

REV.	DATE	DESCRIPTION
X	X-XX-XX	XXX

23-25 Roseberry Road Mattapan, MA 02126 ERT11060807

BUILDING CODE ANALYSIS

APPLICABLE CODES

CMR 780 MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION
 MASSACHUSETTS ENERGY STRETCH CODE
 INTERNATIONAL BUILDING CODE 2015 (IBC 2015)
 INTERNATIONAL RESIDENTIAL CODE 2015 (IRC 2015)
 INTERNATIONAL ENERGY CONSERVATION CODE 2015 (IECC 2015)

FIRE RATED CONSTRUCTION

EXTERIOR WALLS ARE GREATER THAN 5' FROM THE PROPERTY LINE. THE EXTERIOR WALLS DO NOT REQUIRE A FIRE RATING BASED ON THE MINIMUM FIRE SEPARATION DISTANCE PER TABLE R302.1 (1) OF IRC 2015. EXTERIOR WALLS OF TYPE 9B CONSTRUCTION DO NOT REQUIRE A FIRE RATING PER IBC 2015 TABLE 601.

SPRINKLER

BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM

FIRE EXTINGUISHERS ARE NOT REQUIRED FOR R3 OCCUPANCIES PER 906.1 OF THE IBC 2015; HOWEVER, R304 RECOMMENDS FOLLOWING THE REQUIREMENTS FOR R2 OCCUPANCIES, WHICH DOES REQUIRE FIRE EXTINGUISHERS. FOR TYPE R2 OCCUPANCIES TYPE 2A FIRE EXTINGUISHERS ARE REQUIRED AND THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET PER TABLE 906.3.1 (1) OF THE IBC 2015.

ACCESSIBILITY - §21 CMR ARCHITECTURAL ACCESS BOARD

N/A

ENERGY CONSERVATION

INTERNATIONAL ENERGY CONSERVATION CODE, IECC 2015 ENERGY STRETCH CODE CMR 780 RESIDENTIAL ENERGY EFFICIENCY PER IECC, RESIDENTIAL PROVISIONS, PARAGRAPHS R202.01 THROUGH R-308 MINIMUM WALLS: CAVITY R-20 MINIMUM (SHOWN IN DETAILS PROVIDED) OR R-13 MINIMUM WITH R-5 MINIMUM CONTINUOUS INSULATION. BASEMENT WALLS: R-15 CONTINUOUS MINIMUM ON INTERIOR OF CONCRETE OR R-19 CAVITY. UNHEATED SLAB FLOORS: R-4+10 MINIMUM FOR 2" BELOW.

MASSACHUSETTS ENERGY STRETCH CODE CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY, 401.2 DEMONSTRATE COMPLIANCE WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST.*

CONSTRUCTION TYPE
 5B PER TABLE 601 OF THE IBC 2015
 MAXIMUM AREA PER FLOOR: 7,000 S.F. PER TABLE 508.2 OF THE IBC 2015
 MAXIMUM NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4 OF THE IBC 2015

EGRESS

MINIMUM WIDTH FOR EGRESS STAIRS PER 1011.2.1: 36 INCHES WITH MAXIMUM LENGTH OF EXIT TRAVEL PER TABLE 1017.2: 290 FEET
 REQUIRED DOOR EGRESS WIDTH PER 1003.3.2: 8' X 2' = 17' 34" PROVIDED.

GENERAL NOTES

- THIS PROJECT IS DESIGNED UPON THE BASIS OF THE MASSACHUSETTS STATE BUILDING CODE, LATEST EDITION AND CURRENT REGULATIONS AS WELL AS LOCAL, STATE AND FEDERAL REGULATIONS REGARDING HEALTH AND SAFETY IN THE WORKPLACE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION/DEMOLITION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES. MATERIALS, MEANS AND METHODS, THE CONTRACTOR IS TO COORDINATE ALL SEPARATE SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES.
- THE CONTRACTOR SHALL NOT OBSTRUCT TRAFFIC OUTSIDE OF THE AUTHORIZED CONSTRUCTION SITE OR ANY ADJACENT RIGHT OF WAY DURING CONSTRUCTION, UNLESS PRIOR APPROVAL IS OBTAINED FROM THE NECESSARY LOCAL GOVERNING AUTHORITIES.
- ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
- ACCESS TO THE WORK AREA IS TO BE RESTRICTED BY THE CONTRACTOR. ENTRANCES ARE NOT TO BE LEFT UNATTENDED AT ANY TIME. DOOR/GATES ARE NOT TO BE LEFT OPEN OR UNLOCKED. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE AREA AND EQUIPMENT WITHIN THE LIMIT OF WORK AND SITE OF THE BUILDING AS REQUIRED.
- ALL DEBRIS IS TO BE PROPERLY REMOVED FROM THE WORK AREAS, LEAVING THE WORK AREAS BROOM CLEAN. ALL DEBRIS IS TO BE STORED ON SITE IN REUSE DUMPSTER, REMOVED PERIODICALLY, AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES AND LAWS.
- THE CONTRACTOR IS TO PROVIDE ALL NECESSARY TEMPORARY WEATHER PROTECTION FOR THE BUILDING DURING THE FULL SCOPE OF CONSTRUCTION ACTIVITY ON THE PROJECT.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE REMOVAL OF SNOW, RAINWATER, ICE AND MUD FROM THE CONSTRUCTION SITE DURING THE FULL SCOPE OF CONSTRUCTION ACTIVITY ON THE PROJECT.
- ALL INTERIOR EXTERIOR FINISHES, COLORS, TILES, FIXTURES, ETC., ARE TO BE SELECTED AND/OR APPROVED BY OWNER PRIOR TO CONSTRUCTION.
- PLUMBING/MECHANICAL/ELECTRICAL/HVAC INTERIOR WORK SHALL BE SEPARATELY PERMITTED.

LIST OF DRAWINGS

- | | |
|----|---|
| T1 | TITLE SHEET AND BUILDING CODE ANALYSIS |
| T2 | BUILDING CODE ANALYSIS |
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| A1 | SLAB PLAN |
| A2 | FIRST FLOOR PLAN |
| A3 | SECOND FLOOR PLAN |
| A4 | ROOF PLAN |
| A5 | WALL SECTION AND BUILDING SECTIONS / ENLARGED STAIR PLAN AND DETAIL |
| A6 | ELEVATIONS |
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| A9 | FLOOR AND WALL ASSEMBLIES / WINDOW, DOOR AND ROOM FINISH SCHEDULES |

GENERAL NOTE:

VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

Norfolk Design & Construction
 23-25 Roseberry Road
 Mattapan, MA 02126

PROJECT #
20-021

DATE: 8-24-20

REV:

SCALE:
NONE

DRAWN BY:
CD

CHECKED BY:
R.P.B.

TITLE SHEET AND
BUILDING CODE ANALYSIS

T1



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ACOUSTICAL REQUIREMENTS

SOUND ISOLATION
PER SECTION 1207 OF THE IBC 2015

NOISE CONTROL OF TYPICAL FLOOR-CEILING ASSEMBLIES

- IN CEILING ASSEMBLIES WITH MULTIPLE LAYERS OF GYPSUM BOARD, THE RESILIENT CHANNELS SHOULD ALWAYS BE INSTALLED BETWEEN THE BOTTOM CHORD OF THE TRUSS AND THE GYPSUM BOARD.
- RESILIENT CHANNELS USED IN WALL ASSEMBLIES SHOULD BE INSTALLED WITH THE PERFORATION ON THE TOP.
- UTILIZE SURFACE MOUNTED LIGHT FIXTURES TO THE EXTENT POSSIBLE TO MINIMIZE FLANKING TRANSMISSION.
- FLOOR DEFLECTION SHALL BE LIMITED TO L/540 TO ACHIEVE BETTER AND MORE EFFECTIVE IMPACT NOISE CONTROL.
- IN ACOUSTICAL UNDERLAYMENT AND GYPSUM FLOOR TOPPING FLOOR SYSTEMS, VERIFY THAT ALL SEAMS IN THE ACOUSTICAL UNDERLAYMENT ARE THOROUGHLY TAPED SO THERE IS NO POSSIBILITY OF GYPSUM CONCRETE TOPPING DRIPPING THROUGH TO THE SUB-FLOOR. USE TAPE RECOMMENDED BY GYPSUM CONCRETE FLOOR TOPPING MANUFACTURER.
- LEAVE 1/8" GAP AND USE ACOUSTICAL CAULK TO PREVENT DIRECT CONNECTIONS WHERE FINISHED FLOORING SUCH AS WOOD, LAMINATED WOOD, VINYL, CERAMIC TILE, ETC., MEET CABINETS, WALL PARTITIONS AND BUILT-IN FURNITURE. USE PERIMETER WALL STRIPS TO ISOLATE FINISHED FLOOR FLOORING FROM THE WALL PARTITIONS AT ALL LOCATIONS.
- DO NOT ATTACH OR FRAME THE CEILING GYPSUM BOARD TO THE PERIMETER WALL PARTITION. PREVENT THE CEILING GYPSUM BOARD FROM COMING IN DIRECT CONNECTION WITH THE WALL GYPSUM BOARD OR FRAMING. FILL THE GAP BETWEEN THE CEILING GYPSUM BOARD AND THE WALL PARTITION WITH SPONGE ELASTOMER AND SEAL IT WITH NON-HARDENING ACOUSTICAL CAULK.
- VALTERS USED IN THE WOOD FRAME FLOOR-CEILING ASSEMBLY SHALL NOT TOUCH THE UNDERSIDE OF THE SUB-FLOOR OR THE RESILIENT CHANNELS.
- EXTEND THE DEMISING WALL TO THE OUTER LAYER OF THE EXTERIOR WALL. AVOID ANY GAPS BY PLACING THE STUDS CLOSE TO THE DEMISING WALL.
- ALL LAYERS OF THE DEMISING AND CORRIDOR WALL PARTITIONS SHALL BE COMPLETELY SEALED WITH ACOUSTICAL SEALANT AND TAPED ALONG THE PERIMETERS TO REDUCE SOUND LEAKS. DO NOT CONNECT TOILETS TO THE UNIT-SEPARATION WALLS. PROVIDE FLOOR-MOUNTED TOILETS AT THE UNIT-SEPARATION WALL PARTITIONS.
- ELECTRICAL BOXES FOR POWER, TV, PHONE, ETC. IN DEMISING WALLS SHOULD BE SEPARATED BY MINIMUM 2" OR ONE STUD SPACE.
- SEAL ALL ELECTRICAL BOXES INSTALLED IN UNIT SEPARATION AND UNIT-CORRIDOR PARTITIONS WITH GROMMETS AND FIBERGLASS INSULATION.
- ALL ENTRIES THROUGH THE DWELLING UNITS SHALL BE PROVIDED WITH ACOUSTICAL CASSETS ALONG THE JAMB.
- CONDENSING UNITS SHALL BE LOCATED OVER THE CORRIDORS TO THE MAXIMUM EXTENT POSSIBLE.

HVAC SYSTEM SOUND NOISE CONTROL

- INSTALL SUPPLY AIR DUCTS IN THE CENTER OF THE TRUSSES AND SUPPORT THEM WITH STRAPS TO AVOID CONTACT WITH THE CEILING OR WALL FRAMING.
- PROVIDE A 1" CLEARANCE AROUND THE HVAC AND TOILET EXHAUST DUCTS WITH DWELLING UNITS.
- SEAL AND TAPE ALL DUCTS AND PIPE PENETRATIONS THRU WALL PARTITIONS WITH ACOUSTICAL CAULK. AVOID UNNECESSARY PENETRATIONS IN THE DEMISING PARTITIONS.
- BATHROOM EXHAUST FANS SHALL MEET LOW NOISE LEVEL (L50 SONES) REQUIREMENTS.

PLUMBING SYSTEM NOISE CONTROL

- ALL DRAIN PIPING SHALL BE WRAPPED WITH FIBERGLASS INSULATION.
- PIPING SHALL NOT COME IN DIRECT CONTACT WITH ANY PARTITION, WALL, CEILING OR STRUCTURAL ELEMENT SUCH AS FLOOR JOISTS.
- ALL DRAIN PIPING SHALL BE ISOLATED FROM BUILDING STRUCTURE WITH RESILIENT MATERIAL SUCH AS NEOPRENE FOAM PADS OR FIBERGLASS STEERS.
- SUPPLY WATER PIPE RISERS SHALL BE ISOLATED WITH 1/2" NEOPRENE PAD UNDER THE PIPE CLAMPS. THE NEOPRENE PADS SHALL BE SIZED TO 5/8"x1" AND HAVE A 1/8" THICK METAL BEARING PLATE BETWEEN PAD AND PIPE CLAMP. PROVIDE A GROMMET AT ALL STUDS, PLATES, BLOCKS AND FRAMING MEMBERS.
- SUPPLY WATER PIPING SHALL BE ISOLATED HORIZONTALLY AND VERTICALLY BY GROMMETS AT ALL STUDS, PLATES AND FRAMING MEMBERS.
- WATER HAMMER ARRESTORS SHALL BE PROVIDED AT THE WASHING MACHINE CONNECTION.
- COMPLETELY SEAL ALL PIPE PENETRATIONS OF WALLS AND FLOOR-CEILING ASSEMBLIES SEPARATING DWELLING UNITS AND BETWEEN DWELLING UNITS AND COMMON AREAS, INCLUDING THE OUTLET PIPE PENETRATION OF THE FLOOR. PROVIDE A SLEEVE AROUND THE PIPES PENETRATING THE FLOOR OR WALL AND COMPLETELY FILL THE GAP WITH ROCK WOOL AND FIRE SEALANT.
- CONDUIT PIPE RISERS PLUMBING THROUGH DWELLING UNITS SHALL BE ISOLATED FROM THE FLOOR. ALL PIPES, CABLES AND WIRES PENETRATING THE DEMISING WALL SHALL BE CAULKED.

RAILINGS AND GUARDRAILS

RAILING AND GUARDRAIL REQUIREMENTS

- PROVIDE RAILINGS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY LOADS AND THE FOLLOWING LOADS AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED:
 - HANDRAILS:
 - UNIFORM LOAD OF 50 LBF/FT APPLIED IN ANY DIRECTION.
 - CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.
 - UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.
 - TOP OF GUARDS:
 - UNIFORM LOAD OF 50 LBF/FT APPLIED IN ANY DIRECTION.
 - CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.
 - UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.
 - INFILL OF GUARDS:
 - CONCENTRATED LOAD OF 90 LBF APPLIED HORIZONTALLY ON AN AREA OF 1-SF.
 - UNIFORM LOAD OF 25 LBF/SQ. FT. APPLIED HORIZONTALLY.
 - INFILL LOAD AND OTHER LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.
- RAILING PROFILES: RAILING PROFILES SHALL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT GUIDELINES FOR BUILDINGS. PREPARE SHOP DRAWINGS INDICATING THE RAILING ELEVATIONS, PROFILES, MOUNTING, AND ATTACHMENT TO STRUCTURE. ALL CONNECTIONS SHALL BE FORMED OR MITERED WITH ALL EDGES SMOOTH.
- CONTROL OF CORROSION: PREVENT GALVANIC ACTION AND OTHER FORMS OF CORROSION BY INSULATING METALS AND OTHER MATERIALS FROM DIRECT CONTACT WITH INCOMPATIBLE MATERIALS.
- FINAL SITE INSPECTION: COORDINATE FINAL INSPECTION OF HANDRAIL INSTALLATION AND MOUNTING WITH PROJECT STRUCTURAL ENGINEER PRIOR TO STRUCTURAL CONNECTIONS BEING COVERED BY FINISH WORK.

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RCA, LLC

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BUILDING CODE ANALYSIS

T2

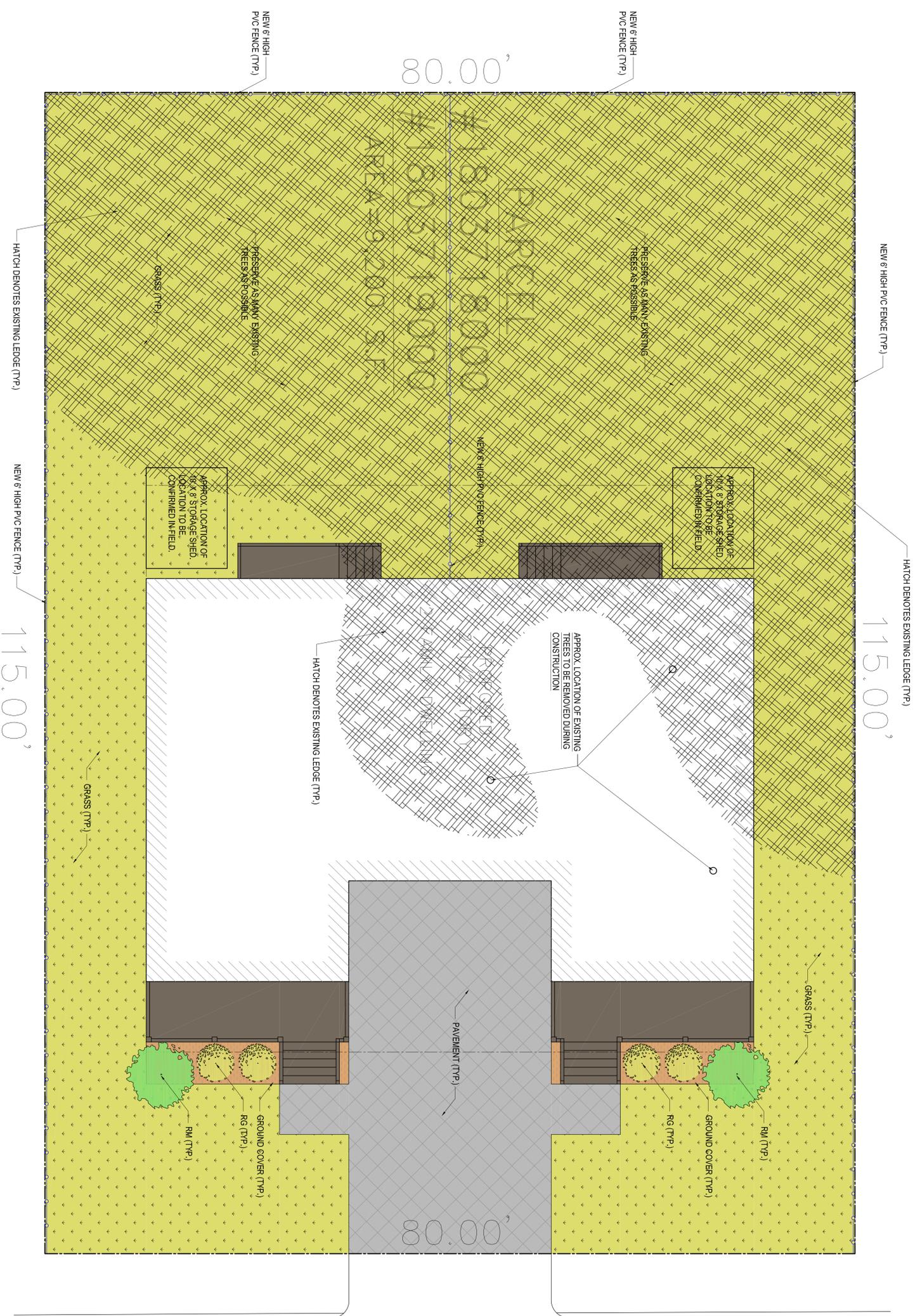
ROSEBERRY ROAD
 PARCEL ID: 1803718000 & 1803719000
 MATTAPAN, MA
 ZONING REVIEW

ITEM	2F-5000 / ARTICLE 69
ZONING DISTRICT	VACANT LOT
EXISTING USE	2 FAMILY
PROPOSED USE	2 FAMILY
LOT SIZE	9,200 S.F.

DIMENSIONAL REGULATIONS
 TABLE C

ITEM	REQUIRED	PROPOSED
MIN. LOT SIZE	5,000 S.F.	9,200 S.F.
MIN. LOT WIDTH	50'	80'
MIN. LOT FRONTAGE	50'	80'
MAX. FLOOR AREA RATIO	0.5	0.39 (3,601 S.F.)
MAX. ALLOWABLE BUILDING HEIGHT	35'	35'
MIN. BUILDING STORIES	2, 1/2	2, 1/2
MIN. FRONT YARD	20'	10.0' ±
MIN. SIDE YARD	10'	10.0' ±
MIN. REAR YARD	40'	48.0' ±
MIN. OPEN SPACE	3,500 SQ. FT.	5,725 ± SQ. FT. ±

PLANT MATERIAL LIST			
SYM.	QTY.	BOTANICAL NAME	COMMON NAME
TREES			
RM	2	RED MAPLE	8'-0"
SHRUBS			
IG	4	ILEX GALABRA	2'-3"
GROUND COVER			
		GROUND COVER	
		GRASS	
		PAVEMENT	
		EXISTING LEDGE	
		ON SITE	



ROSEBERRY STREET

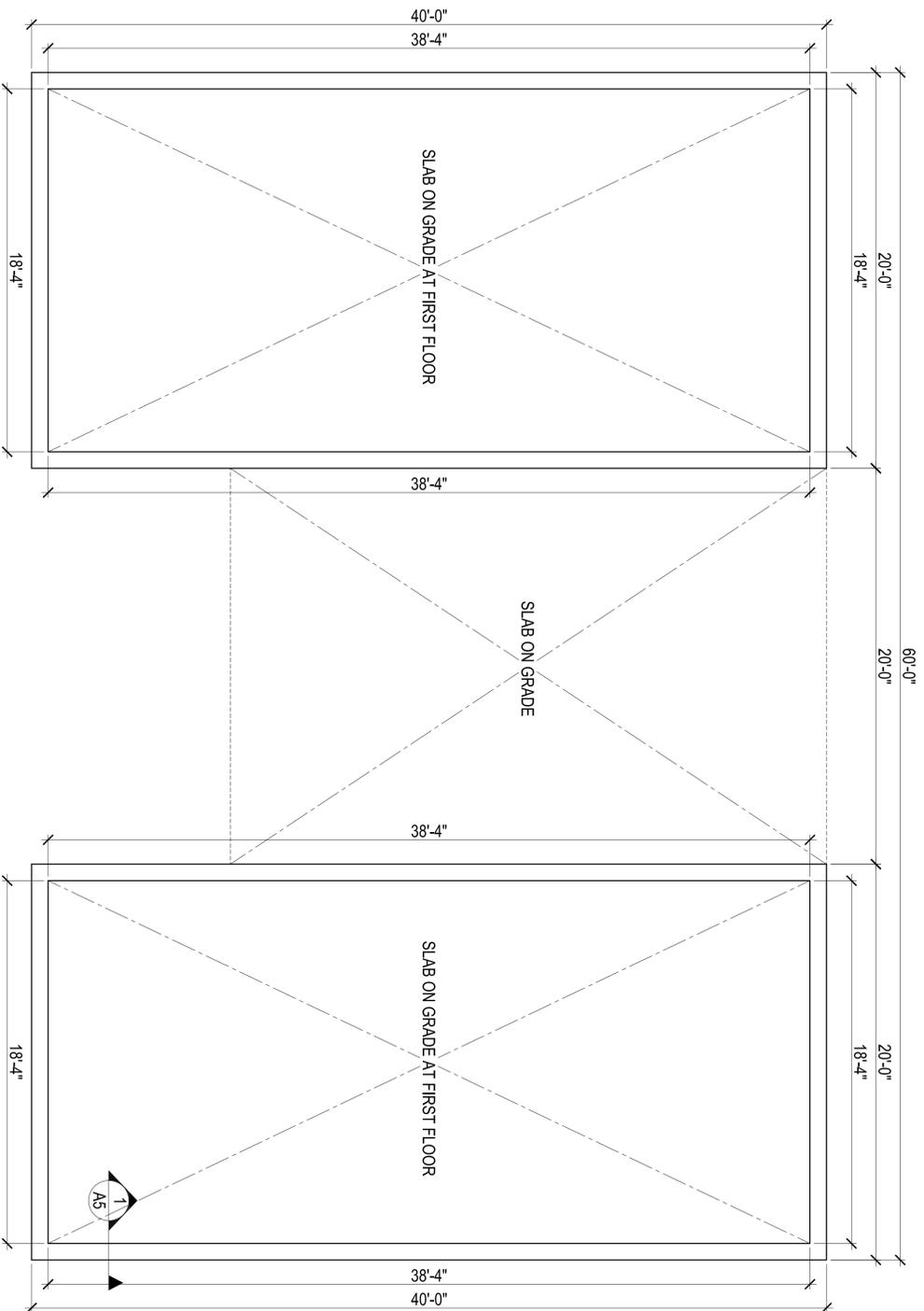
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NOTE: AFTER INITIAL SITEWORK, RE-USE EXISTING ROCK TO PROVIDE STEPS FROM THE REAR YARD BEHIND THE HOUSE UP TO HIGHER GRADE AT BACK OF THE SITE IF THE GRADE CHANGE IS SIGNIFICANT. THIS WOULD PROVIDE ACCESS TO THE HIGHER GROUND.

<p>RCA, LLC 415 Neponset Ave. www.roche-christopher.com Telephone: 617-282-0030 Dorchester, Massachusetts 02122 Fax: 617-282-1080</p>	<p>Norfolk Design & Construction 23-25 Roseberry Road Mattapan, MA 02126</p>	<p>PROJECT # 20-021 DATE: 8-24-20 REV: SCALE: 3/16" = 1'-0" DRAWN BY: CD CHECKED BY: R.P.B.</p>	<p>LANDSCAPE PLAN</p> <p style="font-size: 2em; font-weight: bold;">L1</p>
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SLAB PLAN

LEGEND

-  HARDWIRED & INTERCONNECTED SMOKE DETECTOR
-  HARDWIRED & INTERCONNECTED HEAT DETECTOR
-  HARDWIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR

GENERAL NOTE: 1 0 1 5 10
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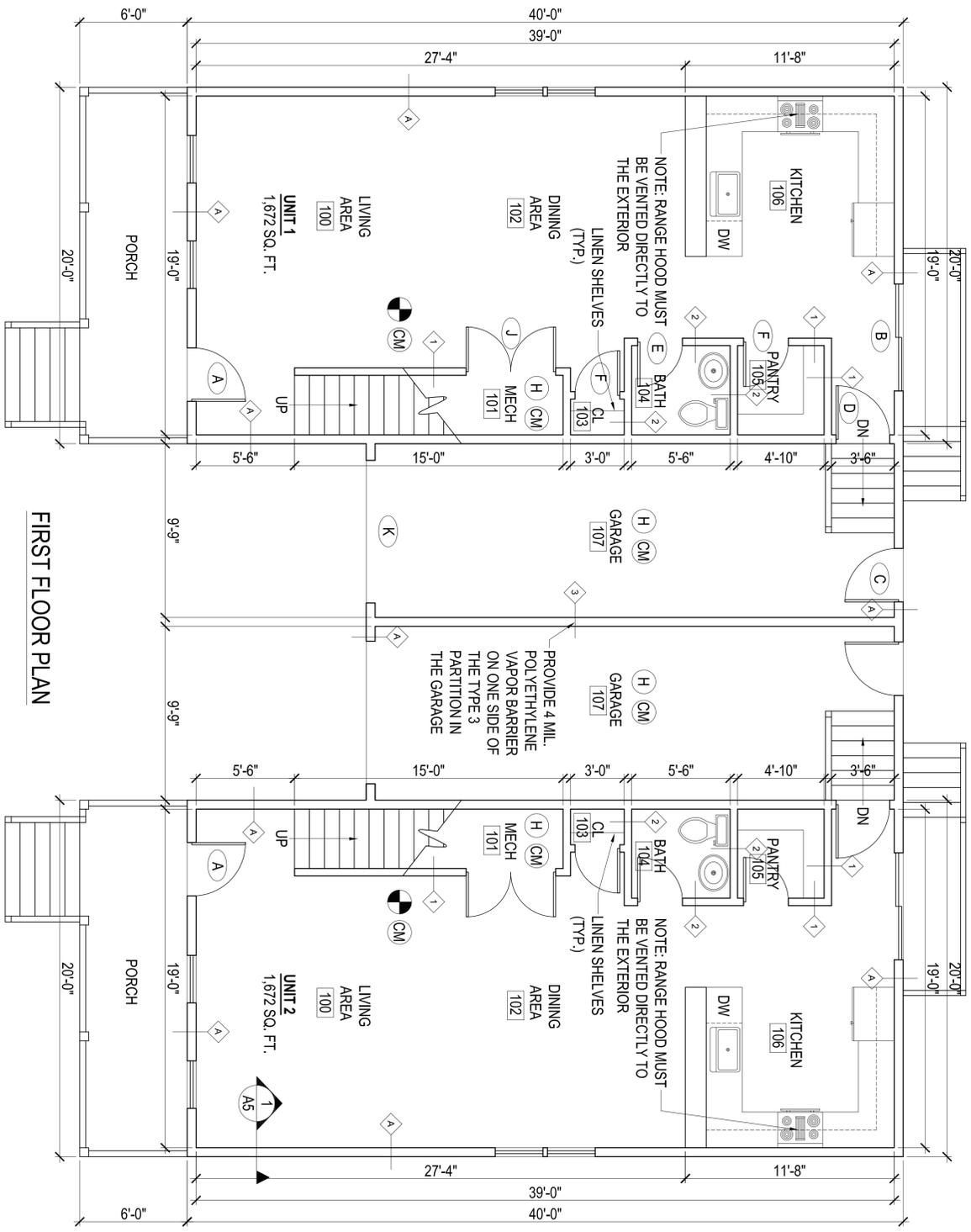
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SCALE:	1/4" = 1'-0"
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SLAB PLAN

A1

REV.	DATE	DESCRIPTION
X	XXX-XX	XXX



LEGEND

- HARDWIRED & INTERCONNECTED
- SMOKE DETECTOR
- HARDWIRED & INTERCONNECTED
- HEAT DETECTOR
- HARDWIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR

GENERAL NOTE: 1 0 1 5 10
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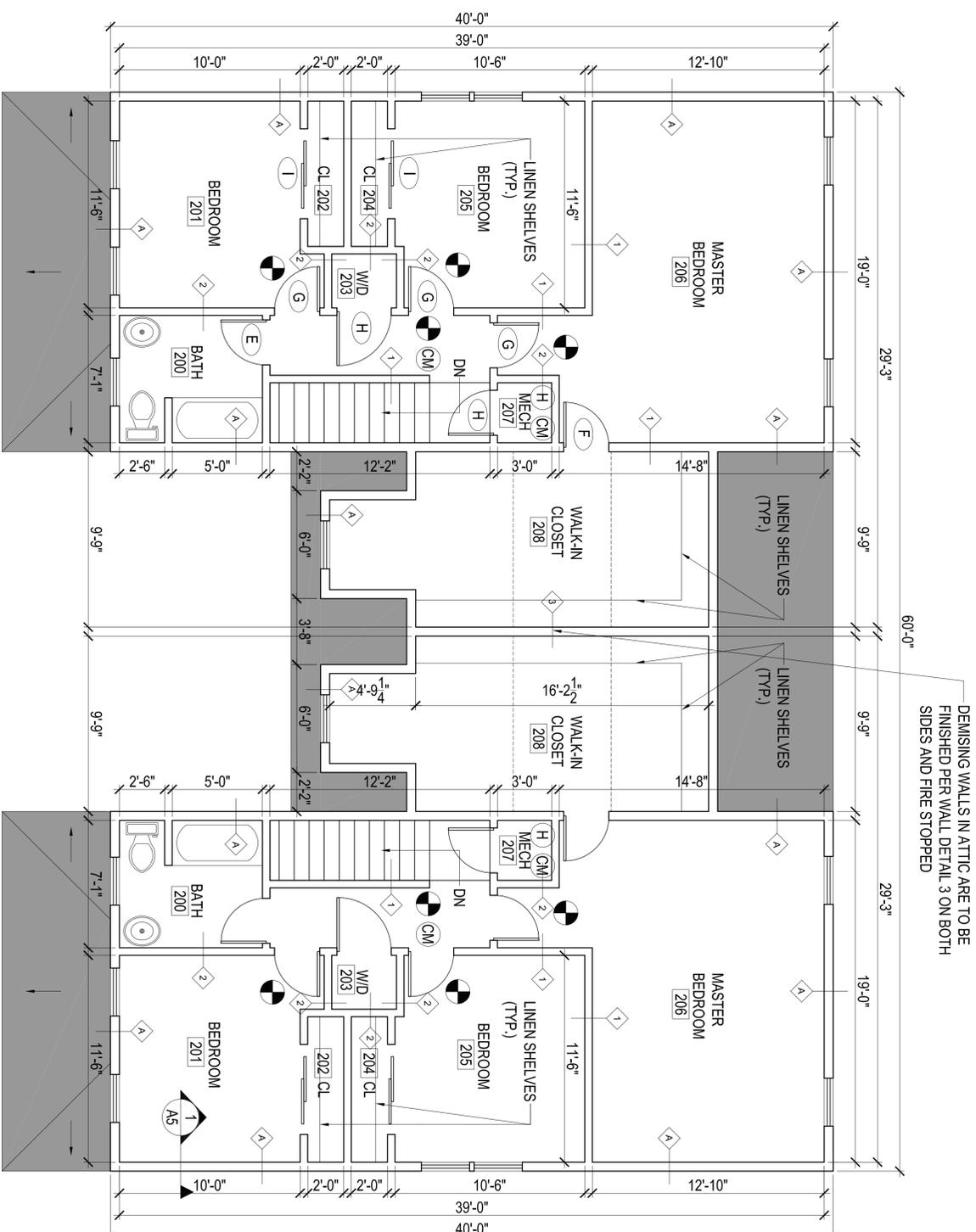
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FIRST FLOOR PLAN

A2

REV.	DATE	DESCRIPTION
X	XXX-XX	XXX



SECOND FLOOR PLAN

LEGEND

- HARDWIRED & INTERCONNECTED SMOKE DETECTOR
- HARDWIRED & INTERCONNECTED HEAT DETECTOR
- HARDWIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR

GENERAL NOTE: 1 0 1 5 10
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A3

SECOND FLOOR PLAN

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R.P.B.

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CD

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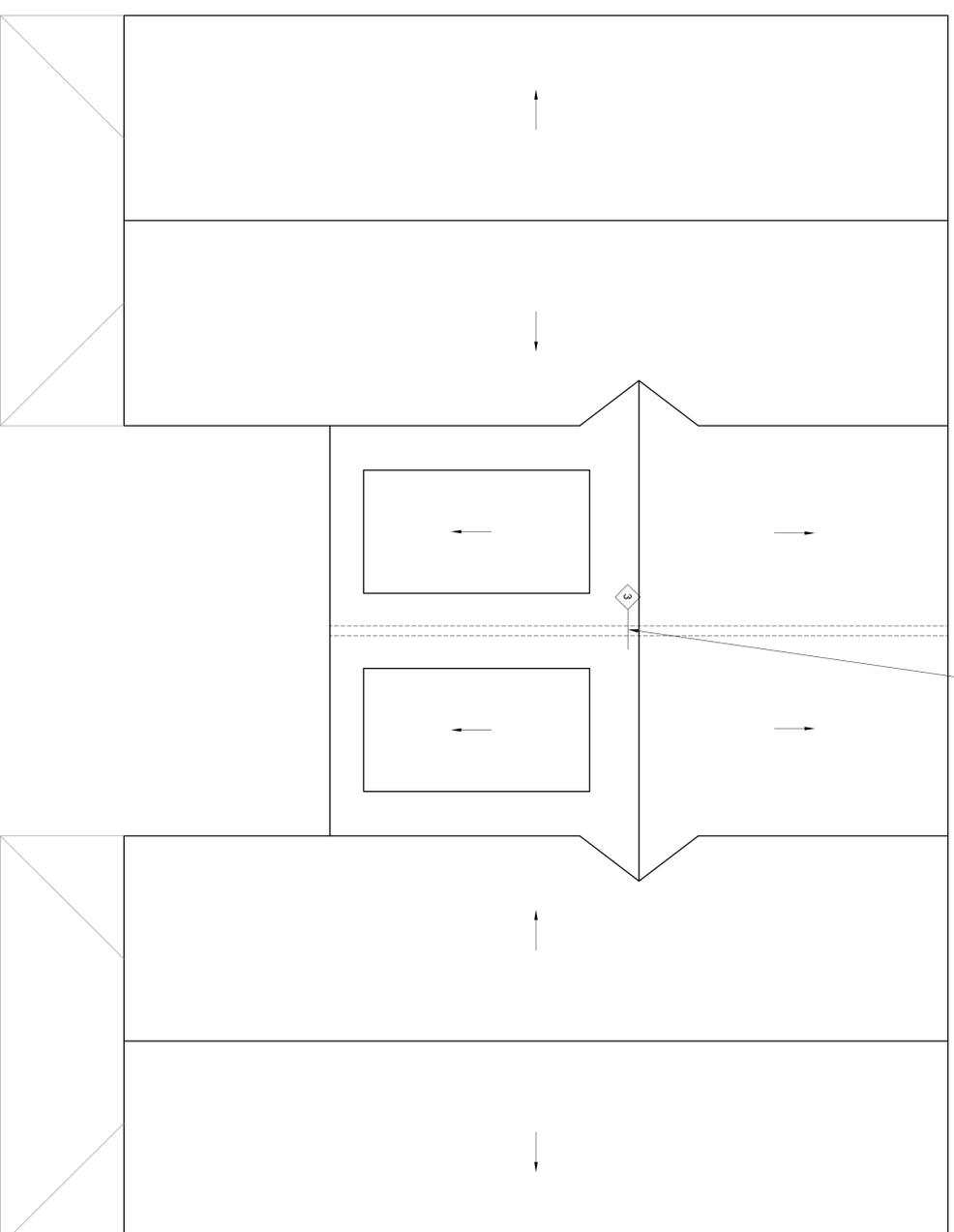
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DEMISING WALLS IN ATTIC ARE TO BE FINISHED PER WALL DETAIL 3 ON BOTH SIDES AND FIRE STOPPED



ROOF PLAN

ROOF NOTES:

1. PROVIDE BITUTHANE ICE AND WATERSHIELD BY W.R. GRACE. APPLY 3'-0" WIDE AT RAKE EDGE, RIDGE AND VALLEYS. PROVIDE TWO LAYERS OF 3'-0" WIDE PRODUCT AT ROOF EAVE-OVERLAP TO SHED WATER.
2. NEW ASPHALT SHINGLES ROOFING: LANDMARK SERIES BY CERTANTIED. COLOR TO BE SELECTED BY OWNER.
3. PAINTED ALUMINUM FLASHING: PROVIDE NEW PAINTED ALUMINUM ROOF EDGE TRIM.
4. GUTTERS AND DOWNSPOUTS: INSTALL ROOFING AND FLASHING. INCLUDE STEP FLASHING. IN ACCORDANCE WITH THE NRCA ROOFING MANUAL, CHAPTER 6 FOR ASPHALT SLOPED ROOF SYSTEM.
5. HANGING GUTTERS SHALL BE 6" WIDE SEAMLESS REFINISHED ALUMINUM. PROVIDE FOR THERMAL EXPANSION. ATTACH GUTTERS TO EAVE OR FLASH WITH FRIMAL ANCHORED STRAPS NOT MORE THAN 36" APART. PROVIDE NEW CLOSURE AND SEAL WATER TIGHT WITH SEALANT. SLOPE GUTTERS TO DOWNSPOUTS. DO NOT PAINT GUTTERS IN THE FIELD. INSTALL CONTINUOUS GUTTER SCREEN ON GUTTERS WITH REMOVABLE NON-CORROSIVE FASTENERS. PROVIDE SPLASH GUARD TO PREVENT CORNER SPLASHING.
6. DOWNSPOUTS SHALL BE 2' X 3' PREFINISHED ALUMINUM. JOIN SECTION WITH 1:1/2" TELESCOPING JOINTS. PROVIDE HANGERS WITH FASTENERS DESIGN TO HOLD DOWNSPOUTS SECURELY TO WALLS AT TOP AND BOTTOM AND 80" O.C. MAXIMUM. DO NOT PAINT DOWNSPOUTS IN THE FIELD.

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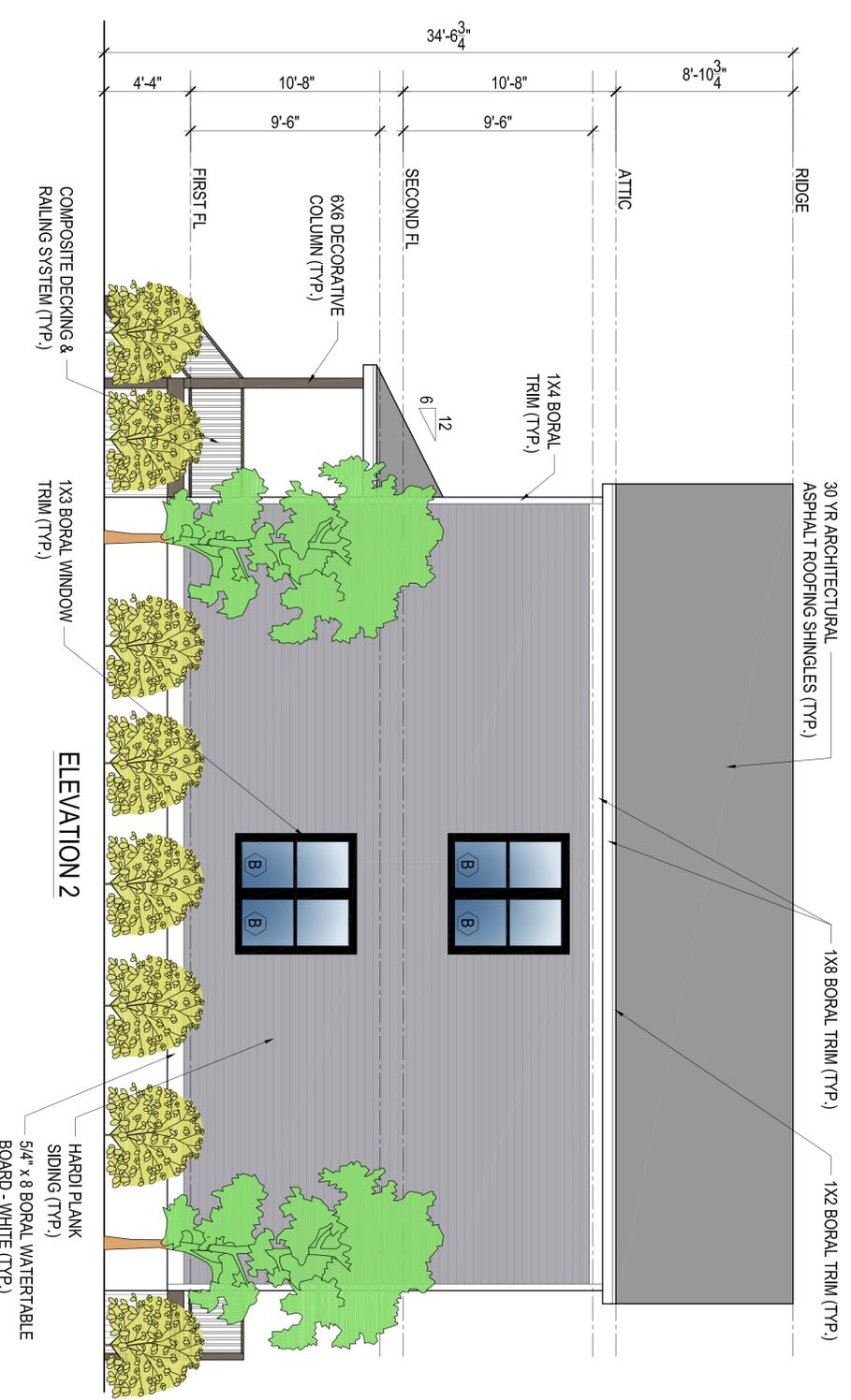
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ROOF PLAN

A4

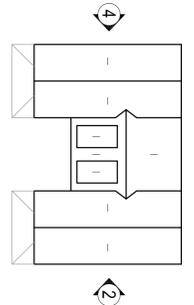
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ELEVATION 2



ELEVATION 1



KEY PLAN

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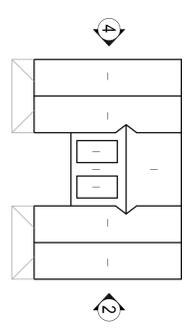
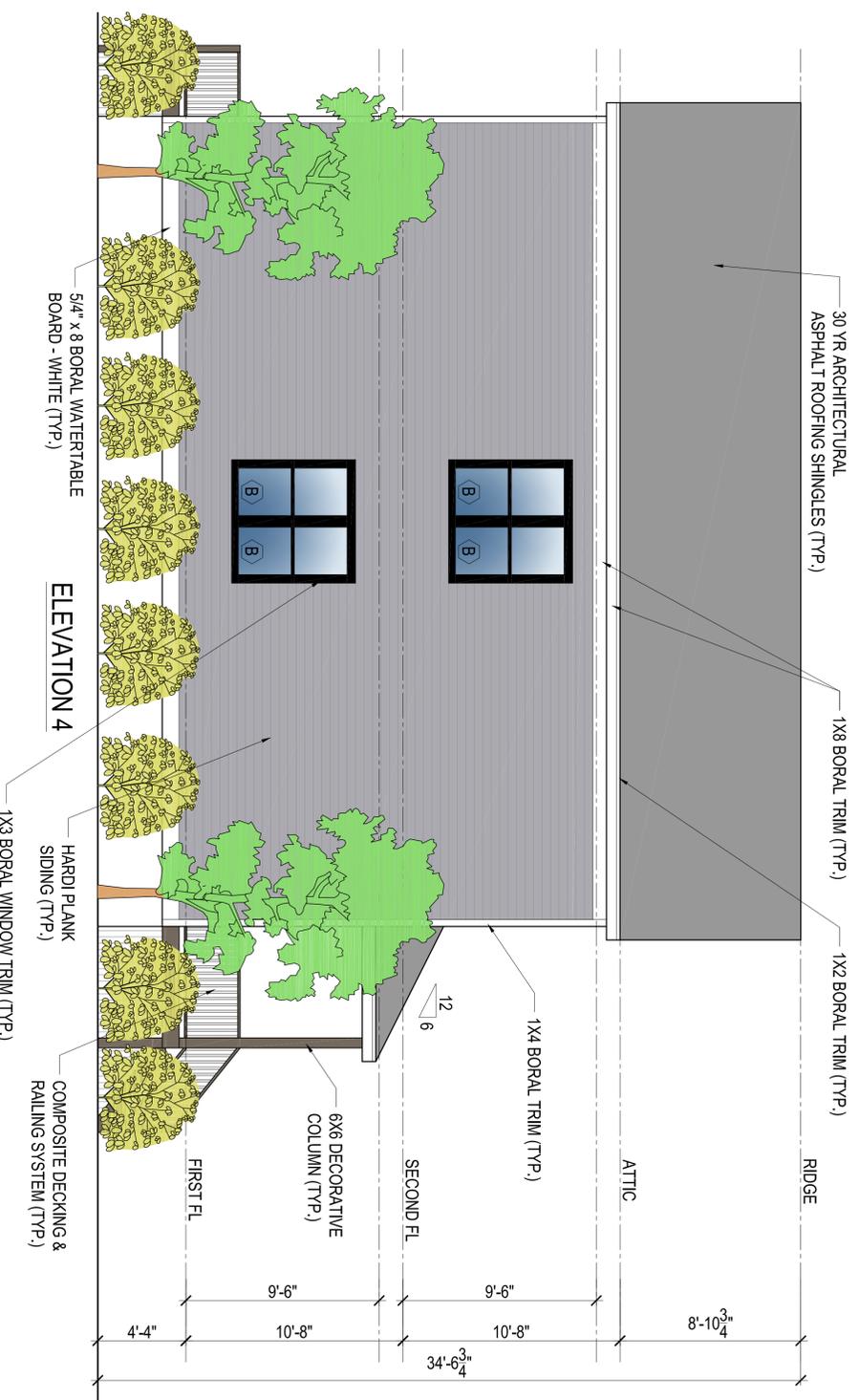
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ELEVATIONS

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ELEVATIONS

A7

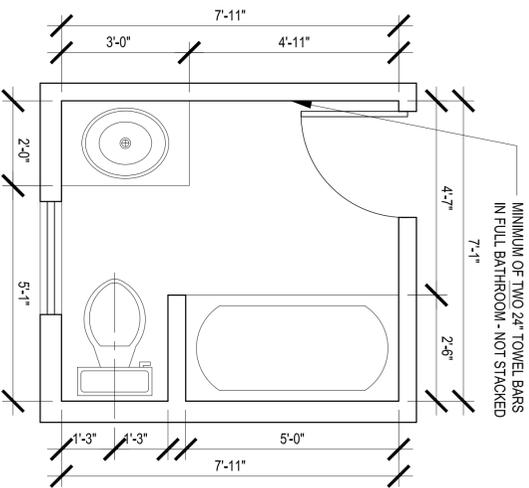
REV.	DATE	DESCRIPTION
X	X-XX-XX	XXX

BATHROOM NOTES:

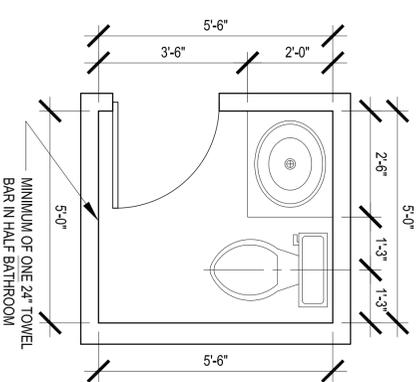
1. PROVIDE MIRROR/MEDICINE CABINET, 30" HIGH x 24" WIDE ABOVE EACH VANITY AND LAVATORY. MOUNT 40" ABOVE THE FLOOR.
2. PROVIDE TOILET TISSUE DISPENSER AT EACH WATER CLOSET.
3. PROVIDE FULL HEIGHT CERAMIC WALL TILE AT TUB ENCLOSURES (3 SIDES). PROVIDE BULL NOSE TILE AT EDGES. SUBMIT SAMPLES TO THE OWNER FOR FINAL WALL TILE SELECTION.
4. PROVIDE CERAMIC TILE SOAP HOLDERS AT TUBS.
5. BATHROOMS SHALL RECEIVE CERAMIC FLOOR TILE AND MATCHING CERAMIC BASE INSTALLED BY THIN SET METHOD. SUBMIT SAMPLES TO THE OWNER FOR FINAL FLOOR TILE AND BASE SELECTION.
6. PROVIDE CRACK SUPPRESSION MEMBRANE AT ALL FLOOR LOCATIONS TO RECEIVE CERAMIC TILE.
7. PROVIDE 3/4" THICK MARBLE THRESHOLDS AT BATHROOM DOORS. COORDINATE MARBLE COLOR WITH TILE COLOR. SUBMIT MARBLE SAMPLES TO THE OWNER FOR FINAL SELECTION.
8. USE MOISTURE RESISTIVE GYPSUM WALL BOARD AT BATHROOM WALLS. EXCEPT USE DENSUGARD TILE BACKER BOARD AT TUB SURROUNDS AND SHOWERS.
9. ALL FULL BATHROOMS HAVE AT A MINIMUM OF TWO 24" TOWEL BARS (NOT STACKED), ONE ROB HOOK, A SHOWER CURTAIN ROD AND A TOILET PAPER HOLDER. ALL HALF BATHROOMS HAVE AT A MINIMUM OF ONE 24" TOWEL BAR.
10. FLOORING UNDER REMOVABLE BASE CABINETS MUST BE INSTALLED AT INITIAL CONSTRUCTION.
11. BATHROOM EXHAUST SYSTEMS SHOULD OPERATE CONTINUOUSLY AT LOW SPEED AND INCLUDE SWITCHING TO BOOST DISCHARGE VENTILATION FOLLOWING OCCUPANT USE BY AT LEAST 50%.
12. ALL BATHROOM DOORS SHALL BE UNDERCUT 1/2" TO PROMOTE REQUIRED AIR CHANGES THROUGHOUT THE UNIT.
13. FRESH AIR MUST BE MECHANICALLY SUPPLIED TO ALL UNITS.

KITCHEN NOTES:

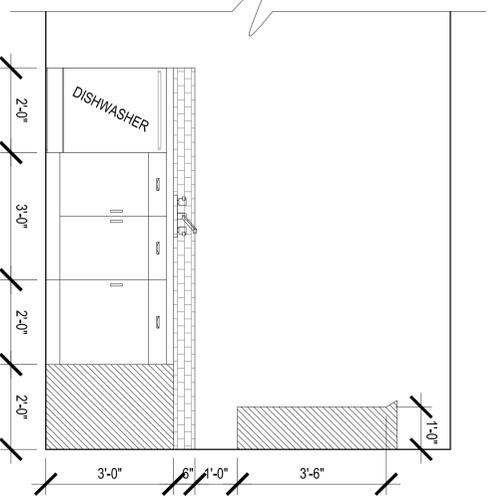
1. PROVIDE CABINETRY SHOP DRAWINGS FOR EACH KITCHEN LAYOUT. CONFIRM FINISH DIMENSIONS OF APPLIANCES TO BE INSTALLED IN THE CABINETRY.
2. ALL APPLICABLE KITCHEN APPLIANCES SHALL BE ENERGY STAR RATED.
3. GARBAGE DISPOSALS SHALL BE A MINIMUM OF 1/2 HP.
4. DISHWASHERS SHALL HAVE WATER USE OF 6.0 GALLON OR LESS CYCLE.
5. PROVIDE FINISHED END AND BACK PANELS AT ALL EXPOSED LOCATIONS FOR A COMPLETELY FINISHED INSTALLATION.
6. RETURN CROWN MOLDING TRIM AT SIDES AND ENDS OF CABINETRY.
7. PROVIDE ALL NECESSARY FILLER PANELS AND TRIM FOR A COMPLETELY FINISHED INSTALLATION.
8. COUNTERTOPS SHALL BE SELECTED BY THE OWNER. IF COUNTERTOPS ARE NOT SOLID SURFACE, THEN THE SECOND OPTION IS THAT COUNTERTOPS SHOULD BE ONE-PIECE SQUARE-EDGED, 0.50" THICK MINIMUM HIGH PRESSURE LAMINATE, WITH 4" INTEGRAL "POST-FORMED", COVERED BACKSPLASH. ADHESIVES SHOULD BE WATER-BASED.
9. CABINETS SHALL HAVE HIGH PRESSURE OR SOLID WOOD FORMALDEHYDE-FREE DOORS AND DRAWERS WITH PULLS AND FRAMES COMPLYING WITH "ANSI/KCMA A161.1" CABINETRY SPECIFICATIONS. THERMOFIL AND PARTICLE BOARD CABINETS ARE NOT ALLOWED. CABINETRY STYLE AND COLOR TO BE SELECTED BY THE OWNER (THE FINAL SELECTION MUST MEET ALL MINIMUM REQUIREMENTS ABOVE).



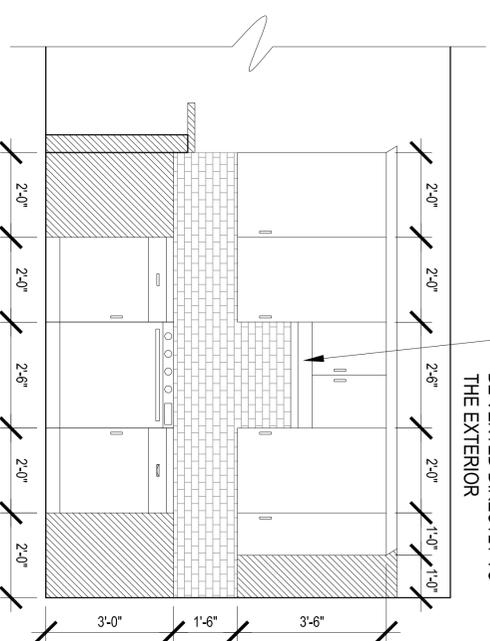
SECOND FLOOR COMMON BATHROOM PLAN
OR SIMILAR



FIRST FLOOR COMMON HALF BATHROOM PLAN
OR SIMILAR

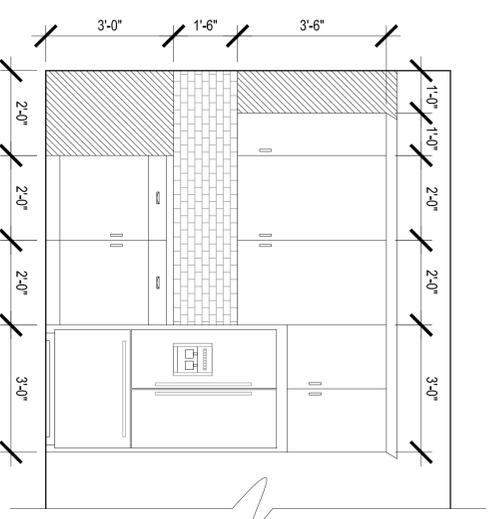


KITCHEN ELEVATION C
OR SIMILAR

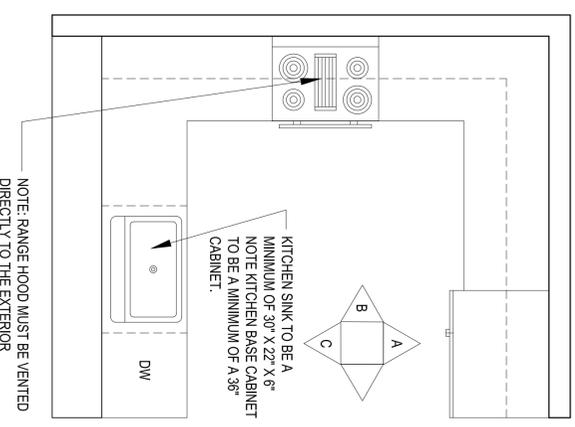


KITCHEN ELEVATION B
OR SIMILAR

NOTE: RANGE HOOD MUST BE VENTED DIRECTLY TO THE EXTERIOR



KITCHEN ELEVATION A
OR SIMILAR



KITCHEN PLAN
OR SIMILAR

NOTE: RANGE HOOD MUST BE VENTED DIRECTLY TO THE EXTERIOR

KITCHEN SINK TO BE A MINIMUM OF 30" X 22" X 6" NOTE KITCHEN BASE CABINET TO BE A MINIMUM OF A 36"

GENERAL NOTE:
VERIFY AND CONFIRM ALL CONDITIONS AND/OR DIMENSIONS SHOWN PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

Norfolk Design & Construction
23-25 Rosebery Road
Mattapan, MA 02126

RCA, LLC
415 Neponset Ave. www.rocche-christopher.com Telephone: 617-282-0030
Dorchester, Massachusetts 02122 Fax: 617-282-1080

PROJECT # 20-021
DATE: 8-24-20
REV: 1/2" = 1'-0"
SCALE:
DRAWN BY: CD
CHECKED BY: R.P.B.
ENLARGED BATHROOM AND KITCHEN PLANS
A8

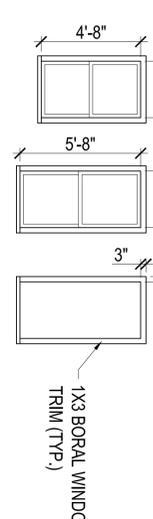
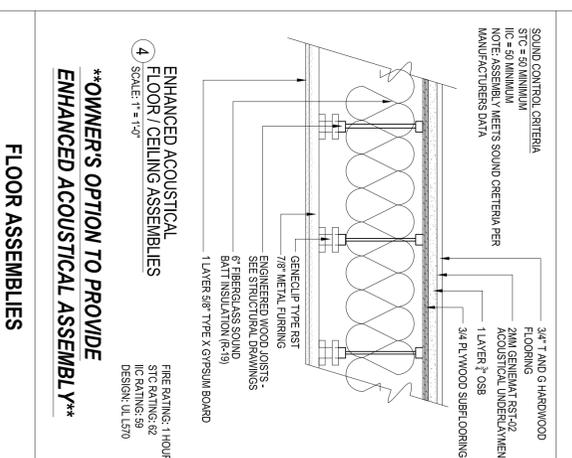
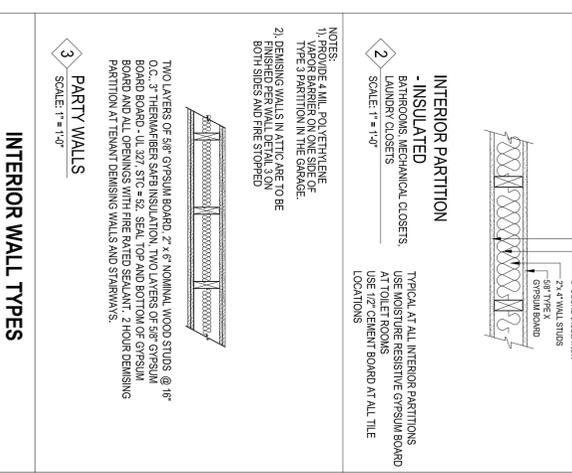
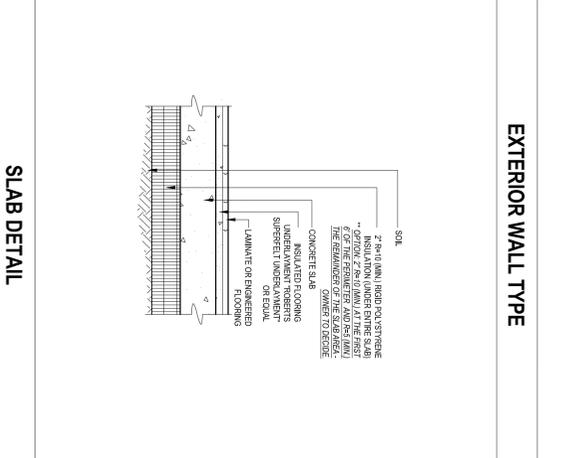
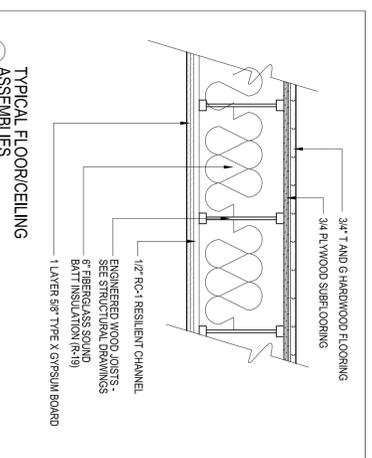
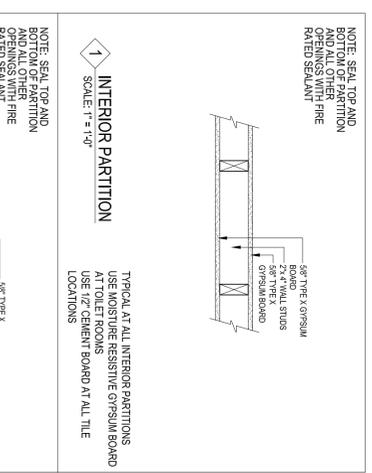
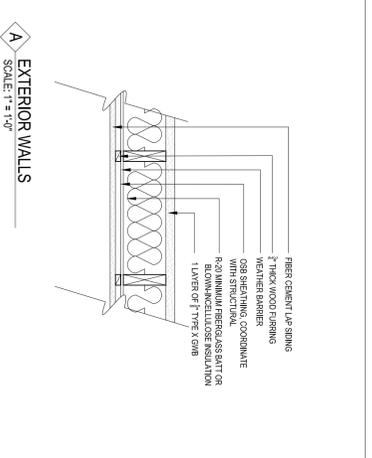
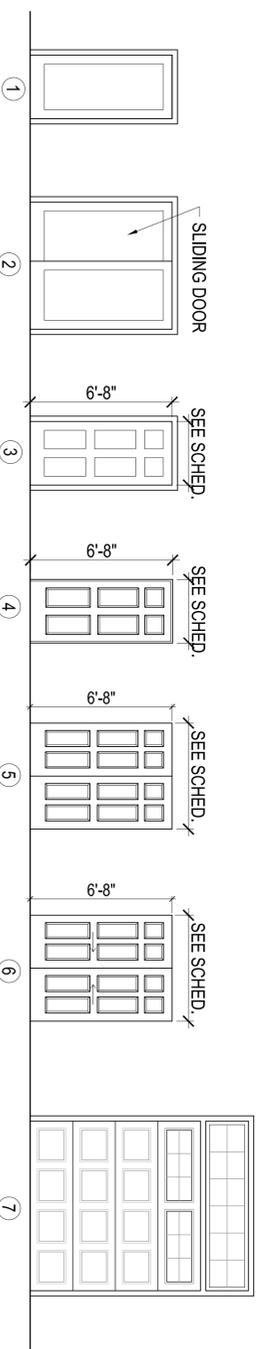
REV.	DATE	DESCRIPTION
X	X-XX-XX	XXX

DOOR SCHEDULE						
DOOR			DOOR SIZE		FRAME	
ROOM	MAT.	TYPE	WIDTH	HEIGHT	THICK	MATERIAL
A	ENTRY	WOOD	3'-0"	6'-8"	1 3/4"	PM
B	KITCHEN	WOOD	6'-0"	6'-8"	1 3/4"	WOOD
C	GARAGE	WOOD	3'-0"	6'-8"	1 3/4"	WOOD
D	KITCHEN	WOOD	3'-0"	6'-8"	1 3/4"	WOOD
E	BATHROOM	WOOD	2'-6"	6'-8"	1 3/4"	WOOD
F	CLOSET / PANTRY	WOOD	2'-6"	6'-8"	1 3/4"	WOOD
G	BEDROOM	WOOD	2'-6"	6'-8"	1 3/4"	WOOD
H	WASHER / DRYER & MECH	WOOD	2'-6"	6'-8"	1 3/4"	WOOD
I	CLOSET	WOOD	(2) 2'-6"	6'-8"	1 3/4"	WOOD
J	MECH	WOOD	(2) 2'-6"	6'-8"	1 3/4"	WOOD
K	GARAGE	WOOD	8'-0"	8'-0"	1 3/4"	WOOD

WINDOW SCHEDULE						
SIZE	HEIGHT	ROUGH OPENING		TYPE	MODEL NUMBER	REMARKS
		WIDTH	HEIGHT			
A	2'-7 5/8"	4'-8 7/8"	2'-8 1/8"	4'-8 7/8"	DOUBLE-HUNG	TW2546
B	2'-7 5/8"	5'-8 7/8"	2'-8 1/8"	5'-8 7/8"	DOUBLE-HUNG	TW2556

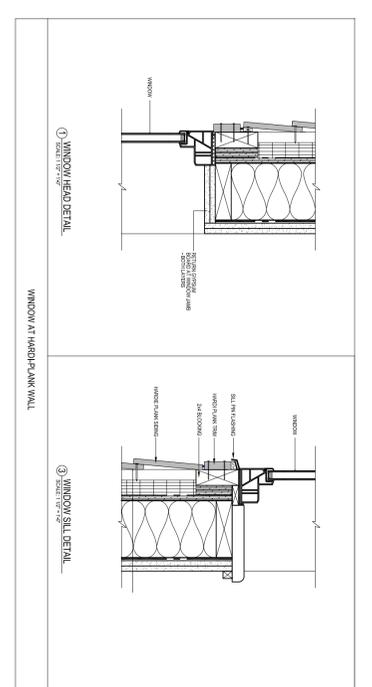
WINDOW NOTES:

- WINDOW TREATMENTS MUST BE PROVIDED IN ALL UNITS, REGARDLESS OF AFFORDABILITY.
- ALL WINDOW TREATMENTS MUST BE CORDLESS FOR CHILD SAFETY.
- ALL WINDOWS SHOULD RECEIVE PROPERLY-SIZED WINDOW SHADES: FIBERGLASS-COATED VINYL, PLASTIC, FIRE-RETARDANT, FADE-RESISTANT ROLLER SHADES WITH LARGE DIAMETER COTTON CORD ATTACHED TO SLAT.
- MINI-BLINDS ARE DISCOURAGED SINCE THE BLINDS THEMSELVES MAY POSE A CHOKING RISK. BUT IF USED, IT MUST BE VERIFIED THAT THE SELECTED PRODUCT IS SAFE FOR CHILDREN.
- PROVIDE WINDOW GUARDS AND / OR LIMITERS TO COMPLY WITH "KIDS CANT FLY".
- 1X3 BORAL WINDOW TRIM AROUND ALL WINDOWS.



WINDOW TYPES

SCALE: 1/4" = 1'-0"



ROOM SCHEDULE									
ROOM #	ROOM NAME	WALLS			CEILING			FLOORS	
		FINISH	MATERIAL	FIRST FLOOR	MATERIAL	HEIGHT	MATERIAL		
100	LIVING AREA	PAINT	G.W.B.	G.W.B.	G.W.B.	TILE	HARDWOOD		
101	MECHANICAL	PAINT	G.W.B.	G.W.B.	G.W.B.	TILE	HARDWOOD		
102	DINING AREA	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
103	CLOSET	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
104	BATH	PAINT / TILE	G.W.B.	G.W.B.	G.W.B.	TILE	HARDWOOD		
105	PANTRY	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
106	KITCHEN	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
107	GARAGE	PAINT	G.W.B.	G.W.B.	G.W.B.	SEALED CONCRETE	HARDWOOD		
SECOND FLOOR									
200	BATH	PAINT / TILE	G.W.B.	G.W.B.	G.W.B.	TILE	HARDWOOD		
201	BEDROOM	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
202	CLOSET	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
203	WASHER / DRYER	PAINT	G.W.B.	G.W.B.	G.W.B.	TILE	HARDWOOD		
204	CLOSET	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
205	BEDROOM	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
206	MASTER BEDROOM	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		
207	MECHANICAL	PAINT	G.W.B.	G.W.B.	G.W.B.	TILE	HARDWOOD		
208	WALK-IN CLOSET	PAINT	G.W.B.	G.W.B.	G.W.B.	HARDWOOD	HARDWOOD		

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A9

FLOOR AND WALL ASSEMBLES / WINDOW, DOOR AND ROOM FINISH SCHEDULES

Norfolk Design & Construction
 23-25 Rosebery Road
 Mattapan, MA 02126

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415 Neponset Ave. www.roche-christopher.com Telephone: 617-282-0030
 Dorchester, Massachusetts 02122 Fax: 617-282-1080



Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Martin J. Walsh
Mayor

MORE INFORMATION REQUEST LETTER

Sean Lydon
Inspector of Buildings

November 05, 2020

ADLER BERNADIN
60 COMMERCIAL STREET
STOUGHTON, MA 02072

RE: Application #: **ERT1060807**
Location: 23 - 25 Rosebery Rd, Ward 18
Zoning District: Hyde Park Neighborhood, 2F-5000
Purpose: To Erect a new 2 story, Two (2) Family Townhouse-style Dwelling with a Garage between the Dwelling Units, as per plans.

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. City Agencies' Approvals:

- Boston Planning and Development Agency: Two Sets of Approved Drawings
- Department of Public Works: Contact for Curb Cut

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Abel Arguedas, Plans Examiner
abel.arguedas@boston.gov / (617) 961-3438

