City of Boston
Planning Department

BPDA Design Review Provisos
38 Hillsdale St, Dorchester
Neighborhood Design Overlay District
8.26.2025

1. Approved as revised for changes to front elevation and site plan.
2. Any changes to the plans on these stamped sheets must be submitted to the BPDA for review and approval.
3. All building improvements shall be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department.
4. All site improvements, including but not limited to hardscape and plantings, must be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department for a delay in completing the site improvements.

Project

NEW ADDITION TO AN EXISTING SINGLE FAMILY HOUSE

38 HILLSDALE STREET
DORCHESTER MA

Prepared For:

PAULETTE ELLIS

38 HILLSDALE STREET
DORCHESTER MA

Architect

CLASSICAL HOMES LLC

32 CHESLEY ROAD
NEWTON MA 02459

List of Drawings

PLANS AND ELEVATIONS

COVER SHEET

A-1	FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN
A-3	BASEMENT FLOOR PLAN
A-4	ATTIC FLOOR PLAN
EL-1	FRONT ELEVATION
EL-2	LEFT ELEVATION
EL-3	REAR ELEVATION
EL-4	RIGHT ELEVATION
SECTION A	BUILDING SECTION
SECTION B	BUILDING SECTION

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
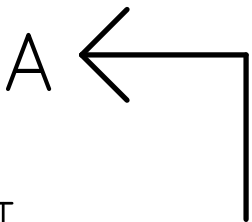COMMONWEALTH OF MASSACHUSETTS
No. 9635
BOSTON, MA

Hossein Vahedi

General Notes

1. BUILDING IS CLASSIFIED AS A SINGLE FAMILY HOUSE

2. INTERNATIONAL BUILDING AND MASSACHUSETTS BUILDING CODE LATEST EDITION SHALL PREVAIL AND CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING NOTES OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.

3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS, ETC.

4. BUILDING CONTRACTOR AND HIS SUBCONTRATOR SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES, ZONING BYLAW OF CITY OF BOSTON

5. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK.

6. CONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY CHANGES,MADE OR PLANNED ,BEFORE AND DURING CONSTRUCTION

7. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

8. THESE DRAWINGS HAVE BEEN PREPARED FOR CONSTRUCTION

ZONING INFORMATION

LOT SIZE: 3905 SQ.FT.
FLOOR AREA RATIO ALLOWED = 0.5
3907 SQ.FT. X 0.5 =1954 SQ.FT
FIRST FLOOR AREA=GROSS AREA 1040 SQ.FT.
SECOND FLOOR AREA = GROSS AREA 910 SQ.FT.
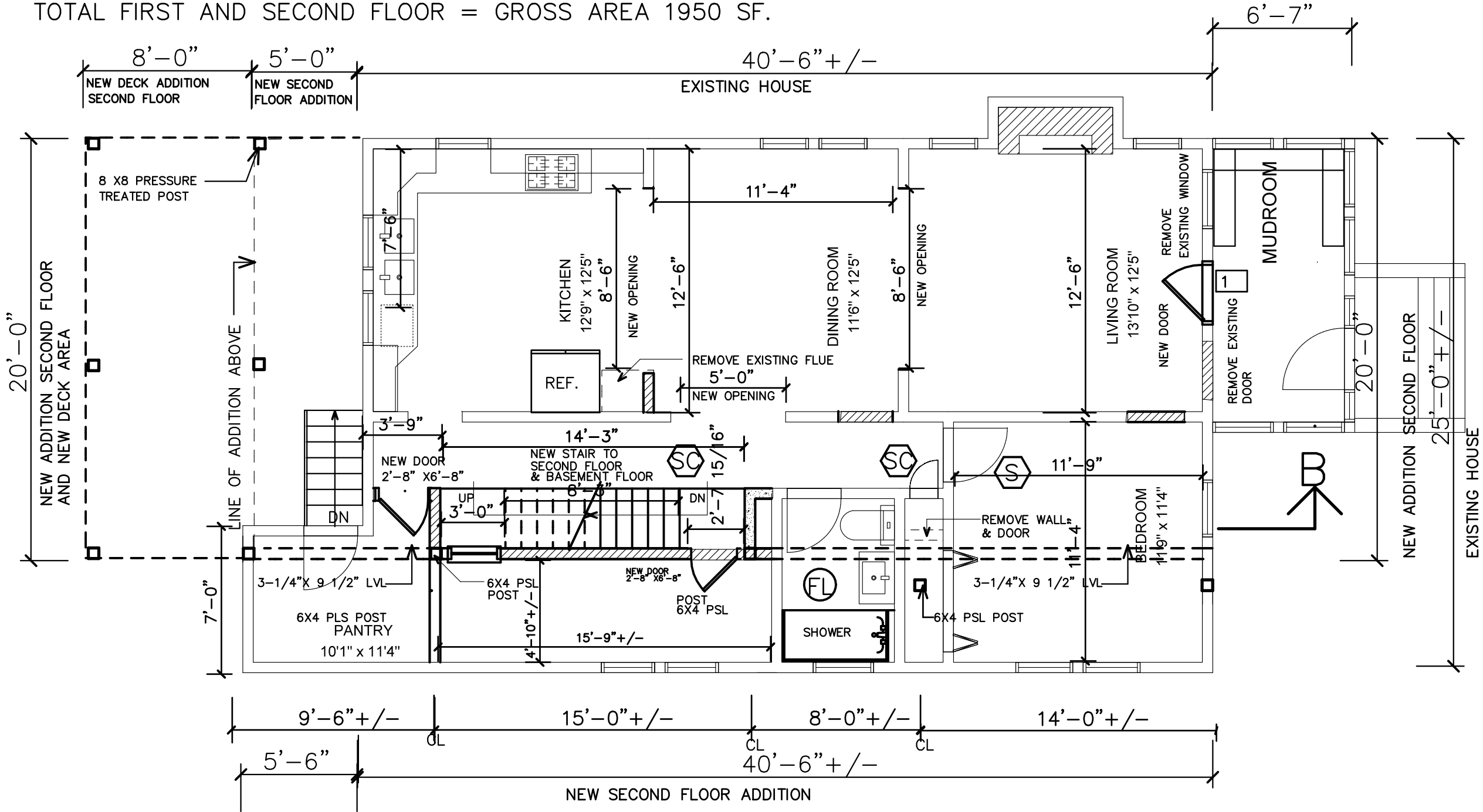TOTAL FIRST AND SECOND FLOOR = GROSS AREA 1950 SF.

A ←

REGISTERED ARCHITECT — HOSSEIN V. VAHEDI —
No. 9635
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

Hossein Vahedi

—————— EXISTING WALL

▨▨▨▨▨ PROPOSED WALL

HARVEY VINYL WINDOWS AND DOORS OR EQUAL
U FACTOR =0.30

TYPE	WINDOW & DOOR SCHEDULES	UNIT DIMENSION
A	DOUBLE HUNG	2'-8"X 4'-6"
B	DOUBLE HUNG	2'-4" X 3'-0"
C	DOUBLE HUNG TEMPERED GLASS BATHROOM AREA	2'-4" X 3'-0"
E	DOUBLE HUNG 2 UNITS	5'-2"X 4'-6"
1	SINGLE FRONT DOOR EXTERIOR	3'-0"X 7'-0"
2	FRENCH DOOR REAR EXTERIOR	5'-4" X 6'-8"

Floor plan labels

8'-0" NEW DECK ADDITION SECOND FLOOR
5'-0" NEW SECOND FLOOR ADDITION
40'-6"+/− EXISTING HOUSE
6'-7"

8 X8 PRESSURE TREATED POST

20'-0" NEW ADDITION SECOND FLOOR AND NEW DECK AREA

LINE OF ADDITION ABOVE

KITCHEN 12'9" X 12'5"
7'-6"
8'-6"
NEW OPENING
12'-6"
11'-4"
DINING ROOM 11'6" X 12'5"
8'-6" NEW OPENING
12'-6"
LIVING ROOM 13'10" X 12'5"
REMOVE EXISTING WINDOW
NEW DOOR
REMOVE EXISTING DOOR
MUDROOM
20'-0"
25'-0"+/−
NEW ADDITION SECOND FLOOR
EXISTING HOUSE

REF.
REMOVE EXISTING FLUE
5'-0" NEW OPENING

3'-9"
NEW DOOR 2'-8" X6'-8"
NEW STAIR TO SECOND FLOOR & BASEMENT FLOOR
14'-3"
15'/6"
SC
SC
S
11'-9"
B

DN
UP 3'-0"
8'-6"
DN 2'-7"
NEW DOOR 2'-8" X6'-8"
REMOVE WALL & DOOR
BEDROOM 11'9" X 11'4"
11'-4"

7'-0"
3-1/4"X 9 1/2" LVL
6X4 PLS POST PANTRY 10'1" X 11'4"
6X4 PSL POST
4'-10"+/−
POST 6X4 PSL
15'-9"+/−
FL
SHOWER
POST 6X4 PSL
6X4 PSL POST
3-1/4"X 9 1/2" LVL

9'-6"+/− | 15'-0"+/− | 8'-0"+/− | 14'-0"+/−
CL / CL / CL
5'-6"
40'-6"+/−
NEW SECOND FLOOR ADDITION

SMOKE & CARBON MONOXIDE

FL — FAN & LIGHT COMBINATION
S — SMOKE DETECTOR
SC — SMOKE & CARBON MONOXIDE
HD — HEAT DETECTOR

Title Block

ARCHITECT	OWNER	SHEET TITLE	PROJECT	REVISION	DATED	SCALE: 3/16"=1'-0"	DWG. NO.

ARCHITECT
CLASSICAL HOMES LLC
CUSTOM HOMES− RENOVATION−ADDITIONS
ARCHITECTURAL DESIGN
32 CHESLEY ROAD
NEWTON MA 02459
TEL: (617−733−8222)

OWNER
PAULETTE ELLIS
38 HILLSDALE STREET
DORCHESTER MA

SHEET TITLE
FIRST FLOOR PLAN

PROJECT
NEW ADDITION TO A SINGLE FAMILY HOUSE
38 HILLSDALE STREET
DORCHESTER MA

REVISION
REVISED
REVISED
REVISED
REVISED
REVISED
REVISED

DATED
8/23/2025
4/14/2025
3/28/2025
2/17/2025
3/14/2025
3/21/2025

SCALE: 3/16"=1'-0"
DATE: 2/2/2025
DRAWN BY: HV

DWG. NO.
A−1

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
No. 9635
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

Hossein Vahedi

A

EXISTING WALL

PROPOSED WALL

HARVEY VINYL WINDOWS AND DOORS OR EQUAL
U FACTOR =0.30

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SMOKE & CARBON MONOXIDE

FL FAN & LIGHT COMBINATION

S SMOKE DETECTOR

SC SMOKE & CARBON MONOXIDE

HD HEAT DETECTOR

8'-0"
NEW DECK ADDITION SECOND FLOOR

5'-0"
NEW SECOND FLOOR ADDITION

40'-6"+/-

2'-6" 10'-0" 8'-0" 6'-6" 16'-0" 2'-6" 6'-8"

20'-0"
NEW ADDITION SECOND FLOOR AND NEW DECK AREA

7'-6"

13'-6"

12'-6"

NEW DECK AREA
COMPOSITE DECK W/ NEW PVC POST AND RAILING

4'-0"

7'-0"

CLOSET

5'-

10'-0"

12'-6"

REMOVE EXISTING FLUE

CLOSET 6'-0"

SHOWER 5'-0"

FL

EXISTING ROOF AREA

10'-0"

12'-6"

CLOSET 6'-0"

25'-0"+/-
20'-0"
NEW ADDITION SECOND FLOOR

EXISTING HOUSE

SHOWER

9'-0"

6'-0"

SEAT

FL

4'-0"

SC

DN   UP TO ATTIC

3'-0"

3'-0"

3'-0"

OFFICE

CLOSET

SC

10'-0"

6'-0"

A

2'-

B

EXISTING ROOF AREA

B

B

4'-6" 7'-6" 10'-0"

9'-6"+/- 15'-0"+/- 8'-0"+/- 14'-0"+/-
CL   CL   CL   CL
CL   CL

5'-0"
NEW SECOND FLOOR ADDITION

40'-6"+/-

NEW SECOND FLOOR ADDITION

A ←

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———— EXISTING WALL

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8'-0"
NEW DECK ADDITION SECOND FLOOR

5'-0"
NEW ADDITION

40'-6"+/−
EXISTING HOUSE

6'-8"

FOUNDATION EXISTING STONE

10" CONC. SONOTUBE W/ 24" CONC. BIG FOOT

20'-0"
NEW ADDITION SECOND FLOOR AND NEW DECK AREA

LAUNDRY 11'5" x 12'0"

BEDROOM 15'10" x 12'1"

REMOVE EXISTING FLUE

W.I.C.

6'10" x 4'9"

ROOF AREA

20'-0"
NEW ADDITION SECOND FLOOR

25'-0"+/−
EXISTING HOUSE

RELOCATE EXISTING BOILER PROVIDE SIDE VENT

14'-3"

3'-8"

HALLWAY 8'1" x 4'3"

BEDROOM 15'3" x 13'1"

EXISTING STONE FOUNDATION

SC

NEW STAIR TO FIRST FLOOR

UP

3'-0"

5'-3"

3'-0"

BATHROOM 7'7" x 7'4"

FL

3-1/4"X 9 1/2" LVL

2'-0" X2'-0" X 10" NEW CONC. FOOTING

6X4 PSL POST

6X4 PSL POST

6X4 PSL POST

5'-6"

EXISTING STONE FOUNDATION

EXISTING STONE FOUNDATION

3'-6"+/− CL

15'-0"+/− CL

8'-0"+/− CL

14'-0"+/−

40'-6"+/− NEW ADDITION

SMOKE & CARBON MONOXIDE

FL FAN & LIGHT COMBINATION

S SMOKE DETECTOR

SC SMOKE & CARBON MONOXIDE

HD HEAT DETECTOR

NOTE: PROVIDE INTERIOR PERIMETER DRAIN SYSTEM IN BASEMENT AREA

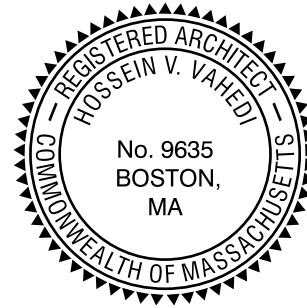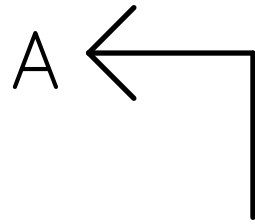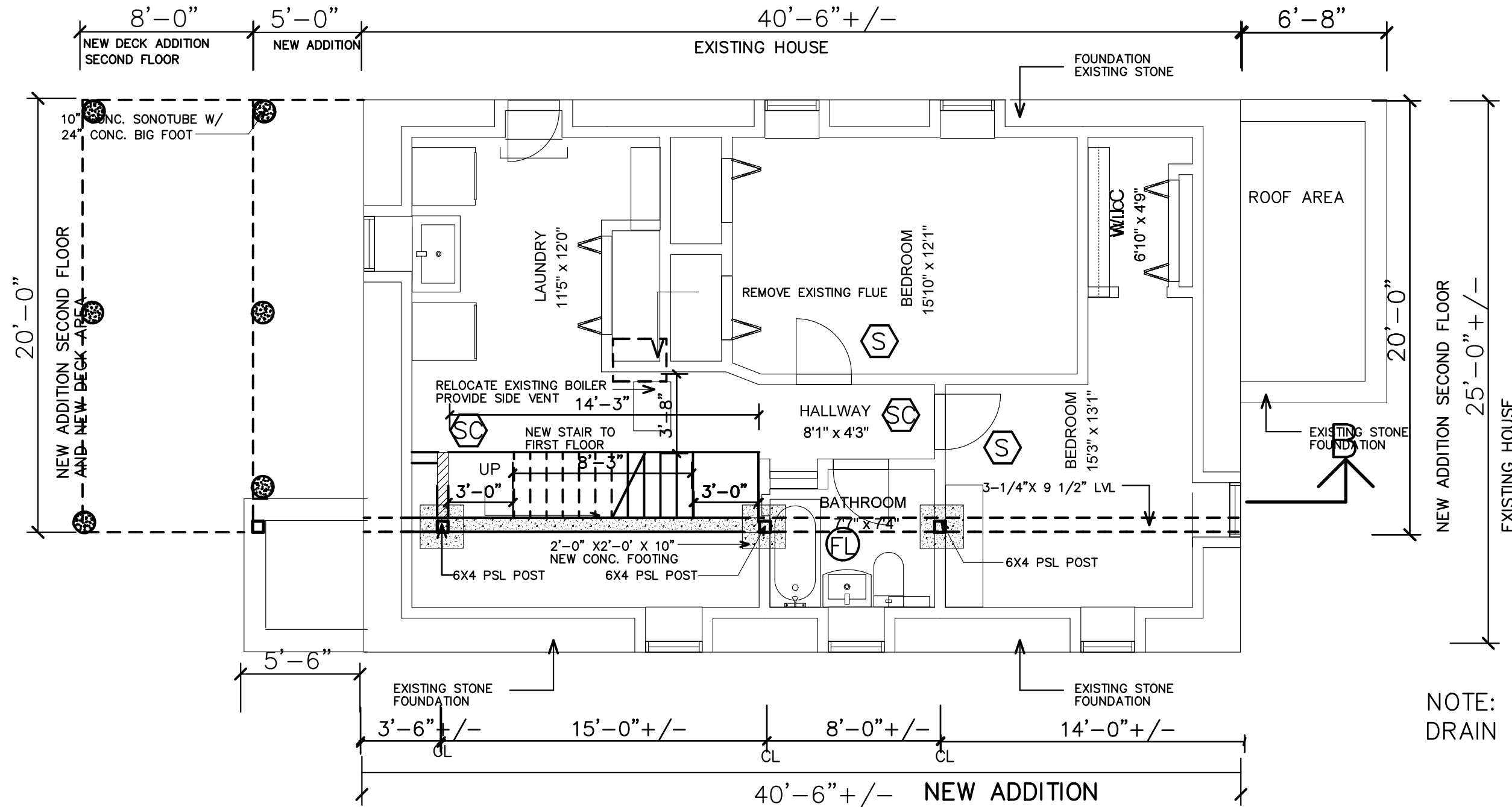| ARCHITECT CLASSICAL HOMES LLC CUSTOM HOMES− RENOVATION−ADDITIONS ARCHITECTURAL DESIGN 32 CHESLEY ROAD NEWTON MA 02459 TEL: (617-733-8222) | | OWNER PAULETTE ELLIS 38 HILLSDALE STREET DORCHESTER MA | SHEET TITLE BASEMENT FLOOR PLAN | PROJECT NEW ADDITION TO A SINGLE FAMILY HOUSE 38 HILLSDALE STREET DORCHESTER MA | REVISION REVISED REVISED REVISED REVISED REVISED REVISED | DATED 8/23/2025 4/14/2025 3/28/2025 2/17/2025 3/14/2025 3/21/2025 | SCALE: 3/16"=1'-0" DATE: 2/2/2025 DRAWN BY: HV | DWG. NO. A−3 |

ATTIC FLOOR CALCULATION → A

SECOND FLOOR AREA = 910 SQ.FT.
ATTIC AREA @ 7'-3" OF FLOOR BELOW
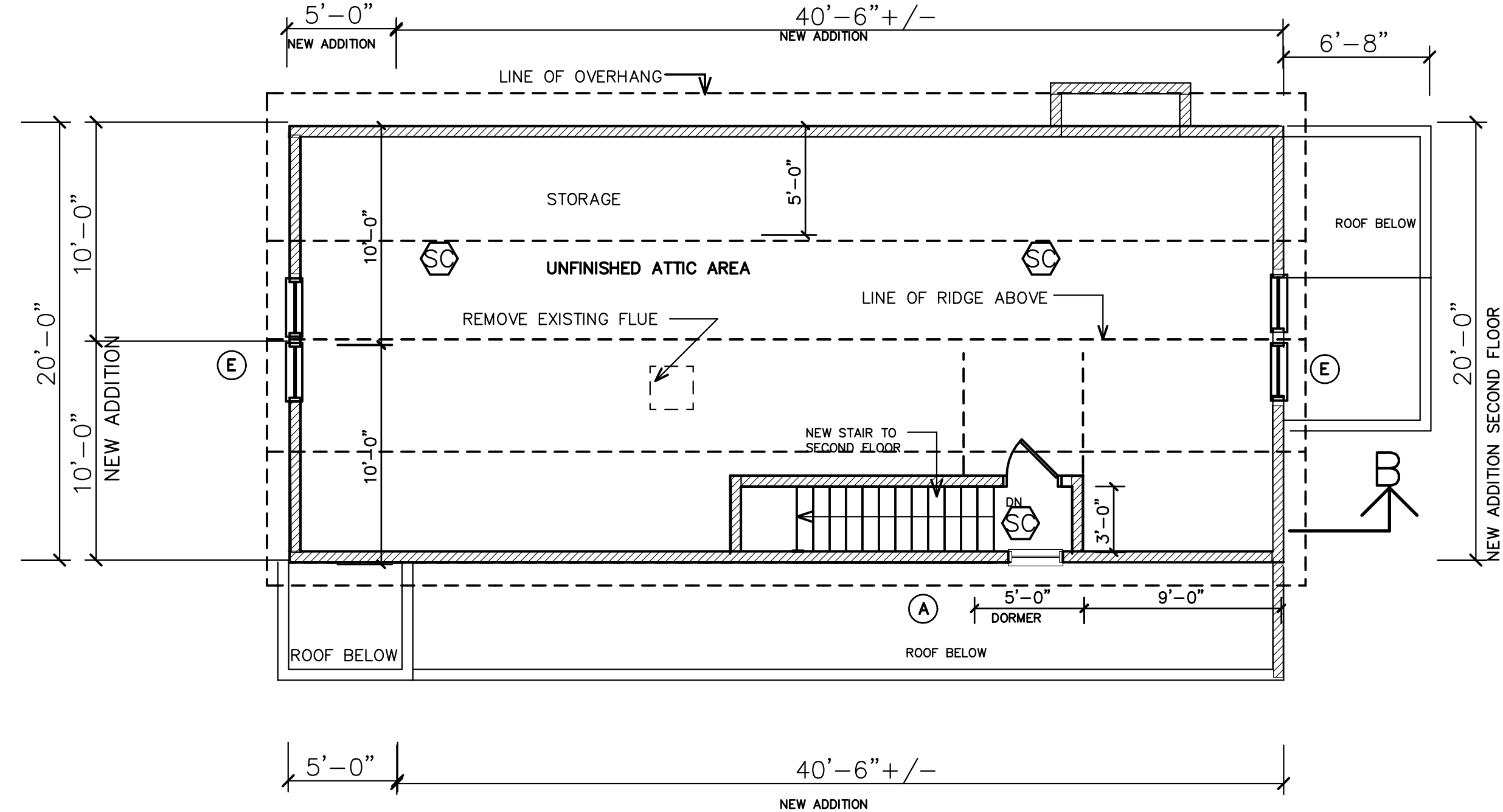ALLOWED 50% OF FLOOR BELOW = 455 SF.FT.
PROPOSED ATTIC AREA = 432 SQ.FT.

Hossein Vahedi

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
No. 9635
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

EXISTING WALL

PROPOSED WALL

HARVEY VINYL WINDOWS AND DOORS OR EQUAL
U FACTOR = 0.30

TYPE	WINDOW & DOOR SCHEDULES	UNIT DIMENSION
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1	SINGLE FRONT DOOR EXTERIOR	3'-0" X 7'-0"
2	FRENCH DOOR REAR EXTERIOR	5'-4" X 6'-8"

5'-0" NEW ADDITION

40'-6"+/- NEW ADDITION

6'-8"

LINE OF OVERHANG

STORAGE

UNFINISHED ATTIC AREA

5'-0"

ROOF BELOW

REMOVE EXISTING FLUE

LINE OF RIDGE ABOVE

10'-0"

20'-0" NEW ADDITION

10'-0"

NEW STAIR TO SECOND FLOOR

DN SC

SC

E

E

20'-0" NEW ADDITION SECOND FLOOR

B

EXISTING HOUSE

3'-0"

A

5'-0" DORMER

9'-0"

ROOF BELOW

ROOF BELOW

5'-0" NEW ADDITION

40'-6"+/- NEW ADDITION

SMOKE & CARBON MONOXIDE

FL — FAN & LIGHT COMBINATION
S — SMOKE DETECTOR
SC — SMOKE & CARBON MONOXIDE
HD — HEAT DETECTOR

ARCHITECT		OWNER	SHEET TITLE	PROJECT	REVISION	DATED	SCALE: 3/16"=1'-0"	DWG. NO.
CLASSICAL HOMES LLC		PAULETTE ELLIS	ATTIC FLOOR AREA	NEW ADDITION TO A SINGLE FAMILY HOUSE	REVISED REVISED REVISED REVISED	8/23/2025 4/14/2025 3/28/2025 2/17/2025		A-4
CUSTOM HOMES- RENOVATION-ADDITIONS ARCHITECTURAL DESIGN					REVISED REVISED	3/14/2025 3/21/2025	DATE: 2/2/2025	
32 CHESLEY ROAD NEWTON MA 02459 TEL: (617-733-8222)		38 HILLSDALE STREET DORCHESTER MA		38 HILLSDALE STREET DORCHESTER MA			DRAWN BY: HV	

20'-0"
NEW ADDITION

EXTENDED EXISTING
BRICK CHIMNEY
3'-0" ABOVE
RIDGE LINE

DORMER

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
No. 9635
BOSTON,
MA
COMMONWEALTH OF MASSACHUSETTS

Hossein Vahedi

EXISTING ROOF

NEW WINDOW

CEILING HEIGHT 10'-0"+/-

E

DS

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal   Signature

BUILDING HEIGHT 32'-0"+/-

CEILING HEIGHT 8'-0"+/-

A   A

FIN. SECOND FLOOR

08/28/2025

CEILING HEIGHT 8'-3"

9'-3"

FIN. FIRST FLOOR

FIN. GRADE

FIN.GRADE

2'-9"

11'-6"   14'-0"

CEILING HEIGHT 7'-7"

25'-6"

EXISTING FIN. BASEMENT

Neighborhood design overlay district project. Approved with attached provisos

4'-0"

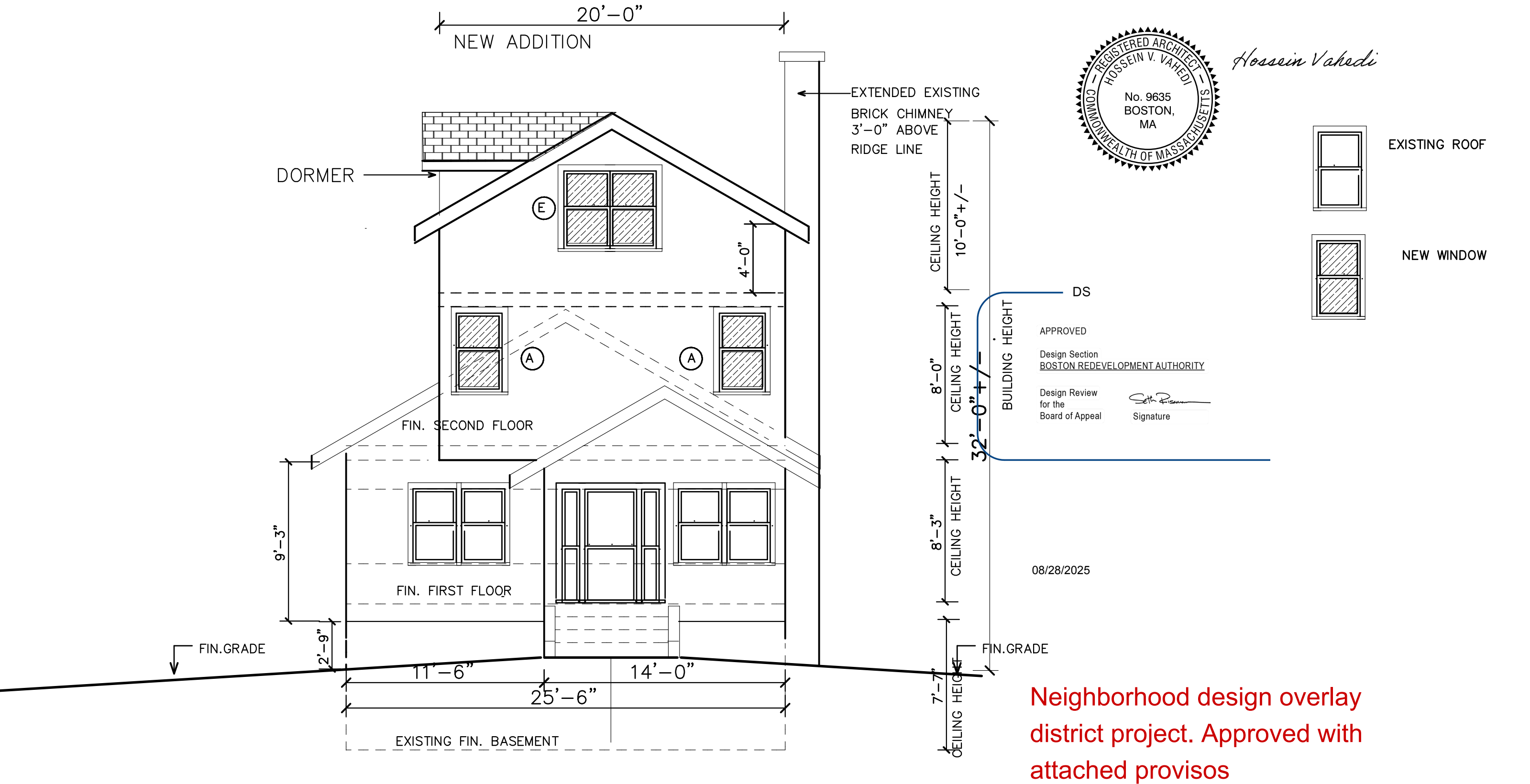| ARCHITECT
CLASSICAL HOMES LLC
CUSTOM HOMES- RENOVATION-ADDITIONS
ARCHITECTURAL DESIGN
32 CHESLEY ROAD
NEWTON MA 02459
TEL: (617-733-8222) | | OWNER
PAULETTE ELLIS
38 HILLSDALE STREET
DORCHESTER MA | SHEET TITLE
FRONT ELEVATION | PROJECT
NEW ADDITION TO A
SINGLE FAMILY HOUSE
38 HILLSDALE STREET
DORCHESTER MA | REVISION
REVISED
REVISED
REVISED | DATED
8/23/2025
4/12/2025
4/8/2025 | SCALE:
3/16"=1'-0"
DATE:
2/5/2025
DRAWN BY:
HV | DWG. NO.
EL-1 |

EXISTING ROOF

NEW WINDOW

NEW ROOF

NEW SIDING TO MATCH EXISTING PROFILE

2X4 BRACING

NEW 8X8 P.T. POST

FIN. GRADE

10" CONC. SONO TUBE ON CONC. 24" DIA. BIG FOOT

45'−6"
NEW ADDITION

8'−0"
NEW DECK

5'−0"
NEW ADDITION

40'−6"

6'−0"

9'−0"

NEW DORMER

TOP OF ROOF NEW ROOF

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
No. 9635
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

Hossein Vahedi

A

B   B

EXISTING ROOF

3'−0"

B

FIN. FIRST FLOOR

EXISTING STONE FOUNDATION

14'−6"

FIN. GRADE

EXISTING FIN. BASEMENT

8'−0"
NEW DECK

5'−0"
NEW ADDITION

40'−6"

6'−8"

NEW ADDITION   NEW ADDITION

BUILDING HEIGHT
32'−0" +/−

10'−0" +/−   CEILING HEIGHT   ATTIC FLOOR PLAN

8'−0"   CEILING HEIGHT   FIN. SECOND FLOOR

8'−3"   CEILING HEIGHT   FIN. FIRST FLOOR
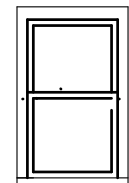
2'−8"   FIN. GRADE

7'−7"   CEILING HEIGHT   FIN. BASEMENT FLOOR

| ARCHITECT CLASSICAL HOMES LLC CUSTOM HOMES− RENOVATION−ADDITIONS ARCHITECTURAL DESIGN 32 CHESLEY ROAD NEWTON MA 02459 TEL: (617-733-8222) | OWNER PAULETTE ELLIS 38 HILLSDALE STREET DORCHESTER MA | SHEET TITLE LEFT ELEVATION | PROJECT NEW ADDITION TO A SINGLE FAMILY HOUSE 38 HILLSDALE STREET DORCHESTER MA | REVISION REVISED REVISED | DATED 4/12/2025 4/8/2025 | SCALE: 3/16"=1'−0" DATE: 2/5/2025 DRAWN BY: HV | DWG. NO. EL−2 |

20'-0"
NEW ADDITION

Hossein Vahedi

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
No. 9635
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

EXTENDED EXISTING
BRICK CHIMNEY
3'-0" ABOVE
RIDGE LINE

NEW ROOF

DORMER

EXISTING ROOF

NEW WINDOW

E

FIN. SECOND FLOOR

4'-0"

CEILING HEIGHT

10'-0"+/-

NEW SIDING TO MATCH
EXISTING PROFILE

2

PVC RAILING AND POST

COMPOSITE DECKING
NEW 2X10 @16"
P.T. FLOOR JOIST
NEW 2X10 P.T. BEAM

3'-0"

FIN. SECOND FLOOR

CEILING HEIGHT

8'-0"

BUILDING HEIGHT

32'-0"+/-

NEW 10" DIA.
FIBERGLASS COLUMN

CEILING HEIGHT

8'-3"

FIN. FIRST FLOOR

EXISTING STAIR

NEW 8X8 P.T. POST

4'-7"+/-

4'-0"

8X 8 P.T. POST

2'-8"+/-

7'-7"

CEILING HEIGHT

18'-6"

7'-0"

10" CONC. SONO TUBE
ON CONC. 24" DIA. W/
BIG FOOT

4'-0"

FIN. BASEMENT FLOOR

10" CONC. SONOTUBE
W/ 12"BIG FOOT

25'-6"
EXISTING HOUSE

ARCHITECT	OWNER	SHEET TITLE	PROJECT	REVISION	DATED	SCALE: 3/16"=1'-0"	DWG. NO.
CLASSICAL HOMES LLC CUSTOM HOMES- RENOVATION-ADDITIONS ARCHITECTURAL DESIGN 32 CHESLEY ROAD NEWTON MA 02459 TEL: (617-733-8222)	PAULETTE ELLIS 38 HILLSDALE STREET DORCHESTER MA	REAR ELEVATION	NEW ADDITION TO A SINGLE FAMILY HOUSE 38 HILLSDALE STREET DORCHESTER MA	REVISED REVISED	4/12/2025 4/8/2025	DATE: 2/3/2025 DRAWN BY: HV	EL-3

Hossein Vahedi

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No. 9635
BOSTON,
MA
COMMONWEALTH OF MASSACHUSETTS

EXISTING ROOF

NEW ROOF

40'-6"

5'-0"

TOP OF ROOF

EXTEND EXISTING CHIMNEY

NEW ROOF

NEW WINDOW

NEW SIDING TO MATCH
EXISTING PROFILE

BUILDING HEIGHT

32'-0" +/-

6'-0" +/- CEILING HEIGHT

ATTIC FLOOR PLAN

8'-0" CEILING HEIGHT

FIN. SECOND FLOOR

EXISTING
BRICK FIREPLACE

(A)   (A)   (A)   (A)   (A)

8'-3" CEILING HEIGHT

FIN. FIRST FLOOR

NEW 10" DIA.
COLUMN

3'-0"

2'-8"

7'-7" CEILING HEIGHT

FIN.GRADE

EXISTING STONE FOUNDATION

NEW 6X6 P.T. POST

FIN. GRADE

6'-8"

FIN. BASEMENT FLOOR

EXISTING FIN. BASEMENT

10" CONC. SONO TUBE
ON CONC. 24" DIA.
BIG FOOT

40'-6"

5'-0"

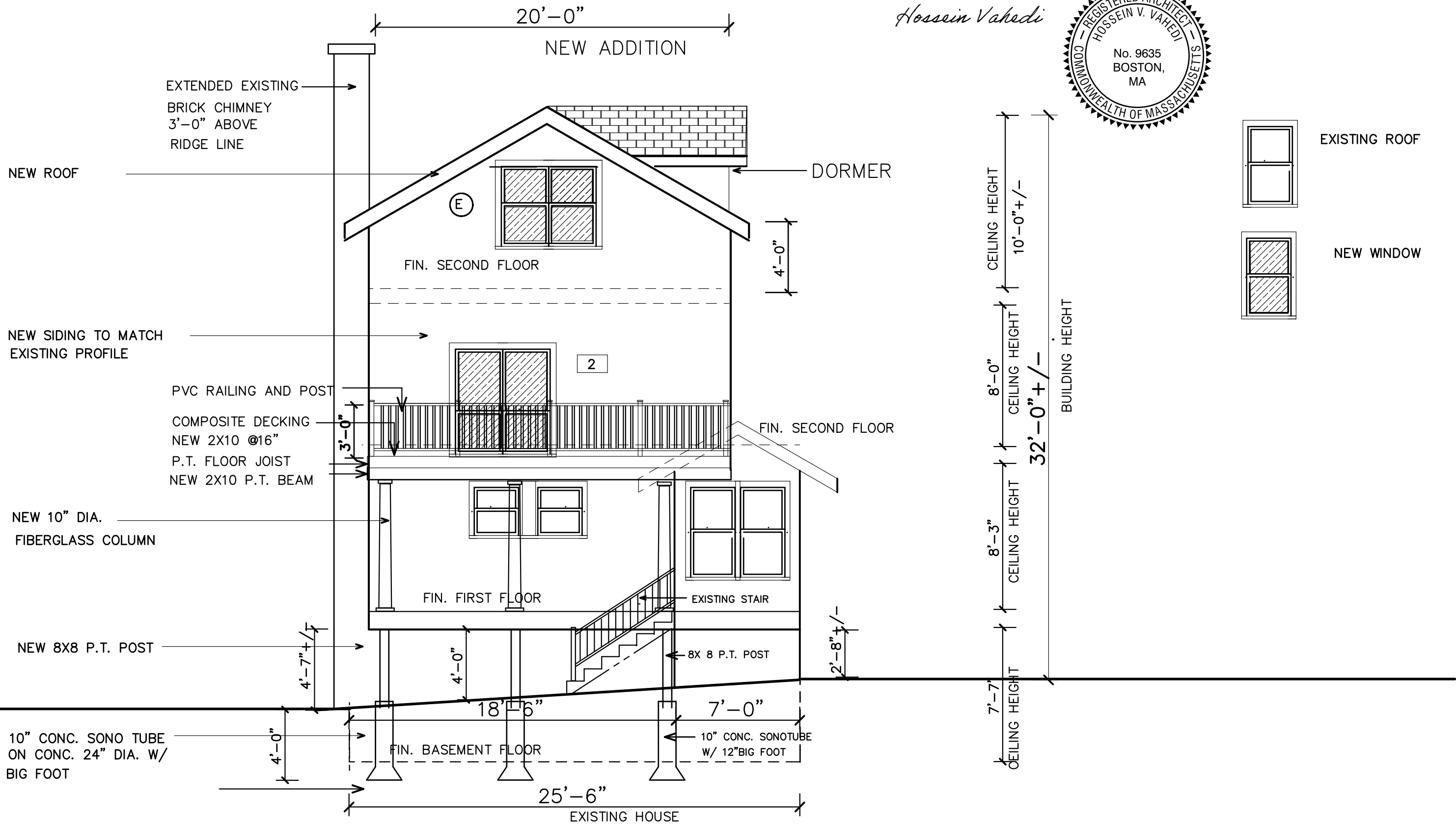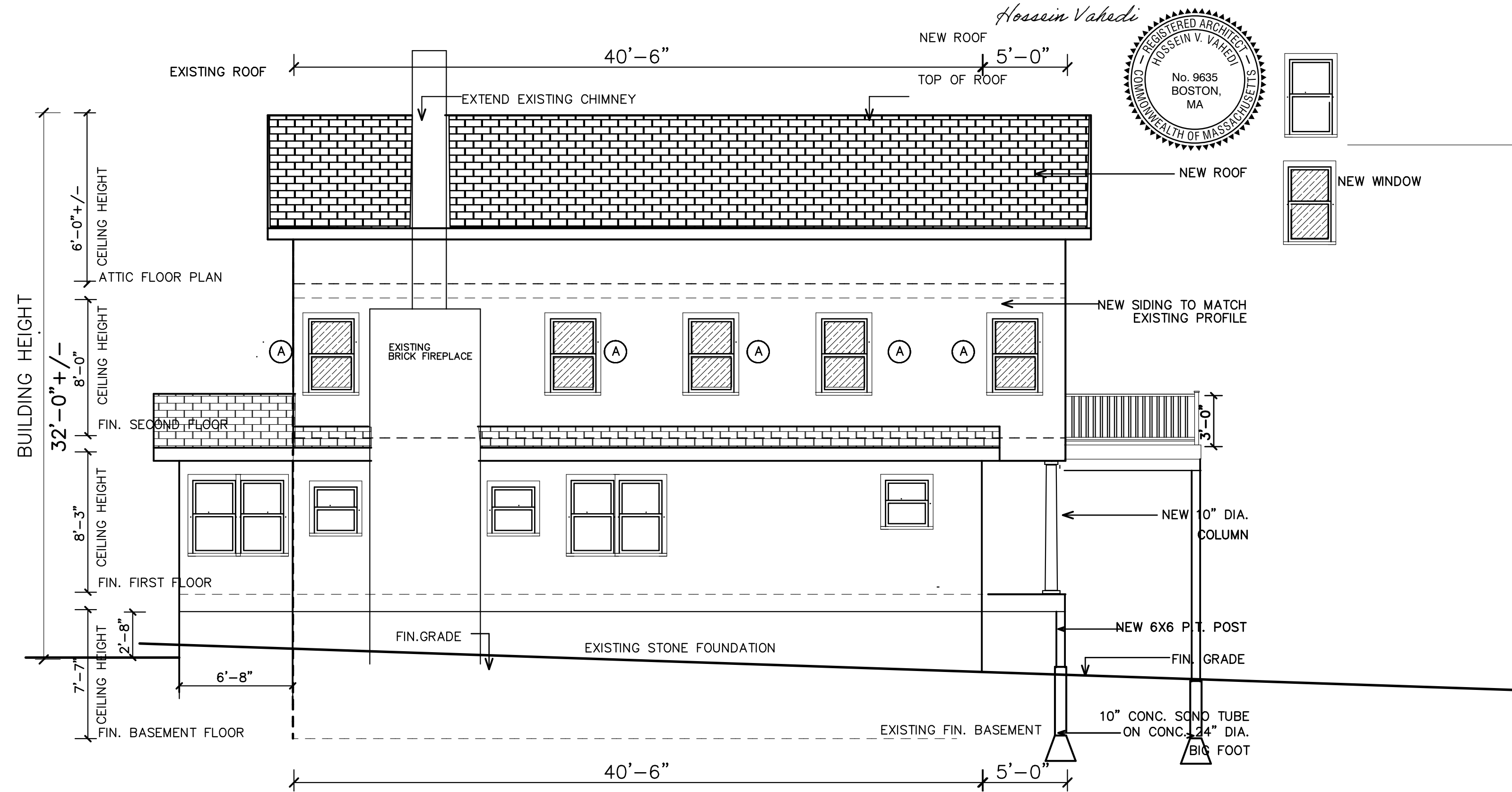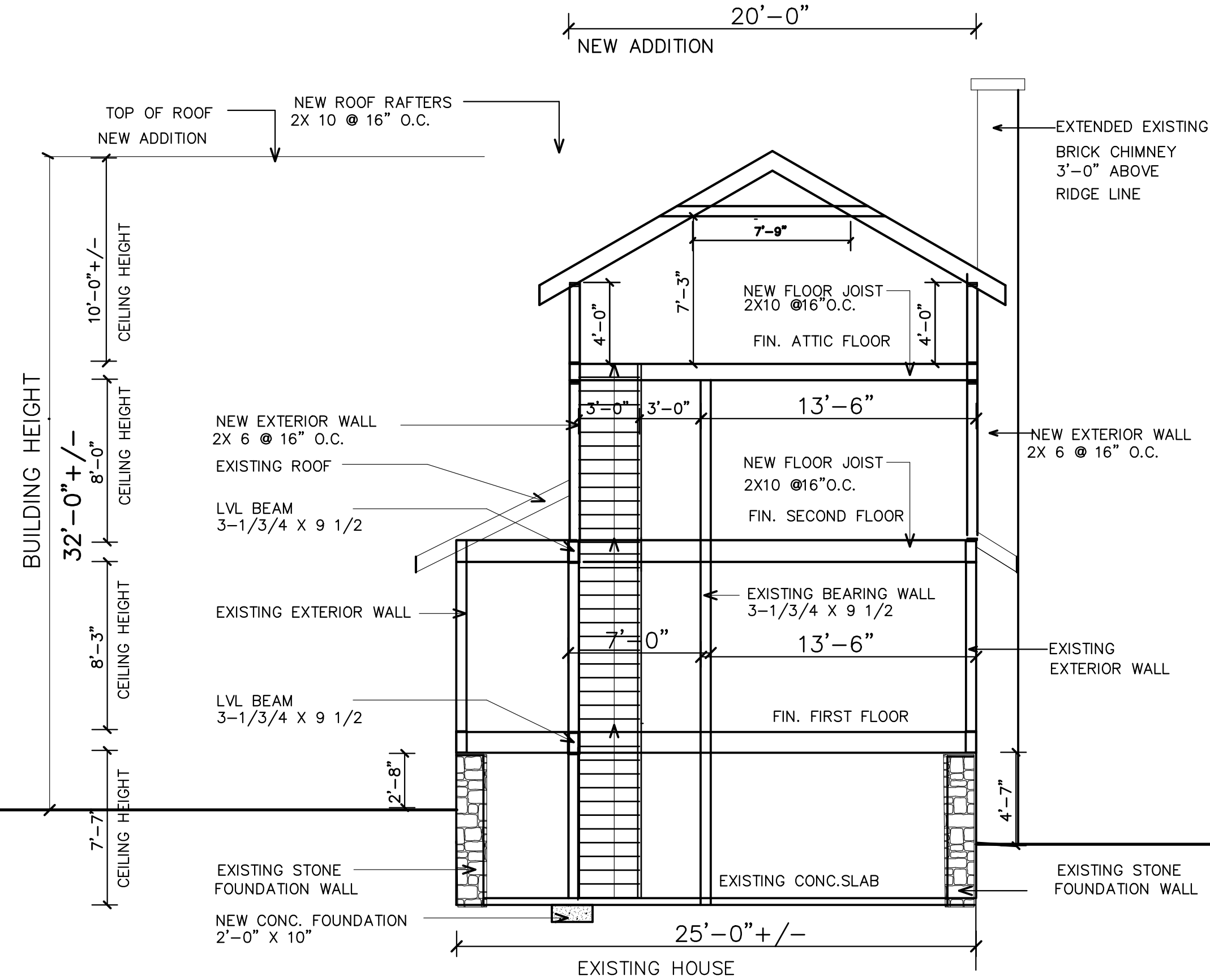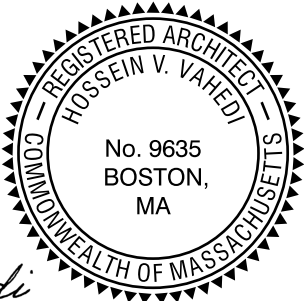| ARCHITECT
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RIGHT ELEVATION | PROJECT
**NEW ADDITION TO A
SINGLE FAMILY HOUSE**
38 HILLSDALE STREET
DORCHESTER MA | REVISION
REVISED
REVISED | DATED
4/12/2025
4/8/2025 | SCALE:
3/16"=1'-0"
DATE:
2/5/2025
DRAWN BY:
HV | DWG. NO.
EL-4 |

20'-0"
NEW ADDITION

TOP OF ROOF
NEW ADDITION

NEW ROOF RAFTERS
2X 10 @ 16" O.C.

EXTENDED EXISTING
BRICK CHIMNEY
3'-0" ABOVE
RIDGE LINE

7'-9"

7'-3"

4'-0"

NEW FLOOR JOIST
2X10 @16"O.C.
FIN. ATTIC FLOOR

4'-0"

BUILDING HEIGHT 32'-0" +/-

10'-0" +/- CEILING HEIGHT

8'-0" CEILING HEIGHT

8'-3" CEILING HEIGHT

7'-7" CEILING HEIGHT

NEW EXTERIOR WALL
2X 6 @ 16" O.C.

EXISTING ROOF

LVL BEAM
3-1/3/4 X 9 1/2

EXISTING EXTERIOR WALL

LVL BEAM
3-1/3/4 X 9 1/2

3'-0"   3'-0"

13'-6"

NEW EXTERIOR WALL
2X 6 @ 16" O.C.

NEW FLOOR JOIST
2X10 @16"O.C.
FIN. SECOND FLOOR

EXISTING BEARING WALL
3-1/3/4 X 9 1/2

7'-0"

13'-6"

EXISTING
EXTERIOR WALL

FIN. FIRST FLOOR

2'-8"

4'-7"

EXISTING STONE
FOUNDATION WALL

NEW CONC. FOUNDATION
2'-0" X 10"

EXISTING CONC.SLAB

EXISTING STONE
FOUNDATION WALL

25'-0" +/-
EXISTING HOUSE

NEW ROOF

NEW ASPHALT SHINGLES
OVER 5/8" EXTERIOR PLYWOOD ZIP SYSTEM
ON 2X10 @16" O.C ROOF RAFTER
1/2" GYP. BD. W/ SKIM COAT

NEW GUTTER & DOWNSPOUT

NEW ALUMINUM GUTTER & DOWNSPOUT

NEW WALL & ROOF INSULATION

ROOF INSULATION R=60
EXTERIOR WALL INSULATION R=30

NEW EXTERIOR WALL

NEW CEDAR CLAPBOARD SIDING
1/2" EXTERIOR PLYWOOD ZIP SYSTEM
2X6 PARTITION @ 16" O.C.
1/2" GYP. BD. W/ SKIM COAT

NEW EXTERIOR FINISH

NEW EXTERIOR WINDOWS,DOOR, TRIM, FASCIA & SOFFIT
TO BE AZEK PRODUCT

NEW EXTERIOR DOORS & WINDOWS

NEW EXTERIOR DOORS & WINDOWS
TO BE HARVEY WINDOW OR EQUAL

NEW FOOTING

2'-0"X10" CONC.FOOTING
ON UNDISTURBED SOIL

NEW SONOTUBE W/ BIG FOOT

10" DIA. CONC. W/ 24" BIG FOOT
ON COMPACTED SOIL
4'-0" MINIMUM BELOW FINISH GRADE

NEW INTERIOR DRAIN

NEW INTERIOR DRAIN SYSYEM
IN BASEMENT AREA

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
No. 9635
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

Hossein Vahedi

ARCHITECT		OWNER	SHEET TITLE	PROJECT	REVISION	DATED	SCALE: 3/16"=1'-0"	DWG. NO.
CLASSICAL HOMES LLC CUSTOM HOMES- RENOVATION-ADDITIONS ARCHITECTURAL DESIGN 32 CHESLEY ROAD NEWTON MA 02459 TEL: (617-733-8222)		**PAULETTE ELLIS** 38 HILLSDALE STREET DORCHESTER MA	**BUILDING SECTION**	**NEW ADDITION TO A SINGLE FAMILY HOUSE** 38 HILLSDALE STREET DORCHESTER MA	REVISED REVISED	4/12/2025 4/8/2025	DATE: 2/5/2025 DRAWN BY: HV	**SEC-A**

REGISTERED ARCHITECT
HOSSEIN V. VAHEDI
No. 9635
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

Hossein Vahedi

EXISTING ROOF

NEW WINDOW

NEW ADDITION

8'-0" NEW DECK
5'-0" NEW ADDITION
40'-6" NEW ADDITION

TOP OF ROOF

NEW 2X10 @16" O.C. ROOF RAFTERS

NEW 2X10 @16" ROOF RAFTERS

NEW KNEE WALL

3'-0"

4'-0"

FIN. ATTIC FLOOR

NEW 2X10 @16" FLOOR JOIST

NEW 2X10 @16" FLOOR JOIST

NEW 2X6 @16" EXTERIOR WALL

10'-0"

NEW 2X10 @16" P.T. FLOOR JOIST

PVC RAILING AND POST

COMPOSITE DECKING

NEW 2X10 @16" P.T. FLOOR JOIST

3'-0"

NEW 2X10 P.T. BEAM

2X4 BRACING

NEW 2X10 P.T. BEAM

NEW 10" DIA. COLUMN

NEW 2X10 @16" P.T. FLOOR JOIST

NEW 8X8 P.T. POST WRAPED W/ PVC TRIM

FIN. GRADE

NEW 10" CONC. SONO TUBE ON CONC. 24" DIA. W/ BIG FOOT

EXISTING STONE FOUNDATION

NEW 2X10 @16" FLOOR JOIST

10'-0"

FIN. SECOND FLOOR

3'-0"

15'-0"

FIN. FIRST FLOOR

FIN. FIRST FLOOR

NEW 2X10 @16" FLOOR JOIST

9'-0"

3'-0"

3'-0"

15'-0"

6X4 PSL POST

NEW FOOTING 2'-0" X10" FOOTING

EXISTING FIN. BASEMENT

EXISTING STONE FOUNDATION WALL

5'-0"
3'-6"
15'-0"+/-
8'-0"+/-
14'-0"+/-

CL   CL
NEW ADDITION

ATTIC FLOOR PLAN

10'-0"+/- CEILING HEIGHT

8'-0" CEILING HEIGHT

FIN. SECOND FLOOR

8'-3" CEILING HEIGHT

FIN. FIRST FLOOR

BUILDING HEIGHT 32'-0"+/-

7'-7" CEILING HEIGHT

FIN. GRADE

6'-8"
EXISTING FRONT ENTRANCE

EXISTING STONE FOUNDATION WALL

FIN. BASEMENT FLOOR