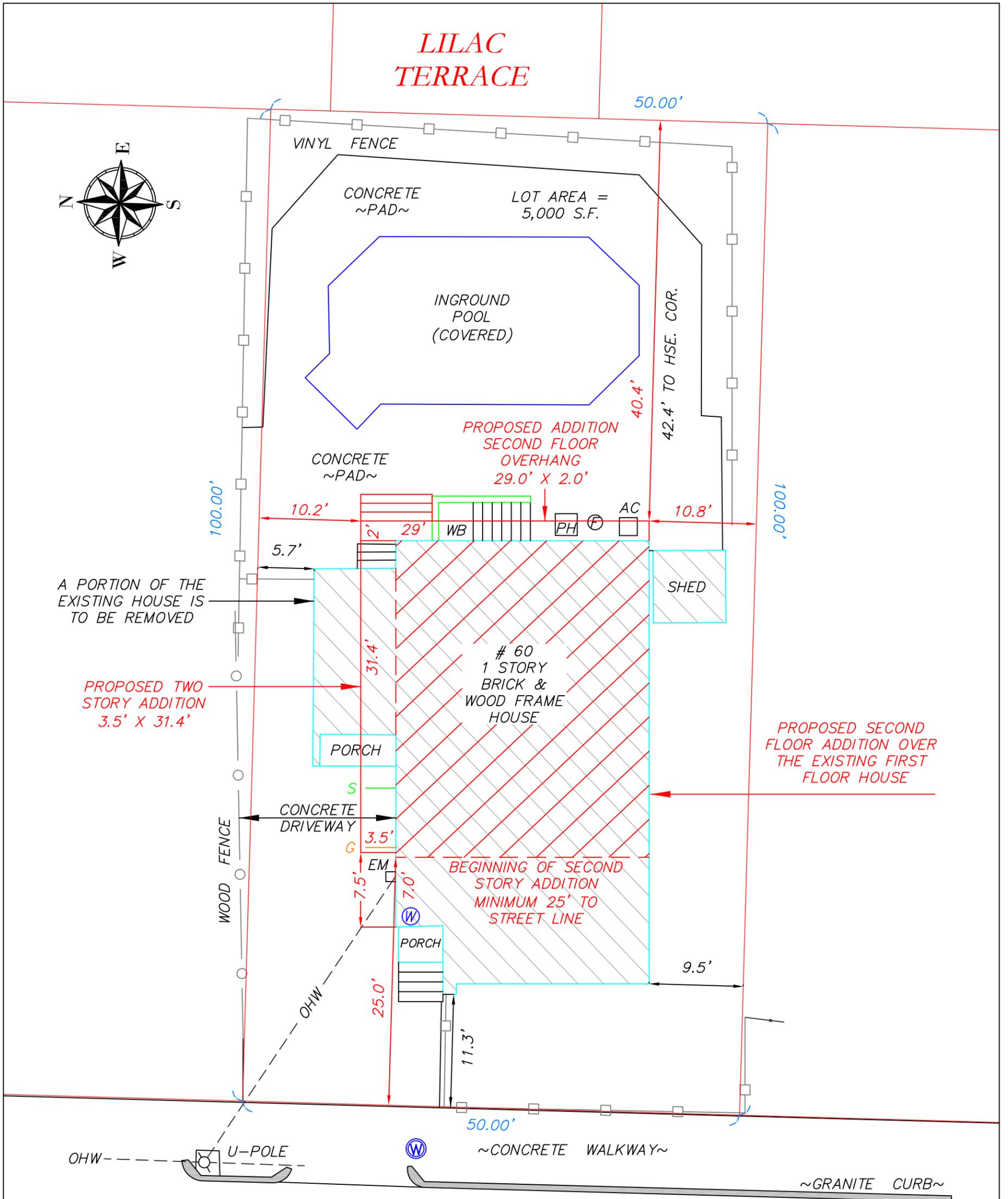
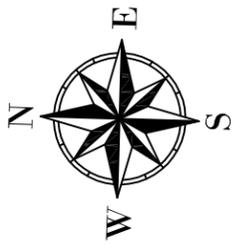


# LILAC TERRACE



A PORTION OF THE EXISTING HOUSE IS TO BE REMOVED

PROPOSED TWO STORY ADDITION 3.5' X 31.4'

PROPOSED SECOND FLOOR ADDITION OVER THE EXISTING FIRST FLOOR HOUSE

BEGINNING OF SECOND STORY ADDITION MINIMUM 25' TO STREET LINE

## NOTES:

ALL OFFSETS & DIMENSIONS ARE TO THE SIDING UNLESS OTHERWISE NOTED.

F=FILTER  
 PH=POOL HEATER  
 AC=AIR CONDITIONING  
 EM=ELECTRIC METER  
 OHW=OVERHEAD WIRES  
 WB=WALKOUT BASEMENT

# CLIFTONDALE STREET

EXISTING LOT COVERAGE = (26.9%) 1,345.9 S.F.  
 PROPOSED LOT COVERAGE = (27.0%) 1,350.0 S.F.

## LEGEND:

- S=SEWER
- G=GAS
- Ⓜ=WATER @ BASEMENT SLAB
- Ⓜ=WATER SHUTOFF



**D. O'BRIEN**  
 LAND SURVEYING  
 31 HAYWARD STREET UNIT 3-G, EST 1996  
 FRANKLIN, MA 02038 508-541-0048

PLAN SHOWING PROPOSED ADDITION  
 60 CLIFTONDALE STREET-ROSLINDALE  
 BOSTON, MA SUFFOLK COUNTY

Dennis O'Brien P.L.S.

SCALE: 1:10	DATE: 11/30/2017	REVISED: 4/2/2018	DRAWN BY: W.M.N.	CHECKED BY: D.O.
----------------	---------------------	----------------------	---------------------	---------------------

**RENOVATION AND ADDITION TO  
60 CLIFTONDALE STREET  
ROSLINDALE, MA 02131**

PERMIT SET  
APRIL 27, 2018

REVISION AUGUST 21, 2018

**PROJECT SCOPE**

THE SCOPE OF THE PROJECT CONSISTS OF:  
A RENOVATION & ADDITION TO FIRST FLOOR AND CONSTRUCTION A FULL SECOND STORY. THERE IS NO  
CHANGE IN OCCUPANCY OR USE GROUP.

ZONING ANALYSIS				
60 CLIFTONDALE STREET ROSLINDALE, MA 02131 1F-6000				
	REQUIRED / ALLOWED	EXISTING	PROPOSED	STATUS
LOT AREA (MIN)	6,000 SF	5,000 SF	5,000 SF	EXISTING NON-CONFORMING
LOT WIDTH (MIN)	60'	50'	50'	EXISTING NON-CONFORMING
LOT FRONTAGE (MIN)	60'	50'	50'	EXISTING NON-CONFORMING
GROSS FLOOR AREA	N/A	1,126 SF	2,130 SF	N/A
FLOOR AREA RATIO (MAX)	.5	.225	.2	IN COMPLIANCE
BUILDING HEIGHT (MAX)	2 1/2 STORIES	1 STORY	2 STORIES	IN COMPLIANCE
	35'	N/A	27'-4"	IN COMPLIANCE
USEABLE OPEN SPACE (MIN)	1,800 SF PER D.U.		3,200 SF	IN COMPLIANCE
FRONT YARD SETBACK (MIN)	25'	11.3'	25' @ NEW CONSTRUCTION	IN COMPLIANCE
SIDE YARD SETBACK (MIN)	10'	5.7'	10' @ NEW CONSTRUCTION	IN COMPLIANCE
REAR YARD SETBACK (MIN)	40'	42.4'	40.4' @ NEW CONSTRUCTION	IN COMPLIANCE
REAR YARD OCCUPANCY BY ACCESSORY BUILDINGS (MAX)	25%	1.06%	0%	IN COMPLIANCE

**GENERAL CONSTRUCTION NOTES:**

- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL LOCAL, STATE, NATIONAL AND OTHER APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, LIFE SAFETY AND HEALTH AND FIRE CODES REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSURE THAT HIS OWN FORCES AND SUBCONTRACTORS ARE FAMILIAR WITH SUCH REQUIREMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS, GENERAL DIMENSIONS AND CONFIGURATION PRIOR TO SUBMITTING THE BID AND SHALL NOTIFY, IN WRITING THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS TO THE ARCHITECT IN WRITING. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER THE ARCHITECT HAS RESOLVED DISCREPANCY.
- GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE PROJECT AS INDICATED ON THE DRAWINGS EXCEPT AS OTHERWISE NOTED. ALL NEW WORK TO BE JOINED TO EXISTING WORK IN SUCH A MANNER THAT THE FINAL APPEARANCE IS HOMOGENEOUS. ALL HOLES, MARKS, SCRATCHES, GOUGES OR DAMAGE CREATED DURING THE CONSTRUCTION PROCESS INCLUDING THE REMOVAL OR RELOCATION OF EXISTING STRUCTURE, FINISHES, FIXTURES, SHELVEING, HARDWARE ETC. SHALL BE PATCHED, SANDED SMOOTH AND REFINISHED.
- THE OWNER SHALL RESERVE THE RIGHT TO PURCHASE AND PROVIDE ANY AND/OR ALL MATERIALS, WALL COVERINGS, CABINETS AND FINISHES. THE COST OF ANY ITEMS PURCHASED AND PROVIDED BY THE OWNER SHALL BE DEDUCTED FROM ANY ALLOWANCE FOR THOSE ITEMS SET FORTH BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL GUARANTEE ALL HIS/HER WORK AND MATERIALS TO BE FREE OF ALL DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF THE OWNER'S APPROVAL OF WORK AND MATERIALS. ANY WORK OR MATERIALS THAT BECOME DEFECTIVE OR FOUND TO BE MISSING WITHIN ONE YEAR FROM APPROVAL SHALL BE REPAIRED AND OR REPLACED WITHOUT CHARGE TO THE OWNER.
- GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS REQUIRED.
- ALL CONTRACTORS ON THE JOB ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS APPROPRIATE TO OR EXCEEDING THE VALUE OF THE WORK INVOLVED. OR AS MAY BE OTHERWISE INDICATED BY THE OWNER.
- CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF PREMISES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL CONFLICTS BETWEEN TRADES AND SHALL OBTAIN WRITTEN RESOLUTION FOR THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION IN ALL AREAS AFFECTED BY THE CONFLICT.
- THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THIS WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF MATERIALS. THE EXECUTION OF THEIR WORK SHALL PROPERLY CONNECT AND COORDINATE THE GENERAL CONTRACTOR'S WORK.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES: ANY TEMPORARY POWER, ELECTRICAL, LIGHTING, WATER, STORAGE, ETC. ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, TO BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE FINAL PROJECT CLEANING (BROOM CLEAN), VACUUMING OF ALL CABINET INTERIORS, WINDOW AND GLASS CLEANING AND CLOSEOUT.

**DEMOLITION:**

- THE CONTRACTOR SHALL INCLUDE ANY DEMOLITION NECESSARY TO PERFORM THE WORK AS INDICATED IN THE DRAWINGS AND SHALL BE RESPONSIBLE FOR REMOVAL OF ALL TRASH AND DEBRIS CREATED DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND HEALTH CODES AND REGULATIONS.

**HVAC:**

- ALL HVAC WORK SHALL CONFORM TO ALL APPLICABLE MASSACHUSETTS AND NATIONAL CODES. THE HVAC CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PERFORM THE INDICATED WORK AND INSPECTIONS PER MASSACHUSETTS AND NATIONAL CODES AND MAKE ALL FINAL CONNECTIONS.
- THE EXISTING HVAC SYSTEM SHALL BE MODIFIED AS NECESSARY TO ACCOMMODATE THE PROPOSED PLANS. THE GENERAL CONTRACTOR SHALL COORDINATE A DESIGN/BUILD PROPOSAL WITH THE HVAC SUBCONTRACTOR AND PRESENT IT TO THE OWNERS AND ARCHITECT.

**PLUMBING:**

- ALL PLUMBING WORK SHALL CONFORM TO ALL APPLICABLE MASSACHUSETTS AND NATIONAL CODES. THE PLUMBING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PERFORM THE INDICATED WORK AND INSPECTIONS PER MASSACHUSETTS AND NATIONAL CODES AND MAKE ALL FINAL CONNECTIONS.
- UNLESS NOTED OTHERWISE, THE OWNER SHALL SUPPLY ALL PLUMBING FIXTURES AND THE GENERAL CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES.

**ELECTRICAL:**

- ALL ELECTRICAL WORK SHALL CONFORM TO ALL APPLICABLE MASSACHUSETTS AND NATIONAL CODES. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PERFORM THE INDICATED WORK AND INSPECTIONS PER MASSACHUSETTS AND NATIONAL CODES AND MAKE ALL FINAL CONNECTIONS.
- THE GENERAL CONTRACTOR SHALL ASSESS IF THE EXISTING ELECTRICAL SUPPLY AND PANEL ARE SUFFICIENT TO SUPPLY THE LOAD / DEMAND OF THE FINAL PROJECT SCOPE. IF THE PANEL IS NOT SUFFICIENT THE GENERAL CONTRACTOR SHALL UPGRADE THE PANEL AS PART OF THE PROJECT SCOPE.

**CABINETS:**

- THE OWNER SHALL CONTRACT WITH AN INDEPENDENT CABINET SUPPLIER FOR THE KITCHEN CABINETS AND ALL BATHROOMS. THE GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH THE CABINET SUPPLIER.

**TILE & SOLID SURFACES:**

- THE OWNER SHALL SUPPLY ALL TILE AND SOLID SURFACES. THE GENERAL CONTRACTOR SHALL INSTALL ALL TILE, TILE EDGES, GROUT, ETC. AND COORDINATE THE INSTALLATION OF ALL SOLID SURFACES WITH THE SUPPLIER/FABRICATOR.

**PAINT:**

- PROVIDE A PAINTING ALLOWANCE FOR PAINTING THE ENTIRE HOUSE (EXCLUDING THE BASEMENT), INCLUDING WALLS, TRIM, BASEBOARDS, DOORS, WINDOW SASHES. PROVIDE FOR 5 WALL COLORS IN FLAT OR EGGSHELL FINISH AND 1 TRIM COLOR IN SEMI-GLOSS FINISH.
- INCLUDE PAINTING/STAINING THE EXTERIOR AS AN INDEPENDENT LINE ITEM. PROVIDE AN ALLOWANCE FOR 1 CLAPBOARD COLOR, 1 TRIM COLOR AND 1 ACCENT DOOR COLOR.

WINDOW SCHEDULE						
VERIFY ALL WINDOW SIZES AND ROUGH OPENINGS IN THE FIELD PRIOR TO ORDERING. COORDINATE ALL ACCESSORIES, HARDWARE AND OPTIONS WITH OWNER PRIOR TO ORDERING						
KEY	MANUFACTURER	MODEL	ROUGH OPENING WxH	FINISH	U - FACTOR	NOTES
(A)	ANDERSEN 400 SERIES; OR EQ.	CUSTOM FIXED PICTURE WINDOW W/ OPERABLE AWNING BELOW	VERIFY IN FIELD	CLAD EXTERIOR PRIMED INTERIOR	.27	COORDINATE ALL ACCESSORIES WITH OWNER PROVIDE INSECT SCREENS AT OPERABLE WINDOWS. VERIFY EXISTING OPENINGS IN FIELD AND USE STOCK WINDOW SIZES IF AVAILABLE.
(B)	ANDERSEN 400 SERIES; OR EQ.	CUSTOM FIXED TRANSOM WINDOW	VERIFY IN FIELD	CLAD EXTERIOR PRIMED INTERIOR	.27	
(C)	ANDERSEN 400 SERIES; OR EQ.	CUSTOM FIXED TRAPEZOIDAL WINDOW	VERIFY IN FIELD	CLAD EXTERIOR PRIMED INTERIOR	.27	COORDINATE ALL ACCESSORIES WITH OWNER PROVIDE INSECT SCREENS AT OPERABLE WINDOWS
(D)	ANDERSEN 400 SERIES; OR EQ.	CUSTOM FIXED TRAPEZOIDAL WINDOW	VERIFY IN FIELD	CLAD EXTERIOR PRIMED INTERIOR	.27	COORDINATE ALL ACCESSORIES WITH OWNER PROVIDE INSECT SCREENS AT OPERABLE WINDOWS
(E)	HARVEY; OR EQ.	BASEMENT HOPPER WINDOW	VERIFY IN FIELD	VINYL EXTERIOR VINYL INTERIOR	.27	COORDINATE ALL ACCESSORIES WITH OWNER PROVIDE INSECT SCREENS AT OPERABLE WINDOWS
(F)	ANDERSEN 400 SERIES; OR EQ.	AWNING A21	2'-0 5/8" x 2'-0 5/8"	CLAD EXTERIOR PRIMED INTERIOR	.27	COORDINATE ALL ACCESSORIES WITH OWNER PROVIDE INSECT SCREENS AT OPERABLE WINDOWS
(G)	ANDERSEN 400 SERIES; OR EQ.	FACTORY MULLED PAIR OF DOUBLE HUNG (2) TW2032	VERIFY WITH MANUFACTURER	CLAD EXTERIOR PRIMED INTERIOR	.27	COORDINATE ALL ACCESSORIES WITH OWNER PROVIDE INSECT SCREENS AT OPERABLE WINDOWS
(H)	ANDERSEN 400 SERIES; OR EQ.	SINGLE DOUBLE HUNG TW210410	3'-0 1/4" x 5'-0 7/8"	CLAD EXTERIOR PRIMED INTERIOR	.27	COORDINATE ALL ACCESSORIES WITH OWNER PROVIDE INSECT SCREENS AT OPERABLE WINDOWS

NOTE: ALL NEW WINDOWS TO BE HAVE GRILLES BETWEEN GLASS. INSULATED LOW E (E-2) ARGON GAS FILLED. ALL NEW WINDOWS MUST MEET ENERGY STAR AND MASSACHUSETTS STRETCH ENERGY CODE WITH A MINIMUM U VALUE OF .27

DOOR SCHEDULE						
VERIFY ALL DOOR SIZES IN FIELD. COORDINATE ALL ACCESSORIES, HARDWARE AND OPTIONS WITH ARCHITECT BEFORE ORDERING						
KEY	MANUFACTURER	MODEL	NOMINAL OPN'G	FINISH	HARDWARE	NOTES
(101)	ANDERSEN; OR EQ.	FWH43168 FRENCHWOOD HINGED PATIO DOOR	31" x 68"	CLAD EXTERIOR PRIMED INTERIOR	COORDINATE W/ ARCHITECT	VERIFY SWING W/ DRAWINGS FROSTED GLASS
(102)	ANDERSEN; OR EQ.	FWH390611 FRENCHWOOD HINGED PATIO DOOR	90" x 611"	CLAD EXTERIOR PRIMED INTERIOR	COORDINATE W/ ARCHITECT	VERIFY SWING W/ DRAWINGS CLEAR GLASS
(103)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	30" x 68" POCKET	PRIME & PAINT	COORDINATE W/ ARCHITECT	HAFELE SOFT CLOSE TRACK HARDWARE
(104)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(105)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(106)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	HAFELE SOFT CLOSE TRACK HARDWARE
(107)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	30" x 68" POCKET	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(201)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(202)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68" POCKET	PRIME & PAINT	COORDINATE W/ ARCHITECT	HAFELE SOFT CLOSE TRACK HARDWARE
(203)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(204)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	50" x 68" BYPASS PAIR	PRIME & PAINT	COORDINATE W/ ARCHITECT	HAFELE SOFT CLOSE TRACK HARDWARE
(205)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	50" x 68" BYPASS PAIR	PRIME & PAINT	COORDINATE W/ ARCHITECT	HAFELE SOFT CLOSE TRACK HARDWARE
(206)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(207)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	24" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(208)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	18" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(209)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	26" x 68"	PRIME & PAINT	COORDINATE W/ ARCHITECT	
(210)	SIMPSON; OR EQ.	8082 PRIMED FLAT PANEL	50" x 68" BYPASS PAIR	PRIME & PAINT	COORDINATE W/ ARCHITECT	HAFELE SOFT CLOSE TRACK HARDWARE

PLUMBING SCHEDULE - COORDINATE ALL PLUMBING FIXTURES WITH PLUMBER TO ENSURE THAT ALL VALVES, ACCESSORIES, ETC. ARE PROVIDED				
FIXTURE	MANUFACTURER	MODEL	FINISH	NOTES
FIRST FLOOR BATH SINK				
FIRST FLOOR BATH FAUCET				
FIRST FLOOR BATH TOILET				
FIRST FLOOR BATH TUB				
FIRST FLOOR BATH TUB/ SHOWER SET				
FIRST FLOOR BATH MEDICINE CABINET				
SECOND FLOOR BATH SINKS				
SECOND FLOOR BATH FAUCETS				
SECOND FLOOR BATH TOILET				
SECOND FLOOR BATH TUB / SHOWER BASE				
SECOND FLOOR BATH TUB/ SHOWER SET				
SECOND FLOOR BATH MEDICINE CABINET				

SOLID SURFACE SCHEDULE					
KEY	MANUFACTURER	MODEL / NAME	LOCATION	NOTES	CONTACT
SS1			KITCHEN		
SS2			FIRST FLOOR BATHROOM		
SS3			SECOND FLOOR BATHROOM		

TILE SCHEDULE: GROUT TBD BY ARCHITECT					
KEY	MANUFACTURER	MODEL / NAME	LOCATION	NOTES	CONTACT
T1			KITCHEN 102 BACKSPLASH		
T2			MUDROOM FLOOR		
T3			FIRST FLOOR BATHROOM FLOOR		
T4			FIRST FLOOR TUB WALLS		
T5			FIRST FLOOR ACCENT		
T6			SECOND FLOOR BATHROOM FLOOR		
T7			SECOND FLOOR TUB WALLS		
T8			SECOND FLOOR ACCENT		

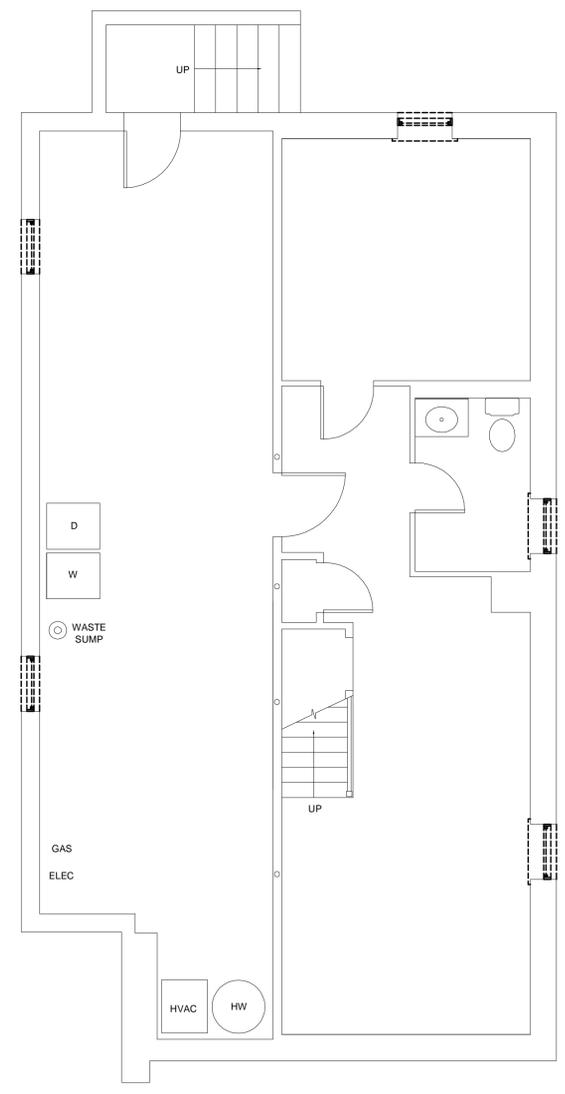
APPLIANCE SCHEDULE - ALL APPLIANCES PROVIDED BY OWNER AND INSTALLED BY GC				
	MANUFACTURER	MODEL / NAME	DIMENSIONS	NOTES
REFRIGERATOR				
RANGE				
VENT HOOD				
DISHWASHER				
MICROWAVE				

LIGHTING SCHEDULE					
KEY	TYPE	MANUFACTURER	MODEL	FINISH / OPTIONS	PROVIDED BY
OA	RECESSED LED FIXTURE	HALO; OR EQUAL			PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
OB	RECESSED WET LOCATION LED FIXTURE	HALO; OR EQUAL			PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
OC	RECESSED EXTERIOR LOCATION LED FIXTURE	HALO; OR EQUAL			PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
⊕D	DECORATIVE SURFACE / SEMI-FLUSH CEILING MOUNT				PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕E	DECORATIVE SEMI-FLUSH / PENDANT CEILING MOUNT				PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕F	DECORATIVE PENDANT / CEILING FAN CEILING MOUNT				PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕G	DECORATIVE WALL SCNCE				PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕H	VANITY WALL SCNCE				PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
I	UNDERCABINET LED LIGHTING				PROVIDED BY OWNER; ASSEMBLED & INSTALLED BY GC
⊕	VENTILATION FAN	PANASONIC			PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
⊕	EXTERIOR FLOOD LIGHT				PROVIDED BY GC; ASSEMBLED & INSTALLED BY GC
S, S3, S4	SWITCH, 3-WAY SWITCH, 4-WAY SWITCH	LUTRON DIVA SERIES; OR EQUAL			PROVIDED BY GC; INSTALLED BY GC
D, D3	DIMMER, DIMMER ON 3-WAY CIRCUIT	LUTRON DIVA SERIES; OR EQUAL			PROVIDED BY GC; INSTALLED BY GC
⊕	DUPLEX OUTLET	LUTRON DIVA SERIES; OR EQUAL			PROVIDED BY GC; INSTALLED BY GC
⊕	GFI DUPLEX OUTLET	LUTRON DIVA SERIES; OR EQUAL			PROVIDED BY GC; INSTALLED BY GC
⊕	EXTERIOR GFI DUPLEX OUTLET	LUTRON DIVA SERIES; OR EQUAL			PROVIDED BY GC; INSTALLED BY GC
⊕	DEDICATED APPLIANCE OUTLET	FOLLOW MANUFACTURER GUIDELINES			PROVIDED BY GC; INSTALLED BY GC
⊕	QUAD OUTLET	LUTRON DIVA SERIES; OR EQUAL			PROVIDED BY GC; INSTALLED BY GC
⊕	CABLE/BROADBAND				PROVIDED BY GC; INSTALLED BY GC
⊕	HARDWIRED, INTERCONNECTED SMOKE DETECTOR PER STATE BUILDING CODE REQUIREMENTS				PROVIDED BY GC; INSTALLED BY GC
⊕	HARDWIRED, INTERCONNECTED CARBON MONOXIDE DETECTOR PER STATE BUILDING CODE REQUIREMENTS				PROVIDED BY GC; INSTALLED BY GC

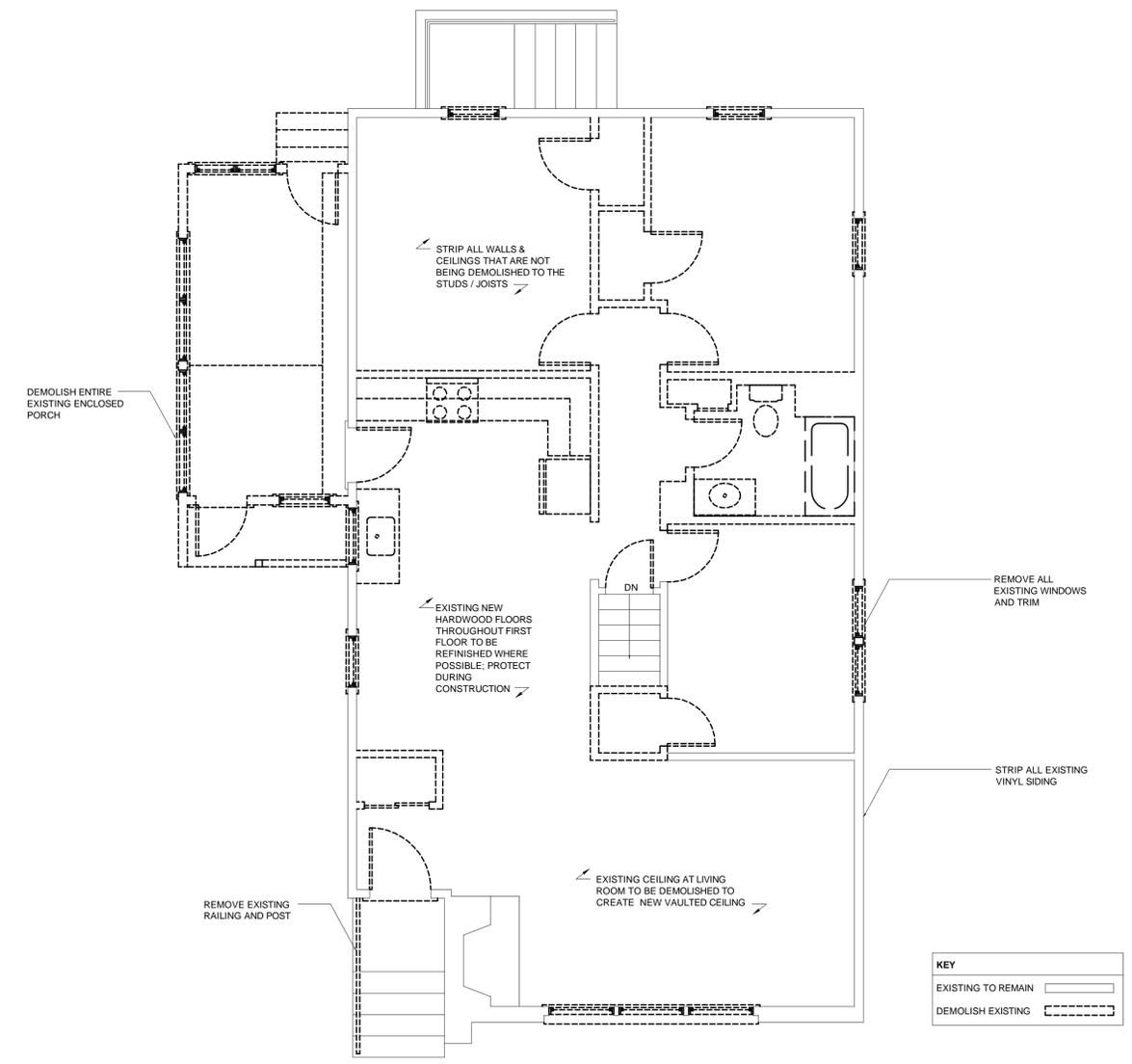
**DRAWING LIST**

- A0 NOTES & SCHEDULES
- A1 EXISTING / DEMOLITION PLANS
- A2 EXISTING / DEMOLITION ELEVATIONS
- A3 PROPOSED FLOOR PLANS
- A4 PROPOSED ROOF PLAN & SECTION
- A5 PROPOSED EXTERIOR ELEVATIONS
- A6 REFLECTED CEILING / ELECTRICAL PLANS
- A7 INTERIOR ELEVATIONS

S1 STRUCTURAL PLANS



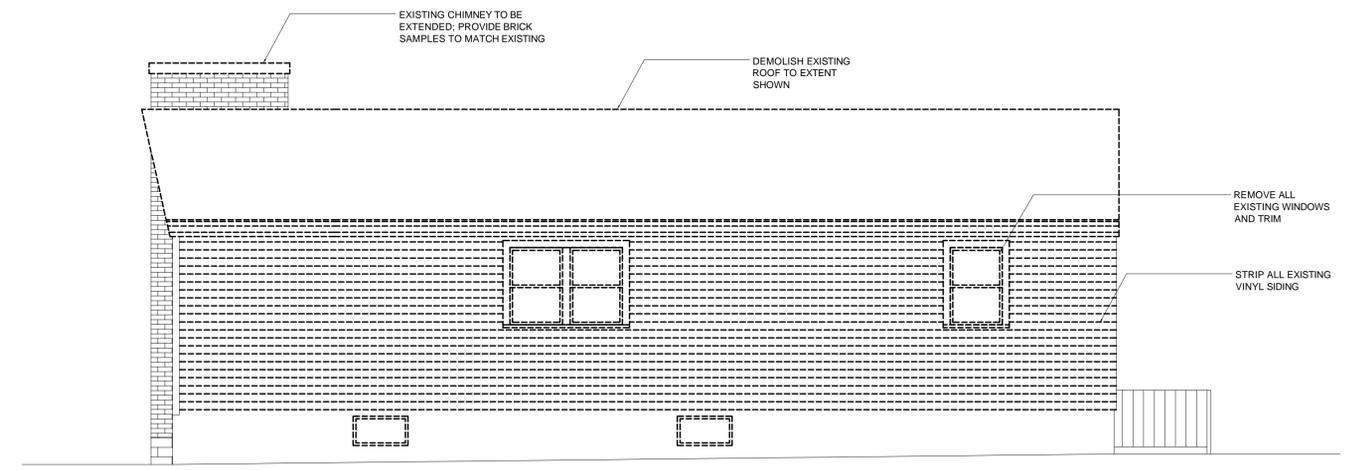
**1** EXISTING / DEMOLITION BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



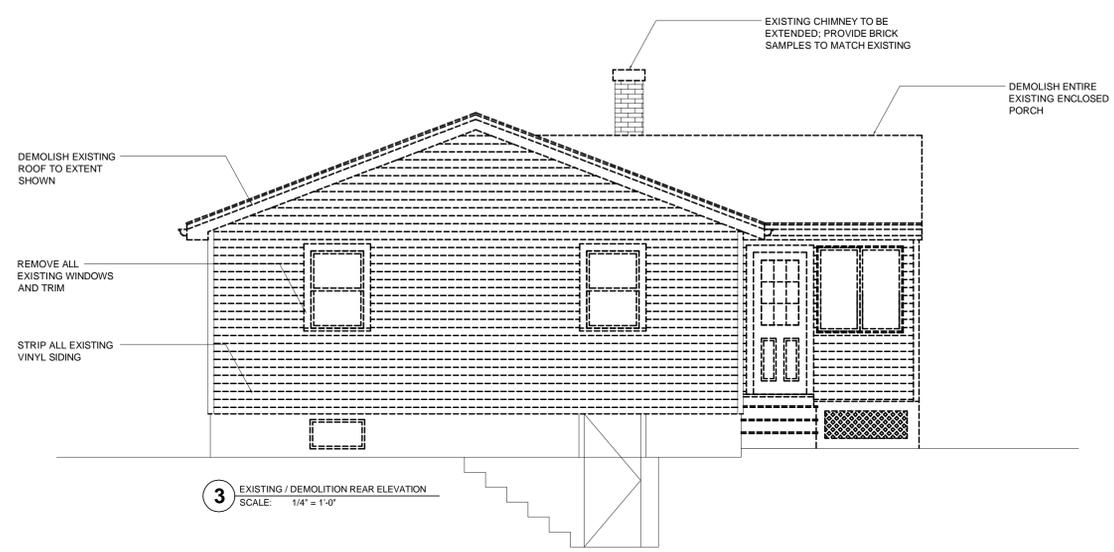
**2** EXISTING / DEMOLITION FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



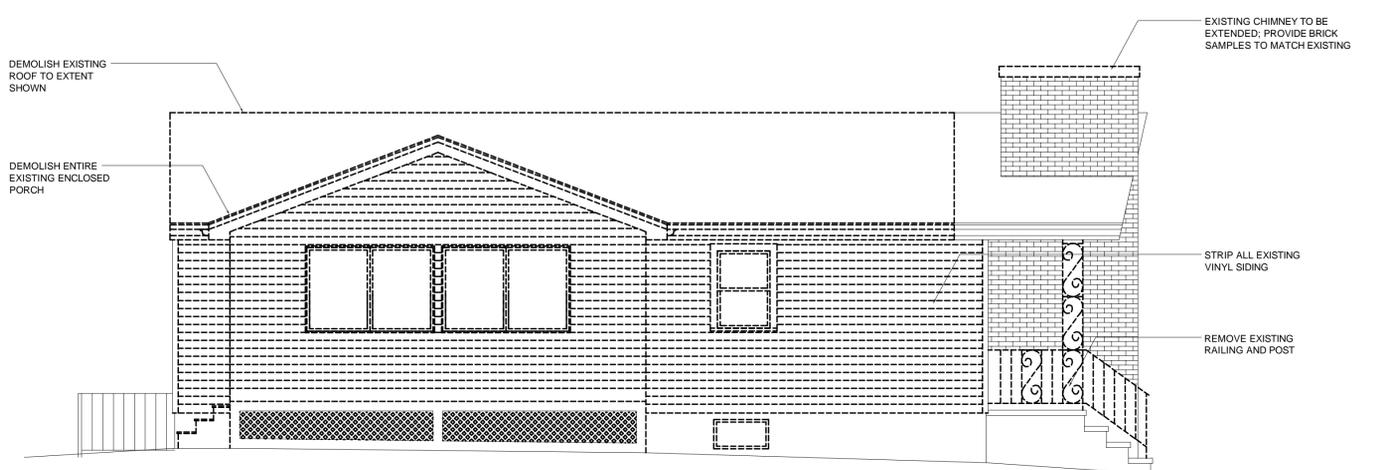
1 EXISTING / DEMOLITION FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING / DEMOLITION SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



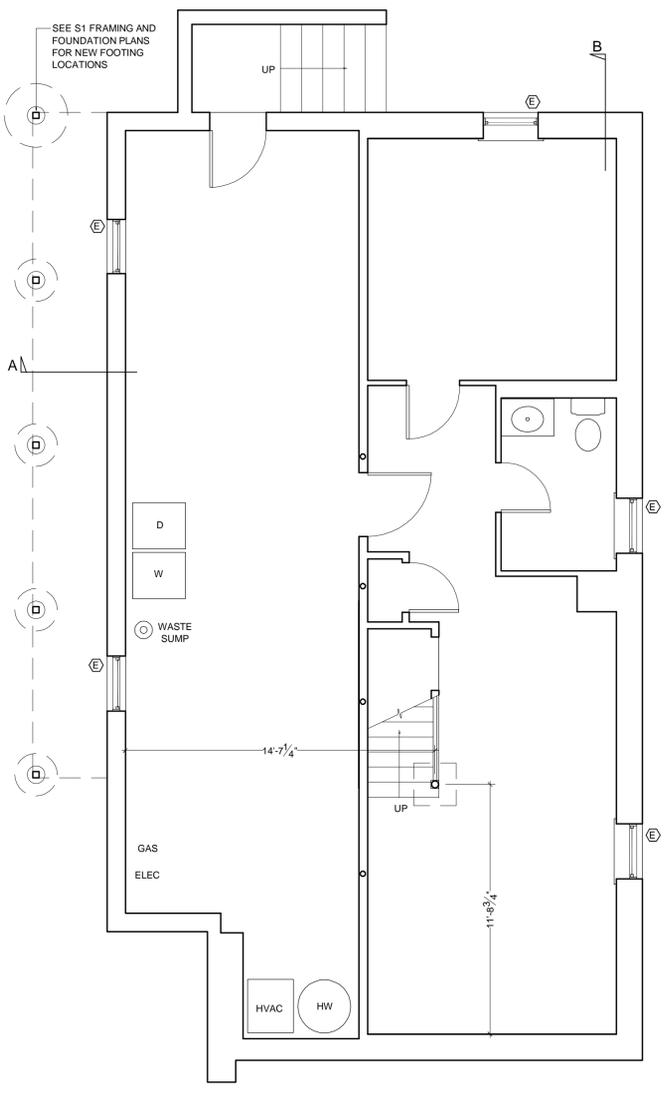
3 EXISTING / DEMOLITION REAR ELEVATION  
SCALE: 1/4" = 1'-0"



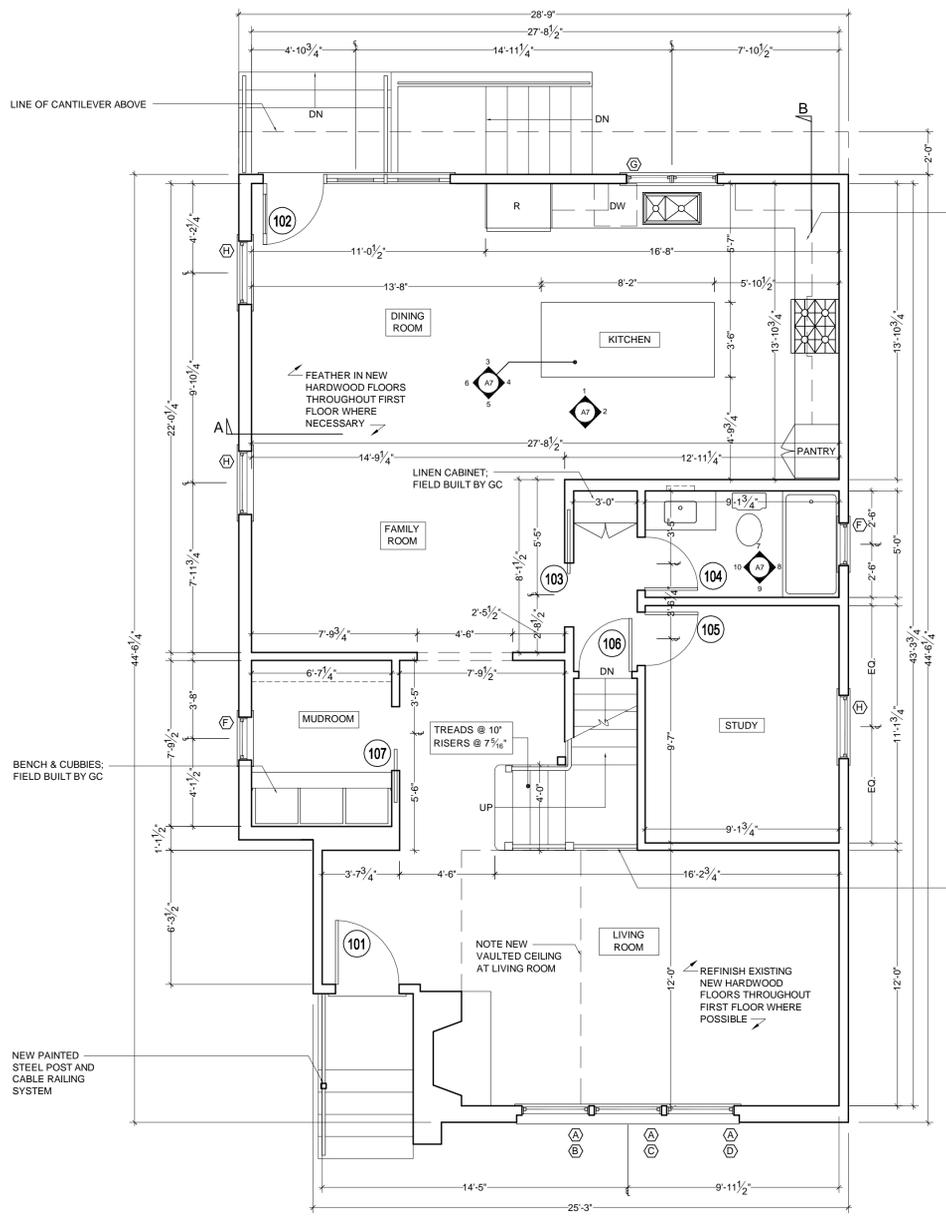
4 EXISTING / DEMOLITION SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

**KEY**

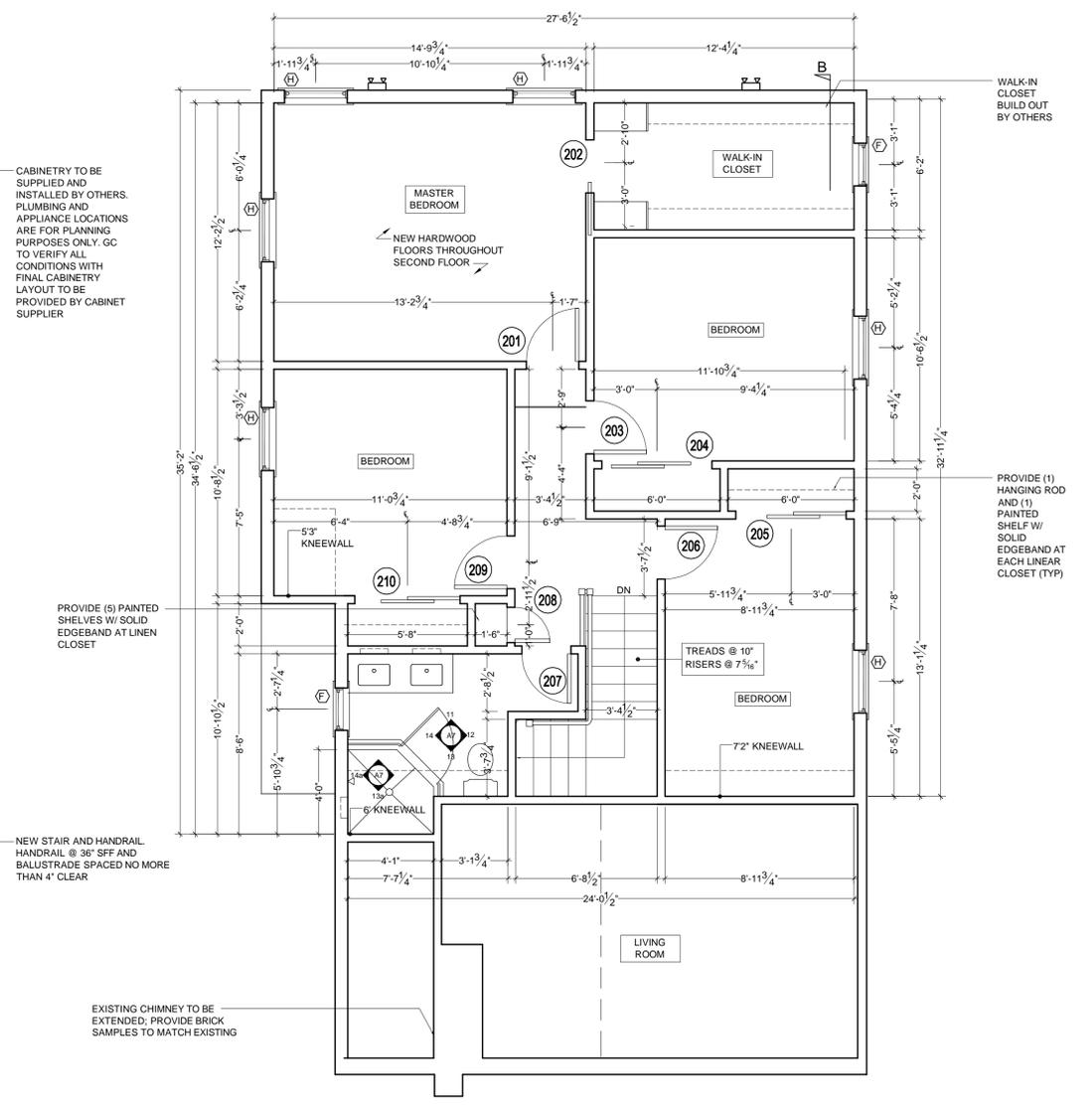
EXISTING TO REMAIN	
DEMOLISH EXISTING	



1 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

CABINETS TO BE SUPPLIED AND INSTALLED BY OTHERS. PLUMBING AND APPLIANCE LOCATIONS ARE FOR PLANNING PURPOSES ONLY. GC TO VERIFY ALL CONDITIONS WITH FINAL CABINETS LAYOUT TO BE PROVIDED BY CABINET SUPPLIER

PROVIDE (5) PAINTED SHELVES W/ SOLID EDGE BAND AT LINEN CLOSET

NEW STAIR AND HANDRAIL HANDRAIL @ 36" SFF AND BALUSTRADE SPACED NO MORE THAN 4" CLEAR

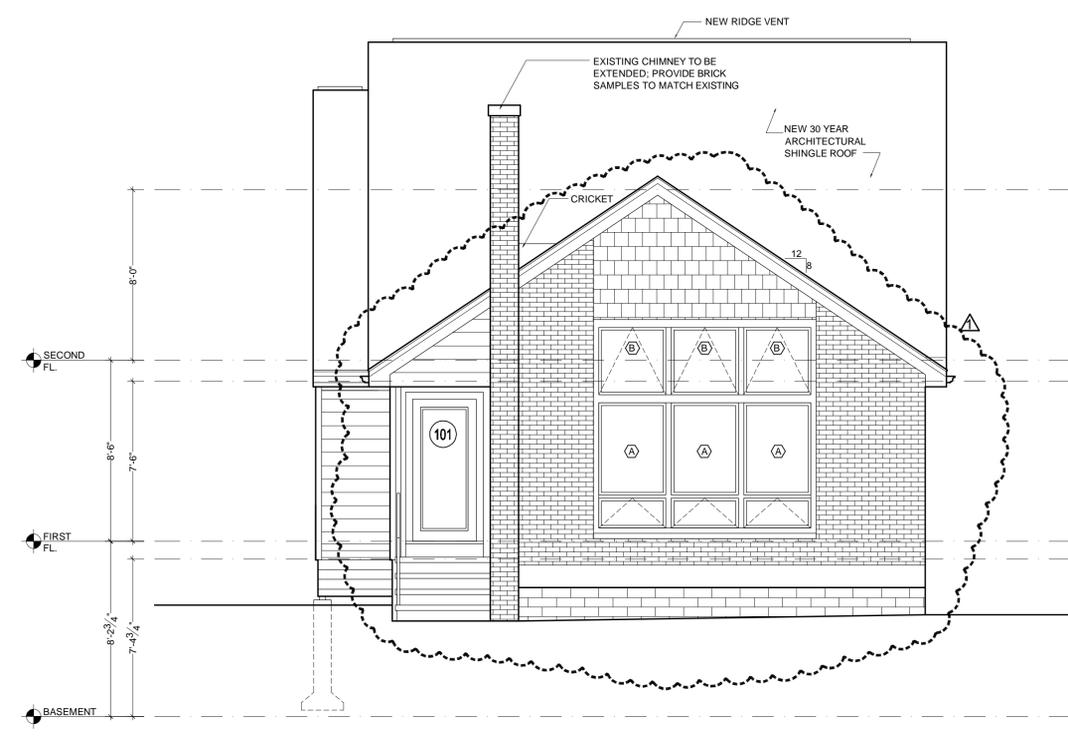
EXISTING CHIMNEY TO BE EXTENDED, PROVIDE BRICK SAMPLES TO MATCH EXISTING

WALK-IN CLOSET BUILD OUT BY OTHERS

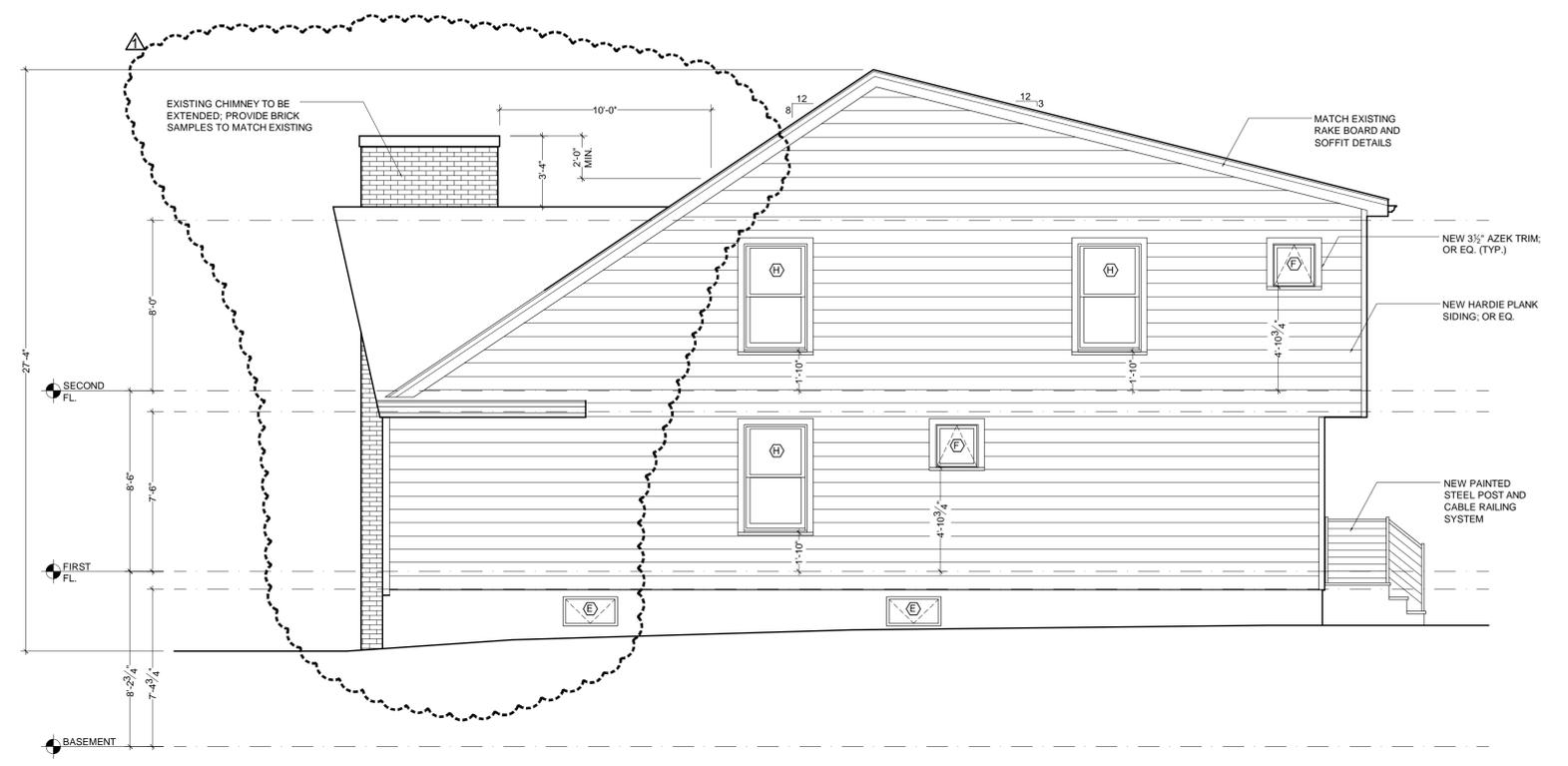
PROVIDE (1) HANGING ROD AND (1) PAINTED SHELF W/ SOLID EDGE BAND AT EACH LINEN CLOSET (TYP)

REVISIONS	DATE
1	21 AUGUST 21, 2018
2	
3	
DATE	APRIL 27, 2018
SCALE	1/4" = 1'-0"
DRAWN BY	DA
PROJ. CODE	CLIFTONDALE

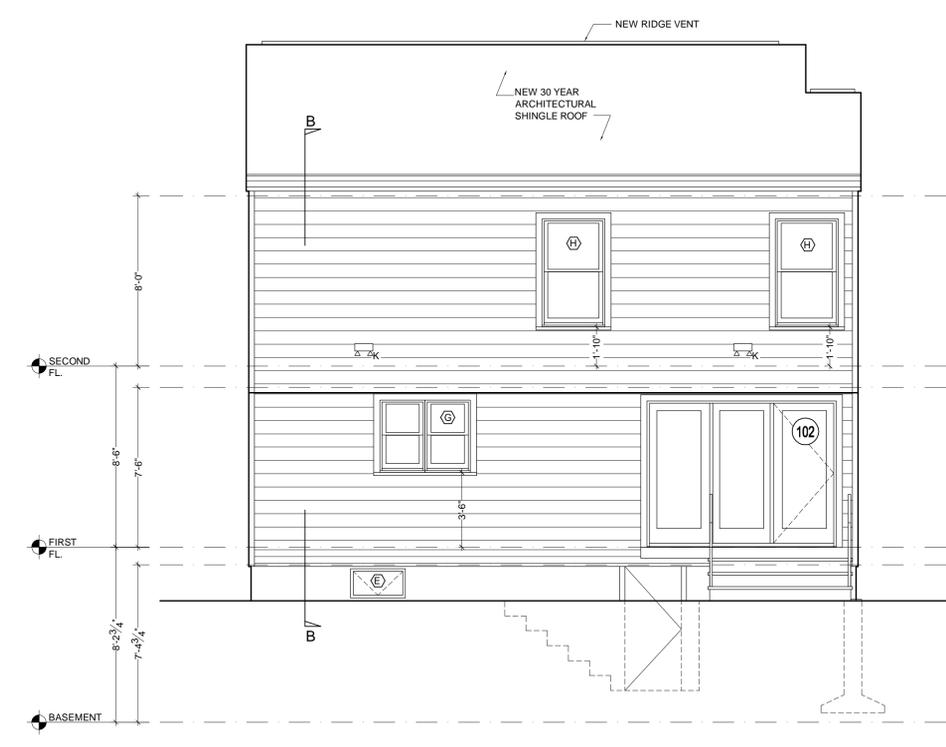




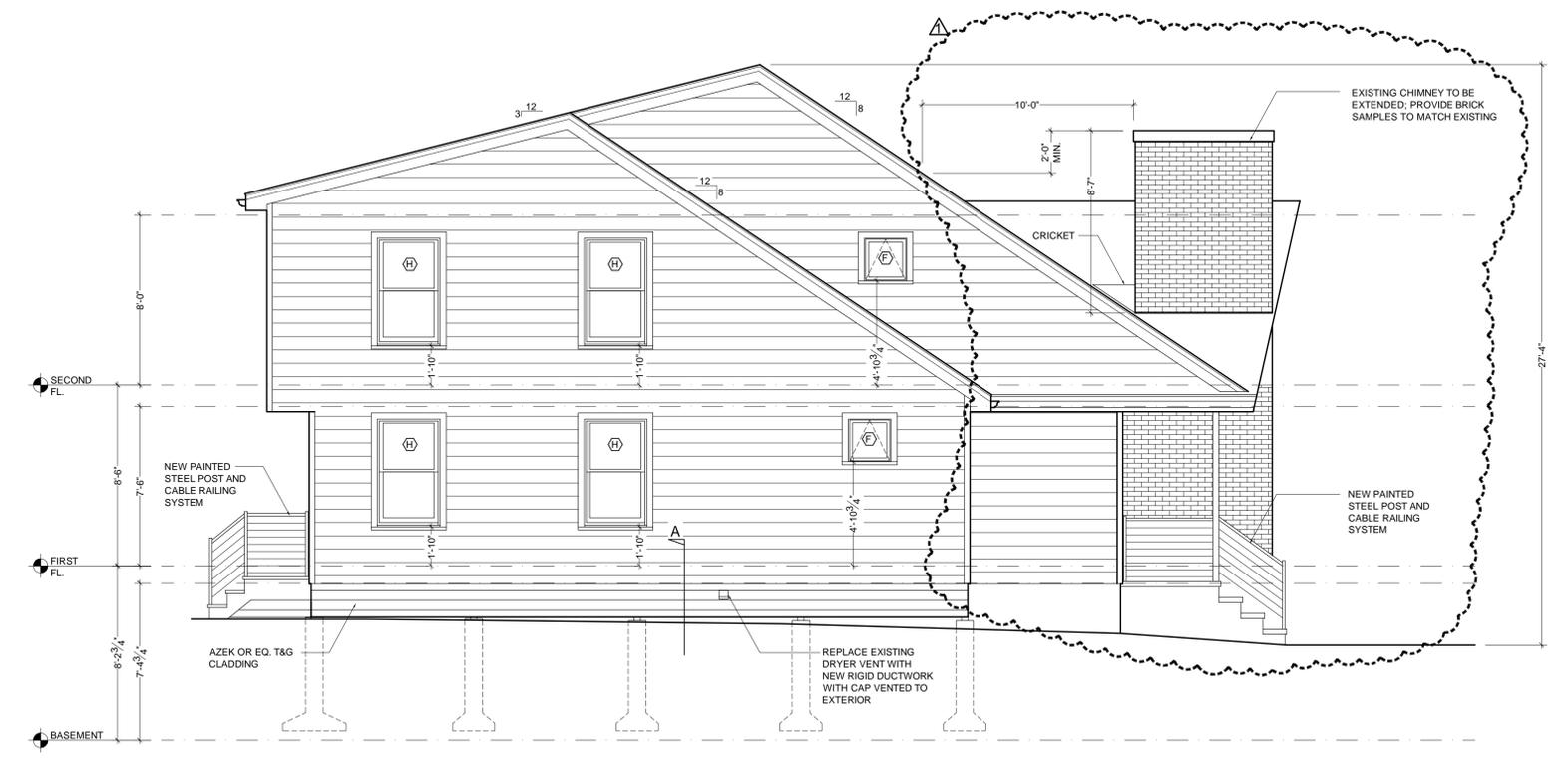
1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

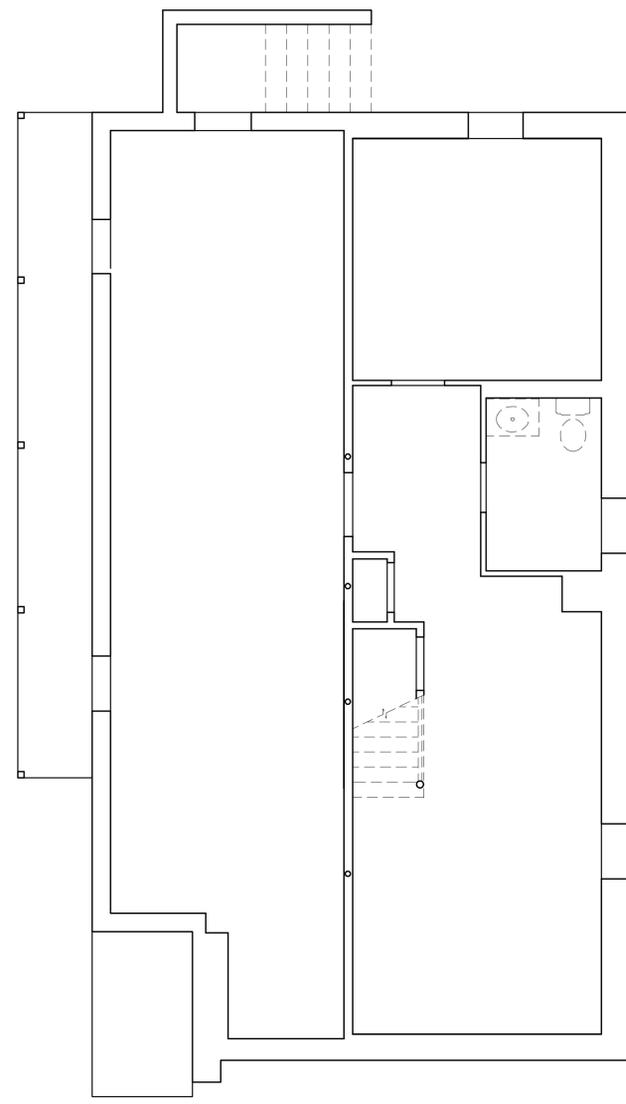


4 SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

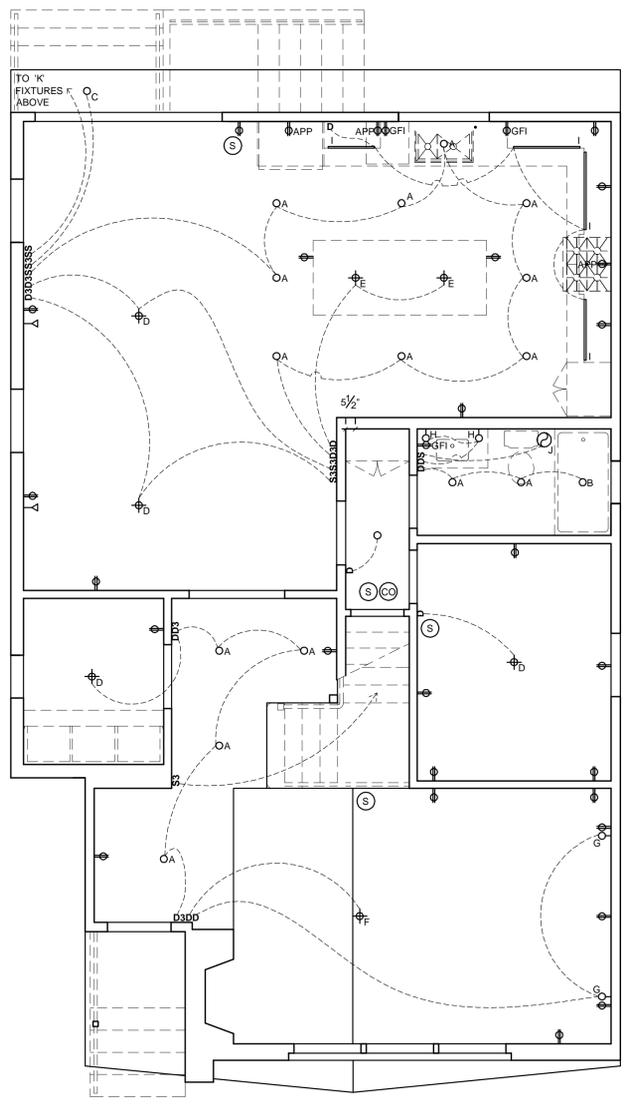
REVISIONS
1 AUGUST 21, 2018
2
3

DATE: APRIL 27, 2018  
SCALE: 1/4" = 1'-0"  
DRAWN BY: [Name]  
PROJ. CODE: CLIFTONDALE

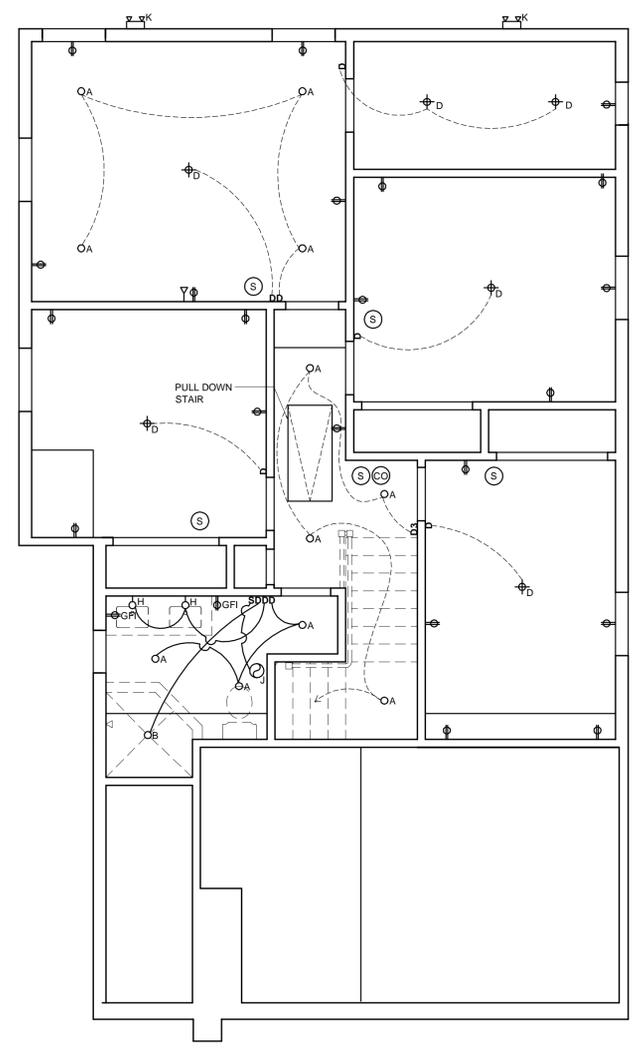
EXTERIOR ELEVATIONS



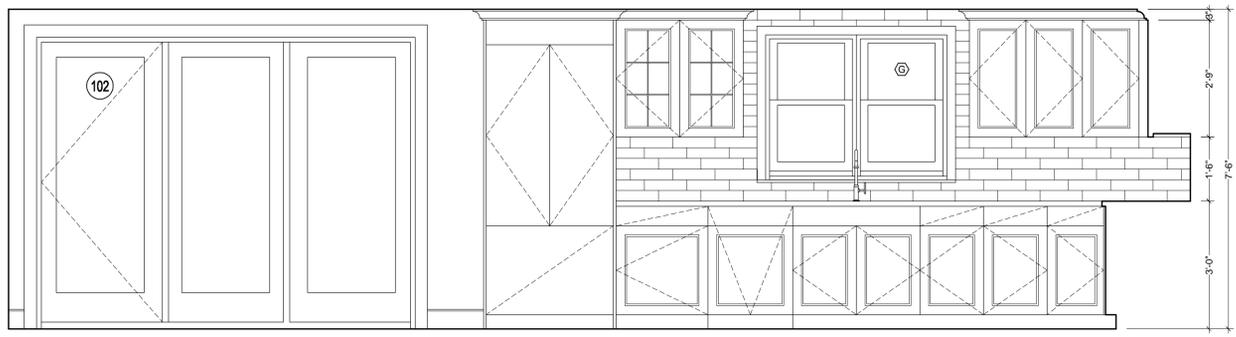
1 BASEMENT FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



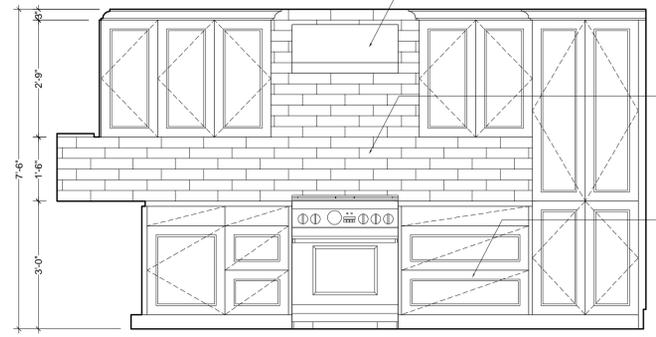
2 FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

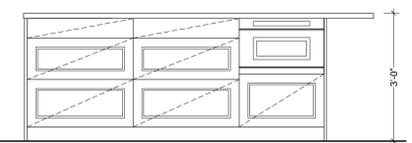


1 KITCHEN ELEVATION TOWARDS SINK  
SCALE: 1/2" = 1'-0"

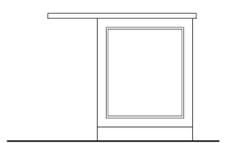


2 KITCHEN ELEVATION TOWARDS RANGE  
SCALE: 1/2" = 1'-0"

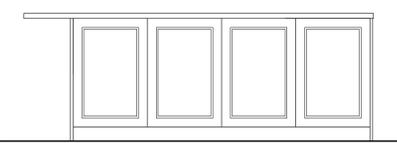
VENT HOOD TO EXTERIOR  
PROVIDE NONCOMBUSTIBLE CEMENTITIOUS BACKERBOARD SUBSTRATE BEHIND RANGE FINISH MATERIAL  
COORDINATE FINAL CABINETRY LAYOUT WITH CABINET SUPPLIER



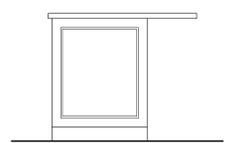
3 ISLAND ELEVATION  
SCALE: 1/2" = 1'-0"



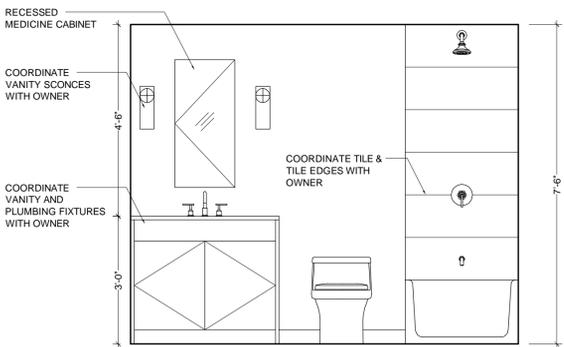
4 ISLAND ELEVATION  
SCALE: 1/2" = 1'-0"



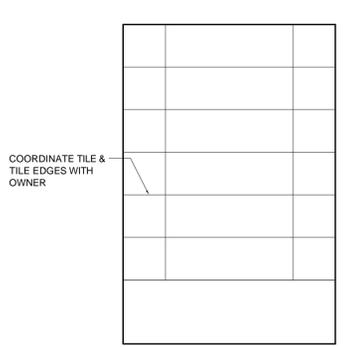
5 ISLAND ELEVATION  
SCALE: 1/2" = 1'-0"



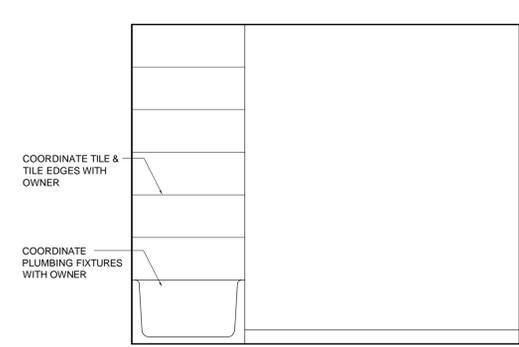
6 ISLAND ELEVATION  
SCALE: 1/2" = 1'-0"



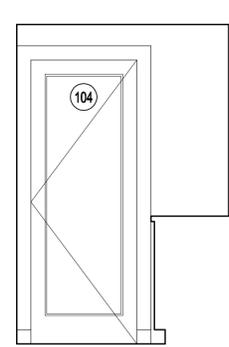
7 FIRST FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



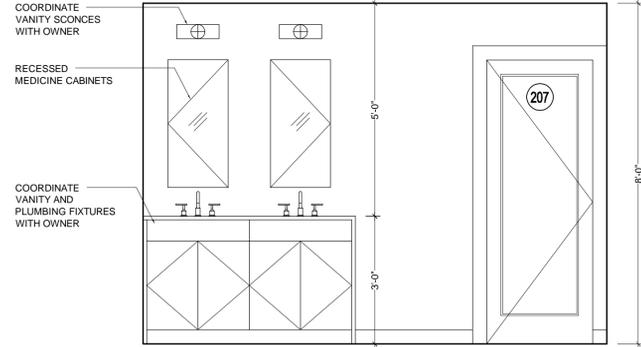
8 FIRST FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



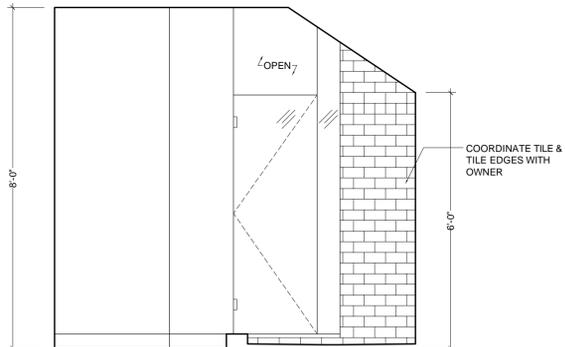
9 FIRST FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



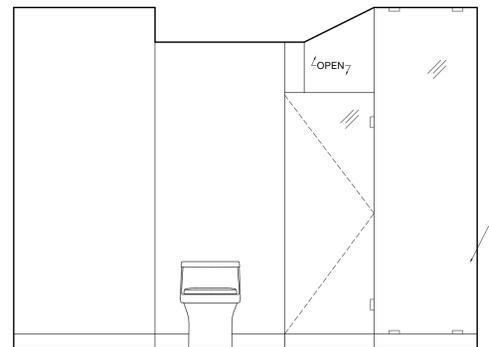
10 FIRST FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



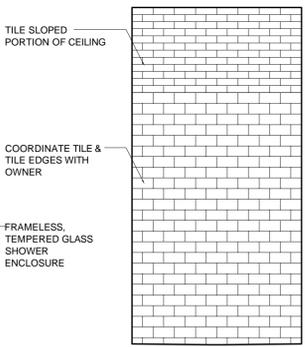
11 SECOND FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



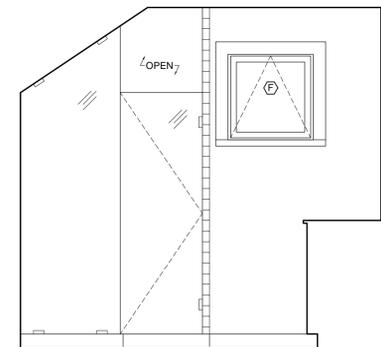
12 SECOND FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



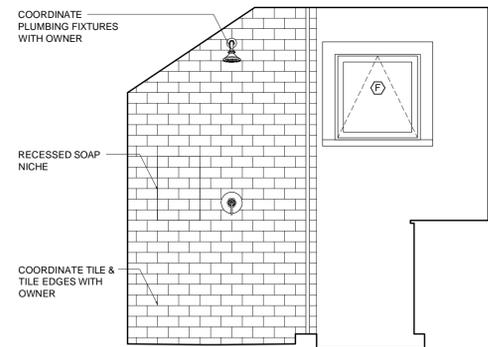
13 SECOND FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



13a SECOND FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



14 SECOND FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"



14a SECOND FLOOR BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"