

STANDING SEAM METAL ROOFING,
OWNERS TO CHOOSE TYPE AND STYLE.

AA
3.1

BB
3.2

CC
3.3

EE
3.5

DD
3.4

2 PITCH

2 PITCH

2 PITCH

STANDING SEAM METAL ROOFING,
OWNERS TO CHOOSE TYPE AND STYLE.

STANDING SEAM METAL ROOFING,
OWNERS TO CHOOSE TYPE AND STYLE.

APPROXIMATE PROPERTY LINE, TYP.

AA
3.1

BB
3.2

STANDING SEAM METAL ROOFING,
OWNERS TO CHOOSE TYPE AND STYLE.

CURBING, TYP.

APPROXIMATE BUILDING
SETBACK LINE, TYP.

METAL GUTTERS AND FLASHING SYSTEM, TYP.

VISITOR PARKING, TYP.

BRICK PAVED SURFACE, TYP.

STONE VENEER, TYP.

CURBING, TYP.

CC
3.3

EE
3.5

DD
3.4

BRICK PAVED SURFACE, TYP.

UTILITY POLE

BITUMINOUS CONCRETE APRON, TYP.

PARKSIDE DRIVE

NOTES:

1. SEE SHEET a 2.0 FOR GENERAL NOTES, LEGEND AND WINDOW TYPES.
2. ALL DIMENSIONS TO STUD FACE UNLESS OTHERWISE NOTED.
3. SEE CIVIL SITE PLAN C2 FOR PROPOSED BUILDING HEIGHT CALCULATIONS, SITE DRAINAGE DESIGN, UTILITY LAYOUT AND SITE GRADING.



DESIGN BY
IGNIS Design & Construction
719 Wellesley Street
Weston, MA 02493

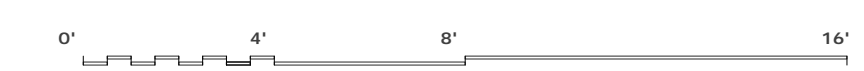
CLIENT
Joshua and Kerri Marmol
6 Parkside Drive
Jamaica Plain, MA 02131

PROJECT
The Marmol Residence
6 Parkside Drive, Jamaica Plain, MA
PROJECT NO.
2018-001

SHEET TITLE
Site Plan
Scale: 1/4" = 1'-0"
ISSUE
Permit Set - July 25, 2018



1.1



GENERAL NOTES:

1. ALL WORK SHOWN ON THE DRAWINGS, AND ALL THE WORK NECESSARY TO COMPLETELY FINISH THE WORK DESCRIBED OR SHOWN, IS TO BE EXECUTED IN A WORKMAN LIKE MANNER AND TO BE TO THE SATISFACTION OF THE OWNER.
2. THE DESIGNER/ENGINEER SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ACTS OF OMISSION OF THE CONTRACTOR, SUB CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY WORK, OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DIMENSIONS:

1. ALL DIMENSIONS, CALCULATIONS OR OTHER DATA PERTAINING TO THE WORK OF ALL TRADES SHALL BE CAREFULLY CHECKED BEFORE MANUFACTURE, FABRICATION OR INSTALLATION OF ANY PORTION OF THE WORK BEFORE IT IS COMMENCED. ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE OWNER/DISIGNER FOR DECISION
2. ALL WORK SHOWN ON THE DRAWINGS IS INTENDED TO BE CORRECT ACCORDING TO THE SCALE AT WHICH THE DRAWINGS ARE MADE, BUT FIGURED DIMENSIONS AND DETAILED DRAWINGS ARE IN ALL CASES TO BE FOLLOWED.
3. THE CONTRACTOR IS TO GIVE HIS PERSONAL SUPERINTENDENCE AND DIRECTION TO THE WORK AND IS TO FURNISH ALL TRANSPORTATION, LABOR, MATERIALS, APPARATUS, SCAFFOLDS, AND ALL UTENSILS NEEDED FOR THE PERFORMANCE OF THE WORK TO THE BEST MANNER ACCORDING TO THE TRUE INTENT AND MEANING OF THESE PLANS. THE CONTRACTOR SHALL GIVE THE PROPER AUTHORITIES ALL REQUISITE NOTICES RELATING TO THE WORK OF HIS CHARGE, OBTAIN BUILDING PERMITS, AND ALL OFFICIAL LICENSES, CARRY SATISFACTORY COMPENSATIONS, PUBLIC LIABILITY, SOCIAL SECURITY INSURANCE, AND PROPERTY DAMAGE, AND BE LIABLE FOR ANY ACCIDENTS FROM EITHER CONTRACTS HE SUB CONTRACTS OR EXTRA WORK DONE UNDER HIS CHARGE. THE CONTRACTOR IS TO DO ALL THE WORK NECESSARY FOR THE PERFECT COMPLETION OF THIS WORK, RECTIFYING ANY FAILURES RESULTING FROM IT AND MAINTAIN SECURE, AND FIRM THE WHOLE OF IT.
4. THE CONTRACTOR SHALL REMOVE AND/OR REDIRECT ANY ELECTRICAL WIRING, PIPING, ETC. IN ORDER TO ALLOW FOR NEW CONSTRUCTION. PATCHING OF OPENINGS, ETC. SHALL MATCH AND BLEND WITH ADJACENT AREAS.
5. THE CONTRACTOR SHALL REMOVE ALL DIRT AND RUBBISH RESULTING FROM HIS WORK AND SHALL MAKE THE PREMISES NEAT AND TIDY ON A DAILY BASIS, DELIVERING THE BUILDING AT THE COMPLETION OF EACH DAY'S WORK NEAT AND CLEAN AND FIT FOR PARTIAL OCCUPANCY.
6. THE CONTRACTOR SHALL EXAMINE DRAWINGS AND CONDITIONS THOROUGHLY BEFORE SUBMITTING HIS PRICE. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR MATERIAL AND WORKMANSHIP FROM DAMAGE AND FIRE, THEFT, ETC. KEEPING THE AREAS LOCKED AT OFF HOURS.

EXTRAS:

1. CHARGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE HONORED UNLESS THE WORK AND THE AMOUNT ARE AGREED TO IN WRITING BY OWNER WITH SIGNATURE BEFORE THE WORK IS DONE.

BUILDING LAWS:

1. THE CONTRACTOR SHALL FULFILL ALL THE REQUIREMENTS OF THE STATE AND LOCAL BUILDING LAWS, UNDER THE DIRECTION OF THE BUILDING INSPECTOR, AND HE SHALL OBTAIN THE BUILDING AND OCCUPANCY PERMITS.

MATERIALS:

1. THE MATERIALS ENTERING INTO THE WORK IN THIS BUILDING ON ALL SYSTEMS SHALL BE AS NOTED, AND ALL MATERIALS WHERE NOT SPECIFIED SHALL BE APPROVED BY THE DESIGNER OR OWNERS, PRIOR TO INSTALLATION.

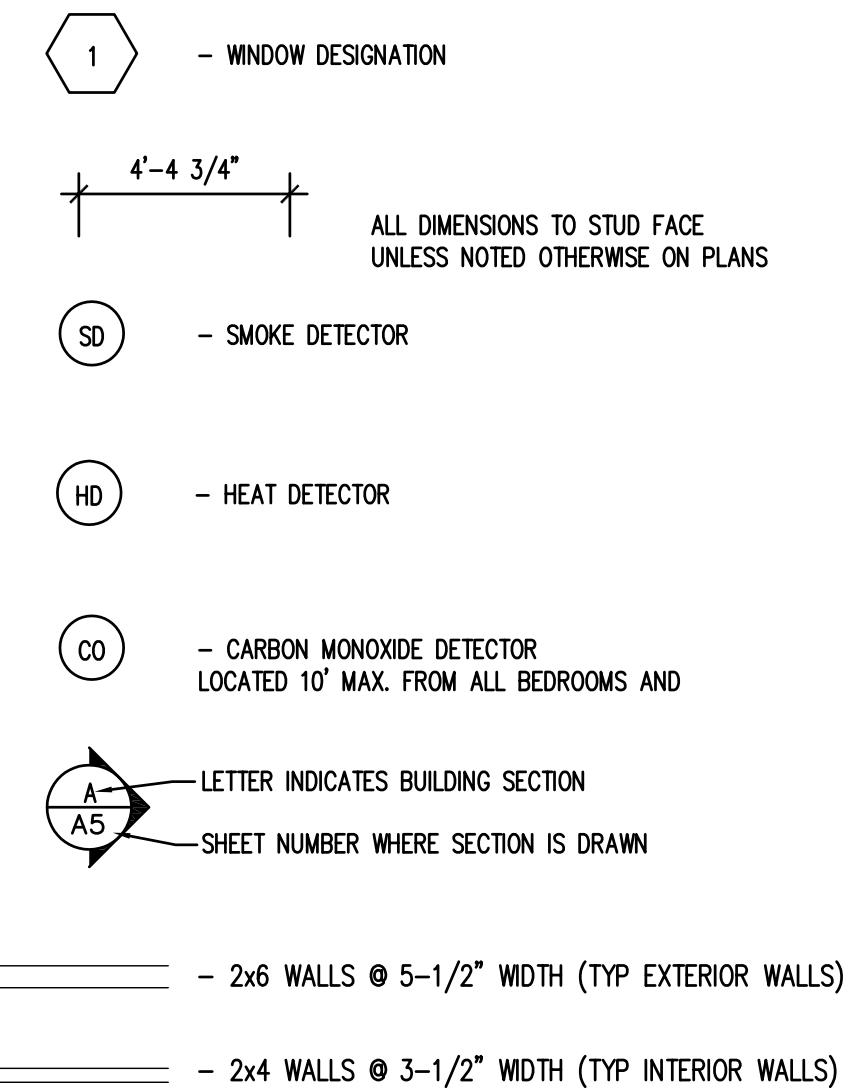
GUARANTEE:

1. THE CONTRACTOR SHALL GUARANTEE THE MATERIALS AND WORKMANSHIP AGAINST ALL REASONABLE DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE COMPLETION OF THE BUILDING, AND HE SHALL REMOVE AND REPLACE OR SATISFACTORILY REPAIR ANY SUCH DEFECTS THAT DEVELOP DURING THAT PERIOD AT NO EXPENSE TO THE OWNER. SHOULD ANY DISPUTE ARISE AS TO THE QUALITY OF WORKMANSHIP OR MATERIAL, THE DECISION SHALL REST WITH THE OWNER, AND SHALL BE BASED ON THE REQUIREMENTS THAT ALL WORK DONE AND/OR MATERIALS FURNISHED SHALL BE FIRST CLASS IN EVERY RESPECT AND WHAT IS USUAL AND CUSTOMARY IN BUILDING BUILDINGS OF THIS NATURE.
2. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
3. ALL WORK IS NEW UNLESS OTHERWISE NOTED.

EXAMINATION OF THE SITE AND DOCUMENTS :

1. THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT.
2. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.

LEGEND



CONSTRUCTION NOTES:

- SOIL BEARING:**
1. ALL FOOTINGS, IF REQUIRED, SHALL BE CARRIED DOWN TO A NATURAL, COMPETENT, UNDISTURBED, GRANULAR MATERIAL HAVING A MINIMUM SAFE BEARING CAPACITY OF ONE TON PER SQUARE FOOT.
 2. BOTTOM OF FOOTING ELEVATION NOTED ON THE DRAWINGS ARE MINIMUM DEPTHS AND ARE NOT TO BE CONTRUED AS LIMITING IN ANY WAY THE AMOUNT OF EXCAVATION NECESSARY TO REACH A SUFFICIENT STRATUM. NO FOOTING SHALL BE PLACED IN WATER OR FROZEN GROUND. IN GENERAL, ALL EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF 4'-0" BELOW FINISHED, ADJACENT EXTERIOR GRADE.

CONCRETE:

1. ALL CONCRETE WORK SHALL COMPLY WITH THE STANDARD "SPECIFICATION FOR STRUCTURAL CONCRETE BUILDINGS" ACI 301 AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI LATEST EDITIONS.
2. ALL CONCRETE SHALL HAVE A 3,000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH UNLESS OTHERWISE NOTED ON THE PLANS.
3. PROVIDE 6% PLUS OR MINUS ENTRAINED AIR IN ALL CONCRETE EXPOSED TO EARTH OR WEATHER.
4. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, LAP BARS 36 DIAMETERS AT SPLICES.

ROUGH CARPENTRY - BUILDING:

1. LUMBER SHALL CONFORM TO SPECIES & GRADING AS FOLLOWS, IN ACCORDANCE WITH NATIONAL LUMBER MANUFACTURERS ASSOCIATION STANDARDS FOR ALL LUMBER.
- A. BEAMS, JOISTS, HEADERS: USE DOUGLAS FIR-LARCH #1, HEM-FIR #1, SOUTHERN PINE #2, SPRUCE-PINE-FIR SS, PRE-ENGINEERED LVL.
- B. BEARING WALLS, STUDS, BRIDGING AND BLOCKING: USE MINIMUM NO. 2 STANDARD OR STUD GRADE LUMBER.
- C. MOISTURE CONTENT OF STRUCTURAL AND ROUGH TIMBER SHALL NOT EXCEED 19% WHEN DELIVERED TO THE SITE.
2. ALL BEARING WALLS TO BE PROVIDED WITH DOUBLE TOP PLATES. ANCHOR BOTTOM PLATE WITH ANCHORS @ 2'-0" O.C. PROVIDE DOUBLE JOIST HEADERS AT FLOOR OPENINGS. PROVIDE DOUBLE STUDS AT JAMBS OF ALL WALL OPENINGS. SUB FLOOR TO BE 3/4" T & G STRUCTURAL PLYWOOD, GLUED AND SCREWED.

DESIGN LOADS:

1. FLOORS - FIRST FLOOR - 40 P.S.F. LIVE LOAD, 15 P.S.F. DEAD LOAD
SECOND FLOOR - 30 P.S.F. LIVE LOAD (SLEEPING AREAS) 40 P.S.F. LIVE LOAD (ALL OTHERS), 15 P.S.F. DEAD LOAD
ATTIC FLOOR - 30 P.S.F. LIVE LOAD, 10 P.S.F. DEAD LOAD
2. ROOF - 40 P.S.F. GROUND SNOW LOAD, 15 P.S.F. DEAD LOAD
3. DECKS - 40 P.S.F. LIVE LOAD, 10 P.S.F. DEAD LOAD

PRE-ENGINEERED WOOD JOISTS:

1. PRE-ENGINEERED WOOD JOISTS SHALL BE COASTAL PRO CPl-90 AS MANUFACTURED BY COASTAL FOREST PRODUCTS, INC. OR EQUAL. PROVIDE PRE-ENGINEERED 1-1/2" NORBORD RIM BOARD OR EQUAL AT PERIMETER OF FLOOR FRAMING. ALL FLUSH FRAMING INTO MEMBERS SHALL BE PER TOP MOUNT METAL TIMBER HANGERS.
2. DO NOT NOTCH OR DRILL MEMBERS UNLESS DIRECTED BY ENGINEER OR PER MANUFACTURER'S SPECIFICATIONS.

LAMINATED VENEER LUMBER, LVL:

1. LVL BEAMS SHALL BE CP-LAM 3100 Fb 2.0E AS MANUFACTURED BY COASTAL FOREST PRODUCTS, INC. OR EQUAL.
2. REFER TO MANUFACTURERS GUIDES FOR ALL CONNECTIONS AND MULTIPLE MEMBER CONNECTIONS.
3. PROVIDE 3" MINIMUM SUPPORT AT ENDS AND 6" AT INTERIOR BEARING POINTS CONTINUOUS ACROSS WIDTH OF SINGLE AND/OR MULTI-PLY MEMBERS.
4. 2 PLY 1-3/4" WIDE MEMBERS SHALL BE FASTENED TOGETHER WITH 3 ROWS OF 16D NAILS SPACED 8" O.C. USE 12D NAILS FOR 1-1/2" WIDE LVLS.
5. 3 PLY 1-3/4" WIDE MEMBERS SHALL HAVE TWO MEMBERS FASTENED AS 2 PLY. 3RD PLY TO FASTEN WITH 3 ROWS OF 16D NAILS SPACED 8" O.C. USE 12D NAILS FOR 1-1/2" WIDE LVLS.
6. ALL FLUSH FRAMING INTO LVLS SHALL BE PER TOP MOUNT METAL TIMBER HANGERS.
7. DO NOT NOTCH OR DRILL LVL MEMBERS UNLESS DIRECTED BY THE ENGINEER OR PER MANUFACTURER'S SPECIFICATIONS.

FASTENERS:

1. ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT DIPPED GALVANIZED METAL SHAPES BY SIMPSON-STRONG-TIE, INC. AND BE ATTACHED BY THE CONTRACTOR AS PER SIMPSON-STRONG-TIE SPECIFICATIONS.
2. PROVIDE STANDARD CONNECTORS FOR THE FOLLOWING - POST /BEAM TO PIER / FOUNDATION
POST TO BEAM
BEAM TO BEAM
JOIST TO BEAM, HEADERS AND / OR LEDGER
3. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD PRODUCTS SHALL BE CORROSION RESISTANT PER WOOD MANUFACTURER'S RECOMMENDATIONS.

ELECTRICAL / MECHANICAL NOTES:

1. ALL DUPLEX OUTLETS PER CODE. SWITCH MOST REMOTE OUTLET AT BEDROOMS.
2. ALL BATH ROOMS TO RECEIVE GFI DUPLEX OUTLETS AT LAVATORIES.
3. SMOKE AND CARBON MONOXIDE DETECTION DEVICES SHALL BE INSTALLED PER CODE AND MANUFACTURERS RECOMMENDATIONS.
4. PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGN / BUILD AND ADHERE TO ALL STATE AND LOCAL BUILDING CODES.

DRAWING INDEX:

- a 1.0 COVER SHEET
- a 1.1 SITE PLAN
- a 2.0 GENERAL NOTES AND LEGEND
- a 2.1 SUB-BASEMENT PLAN
- a 2.2 BASEMENT PLAN
- a 2.3 FIRST FLOOR PLAN
- a 2.4 SECOND FLOOR PLAN
- a 2.5 ROOF PLAN
- a 3.1 SECTION AA
- a 3.2 SECTION BB
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- a 3.4 SECTION DD
- a 3.5 SECTION EE
- a 4.1 NORTH ELEVATION
- a 4.2 SOUTH ELEVATION
- a 4.3 WEST ELEVATION
- a 4.4 EAST ELEVATION
- s 1.1 STRUCTURAL FOUNDATION WALL SECTIONS

Schedule of Areas		
Second Floor Level		1,053 Square Feet
First Floor Level		1,745 Square Feet
Basement Level		1,727 Square Feet
Garage Level		916 Square Feet
TOTAL	Finished / Usable Space	3,399 Square Feet
	Unfin. Basement Mech., Garage	2,042 Square Feet
	5,441 Square Feet	



DESIGN BY
IGNIS Design & Construction
719 Wellesley Street
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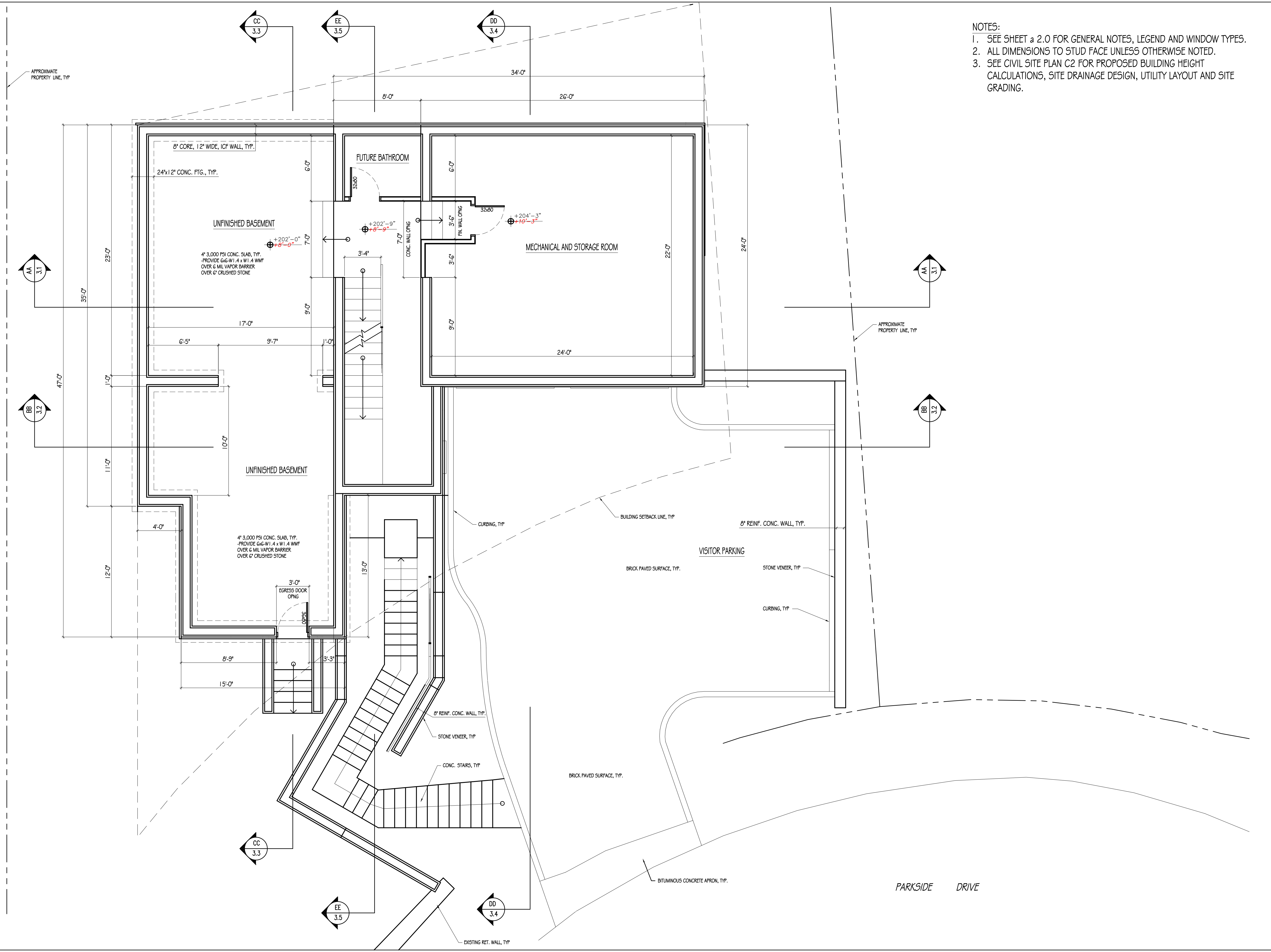
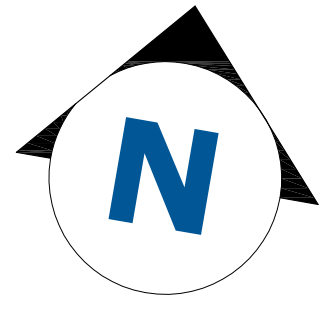
PROJECT
The Marmol Residence
6 Parkside Drive, Jamaica Plain, MA
PROJECT NO.
2018-001

SHEET TITLE
General Notes and Legend
Scale: 1/4" = 1'-0"
ISSUE
Permit Set - July 25, 2018



2.0





- NOTES:
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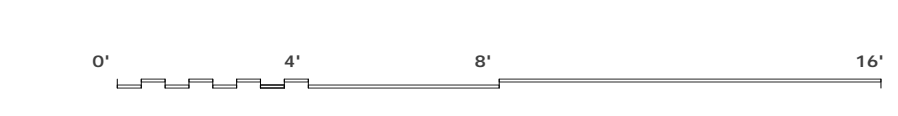
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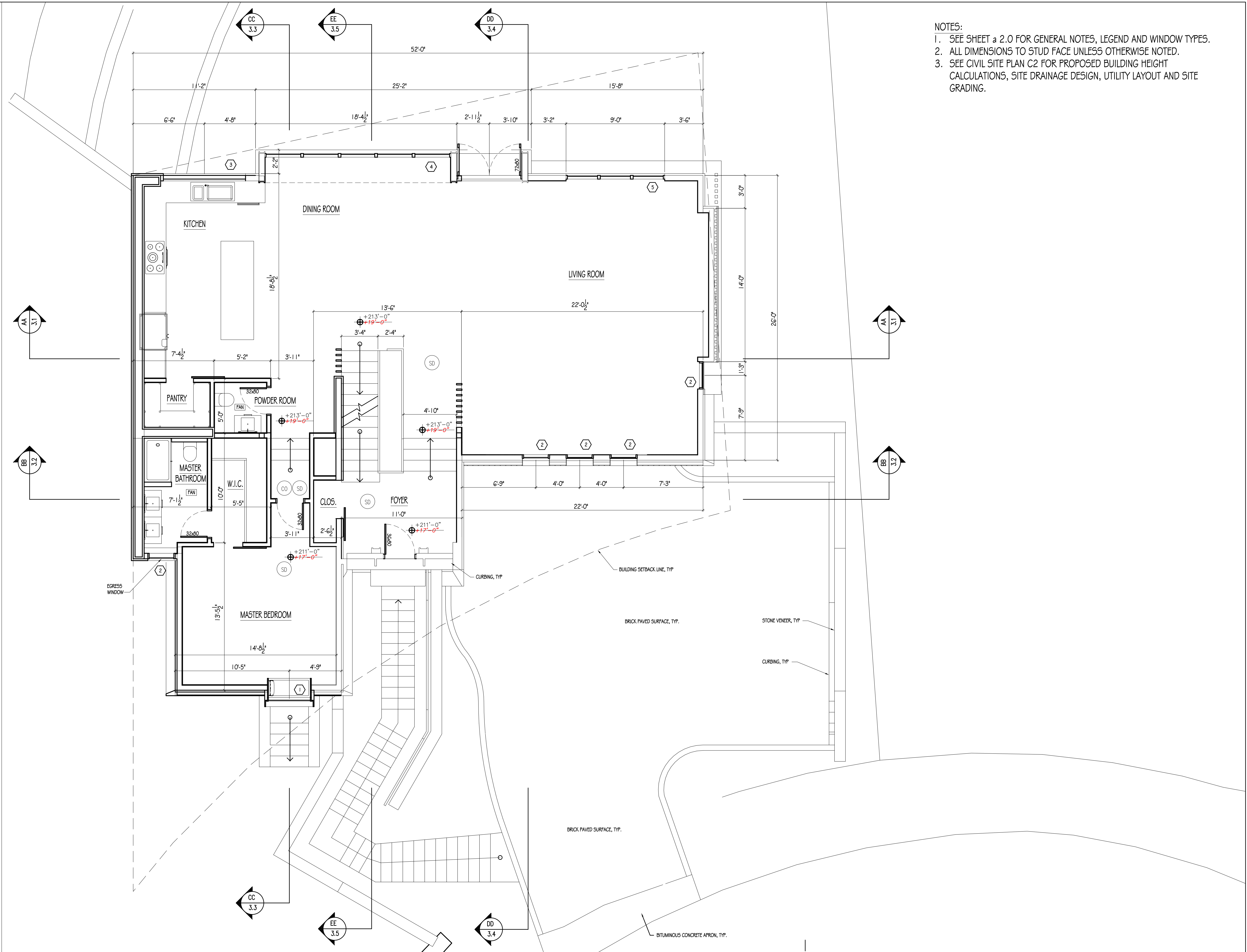
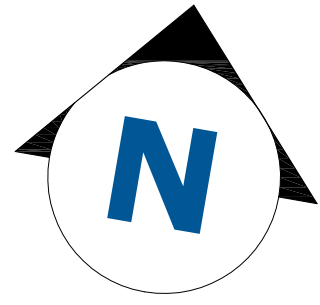
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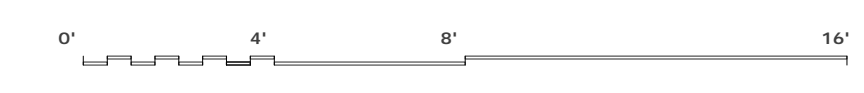
SHEET TITLE
Basement Floor Plan
Scale: 1/4" = 1'-0"
ISSUE
Permit Set - July 25, 2018

a :: Permit Set - Basement Floor Plan
2.2 Scale: 1/4" = 1'-0"





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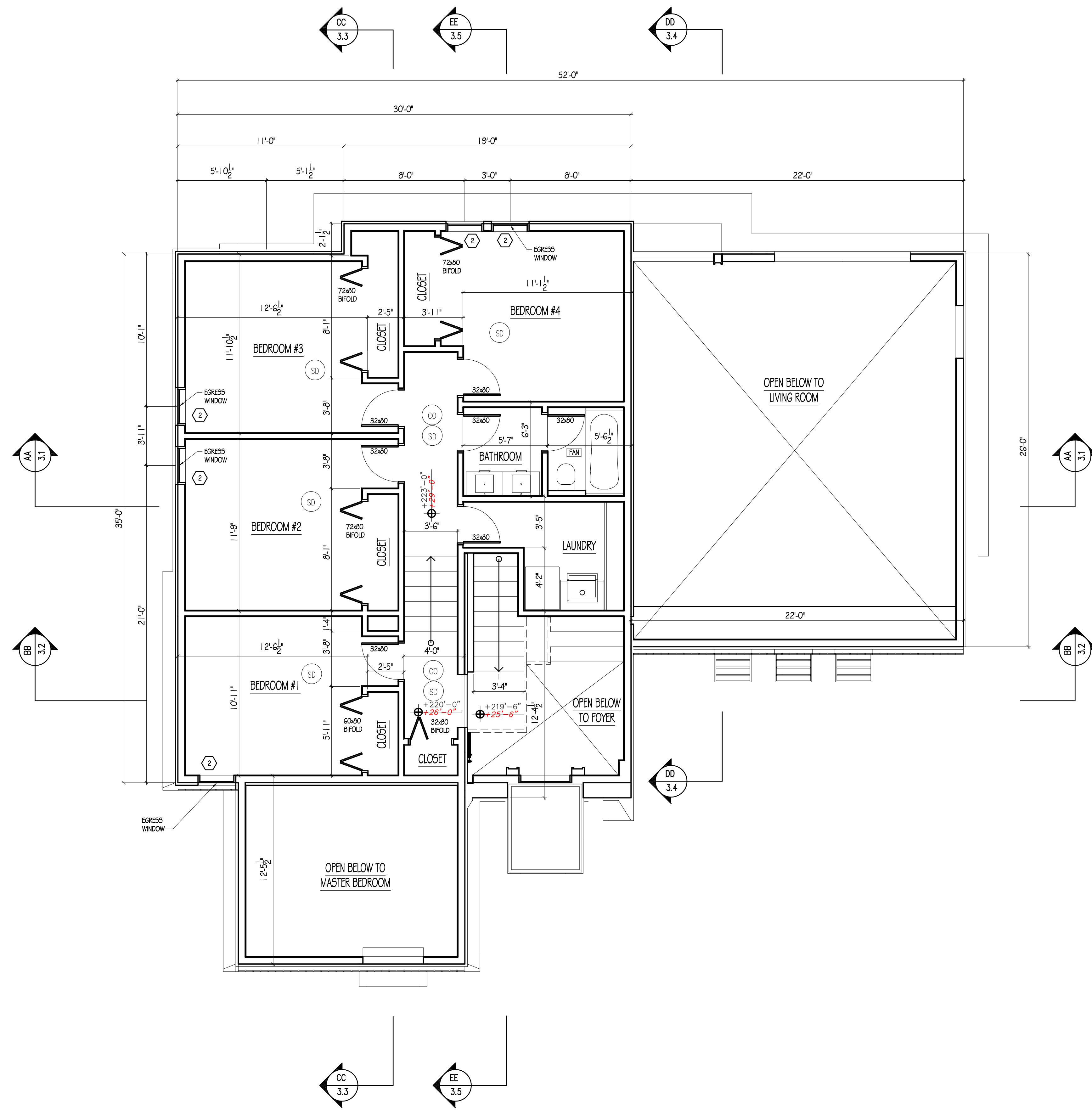
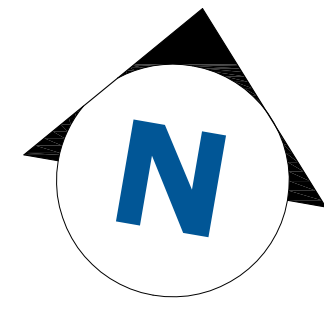
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SHEET TITLE
 First Floor Plan
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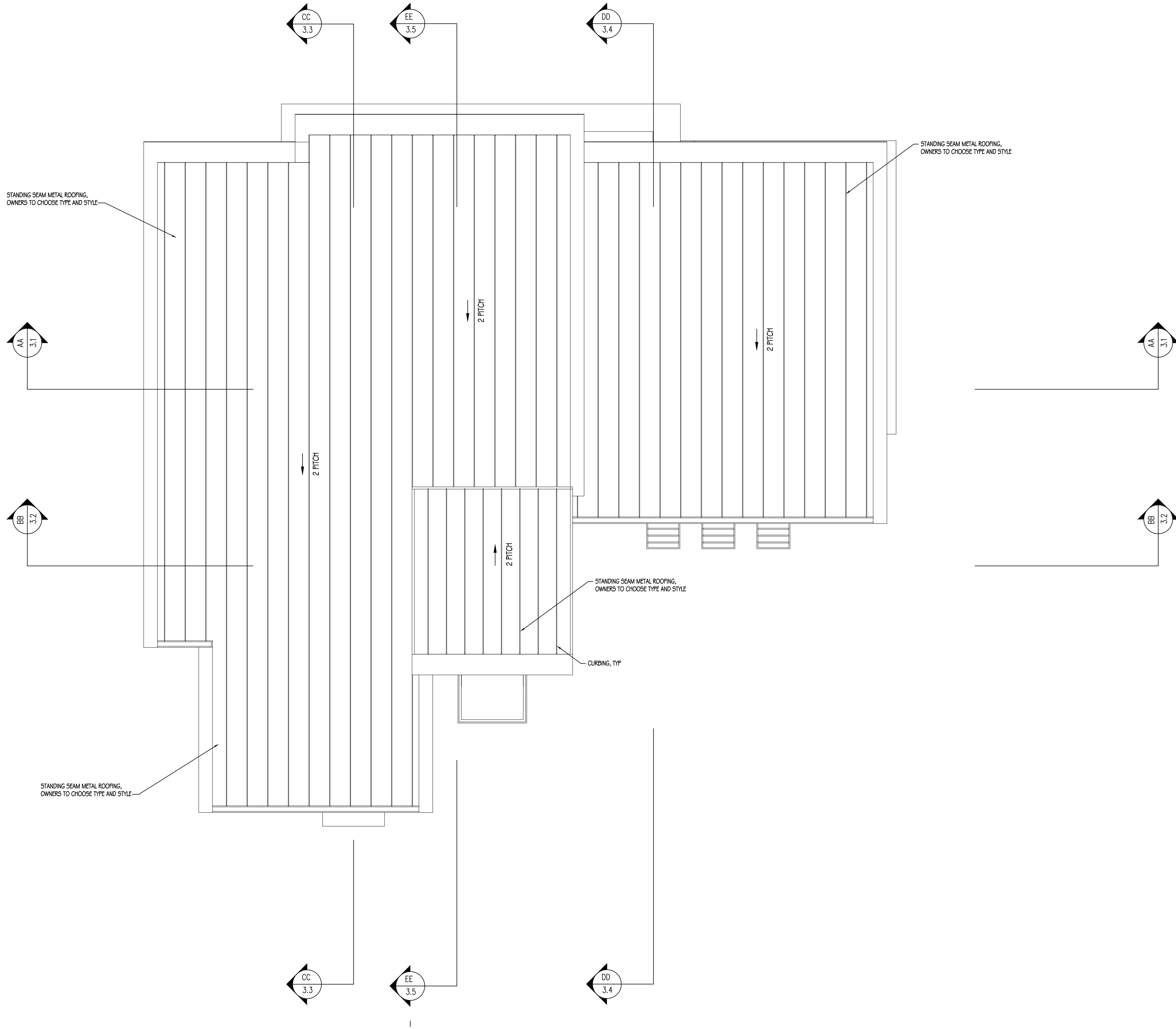
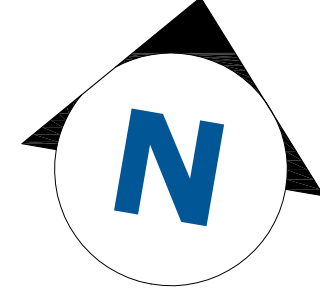
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SHEET TITLE
Second Floor Plan
Scale: 1/4" = 1'-0"
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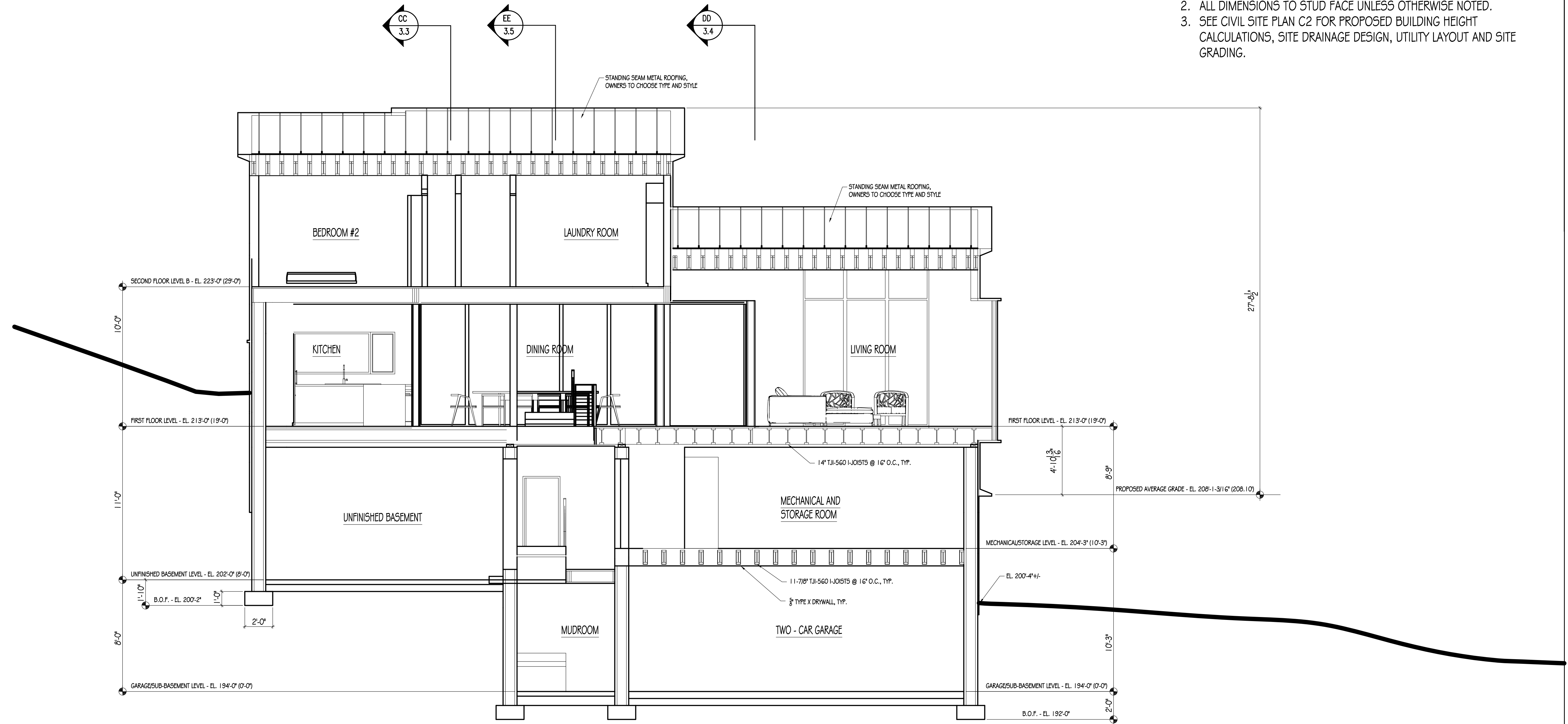
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2.4



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GENERAL CONSTRUCTION SPECIFICATIONS:

Interior Walls: 2x4 wood frame construction @ 16" o.c. with 3 1/2" sound reduction fiberglass batt insulation between studs for all walls between bedrooms. Finish both sides with 1/2" blueboard w/ skimcoat of plaster (BBSP) unless otherwise noted on the plans.

Exterior Walls: 2x6 wood frame construction @ 16" o.c. (unless otherwise noted). Owens Corning or equal 5 1/2" R-21 kraftfaced fiberglass batt insulation between studs, option for min. R-21 open cell spray foam insulation (TBD). Finish interior face with BBSP over polyethylene vapor barrier. Exterior stud face to have 7/16" Advantech Zip System or 1/2" CDX plywood sheathing. Composite or metal siding shall be installed over Tyrap/Stone Slicker or Home Slicker rain screen (By Benjamin Obdyke), omit Tyrap/Home Slicker if using Zip-System sheathing.

Roof & Ceilings: Framing sizes as noted on framing plans with R-49 kraftfaced fiberglass batt insulation (R-49 all cathedral/vaulted ceilings) between rafters, vapor barrier laid over ceiling sheathing. Exterior face of rafters shall have 5/8" CDX fir plywood or 5/8" Advantech Zip System with asphalt roof shingles installed over 30# felt paper. Provide ice & water shield at all valleys and eaves and along wall transitions and projections. All cathedral or vaulted ceilings shall be finished on the interior with smooth finish BBSP and shall be provided with propa-vents between sheathing and fiberglass batt insulation. Option for min. R-49 closed cell spray foam insulation (TBD).

Floors: Framing sizes as noted on framing plans with R-30 kraftfaced fiberglass insulation above basement. Subfloor shall be 3/4" T&G Advantech glued & nailed 6" o.c. to joists.

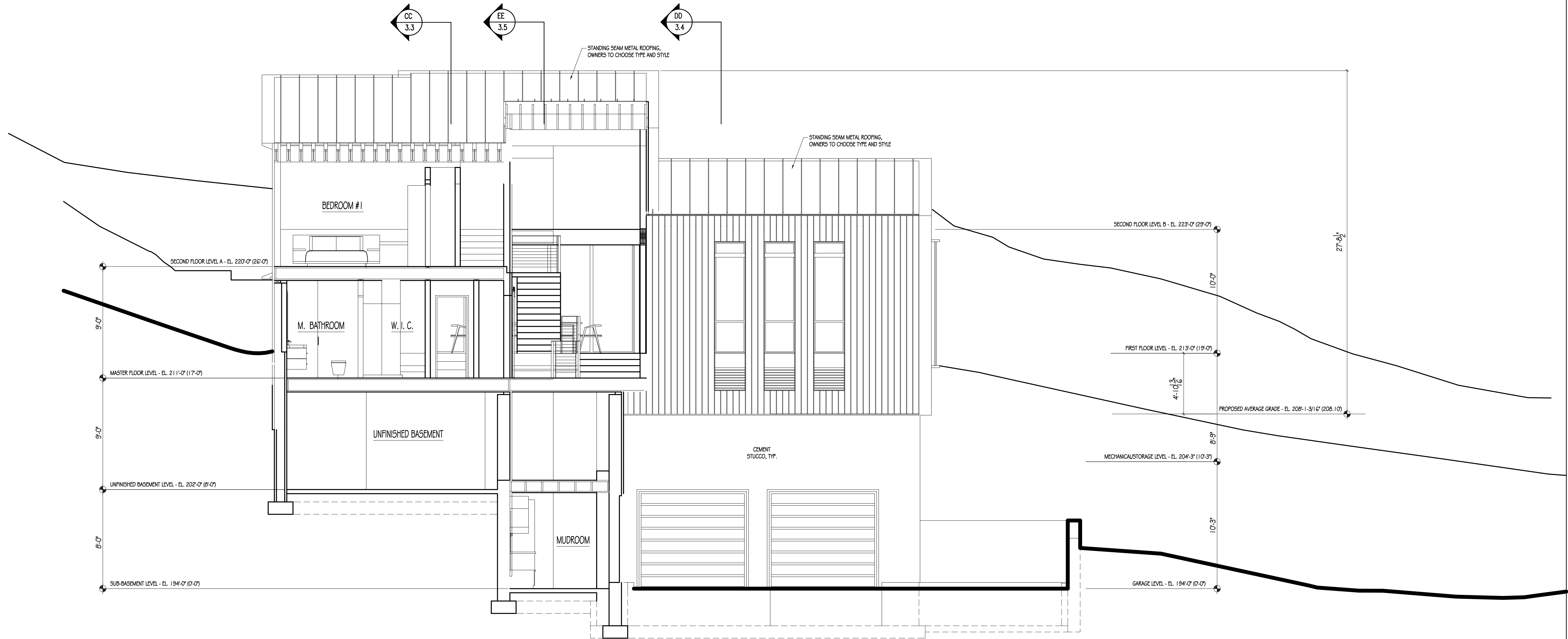
All structural assemblies, building components, materials, workmanship, energy conservation, life-safety, and fire protection shall conform fully with 780 CMR 9th Edition of the Massachusetts State Building Code Volume for One and Two Family Dwellings. All Stretch Energy Code requirements and testing procedures shall be the responsibility of the contractor. See actual RES Check Report and/or HERs Rating for specific insulation requirements, all of which, shall supercede any insulation values stated herein these construction documents.
SEE DRAWING 2.0 FOR ADDITIONAL NOTES AND SPECIFICATIONS.

FOUNDATION NOTES:

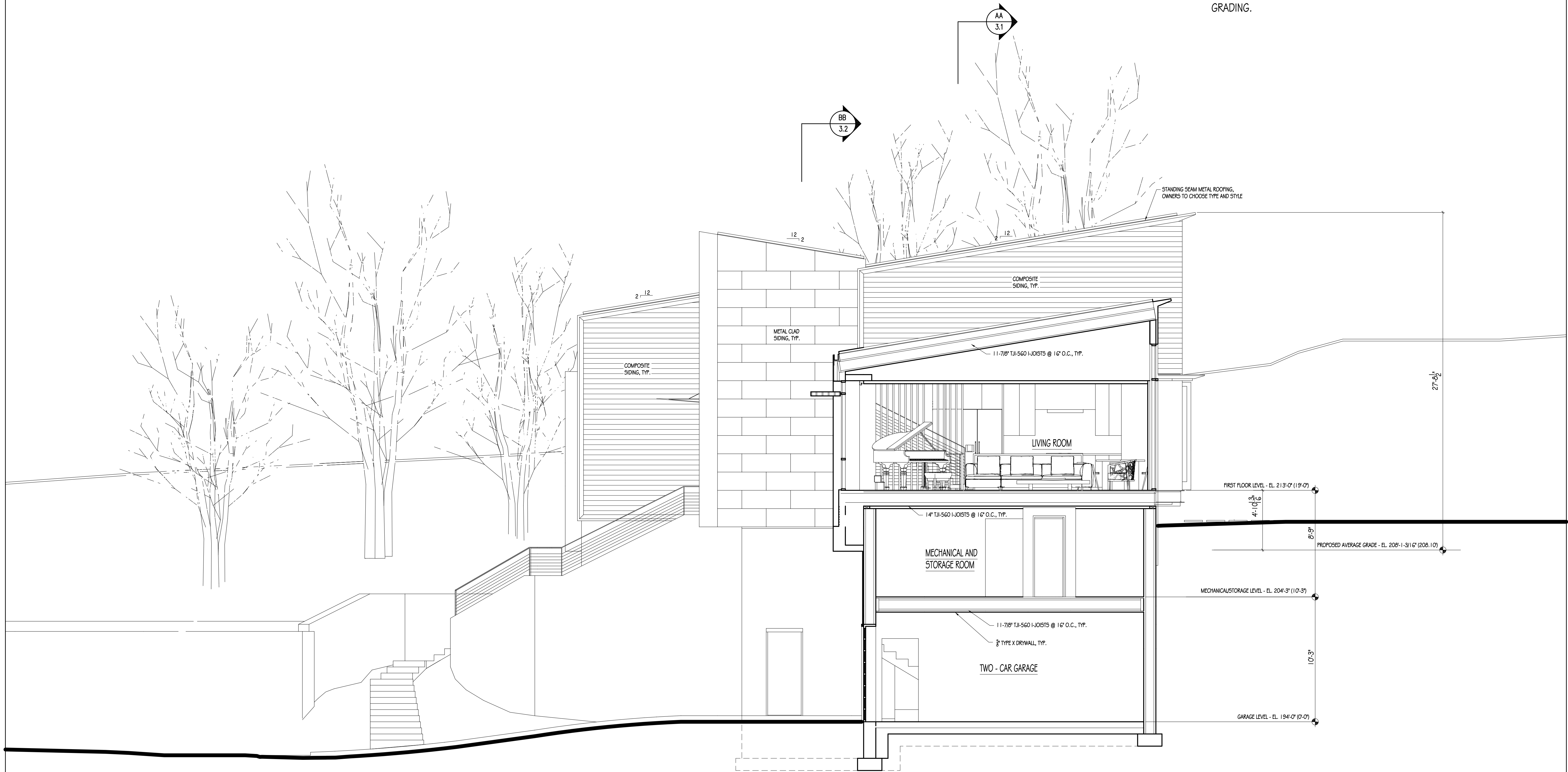
- All foundation walls shall be 12" thick ICF 8" core reinforced concrete, with 12" x 24" continuous keyed footings at minimum 4'-0" below grade.
- All foundation walls shall have 2x6 pressure treated sills with silseal at all wood/concrete joints. Provide 1/2" J- anchor bolts embedded a minimum of 7", set @ 6'-0" o.c. with a minimum of 2 per sill and a maximum of 1'-0" from corners.
- At joints between pours, provide minimum: #5 bars 16" long set @ 18" o.c.
- Poured slabs shall be 4" 3000 psi concrete on 6 mil polyethylene vapor barrier over 6" crushed stone.
- Garage slab shall be 6" 4500 psi concrete on 6 mil polyethylene vapor barrier over 6" crushed stone.
- Foundation concrete shall attain a minimum compressive strength after 28 days of 3000 psi.
- All bare foundation walls shall receive min. 1 coat of asphalt dampproofing over roof cement parged tie-rod holes.
- Install perimeter 4" ID PVC footing drain pipe with exterior gravity drainage system connected to onsite leaching facility (To Be Coordinated on Site by Contractor)
- SEE STRUCTURAL PLANS FOR REINFORCING ON WALL
- SEE CIVIL SITE PLAN FOR SITE NOTES AND DRAINAGE DETAILS.

NOTES:

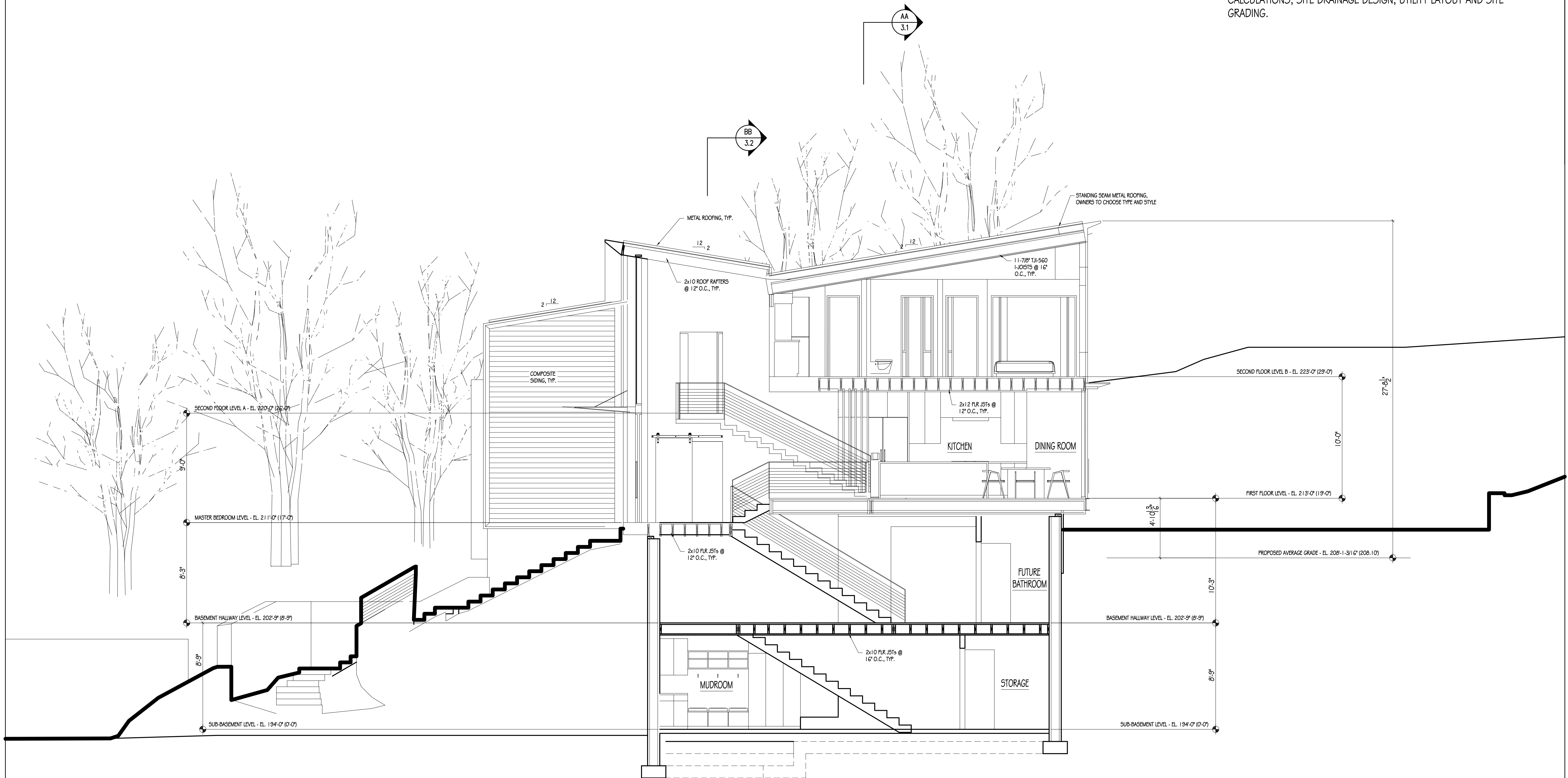
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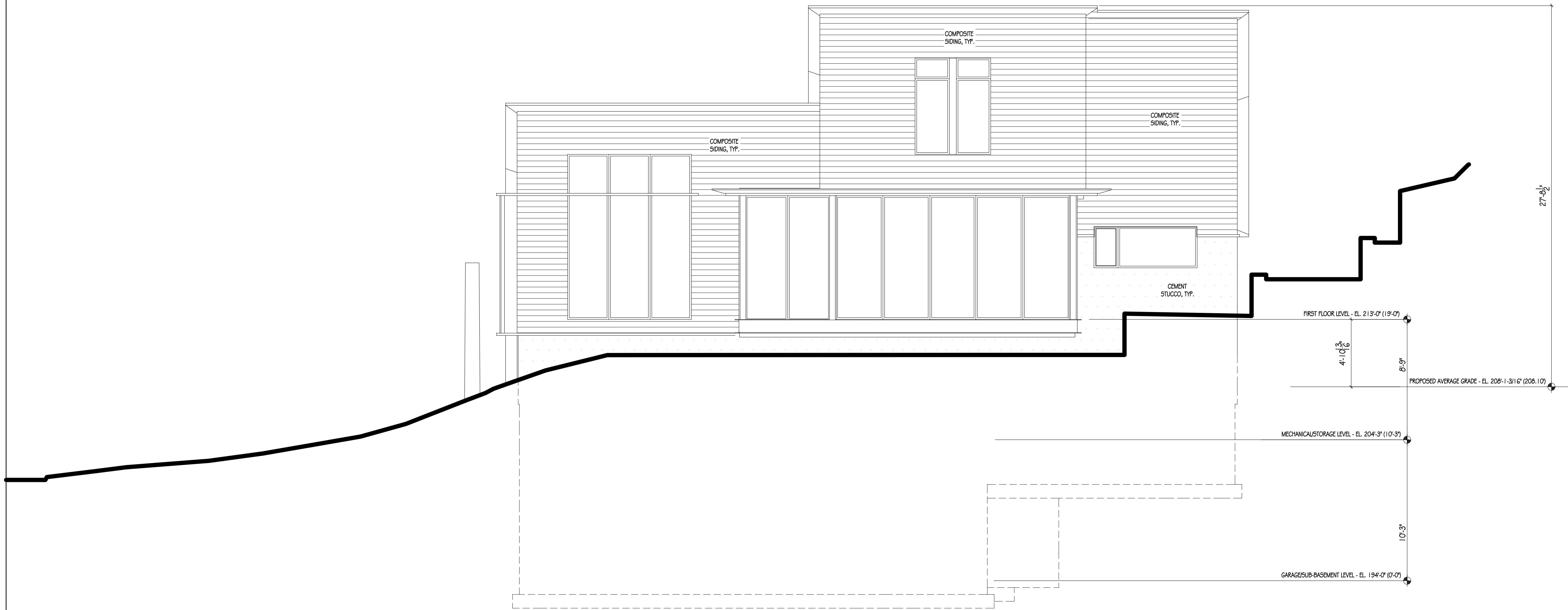


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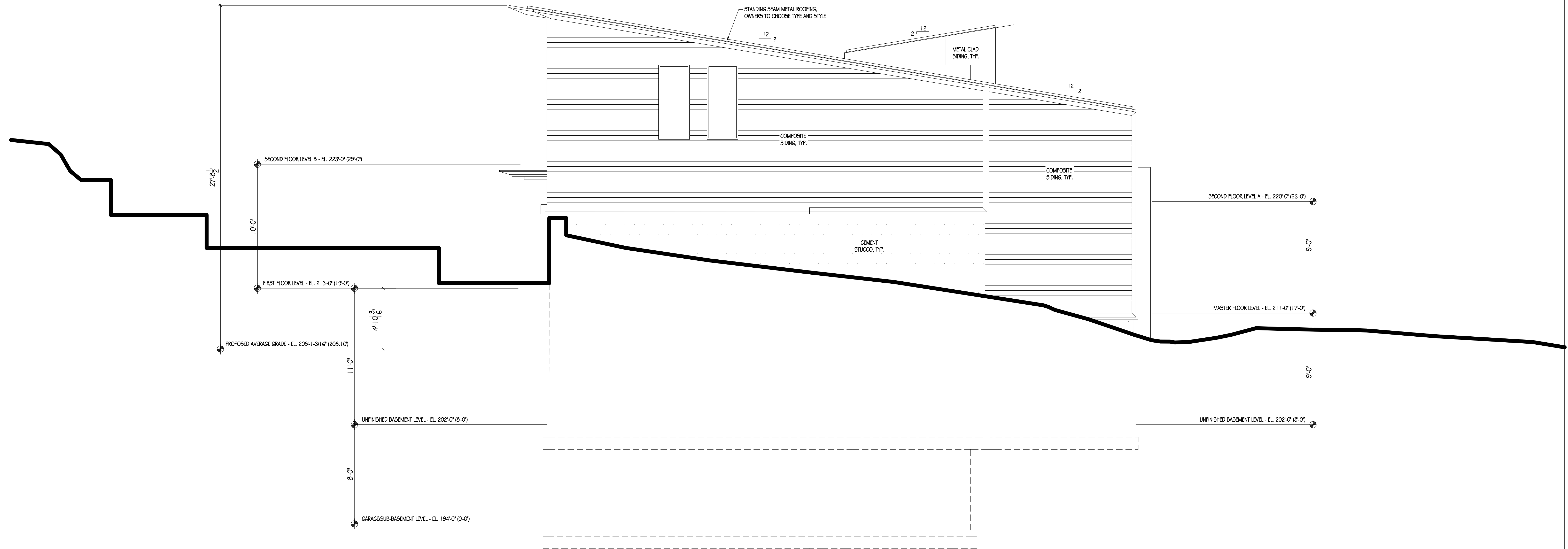
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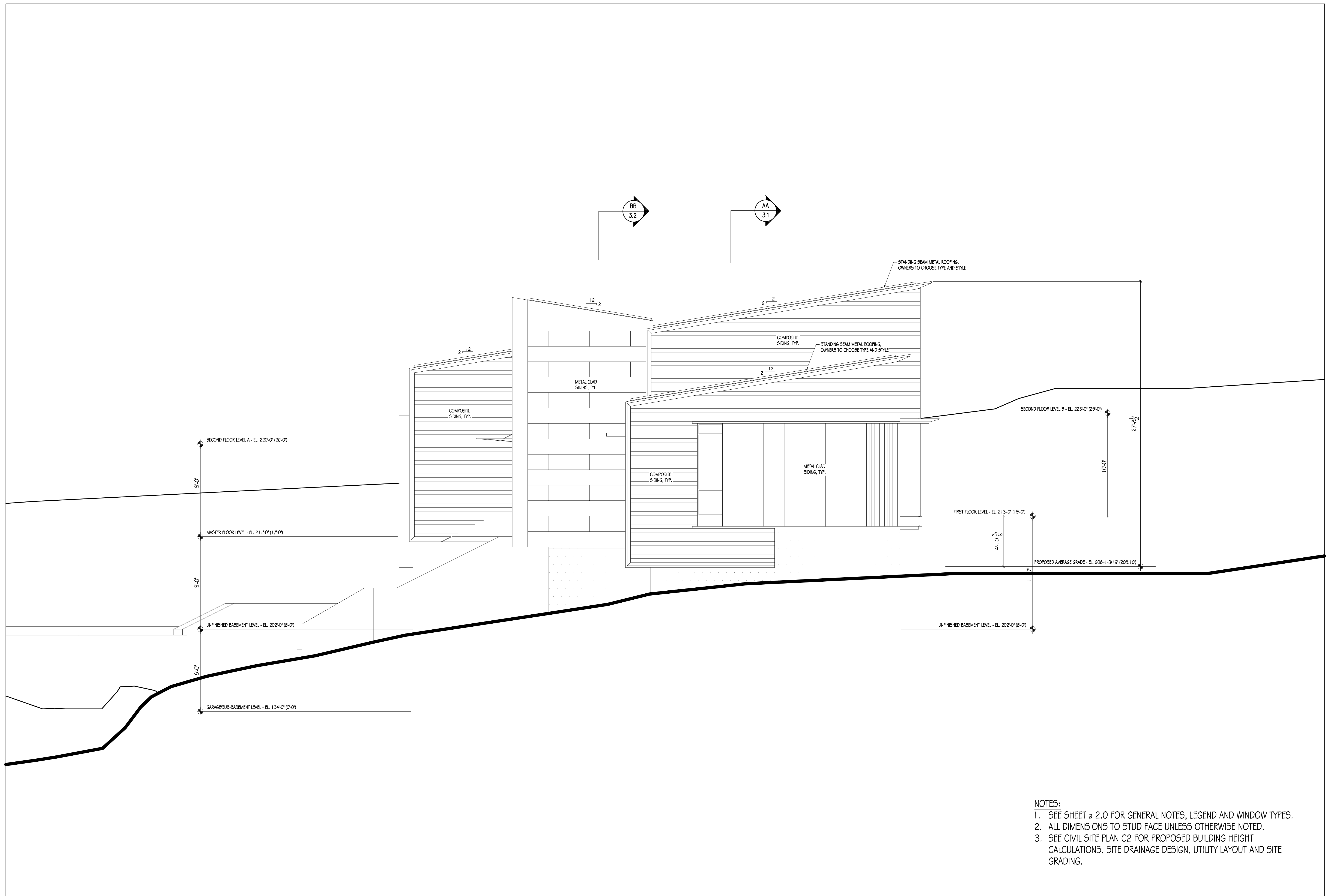
1. SEE SHEET a 2.0 FOR GENERAL NOTES, LEGEND AND WINDOW TYPES.
2. ALL DIMENSIONS TO STUD FACE UNLESS OTHERWISE NOTED.
3. SEE CIVIL SITE PLAN C2 FOR PROPOSED BUILDING HEIGHT CALCULATIONS, SITE DRAINAGE DESIGN, UTILITY LAYOUT AND SITE GRADING.



NOTES:

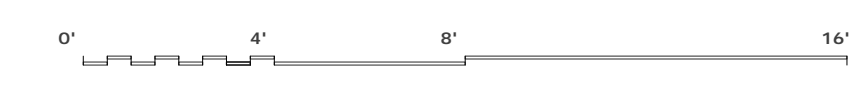
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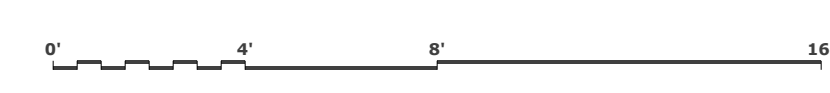
a :: Permit Set - East Elevation
4.4 Scale: 1/4" = 1'-0"





a :: Concept Design - General Perspective
 1.1 Scale: 1" = 10'







a :: Concept Design - Aerial View
1.3 Scale: 1" = 10'





CLIENT
Joshua and Kerri Marmol
6 Parkside Drive
Jamaica Plain, MA 02131

PROJECT
The Marmol Residence
6 Parkside Drive
Jamaica Plain, MA 02131

PROJECT NO.
2018-001

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IGNIS Design and Construction Inc.
719 Wellesley Street
Weston, MA 02493

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