PREPARED FOR:
FRASER ALLEN
200 FALCON STREET
EAST BOSTON, MA 02128

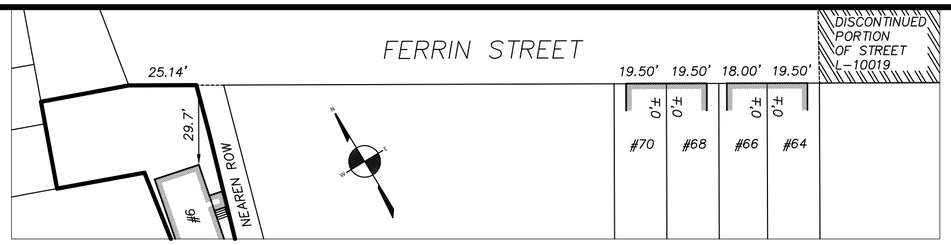
REFERENCES:
OWNER OF RECORD:
KEVIN A. DEVER
BARBARA D. DEVER
6 NEAREN ROW
CHARLESTOWN, MA 02129

DEED:	BK 8635, PG 421
	BK 9155, PG 164
PLAN:	BK 4267, PG 261
	BK 8292, PG 434
	BK 8354, PG 158
	BK 8404, PG 714
	BK 9155, PG 164
	BK 18633, PG 256
	BK 19939, PG 93
	PL 2008 #489
	PL 2014 #361
LCC:	8038-A
	8038-B
	11099-A

CITY OF BOSTON ENGINEERING RECORDS:
FB 438, PG 30
FB 490, PG 58-59
FB 504, PGS 48-49
FB 593, PG 148
FB 1159, PGS 32-33

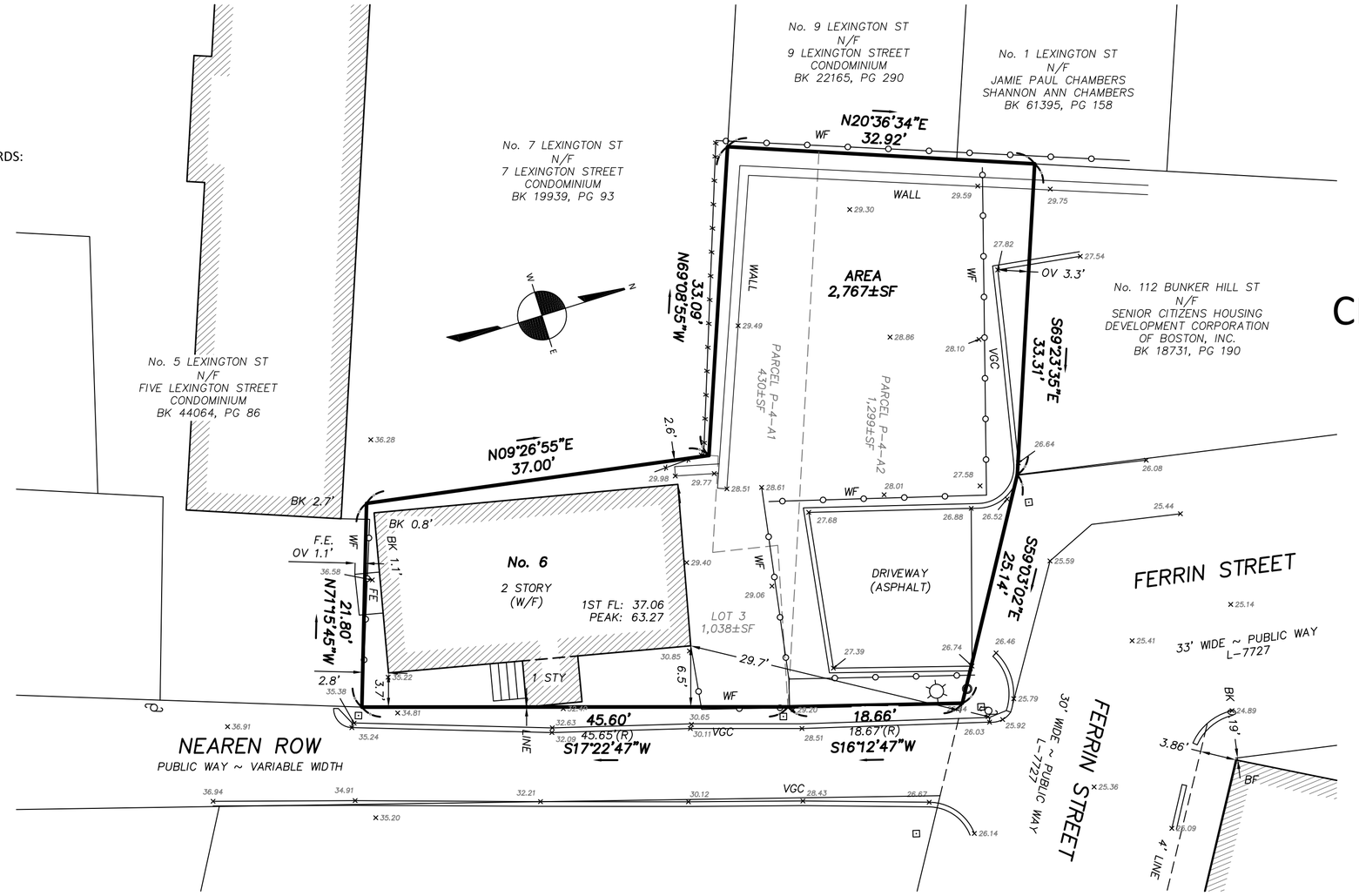
L-7727	FERRIN STREET
L-7756	NEAREN ROW

NOTES:
PARCEL ID: 0202977000



AVERAGE ALIGNMENT NEAREN ROW	SCALE 1.0' = 40.0'
COMMON SETBACK	FRONTAGE
0'± (MODAL)	19.50'
	19.50'
	18.00'
	19.50
TOTAL	**76.50'**
29.7	25.14'

BOSTON SURVEY, INC.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313



CERTIFIED PLOT PLAN

LOCATED AT

6 NEAREN ROW
CHARLESTOWN, MA

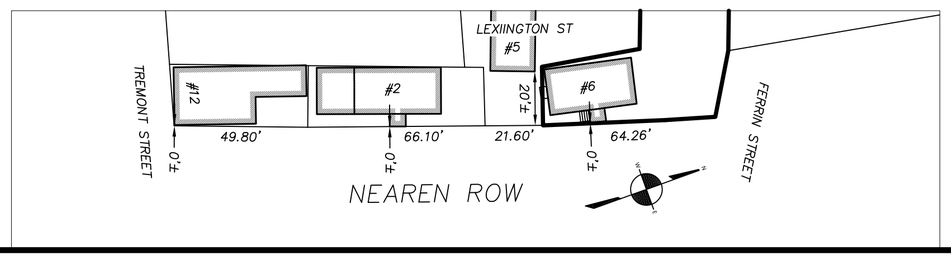
SCALE: 1.0 INCH = 10.0 FEET

0 10 20 30

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JUNE 7, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS

ZONE:	X
COMMUNITY PANEL:	25025C0018J
EFFECTIVE DATE:	03/16/2016



AVERAGE ALIGNMENT NEAREN ROW	SCALE 1.0' = 40.0'
COMMON SETBACK	FRONTAGE
0'± (MODAL)	49.60'
	64.26'
	66.10'
TOTAL	**179.96'**
20'±	21.60

FIELD:	JJH
DRAFT:	RAP
CHECK:	GCC
DATE:	06/16/23
JOB #	23-00360

COMMONWEALTH OF MASSACHUSETTS
GEORGE C. COLLINS
No. 41784
PROFESSIONAL LAND SURVEYOR

PREPARED FOR:
FRASER ALLEN
200 FALCON STREET
EAST BOSTON, MA 02128

REFERENCES:
OWNER OF RECORD:
KEVIN A. DEVER
BARBARA D. DEVER
6 NEAREN ROW
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L-7727 FERRIN STREET
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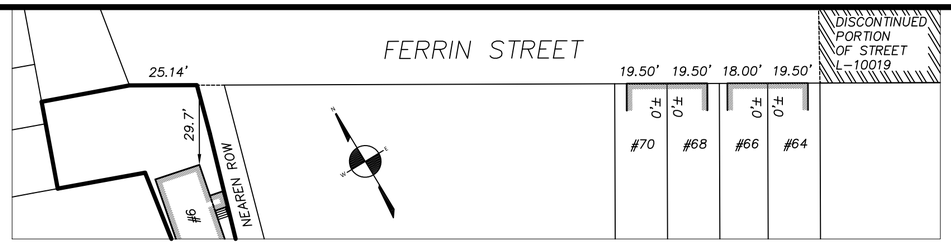

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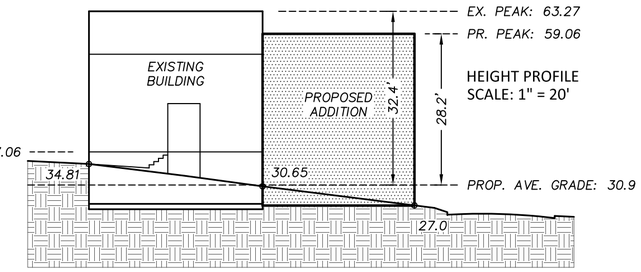
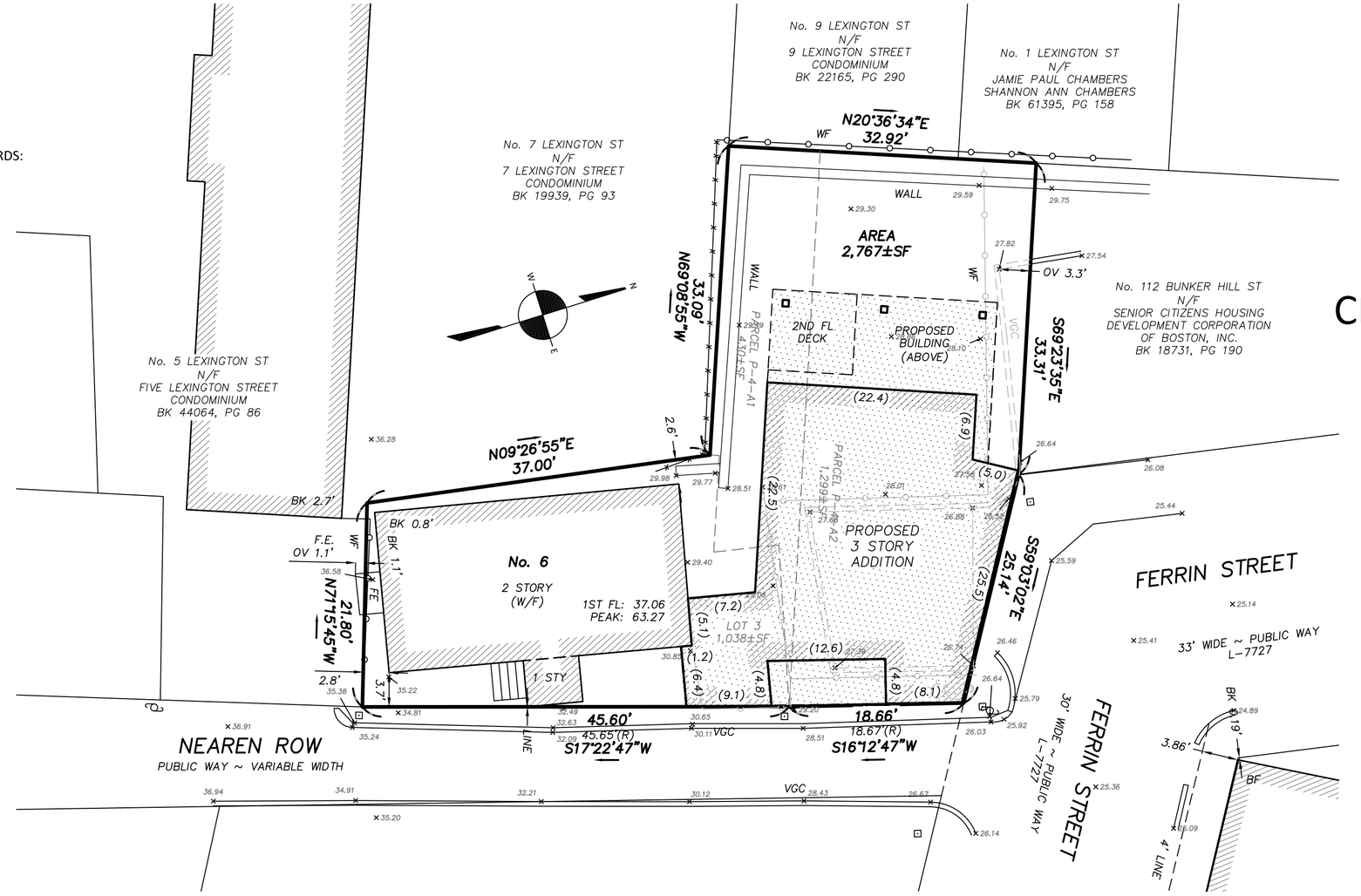




CERTIFIED PLOT PLAN

LOCATED AT

6 NEAREN ROW
CHARLESTOWN, MA

SCALE: 1.0 INCH = 10.0 FEET

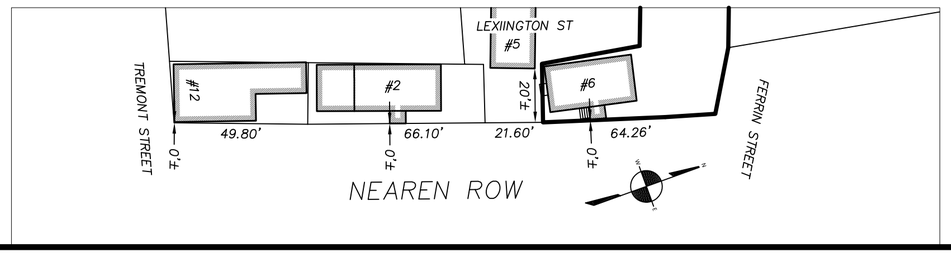
0 10 20 30

BOSTON SURVEY, INC.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JUNE 7, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS

ZONE:	X
COMMUNITY PANEL:	25025C0018J
EFFECTIVE DATE:	03/16/2016



AVERAGE ALIGNMENT NEAREN ROW — SCALE 1.0' = 40.0'

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20'±	21.60

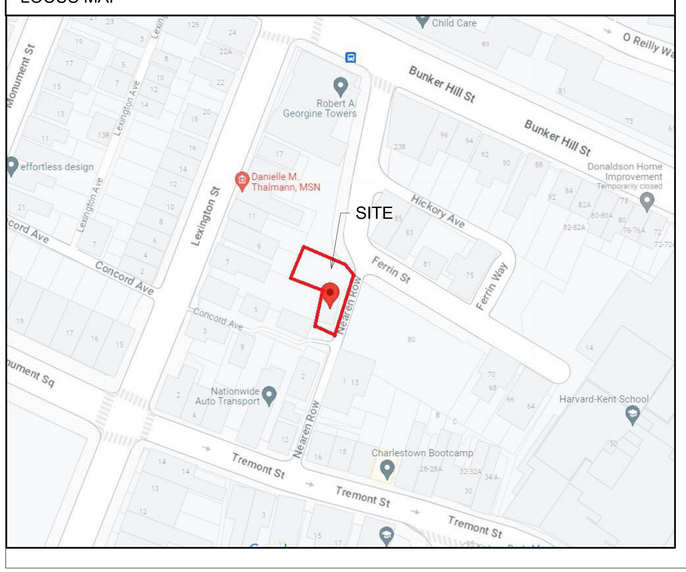
FIELD:	JJH
DRAFT:	RAP
CHECK:	GCC
DATE:	08/30/23
JOB #	23-00360

COMMONWEALTH OF MASSACHUSETTS
GEORGE C. COLLINS
No. 41784
PROFESSIONAL LAND SURVEYOR

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION

6-8 NEAREN ROW, CHARLESTOWN, MA 02129

LOCUS MAP



ZONING SUMMARY ART. 62 3F-2000													
	LOT AREA MINIMUM	LOT AREA PER ADD'L UNIT	MIN. LOT SIZE	MIN. LOT WIDTH	MIN. LOT FRONTAGE	F.A.R.	MAX. STORIES	MAX. HEIGHT	SETBACK FRONT	SETBACK EA. SIDE	SETBACK REAR	MIN. OPEN SPACE PER UNIT	MIN. PARKING SPACES PER UNIT
ZONING SUB-DISTRICT 3F-2000	1000 SF / DU	1000 SF	2000 SF	20'	20'	2.0	3	35'	0' MODAL	2.5'	15'	542 SF/DU	1 PS/DU
EXISTING			2767 SF	33' +/-	89.4'	.49	2.5	32.5'	0'	1' +/-	35.6'	1553 SF/DU	1 PS/DU
PROPOSED			2767 SF	33' +/-	89.4'	1.82 (5023 SF)	3	32.5'	0'	3.3'	15'	547 SF/DU	1 PS/DU

* NOTE:

VIOLATION

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date
2	Revision 2	10-19-2023

Project No: 2023112

Scale: 1/8" = 1'-0"

Date: 09-06-2023

Drawn By: TN / DF

Drawing Name

COVER SHEET

Sheet No.

A-0.00

ABBREVIATIONS

AB	ANCHOR BOLT
ATC	ACOUSTICAL TILE CEILING
AW	ACOUSTICAL WALLCOVERING
ACOUS	ACOUSTICAL
ADJ	ADJACENT, ADJUSTABLE
ALUM	ALUMINUM
ALT	ALTERNATE
AP	ACCESS PANEL
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AF	AWNING FABRIC
B	BASE
BD	BOARD
BG	BUMPER GUARD
BIT.	BITUMINOUS CONCRETE
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
CAB	CABINET
CB	CONCRETE BLOCK
CEM	CEMENT
CER	CERAMIC
CF	CONCRETE FINISH
CG	CORNER GUARD
CJ	CONTROL JOINT
CKT	CIRCUIT
CL	CLOSET
CLKG	CAULKING
CLG, CEIL	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
COND	CONDITION
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT, C	CARPET
CT	CERAMIC TILE
CTR	CENTER
DN	DOWN
DET	DETAIL
DIA	DIAMETER
DIFF	DIFFUSER
DIM	DIMENSION
DISP	DISPENSER
DO	DOOR OPENING
DR	DOOR
DWG(S)	DRAWING, DRAWINGS
DWR	DRAWER
	EAST
EA	EACH
EIFS	EXTERIOR INSUL FIN. SYSTEM
EJ	EXPANSION JOINT
EL, ELEV	ELEVATION
ELEC	ELECTRIC, ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION, EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FB	FLAT BAR
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FIX, FIXT	FIXTURE
FL, FLR	FLOOR
FLASH	FLASHING
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUDS
FOW	FACE OF WALL
FR	FIRE RATED/RETARDANT
FRP	FIBERGLASS REINFORCED POLYESTER PANEL
FRTW	FIRE RETARDANT TRTD. WD.
FT	FOOT, FEET
FURR	FURRING
G	GROUT
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GEN	GENERATOR
GL	GLASS
GND,GRND	GROUND
GWB	GYPSUM WALLBOARD
GYP	GYPSUM
HB	HOSE BIBB
HC	HANDICAPPED
HD	HEAD
HDWE	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JST	JOIST
JT	JOINT
KIT	KITCHEN
KP	KICK PLATE
LAM	LAMINATE, LAMINATED
LAV	LAVATORY
LT	LIGHT
	MOLDING
MACH	MACHINE
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MET, MTL	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MO	MASONRY OPENING
M/R	MOISTURE RESISTANT
MTD	MOUNTED
MTG	MEETING, MOUNTING
MUL	MULLION
N	NORTH
NEO	NEOPRENE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OBS	OBSCURE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OPNG	OPENING
OPP	OPPOSITE
PTD	PAINT
PL	PLATE
P. LAM,PL-PLAS	PLASTIC LAMINATE
	PLASTER
PLYWD	PLYWOOD
PNL	PANEL, PANELBOARD
PP	PREFINISHED PANELS
PR	PAIR
PROJ	PROJECT
PROP	PROPERTY
P.T.	PRESSURE TREATED
PT	POINT
PTN	PARTITION
PWR	POWER
QT	QUARRY TILE
QTY	QUANTITY
R	RISER
RAD, R	RADIUS
RD	ROOF DRAIN
REFL	REFLECTED
REINF	REINFORCED
REQ, REQD	REQUIRED
RESIL	RESILIENT
RF	RESILIENT FLOORING
RM	ROOM
RO	ROUGH OPENING
RWL	RAIN WATER LEADER
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SD	SOAP DISPENSER
SECT	SECTION
SF	SQUARE FEET
SH	SHELF
SHT	SHEET
SIM	SIMILAR
SL	SLIDING
SPEC	SPECIFICATION
SQ	SQUARE
SST	STAINLESS STEEL
ST	STAIN
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	TILE
TEL	TELEPHONE
TEMP	TEMPERED
THK	THICK, THICKNESS
TOS	TOP OF STEEL
TOW	TOP OF WALL
TT	TOILET TISSUE DISPENSER
TYP	TYPICAL
UNF	UNFINISHED
UON	UNLESS OTHERWISE NOTED
VCT	VINYL COMPOSITION TILE
VIF	VERIFY IN FIELD
VERT	VERTICAL
VEST	VESTIBULE
VWC	VINYL WALLCOVERING
W	WEST
W/	WITH
WC	WALL COVERING
WD	WOOD
WDO	WINDOW
WF	WOOD FLOOR
WM	WALK-OFF MAT
W/O	WITHOUT
WP	WATERPROOF
WR	WATER RESISTANT
WT	WEIGHT

KEY SYMBOLS

# # # #	EGRESS INDICATORS
1	WALL TAG (SEE G-01a-G-01.b)
	FIRE EXIT SIGN
FE	FIRE EXTINGUISHER
SD	SMOKE DETECTOR
HD	HEAT DETECTOR
CO	CARBON MONOXIDE DETECTOR
A	WINDOW TYPE
C	45MIN. DOOR TAG
220-3	DOOR NUMBER
B	1 1/2 HOUR DOOR TAG
P	HORN/STROBE/PULL STATION
	HORN/STROBE
	EMERGENCY LIGHT (FLOOD LIGHT)
FACP	FIRE ALARM CONTROL PANEL
1	1 HOUR CEILING TAG ABOVE (SEE C.T.1/G-01c)
2	2 HOUR CEILING TAG ABOVE (SEE C.T.1/G-01c)
	BREAK LINE
	FAN
88	REVISION TAG
CLNG. HT. CLNG-HT	CEILING HEIGHT
	DOOR (POCKET)
	DOOR (SWING)
	WINDOW
	NEW WALL
FLOOR_LEVEL 0'-0"	ELEVATION GRADE LINE
1 A-?	WALL SECTION MARKER
1 A-?	BUILDING SECTION MARKER
1 A-1	DETAIL SYMBOL
1 A-?	EXTERIOR ELEVATION MARKER
RECEPTION	ROOM NAME
???	ROOM NUMBER

LIST OF DRAWINGS

DWG. NO / DWG. TITLE	
GENERAL	
A-0.00	COVER SHEET
A-0.01	ABBREVIATION DRAWING LIST & LEGENDS
CIVIL	
LANDSCAPE	
ARCHITECTURAL	
E-0.01	EXISTING/DEMO CONDITIONS FLOOR PLAN
A-0.02	REMOVALS & PROJECT NOTES
A-1.00	PROPOSED FOUNDATION PLAN
A-1.10	PROPOSED GARDEN LEVEL FLOOR
A-1.11	PROPOSED FIRST FLOOR PLAN
A-1.12	PROPOSED SECOND FLOOR PLAN
A-1.13	PROPOSED THIRD FLOOR PLAN
A-1.14	PROPOSED ROOF PLAN
A-2.10	PROPOSED ELEVATION
A-2.11	PROPOSED ELEVATION
A-2.12	PROPOSED ELEVATION
A-2.13	PROPOSED ELEVATION
A-3.10	EXTERIOR WALL SECTIONS
A-3.11	EXTERIOR WALL SECTIONS
A-4.10	STAIR SECTION AND DETAILS
A-5.00	EXTERIOR & INTERIOR PARTITION TYPES
A-5.13	ROOF DETAILS
A-5.14	ROOF DETAILS
A-6.01	WINDOW SCHEDULE AND ELEVATIONS
A-6.02	DOOR SCHEDULE AND ELEVATIONS
A-6.03	FASTENING SCHEDULE & FRAMING DETAILS
A-6.04	AJS FASTENING SCHEDULE & FRAMING DETAILS
STRUCTURAL	
S-0	GENERAL NOTES
S-1.1	FOUNDATION PLAN
S-1.2	FRAMING PLAN
S-1.3	FRAMING PLAN
S-1.4	FRAMING PLAN
S-1.5	FRAMING PLAN
MECHANICAL	
PLUMBING	
FIRE PROTECTION	
ELECTRICAL	
FIRE ALARM	

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION
6-8 NEAREN ROW,
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

REMOVALS & PROJECT NOTES

Sheet No.

A-0.01

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:

1. VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
2. ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
3. OBTAINING AND PAYING FOR ALL PERMITS.
4. PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
5. CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
6. SCHEDULING AND SEQUENCING.
7. CONSTRUCTION MEANS, METHODS AND TECHNIQUES
8. MAINTAINING DRAWINGS AND PERMITS ON SITE.
9. JOB SITE SAFETY
10. COORDINATION BETWEEN TRADES, AND SUPPLIERS.
11. PROVIDE SCHEDULE TO OWNER AND ARCHITECT,
12. PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
13. TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
15. REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
16. GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

17. POURING CONCRETE
18. INSULATING
19. INSTALLING DRYWALL
20. FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CONTRACTOR TO ENSURE MATERIALS AND ASSEMBLIES ARE COMPATIBLE AND ACCEPTABLE TO THE MANUFACTURER. ALL ASSEMBLY MATERIALS SHALL BE FROM A SINGLE SOURCE AS MUCH AS POSSIBLE.

REQUEST FOR INFORMATION -

ONLY RFI'S SENT THROUGH BY THE OWNER AND AWARDING CONTRACTOR WILL BE ANSWERED. SUBCONTRACTORS MUST SUBMIT RFI'S THROUGH THE GENERAL CONTRACTOR.

BIDDING PHASE - OWNER AND AWARDING CONTRACTOR ARE RESPONSIBLE FOR COMPILING AND AGGREGATING RFI'S AND SUBMITTING TO THE ARCHITECT OR DESIGNER AT ONE TIME ONLY. ARCHITECT OR DESIGNER HAS ONE WEEK TO RESPOND. QUESTIONS MUST BE COMPLETE , NOT PIECEMEAL AND SHOULD BE SUBMITTED BY CSI DIVISION.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECT SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
   FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
3. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-O" O.C.
4. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-O" O.C. MAXIMUM.
5. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
6. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
7. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
9. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
11. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH ½" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT
- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

FOUNDATION NOTES:

1. THE FOUNDATION HAS BEEN DESIGNED FOR 4000 PSF ALLOWABLE SOIL BEARING CAPACITY.
2. ALL BACKFILL UNDER STRUCTURAL SLABS, MATS, AND FOOTINGS WILL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIC LIFTS TO 95 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
3. ALL EMBANKMENTS AND BACKFILL COMPACTED IN SPECIFIED LIFTS TO 90 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
4. PROVIDE SHEETING, BRACING, AND UNDERPINNING AS REQUIRED TO PRESERVE ADJACENT STRUCTURES.
5. FOUNDATIONS SHALL NOT BE POURED IN WATER OR ON FROZEN GROUND.
6. VERIFY LOCATIONS AND REQUIREMENTS FOR INSERTS, SLEEVES, CONDUITS, EMBEDMENT AND PENETRATIONS WITH RESPECTIVE TRADES BEFORE PLACING CONCRETE.
7. DOWELS FROM FOUNDATIONS INTO PIERS, COLUMNS, BUTTRESSES OR WALLS SHALL BE THE SAME SIZE AND NUMBER AS REINFORCEMENT IN PIERS, COLUMNS, BUTTRESSES OR WALLS ABOVE, EXCEPT AS OTHERWISE SHOWN.
8. CONTRACTOR SHALL PROVIDE CONTINUOUS DRAINAGE BY MECHANICAL METHODS TO CONTROL SURFACE AND UNDERGROUND WATER, AS REQUIRED DURING CONSTRUCTION.
9. CONTRACTOR SHALL ENSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES AND PROPERTIES ARE NOT ALTERED.
10. ALL FOUNDATION UNITS (PIERS) SHALL BE CENTERED SUPPORT MEMBERS, UNLESS OTHERWISE NOTED ON PLANS.
11. COORDINATE UNDER FLOOR AND PERIMETER DRAIN REQUIREMENTS WITH ARCHITECTURAL, CIVIL AND PLUMBING DRAWINGS AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
12. ALL BEARING MATERIALS SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL DETERMINE THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
13. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINAL FINISHED GRADE FOR FROST PROTECTION.
14. FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR & SLAB AT TOP AND BOTTOM ARE IN PLACE.
15. WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
16. ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
17. SEE THE REQUIREMENTS OF THE SPECIFICATIONS FOR BACKFILLING UNDER OR ADJACENT TO ANY PORTION OF THE BUILDING.
18. PROTECT IN-PLACE FOUNDATIONS, SLABS AND ADJACENT STRUCTURES, NEW CONSTRUCTION, STREET UTILITIES FROM FROST PENETRATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES UNTIL THE PROJECT IS COMPLETED.
19. SLAB ON GRADE SHALL BEAR DIRECTLY ON A MIN. 12" THICK LAYER OF COMPACTED STRUCTURAL FILL, OR MIN. 6" THICK LAYER OF CRUSHED STONE, PLACED ABOVE PROOFROLLED AND COMPACTED EXISTING FILL, OR ABOVE UNDISTURBED NATURAL TILL. SHOULD BEDROCK BE ENCOUNTED AT OR WITHIN 12" OF BOTTOM OF SLAB, BEDROCK SHALL BE OVER EXCAVATED A MIN. OF 12" BELOW BOTTOM OF SLAB.
20. WHERE BEDROCK IS ENCOUNTED AT OR WITHIN 12" OF DESIGN FOOTING GRADE, IT SHOULD BE OVER EXCAVATED A MIN. OF 12" BELOW THE BOTTOM OF PROPOSED FOOTING. BEDROCK EXCAVATIONS SHOULD EXTEND A MIN. OF 12" BEYOND FOOTING EDGE. LOOSE ROCK PIECES SHOULD BE REMOVED WITHIN THE FOOTING BEARING ZONE, AND OPEN BEDROCK JOINTS SHOULD BE CHOKED WITH CRUSHED STONE OR FILLED WITH CONCRETE PRIOR TO PLACING THE SOIL CUSHION.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
   - **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
   A. FOOTINGS — 3 INCHES
   B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE — 2 INCHES
   C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER — 1-1/2 INCHES
   D. TOP STEEL OF INTERIOR SLABS — 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

REMOVALS NOTES:

1. DEMOLITION CONTRACTOR IS TO ARRANGE FOR SHUT OFF OF EXISTING UTILITIES. CONTRACTOR SHALL ARRANGE ALL TEMPORARY POWER.

2. ALL DEMOLISHED MECHANICAL AND ELECTRICAL ITEMS SHALL BE REMOVED INCLUDING MAIN RUNS AND SERVICE LINES TO SOURCE. ALL SYSTEM LINES ARE NOT SHOWN ON CONSTRUCTION DOCUMENTS.

3. THE EXISTING INTERIOR MAIN STAIR IS TO REMAIN FOR RE-USE. GC TO PROVIDE PROTECTION TO HANDRAIL & BALUSTERS THROUGHOUT CONSTRUCTION. GC TO REPAIR ANY DAMAGE TO ITEMS INDICATED TO REMAIN AS A RESULT OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. DEMOLITION NOTES INDICATED ON DRAWINGS MAY NOT BE ALL INCLUSIVE. REMOVE ALL ITEMS REQUIRED FOR RECONSTRUCTION ACTIVITIES.

4. VERIFY EXTENT OF ALL CONDITIONS OF DEMOLITION WITH FLOOR PLANS AND SCHEDULED CONSTRUCTION PRIOR TO DEMOLITION. DISCREPANCIES BETWEEN DESIGN CONDITIONS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.

5. ALL WALLS, SUBSTRUCTURAL FRAMES, PARTITIONS, EQUIPMENT, ETC. INDICATED BY DASHED LINES (----) SHALL BE REMOVED. ALL MECHANICAL, ELECTRICAL, PLUMBING AND OTHER SERVICES WHICH ARE CONTAINED IN THE AREA TO BE REMOVED SHALL ALSO BE REMOVED OR REROUTED. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION BEFORE STARTING DEMOLITION.

6. ALL EXISTING UNUSED WALL PENETRATIONS IN INTERIOR AND EXTERIOR WALLS ALONG WITH PENETRATIONS LEFT AFTER SELECTIVE DEMOLITION ACTIVITIES SHALL BE INFILLED TO MATCH ADJACENT WALL FINISHES AND THICKNESS AS DIRECTED.

7. MAINTAIN CLEAR EXIT PATHS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.

8. ALL STRUCTURAL ELEMENTS SHALL BE PROTECTED DURING DEMOLITION.

9. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC.. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.

10. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER.

11. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BEFORE THIS WORK IS CONCLUDED.

12. CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING THAT ARE NOT AFFECTED BY THE DEMOLITION.

13. ALL WORK WILL BE PERFORMED IN THE BEST WORKMANSHIP POSSIBLE IN ACCORDANCE WITH THAT TRADE'S BEST INDUSTRY STANDARDS.

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

NOTE:ENERGY CODE COMPLIANCE

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERS RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION
6-8 NEAREN ROW,
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

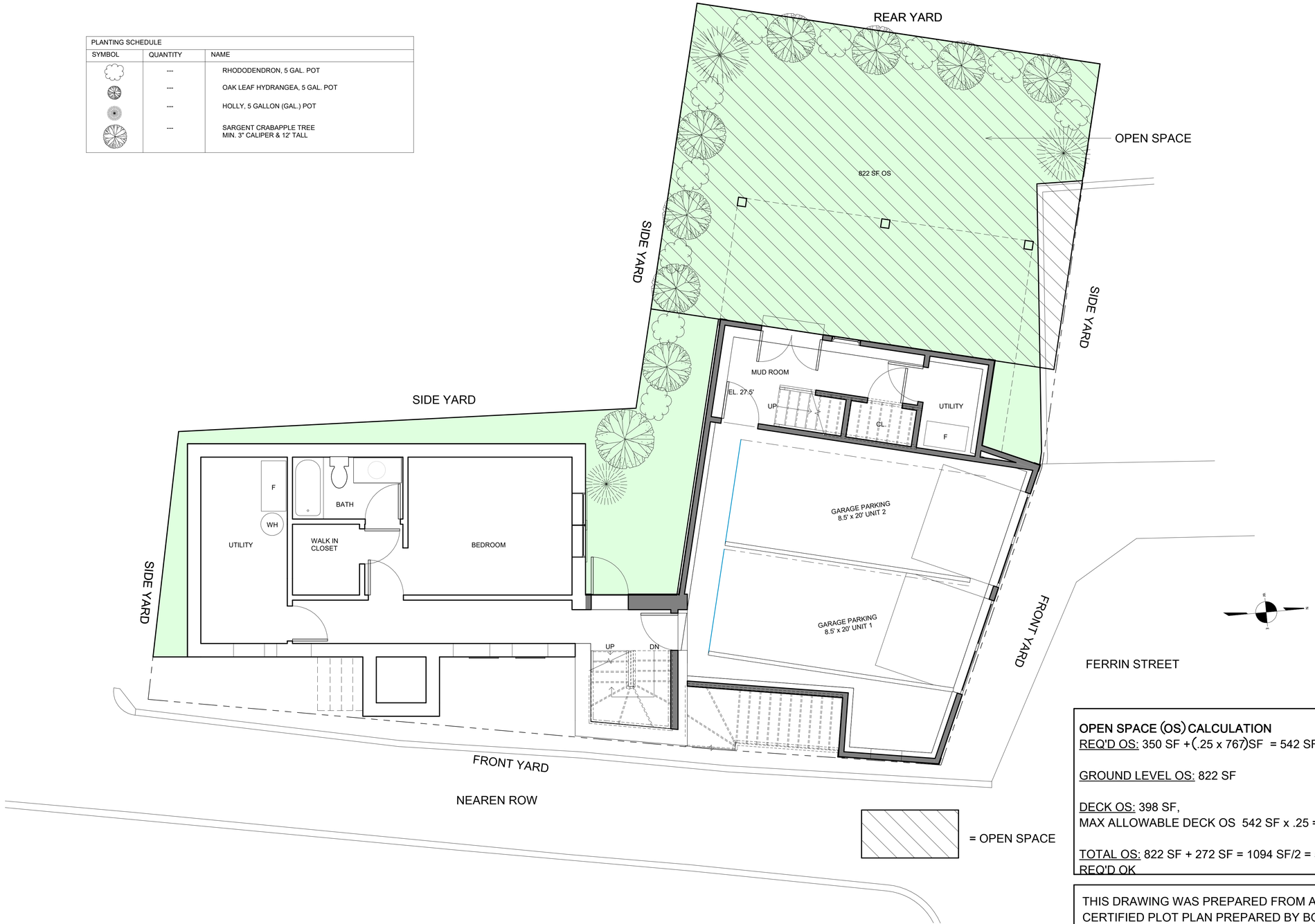
Drawing Name

REMOVALS & PROJECT NOTES

Sheet No.

A-0.02

PLANTING SCHEDULE		
SYMBOL	QUANTITY	NAME
	---	RHODODENDRON, 5 GAL. POT
	---	OAK LEAF HYDRANGEA, 5 GAL. POT
	---	HOLLY, 5 GALLON (GAL.) POT
	---	SARGENT CRABAPPLE TREE MIN. 3" CALIPER & 12' TALL



1 ARCHITECTURAL SITE PLAN -
1/4" = 1'-0"

OPEN SPACE (OS) CALCULATION

REQ'D OS: 350 SF +(.25 x 767)SF = 542 SF / UNIT

GROUND LEVEL OS: 822 SF

DECK OS: 398 SF,
MAX ALLOWABLE DECK OS 542 SF x .25 = 136 SF/UNIT

TOTAL OS: 822 SF + 272 SF = 1094 SF/2 = 547 SF > 542 SF
REQ'D OK

THIS DRAWING WAS PREPARED FROM AN UNDERLAY CERTIFIED PLOT PLAN PREPARED BY BOSTON SURVEY, INC., UNIT C-4 SHIPWAY PLACE, CHARLESTOWN, MA 02129.
PROJECT NUMBER 23-00360
DATED 08-25-23

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

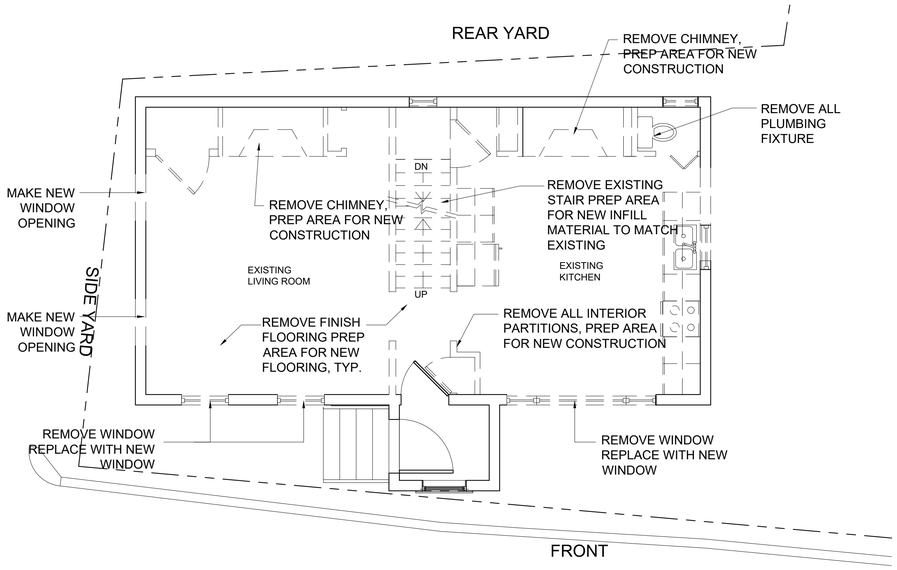
Project No: 2023112
Scale: As indicated
Date: 09-06-2023
Drawn By: TN / DF

Drawing Name

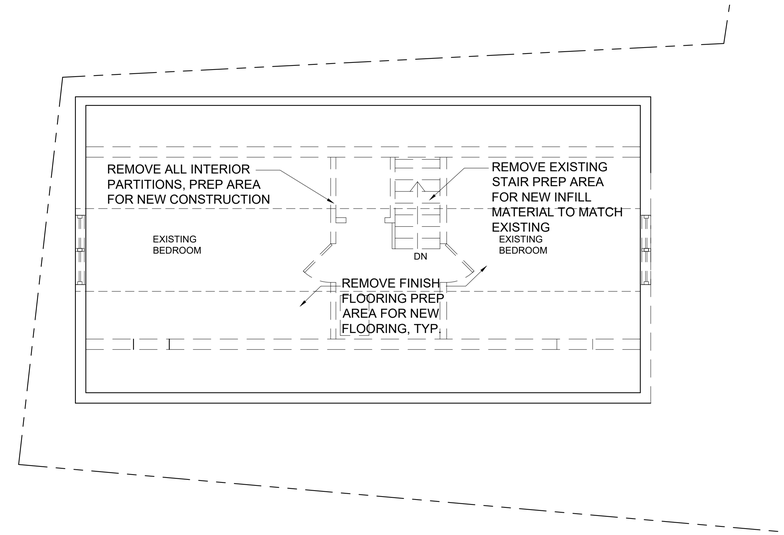
ARCHITECTURAL SITE PLAN

Sheet No.

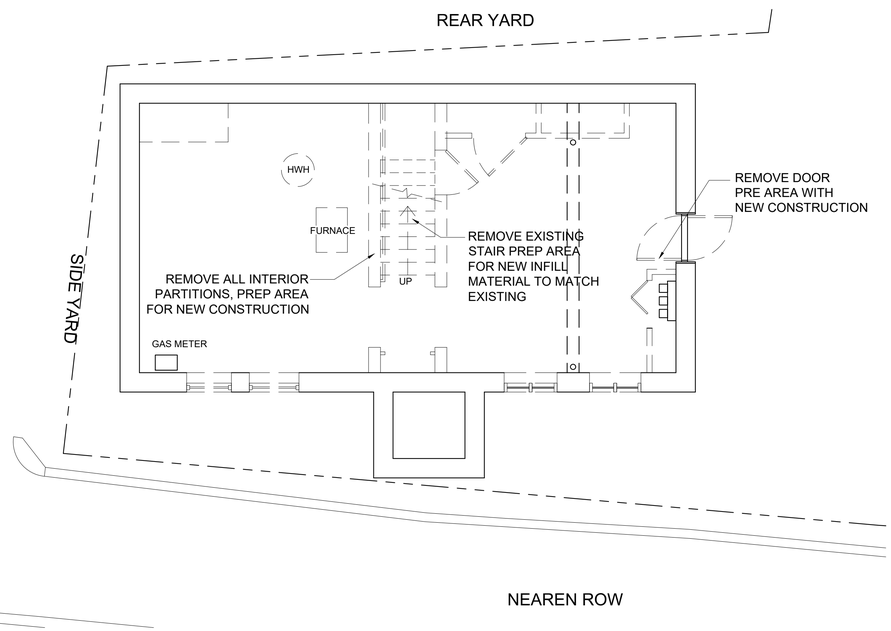
A-0.03



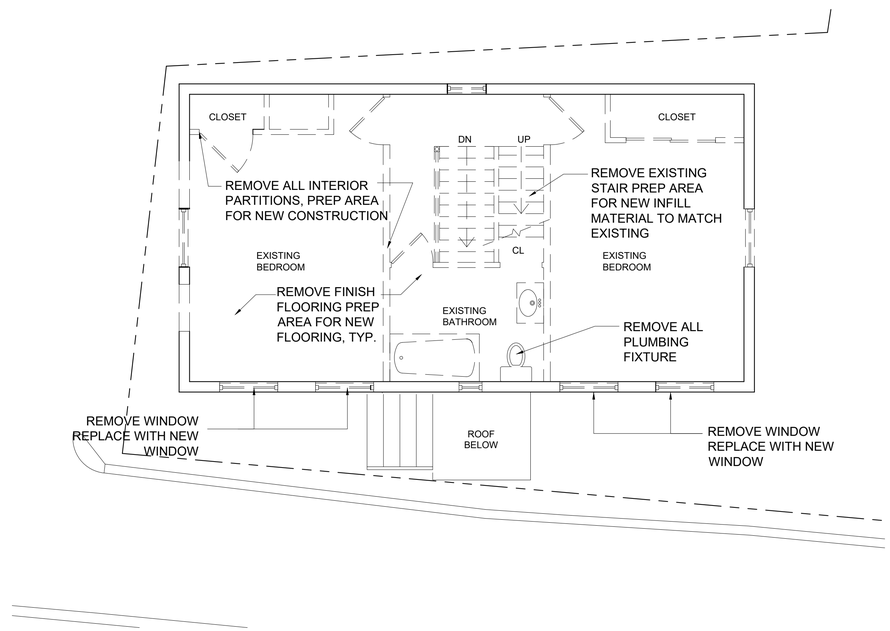
1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



3 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



0 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

DEMO NOTE:

1. PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF NEW COMPONENTS, CONTRACTORS SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS AND ELEVATIONS OF THE EXISTING CONSTRUCTION
2. REMOVAL OF ALL DEBRI FROM THE SITE SHALL BE DISPOSED OF LEGALLY AND IN ACCORDANCE WITH APPLICABLE CODES.
3. BRACE AND MAINTAIN AS REQUIRED TO MAINTAIN AND PRESERVE EXISTING WALL INTEGRITY IN IT'S ORIGINAL CONDITIONS DURING CONSTRUCTION
4. PROPERLY BRACE ALL WALLS AS NECESSARY UNTIL ROOF FRAMING IS COMPLETE, AND NEW CONSTRUCTION DETAILS SUPPORT TOPS OF WALLS LATERALLY

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

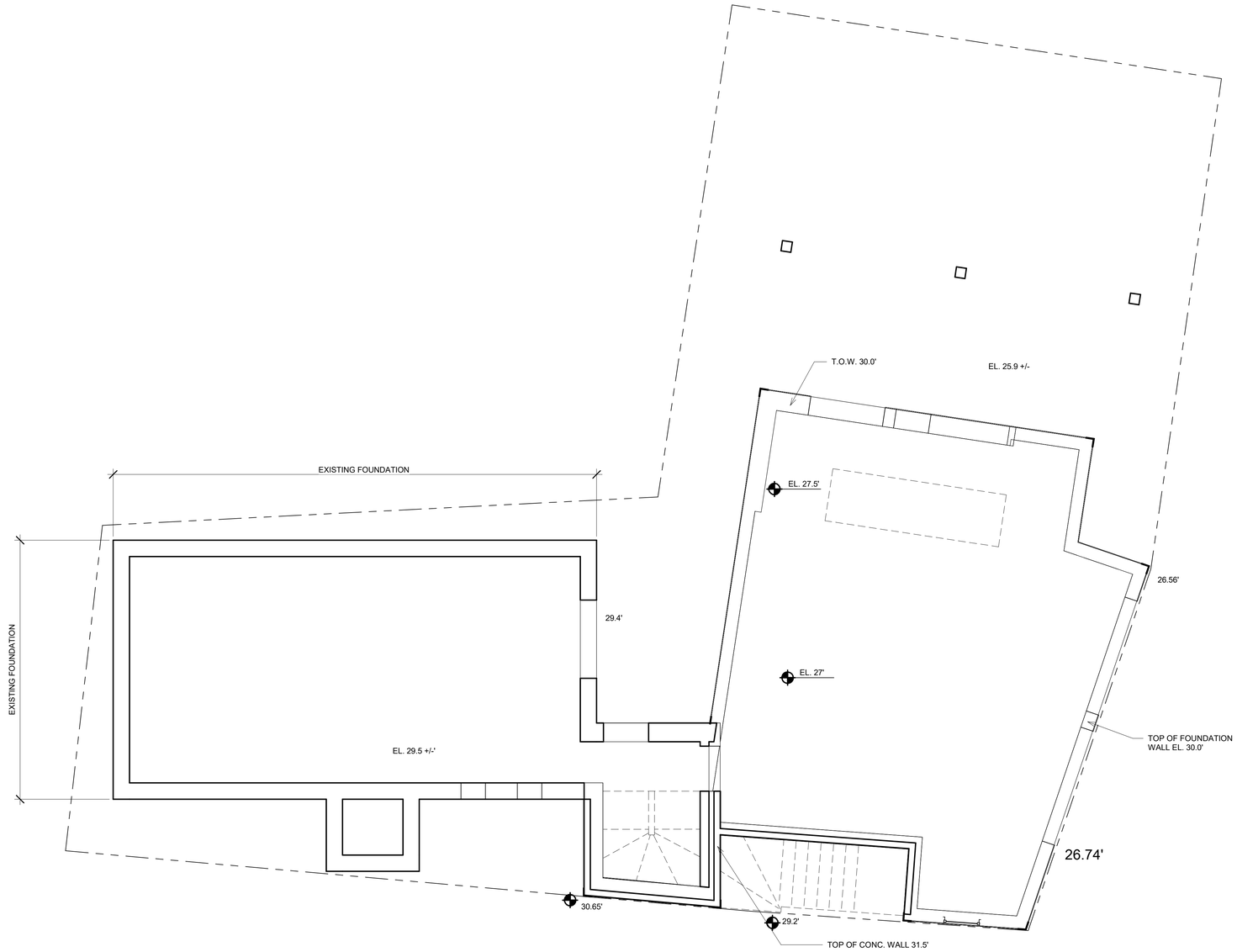
Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

EXISTING/DEMO CONDITIONS FLOOR PLANS

Sheet No.

E-0.01



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: 2023112

Scale: 1/4" = 1'-0"

Date: 09-06-2023

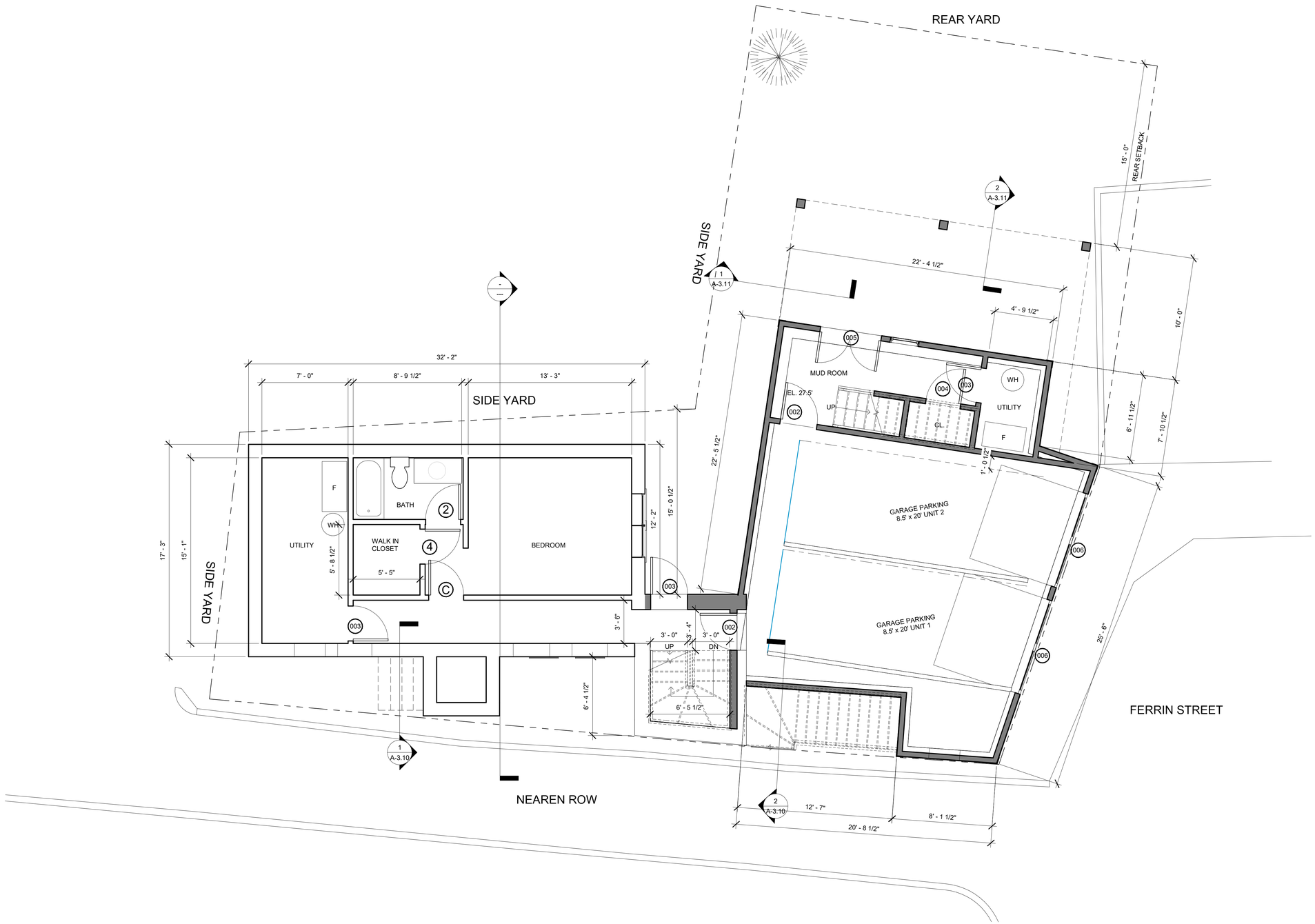
Drawn By: TN / DF

Drawing Name

PROPOSED FOUNDATION PLAN

Sheet No.

A-1.00



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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No.	Description	Date

Project No: 2023112

Scale: 1/4" = 1'-0"

Date: 09-06-2023

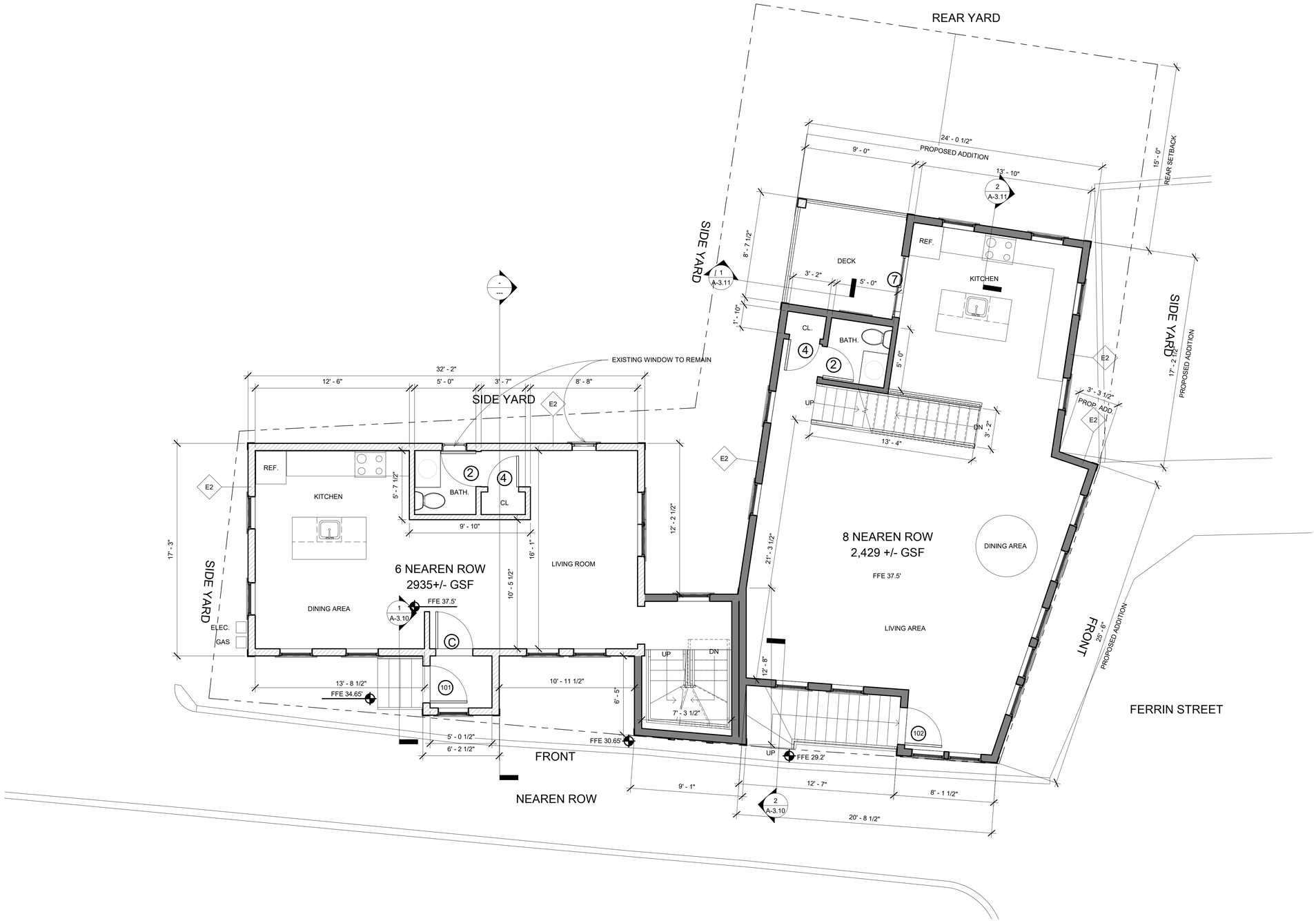
Drawn By: TN / DF

Drawing Name

PROPOSED GARDEN LEVEL FLOOR PLAN

Sheet No.

A-1.10



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
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617-786-7727 fax 617-786-7715

No.	Description	Date
1	Revision 1	10-06-2023

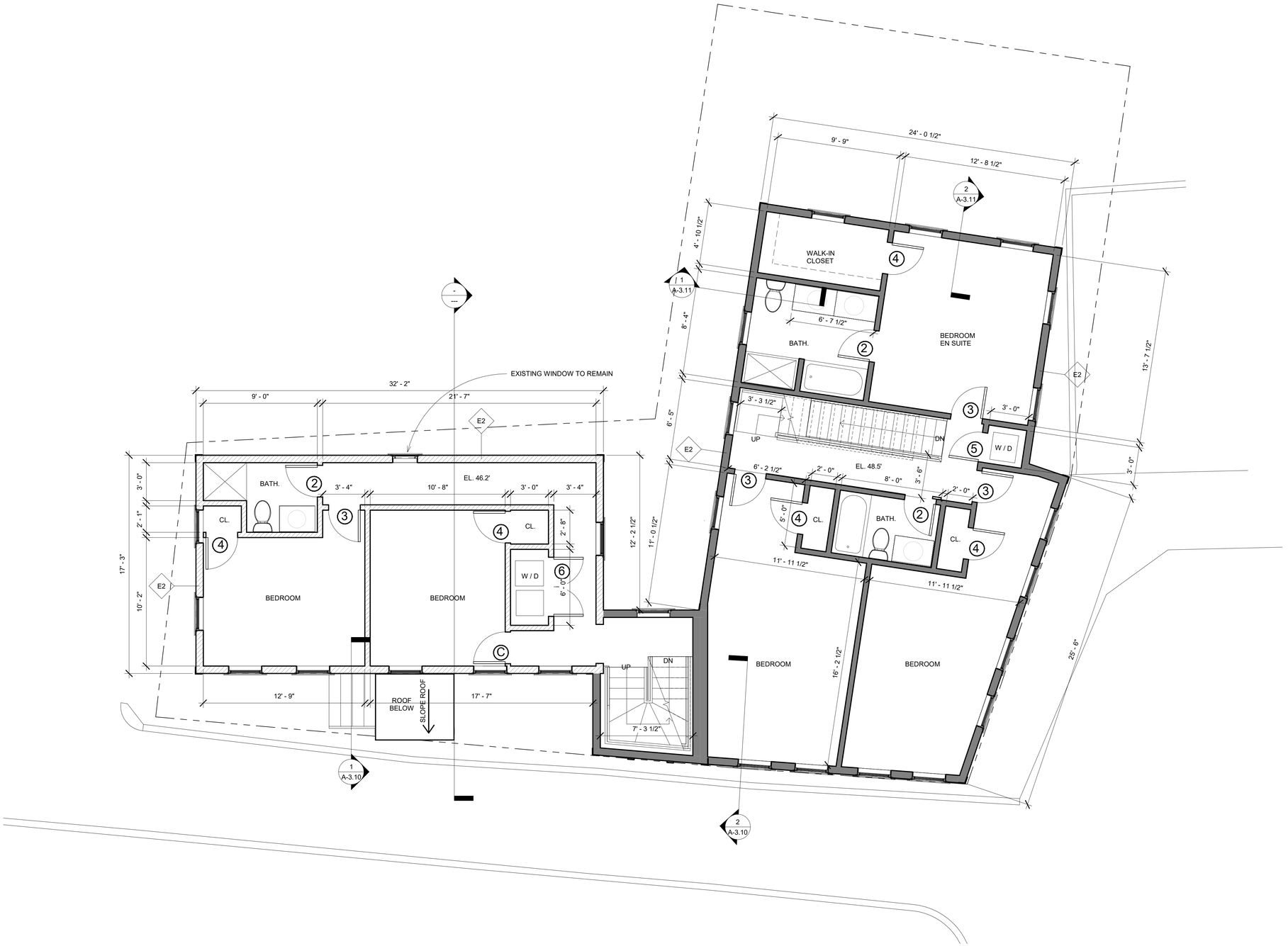
Project No: 2023112
Scale: 1/4" = 1'-0"
Date: 09-06-2023
Drawn By: TN / DF

Drawing Name

PROPOSED FIRST FLOOR PLAN

Sheet No.

A-1.11



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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No.	Description	Date
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Project No: 2023112

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Date: 09-06-2023

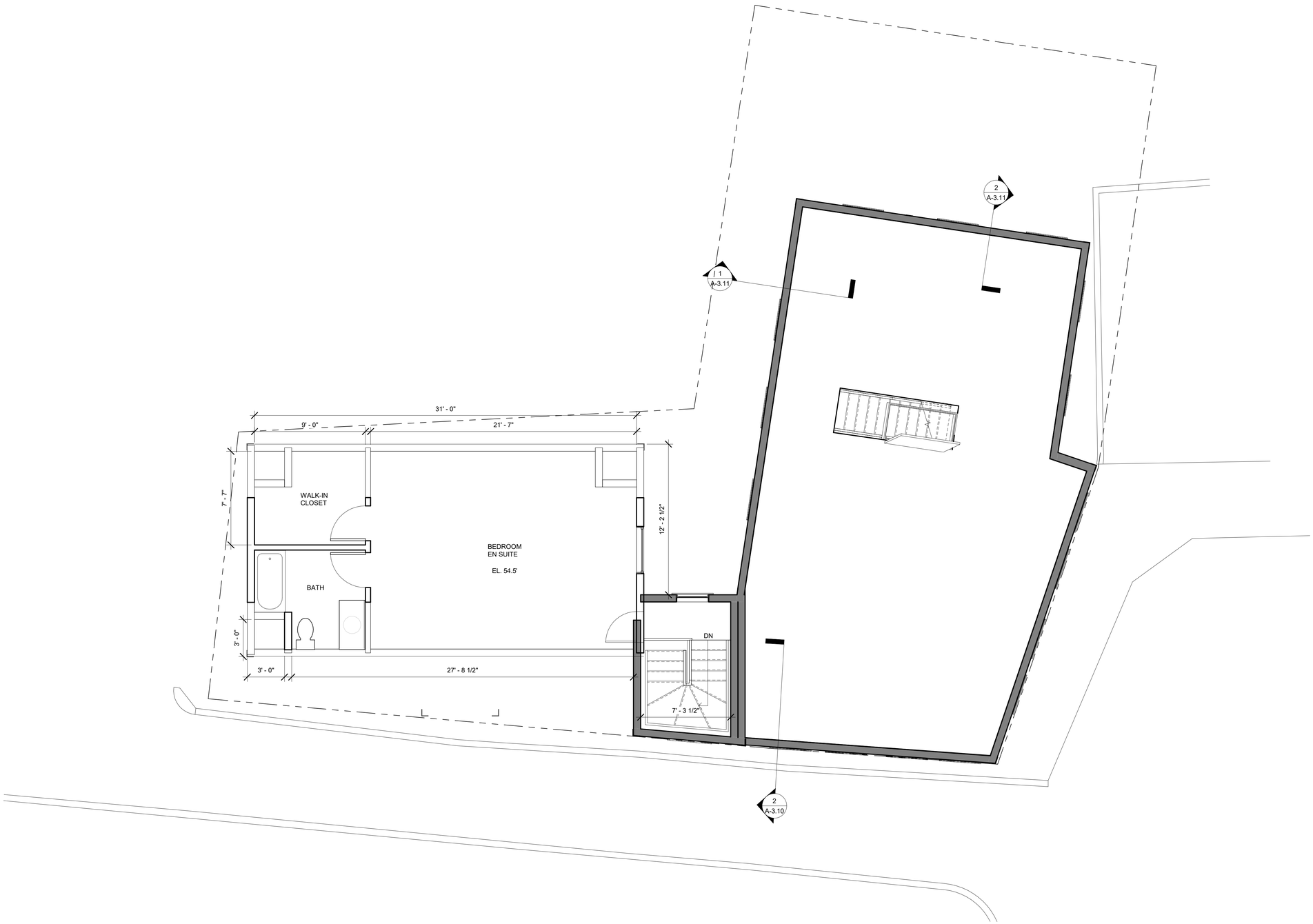
Drawn By: TN / DF

Drawing Name

PROPOSED SECOND FLOOR PLAN

Sheet No.

A-1.12



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date
2	Revision 2	10-19-2023

Project No: 2023112

Scale: 1/4" = 1'-0"

Date: 09-06-2023

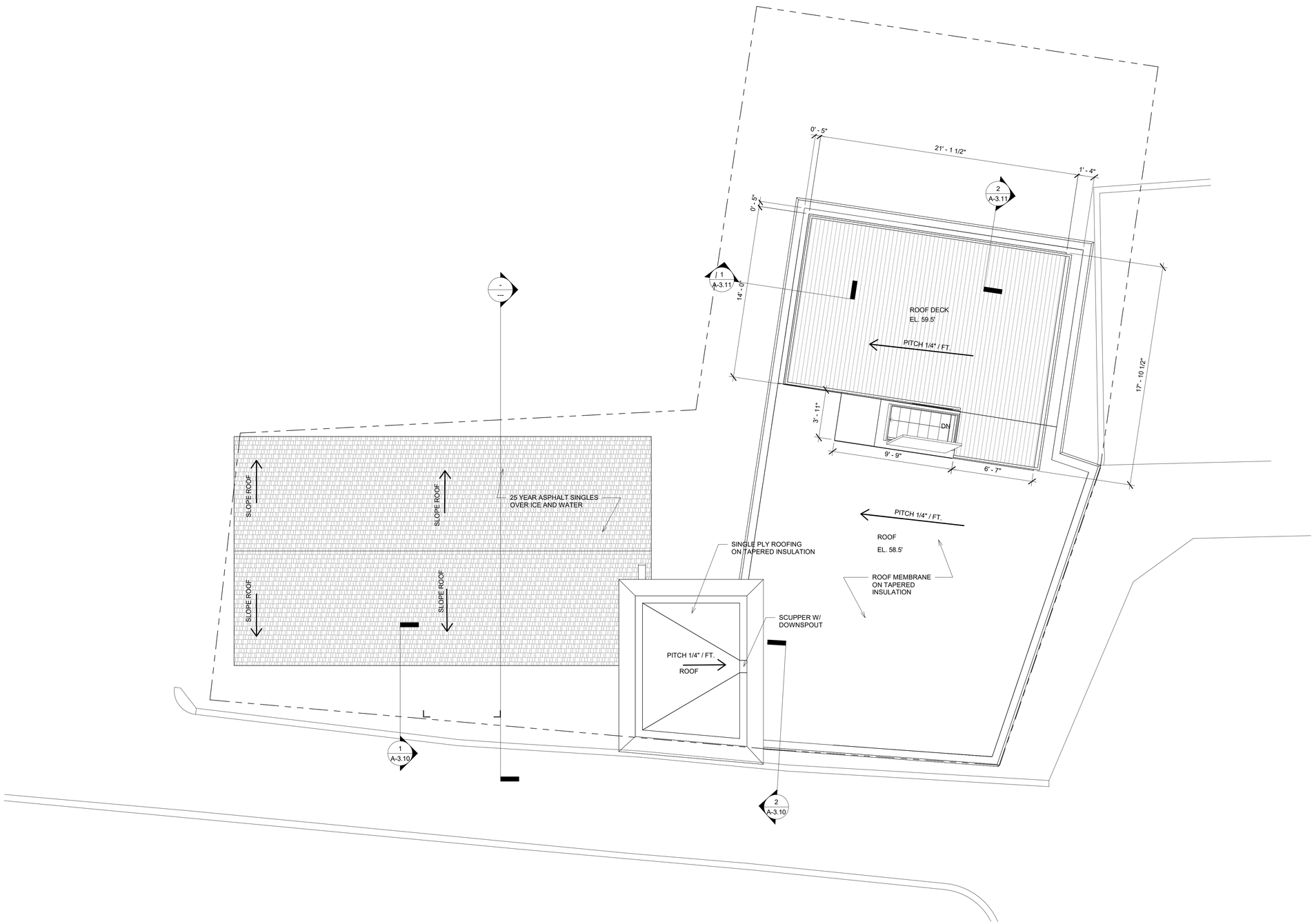
Drawn By: TN / DF

Drawing Name

PROPOSED THIRD FLOOR LEVEL

Sheet No.

A-1.13



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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Project No: 2023112

Scale: 1/4" = 1'-0"

Date: 09-06-2023

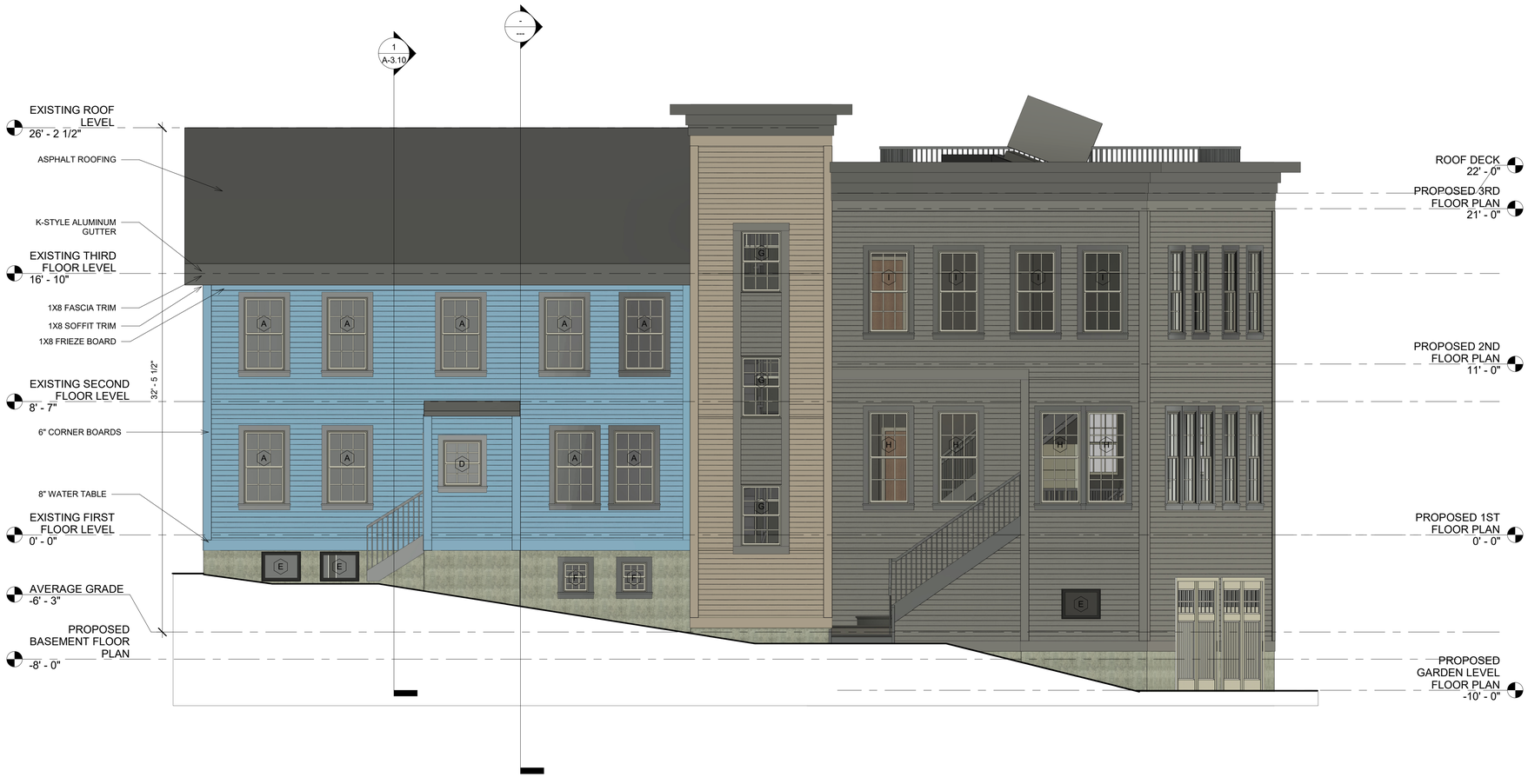
Drawn By: TN / DF

Drawing Name

PROPOSED ROOF PLAN

Sheet No.

A-1.14



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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No.	Description	Date
2	Revision 2	10-19-2023

Project No: 2023112

Scale: 1/4" = 1'-0"

Date: 09-06-2023

Drawn By: TN / DF

Drawing Name

PROPOSED ELEVATION

Sheet No.

A-2.10

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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No.	Description	Date

Project No: 2023112
Scale: 1/4" = 1'-0"
Date: 09-06-2023
Drawn By: TN / DF

Drawing Name

PROPOSED ELEVATION

Sheet No.

A-2.11

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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No.	Description	Date
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Project No: 2023112

Scale: 1/4" = 1'-0"

Date: 09-06-2023

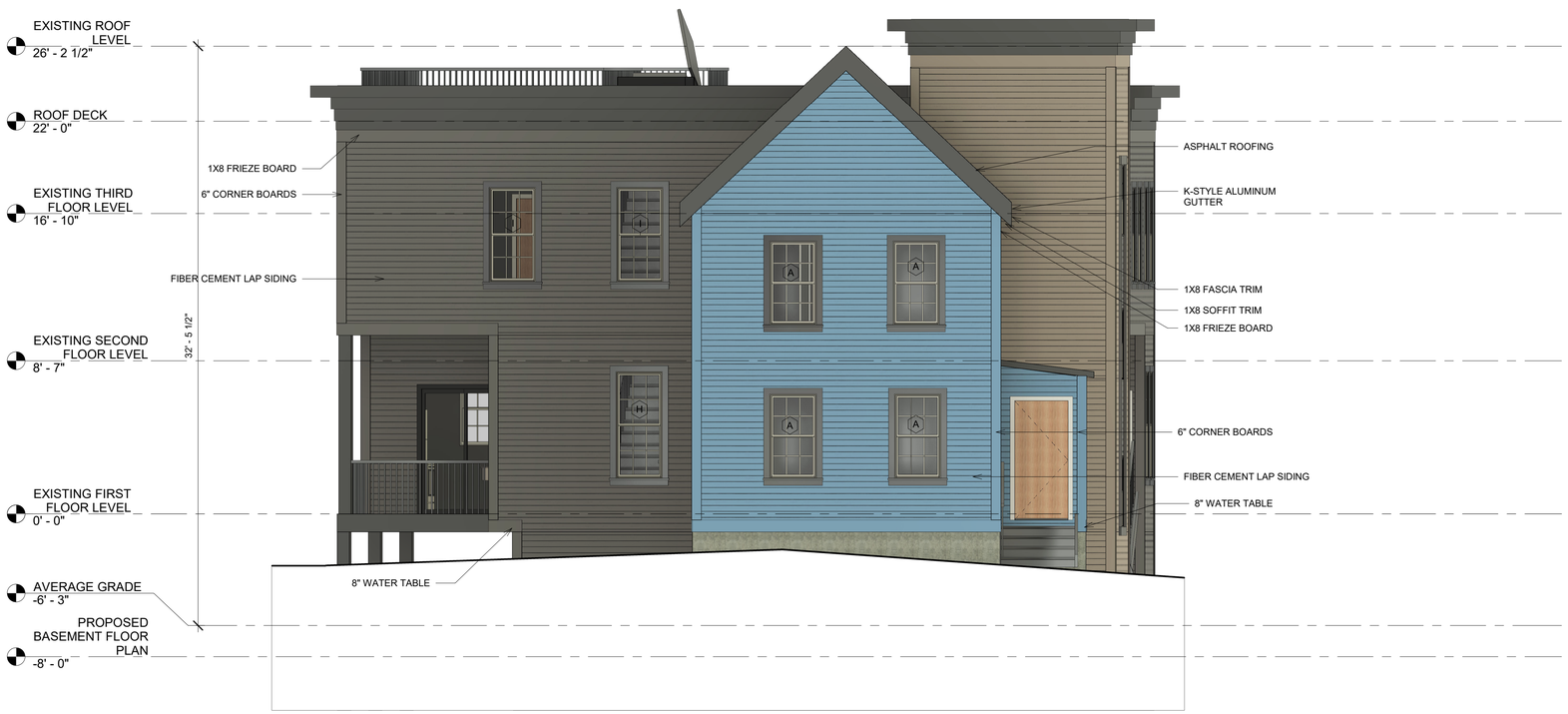
Drawn By: TN / DF

Drawing Name

PROPOSED ELEVATION

Sheet No.

A-2.12



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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No.	Description	Date
2	Revision 2	10-19-2023

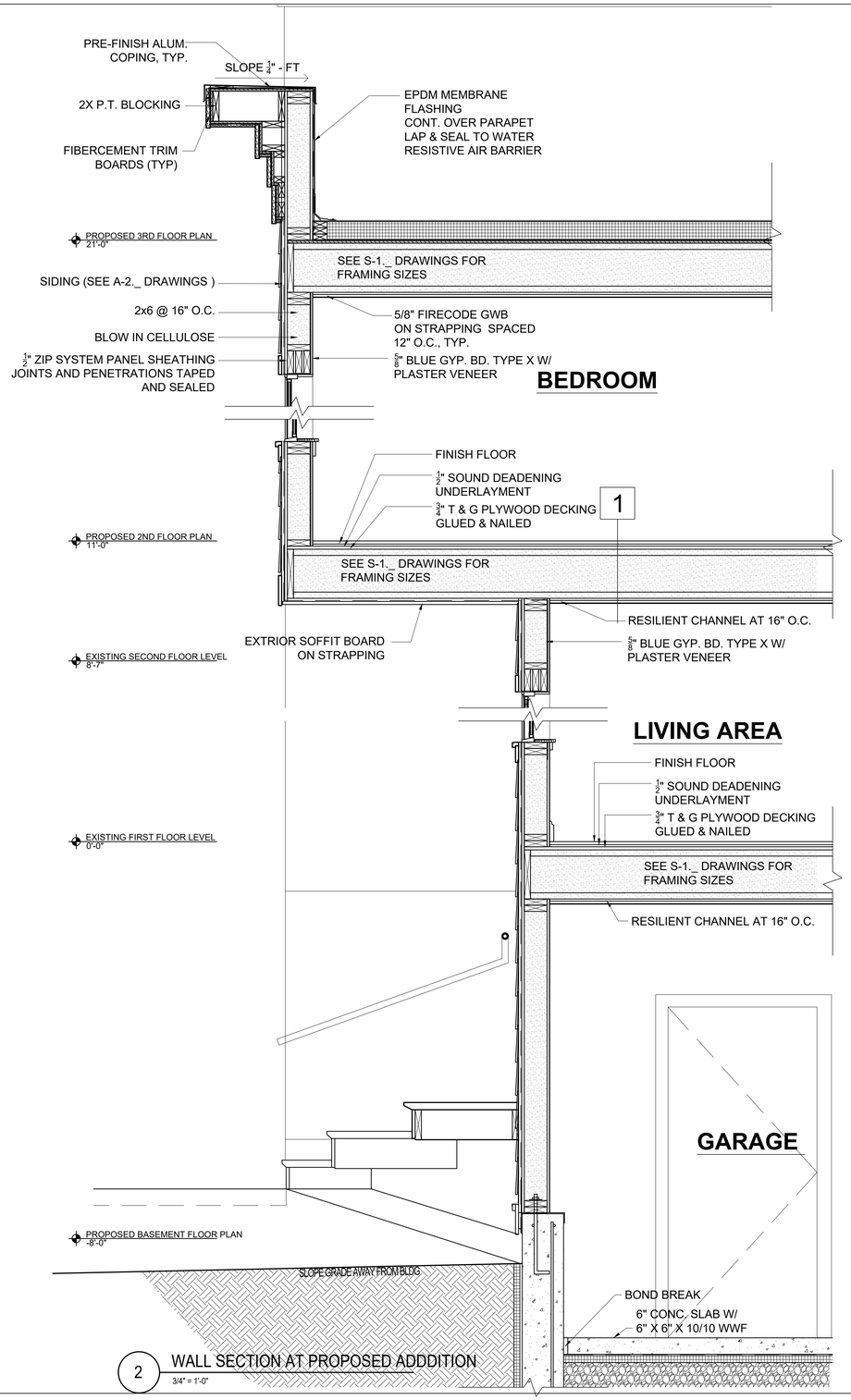
Project No: 2023112
Scale: 1/4" = 1'-0"
Date: 09-06-2023
Drawn By: TN / DF

Drawing Name

PROPOSED ELEVATIONS

Sheet No.

A-2.13



2 WALL SECTION AT PROPOSED ADDDITION
3/4" = 1'-0"

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

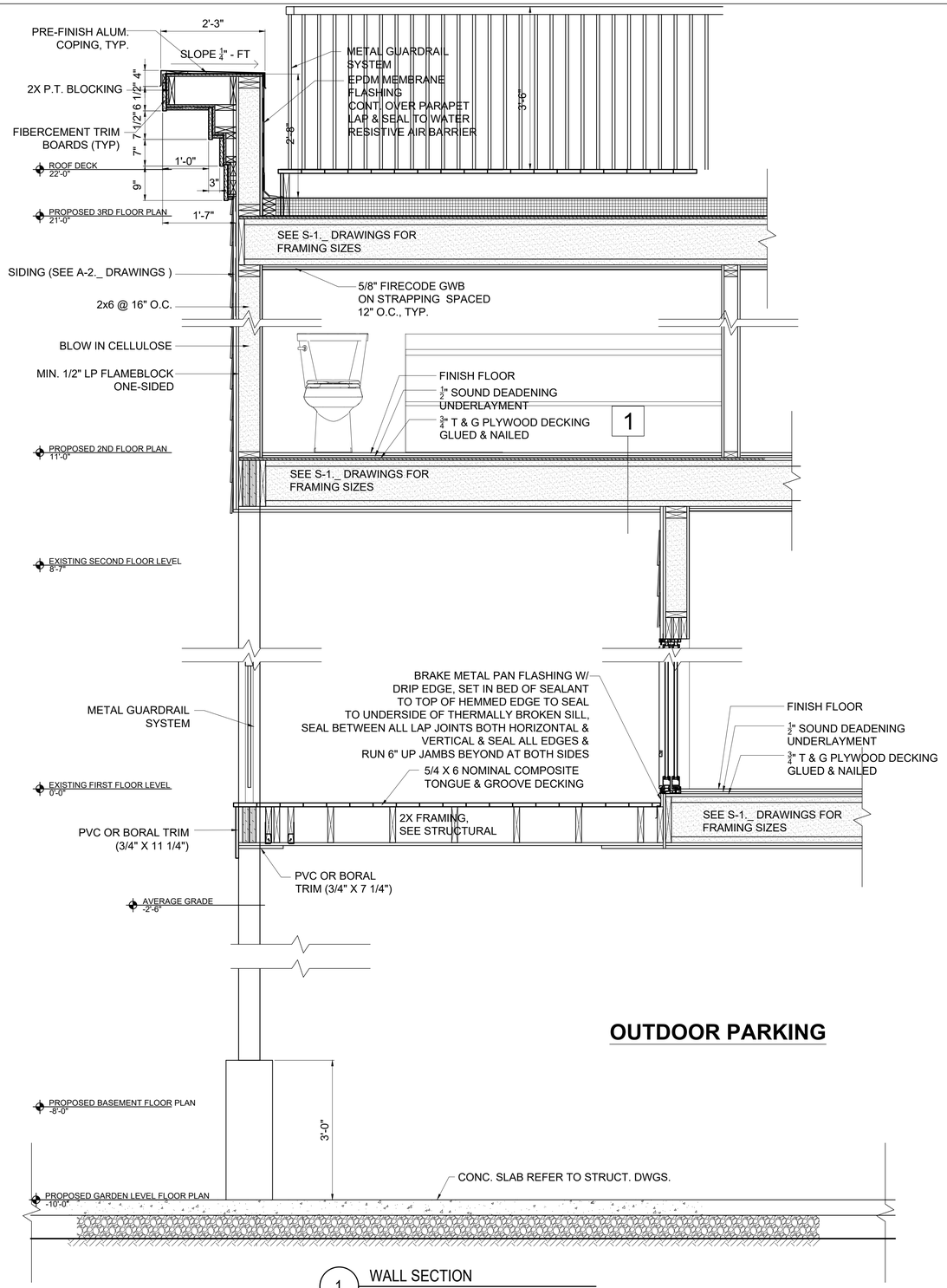
Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

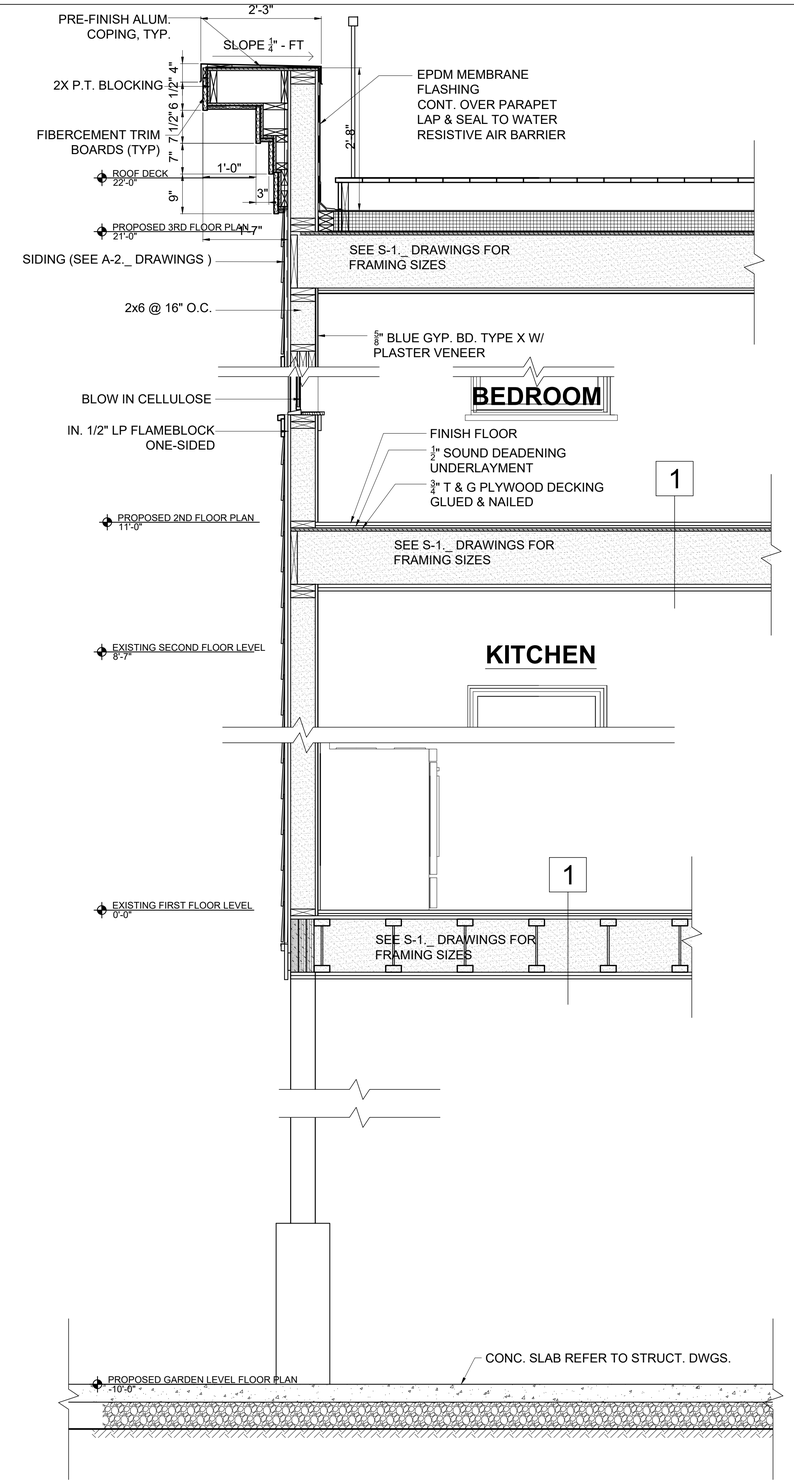
EXTERIOR WALL SECTION

Sheet No.

A-3.10



1 WALL SECTION
3/4" = 1'-0"



Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

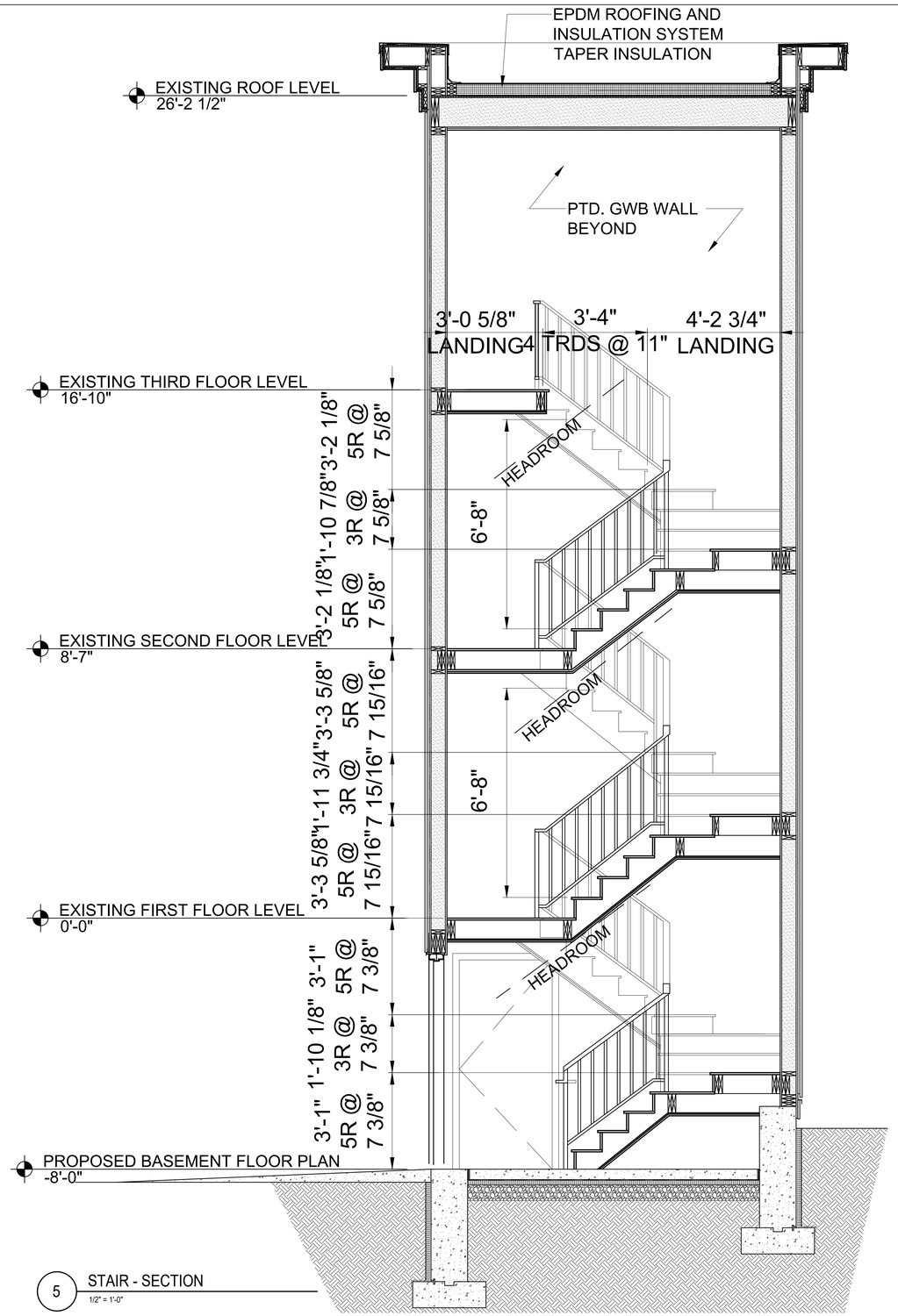
Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

EXTERIOR WALL SECTIONS

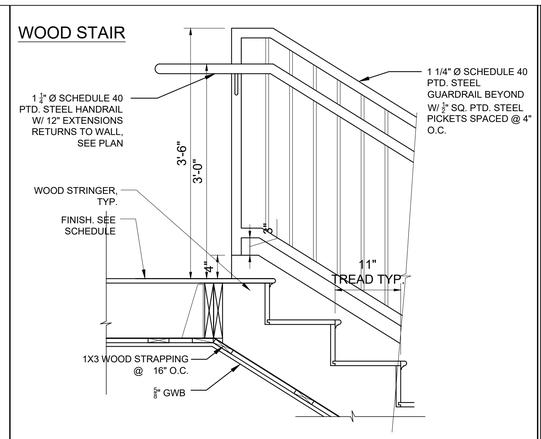
Sheet No.

A-3.11

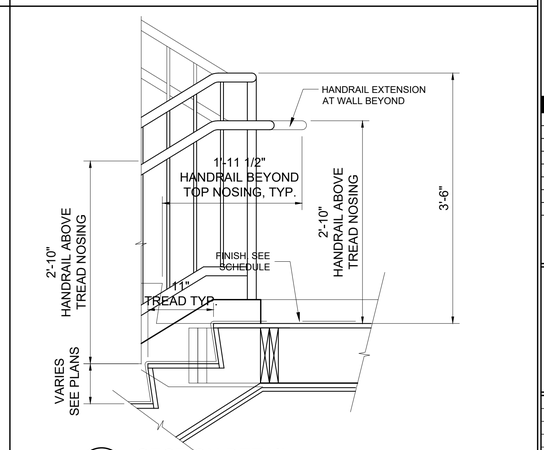


5 STAIR - SECTION
1/2" = 1'-0"

4 HANDRAIL DETAIL
1"=1'-0"



3 SECTION DETAIL
3/4"=1'-0"



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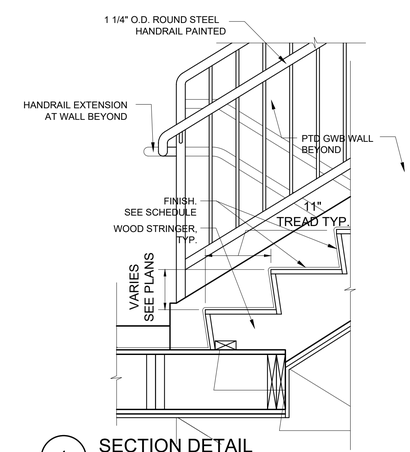
3/4"=1'-0"



1 SECTION DETAIL
3/4"=1'-0"

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

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No.	Description	Date

Project No: 2023112
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Drawn By: AMF

Drawing Name

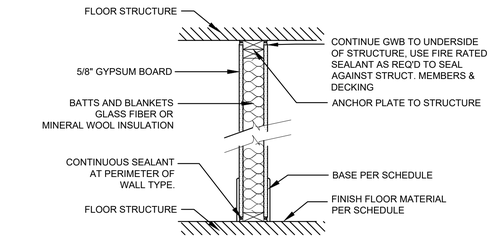
STAIR SECTION AND DETAILS

Sheet No.

A-4.10

PARTITION NOTES

1. ALL NON-BEARING WALLS TO BE PARTITION TYPE 0 UNLESS OTHERWISE NOTED.
2. AT THE INTERSECTION OF PARTITIONS AND ASSEMBLIES, ALL PORTIONS OF THE HIGHER RATED PARTITION OR ASSEMBLY SHALL BE CONTINUOUS PAST THE LOWER OR NON-RATED ASSEMBLY/PARTITION.
3. ALL PENETRATIONS AND OPENINGS IN PARTITIONS/ASSEMBLIES (INCLUDING ABOVE THE CEILING) ARE TO BE FILLED WITH INSULATION AND/OR SEALANT AS REQUIRED AT FIRE AND ACOUSTICAL RATED PARTITIONS TO MAINTAIN RATING. GC TO SUBMIT A PENETRATION FIRESTOPPING PACKAGE FOR APPROVAL.
4. ALL PENETRATIONS THROUGH NON-RATED ASSEMBLIES ARE TO BE PROVIDED WITH ACOUSTICAL SEALANT.
5. CONTRACTOR SHALL INSTALL PUTTY PACKS ON ALL BACK-TO-BACK OUTLETS, WALL BOXES, OR OTHER INSTALLATIONS THAT MAY COMPROMISE FIRE RATING, THERMAL, AND/OR ACOUSTICAL PERFORMANCE. OUTLETS TO BE STAGGERED AS TO NOT BE BACK TO BACK, WHERE POSSIBLE.
6. INSTALL PERIMETER ACOUSTICAL SEALANT AT ALL INTERIOR ASSEMBLIES AND EXTERIOR WALLS.
7. ALL UNIT DEMISING WALLS AND UNIT CORRIDOR WALLS TO ACHIEVE AND STC-50 RATING MINIMUM.
8. AT ALL FIRE-RATED ASSEMBLIES, STUD SPACING SHALL COMPLY WITH THE UL REQUIREMENTS PER THE UL APPROVED LISTING. STUD SPACING IN UL ASSEMBLIES IS A MAX U.O.N., SEE STRUCTURAL DRAWINGS FOR THE ACTUAL STUD SPACING. GC SHALL REVIEW FRAMING SUBMITTALS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION OR INSTALLATION OF FRAMING.
9. ARCHITECT TO BE NOTIFIED OF ANY CHANGES TO THE UL LISTED ASSEMBLIES MADE BY THE OWNER/CONTRACTOR PRIOR TO CONSTRUCTION.
10. ALL GYPSUM WALL BOARD (GWB) IS 5/8" TYPE "X" U.O.N.
11. SEAL ALL VAPOR BARRIER TERMINATIONS AND SEAMS PER MANUFACTURER'S REQUIREMENTS.
12. ALL SEAMS BETWEEN DIFFERENTIAL EXTERIOR MATERIALS AND CONTROL JOINTS TO BE CAULKED ACCORDINGLY.



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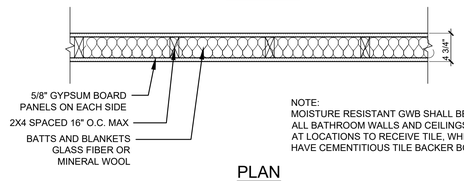


NOTE:
MOISTURE RESISTANT GWB SHALL BE USED IN ALL BATHROOM WALLS AND CEILINGS, EXCEPT AT LOCATIONS TO RECEIVE TILE, WHICH SHALL HAVE CEMENTITIOUS TILE BACKER BOARD

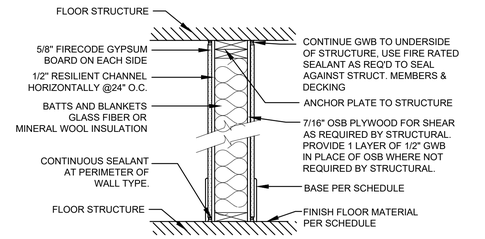
PLAN

0 HR	INTERIOR LOAD BEARING/ NON LOAD BEARING	

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

0 — 2X4 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL)

0A — 2X6 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL)



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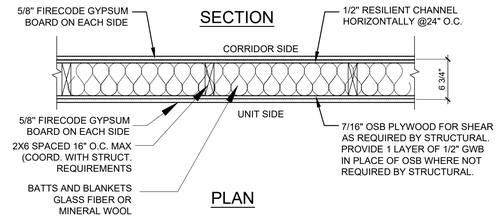
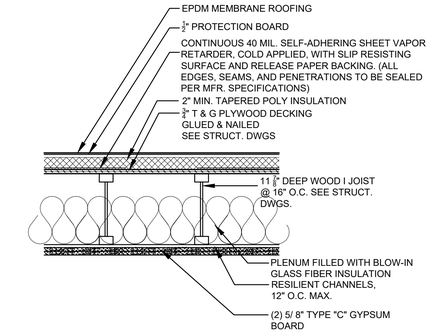


PLAN

1 HR	INTERIOR LOAD BEARING/ NON LOAD BEARING	UL #: U327

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

1 — 2X6 WOOD STUDS W/ SOUND BATTS (CORRIDORS & UNIT INTERIOR BEARING WALL)
1HR. FIRE RATED - UL DES. U305 (STC 50-54)



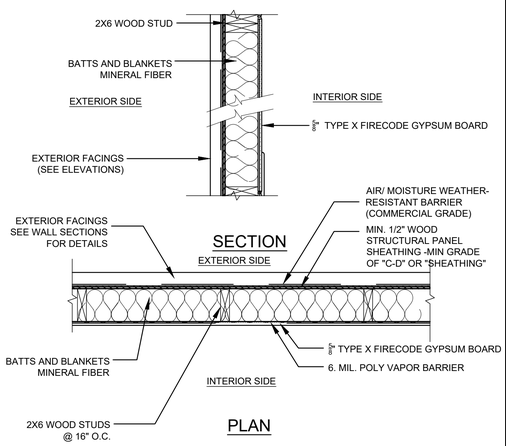
NOTES:

1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.

1 HR	ROOF/CEILING ASSEMBLY	DESIGN No. WNR/RCA 60-01

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND FRAMING SIZES/SPACING

R1 — WOOD ROOF SYSTEM FRAMING (ROOF ASSEMBLY)
1HR. FIRE RATED - DESIGN No. WNR/RCA 60-01



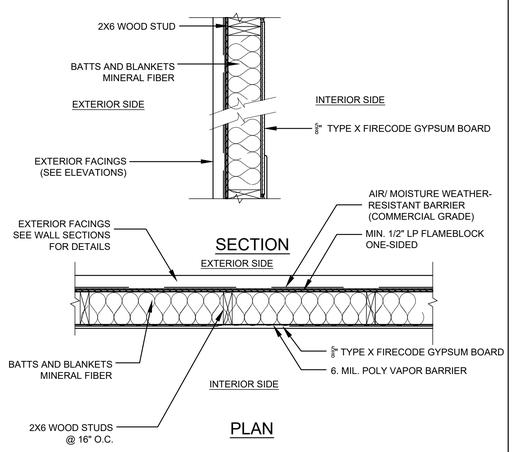
SECTION

PLAN

1 HR	EXTERIOR LOAD BEARING/ NON LOAD BEARING	UL #: U356

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

E1 — EXTERIOR BEARING WALL - RATED FROM INTERIOR ONLY
1 HR. FIRE RATED - UL DES. U356



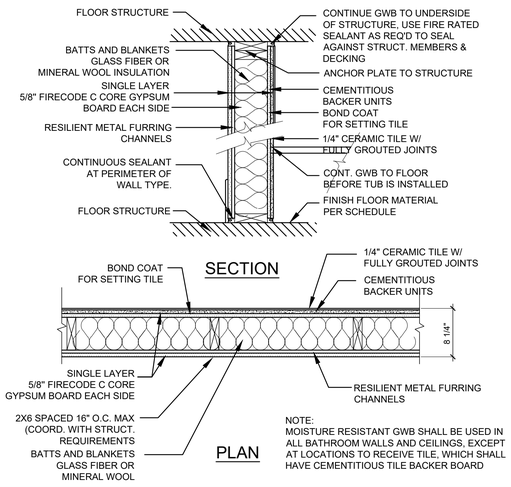
SECTION

PLAN

1 HR	EXTERIOR LOAD BEARING/ NON LOAD BEARING	UL #: V340

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

E2 — EXTERIOR BEARING WALL - RATED FROM BOTH SIDES
1 HR. FIRE RATED - UL DES. V340



SECTION

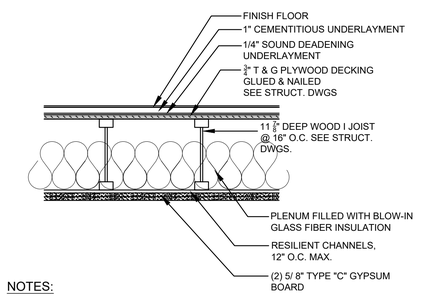
PLAN

NOTE:
MOISTURE RESISTANT GWB SHALL BE USED IN ALL BATHROOM WALLS AND CEILINGS, EXCEPT AT LOCATIONS TO RECEIVE TILE, WHICH SHALL HAVE CEMENTITIOUS TILE BACKER BOARD

1 HR	INTERIOR LOAD BEARING/ NON LOAD BEARING	UL #: U329

USED FOR ALL RATED BATHROOM SHOWER/BATHTUB WALLS

1B — 2X6 WOOD STUDS W/ SOUND BATTS (STC 50-54)
1HR. FIRE RATED - UL DES. U329



NOTES:

1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.

1 HR	1-HR FLOOR/CEILING ASSEMBLY	UL L570

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND FRAMING SIZES/SPACING

F1 — FLOOR SYSTEM - (UPPER FLOOR)
1 HR. FIRE RATED - UL # DES L570 (STC 59)

Location

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No.	Description	Date

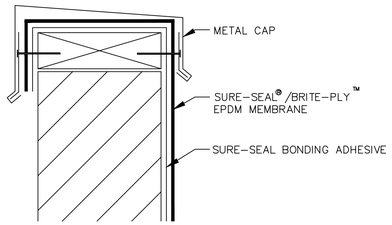
Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

EXTERIOR & INTERIOR PARTITION TYPES

Sheet No.

A-5.00



CAP FLASHING TERMINATION

2

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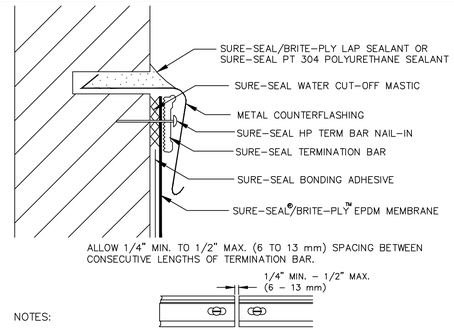

NOTES:

1. APPLY ON HARD SMOOTH SURFACE ONLY; NOT FOR USE ON WOOD.
2. WATER CUT-OFF MASTIC MUST BE HELD UNDER CONSTANT COMPRESSION.
3. DO NOT WRAP COMPRESSION TERMINATION AROUND CORNERS.

COUNTERFLASHING TERMINATION

3

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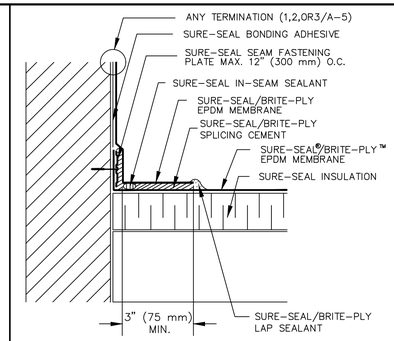

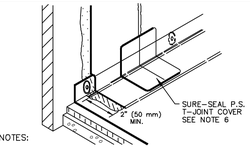

NOTES:

1. LOCATE (1,2,OR3/A-5) TERMINATION ABOVE ANTICIPATED WATER LEVEL.
2. FOR CORNER APPLICATIONS, SEE DETAIL (5/A-5).
3. MAINTAIN A CONTINUOUS BEAD OF IN-SEAM SEALANT AT ALL ADHESIVE MEMBRANE SPLICES; ESPECIALLY AT SPLICE INTERSECTIONS.
4. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL ADHESIVE SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
5. IF A CONTINUATION OF THE DECK MEMBRANE IS TO BE USED AS WALL FLASHING, REFER TO DETAIL U-12-C OR U-12-D.
6. 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MAY ALSO BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
7. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
8. SecurTAPE MAY BE USED IN LIEU OF SPLICING CEMENT.

PARAPET/CURB CURED EPDM

4

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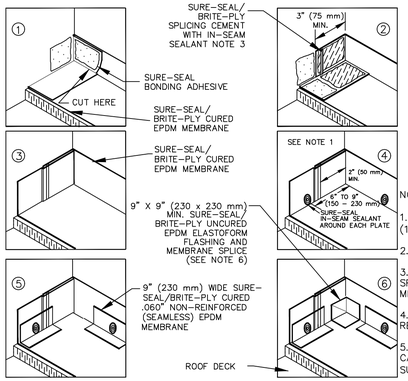

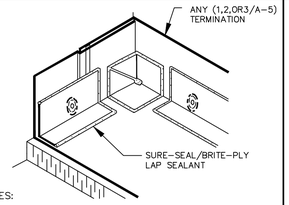

NOTES:

1. INSTALL SEAM FASTENING PLATES 6" TO 9" (150 – 230 mm) AWAY FROM CORNER.
2. SEAL ALL EDGES WITH LAP SEALANT.
3. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
4. FOR USE OF SURE-SEAL INSIDE CORNER FLASHING, REFER TO U-15-E.
5. SEMI-CURED PRESSURE-SENSITIVE FLASHING ROLLS CANNOT BE USED AT CORNERS. ELASTOFORM FLASHING OR SURE-SEAL INSIDE/OUTSIDE CORNERS MUST BE USED.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

5

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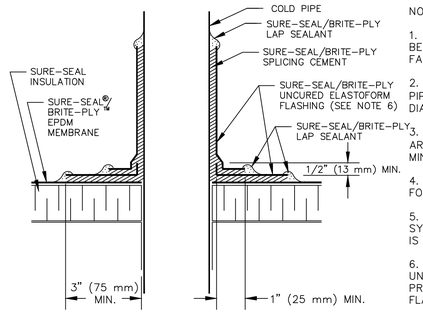

NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
2. SECUREMENT REQUIRED AROUND ALL PIPES GREATER THAN 18 INCHES (500 mm) IN DIAMETER.
3. UNCURED ELASTOFORM FLASHING WRAPPED AROUND THE PIPE SHALL HAVE 3" (75 mm) MINIMUM SPLICE.
4. A HEAT GUN MUST BE USED WHEN FORMING BRITE-PLY FLASHING.
5. ON MECHANICALLY-FASTENED ROOFING SYSTEMS, ADDITIONAL MEMBRANE SECUREMENT IS REQUIRED. REFER TO DETAIL MFS-14.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

FIELD FABRICATED PIPE SEAL

6

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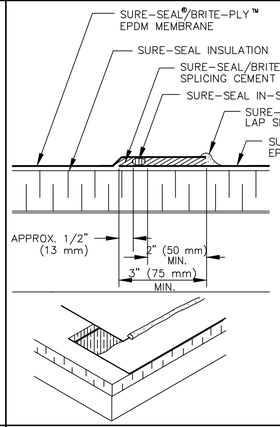

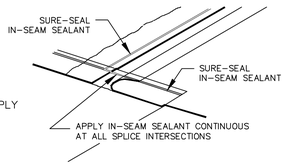

NOTES:

1. MEMBRANE SPLICE PROCEDURE IS FOR SPLICES BETWEEN CURED EPDM SECTIONS.
2. APPLY SPLICING CEMENT OVER ENTIRE 3" (75 mm) MINIMUM SPLICE AREA PRIOR TO APPLICATION OF IN-SEAM SEALANT.
3. IN-SEAM SEALANT SHALL BE CONTINUOUS ALONG THE LENGTH OF THE SPLICE.

MEMBRANE SPLICE WITH SPLICING CEMENT

7

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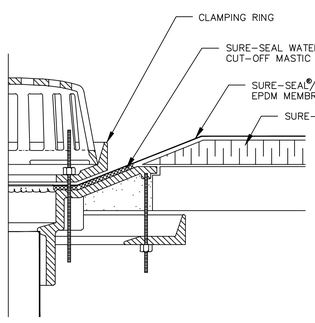
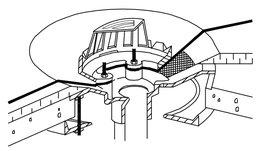
FIELD SPLICES MUST BE LOCATED AT LEAST 6 INCHES OUTSIDE THE DRAIN SUMP





NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING.
2. ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
3. CUT THE MEMBRANE SO IT EXTENDS A MINIMUM OF 1/2" (13 mm) FROM THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING.
4. HOLE IN MEMBRANE MUST EXCEED SIZE OF DRAIN PIPE.
5. INSULATION TAPER SHALL NOT BE STEEPER THAN 6" (150 mm) (VERTICAL) IN 12" (300 mm) (HORIZONTAL).
6. ROOF DRAIN SIZE AND NUMBER OF DRAINS SHALL BE IN ACCORDANCE WITH LOCAL CODES.

ROOF DRAIN

8

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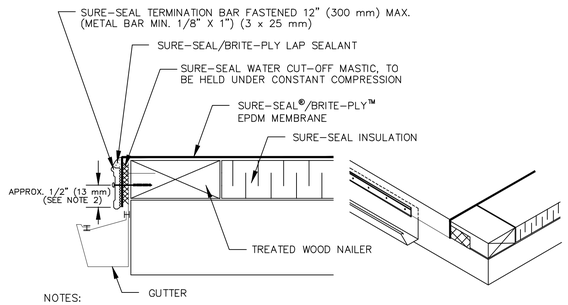

NOTES:

1. FASTENER PATTERN OF METAL BAR MUST PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
2. WHEN REINFORCED MEMBRANE IS USED, ENSURE FASTENER PENETRATES REINFORCEMENT.

METAL BAR TERMINATION

9

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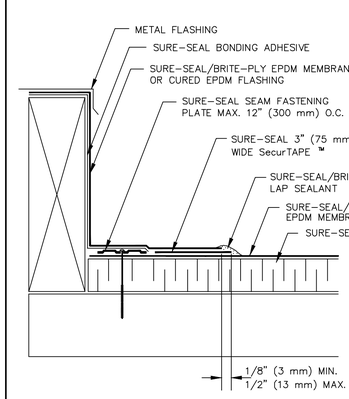

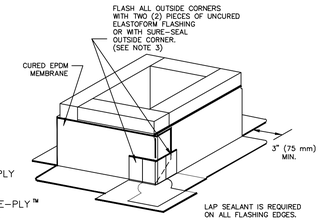

NOTES:

1. FOR ALTERNATE CURB FLASHING REFER TO DETAIL U-12-C OR U-12-D.
2. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
3. IF VERTICAL SPLICE IS NOT LOCATED AT CORNER, 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
4. FASTENING PLATES MAY BE INSTALLED VERTICALLY.
5. APPLY PRIMER PRIOR TO INSTALLING SecurTAPE.
6. SPLICING CEMENT MAY BE USED IN LIEU OF SecurTAPE.

CURB FLASHING

10

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Location

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Choo & Company, Inc.
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617-786-7727 fax 617-786-7715

No.	Description	Date

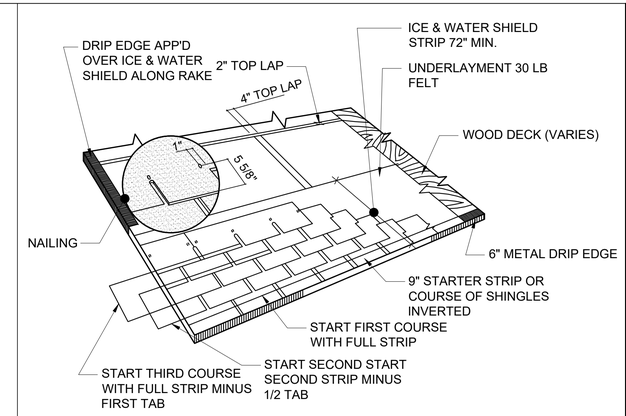
Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

ROOF DETAILS

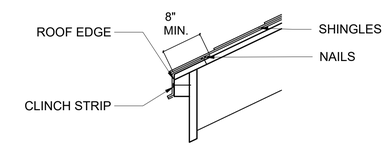
Sheet No.

A-5.13



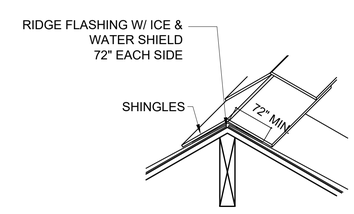
TYPICAL ROOF LAYOUT

SCALE: N.T.S.



GENERIC DRIP EDGE

SCALE: N.T.S.



CONCEALED RIDGE FLASHING

SCALE: N.T.S.

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: 2023112

Scale: AS NOTED

Date: 09-06-2023

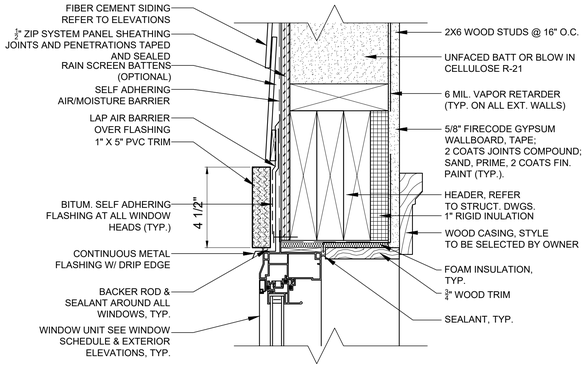
Drawn By: AMF

Drawing Name

ROOF DETAILS

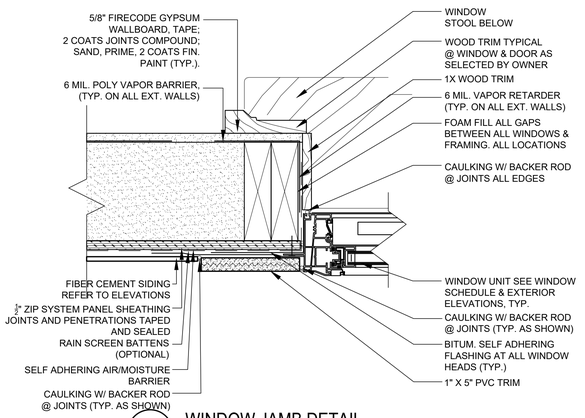
Sheet No.

A-5.14



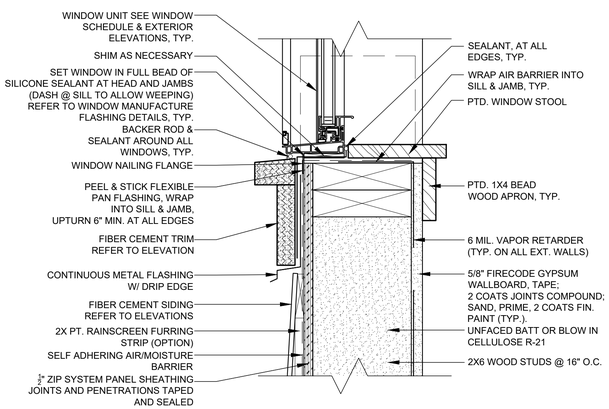
3 WINDOW HEAD DETAIL

3" = 1'-0"



2 WINDOW JAMB DETAIL

3" = 1'-0"



1 WINDOW SILL DETAIL

3" = 1'-0"

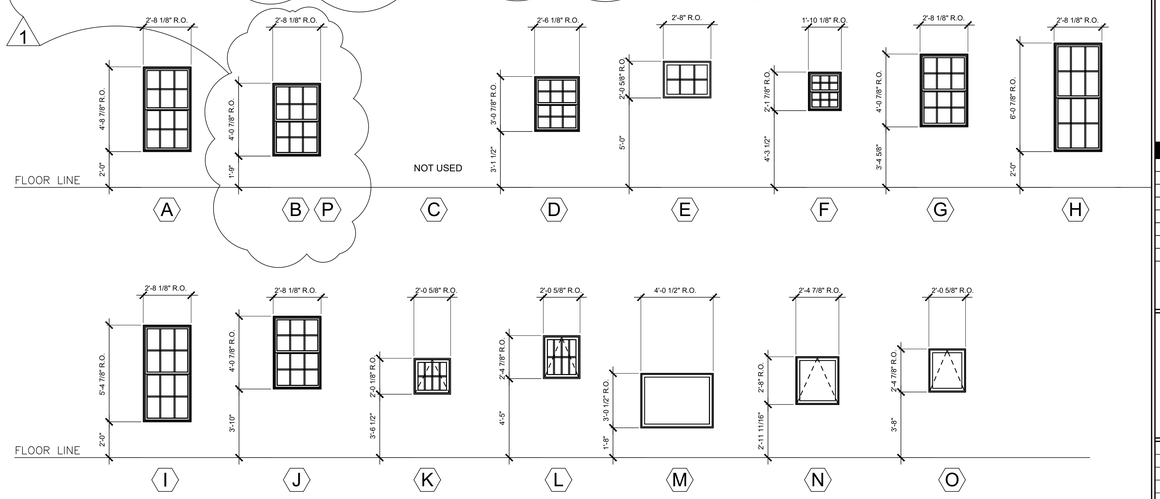
WINDOW SCHEDULE

NOTE: G.C. IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND UNIT QUANTITIES PRIOR TO ORDERING

NO.	MANUFACTURER	MODEL	QUAN.	WINDOW DIM.	MATERIAL	REMARKS
A	ANDERSON 400 SERIES	WDH2646	16	RO 2'-8 1/8" x 4'-8 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
C	NOT USED					
D	ANDERSON 400 SERIES	WDH24210	1	RO 1'-6 1/8" x 3'-0 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
E	ANDERSON 400 SERIES	A281	3	RO 2'-8" x 2'-0 5/8"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR,
F	ANDERSON 400 SERIES		2	RO 1'-10 1/8" x 2'-1 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
G	ANDERSON 400 SERIES	WDH26310	3	RO 2'-1 1/8" x 4'-0 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
H	ANDERSON 400 SERIES	WDH2610	11	RO 2'-8 1/8" x 6'-0 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
I	ANDERSON 400 SERIES	WDH2652	13	RO 2'-8 1/8" x 5'-4 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
*I	ANDERSON 400 SERIES	WDH2652	1	RO 2'-8 1/8" x 5'-4 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES, TEMPERED GLASS
J	ANDERSON 400 SERIES	WDH26310	4	RO 2'-8 1/8" x 4'-0 7/8"	WOOD / FIBERGLASS	DOUBLE-HUNG, PRIMED INTERIOR, SIMULATED DIVIDED LITES, 6 OVER 6 LITES
K	ANDERSON 400 SERIES	A21	1	RO 2'-0 5/8" x 2'-0 1/8"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR,
L	ANDERSON 400 SERIES	AW21	1	RO 2'-0 5/8" x 2'-4 7/8"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR,
M	ANDERSON 400 SERIES	P4030	1	RO 4'-0 1/2" x 3'-0 1/2"	WOOD / FIBERGLASS	PICTURE, PRIMED INTERIOR
N	ANDERSON 400 SERIES	AX251	1	RO 2'-4 7/8" x 2'-8"	WOOD / FIBERGLASS	PICTURE, PRIMED INTERIOR
*O	ANDERSON 400 SERIES	AW21	1	RO 2'-0 5/8" x 2'-4 7/8"	WOOD / FIBERGLASS	AWNING, PRIMED INTERIOR, TEMPERED GLASS
P	FIRELITE IGU	-	3	RO 2'-0 5/8" x 2'-4 7/8"	STEEL / CERAMIC	FIXED 1 HOUR RATED FIRE GLASS, 12 LITES

*TEMPERED GLASS

1



WINDOW NOTES:

1. G.C. IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND UNIT QUANTITIES PRIOR TO ORDERING
2. GLAZING TO BE LOW-E TYPE
3. ALL WINDOWS TO INCLUDE INSECT SCREENING PER MANUFACTURER
4. DIMENSIONS SHOWN ARE BASED ROUGH OPENINGS.
5. PROVIDE WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090 ON ALL OPERABLE WINDOW WITH SILLS LESS THEN 36" A.F.F.
6. INTERIOR AND EXTERIOR WINDOW COLOR AND HARDWARE FINISH TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED.

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION 6-8 NEAREN ROW, CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date
1	ISD	10-06-2023

Project No: 2023112

Scale: AS NOTED

Date: 09-06-2023

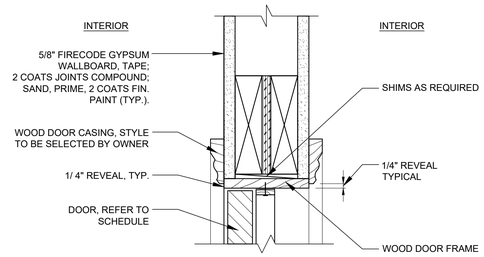
Drawn By: AMF

Drawing Name

WINDOW SCHEDULE AND ELEVATIONS

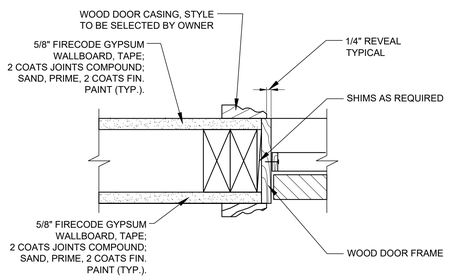
Sheet No.

A-6.01



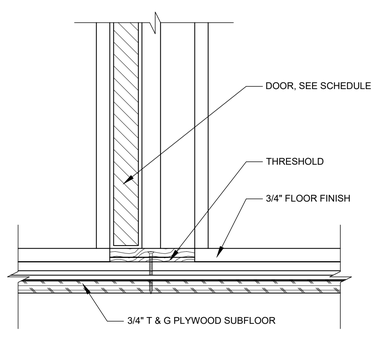
3 INTERIOR WOOD FRAME - DOOR HEAD DETAIL

3" = 1'-0"



2 INTERIOR WOOD FRAME - DOOR JAMB DETAIL

3" = 1'-0"



1 INTERIOR WOOD FRAME - DOOR THRESHOLD

3" = 1'-0"

DOOR SCHEDULE

* GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES IN THE FIELD PRIOR TO ORDERING
* NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.
* NOTE DOOR STYLE, COLOR & HARDWARE FINISH TO BE SELECTED BY OWNER, ALL HARDWARE TO MATCH

NO.	LOCATION	SIZE	TYPE	MATERIAL	RATING	FRAME	# NEEDED	HARDWARE	REMARKS
001	ENTRANCE LOBBY	3'-0" x 7'-0" x 1 3/4"	A	WOOD/GLASS	-	WM1	-	ENTRY SET	EXTERIOR DOOR, INSULATED, TEMPERED GLASS
002	GARAGE PARKING	3'-0" x 7'-0" x 1 3/4"	D	HM/GLASS	-	HM1	-	ENTRY SET	EXTERIOR DOOR,TEMPERED GLASS
003	UTILITY	3'-0" x 7'-0" x 1 3/4"	B	COMP. OR WOOD	-	WM1		STORE ROOM	PANEL DOOR, INSULATED
004	CLOSET	2'-6" x 6'-8" x 1 3/8"	B	COMP. OR WOOD		WM1		STORE ROOM	PANEL DOOR,
005	MUD ROOM	(2) 2'-6" x 6'-8" x 1 3/4"	E	HM/GLASS		HM2		ENTRANCE	EXTERIOR DOOR, INSULATED, TEMPERED GLASS
006	GARAGE DOOR	7'-0" x 8'-0"	F	WOOD/GLASS		WOOD		GARAGE	STYLE/HARDWARE SELECTED BY OWNER

FIRST FLOOR

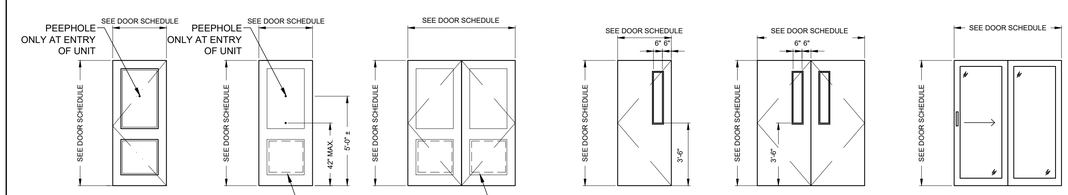
101	ENTRANCE LOBBY	3'-0" x 7'-0" x 1 3/4"	A	WOOD/GLASS	-	WM1		ENTRY SET	EXTERIOR DOOR, INSULATED, TEMPERED GLASS
102	UNIT ENTRY	3'-0" x 7'-0" x 1 3/4"	A	WOOD/GLASS	-	WM1		ENTRY SET	EXTERIOR DOOR, INSULATED, TEMPERED GLASS

TYPICAL UNIT DOOR

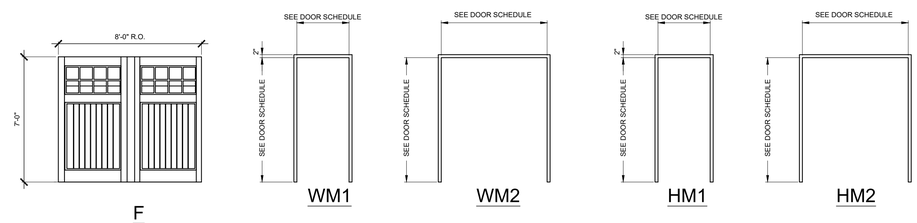
C	ENTRANCE LOBBY	3'-0" x 7'-0" x 1 3/4"	B	COMP. OR WOOD	45 MIN.	HM1		ENTRANCE SET	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
2	BATHROOM	3'-0" x 6'-8" x 1 3/8"	B	COMP. OR WOOD	-	WM1		PRIVACY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
3	BEDROOM	2'-10" x 6'-8" x 1 3/8"	B	COMP. OR WOOD	-	WM1		PRIVACY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
4	CLOSET	2'-6" x 6'-8" x 1 3/8"	B	COMP. OR WOOD	-	WM1		PASSAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
5	W/D	2'-6" x 6'-8" x 1 3/8"	B	COMP. OR WOOD	-	WM1		PASSAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
6	W/D	(2) 2'-6" x 6'-8" x 1 3/8"	C	COMP. OR WOOD	-	WM2		PASSAGE	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
7	DECK	5'-0" x 6'-8" x 1 3/4"	F	COMP. OR WOOD	-	WM2		ENTRANCE SET	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER

DOOR NOTES:

1. PROVIDED DRIP CAP FLASHING OVER HEAD
2. BITUM. SELF ADHERING SHEET OVER HEAD FLASHING TYPICAL



A FLUSH | B FLUSH | C DOUBLE FLUSH | D FLUSH W/ VISION LIGHT | E FLUSH W/ VISION LIGHT | F SLIDER DOOR



F GARAGE DOOR | WM1 | WM2 | HM1 | HM2

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION
6-8 NEAREN ROW,
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

DOOR SCHEDULE AND ELEVATIONS

Sheet No.

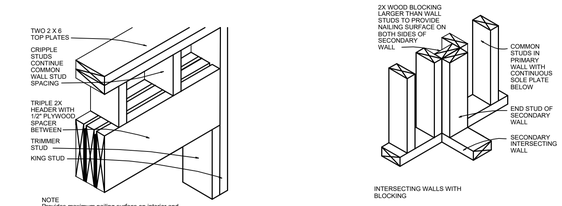
A-6.02

RECOMMENDED FASTENING SCHEDULE

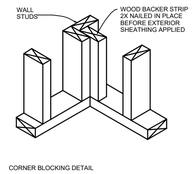
BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
STUD TO SOLE PLATE	8D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
STUD TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE STUDS	10D COMMON	12" O.C. DIRECT
CORNER STUDS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	16" O.C.
DOUBLE CAP PLATE	10D COMMON	16" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
RIBBON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
RIBBON STRIP, 6" OR MORE	10D COMMON	3 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	3 TOE-NAIL
JACK RAFTER TO RIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HIP	10D COMMON 16D COMMON	3 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO STUDS (NO CEILING JOISTS)	10D COMMON 10D COMMON	5 DIRECT OR 3 DIRECT
FLOOR JOISTS TO STUDS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO SILL OR GIRDER	3D COMMON	3 TOE-NAIL
LEDGER STRIP	16D COMMON	3 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	3 TOE-NAIL
CEILING JOISTS (LAPS OVER PARTITION)	10D COMMON	3 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	3 DIRECT
COLLAR BEAM	10D COMMON	3 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO STUD AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
TAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 4 SQ. FT. FLOOR AREA
HEADER BEAMS TO TRIMMERS	20D COMMON	1 EACH END 8 SQ. FT. FLOOR AREA
1" ROOF DECKING (OVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 3 EACH DIRECT RAFTER
1" SUBFLOORING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SUBFLOORING (8" OR MORE)	8D COMMON	3 EACH DIRECT JOIST
2" SUBFLOORING	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (8" OR LESS IN WIDTH)	8D COMMON	2 EACH DIRECT STUD
1" WALL SHEATHING (OVER 8" IN WIDTH)	8D COMMON	3 EACH DIRECT STUD
PLYWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/16",3/8", OR 1/2") (OVER 6" IN WIDTH)	 6D COMMON 8D COMMON 16 GAUGE GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN; LENGTH OF 1" PLUS PLYWOOD THICKNESS SAME AS IMMEDIATELY ABOVE	 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 5" O.C. INTERMEDIATE
PLYWOOD SUBFLOORING (1/2") (3/8", 3/4") (1", 1 1/8") (1/2") (3/8")	 6D COMMON OR 6D ANNULAR OR SPIRAL THREAD 8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 10D COMMON OR 8D RING SHANK OR 8D ANNULAR OR SPIRAL THREAD 16D GALVANIZED WIRE STAPLES 3/8" MINIMUM CROWN; 1 3/8" LENGTH	 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE 4" O.C. EDGES & 7" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
BUILT-UP GIRDERS AND BEAMS	20D COMMON	32" O.C. DIRECT
CONTINUOUS HEADER TO STUD	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GYPSUM SHEATHING	12 GAUGE 1 3/4" LARGE HEAD CORROSION-RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAYMENT (1/4"-3/4")	6D ANNULAR THREADED	6" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING 1/2" OR LESS	6D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SUBFLOORING (5/8" OR GREATER)	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHINGLES, WOOD*	NO. 14 B&S GAGE CORROSION RESISTIVE	2 EACH BEARING
WEATHER BOARDING	8D CORROSION	2 EACH BEARING

NOTE *: SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 3/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN 780 CMR 1225.4.4.

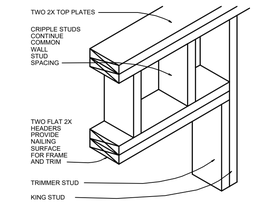
2X6 BEARING HEADER DETAIL
NTS



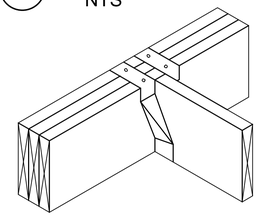
INSULATED WALL DETAILS
1"=1'-0"



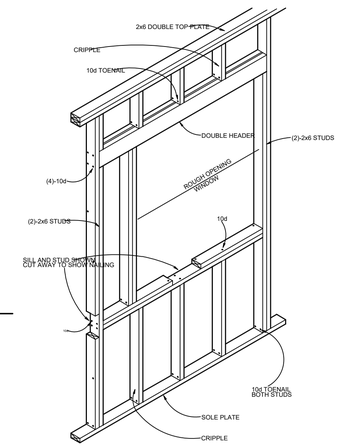
INSULATED WALL DETAILS
1" = 1'-0"



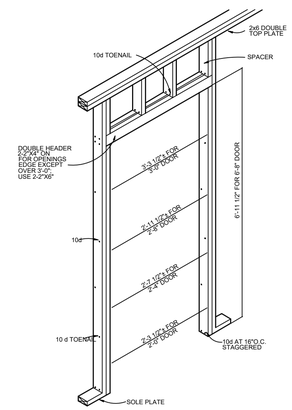
2X_PARTITION WALL HEADER DETAIL
NTS



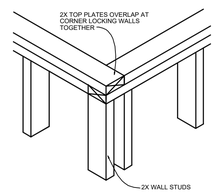
WOOD JOISTS SUPPORTED ON WOOD GIRDERS
1"=1'-0"



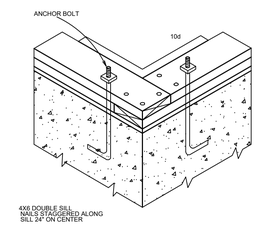
WINDOW OPENING DETAIL
1"=1'-0"



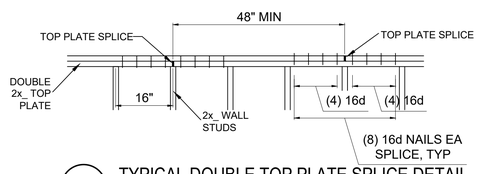
DOOR OPENING DETAIL
1"=1'-0"



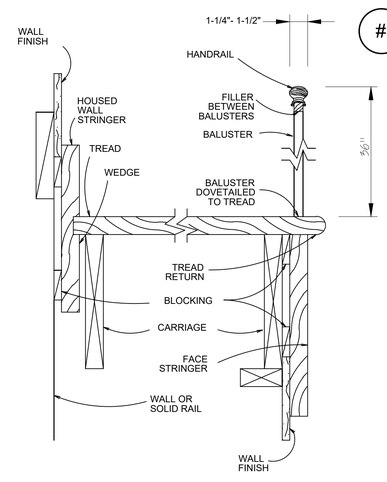
TOP PLATE FRAMING DETAIL
NTS



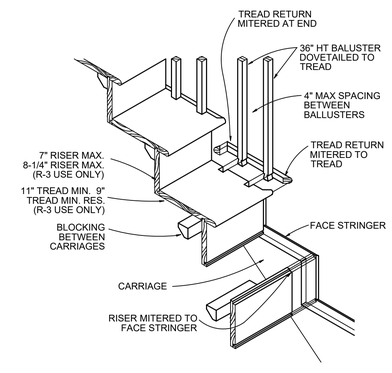
SILL FOR PLATFORM FRAMING DETAIL
1"=1'-0"



TYPICAL DOUBLE TOP PLATE SPLICE DETAIL
NTS



STAIR DETAIL
NTS



STAIR DETAIL
NTS

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION
6-8 NEAREN ROW,
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: 2023112
Scale: AS NOTED
Date: 09-06-2023
Drawn By: AMF

Drawing Name

FASTENING SCHEDULE & FRAMING DETAILS

Sheet No.

A-6.03

LATERAL SUPPORT
- BCI JOISTS MUST BE LATERALLY SUPPORTED AT THE ENDS WITH HANGERS, BCI RIM JOISTS, RIM BOARDS, BCI BLOCKING PANELS OR X-BRACING. BCI BLOCKING PANELS OR X-BRACING ARE REQUIRED AT CANTILEVER SUPPORTS.
- BLOCKING MAY BE REQUIRED AT INTERMEDIATE BEARINGS FOR FLOOR DIAPHRAGM PER IRC IN HIGH SEISMIC AREAS, CONSULT LOCAL BUILDING OFFICIAL.

MINIMUM BEARING LENGTH FOR BCI JOISTS
- 1-3/4" INCHES IS REQUIRED AT END SUPPORTS. 3-1/2" INCHES IS REQUIRED AT CANTILEVER AND INTERMEDIATE SUPPORTS.
- LONGER BEARING LENGTHS ALLOW HIGHER REACTION VALUES. REFER TO THE BUILDING CODE EVALUATION REPORT OF THE BC CALC SOFTWARE.

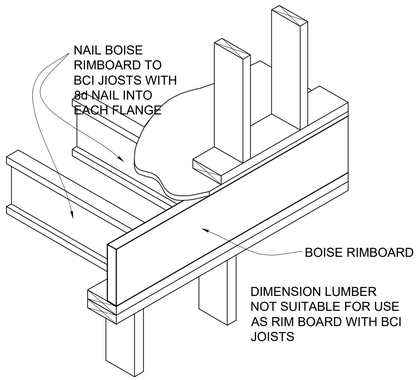
NAILING REQUIREMENTS
- BCI RIM JOIST, RIM BOARD OR CLOSURE PANEL TO BCI JOIST:
- RIMS OR CLOSURE PANEL 1-3/4" INCHES THICK AND LESS: 2-8d NAILS, ONE EACH ON THE TOP AND BOTTOM FLANGE
- BCI 5000S RIM JOIST: 2-10d BOX NAILS, ONE EACH IN THE TOP AND BOTTOM FLANGE.
- BCI 6000S, 60S RIM JOIST: 2-16d BOX NAILS, ONE EACH IN THE TOP AND BOTTOM FLANGE.
- BCI 6500S, 90S RIM JOIST: TOE-NAIL TOP FLANGE TO RIM JOISTS WITH 2-10d BOX NAILS, ONE EACH SIDE OF THE FLANGE.
- BCI RIM JOIST, RIM BOARD OR BCI BLOCKING PANEL TO SUPPORT:
- 8d NAILS AT 6 INCHES ON CENTER.
- WHEN USED FOR SHEAR TRANSFER, FOLLOW THE BUILDING DESIGNER'S SPECIFICATION.
- BCI JOIST TO SUPPORT:
- 2-8d NAILS, ONE ON EACH SIDE OF THE WEB, PLACED 1-1/2" INCHES MINIMUM FROM THE END OF THE BCI JOIST TO LIMIT SPLITTING.
- SHEATHING TO BCI JOIST:
- SEE CLOSEST ALLOWABLE NAIL SPACING CHART (ON THIS SHEET)
- BCI 6000S, 6500S, 60S, 90S JOIST: MAXIMUM NAIL SPACING IS 24 INCHES ON CENTER.
- 14 GAUGE STAPLES MAY BE SUBSTITUTED FOR 8d NAILS IF THE STAPLES PENETRATE AT LEAST 1 INCH INTO THE JOIST.
- WOOD SCREWS MAY BE ACCEPTABLE, CONTACT LOCAL BUILDING OFFICIAL AND/OR BOISE EWP ENGINEERING FOR FURTHER INFORMATION.

PROTECT BCI JOISTS FROM THE WEATHER
- BCI JOISTS ARE INTENDED ONLY FOR APPLICATIONS THAT PROVIDE PERMANENT PROTECTION FROM THE WEATHER. BUNDLES OF BCI JOISTS SHOULD BE COVERED AND STORED OFF THE GROUND ON STICKERS.

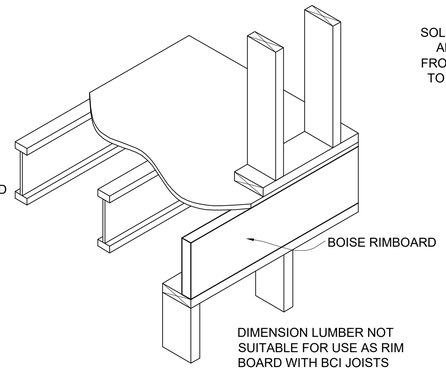
WEB STIFFENER REQUIREMENTS
- WEB STIFFENERS ARE OPTIONAL EXCEPT AS NOTED BELOW:
- WEB STIFFENERS ARE ALWAYS REQUIRED IN HANGERS THAT DO NOT EXTEND UP TO SUPPORT THE FLANGE OF THE BCI JOIST. WEB STIFFENERS MAY BE REQUIRED WITH CERTAIN SLOPED OR SKEWED HANGERS OR TO ACHIEVE UPLIFT VALUES. REFER TO THE HANGER MANUFACTURER'S INSTALLATION REQUIREMENTS
- WEB STIFFENERS ARE ALWAYS REQUIRED IN CERTAIN ROOF APPLICATIONS (SEE ROOF FRAMING DETAILS)
- WEB STIFFENERS ARE ALWAYS REQUIRED UNDER CONCENTRATED LOADS THAT EXCEED 1,000 POUNDS. INSTALL THE WEB STIFFENERS SNUG TO THE TOP FLANGE IN THIS SITUATION. FOLLOW THE NAILING SCHEDULE FOR INTERMEDIATE BEARINGS.
- WEB STIFFENERS MAY BE USED TO INCREASE ALLOWABLE REACTION VALUES.

BACKER AND FILLER BLOCK DIMENSIONS		
SERIES	BACKER BLOCK THICKNESS	FILLER BLOCK THICKNESS
5000s 1.8	3/4" OR 7/8" WOOD PANELS	TWO 3/4" WOOD PANELS OR 2x_
6000s 1.8	1-1/8" OR TWO 1/2" WOOD PANELS	2x_ + 5/8" OR 3/4" WOOD PANEL
6500s 1.8	1-1/8" OR TWO 1/2" WOOD PANELS	2x_ + 5/8" OR 3/4" WOOD PANEL
60s 2.0	1-1/8" OR TWO 1/2" WOOD PANELS	2x_ + 5/8" OR 3/4" WOOD PANEL
90s 2.0	2x_ LUMBER	DOUBLE 2x_ LUMBER
CUT BACKER AND FILLER BLOCKS TO A MAXIMUM DEPTH EQUAL TO THE WEB DEPTH MINUS 1/4" TO AVOID A FORCED FIT		

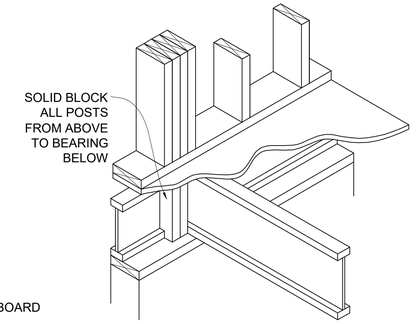
CLOSEST ALLOWABLE NAIL SPACING				
NAIL SIZE	ALL BCI JOISTS			
	NAILING PERPENDICULAR TO GLUE LINE (WIDE FACE)		NAILING PARALLEL TO GLUE LINE (NARROW FACE)	
	O.C. SPACING	END OF JOIST	O.C. SPACING	END OF JOIST
8d BOX	2"	1-1/2"	4"	1-1/2"
8d COMMON	2"	1-1/2"	4"	3"
10d & 12d BOX	2"	1-1/2"	4"	3"
16d BOX	2"	1-1/2"	4"	3"
10d & 12d COMMON	3"	2"	6"	4"
16d SINKER	3"	2"	6"	4"
16 COMMON	3"	2"	6"	4"



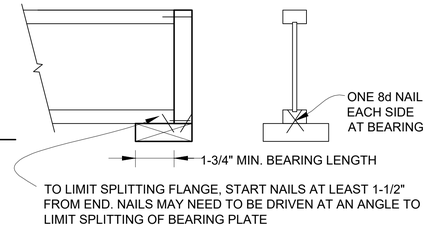
1 FLOOR FRAMING DETAIL
1" = 1'-0"



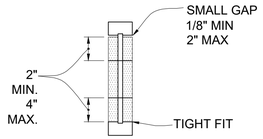
2 FLOOR FRAMING DETAIL
1" = 1'-0"



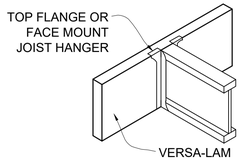
3 FLOOR FRAMING DETAIL
1" = 1'-0"



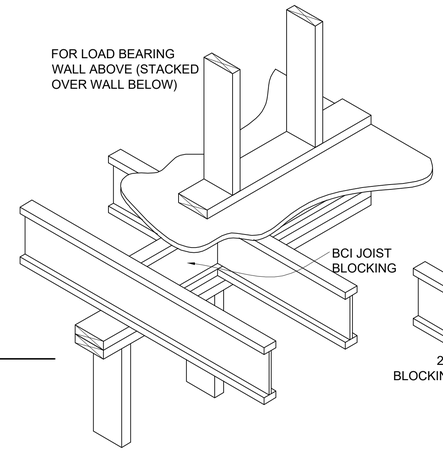
4 FLOOR FRAMING DETAIL
1/2" = 1'-0"



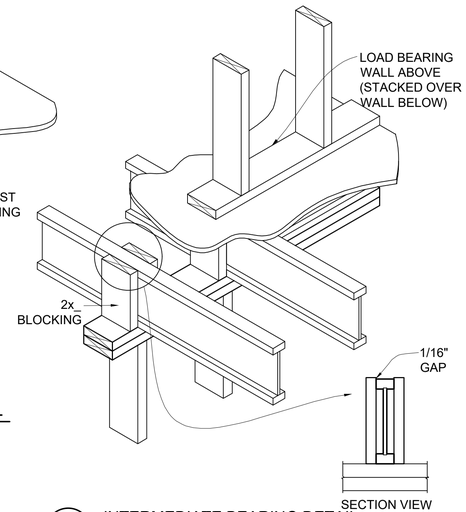
5 WEB STIFFENER DETAIL
3" = 1'-0"



6 FLOOR FRAMING DETAIL
1" = 1'-0"

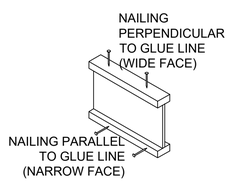


7 INTERMEDIATE BEARING DETAIL
1" = 1'-0"

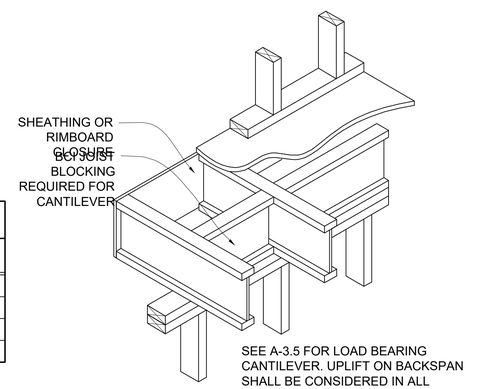


8 INTERMEDIATE BEARING DETAIL
1" = 1'-0"

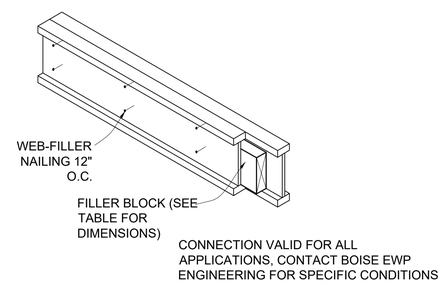
WEB STIFFENER NAILING SCHEDULE			
BCI JOIST SERIES	JOIST DEPTH	BEARING LOCATION	
		END	INTERMEDIATE
5000s 1.8	9 1/2"	2-8d	2-8d
	11 7/8"	2-8d	3-8d
	14"	2-8d	5-8d
6000s 1.8	9 1/2"	2-8d	2-8d
	11 7/8"	2-8d	3-8d
	14"	2-8d	5-8d
	16"	2-8d	6-8d
6500s 1.8	9 1/2"	2-8d	2-8d
	11 7/8"	2-8d	3-8d
	14"	2-8d	5-8d
	16"	2-8d	6-8d
60s 2.0	11 7/8"	2-8d	3-8d
	14"	2-8d	5-8d
	16"	2-8d	6-8d
90s 2.0	11 7/8"	3-16d	3-16d
	14"	5-16d	5-16d
	16"	6-16d	6-16d



BCI RIM JOISTS AND BCI BLOCKING (ALL SERIES)	
DEPTH (IN)	VERTICAL LOAD CAPACITY (PLF)
9 1/2"	2800
11 7/8"	2775
14"	2750
16"	2450



9 CANTILEVER DETAIL
1" = 1'-0"



10 DOUBLE BCI JOIST CONNECTION
1" = 1'-0"

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AJS FASTENING SCHEDULE & FRAMING DETAILS

Sheet No.

A-6.04

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:

1. VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
2. ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
3. OBTAINING AND PAYING FOR ALL PERMITS.
4. PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
5. CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
6. SCHEDULING AND SEQUENCING.
7. CONSTRUCTION MEANS, METHODS AND TECHNIQUES
8. MAINTAINING DRAWINGS AND PERMITS ON SITE.
9. JOB SITE SAFETY
10. COORDINATION BETWEEN TRADES, AND SUPPLIERS.
11. PROVIDE SCHEDULE TO OWNER AND ARCHITECT,
12. PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
13. TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
15. REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
16. GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

17. POURING CONCRETE
18. INSULATING
19. INSTALLING DRYWALL
20. FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CONTRACTOR TO ENSURE MATERIALS AND ASSEMBLIES ARE COMPATIBLE AND ACCEPTABLE TO THE MANUFACTURER. ALL ASSEMBLY MATERIALS SHALL BE FROM A SINGLE SOURCE AS MUCH AS POSSIBLE.

REQUEST FOR INFORMATION -

ONLY RFI'S SENT THROUGH BY THE OWNER AND AWARDING CONTRACTOR WILL BE ANSWERED. SUBCONTRACTORS MUST SUBMIT RFI'S THROUGH THE GENERAL CONTRACTOR.

BIDDING PHASE - OWNER AND AWARDING CONTRACTOR ARE RESPONSIBLE FOR COMPILING AND AGGREGATING RFI'S AND SUBMITTING TO THE ARCHITECT OR DESIGNER AT ONE TIME ONLY. ARCHITECT OR DESIGNER HAS ONE WEEK TO RESPOND. QUESTIONS MUST BE COMPLETE , NOT PIECEMEAL AND SHOULD BE SUBMITTED BY CSI DIVISION.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECT SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

FOUNDATION NOTES:

1. THE FOUNDATION HAS BEEN DESIGNED FOR 4000 PSF ALLOWABLE SOIL BEARING CAPACITY.
2. ALL BACKFILL UNDER STRUCTURAL SLABS, MATS, AND FOOTINGS WILL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIC LIFTS TO 95 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
3. ALL EMBANKMENTS AND BACKFILL COMPACTED IN SPECIFIED LIFTS TO 90 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
4. PROVIDE SHEETING, BRACING, AND UNDERPINNING AS REQUIRED TO PRESERVE ADJACENT STRUCTURES.
5. FOUNDATIONS SHALL NOT BE POURED IN WATER OR ON FROZEN GROUND.
6. VERIFY LOCATIONS AND REQUIREMENTS FOR INSERTS, SLEEVES, CONDUITS, EMBEDMENT AND PENETRATIONS WITH RESPECTIVE TRADES BEFORE PLACING CONCRETE.
7. DOWELS FROM FOUNDATIONS INTO PIERS, COLUMNS, BUTTRESSES OR WALLS SHALL BE THE SAME SIZE AND NUMBER AS REINFORCEMENT IN PIERS, COLUMNS, BUTTRESSES OR WALLS ABOVE, EXCEPT AS OTHERWISE SHOWN.
8. CONTRACTOR SHALL PROVIDE CONTINUOUS DRAINAGE BY MECHANICAL METHODS TO CONTROL SURFACE AND UNDERGROUND WATER, AS REQUIRED DURING CONSTRUCTION.
9. CONTRACTOR SHALL ENSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES AND PROPERTIES ARE NOT ALTERED.
10. ALL FOUNDATION UNITS (PIERS) SHALL BE CENTERED SUPPORT MEMBERS, UNLESS NOTED OTHERWISE ON PLANS.
11. COORDINATE UNDER FLOOR AND PERIMETER DRAIN REQUIREMENTS WITH ARCHITECTURAL, CIVIL AND PLUMBING DRAWINGS AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
12. ALL BEARING MATERIALS SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL DETERMINE THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
13. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINAL FINISHED GRADE FOR FROST PROTECTION.
14. FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR & SLAB AT TOP AND BOTTOM ARE IN PLACE.
15. WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
16. ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
17. PROTECT IN-PLACE FOUNDATIONS, SLABS AND ADJACENT STRUCTURES, NEW CONSTRUCTION, STREET UTILITIES FROM FROST PENETRATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES UNTIL THE PROJECT IS COMPLETED.
18. SLAB ON GRADE SHALL BEAR DIRECTLY ON A MIN. 12" THICK LAYER OF COMPACTED STRUCTURAL FILL, OR MIN. 6" THICK LAYER OF CRUSHED STONE, PLACED ABOVE PROOFROLLED AND COMPACTED EXISTING FILL, OR ABOVE UNDISTURBED NATURAL TILL. SHOULD BEDROCK BE ENCOUNTED AT OR WITHIN 12" OF BOTTOM OF SLAB, BEDROCK SHALL BE OVER EXCAVATED A MIN. OF 12" BELOW BOTTOM OF SLAB.
19. WHERE BEDROCK IS ENCOUNTED AT OR WITHIN 12" OF DESIGN FOOTING GRADE, IT SHOULD BE OVER EXCAVATED A MIN. OF 12" BELOW THE BOTTOM OF PROPOSED FOOTING. BEDROCK EXCAVATIONS SHOULD EXTEND A MIN. OF 12" BEYOND FOOTING EDGE. LOOSE ROCK PIECES SHOULD BE REMOVED WITHIN THE FOOTING BEARING ZONE, AND OPEN BEDROCK JOINTS SHOULD BE CHOKED WITH CRUSHED STONE OR FILLED WITH CONCRETE PRIOR TO PLACING THE SOIL CUSHION.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
   - **3000 PSI** FOR BASEMENT SLABS, FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER
   - **3500 PSI** FOR DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, CARPORT SLAB, COMPOSITE SLAB, STEPS AND OTHER FLATWORK EXPOSED TO WEATHER AND GARAGE FLOOR SLABS
2. MAXIMUM SLUMP SHALL NOT EXCEED 4"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
3. ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
   A. FOOTINGS 3 INCHES
   B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
   C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
   D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
   FB=875 PSI, FV=135 PSI, E=1,400,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
   - FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS COLUMNS
   - FB-3100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-O" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-O" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH ½" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x8	2 - 2x8
up to 6'-0"	3 - 2x12	2 - 2x12
up to 8'-0"	3 - 13/4"x91/2" LVL	2 - 13/4"x91/2" LVL
up to 10'-0"	3 - 13/4"x11 7/8" LVL	2 - 13/4"x11 7/8"

ALL POSTS FOR LINTEL TO BE (3)2X6 JACK STUD AND (3) 2X6 KING STUD

STRUCTURAL STEEL NOTES:

1. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 GRADE 50 SPECIFICATIONS, EXCEPT SQUARE STEEL TUBE COLUMNS.
2. ALL SQUARE STEEL TUBE COLUMNS SHALL CONFORM TO ASTM A500, WITH A MINIMUM YIELD STRESS OF 46,000 PSI.
3. ALL SHOP CONNECTIONS SHALL BE WELDED.
4. FIELD CONNECTION SHALL BE MADE WITH HIGH STRENGTH FRICTION BOLTS MEETING A325-X SPECIFICATIONS.
5. ALL BOLTS SHALL BE 3/4" IN DIAMETER, OR AS NOTED ON DRAWINGS. HOLES SHALL BE 1/16" LARGER.
6. ALL STRUCTURAL STEEL SHALL RECEIVE ONE SHOP COAT OF RUST INHIBITIVE PAINT; SUCH AS TNEMEC-99, OR RUST INHIBITOR BY "MAINLINE". OR, PAINT, AS NOTED IN THE SPECIFICATIONS.
7. AFTER STRUCTURAL STEEL ERECTION IS IN PLACE, ALL EXPOSED AREAS SHALL BE TOUCHED UP. SEE SPECIFICATIONS ON PAINTING FOR ADDITIONAL REQUIREMENTS.
8. PROVIDE 3/4: GROUT, 3,000 PSI, AND 1/4" THICK LEVELING PLATES UNDER ALL COLUMN BASE PLATES, WITH FOUR (4) 3/4" DIAMETER x 16" LONG ANCHOR BOLTS; OR AS NOTED.
9. PROVIDE A MINIMUM OF 8" BEARING ON EACH SIDE OF LINTELS AND HEADERS OVER DOORS, WINDOWS, LOUVERS, AND OPENINGS, ETC.
10. THE CONTRACTOR SHALL SUBMIT A REPRODUCIBLE SEPIA AND FOUR PRINTS OF SHOP DRAWINGS; SHOWING ALL STRUCTURAL STEEL SIZES, CONNECTIONS AND DETAILS, TO THE ARCHITECT FOR HIS APPROVAL. FABRICATION OF STRUCTURAL STEEL MEMBERS SHALL NOT BEGIN WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT OR HIS ENGINEER.
11. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST COMMONWEALTH OF MASSACHUSETTS BUILDING CODE AND THE STRUCTURAL STEEL INSTITUTE SPECIFICATIONS FOR BUILDINGS AND BRIDGES.

CONTRACTOR NOTE:
PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS,
CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING CONSTRUCTION. ALL DISCREPANCIES BETWEEN FIELD-VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS AND THOSE INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY MADE KNOWN TO THE ARCHITECT IN WRITING. THE USE OF (V.I.F.) OR (+/-) OR OTHER SIMILAR NOTES AT CERTAIN LOCATIONS ON THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR VERIFYING ALL CONDITIONS DESCRIBED ABOVE.

CONTRACTOR TO PROVIDE TEMPORARY SHORING, BRACING, AND SUPPORT AS REQUIRED DURING CONSTRUCTION.
PROVIDE NEW JOIST HANGERS AND HURRICANE TIES BY SIMPSON STRONG-TIE AT LOCATIONS WHERE MEMBERS FRAME IN TO SIDE OF EXISTING MEMBERS OR NEW

PERMIT ONLY

Location

PROPOSED RENOVATION & SEMI-ATTACHED ADDITION
6-8 NEAREN ROW,
CHARLESTOWN, MA, 02129

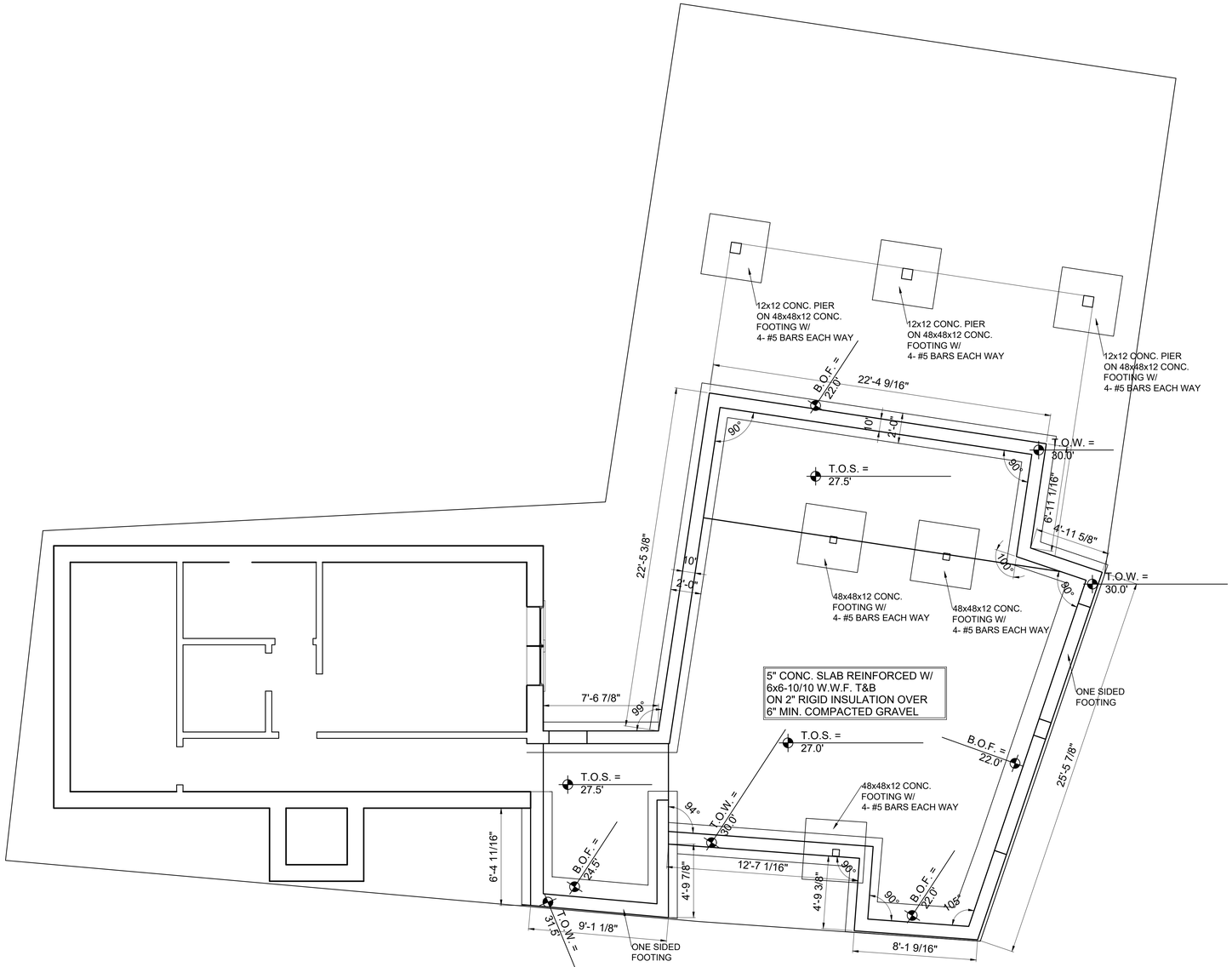
Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2023112
Scale: AS NOTED
Date: 9-6-2023
Drawn By: AC

Drawing Name
GENERAL NOTES

Sheet No.
S-0



1 FOUNDATION PLAN

1/4" = 1'-0"

PERMIT ONLY

Location

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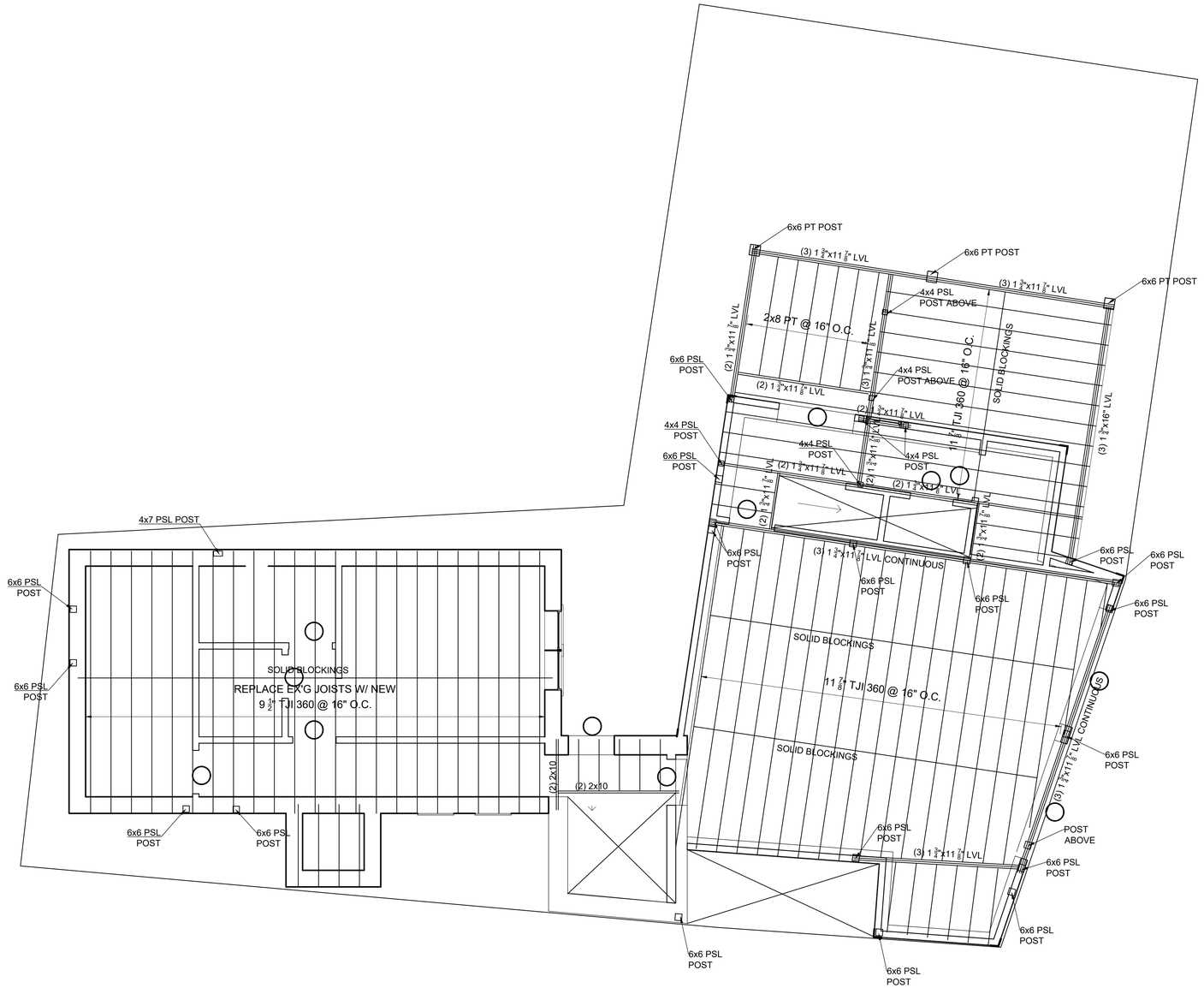
Drawing Name

FOUNDATION PLAN

Sheet No.

S-1.1



1 1ST FLOOR FRAMING PLAN

1/4" = 1'-0"

PERMIT ONLY

Location

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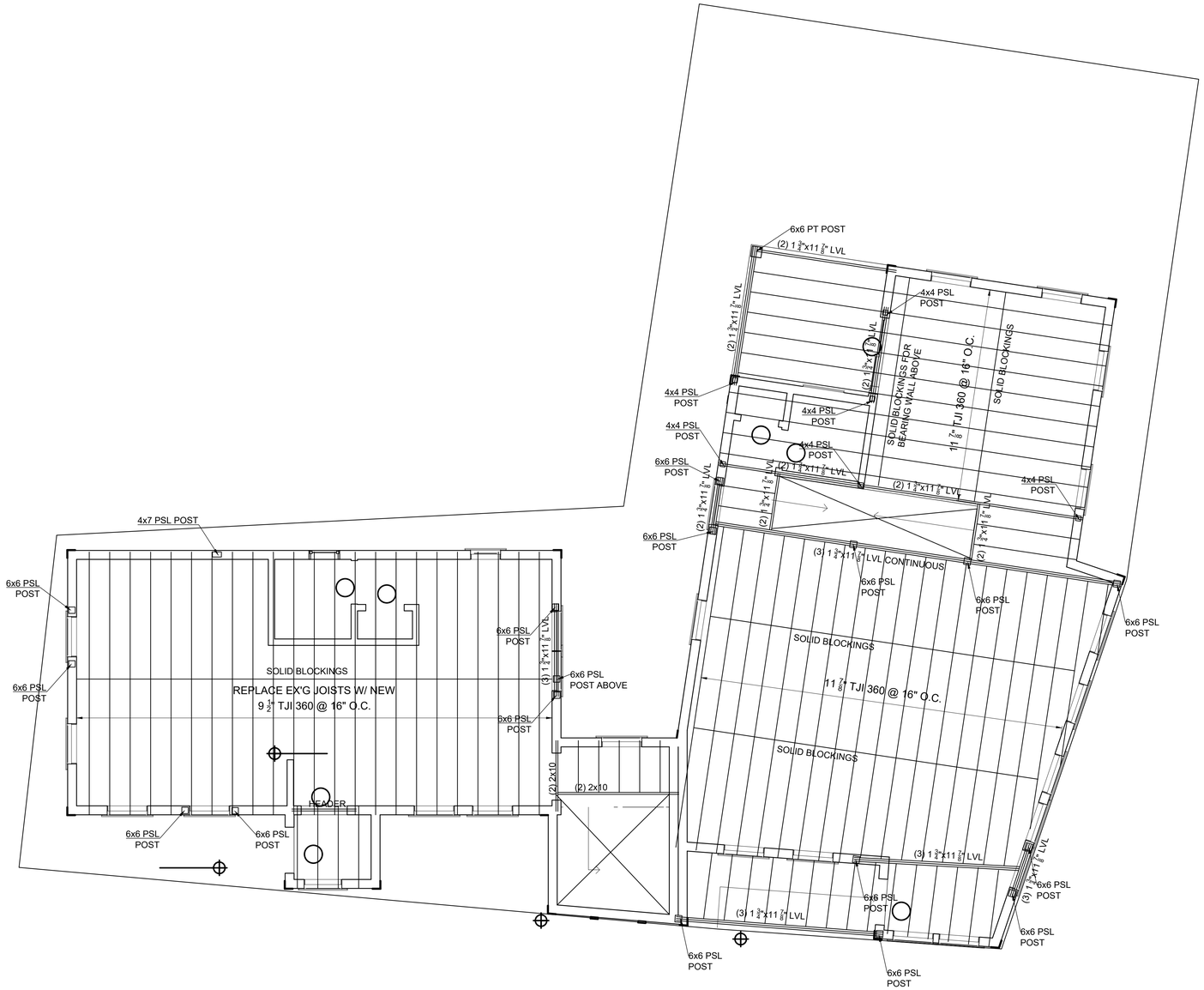
Drawing Name

FRAMING PLAN

Sheet No.

S-1.2



1 2ND FLOOR FRAMING PLAN

1/4" = 1'-0"

PERMIT ONLY

Location

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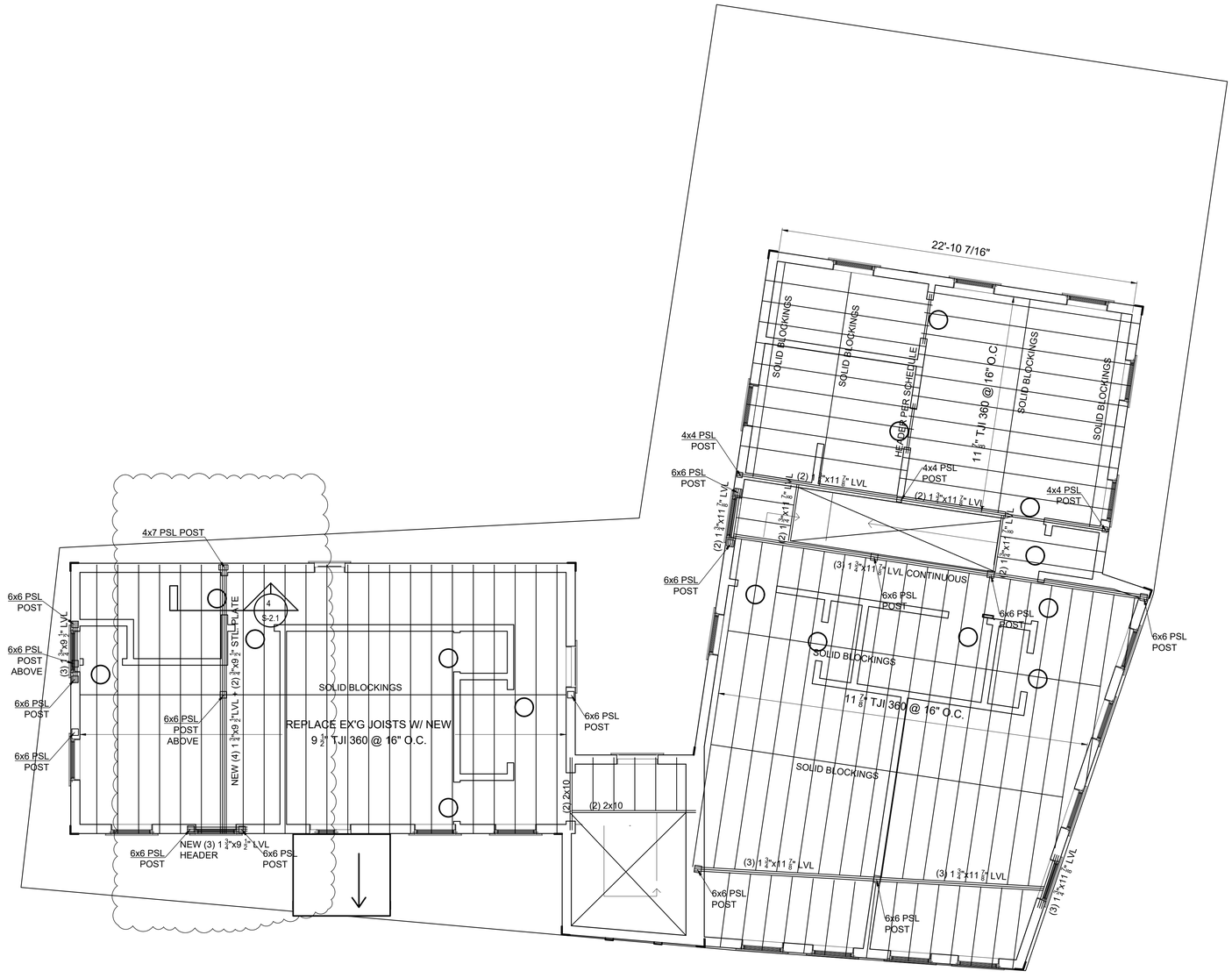
Drawing Name

FRAMING PLAN

Sheet No.

S-1.3



1 3RD FLOOR / ROOF FRAMING PLAN

1/4" = 1'-0"

PERMIT ONLY

Location

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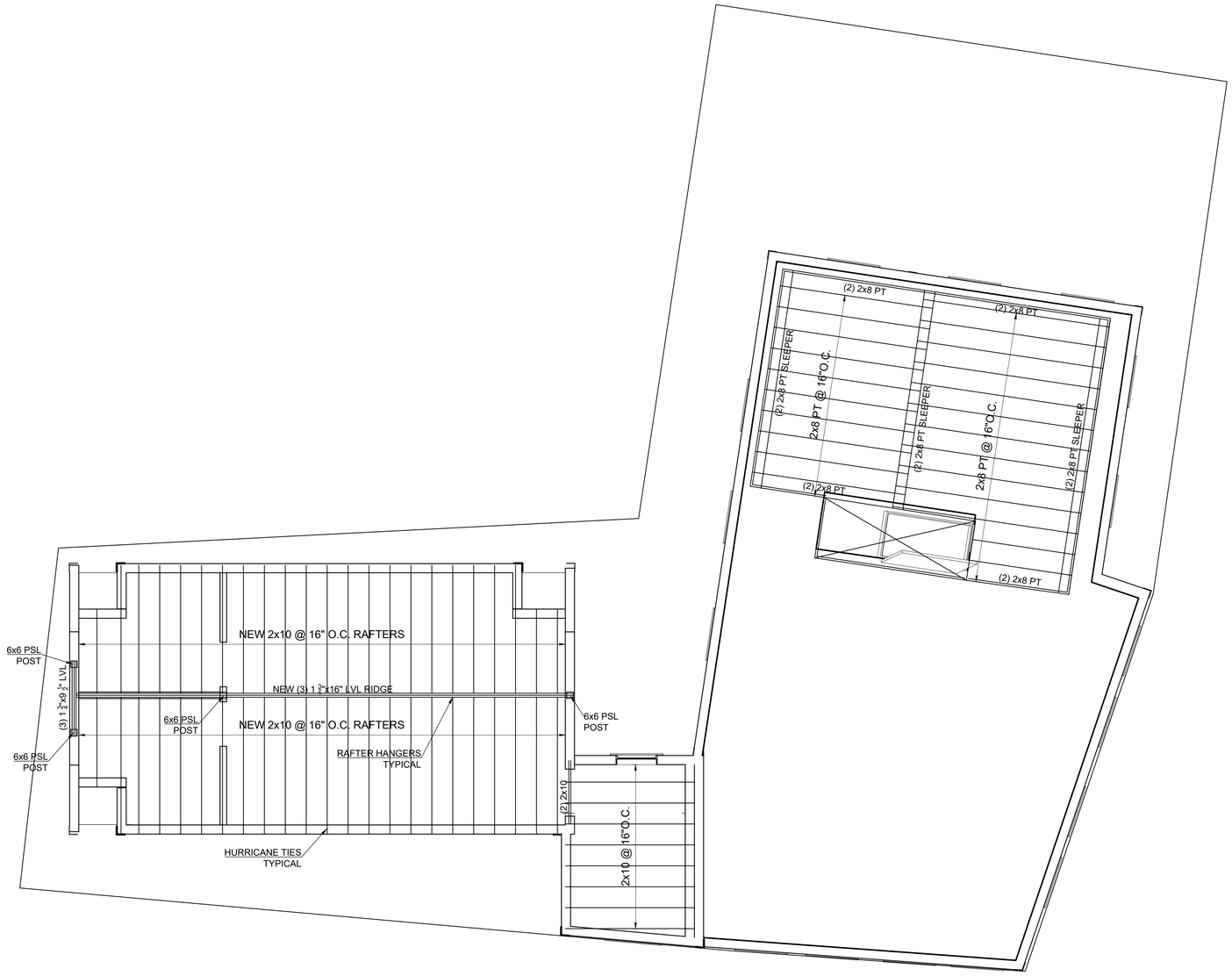
Drawing Name

FRAMING PLAN

Sheet No.

S-1.4



1 ROOF / ROOF DECK FRAMING PLAN
1/4" = 1'-0"

PERMIT ONLY

Location

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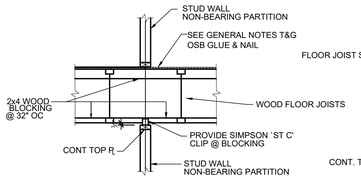
FRAMING PLAN

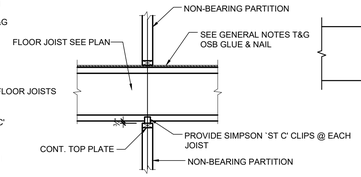
Sheet No.

S-1.5



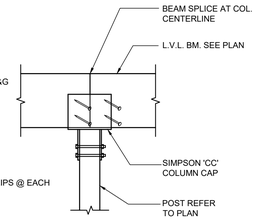
TYPICAL FRAMING AT NON-BEARING PARTITIONS

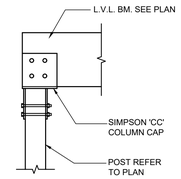
PARALLEL TO FRAMING
(REFER TO ARCH DWGS FOR WALL LOCATIONS)

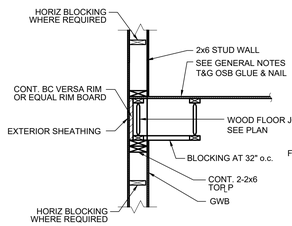


TYPICAL FRAMING
AT NON-BEARING PARTITIONS

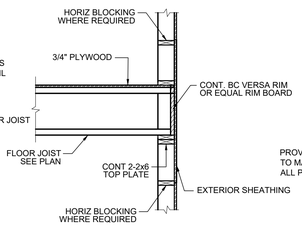
PERPENDICULAR TO FRAMING
(REFER TO ARCH DWGS FOR WALL LOCATIONS)



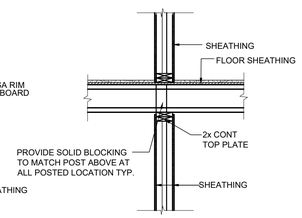




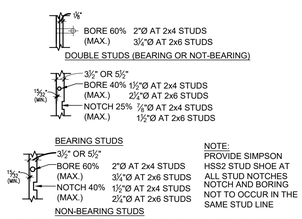
TYPICAL SECTION AT EXTERIOR WALL



TYPICAL SECTION AT EXTERIOR WALL

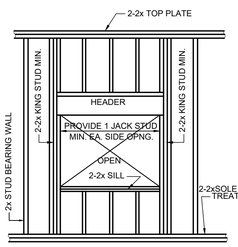


TYPICAL POST DETAIL

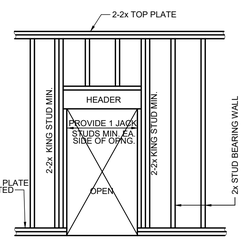


NOTE:
PROVIDE SIMPSON
HSS2 STUD SHOE AT
ALL STUD NOTCHES
NOTCH AND BORING
NOT TO OCCUR IN THE
SAME STUD LINE

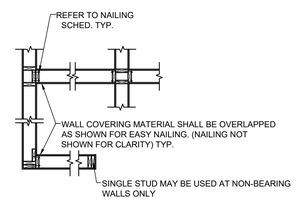
TYPICAL CUTTING AND BORING STUD DETAIL



TYP. WINDOW OPENING

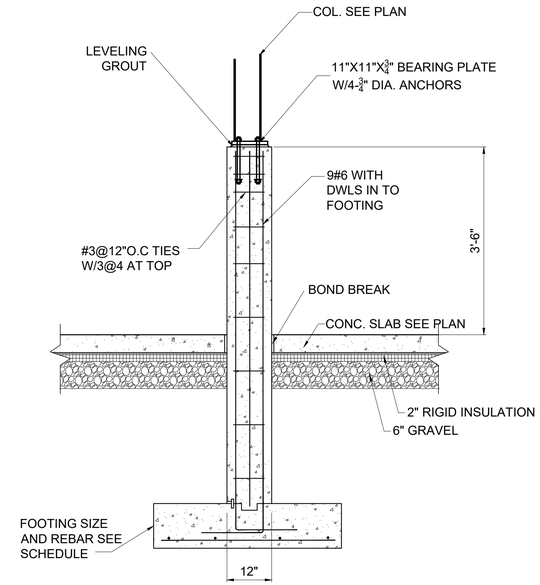


TYPICAL DOOR FRAMING



TYPICAL PLAN DETAILS

1 WOOD DETAILS
1/2" = 1'-0"



2 PIER FOOTING DETAIL
3/4" = 1'-0"

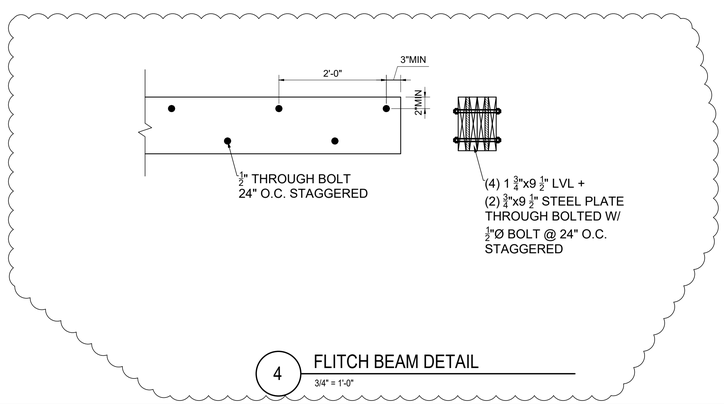
10" CONCRETE WALLS
REINFORCING SCHEDULE

4' WALL MAX
VERTICAL REBAR = #4 @ 18" O.C.
HORIZONTAL REBAR = #4 @ 12" O.C.

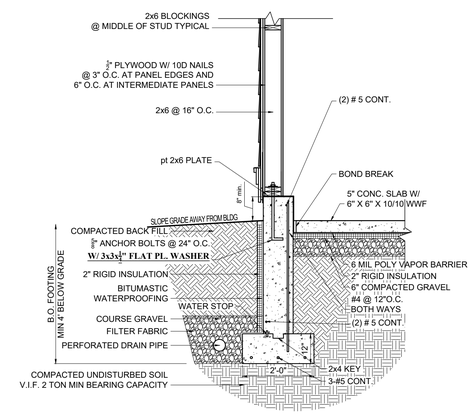
6' WALL MAX
VERTICAL REBAR = #4 @ 18" O.C.
HORIZONTAL REBAR = #4 @ 12" O.C.

8' WALL MAX
VERTICAL REBAR = #4 @ 8" O.C.
HORIZONTAL REBAR = #4 @ 8" O.C.

10' WALL MAX
VERTICAL REBAR = #5 @ 7" O.C.
HORIZONTAL REBAR = #4 @ 8" O.C.



4 FLITCH BEAM DETAIL
3/4" = 1'-0"



3 FOUNDATION WALL SECTION
1/2" = 1'-0"

PERMIT ONLY

Location

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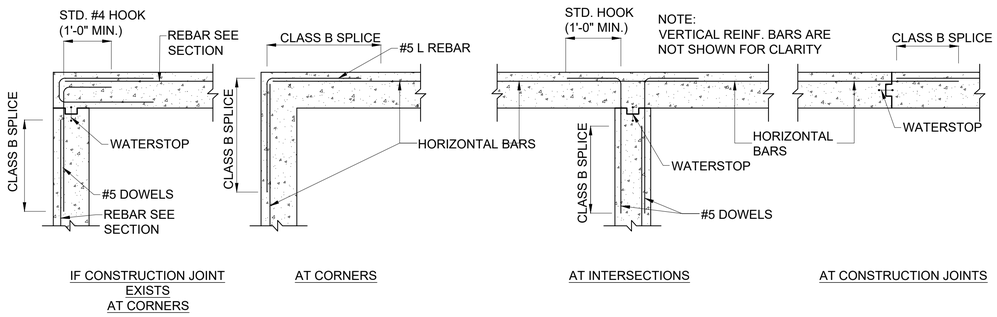
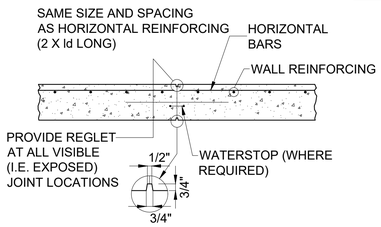
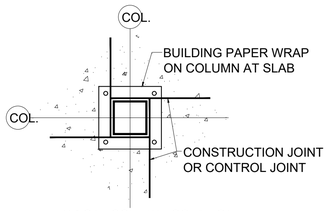


TYPICAL PLAN OF HORIZONTAL WALL REINFORCING



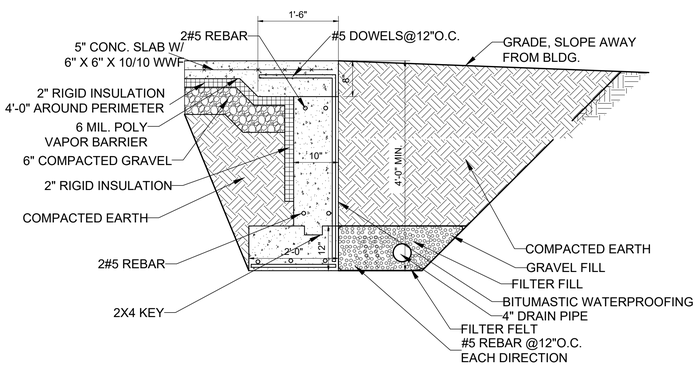
TYPICAL VERTICAL WALL CONTROL JOINT



TYPICAL COLUMN ISOLATION JOINT DETAIL
SCALE: 1"=1'-0"

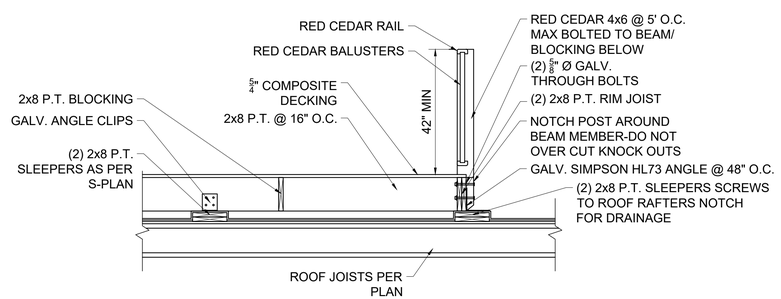
1 FOOTING DETAILS

1/2" = 1'-0"



2 GARAGE ENTRANCE SECTION

1/2" = 1'-0"



3 ROOF DECK SECTION

1/2" = 1'-0"

PERMIT ONLY

Location

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