



City of Boston
Planning Department

Planning Department Design Review
81 Bushnell St, Dorchester
Neighborhood Design Overlay District
03.09.2026

Design

1. Window and door trim shall have the following minimum dimensions: 4" casings with 5" or 6" trim at head. Cornerboards shall be 8" wide at minimum.
2. Create an integrated awning over the front door to shield the entry from weather. Use a solid looking material and finish underneath the entire front porch and stairs.
3. Replace headhouse with a roof hatch.

General

4. All changes to the exterior and/or site plans shall be submitted to the Planning Department for review and approval.
5. All building improvements shall be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department.
6. All site improvements, including but not limited to hardscape & plantings, must be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department for a delay in completing site improvements.

Landscape/Street/Site

7. Existing street trees within the public right of way are to be protected & retained. Building, building protrusions, and construction shall not negatively impact the existing tree, critical root zone, nor impede the healthy growth of the tree's canopy.
8. Where impacts are unavoidable and public street trees must be removed, the proponent must apply for tree removal approval from the City's Tree Warden and provide mitigation as specified by the Parks and Recreation Department.
9. Public sidewalks fronting the project site should be upgraded to meet the Americans with Disabilities Act minimum 4' wide clear path of travel (exclusive of the 6" curb).

Building

10. All front porches and the rear porches shall have wood square edge decking. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.
11. Pressure treated lumber will not be allowed as an externally visible material for exterior decking. All pressure treated wood exposed to public views on the site shall be covered and shielded from view. Use of PVC, composite, and/or natural wood materials is acceptable.

81 BUSHNELL STREET, DORCHESTER MA

FRONT PORCH EXPANSION



LC Designs

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LC DESIGNS, 2208 E CORY ST. GODDARD, KS 67052 918-918-0771

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
1			LC	
2				
3				
4				
5				
6				
7				
8				
9				
10				

COVER PAGE

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA

MEMBER



AMERICAN INSTITUTE OF BUILDING DESIGN

SHEET:



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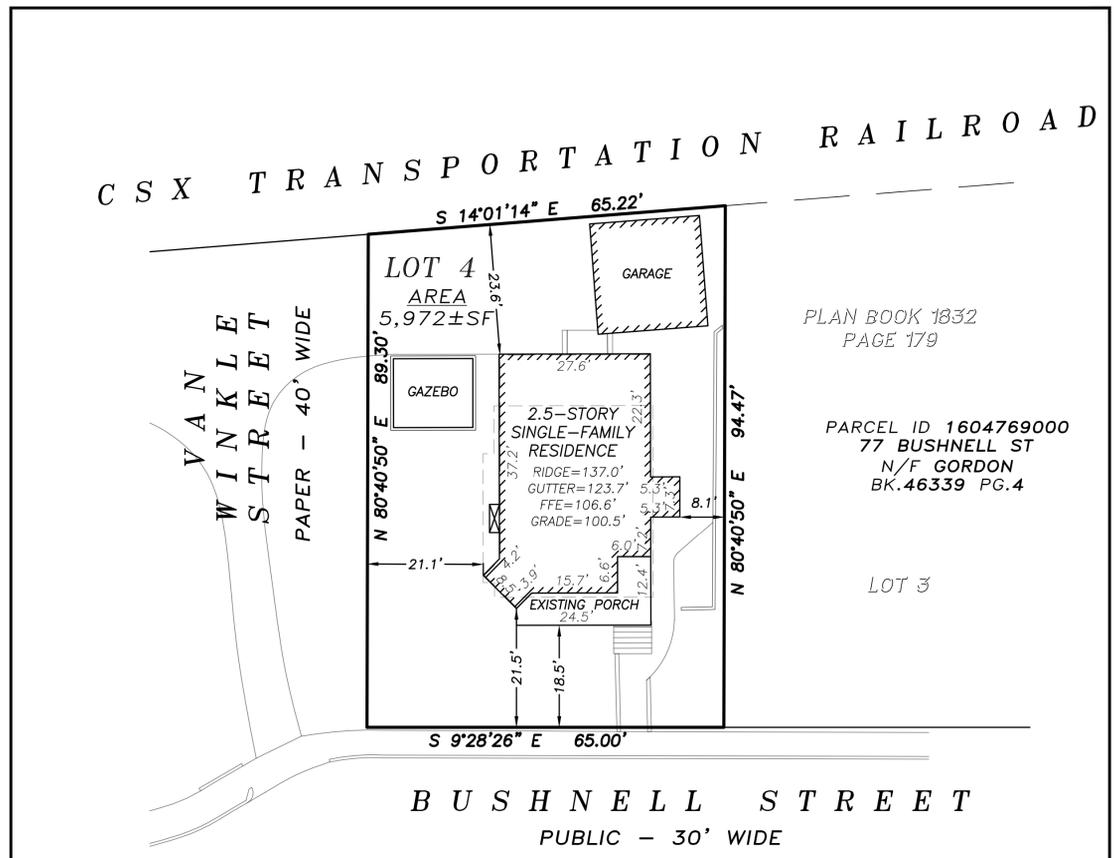
REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
1	03/10/2026	LC		

SURVEY/SITE PLAN

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA



SHEET:
C-1



PLAN BOOK 1832
PAGE 179
PARCEL ID 1604769000
77 BUSHNELL ST
N/F GORDON
BK.46339 PG.4

ABBREVIATIONS:

- CONC. INDICATES CONCRETE
- FFE INDICATES FINISH FLOOR ELEVATION
- NG INDICATES NATURAL GROUND

PROPERTY NOTES:

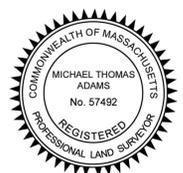
1. FLOOD PLAIN NOTE: NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25025C0091J, WITH A DATE OF IDENTIFICATION OF MARCH 16, 2016; FOR COMMUNITY NO. 250286, IN THE CITY OF BOSTON, COUNTY OF SUFFOLK, STATE OF MASSACHUSETTS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
2. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
3. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE.
4. THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY M.T. ADAMS & ASSOCIATES, PLLC IN DECEMBER OF 2025.
5. ELEVATION DATUM AND BEARING SYSTEM ARE ASSUMED.

PROPERTY INFO:

ADDRESS: 81 BUSHNELL STREET
 OWNER: ABDELKARIM GOUZOULE
 ASSESSORS: PARCEL ID: 1604770000
 DEED: SUFFOLK BK.33168 PG.251

**ZONING DISTRICT - DORCHESTER NEIGHBORHOOD
SUBDISTRICT 1F-7000**

	REQUIRED	EXISTING
LOT AREA	7,000 SF	5,972±SF
FRONTAGE	60'	65'
FRONT YARD	15'	18.5'
SIDE YARD	12'	8.1'
REAR YARD	40'	23.6'
BLDG HEIGHT	35'(MAX)	30'
OPEN SPACE	1,750 SF	1,750 SF



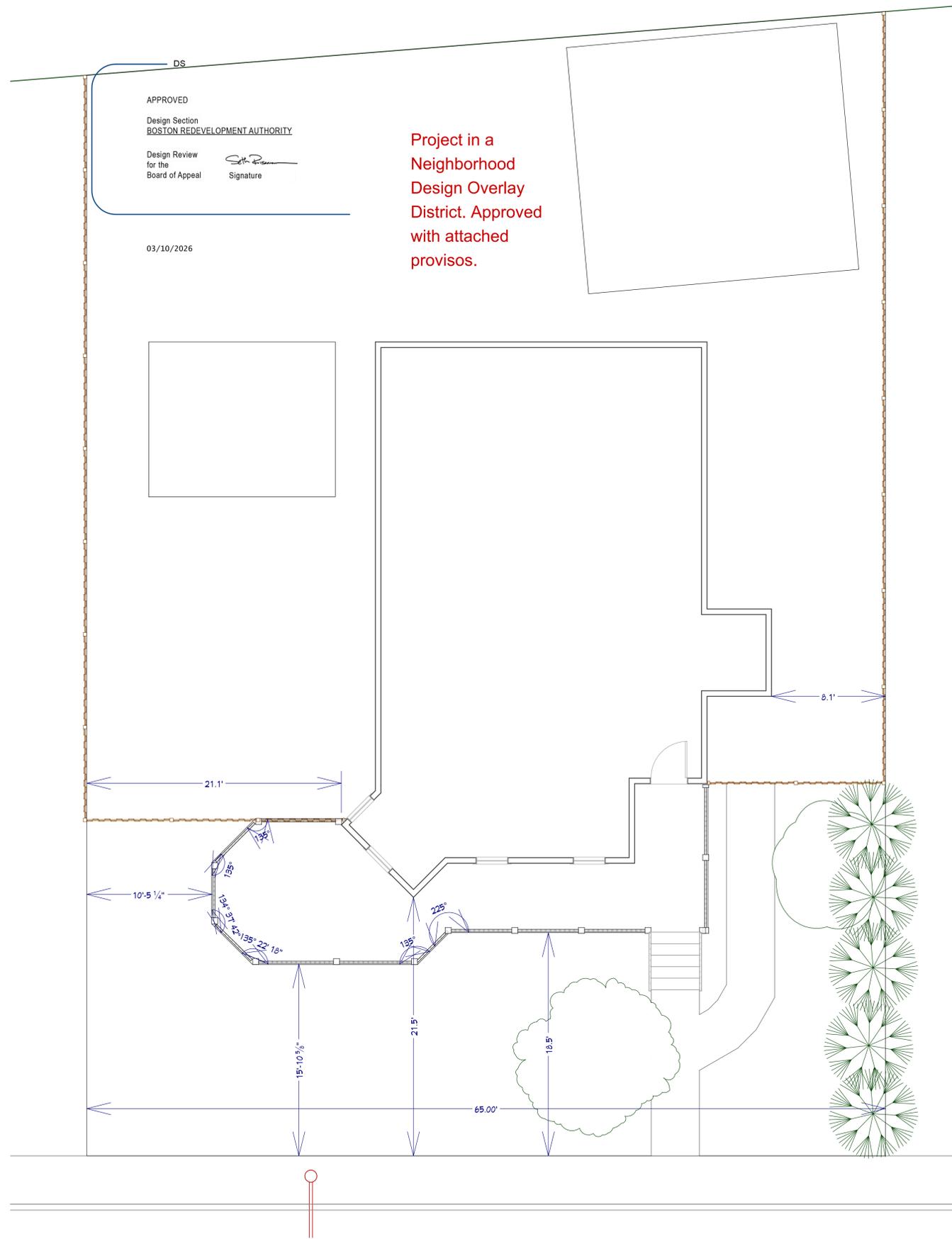
Michael T. Adams
MICHAEL T. ADAMS, P.L.S. 57492

CERTIFIED PLOT PLAN - EXISTING CONDITIONS

For the exclusive use of:
ABDELKARIM GOUZOULE
 81 BUSHNELL STREET
 DORCHESTER, MASSACHUSETTS 02124

M.T. ADAMS & ASSOCIATES
PRECISION SURVEY & MAPPING
 163 Highland Ave, No. 1106, Needham, Massachusetts 02494
 Phone: (978) 641-1727 www.masurveying.net

Date: 12-15-2025	Revised:	Revised:
Scale: 1"=20'	Drawn by: M.T.A.	Sheet 1 of 1 Sheet
Drawing: Bushnell St 81 CPP.dwg		A.P.N. 160477



APPROVED
 Design Section
 BOSTON REDEVELOPMENT AUTHORITY
 Design Review for the Board of Appeal
 Signature: *[Signature]*

03/10/2026

Project in a
 Neighborhood
 Design Overlay
 District. Approved
 with attached
 provisos.

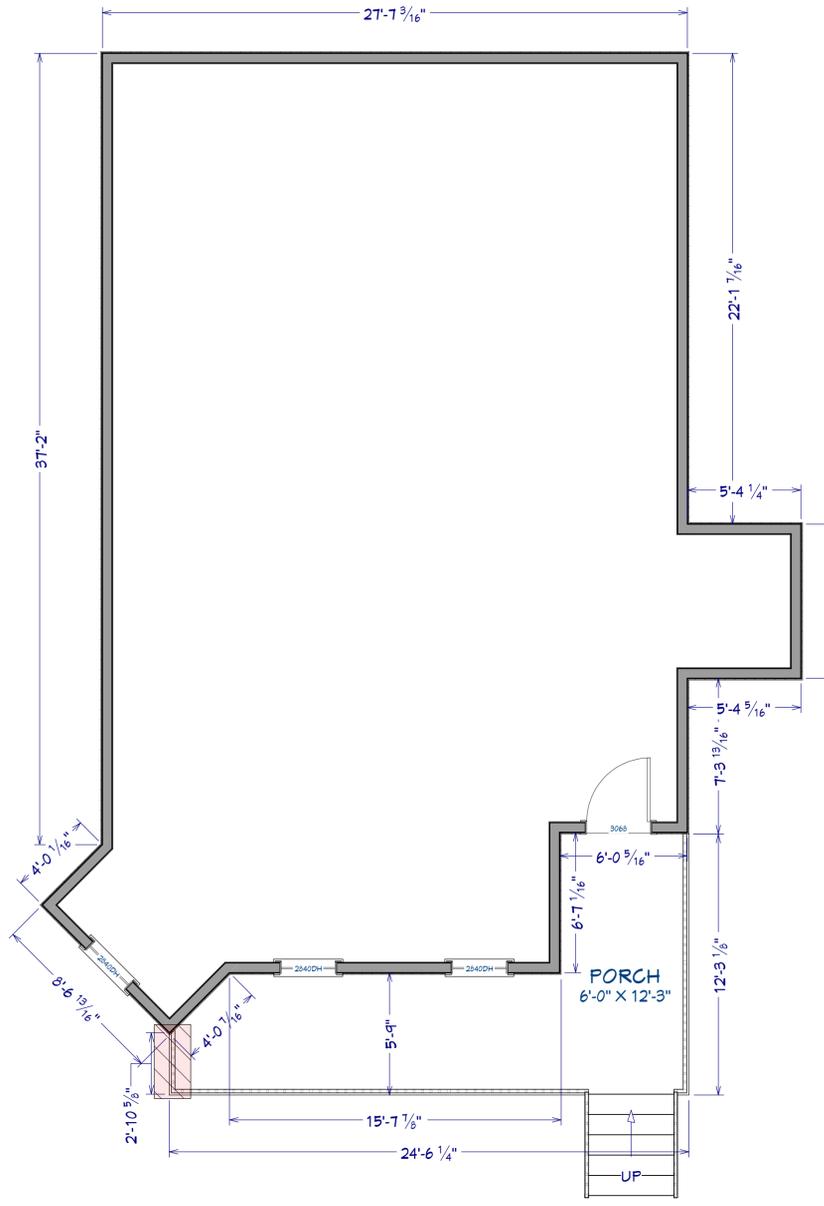
SITE PLAN
1 IN = 5 FT

 - DEMO AREA

NARRATIVE:
REMOVE EXISTING PORCH ROOF AND ANY OTHER WOOD THAT WARRANTS REPLACEMENT UNDER IRC GUIDELINES.
INSTALL NEW PATIO FOUNDATION AND SLAB TO MATCH EXISTING PATIO FINISHED FLOOR



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316-916-0771



1ST FLOOR
1/4 IN = 1 FT

REMOVE EXISTING ROOF

REMOVE RAILING



C1 CAMERA 1
1/4 IN = 1 FT

DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal

Signature

03/10/2026

Project in a
Neighborhood
Design Overlay
District. Approved
with attached
provisos.

REVISION TABLE
NUMBER DATE REVISION BY DESCRIPTION

NUMBER	DATE	REVISION	BY	DESCRIPTION
1			LC	

DEMOLITION PLAN

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA



SHEET:

P-2



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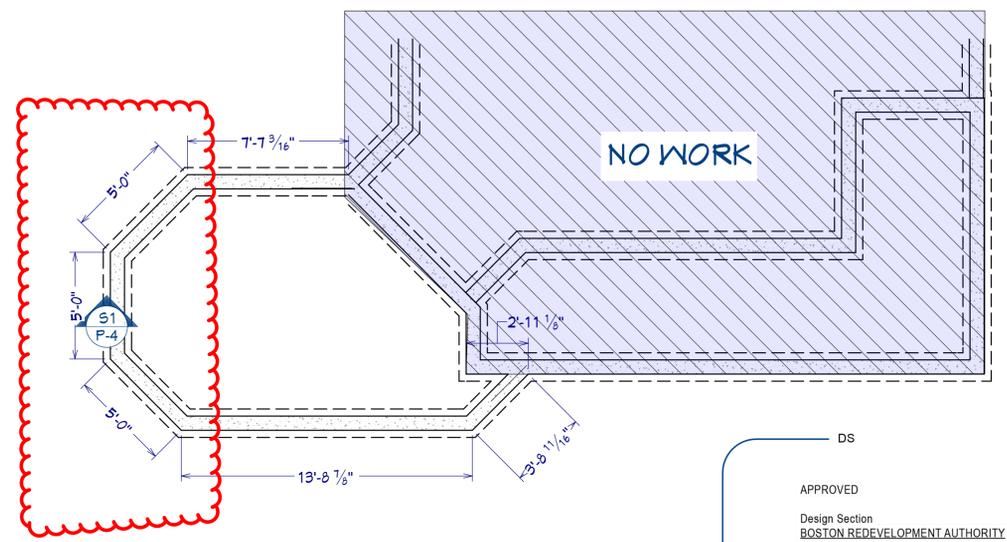
REVISION TABLE	NUMBER	DATE	REVISION
1	03/20/26		AS NOTED

PROPOSED LAYOUT

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA

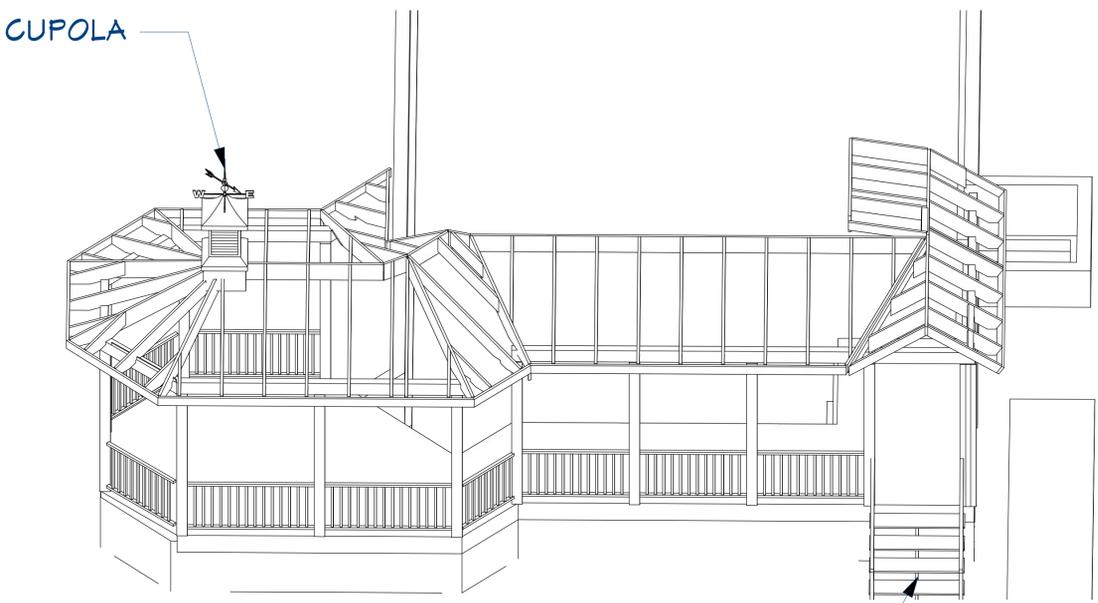
MEMBER
A I B D
AMERICAN INSTITUTE OF BUILDING DESIGN

SHEET:
P-3



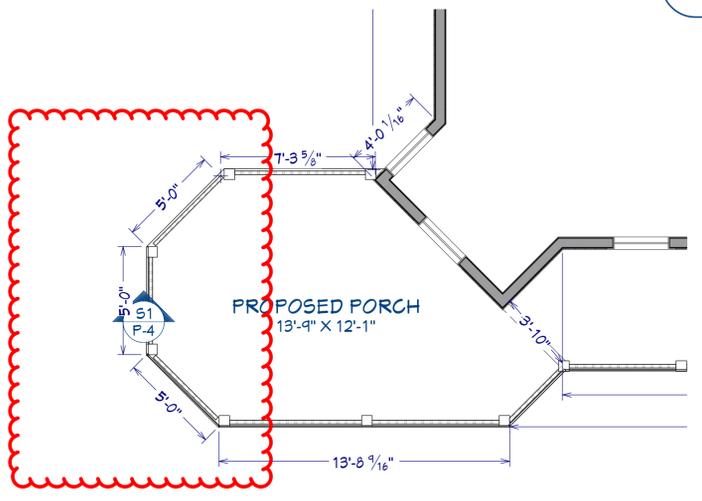
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03/10/2026

Project in a
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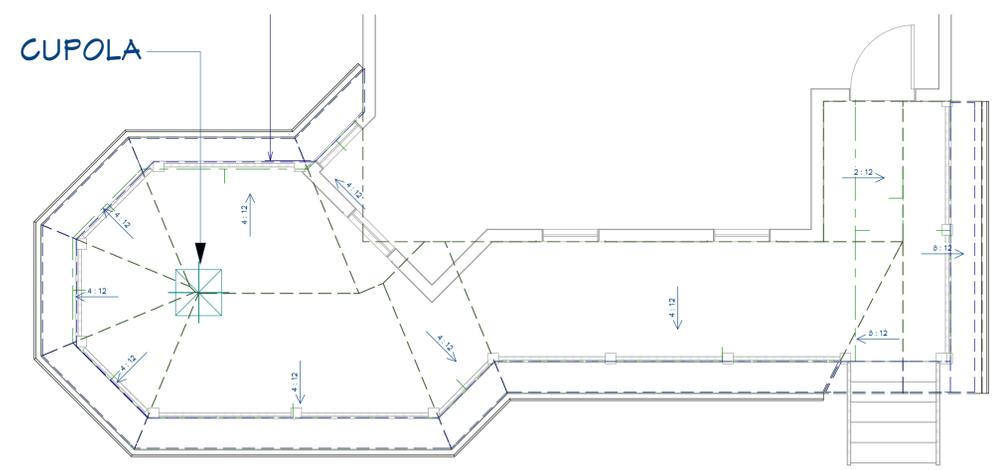


EXISTING STAIRS TO REMAIN, SHOWN FOR LOCATION ONLY.

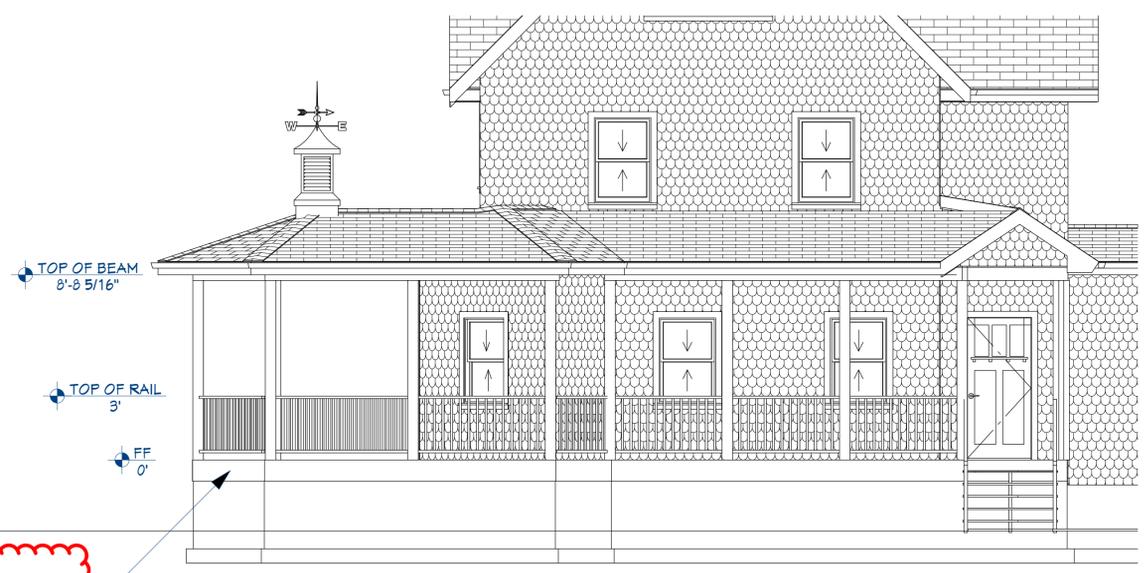
ANY EXPOSED WOOD TO BE CEDAR OR PVC WRAPPED PER AHJ.
AS DESIGNED THE ONLY EXPOSED WOOD SHOULD BE THE 6X6 CEDAR POSTS.

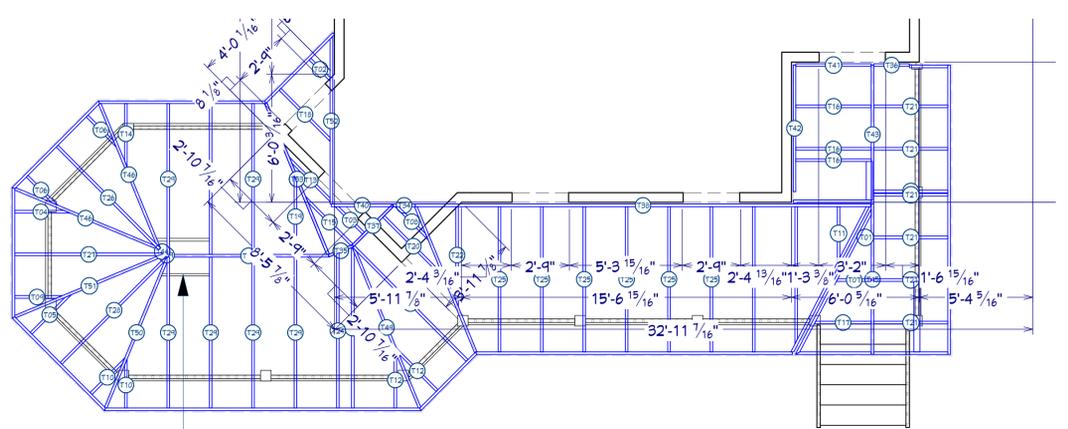


PLATIO LAYOUT PLAN
1/4 IN = 1 FT



1X12 HARDIE BOARD
TO MATCH EXISTING
ALL SIDES

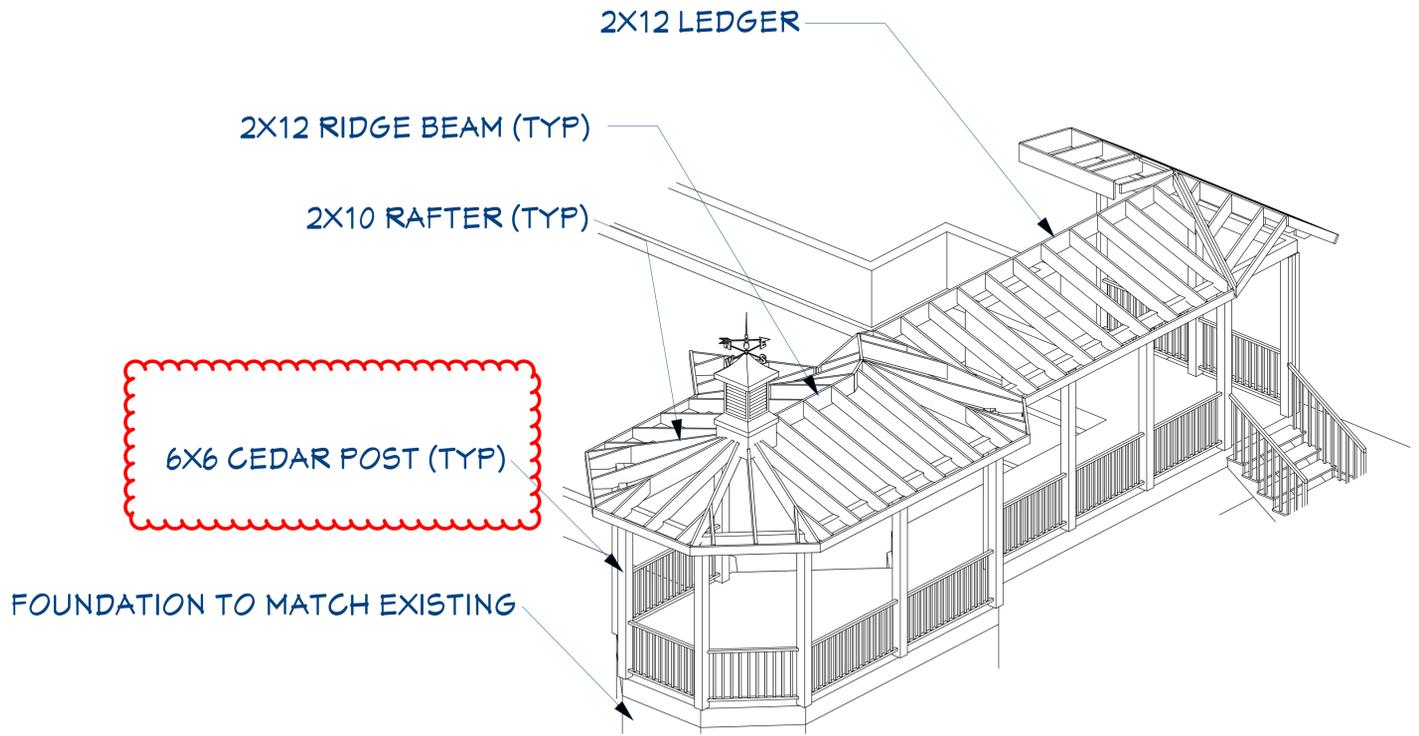




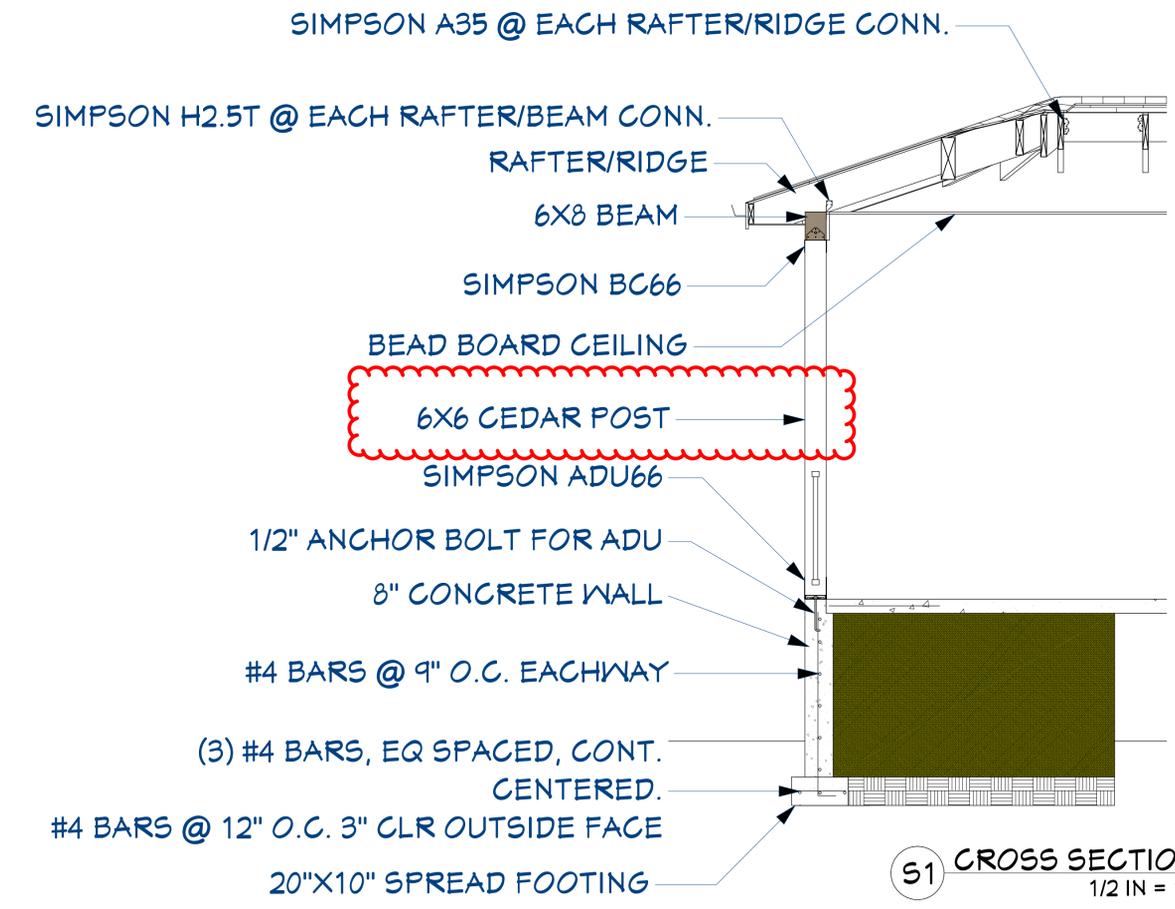
FRAMING, ROOF PLAN VIEW
1/4 IN = 1 FT

2X10 BLOCKING AS NEEDED FOR CUPOLA

ROOF FRAMING SCHEDULE						
NUMBER	NAME	QTY	NOMINAL	LENGTH	MATERIAL	TYPE
T01	RAFTER	1	2X10	1'-2 3/16"	FIR FRAMING 1	LUMBER
T02	RAFTER	1	2X10	1'-8 9/16"	FIR FRAMING 1	LUMBER
T03	RAFTER	1	2X10	2'-1 15/16"	FIR FRAMING 1	LUMBER
T04	RAFTER	1	2X10	2'-11 11/16"	FIR FRAMING 1	LUMBER
T05	RAFTER	1	2X10	2'-11 7/8"	FIR FRAMING 1	LUMBER
T06	RAFTER	2	2X10	2'-3 13/16"	FIR FRAMING 1	LUMBER
T07	RAFTER	1	2X10	2'-5 1/2"	FIR FRAMING 1	LUMBER
T08	RAFTER	1	2X10	2'-6 1/4"	FIR FRAMING 1	LUMBER
T09	RAFTER	1	2X10	2'-7 1/16"	FIR FRAMING 1	LUMBER
T10	RAFTER	2	2X10	2'-7 7/8"	FIR FRAMING 1	LUMBER
T11	RAFTER	1	2X10	3'	FIR FRAMING 1	LUMBER
T12	RAFTER	2	2X10	3'-1 7/8"	FIR FRAMING 1	LUMBER
T13	RAFTER	1	2X10	3'-2 1/2"	FIR FRAMING 1	LUMBER
T14	RAFTER	1	2X10	3'-4 1/2"	FIR FRAMING 1	LUMBER
T15	RAFTER	1	2X10	3'-6 5/8"	FIR FRAMING 1	LUMBER
T16	RAFTER	3	2X10	3'-8 13/16"	FIR FRAMING 1	LUMBER
T17	RAFTER	1	2X10	3'-8 5/8"	FIR FRAMING 1	LUMBER
T18	RAFTER	1	2X10	3'-9 15/16"	FIR FRAMING 1	LUMBER
T19	RAFTER	1	2X10	4'-1 11/16"	FIR FRAMING 1	LUMBER
T20	RAFTER	1	2X10	4'-6 9/16"	FIR FRAMING 1	LUMBER
T21	RAFTER	7	2X10	4'-8 5/8"	FIR FRAMING 1	LUMBER
T22	RAFTER	1	2X10	5'-2 1/8"	FIR FRAMING 1	LUMBER
T23	RAFTER	1	2X10	7'-0 7/16"	FIR FRAMING 1	LUMBER
T24	RAFTER	1	2X10	7'-11 3/16"	FIR FRAMING 1	LUMBER
T25	RAFTER	7	2X10	7'-5 5/16"	FIR FRAMING 1	LUMBER
T26	RAFTER	1	2X10	7'-5 7/16"	FIR FRAMING 1	LUMBER
T27	RAFTER	1	2X10	7'-7 5/16"	FIR FRAMING 1	LUMBER
T28	RAFTER	1	2X10	7'-8 1/2"	FIR FRAMING 1	LUMBER
T29	RAFTER	7	2X10	7'-8 11/16"	FIR FRAMING 1	LUMBER
T30	RAFTER	1	2X10	8'-2 11/16"	FIR FRAMING 1	LUMBER
T31	RAFTER	1	2X10	8'-2 7/16"	FIR FRAMING 1	LUMBER
T34	RAFTER RIDGE	1	2X12	1'-3 9/16"	FIR FRAMING 1	LUMBER
T35	RAFTER RIDGE	2	2X12	1'-4 3/8"	FIR FRAMING 1	LUMBER
T36	RAFTER RIDGE	1	2X12	2'-7 3/4"	FIR FRAMING 1	LUMBER
T37	RAFTER RIDGE	2	2X12	2'-8 1/8"	FIR FRAMING 1	LUMBER
T38	RAFTER RIDGE	1	2X12	21'-5 7/8"	FIR FRAMING 1	LUMBER
T39	RAFTER RIDGE	1	2X12	3 1/2"	FIR FRAMING 1	LUMBER
T40	RAFTER RIDGE	1	2X12	3'-2 1/2"	FIR FRAMING 1	LUMBER
T41	RAFTER RIDGE	1	2X12	3'-9 1/8"	FIR FRAMING 1	LUMBER
T42	RAFTER RIDGE	1	2X12	5'-11 3/8"	FIR FRAMING 1	LUMBER
T43	RAFTER RIDGE	1	2X12	6'-6 3/8"	FIR FRAMING 1	LUMBER
T44	RAFTER RIDGE	1	2X12	7 1/8"	FIR FRAMING 1	LUMBER
T45	RAFTER RIDGE	1	2X12	7'-0 13/16"	FIR FRAMING 1	LUMBER
T46	RAFTER RIDGE	2	2X12	7'-11 7/8"	FIR FRAMING 1	LUMBER
T47	RAFTER RIDGE	1	2X12	7'-6 13/16"	FIR FRAMING 1	LUMBER
T48	RAFTER RIDGE	1	2X12	8'-0 11/16"	FIR FRAMING 1	LUMBER
T49	RAFTER RIDGE	1	2X12	8'-10 1/4"	FIR FRAMING 1	LUMBER
T50	RAFTER RIDGE	1	2X12	8'-3 13/16"	FIR FRAMING 1	LUMBER
T51	RAFTER RIDGE	1	2X12	8'-3 3/8"	FIR FRAMING 1	LUMBER
T52	RAFTER RIDGE	1	2X12	8'-3 5/8"	FIR FRAMING 1	LUMBER
T53	RAFTER RIDGE	2	2X12	8'-4 1/8"	FIR FRAMING 1	LUMBER



C3 FRAMING INSOMETRIC
1/4 IN = 1 FT



S1 CROSS SECTION 1
1/2 IN = 1 FT

Project in a
Neighborhood
Design Overlay
District. Approved
with attached
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DS
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03/10/2026

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
1			LC	

STRUCTURAL DETAILS

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA

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SHEET:
P-4

