

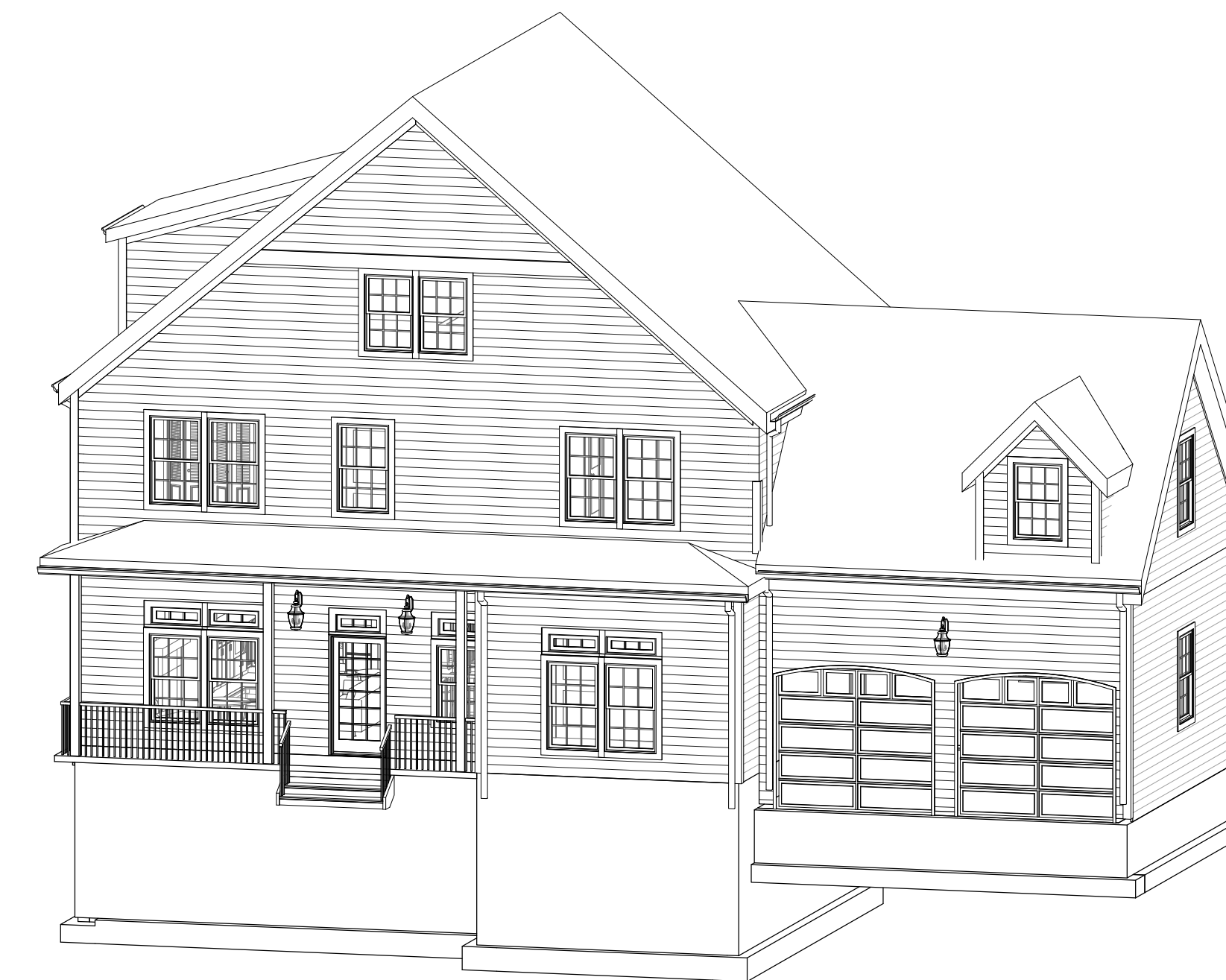
RESIDENTIAL SUB-DIVISION :

**5 KINSALE LANE LOT 3 , TYPE B
BOSTON (HYDE PARK), MASSACHUSETTS**

AUGUST 2, 2021 PERMIT SET

	LOT AREA DWELLING	LOT WIDTH	LOT FRONTAGE	FAR	HEIGHT		OPEN SPACE	FRONT SETBACK	SIDE SETBACK	REAR SETBACK
					ST	HGT				
1F-9000										
ALLOWED	9,000 SF	70 FT	70 FT	.3	2-1/2	35 FT	1,800 SF	25 FT	10 FT	40 FT
PROPOSED	9,053 SF	87 FT	94 FT	2390/9053=.26	2-1/2	31-2 1/4" FT	6,551 SF	25.2 FT	L 17.5 FT R 15.1 FT	40.3 FT

② ZONING
12" = 1'-0"



④ STREET VIEW

**Kinsale Lane
Sub-Division**



GENERAL NOTES, STANDARDS AND CONDITIONS:

INDUSTRY STANDARDS: THE FOLLOWING CONSTRUCTION AND CODE STANDARDS SHALL HAVE THE SAME FORCE AND EFFECT AS IF BOUND INTO THE CONTRACT DOCUMENTS.

780CMR MASSACHUSETTS STATE BUILDING CODE 9TH EDITION		
ACI AMERICAN CONCRETE INSTITUTE	FSC FOREST STEWARDSHIP COUNCIL	
ADA AMERICANS WITH DISABILITIES ACT	IBC INTERNATIONAL BUILDING CODE	
APA ENGINEERED WOOD ASSOCIATION	MAAB MASSACHUSETTS ARCHITECTURAL ACCESS BOARD	
ASHRAE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS	MPI MASTER PAINTERS INSTITUTE	
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS	NFPA NATIONAL FIRE PROTECTION INSTITUTE	
AWI ARCHITECTURAL WOODWORK INSTITUTE	NOFMA WOOD FLOOR MAUFACTURERS INSTITUTE	
CRI CARPET AND RUGS INSTITUTE	OSHA OCCUPATIONAL SAFETY AND HAZARD ASSOC.	
CSI CONSTRUCTION SPECIFICATION INSTITUTE	SDI STEEL DOOR INSTITUTE	
FM FACTORY MUTUAL	SMACNA SHEET METAL AIR COND. CONTRACTORS ASSOC.	
	UL UNDERWRITERS LABORATORY	
	USGBC US GREEN BUILDING COUNCIL	

GENERAL NOTES:

- ALL PERMITS AND LICENSES SHALL BE SECURED BY THE CONTRACTOR. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MA STATE BUILDING CODE AND ALL OTHER CODES, ORDINANCES AND STANDARDS NOTED ABOVE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND PROCEED AFTER THEY ARE RESOLVED.
- CONTRACTOR AND ALL SUBS SHALL BE LICENSED IN THE STATE OF MASSACHUSETTS AND SUPPLY PROOF OF ADEQUATE GENERAL LIABILITY AND WORKMANS COMP INSURANCE TO THE OWNER AND ARCHITECT.
- CONTRACTOR SHALL PREPARE A SCHEDULE OF VALUES AND SUBMIT PERCENTAGES OF COMPLETION ALONG WITH THE MONTHLY REQUISITION FOR PAYMENT.
- CONTRACTOR SHALL COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MEP/FP, CIVIL AND LANDSCAPE WORK PERFORMED BY SUBCONTRACTORS IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DRAWINGS AND SUBMIT SHOP DRAWINGS DEMONSTRATING COORDINATION AND UNDERSTANDING.
- ALL NOTATIONS AND INDICATIONS ON THE DRAWINGS APPLYING TO ONE AREA OR CONDITION SHALL APPLY TO OTHER SIMILAR AREAS OR CONDITIONS ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- PROVIDE SEALANT AT ALL INTERIOR AND EXTERIOR JOINTS. TYPICAL.
- PROVIDE FLASHINGS AT ALL OPENINGS, WINDOWS, DOORS, CONNECTIONS AND TRANSITIONS TO INSURE A WATERTIGHT BUILDING WIDE INSTALLATION.
- PROVIDE ALL ACCESS PANELS AS REQUIRED BY CODE AND REQUIRED BY ARCHITECTURAL, MEP/FP EQUIPMENT AND INSTALLATIONS WHETHER OR NOT INDICATED ON THE PLANS. ACCESS PANELS SHALL BE FLUSH AND LOCATIONS COORDINATED WITH THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE ALL SIZE AND LOCATIONS OF ALL SLAB AND WALL OPENINGS INCLUDING PER EQUIPMENT MANUFACTURERS RECOMMENDATIONS OR PER COORDINATION WITH EACH TRADE.
- ALL PENETRATIONS THROUGH RATED WALLS, CEILINGS AND FLOORS SHALL BE FIRE STOPPED AND SMOKE SEALED WITH AN APPROVED RATED ASSEMBLY OR WITH MECHANICAL FIRE DAMPERS.

GEOTECHNICAL REPORT

- IF APPLICABLE TO THE PROJECT REFER TO GEOTECHNICAL REPORT FOR EXCAVATION AND SUB SURFACE PREP, SHORING, FOUNDATION DESIGN AND WATERPROOFING RECOMMENDATIONS.

SITE WORK/EXISTING CONDITIONS

- TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN AND/OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. EXCAVATION AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA REGULATIONS.
- TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE, DAMAGE TO ADJACENT PARCELS AND/OR FACILITIES TO REMAIN.
- UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS: MAINTAIN AS REQUIRED FOR OCCUPIED FACILITIES AND/OR CAPPED/DISCONTINUED AS REQUIRED.
- HAZARDOUS MATERIALS: IF ENCOUNTERED OWNER SHALL REMOVE UNDER A SEPARATE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL ON-SITE ITEMS AND MATERIALS FROM WEATHER AND MOISTURE. THIS INCLUDES PROTECTING THE BUILDING FROM WEATHER AND MOISTURE THROUGHOUT THE COURSE OF CONSTRUCTION DURING WHICH TIMES THE BUILDING IS EXPOSED.
- CONTRACTOR SHALL IMPLEMENT A STRATEGY FOR DRYING MATERIALS AND PRODUCTS PRIOR TO INSTALLATION WHICH MAY HAVE A HIGH MOISTURE CONTENT.

DEMOLITION, CONSTRUCTION WASTE MANAGEMENT, NOISE MITIGATION, DUST

- OFFSITE DISPOSAL SHALL BE DEPOSITED, RECYCLED OR RECLAIMED IN A LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL MITIGATE TO THE EXTENT POSSIBLE DUST, DEBRIS AND NOISE THROUGHOUT THE DEMOLITION AND CONSTRUCTION PROCESS. THE SITE SHALL BE MAINTAINED IN AN ORDERLY CONDITION ON A DAILY BASIS INCLUDING ALL SURROUNDING AREAS AND ADJACENT PARCELS AFFECTED BY THE SCOPE OF WORK.











③ GENERAL NOTES
1/4" = 1'-0"

DRAWING INDEX		PERMIT SET	CONSTRUCTION
CIVIL			
1 OF 1	SUBDIVISION PLAN	■	
1 OF 1	PROPOSED PLOT PLAN	■	
ARCHITECTURE			
A-001	COVER SHEET & GENERAL NOTES	■	
A100	BASEMENT & FOUNDATION PLAN & CONCRETE NOTES	■	
A101	FIRST & SECOND FLOOR PLANS & FRAMING NOTES	■	
A102	ATTIC & ROOF PLANS	■	
A201	BASEMENT & FIRST FLOOR REFLECTED CEILING PLANS	■	
A202	SECOND & ATTIC FLOOR REFLECTED CEILING PLANS	■	
A300	STREET ELEVATION	■	
A301	GARAGE SIDE ELEVATION & BUILDING SECTION	■	
A302	REAR & LIVING ROOM SIDE ELEVATIONS	■	
A400	BUILDING SECTION & WALL SECTION	■	

① LIST OF DRAWINGS
12" = 1'-0"

A001

LEGEND

-  PROPOSED HOUSE
-  PROPOSED COVERED PORCH
-  PROPOSED WALL
-  PROPOSED DRIVEWAYS
-  PROPOSED ROAD
-  PROPOSED CONCRETE
-  PROPOSED DECK
-  PROPOSED PATIO
-  LIMIT OF WORK
-  LOT WIDTH

ACRONYMS

TW	TOP OF WALL
BW	BOTTOM OF WALL
MA	MATCH PAVEMENT
P	P
BOTTOM	BOTTOM OF SLOPE
TOP	TOP OF SLOPE

PROJECT TEAM

PROJECT INFO

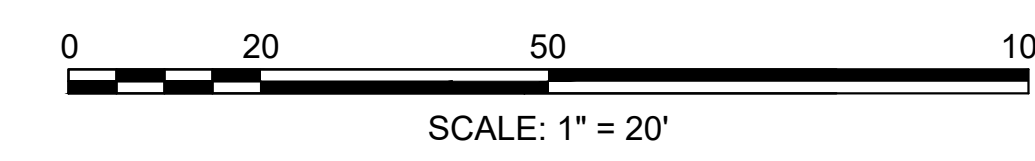
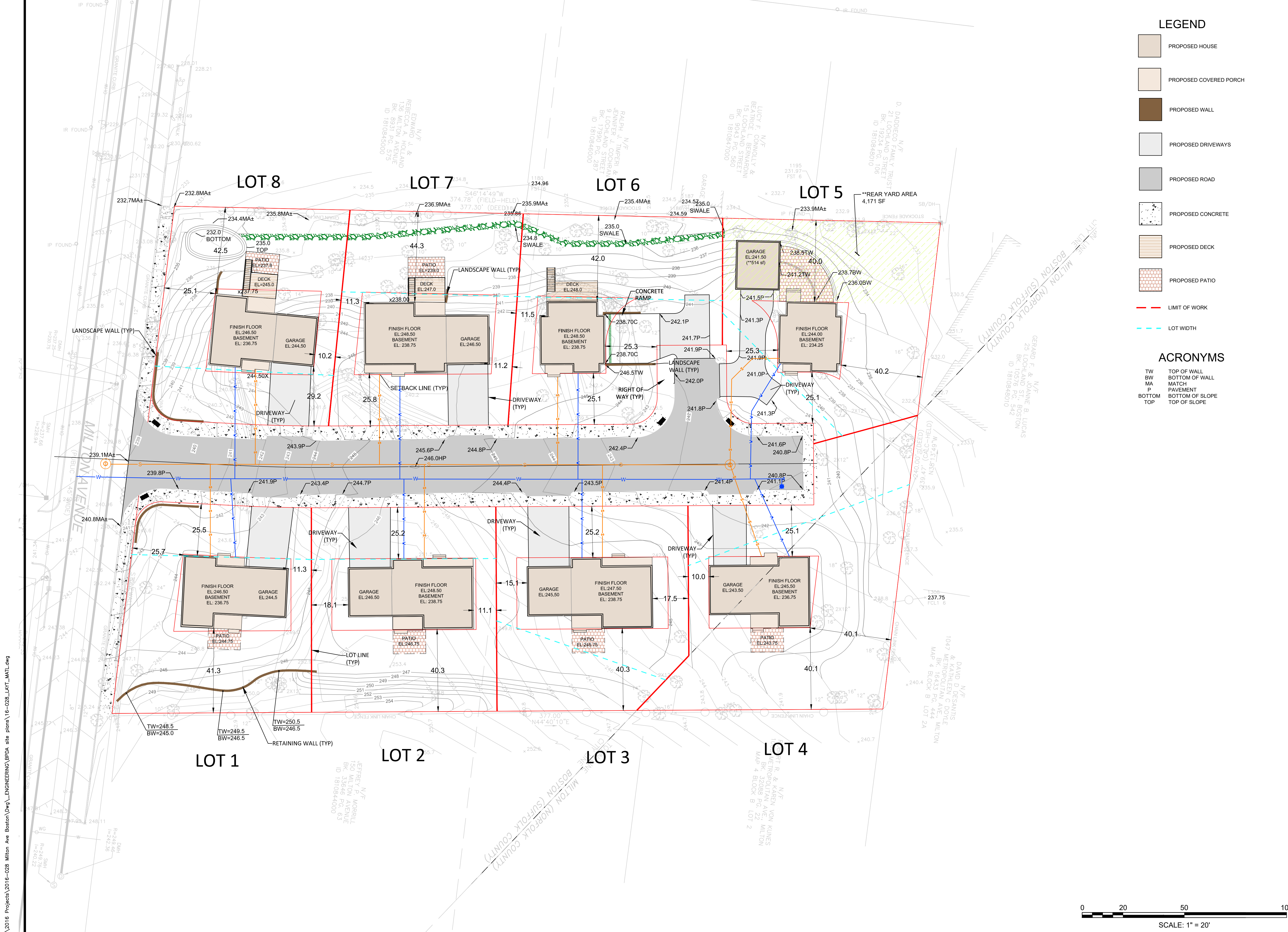


LAYOUT & MATERIALS PLAN

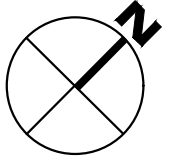
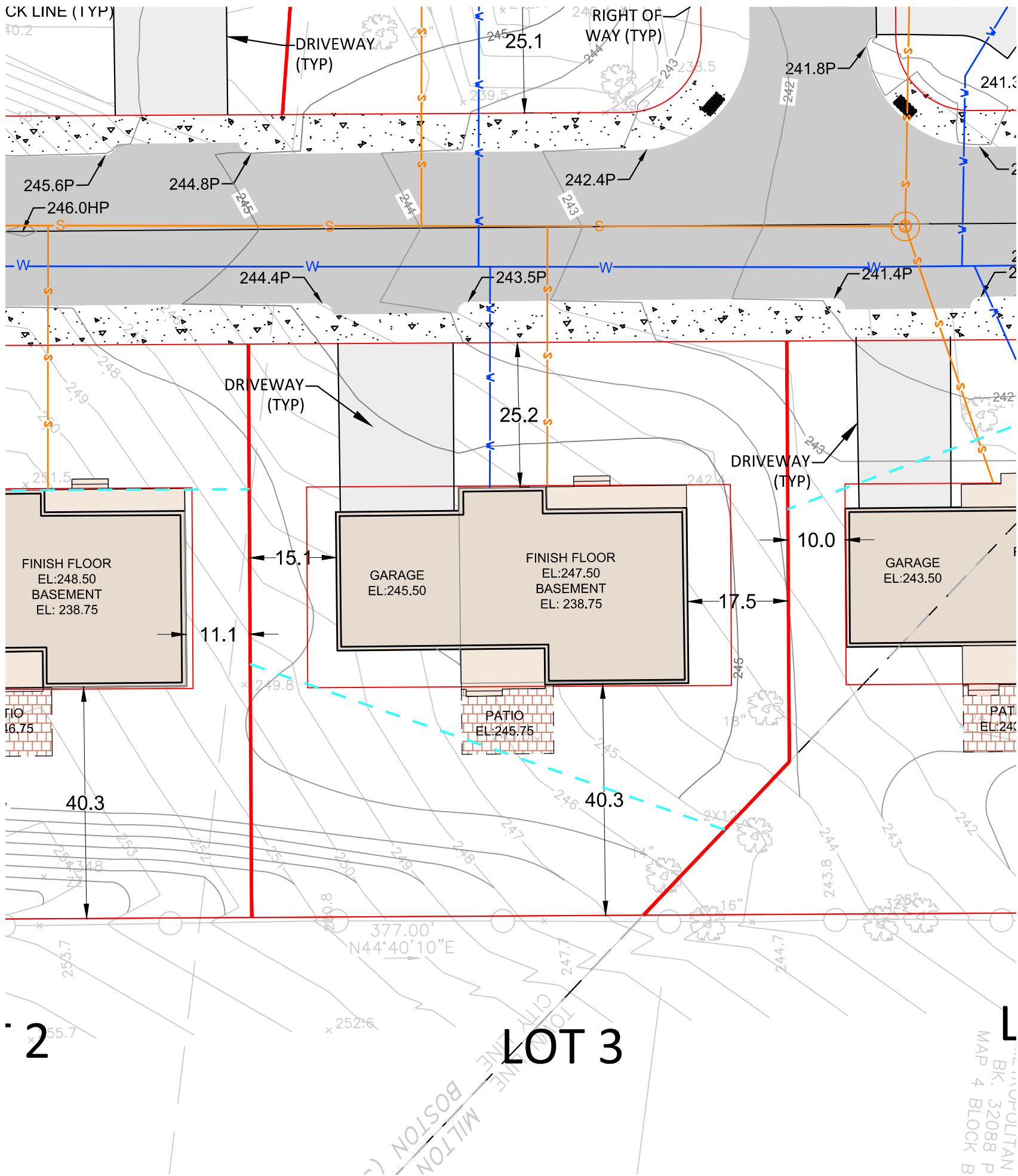
SHEET NAME:
C100

SHT NO:

DR BY: JEH
CHK BY: SS
PROJ NO: 16-028
DATE: 1-7-2021
SCALE: 1"=20'



P:\2016 Projects\2016-028 Milton Ave Boston\2016-028_Engineering\BPA site plans\16-028_LAY_MATERIAL.dwg



2

LOT 3

MILTON BOSTON CITY LINE
 COMMONWEALTH OF MASSACHUSETTS
 MAP 4 BLOCK B

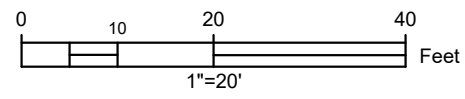
LOT 3	
LOT AREA	9053 SF
LOT FRONTAGE	94 LF
LOT WIDTH	87 LF
OPEN SPACE	6551 SF (72%)

*OPEN SPACE IS ALL LOT AREA EXCLUDING BUILDING & DRIVEWAYS

LEGEND

- | | | | | | | | |
|--|----------------|--|--------------------|--|----------------|--|------------------------|
| | PROPOSED HOUSE | | PROPOSED DRIVEWAYS | | LIMIT OF WORK | | LOT WIDTH |
| | PROPOSED WALL | | PROPOSED ROAD | | PROPOSED PATIO | | PROPOSED COVERED PORCH |
| | PROPOSED DECK | | PROPOSED CONCRETE | | | | |

- ACRONYMS**
- | | |
|--------|-----------------|
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |
| MA | MATCH |
| P | PAVEMENT |
| BOTTOM | BOTTOM OF SLOPE |
| TOP | TOP OF SLOPE |



LOT 3
 KINSALE LANE,
 BOSTON, MA

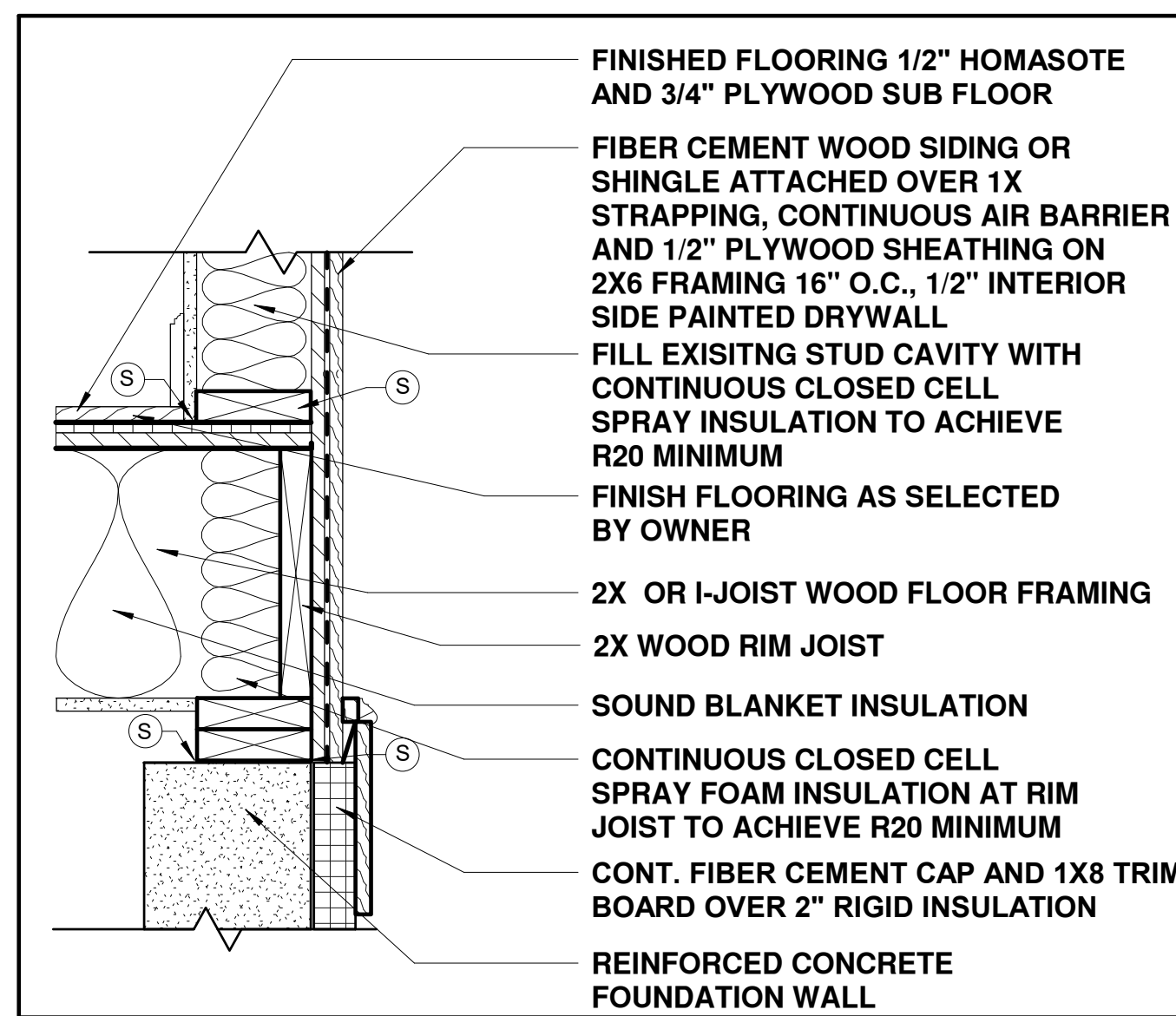
SHEET NAME
SITE PLAN

SHEET NO.
C103

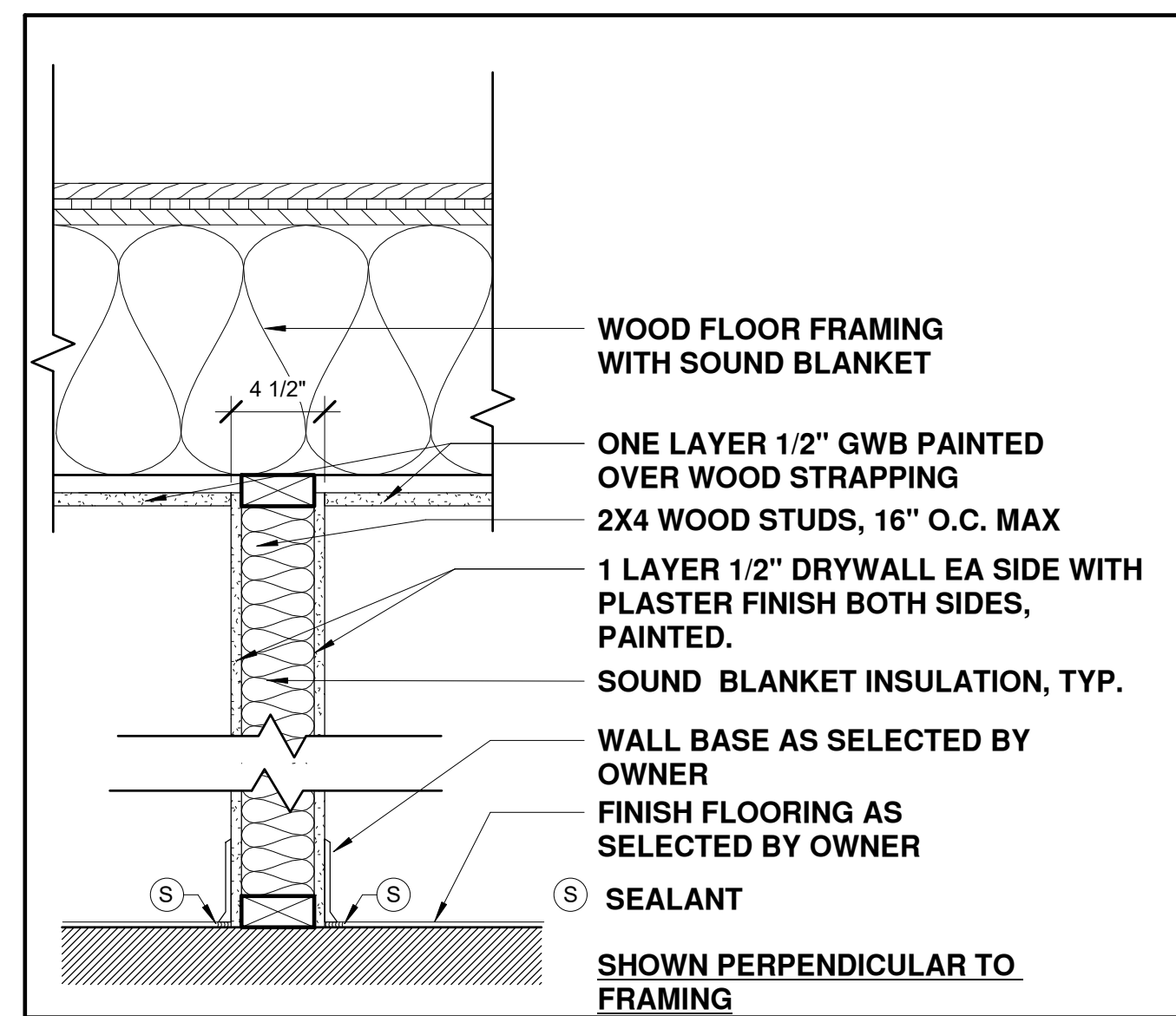
DR BY: MH
 CHK BY: SBS
 PROJ NO: 2016-028
 DATE: 04-06-2021
 SCALE: 1" = 20'

**Kinsale Lane
 Sub-Division**

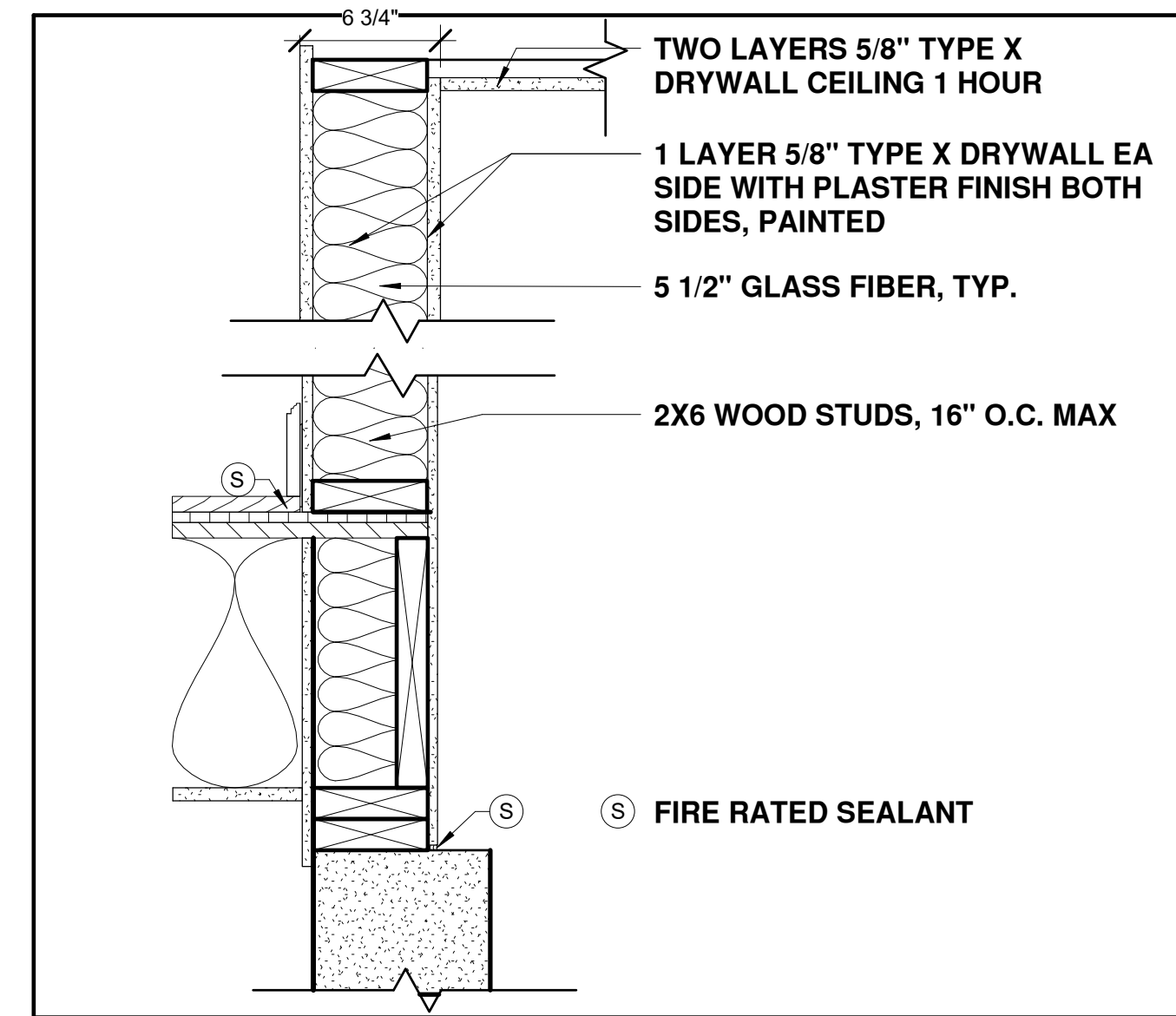
Hyde Park, MA



1	EXTERIOR WALL/FLOOR	
		R VALUE: 20 MINIMUM

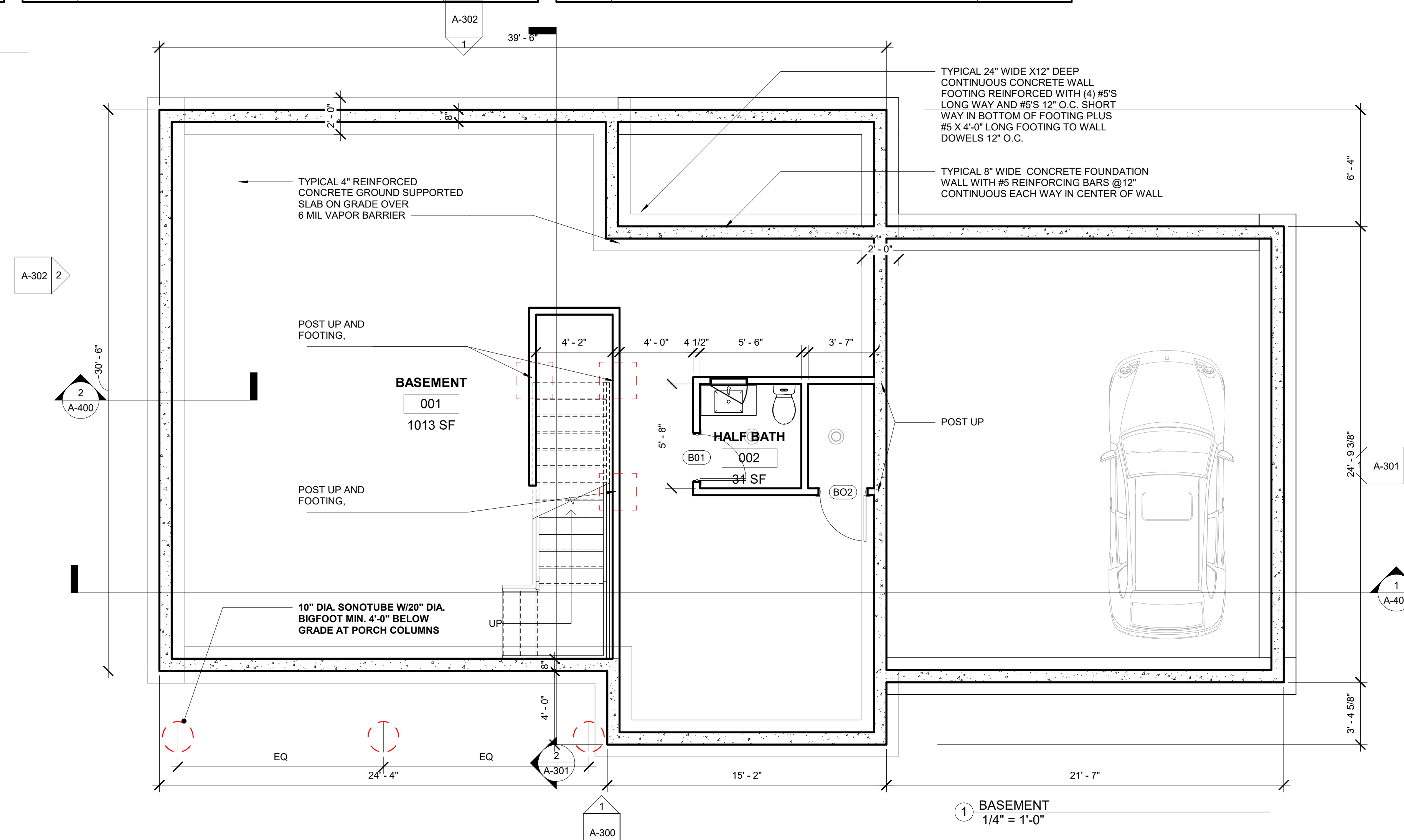


2	INTERIOR WALL	
SIDE 1	1 LAYER 1/2" DRYWALL	
SIDE 2	1 LAYER 1/2" DRYWALL	



3	1 HR GARAGE SEPARATION	U309
SIDE 1	1 LAYER 5/8" TYPE X DRYWALL	
SIDE 2	1 LAYER 5/8" TYPE X DRYWALL	

② WALL TYPES
 1 1/2" = 1'-0"



FOUNDATION PLAN NOTES:

THE FOUNDATION, FOOTING AND COLUMN SIZES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS, STAMPED AND SIGNED.

- SLAB ON GRADE TO BE 4" THICK SET OVER 6" OF 3/4" BANK RUN GRAVEL OR FREE DRAINING SOIL AND 6 MIL. VAPOR BARRIER. REINFORCE SLAB W/ 6X6XW2.0XW2.9 WWFSET 1-1/2" FROM TOP OF SLAB. CUT 1" RELIEF JOINTS IN SLAB @ 10-15 FR O.C. REMOVE ALL SOFT, ORGANIC OR UNSUITABLE MATERIAL FROM UNDER AND ADJACENT TO ALL FOOTINGS AND FROM UNDER ALL SLABS ON GRADE.
- PROVIDE (2) 2X6 PRESSURE TREATED SILL PLATE AT TOP OF FOUNDATION WALL. ANCHOR PLATE TO WALL W/ 5/8" DIA. X 1'-4" (4" HOOK) ANCHORS @ 48" O.C. AND AT ALL ENDS AND EACH SIDE OF CORNER OF FOUNDATION WALL.
- BOTTOM OF EXTERIOR FOOTINGS TO BE 4'-0" MINIMUM BELOW FINISHED GRADE OR 8" BELOW BASEMENT SLAB WHICHEVER IS LOWER.
- ALL FOOTINGS SHALL BE CENTERED ON UNDER SUPPORTED MEMBERS.
- SHORE, SHEET AND BRACE EXCAVATION AS REQUIRED TO ENSURE STABILITY AND SAFETY AT ALL TIMES.
- ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATIONS OF BACK FILLING AND TAMPING BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
- NO FOOTING SHALL BE PLACED IN WATER. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE KEPT FROM FREEZING AT ALL TIMES.
- PROVIDE CONTINUOUS DRAINAGE PLANE AT FOUNDATION WALLS AND PERIMETER FOOTING DRAINS.

① BASEMENT
 1/4" = 1'-0"

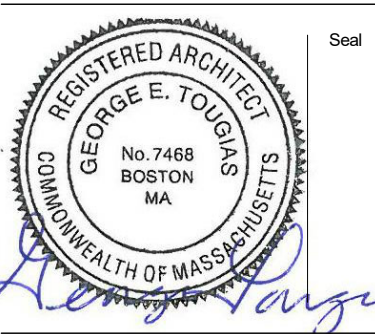
CAST IN PLACE CONCRETE:

- CONCRETE SHALL BE NORMAL WEIGHT TO ATTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- PROVIDE 6% AIR ENTRAINMENT IN ALL CONCRETE EXPOSED TO EARTH OR WEATHER.
- PROVIDE DOWELS AND 2X4 KEY WAYS AT ALL CONSTRUCTION JOINTS. ALLOW 48 HOURS TO ELAPSE BETWEEN ADJACENT SLAB POURS. FOUNDATION WALL CONSTRUCTION SHALL BE KEYS AND SPACED AT 40'-0" MAX
- ALL FORM WORK SHALL REMAIN IN PLACE FOR A MINIMUM OF THREE DAYS.
- PROVIDE RELIEF JOINTS IN ALL SLABS ON GRADE 10' O.C. IN EACH DIRECTION.
- NOTIFY THE SITE BUILDING INSPECTOR IN ADVANCE OF PLACING CONCRETE FOR INSPECTION OF THE REINFORCING STEEL. DO NOT CAST CONCRETE UNTIL THE INSPECTION HAS BEEN SATISFACTORILY SIGNED OFF.

REINFORCING STEEL:

- REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 AND WELDED WIRE FABRIC SHEETS SHALL CONFORM TO ASTM A185.
- BARS SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTED WALLS, LAPPED AT NECESSARY SPLICES AND WITH SPLICES STAGGERED WHERE POSSIBLE AND HOOKED AT DISCONTINUOUS ENDS.

No. Date Revision



Drawing Title

**LOT 3 TYPE B
 BASEMENT &
 FOUNDATION
 PLAN &
 CONCRETE
 NOTES**

Project No. STA2019KEO

Date 08 02 21

Scale As indicated

Drawn By GT

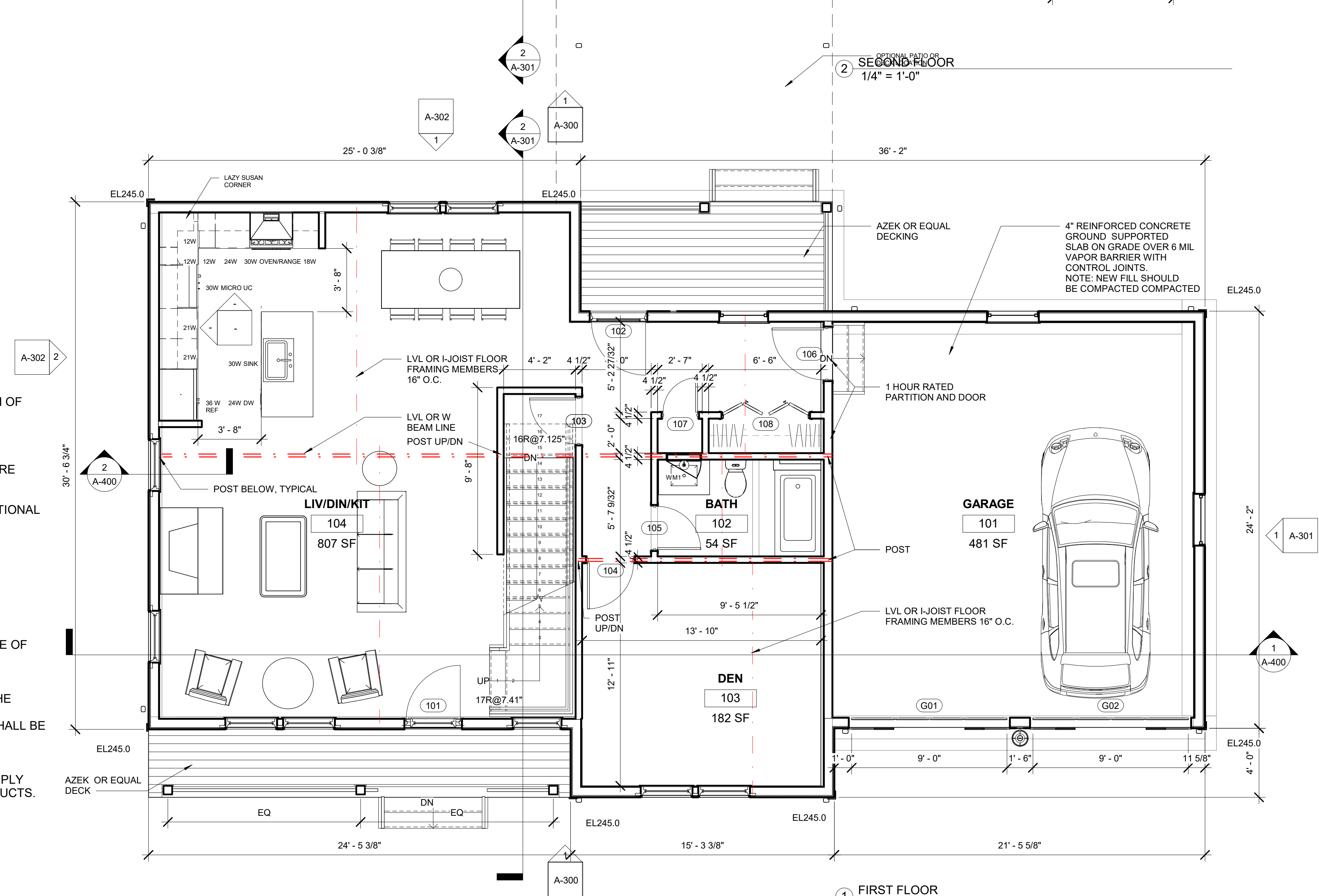
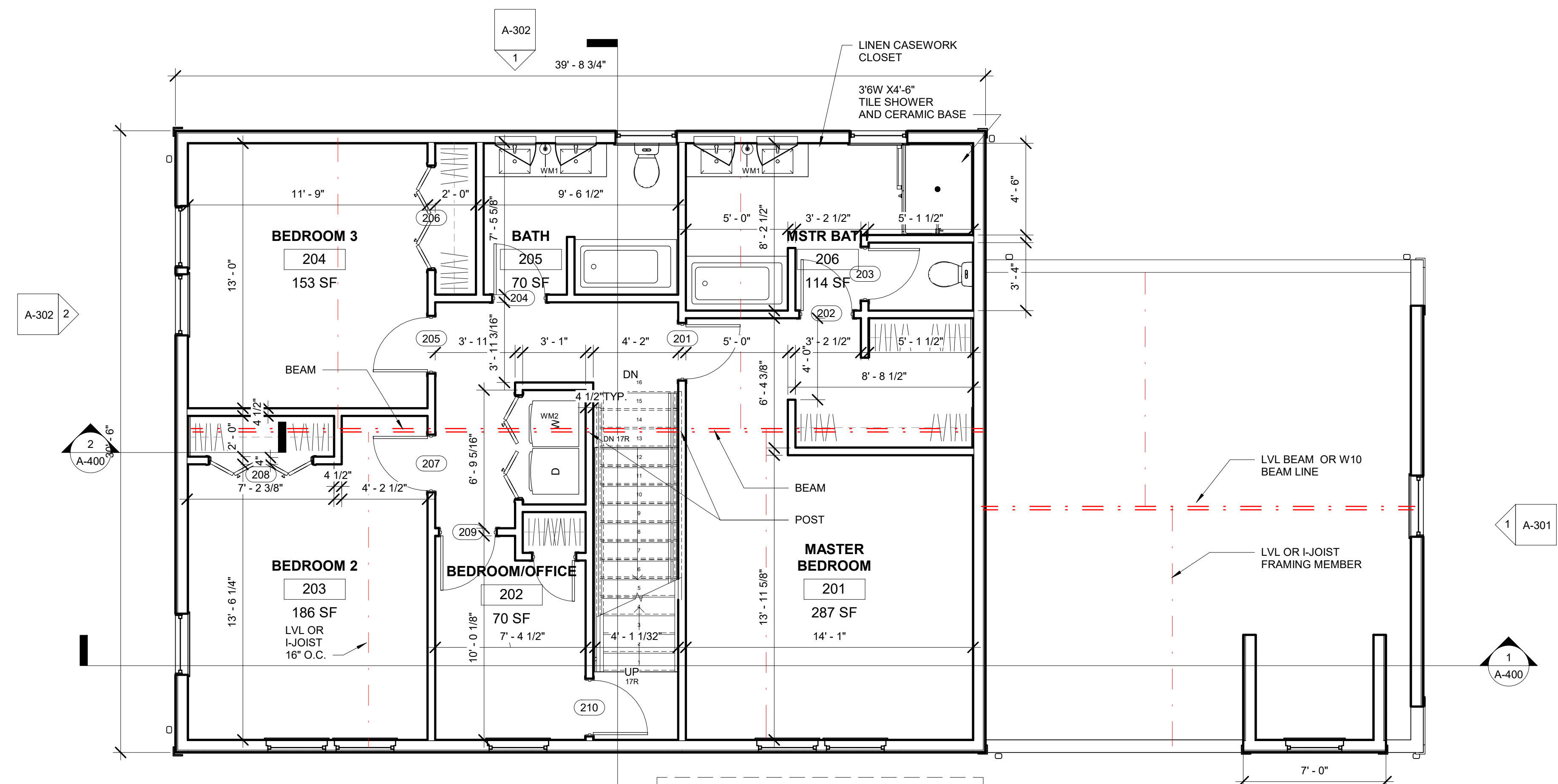
Checked By CFT

A100

**Kinsale Lane
 Sub-Division**

Hyde Park, MA

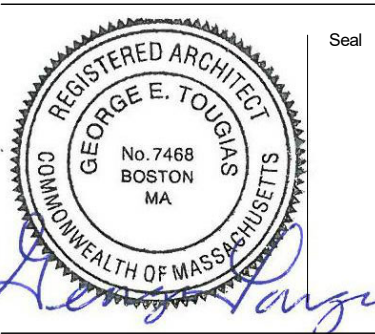
Door Schedule						
Level	Mark	Width	Height	Type	Frame Type	Comments
BASEMENT	B01	2'-6"	6'-8"	30" x 80"	WD	
BASEMENT	B02	2'-6"	6'-8"	30" x 80"	WD	
GARAGE	G01	9'-0"	8'-0"	9WX8h	WD	
GARAGE	G02	9'-0"	8'-0"	9WX8h	WD	
FIRST FLOOR	101	3'-4"	6'-10"	3'0" x 6'-8"	WD	
FIRST FLOOR	102	3'-4"	6'-10"	3'0" x 6'-8"	WD	
FIRST FLOOR	103	2'-8"	6'-8"	32" x 80"	WD	
FIRST FLOOR	104	2'-8"	6'-8"	32" x 80"	WD	
FIRST FLOOR	105	2'-6"	6'-8"	30" x 80"	WD	
FIRST FLOOR	106	3'-0"	6'-8"	36" x 80"	WD OR HM 1 HR	
FIRST FLOOR	107	2'-0"	6'-8"	24" x 80"	WD	
FIRST FLOOR	108	5'-0"	6'-8"	60" x 80"	WD	
SECOND FLOOR	201	2'-8"	6'-8"	32" x 80"	WD	
SECOND FLOOR	202	2'-6"	6'-8"	30" x 80"	WD	
SECOND FLOOR	203	2'-6"	6'-8"	30" x 80"	WD	
SECOND FLOOR	204	2'-6"	6'-8"	30" x 80"	WD	
SECOND FLOOR	205	2'-8"	6'-8"	32" x 80"	WD	
SECOND FLOOR	206	5'-0"	6'-8"	60" x 80"	WD	
SECOND FLOOR	207	2'-8"	6'-8"	32" x 80"	WD	
SECOND FLOOR	208	5'-0"	6'-8"	60" x 80"	WD	
SECOND FLOOR	209	2'-8"	6'-8"	32" x 80"	WD	
SECOND FLOOR	210	2'-8"	6'-8"	32" x 80"	WD	
SECOND FLOOR	214	2'-0"	6'-8"	24" x 80"	WD	
SECOND FLOOR	216	5'-0"	6'-8"	60" x 80"	WD	



ROUGH CARPENTRY:
 THE STRUCTURAL FRAMING SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AND/OR BY A LUMBER YARD AND STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS.

- ALL WOOD MEMBERS SHALL HAVE A GRADE STAMP WHICH INDICATES SPECIES, GRADE, MILL NUMBER, MOISTURE CONTENT WHEN SURFACED (MAX 19% MOISTURE CONTENT) OR STRESS RATING.
- EXTERIOR WOOD STUD WALLS SHALL BE 2X6 AT 16" O.C. WITH SOLID WOOD BLOCK 8'-0" O.C. VERTICAL.
- PROVIDE DOUBLE STUDS ON EACH SIDE OF ALL OPENING UP TO 4'-0" WIDE IN BEARING PARTITIONS AND ADDITIONAL JACK STUD TO SUPPORT LINTELS FOR FRAMING OF WIDER OPENINGS.
- HEADERS FOR WOOD STUD WALL OPENINGS SHALL BE MULTIPLE 2X8'S.
- FORM CORNERS WITH MINIMUM THREE STUDS SPIKED TOGETHER.
- PROVIDE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE IN ALL WALLS.
- POSTS SHALL BE DOUGLAS FIR NO. 1. DIMENSION LUMBER JOISTS AND RAFTERS SHALL BE HEM-FIR NO. 2 OR SPRUCE-PINE-FIR NO. 1/NO. 2.
- ALL LUMBER EXPOSED TO THE WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- INSTALL SOLID WOOD BLOCKING BETWEEN JOISTS FOR EACH 8'-0" OF FLOOR FRAMING AND AT THE CENTERLINE OF ALL BEARING WALLS.
- USE WOOD CONNECTORS, FRAMING ANCHORS, DRILLED IN ANCHORS, JOIST AND BEAM HANGERS FOR ALL CONNECTIONS.
- ALL WOOD PANELS FOR FLOORS, ROOFS AND WALLS SHALL BE APA RATED PLYWOOD AND INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO THE SUPPORTS. FLOOR PANELS SHALL BE T&G 3/4" THICK, EXPOSURE 1, 48/24 SPAN RATING. ROOF PANELS SHALL BE 5/8" THICK, BEARING AND SHEAR WALL PANELS 1/2" THICK, APA RATED AND FASTENED WITH NAILS 4" O.C.
- REFER TO THE MASSACHUSETTS STATE BUILDING CODE NAILING SCHEDULE FOR NAILING AND BOLTING. ALL FRAMING TO BE INSPECTED AND APPROVED BY THE SITE BUILDING CODE OFFICIAL.
- ALL DESIGN, LIVE LOADS AND GRAVITY LOADS, ROOF SNOW LOADS, LATERAL LOADS AND WIND LOADS SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING 780 CMR FOR DIMENSIONAL LUMBER AND ENGINEERED WOOD PRODUCTS.

No. Date Revision



Drawing Title

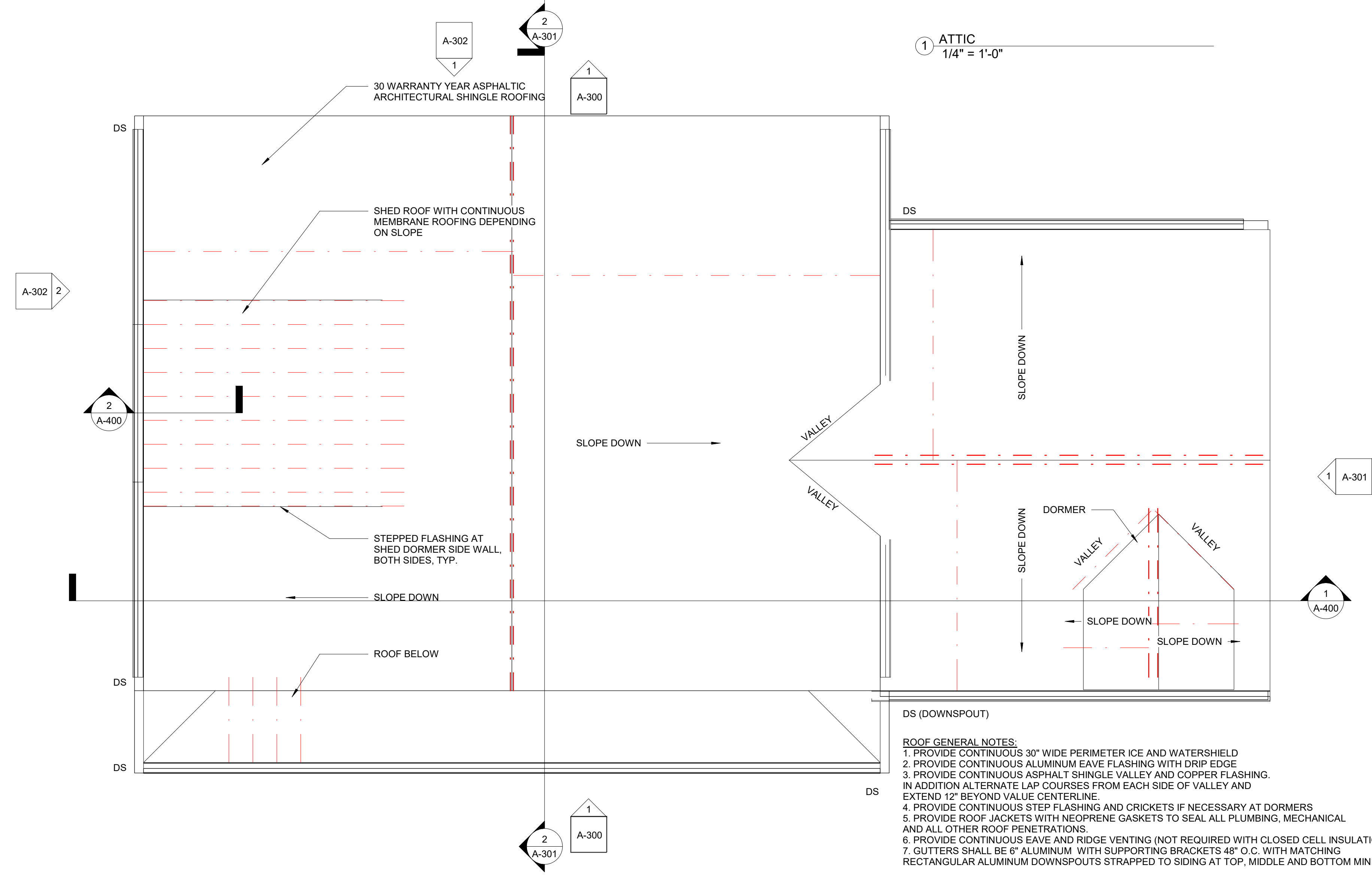
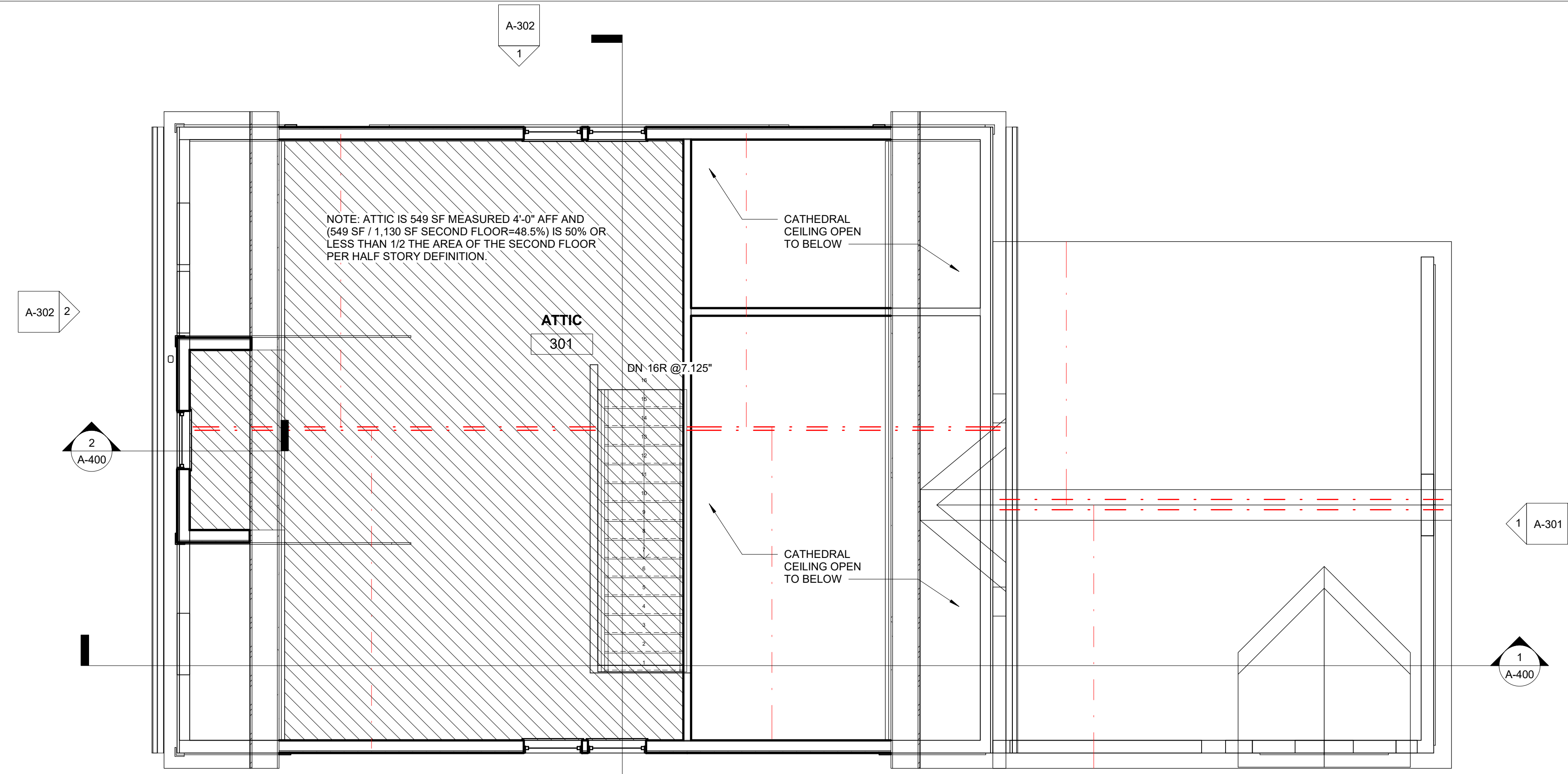
**TYPE B FIRST &
 SECOND FLOOR
 PLANS &
 FRAMING NOTES**

Project No. STA2019KEO
 Date 08 02 21
 Scale 1/4" = 1'-0"
 Drawn By GT
 Checked By CFT

A101

Kinsale Lane Sub-Division

Hyde Park, MA

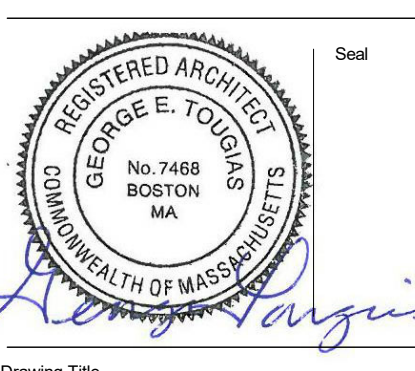


① ATTIC
1/4" = 1'-0"

② ROOF
1/4" = 1'-0"

- ROOF GENERAL NOTES:**
1. PROVIDE CONTINUOUS 30" WIDE PERIMETER ICE AND WATERSHIELD
 2. PROVIDE CONTINUOUS ALUMINUM EAVE FLASHING WITH DRIP EDGE
 3. PROVIDE CONTINUOUS ASPHALT SHINGLE VALLEY AND COPPER FLASHING. IN ADDITION ALTERNATE LAP COURSES FROM EACH SIDE OF VALLEY AND EXTEND 12" BEYOND VALLEY CENTERLINE.
 4. PROVIDE CONTINUOUS STEP FLASHING AND CRICKETS IF NECESSARY AT DORMERS
 5. PROVIDE ROOF JACKETS WITH NEOPRENE GASKETS TO SEAL ALL PLUMBING, MECHANICAL AND ALL OTHER ROOF PENETRATIONS.
 6. PROVIDE CONTINUOUS EAVE AND RIDGE VENTING (NOT REQUIRED WITH CLOSED CELL INSULATION).
 7. GUTTERS SHALL BE 6" ALUMINUM WITH SUPPORTING BRACKETS 48" O.C. WITH MATCHING RECTANGULAR ALUMINUM DOWNSPOUTS STRAPPED TO SIDING AT TOP, MIDDLE AND BOTTOM MINIMUM

No. Date Revision



Drawing Title

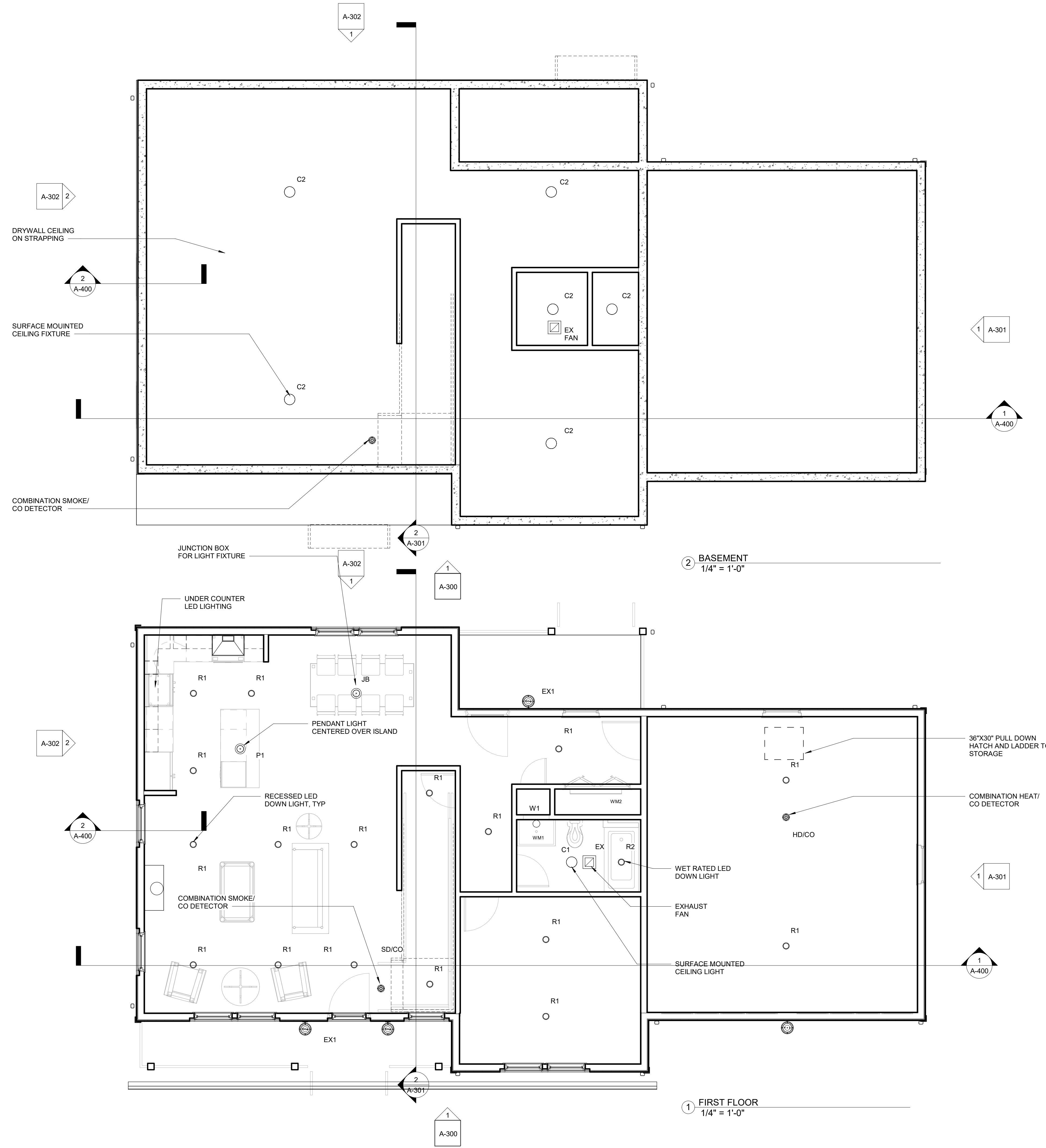
TYPE B ATTIC & ROOF PLANS

Project No. STA2019KEO
 Date 08 02 21
 Scale 1/4" = 1'-0"
 Drawn By GT
 Checked By CFT

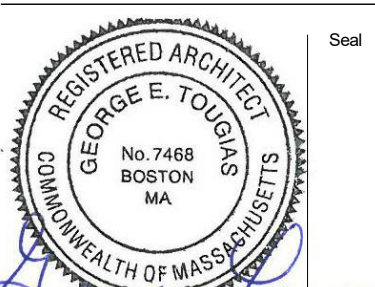
A102

**Kinsale Lane
 Sub-Division**

Hyde Park, MA



No. Date Revision



Drawing Title

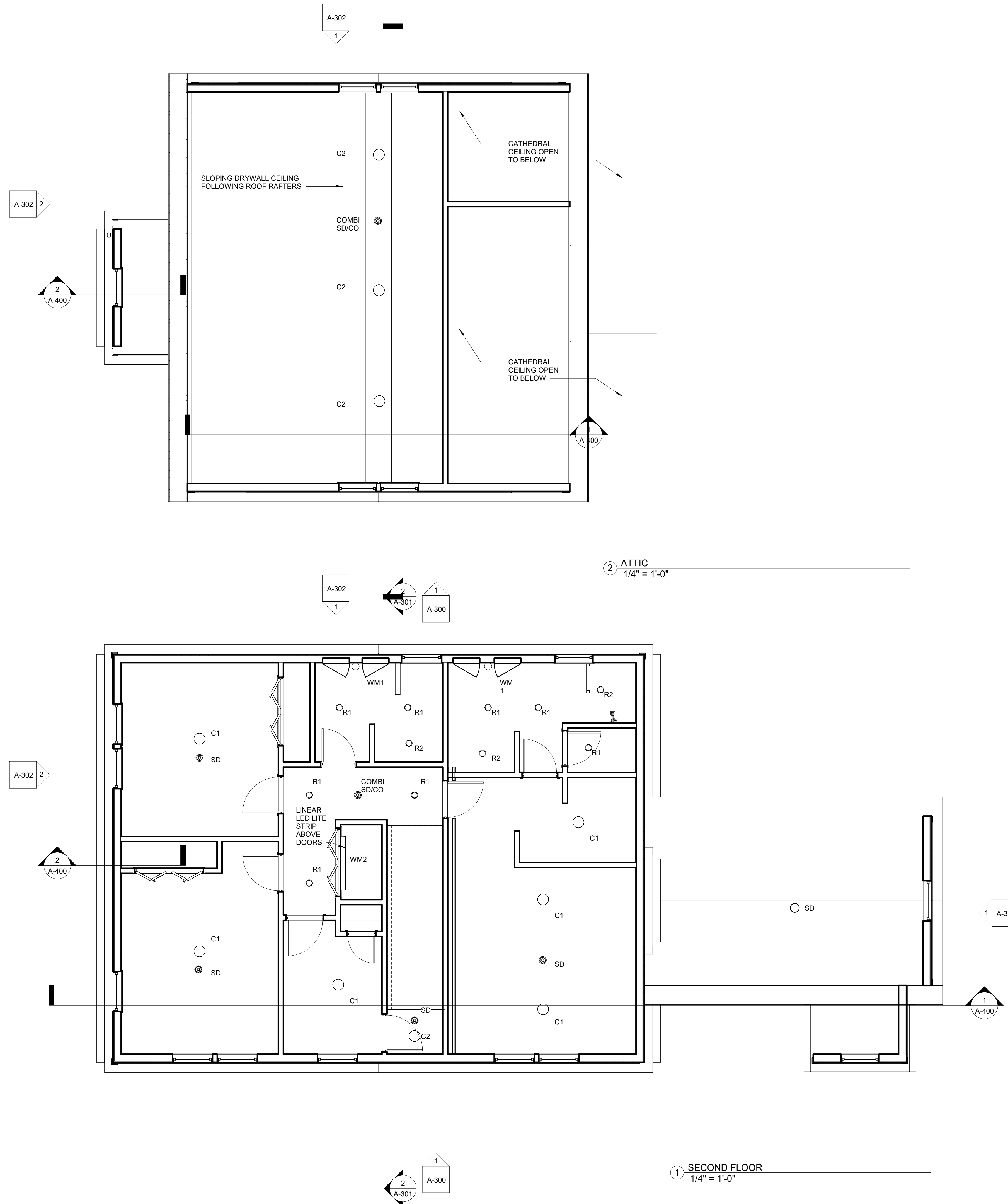
**BASEMENT &
 FIRST FLOOR
 REFLECTED
 CEILING PLANS
 UNIT TYPE B**

Project No. STA2019KEO
 Date 08 02 21
 Scale 1/4" = 1'-0"
 Drawn By GT
 Checked By CFT

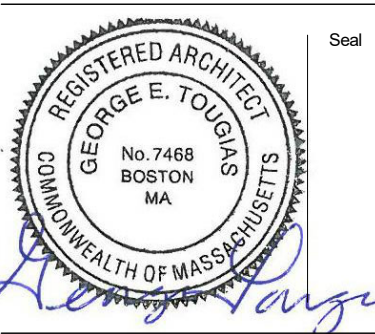
A-201

**Kinsale Lane
 Sub-Division**

Hyde Park, MA



No. Date Revision



Drawing Title

**SECOND AND
 ATTIC FLOOR
 REFLECTED
 CEILING PLANS**

Project No. STA2019KEO Drawing No. A-202
 Date 08 02 21
 Scale 1/4" = 1'-0"
 Drawn By GT Checked By CFT

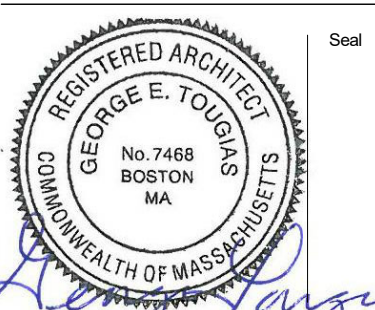
**Kinsale Lane
 Sub-Division**

Hyde Park, MA



1 STREET ELEVATION
 1/4" = 1'-0"

No. Date Revision



Drawing Title

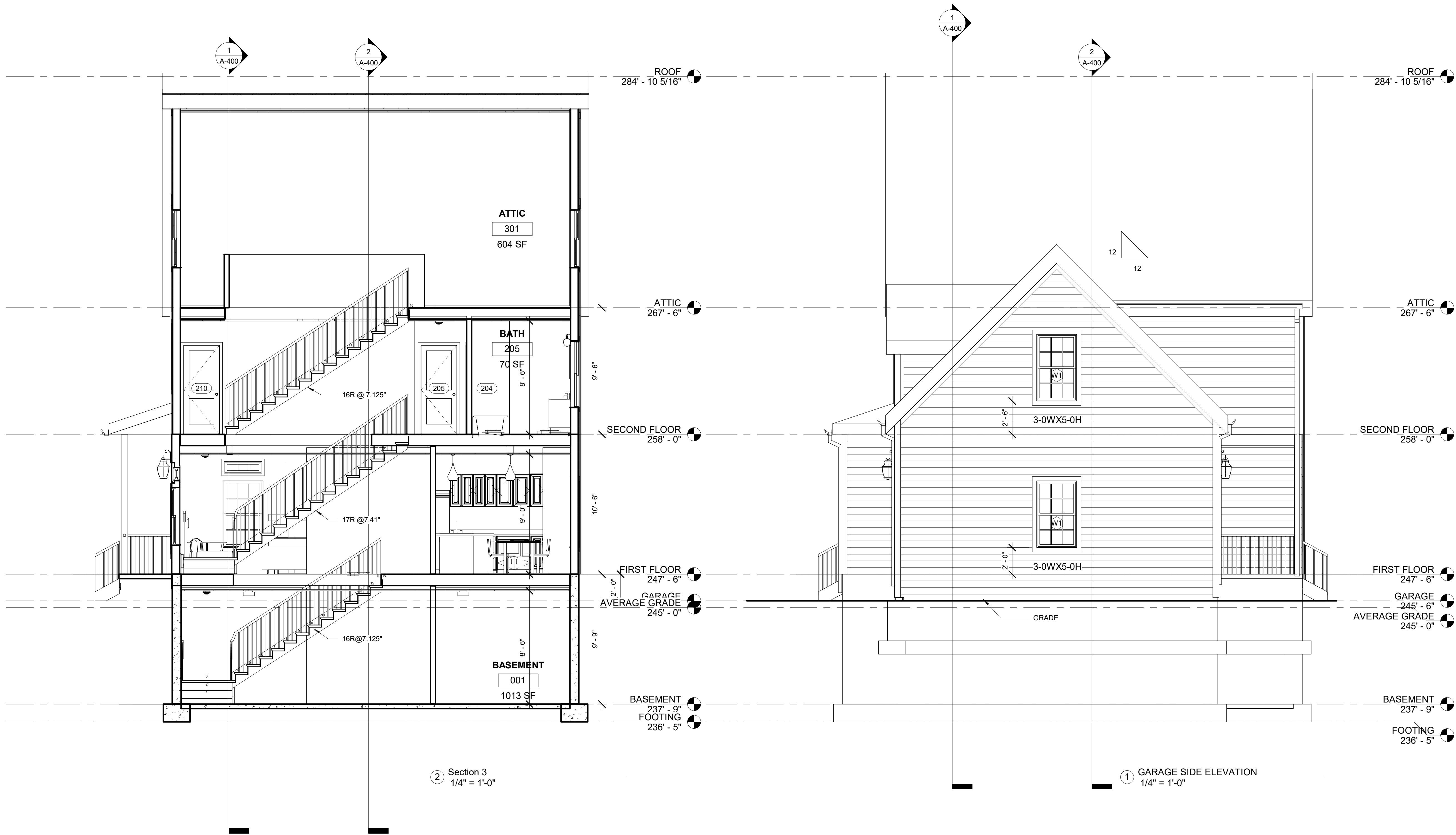
**TYPE B STREET
 ELEVATION**

Project No. STA2019KEO
 Date 08 02 21
 Scale 1/4" = 1'-0"
 Drawn By GT Checked By CFT

A-300

**Kinsale Lane
 Sub-Division**

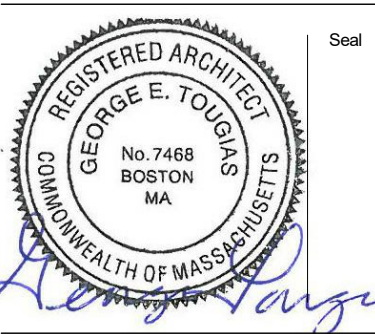
Hyde Park, MA



② Section 3
 1/4" = 1'-0"

① GARAGE SIDE ELEVATION
 1/4" = 1'-0"

No. Date Revision



Drawing Title

**TYPE B GARAGE
 SIDE ELEVATION
 & BUILDING
 SECTION**

Project No. STA2019KEO

Date 08 02 21

Scale 1/4" = 1'-0"

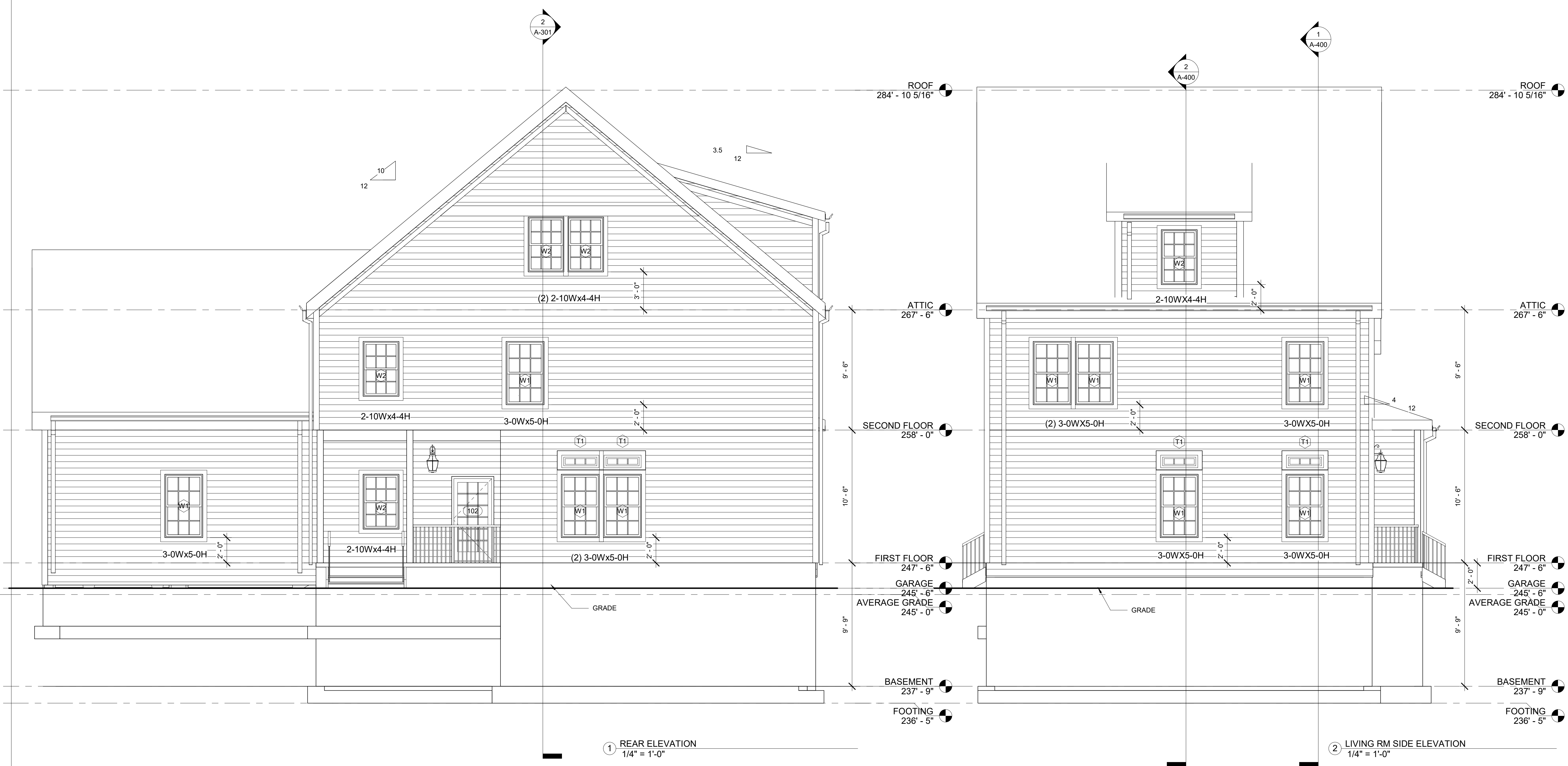
Drawn By GT

Checked By CFT

A-301

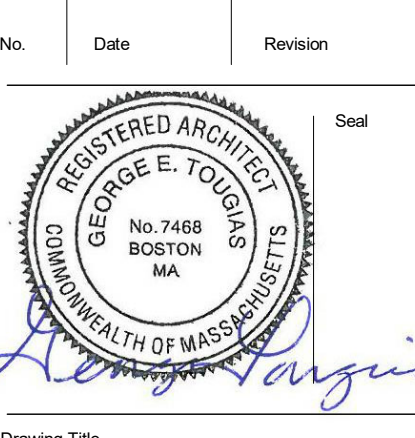
**Kinsale Lane
 Sub-Division**

Hyde Park, MA



① REAR ELEVATION
 1/4" = 1'-0"

② LIVING RM SIDE ELEVATION
 1/4" = 1'-0"

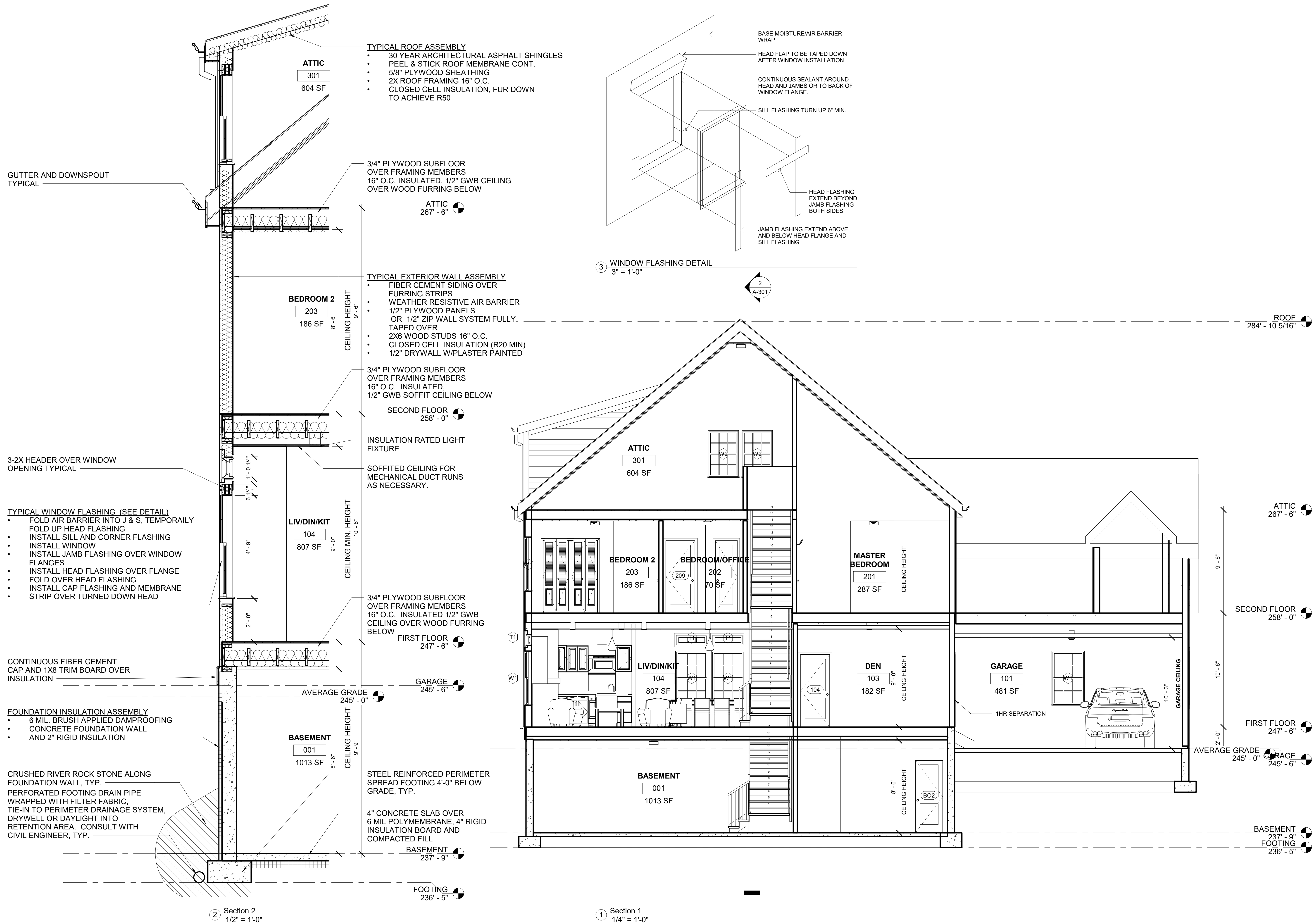


**TYPE B REAR &
 LIVING ROOM
 SIDE
 ELEVATIONS**

Project No.	STA2019KEO	Drawing No.	A-302
Date	08 02 21		
Scale	1/4" = 1'-0"		
Drawn By	GT	Checked By	

**Kinsale Lane
 Sub-Division**

Hyde Park, MA



No. _____ Date _____ Revision _____

Seal
 REGISTERED ARCHITECT
 GEORGE E. TOUGIAS
 No. 7468
 BOSTON
 MA
 COMMONWEALTH OF MASSACHUSETTS
George E. Tougias

**TYPE B BUILDING
 SECTION & WALL
 SECTION**

Project No. STA2019KEO Drawing No. A-400
 Date 08 02 21
 Scale As indicated
 Drawn By GT Checked By CFT