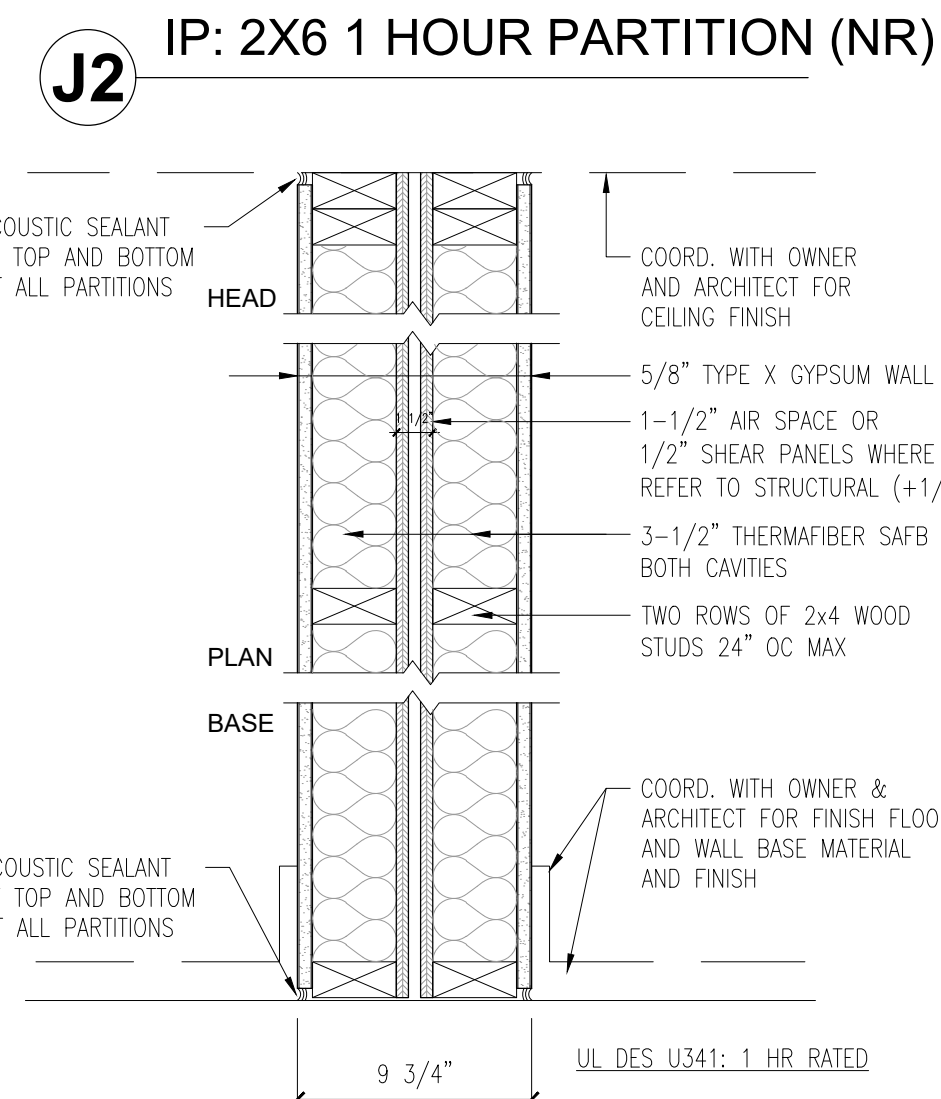
B IP: 2X4 BATHROOM PARTITION (NR)
SCALE: 1 1/2" = 1'-0"

B2 IP: 2X6 BATHROOM PARTITION (NR)

- SHEET NOTES**
1. IP = INTERIOR PARTITION
 2. NR = NOT RATED
 3. LETTER REFERENCES TYPE IN WALL TARGETS ON ENLARGED PLANS
 4. CONTRACTOR TO COORDINATE AND CONFIRM WITH ARCHITECT FOR ACCEPTABLE ALTERNATIVES IDENTIFIED WITHIN UL ASSEMBLIES

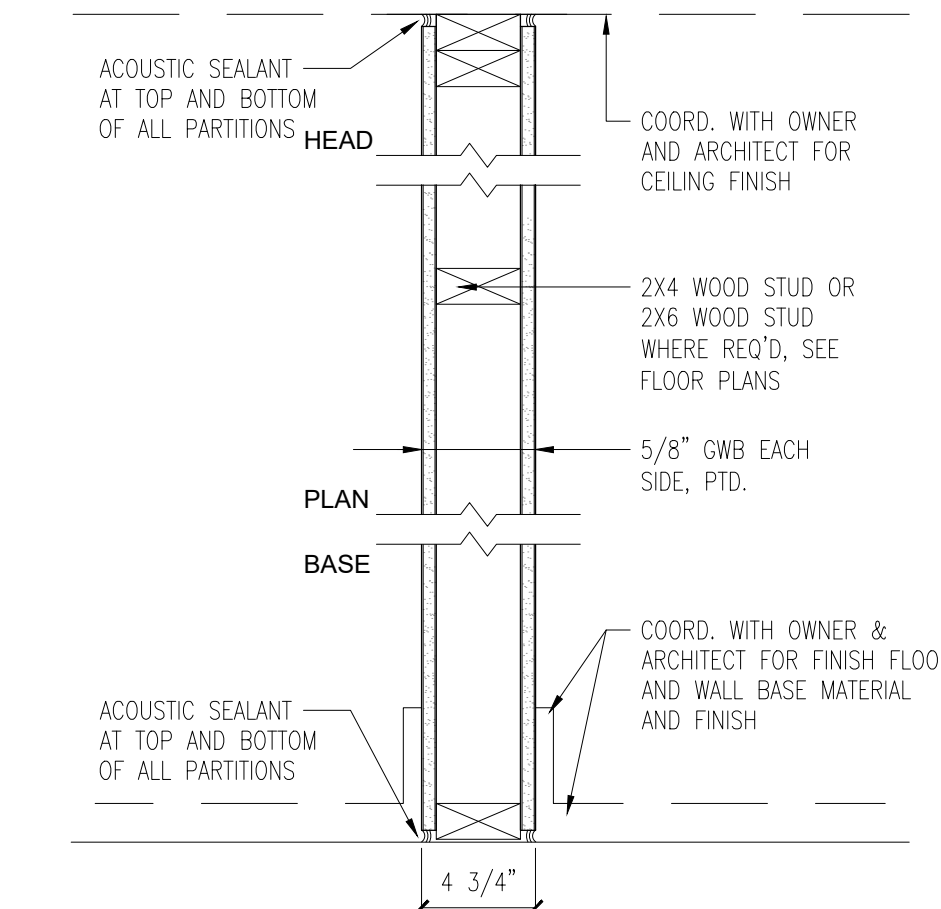


J IP: 2X4 1 HOUR PARTITION (NR)
SCALE: 1 1/2" = 1'-0"



J2 IP: 2X6 1 HOUR PARTITION (NR)

E IP: DEMISING WALL (1HR)
SCALE: 1 1/2" = 1'-0"



A IP: 2X4 INTERIOR PARTITION (NR)
SCALE: 1 1/2" = 1'-0"

A2 IP: 2X6 INTERIOR PARTITION (NR)

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CONSULTANTS:

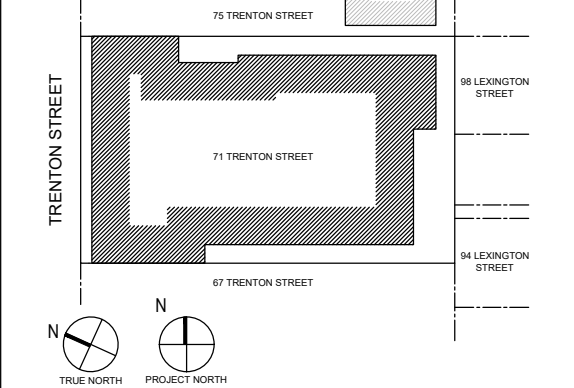
FSE
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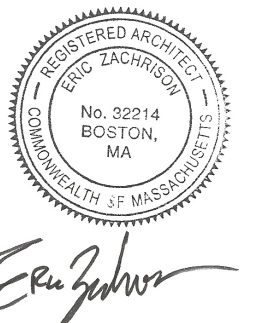
**REVIVALRY
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PROJECT KEY PLAN:



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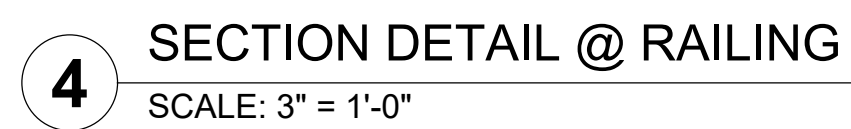
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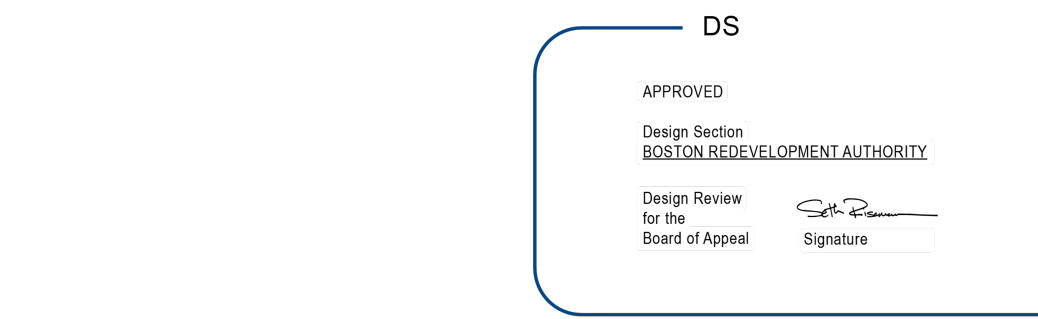
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INTERIOR PARTITIONS

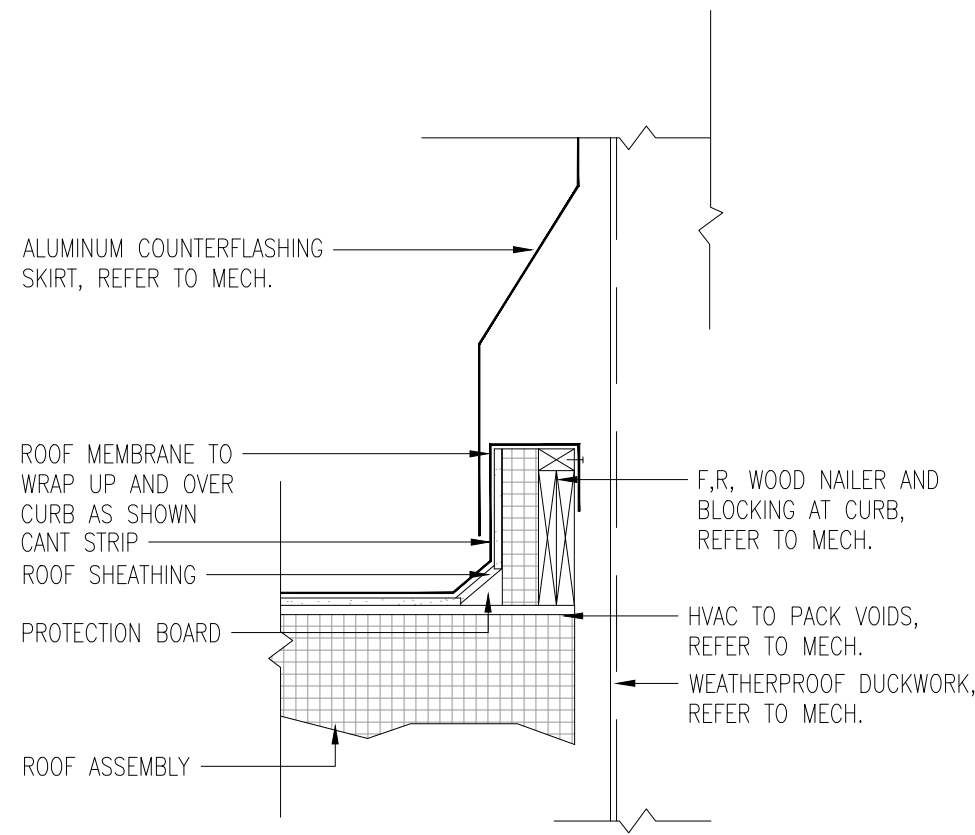
PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.: **A703**

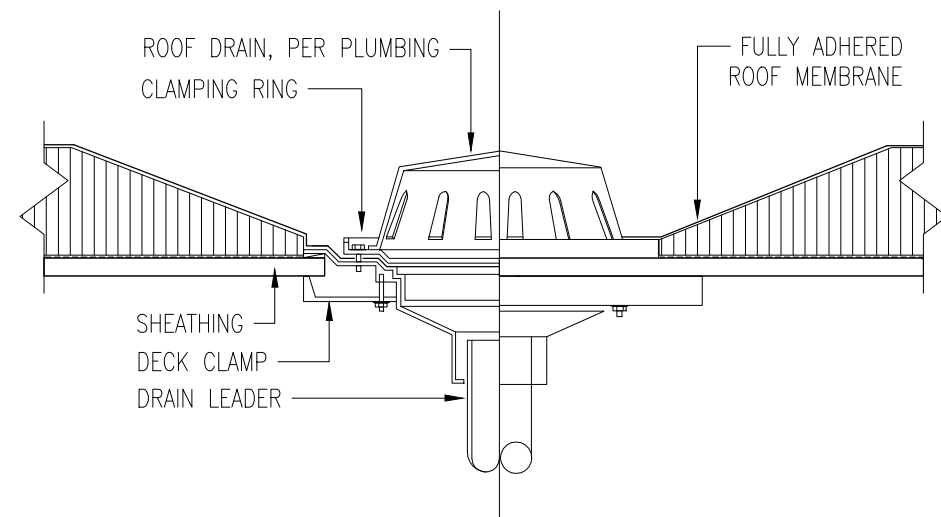




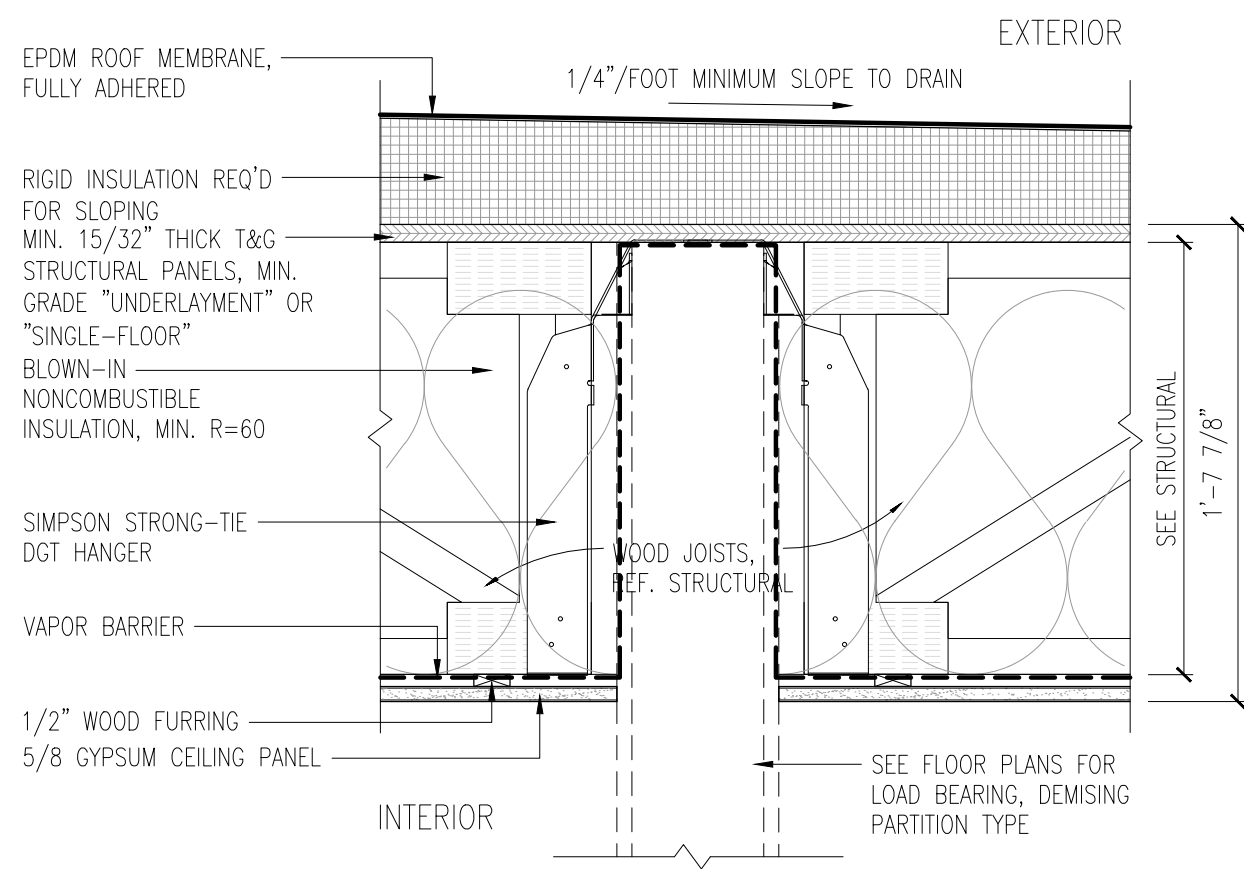
08/05/2025



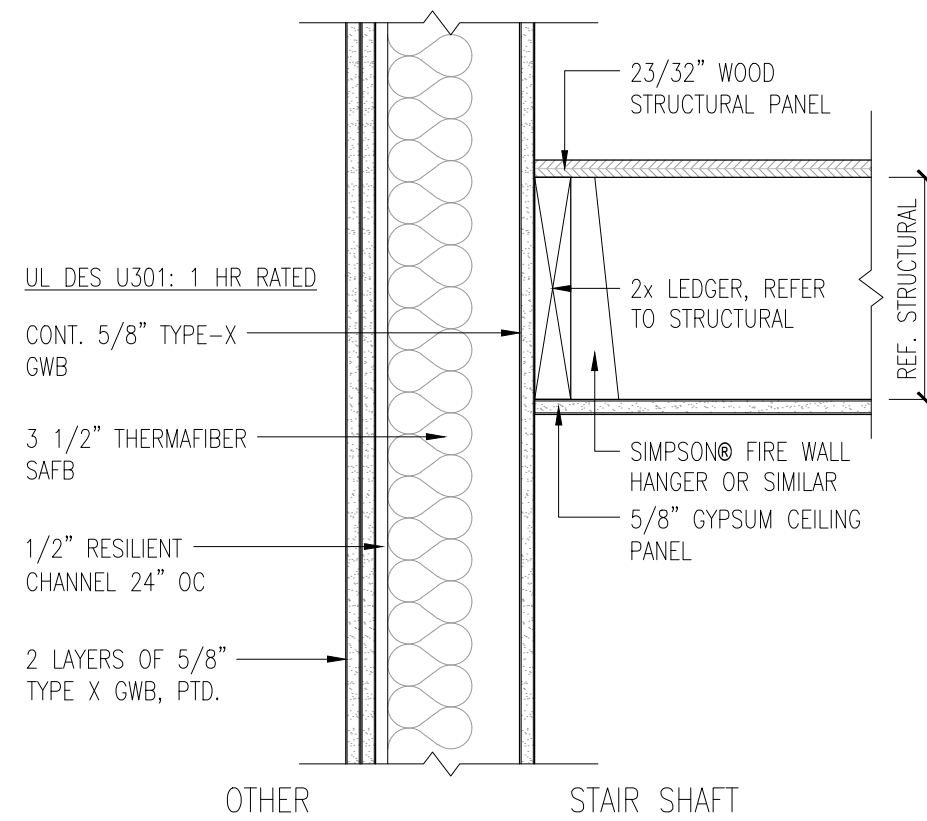
6 TYPICAL ROOF PENETRATION DETAIL
SCALE: 1-1/2" = 1'-0"



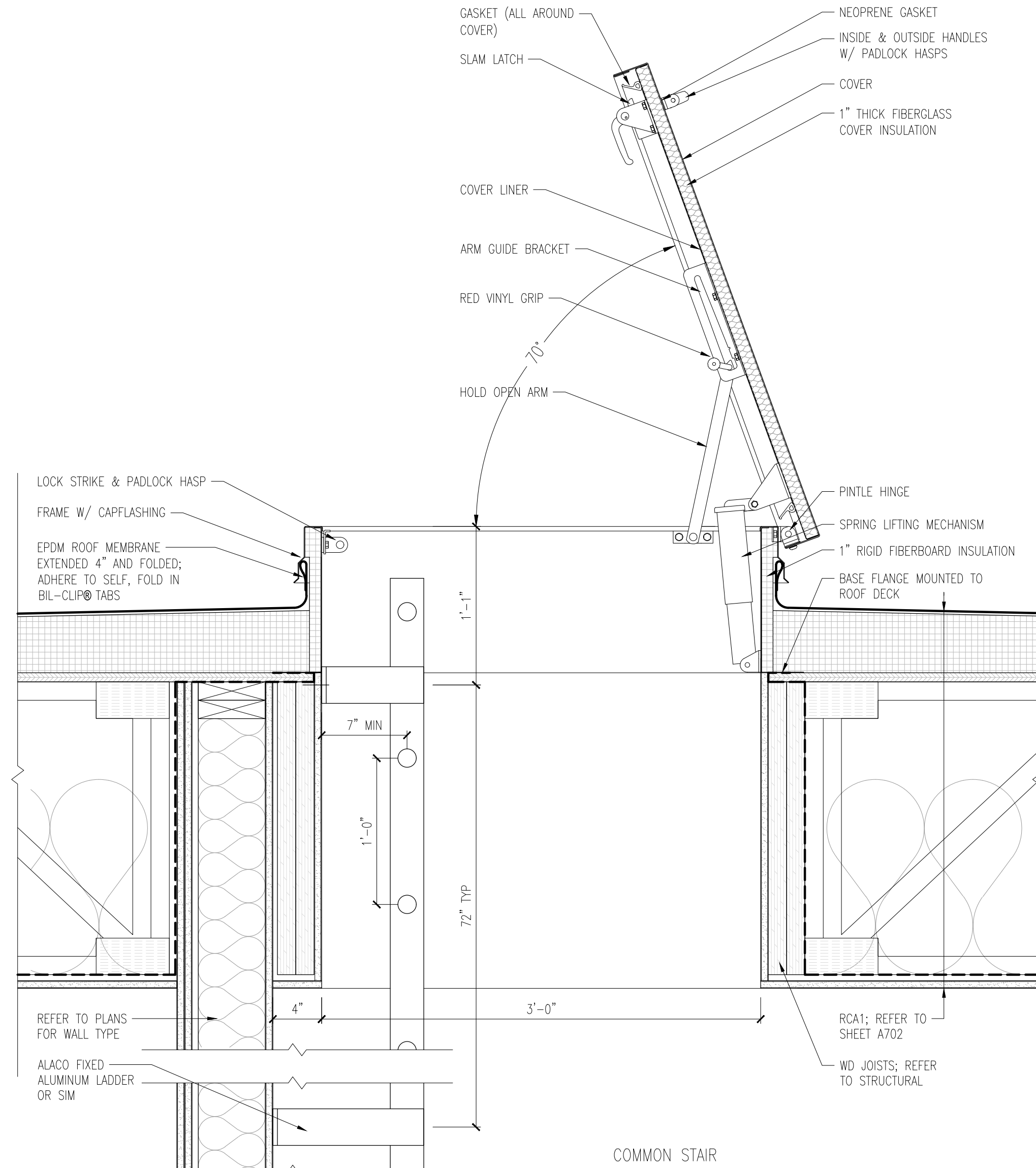
5 TYPICAL ROOF DRAIN DETAIL
SCALE: 1-1/2" = 1'-0"



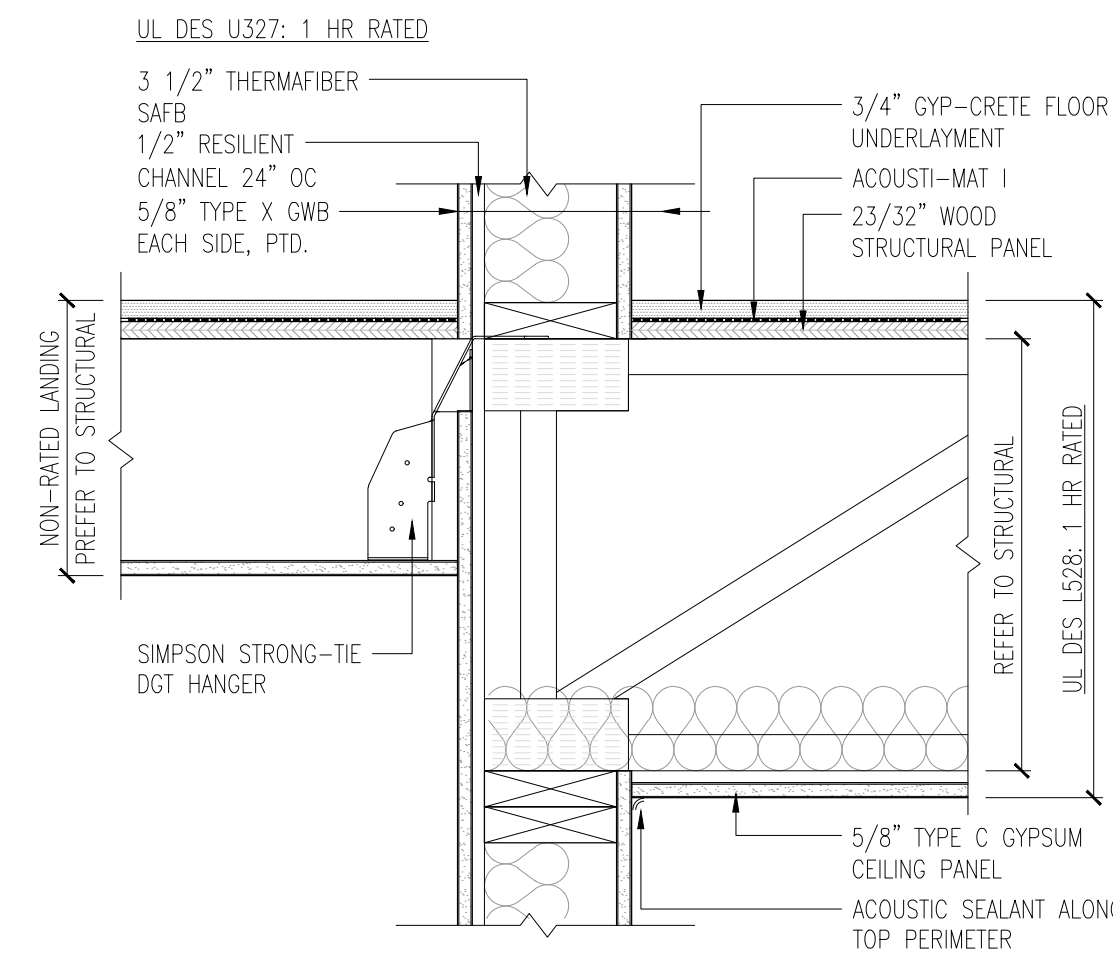
3 RATED STAIR WALL AT NONRATED ROOF
SCALE: 1-1/2" = 1'-0"



2 INTERMEDIATE LANDING SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



4 MAINTENANCE HATCH SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



1 FLOOR AT LANDING SECTION DETAIL
SCALE: 1-1/2" = 1'-0"

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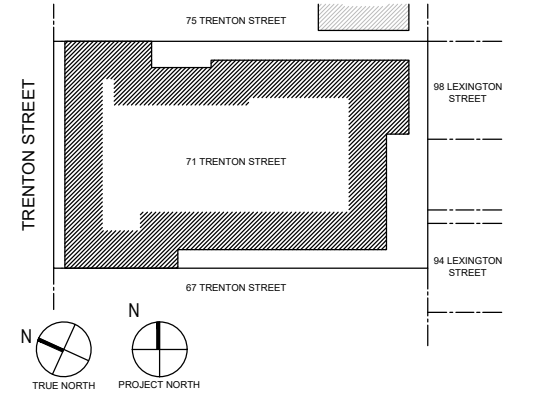
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PROJECT KEY PLAN:



SEAL:



DRAWN BY:

CHECKED BY: EZ

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TYPICAL DETAILS

PROJECT
No.: 0676
DATE: 03-07-2025
SCALE: AS INDICATED

SHEET
No.: **A705**