

- LEGEND**
- DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - SEWER MANHOLE (SMH)
 - ELECTRIC MANHOLE (EMH)
 - TELEPHONE MANHOLE (TMH)
 - GAS GATE (GG)
 - GAS SERVICE (GS)
 - WATER GATE (WG)
 - WATER SERVICE (WS)
 - HYDRANT (HYD)
 - SPLASH BLOCK
 - LIGHT POLE (LP)
 - UTILITY POLE (UP)
 - UTILITY POLE w/LIGHT (UPLP)
 - HAND HOLE (HH)
 - VERTICAL GRANITE CURB (GC)
 - EP EDGE OF PAVEMENT (EP)
 - ▲ SIGN

BENCHMARKS

REFERENCE BENCHMARK: TBM-1 (FROM PWD ENGINEERING RECORDS) LEFT OUTER CORNER OF LOWEST STONE STEP AT 4294 WASHINGTON STREET - ELEVATION=93.19 (BOSTON CITY BASE)

CONSTRUCTION BENCHMARK: TBM-2 SPIKE SET IN UTILITY POLE 1102-3 AT THE NORTHWEST CORNER OF THE ALBANO ST. & CLIFTONDALE ST. INTERSECTION - EL=138.77 (BCB)

MATERIAL SPECIFICATIONS

THE PROPOSED WATER SERVICE SHALL BE 1" TYPE K COPPER PIPE.

THE PROPOSED SEWER SHALL BE 6" PVC SDR-35 PIPE AND FITTINGS.

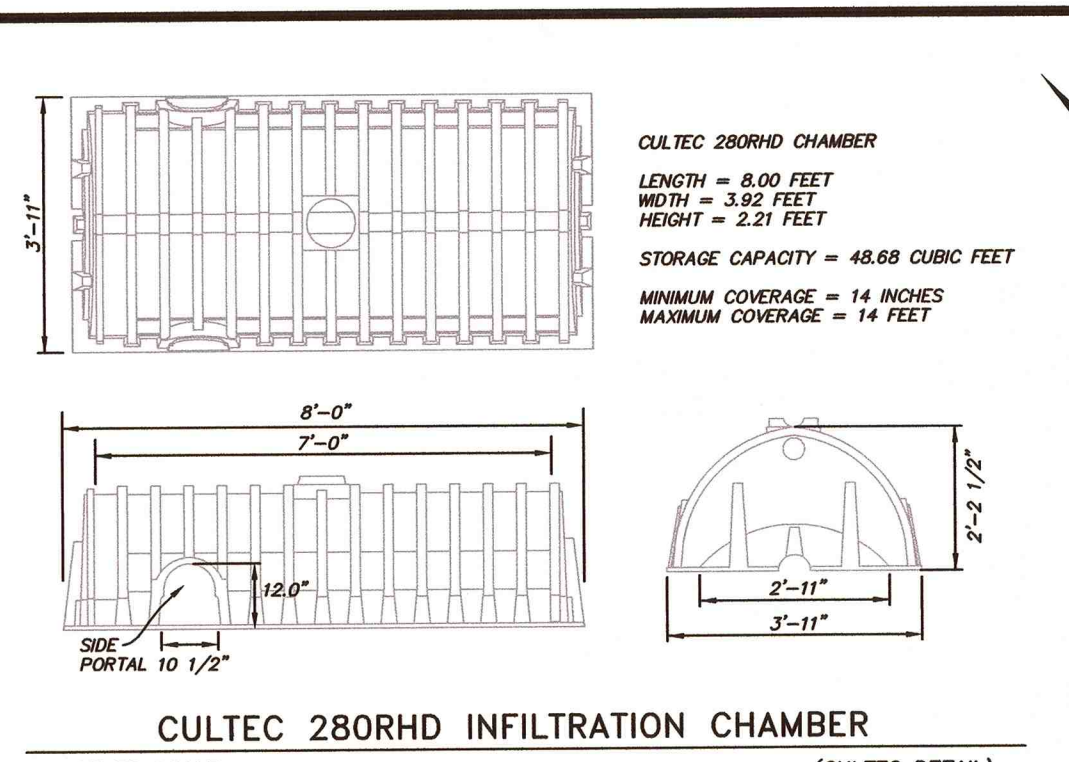
THE PROPOSED DRAINAGE PIPING SHALL CONSIST OF 4" ADS PIPE AND FITTINGS AS SHOWN ON THE PLAN.

THE PROPOSED STRUCTURES USED FOR THE PROPOSED GROUNDWATER INFILTRATION SYSTEMS WILL CONSIST OF TWO (2) CULTEC 280RHD CHAMBERS OR AN APPROVED EQUAL AS SHOWN ON THE PLAN.

STORM WATER INFILTRATION NOTES

THE EXISTING IMPERVIOUS AREA ON THE LOT IS 219 SQUARE FEET. THE PROPOSED IMPERVIOUS AREA IS 1,818 SQUARE FEET, AN INCREASE OF 1,599 SQUARE FEET. THE COMMISSION REQUIRES THAT THE PROPERTY HAS AN INFILTRATION SYSTEM CAPABLE OF STORING AT LEAST 1 INCH OF STORM WATER PER SQUARE FOOT OF POST-CONSTRUCTION IMPERVIOUS AREA ON THE SITE. THE PROPOSED INFILTRATION SYSTEM MUST HAVE A MINIMUM STORAGE CAPACITY OF 151.49 CUBIC FEET TO COMPLY WITH THE COMMISSION'S REQUIREMENTS. (1,818 SF x 0.08333 FT = 151.49 CF)

THERE WILL BE TWO (2) INFILTRATION SYSTEMS LOCATED IN THE FRONT AND REAR YARDS OF THE SITE. BOTH SYSTEMS WILL USE CULTEC 280RHD CHAMBERS SET IN A 10.00' x 5.92' x 3.21' STONE BED. THE FRONT SYSTEM WILL COLLECT STORM WATER FROM THE ROOF AND A TRENCH DRAIN COLLECTING RUNOFF FROM THE DRIVEWAY AREA. THE REAR SYSTEM WILL CAPTURE STORM WATER FROM THE REAR ROOF AREA. WHEN THE SYSTEMS REACH CAPACITY THEY WILL OVERFLOW FROM SPLIT FLOW DIVERTERS TO SPLASH BLOCKS AS SHOWN ON THE PLANS. THE TWO RECHARGE SYSTEMS HAVE A COMBINED STORM WATER STORAGE CAPACITY OF 182.16 CUBIC FEET (151.49 CF REQUIRED) AND WILL PROVIDE 1.20 INCHES OF STORAGE PER SQUARE FOOT OF IMPERVIOUS AREA (1 INCH REQUIRED). SEE SHEET 2 OF 2 FOR CALCULATIONS AND DETAILS.



NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON RECORD INFORMATION OBTAINED FROM THE CITY OF BOSTON ASSESSING AND ENGINEERING DEPARTMENTS, THE SUFFOLK COUNTY REGISTRY OF DEEDS, THE NORFOLK COUNTY REGISTRY OF DEEDS, THE MASSACHUSETTS LAND COURT AND THE BOSTON WATER AND SEWER COMMISSION AND AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED BY NORWOOD ENGINEERING COMPANY CO., INC. IN JUNE, 2014.

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON FIELD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 IN WRITING 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN ADVANCE OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

ASSESSOR'S PARCEL 18-04543-00 (11,885 SF) IS TO BE SUBDIVIDED INTO TWO LOTS, LOT '1' (5,917 SF) AND LOT '2' (5,938 SF).

SEE ARCHITECTURAL PLANS ENTITLED "ALBANO STREET - LOT 1, ROSLINDALE NEIGHBORHOOD - BOSTON, MA" AND "ALBANO STREET - LOT 2, ROSLINDALE NEIGHBORHOOD - BOSTON, MA" DATED JUNE 28, 2014, PREPARED BY STUDIO 11 DESIGN, 596 WASHINGTON STREET, CANTON, MA, 02021 (PHONE: 781-424-2943)

THIS PROJECT WILL REQUIRE UTILITY CONNECTIONS, NEW CURB CUTS AND SIDEWALK REPAIRS IN ALBANO STREET AND HAS NOT ENTERED INTO THE CITY OF BOSTON COBUCS PROGRAM. THERE ARE NO CONFLICTS WITH ANY COMPLETED OR FUTURE ROADWAY IMPROVEMENTS.

THE EXCAVATION AREA FOR THE UTILITY CONNECTIONS IN ALBANO STREET, A PUBLIC WAY, IS APPROXIMATELY 222 SF±.

PROPOSED USAGE: SINGLE-FAMILY DWELLING (4 BEDROOMS) 4 BEDROOMS X 110 GAL. / BEDROOM / DAY = 440 GAL. PER DAY

THE EXISTING WATER AND SEWER SERVICE LOCATIONS SHOWN ARE FROM AVAILABLE BWSOC RECORD DATA AND ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE THE EXISTING WATER AND SEWER LINES. IF THE EXISTING SEWER SERVICE IS TO BE USED THE CONTRACTOR SHALL VISUALLY INSPECT THE LINE BY EXCAVATION AND OR BY VIDEO OF THE PIPE AS REQUIRED BY THE COMMISSION.

THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWSOC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (MDPW) CONSTRUCTION STANDARDS AND THE MDPW "STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGES", UNLESS OTHERWISE SPECIFIED BY THE BOSTON WATER AND SEWER COMMISSION (BWSOC), THE BOSTON PUBLIC WORKS DEPARTMENT (PWD), THE BOSTON TRAFFIC AND PARKING DEPARTMENT (BTD) OR ANY OTHER AGENCY WITH AUTHORITY IN THE AREA.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION IS REQUIRED WHERE A SEWER LINE PASSES A WATER OR DRAIN LINE. OTHERWISE, THE WATER, SEWER AND DRAIN LINES SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET FROM THE CROSSING POINT.

THE CONTRACTOR SHALL SUPPLY THE COPPER SERVICE AND SHALL PERFORM THE TAP AS PART OF HIS CONTRACT.

NEW WATER LINES SHALL BE A MINIMUM OF TEN FEET AWAY FROM ALL SEWER LINES, EXISTING OR PROPOSED.

IT IS RECOMMENDED THAT DIGGING WITHIN ONE FOOT OF THE MAIN BE DONE WITH HAND TOOLS ONLY.

THE CONTRACTOR SHALL FILE APPLICATIONS FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THE PROJECT AND ANY ASBUILT PLANS REQUIRED BY THE CONTROLLING AUTHORITIES.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED ASBUILT PLANS.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND APPROVED BY THE CONTROLLING AUTHORITY.

THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES DURING CONSTRUCTION. ALL WORK SHALL CONFORM TO CURRENT U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

ANY PROPOSED GAS, ELECTRIC, STEAM, TELEPHONE, CABLE OR OTHER UTILITY LINES ARE TO BE LOCATED AND SIZED BY OTHERS. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

ALL NEW CONSTRUCTION WILL REQUIRE A ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT BEFORE FILING FOR A GENERAL SERVICE APPLICATION.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

IF PLUMBING FIXTURES ARE TO BE INSTALLED IN THE BASEMENT THEY WILL REQUIRE THE PROTECTION OF A BACKWATER VALVE. (SEE DETAIL)

IT IS REQUIRED THAT A DYE TEST WILL BE PERFORMED BY THE BOSTON WATER AND SEWER COMMISSION INSPECTOR BEFORE THE STRUCTURE IS OCCUPIED.

THE WATER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR. UNLESS DIRECTED OTHERWISE, ALL WATER LINES SHALL BE INSTALLED 5' TO 6' BELOW GRADE, WHERE REQUIRED THRUST RESTRAINTS SHALL BE INSTALLED PER THE COMMISSION'S STANDARD DETAILS. THE ACTUAL METHOD OF RESTRAINT WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS.

ZONING CLASSIFICATION

ROSLINDALE NEIGHBORHOOD DISTRICT RESIDENTIAL SUBDISTRICT ZF-5000 ARTICLE 67 - TABLE C

DEED REFERENCE:
SUFFOLK COUNTY REGISTRY BOOK 36923 - PAGE 52

ASSESSOR'S REFERENCE:
PARCEL 18-04543-000 MAP No. 18072

CITY STREET LAYOUTS:
ALBANO STREET L-1372
AVERTON AVENUE SS-1033
CLIFTONDALE STREET L-4438

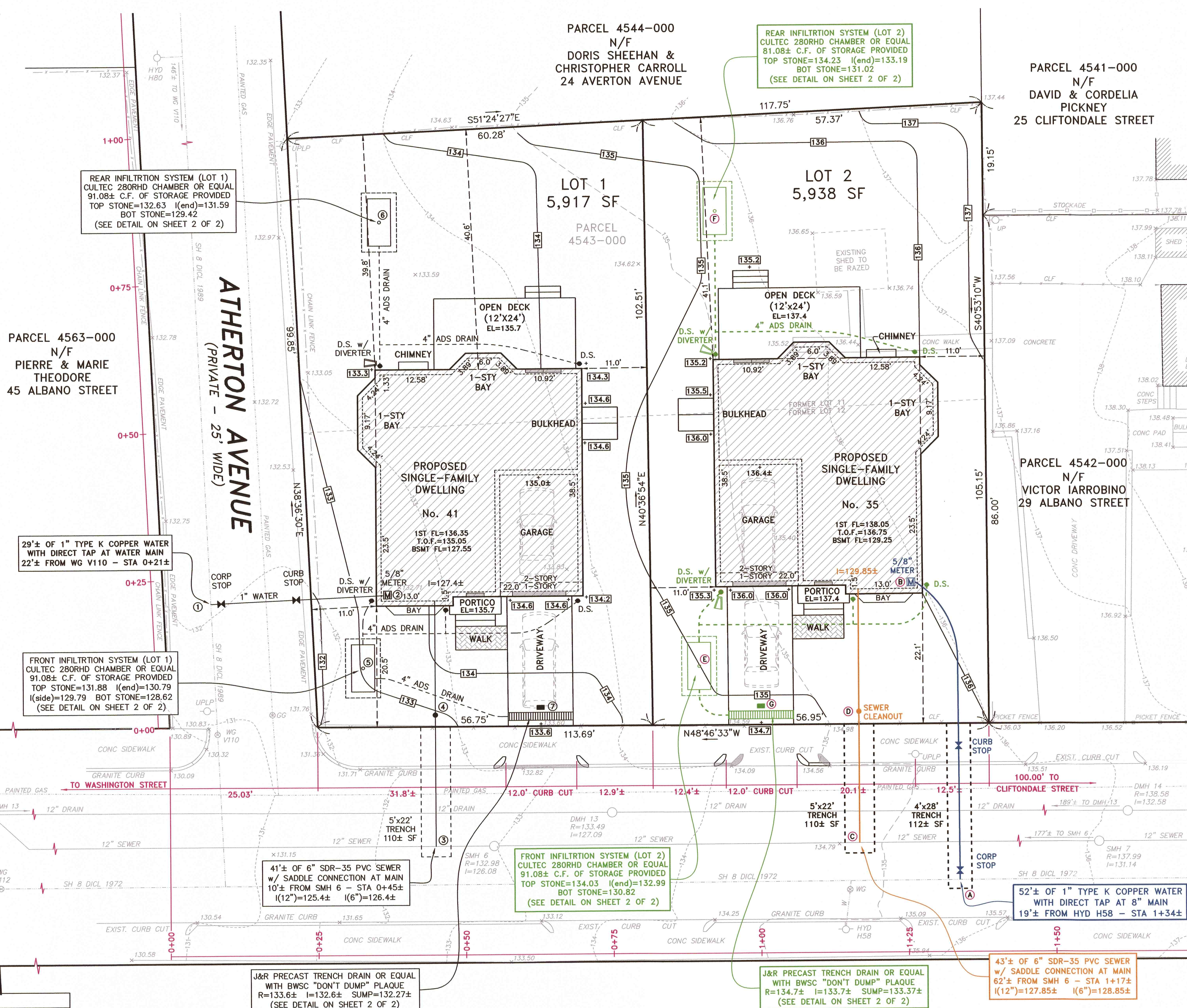
CITY FIELD NOTES:
BOOK 1298 PAGE 116
BOOK 1069 PAGE 28
BOOK 1024 PAGE 144
BOOK 645 PAGE 132
BOOK 423 PAGE 2
BOOK 139 PAGE 72

PLAN REFERENCE:
SUFFOLK COUNTY REGISTRY PLAN No. 249 OF 2007
PLAN No. 224 OF 2007
PLAN No. 222 OF 2007
BOOK 20165 PAGE 80
BOOK 19783 PAGE END
BOOK 7065 PAGE 284
BOOK 7979 PAGE 125
BOOK 4982 PAGE 22
BOOK 4434 PAGE 45
BOOK 3974 PAGE 206
BOOK 3574 PAGE 426
BOOK 3553 PAGE 441
BOOK 2060 PAGE 522
BOOK 1707 PAGE 172

NORFOLK COUNTY REGISTRY
BOOK 444 PAGE END
BOOK 219 PAGE 321

MASSACHUSETTS LAND COURT
LC PLAN 39875 - PAGE 284
LC PLAN 18161-A
LC PLAN 7386-A

BWSOC RECORDS:
WATER & SEWER G.I.S. MAPS
BWSOC SITE PLAN No. 05079



REAR INFILTRATION SYSTEM (LOT 2)
CULTEC 280RHD CHAMBER OR EQUAL
81.08± C.F. OF STORAGE PROVIDED
TOP STONE=134.23 I(end)=133.19
BOT STONE=131.02
(SEE DETAIL ON SHEET 2 OF 2)

REAR INFILTRATION SYSTEM (LOT 1)
CULTEC 280RHD CHAMBER OR EQUAL
91.08± C.F. OF STORAGE PROVIDED
TOP STONE=132.63 I(end)=131.59
BOT STONE=129.42
(SEE DETAIL ON SHEET 2 OF 2)

FRONT INFILTRATION SYSTEM (LOT 1)
CULTEC 280RHD CHAMBER OR EQUAL
91.08± C.F. OF STORAGE PROVIDED
TOP STONE=131.88 I(end)=130.79
I(side)=129.79 BOT STONE=128.62
(SEE DETAIL ON SHEET 2 OF 2)

FRONT INFILTRATION SYSTEM (LOT 2)
CULTEC 280RHD CHAMBER OR EQUAL
91.08± C.F. OF STORAGE PROVIDED
TOP STONE=134.03 I(end)=132.99
BOT STONE=130.82
(SEE DETAIL ON SHEET 2 OF 2)

41'± OF 6" SDR-35 PVC SEWER w/ SADDLE CONNECTION AT MAIN
10'± FROM SMH 6 - STA 0+45±
I(12")=125.44 I(6")=126.4±

52'± OF 1" TYPE K COPPER WATER WITH DIRECT TAP AT 8" MAIN
19'± FROM HYD H58 - STA 1+34±

43'± OF 6" SDR-35 PVC SEWER w/ SADDLE CONNECTION AT MAIN
62'± FROM SMH 6 - STA 1+17±
I(12")=127.85± I(6")=128.85±

PWD USE ONLY

CITY OF BOSTON PUBLIC WORKS DEPARTMENT
APPROVAL OF SITE UTILITY/GRADING PLAN

Approving the relationship gradewise of the proposed building to the abutting public way(s) and DOES NOT consider the approval of new/modified curb cuts.

Apparent building projections over the public way? Yes X No

Any building projections over the public way, noted or otherwise, require additional permitting.

TODD M. LIMING, PE, Principal Civil Engineer DATE

SEE CURB CUT NOTES AND DETAIL ON SHEET 2 OF 2

BWSOC USE ONLY

BOSTON WATER AND SEWER COMMISSION
LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS

Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for issue of Building Permit Only. Additional Permits must be obtained from B.W.S.C. prior to connection to B.W.S.C. facilities. Site Plans are valid for a period of one (1) year from date of approval.

JOHN P. SULLIVAN, JR. P.E., Chief Engineer DATE

BACKWATER VALVE INSTALLATION
APPROVAL: N.A. DATE: N.A.

NOTE: ARCHITECTURAL PLANS SHOW NO PLUMBING FIXTURES IN THE BASEMENT.
All water, sewer and drain service connections to Boston Water and Sewer Commission facilities must be performed by a bonded drain layer licensed by the Boston Water and Sewer Commission.

BWSOC INSPECTIONS

35 ALBANO STREET (LOT 2) BWSOC ACCOUNT No. _____

G.S.A. No. _____ WATER METER No. _____

ASSESSOR'S PARCEL PORTION OF PARCEL 18-4543-000

LAND USE CODE (R1) PROPOSED SINGLE-FAMILY DWELLING

ISD BUILDING PERMIT APPLICATION No. ERT379792

(A) 1" TYPE K COPPER WATER (STA 1+34)	INSPECTOR _____	DATE _____
(B) 5/8" WATER METER (INSIDE)	INSPECTOR _____	DATE _____
(C) 6" PVC SDR-35 SEWER (STA 1+17)	INSPECTOR _____	DATE _____
(D) SEWER CLEANOUT (STA 1+17)	INSPECTOR _____	DATE _____
(E) DYE TEST (SEWER)	INSPECTOR _____	DATE _____
(F) FRONT INFILTRATION SYSTEM (CULTEC 280RHD CHAMBER)	INSPECTOR _____	DATE _____
(G) REAR INFILTRATION SYSTEM (CULTEC 280RHD CHAMBER)	INSPECTOR _____	DATE _____
(H) J&R PRECAST DRIVEWAY TRENCH DRAIN	INSPECTOR _____	DATE _____
(I) BWSOC "DON'T DUMP" PLAQUE	INSPECTOR _____	DATE _____

BUILDING PERMIT APPLICATION NUMBERS

THIS PLAN HAS BEEN SUBMITTED WITH A SECOND SITE PLAN FOR 41 ALBANO STREET PREPARED BY NORWOOD ENGINEERING ENTITLED "BWSOC SITE PLAN No. 41 ALBANO STREET (LOT 1), BOSTON, MA (ROSLINDALE DISTRICT 02131-3535) DATED JULY 12, 2014. THE PROJECT HAS BEEN SUBMITTED TO THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT. SEE BUILDING PERMIT APPLICATION No. ERT379792 (35 ALBANO ST) AND PERMIT APPLICATION No. ERT379786 (41 ALBANO STREET).

CONTACT INFORMATION

OWNER: VICTOR IARROBINO
29 ALBANO STREET
ROSLINDALE, MA 02131
PH: 617-699-6330

APPLICANT: CORVO CONSTRUCTION CORP.
21 MAZZEO DRIVE - UNIT 1
RANDOLPH, MA 02368
PH: 617-212-3041

CONTACT: ANTHONY RUSCITO

BWSOC SITE PLAN No. _____

35 ALBANO STREET (LOT 2)

BOSTON, MASS.

(ROSLINDALE DISTRICT 02131-3535)

SCALE: 1"=10' JULY 12, 2014

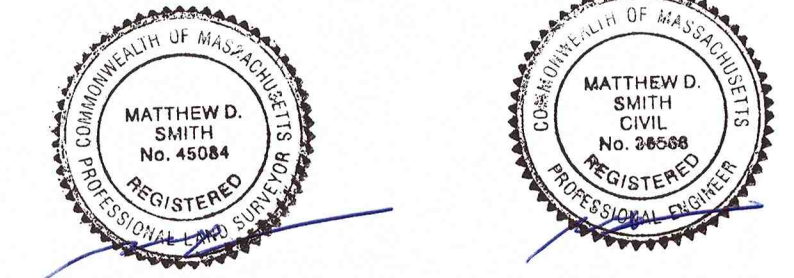
NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595

METERS 0 2.5 5 10
FEET 0 5 10 20 30

SHEET No. 1 OF 2 6848-16

WASHINGTON STREET

ALBANO STREET
(PUBLIC - 40' WIDE - LAYOUT L-1372)



NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING CODE
 (780 CMR - 8TH EDITION)

RIDGE VENTS TO CODE
 ARCHITECTURAL PROFILE
 ASPHALT SHINGLES ON
 15# ROOFING FELT

ALUM. GUTTERS &
 DOWNSPOUTS

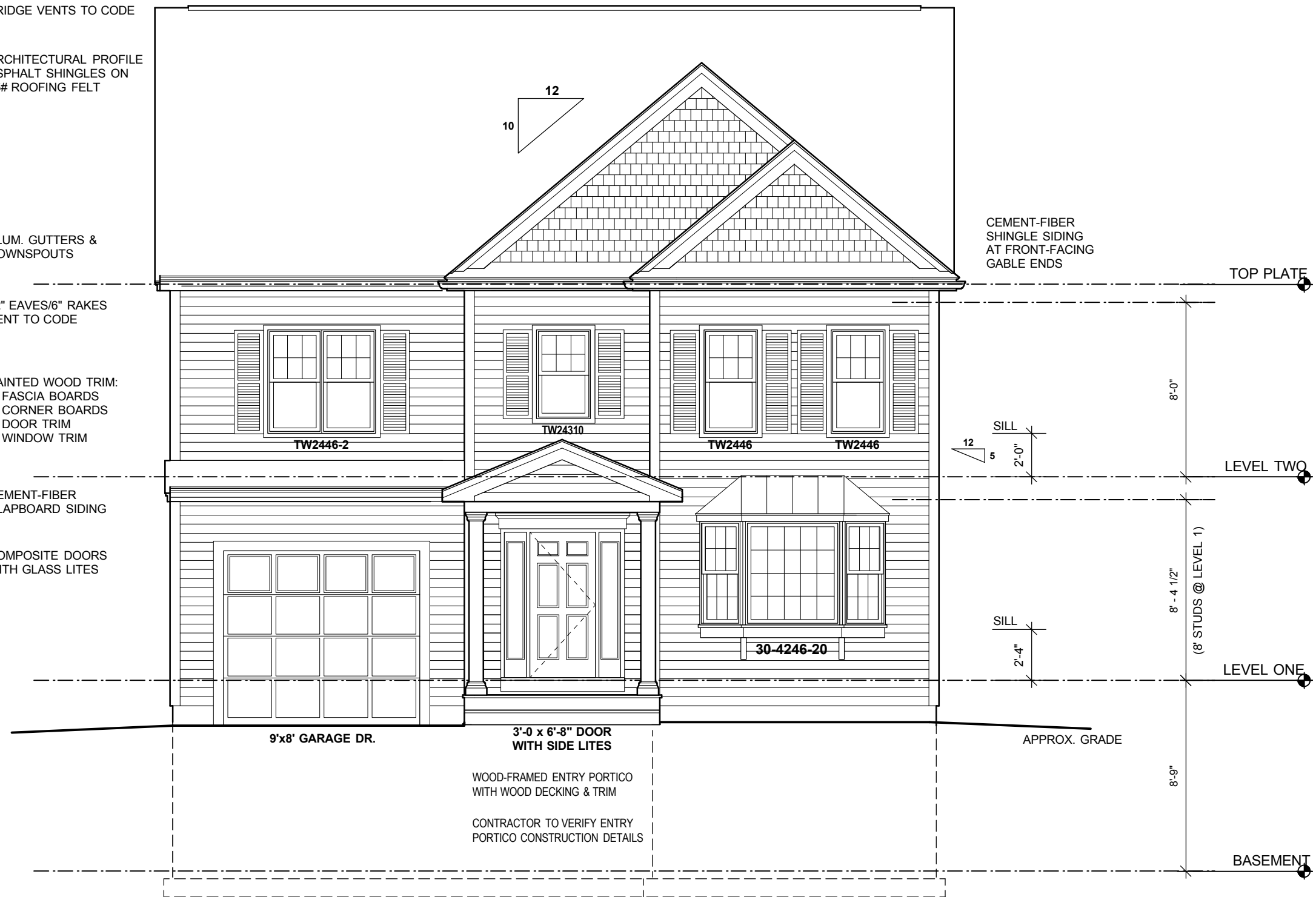
12" EAVES/6" RAKES
 VENT TO CODE

PAINTED WOOD TRIM:
 8" FASCIA BOARDS
 6" CORNER BOARDS
 6" DOOR TRIM
 4" WINDOW TRIM

CEMENT-FIBER
 CLAPBOARD SIDING

COMPOSITE DOORS
 WITH GLASS LITES

CEMENT-FIBER
 SHINGLE SIDING
 AT FRONT-FACING
 GABLE ENDS



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

PROPOSED NEW RESIDENCE:

**ALBANO STREET - LOT 2
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

6/28/14

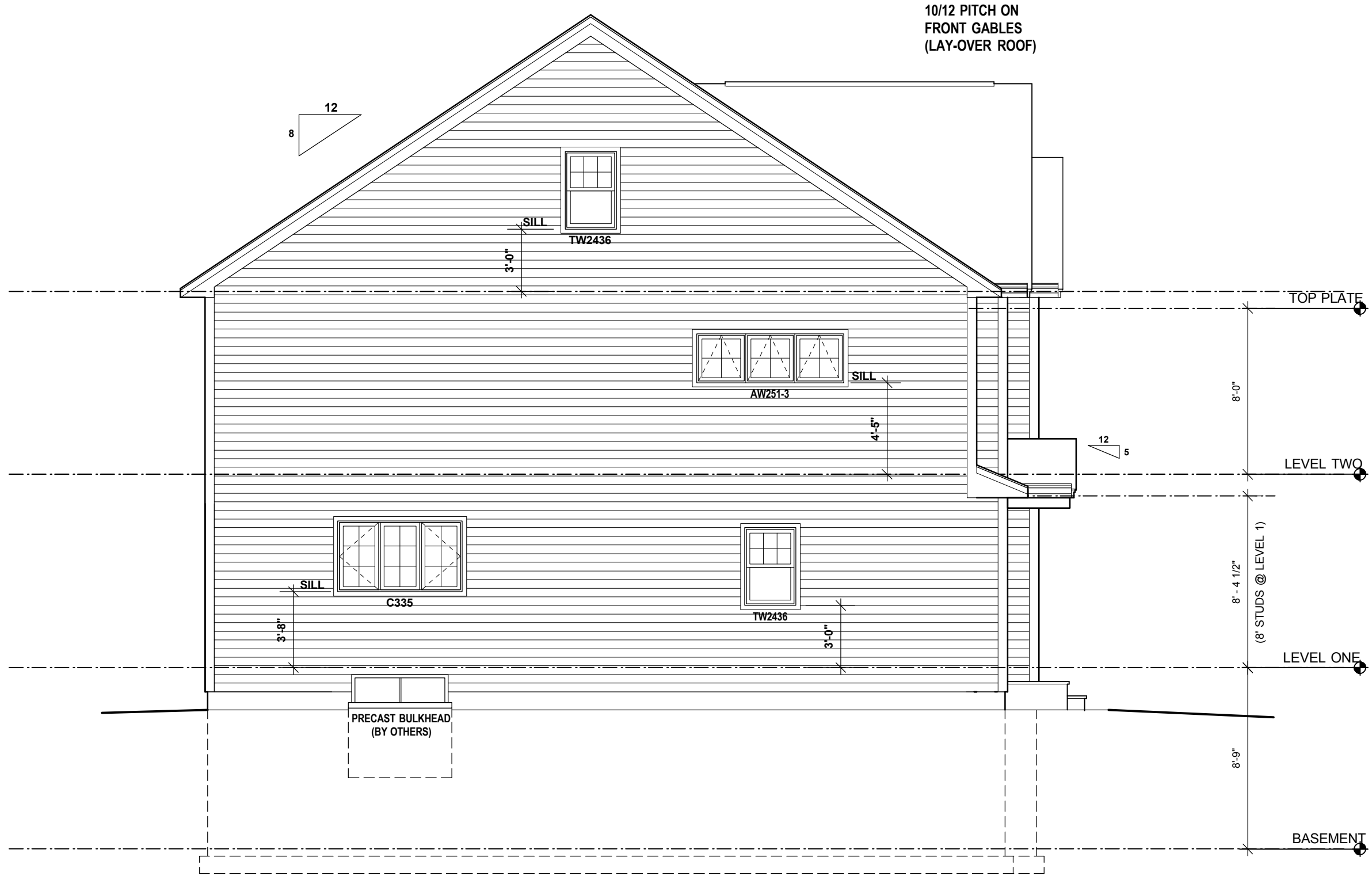
PERMIT DWGS

A-1

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NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING CODE
 (780 CMR - 8TH EDITION)



10/12 PITCH ON
 FRONT GABLES
 (LAY-OVER ROOF)

SIDE ELEVATION (DRIVE)

SCALE: 3/16" = 1'-0"

WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW
 SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY.
 WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
 SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
 WHERE APPLICABLE.

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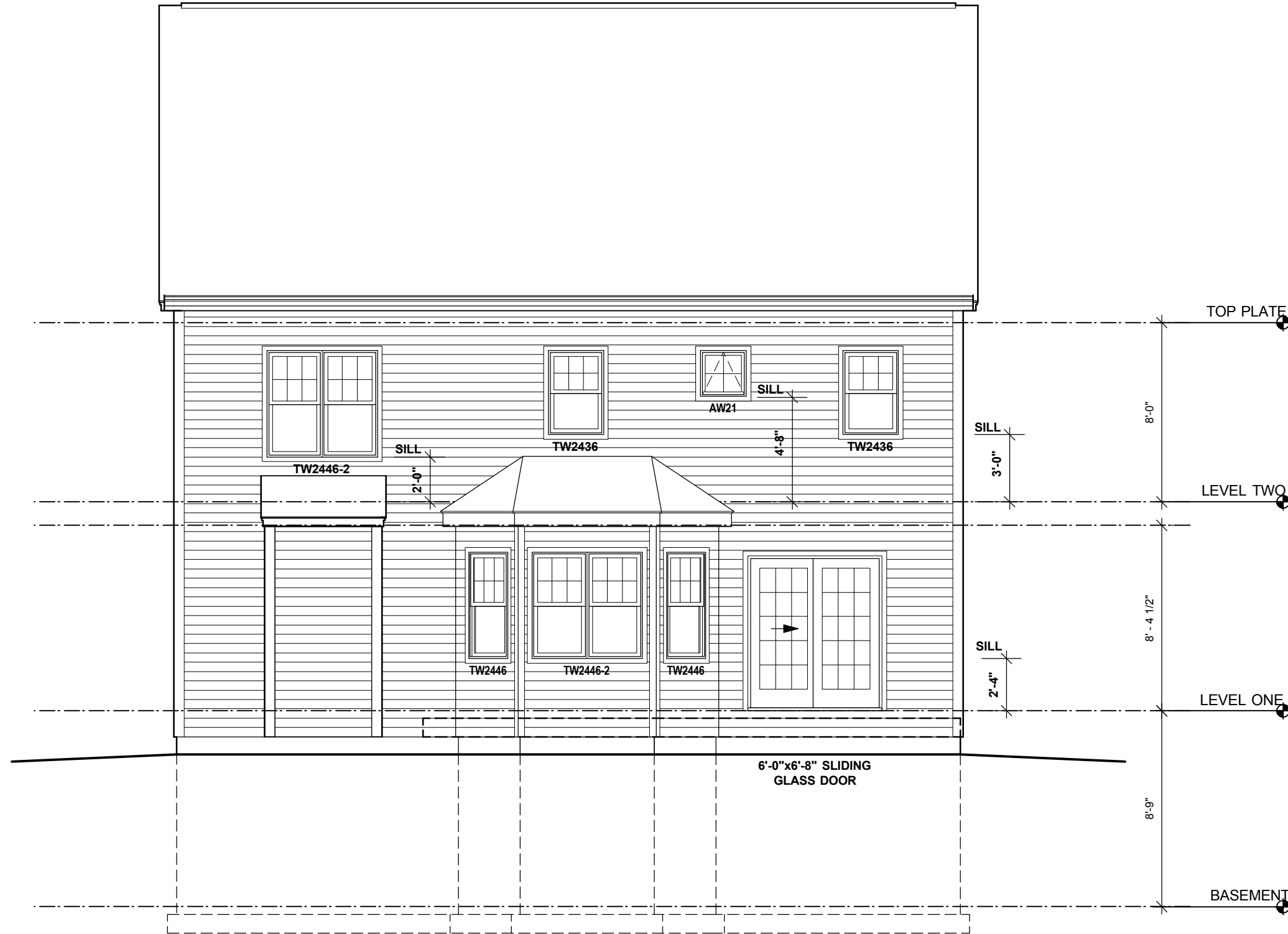
ALBANO STREET - LOT 2
ROSLINDALE NEIGHBORHOOD - BOSTON, MA

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PERMIT DWGS 6/28/14

A-2

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REAR ELEVATION

SCALE: 3/16" = 1'-0"

WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY. WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.

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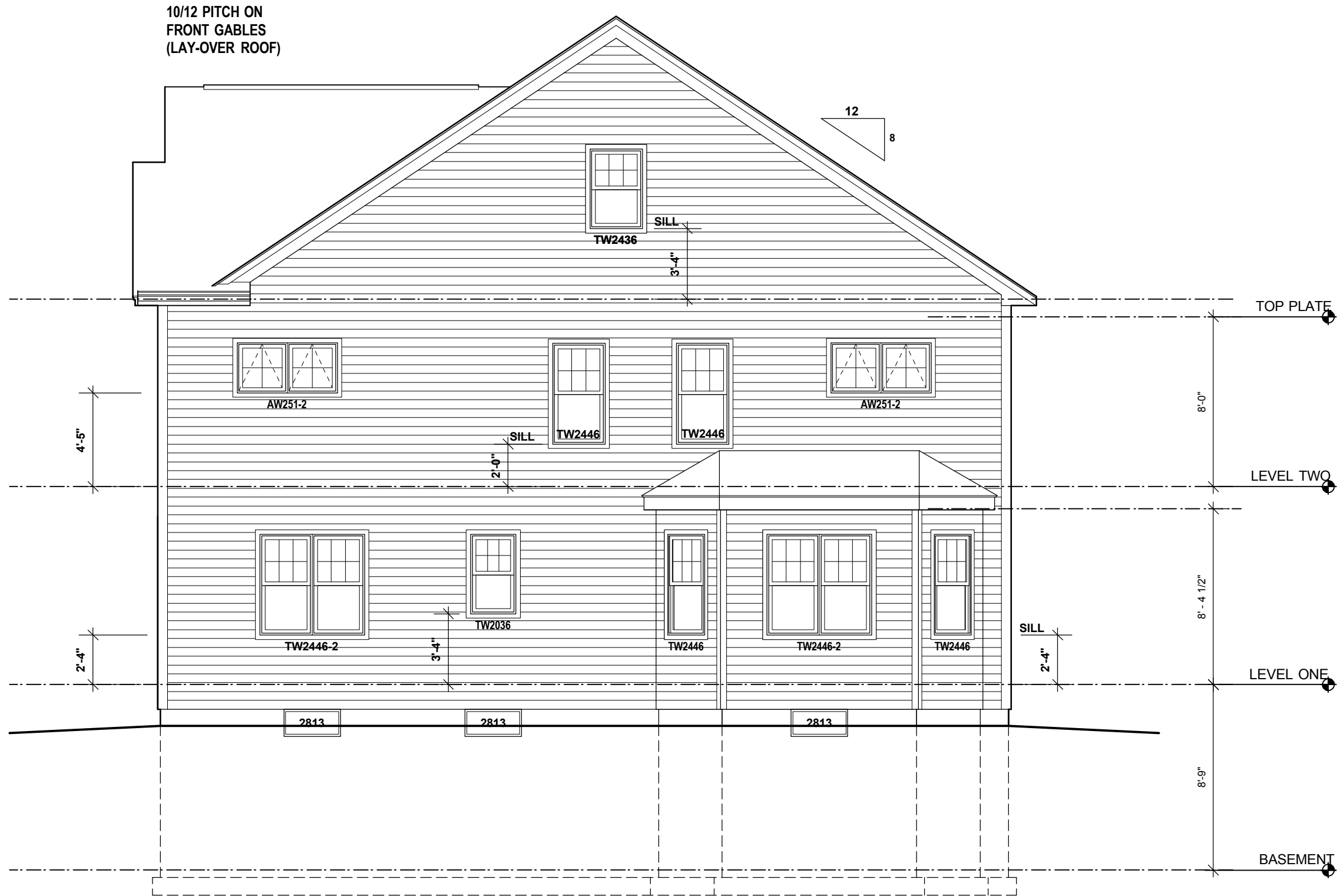
**ALBANO STREET - LOT 2
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

PERMIT DWGS 6/28/14

A-3

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NOTES:
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 & MATERIALS TO COMPLY WITH
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 (780 CMR - 8TH EDITION)



SIDE ELEVATION (YARD)

SCALE: 3/16" = 1'-0"

PROPOSED NEW RESIDENCE:

**ALBANO STREET - LOT 2
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

PERMIT DWGS 6/28/14

A-4

WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW
 SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY.
 WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
 SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
 WHERE APPLICABLE.

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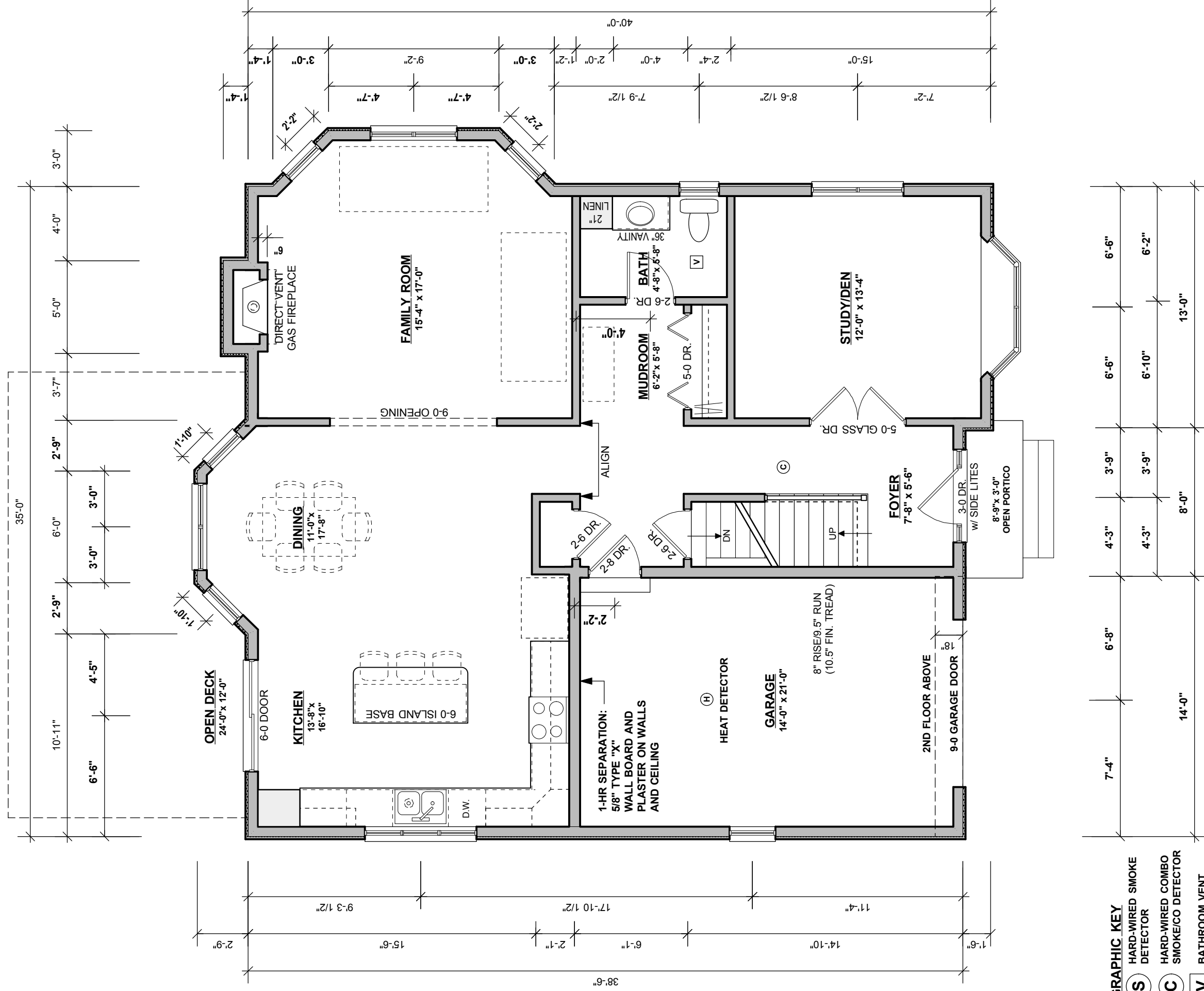
DIMENSION STANDARDS:

- * EXTERIOR WALLS TO EXTERIOR STUD FACE
- * INTERIOR WALLS TO CENTER OF STUD
- * WINDOWS/DOORS TO CENTER OF OPENING
(UNLESS OTHERWISE NOTED)

WALL FRAMING:

- * EXTERIOR WALLS - 2x6 STUDS
- * INTERIOR WALLS - 2x4 STUDS
(UNLESS OTHERWISE NOTED)

NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)



GRAPHIC KEY

- S** HARD-WIRED SMOKE DETECTOR
- C** HARD-WIRED COMBO SMOKE/CO DETECTOR
- V** BATHROOM VENT

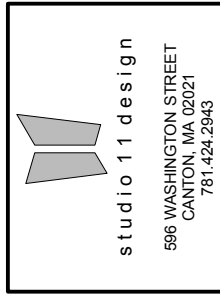
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LEVEL 1 FLOOR PLAN

SCALE: 3/16" = 1'-0"

PERMIT DWGS	6/28/14

PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 2
ROSLINDALE NEIGHBORHOOD - BOSTON, MA



A-5

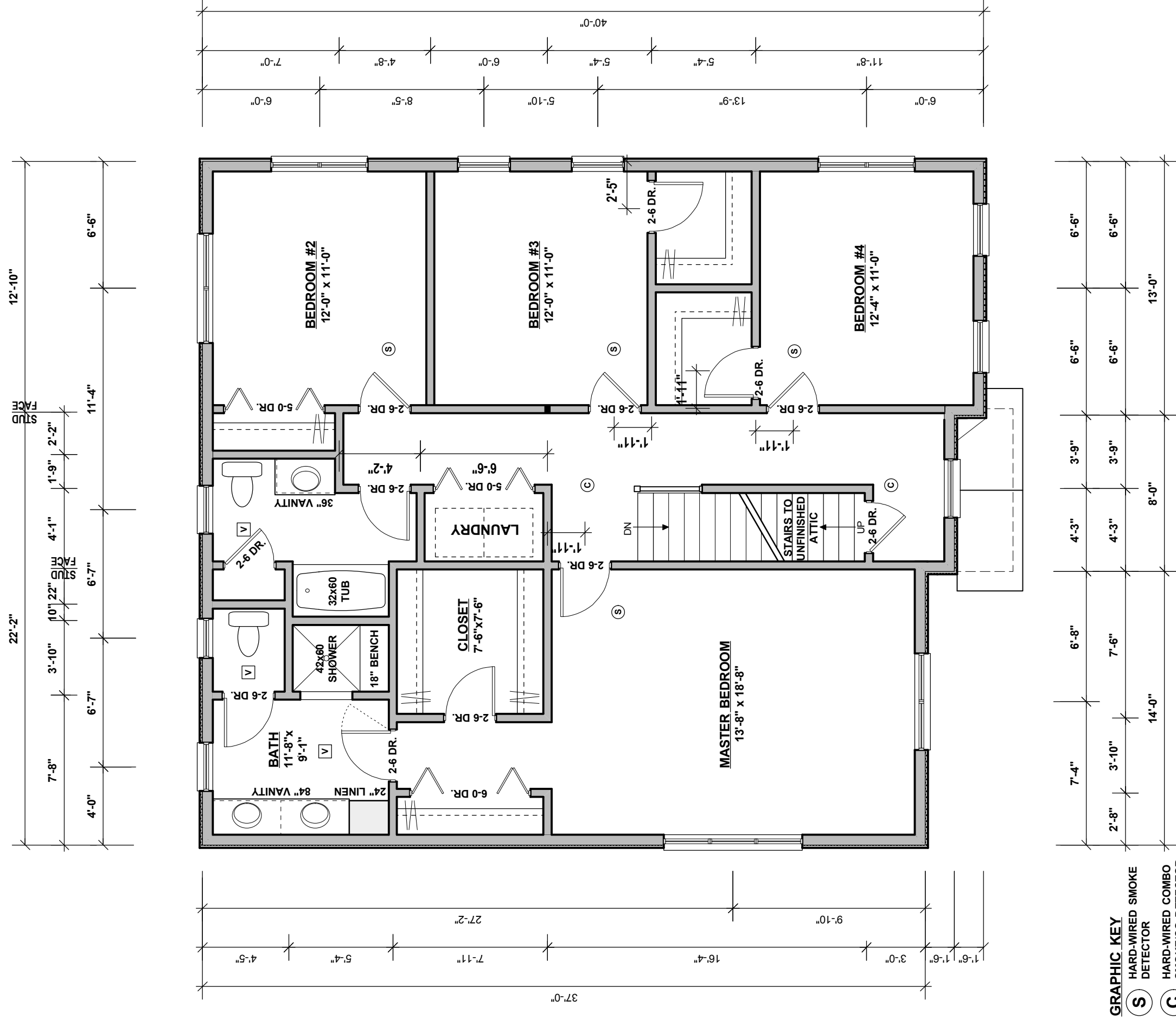
DIMENSION STANDARDS:

- * EXTERIOR WALLS TO EXTERIOR STUD FACE
- * INTERIOR WALLS TO CENTER OF STUD
- * WINDOWS/DOORS TO CENTER OF OPENING (UNLESS OTHERWISE NOTED)

WALL FRAMING:

- * EXTERIOR WALLS - 2x6 STUDS
- * INTERIOR WALLS - 2x4 STUDS (UNLESS OTHERWISE NOTED)

NOTES:
ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)



GRAPHIC KEY

- S** HARD-WIRED SMOKE DETECTOR
- C** HARD-WIRED COMBO SMOKE/CO DETECTOR
- V** BATHROOM VENT

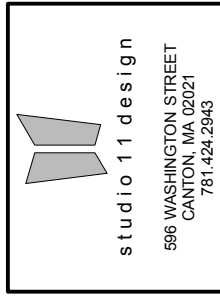
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LEVEL 2 FLOOR PLAN

SCALE: 3/16" = 1'-0"

PERMIT DWGS	6/28/14

PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 2
ROSLINDALE NEIGHBORHOOD - BOSTON, MA




A-6

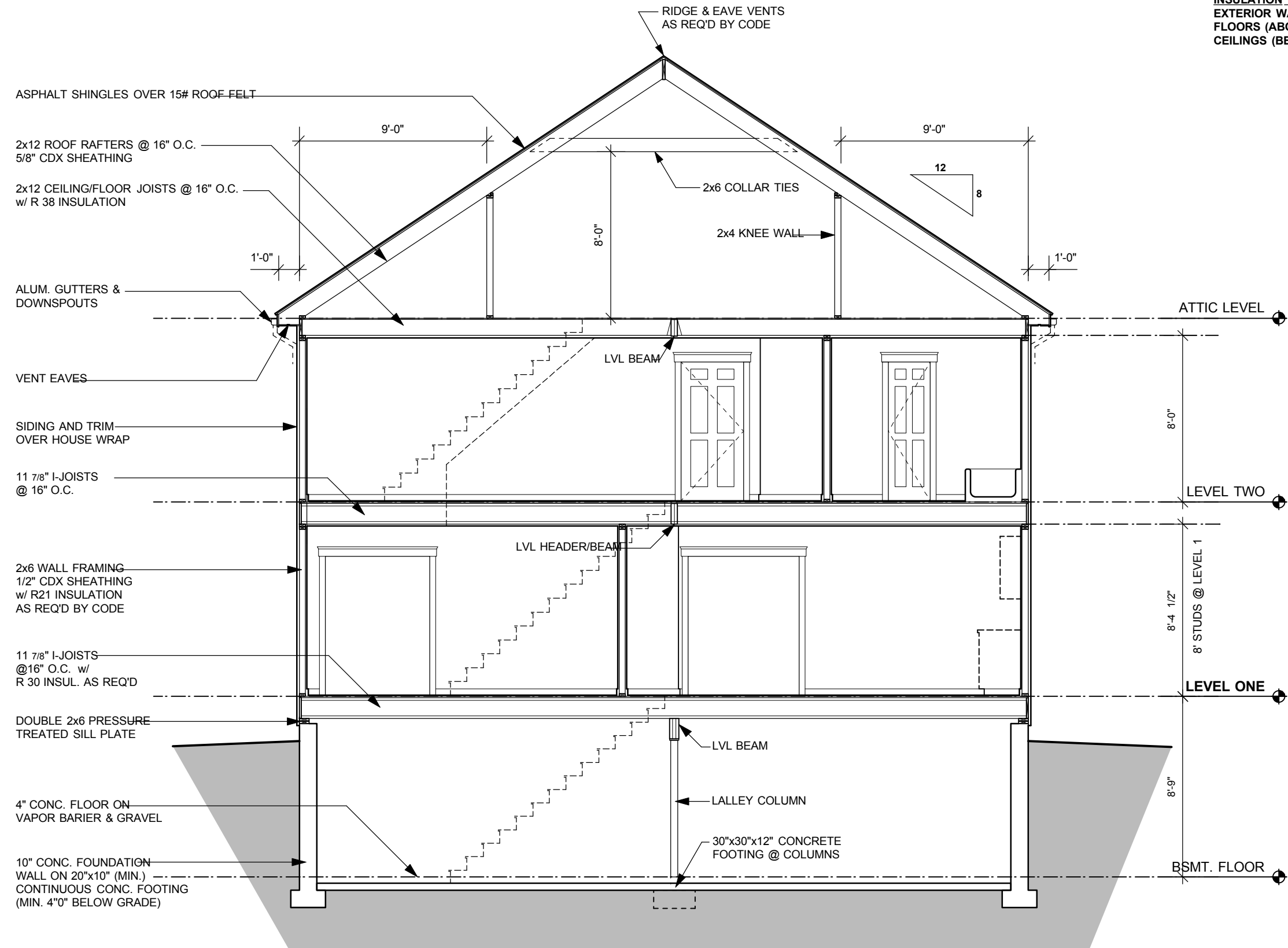
NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING
 CODE (780 CMR - 8TH EDITION)

DIMENSION STANDARDS:
 * EXTERIOR WALLS TO EXTERIOR STUD FACE
 * INTERIOR WALLS TO CENTER OF STUD
 * WINDOWS/DOORS TO CENTER OF OPENING
 (UNLESS OTHERWISE NOTED)

INSULATION REQUIREMENTS:
 EXTERIOR WALLS: R21
 FLOORS (ABOVE BASEMENT): R30
 CEILINGS (BELOW ATTIC): R38



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PROPOSED NEW RESIDENCE:
ALBANO STREET
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA

PERMIT DWGS	6/28/14

BUILDING SECTION

SCALE: 1/4" = 1'-0"

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A-7

SILL PLATE ANCHORS:
 INSET 1/2" ANCHOR BOLTS MIN. 8"
 INTO TOP OF CONC. FOUNDATION
 WALL - MIN 6'-0" O.C. & 12" FROM
 CORNERS

BEAM POCKETS:
 DEPTH TO MATCH BEAM DEPTH,
 WIDTH TO EXCEED BEAM WIDTH
 BY 2" (1" MINIMUM ON EACH SIDE)

LVL BEAMS:
 SIZES LISTED ARE APPROXIMATE.
 CONSULT SPECIFICATION SHEET
 FOR EXACT DIMENSIONS

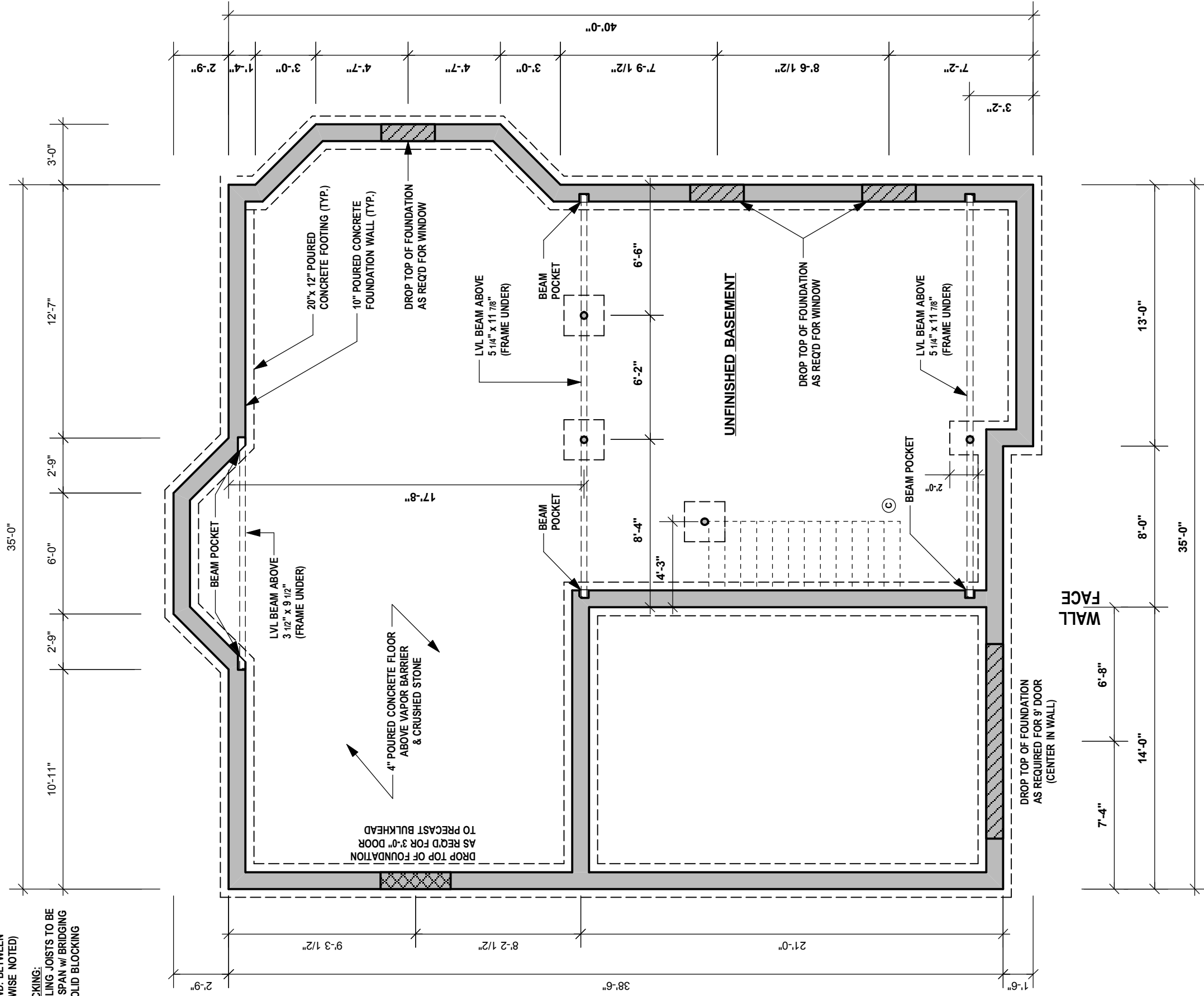
HEADERS:

ALL HEADERS AT OPENINGS IN LOAD-
 BEARING WALLS TO MINIMUM DOUBLE
 2x10s w/ 1/2" PLWD. BETWEEN
 (UNLESS OTHERWISE NOTED)

BRIDGING / BLOCKING:

ALL FLOOR / CEILING JOISTS TO BE
 BRACED AT MID SPAN w/ BRIDGING
 (X-BRACE) OR SOLID BLOCKING

NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING
 CODE (780 CMR - 8TH EDITION)



GRAPHIC KEY

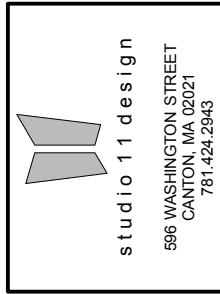
- S** HARD-WIRED SMOKE DETECTOR
- C** HARD-WIRED COMBO SMOKE/CO DETECTOR
- V** BATHROOM VENT

**FOUNDATION/
 BASEMENT PLAN**

SCALE: 3/16" = 1'-0"

PERMIT DWGS	6/28/14

PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 2
ROSLINDALE NEIGHBORHOOD - BOSTON, MA



F-1

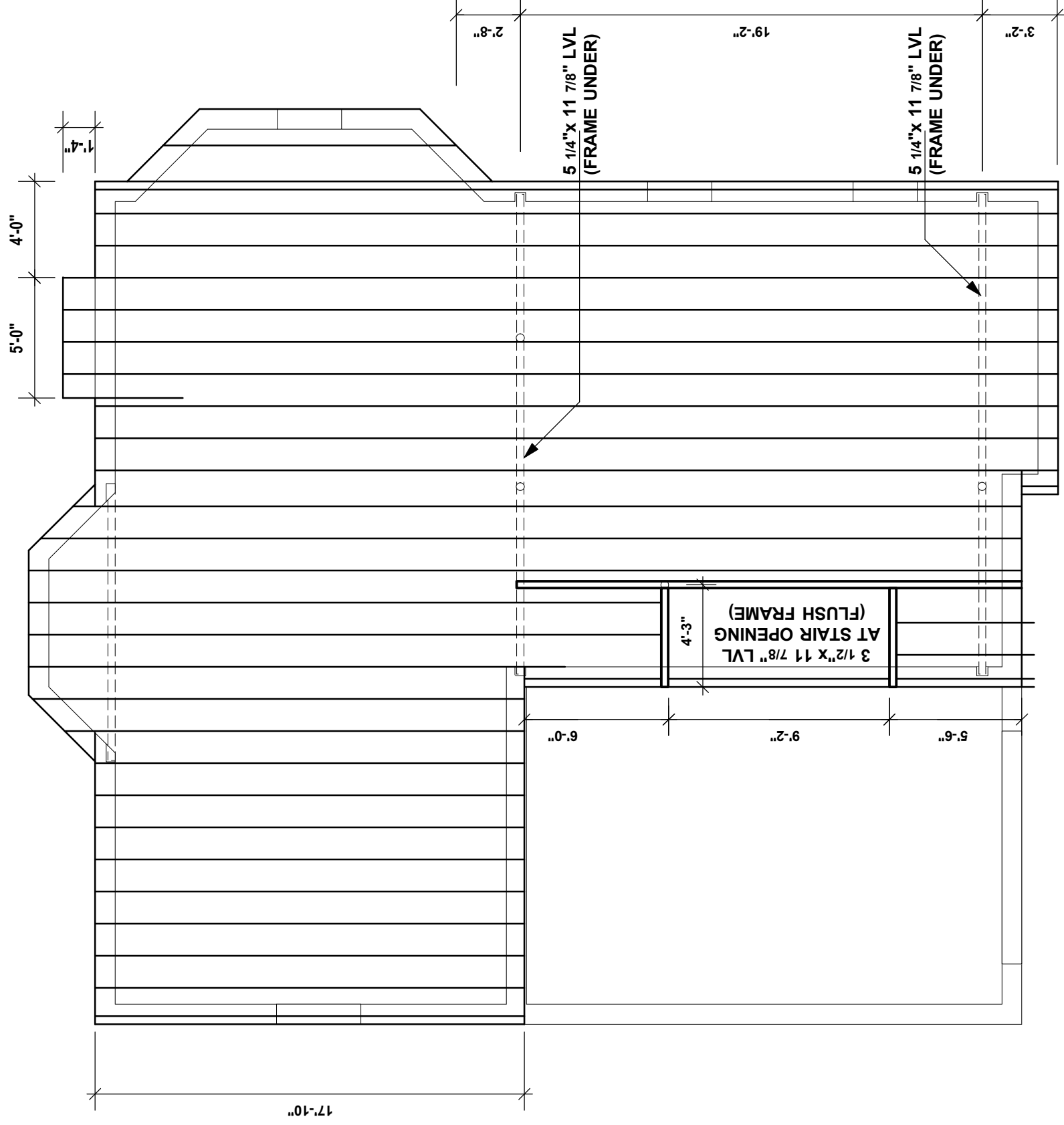
NOTES:
ALL CONSTRUCTION METHODS
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CODE (780 CMR - 8TH EDITION)

LVL BEAMS:
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CONSULT SPECIFICATION SHEET
FOR EXACT DIMENSIONS

HEADERS:
ALL HEADERS AT OPENINGS IN LOAD-
BEARING WALLS TO MINIMUM DOUBLE
2x10s w/ 1/2" PLWD. BETWEEN
(UNLESS OTHERWISE NOTED)

BRIDGING / BLOCKING:
ALL FLOOR / CEILING JOISTS TO BE
BRACED AT MID SPAN w/ BRIDGING
(X-BRACE) OR SOLID BLOCKING

**11 7/8" I-JOIST @ 16" O.C.
w/ 1"x 11 7/8" RIM BOARD
(BRACING AT MID-SPAN)**

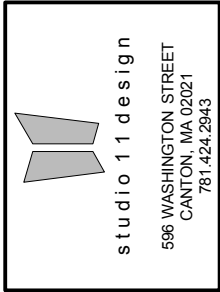


**LEVEL ONE
FRAMING PLAN**

SCALE: 3/16" = 1'-0"

PERMIT DRAWINGS	6/28/14

**PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 2
ROSLINDALE NEIGHBORHOOD - BOSTON, MA**



F-2

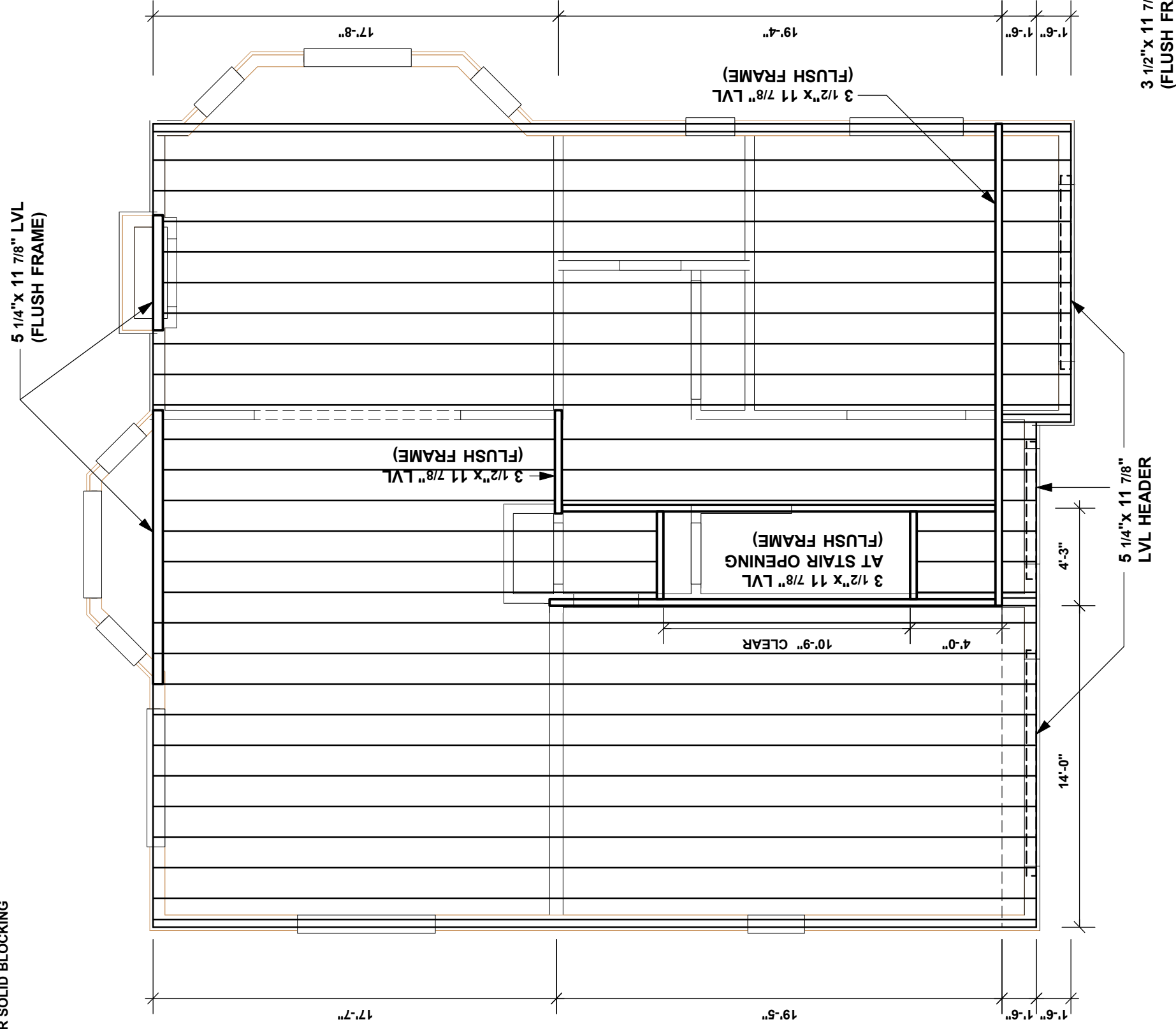
NOTES:
 ALL CONSTRUCTION METHODS
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 MASSACHUSETTS BUILDING
 CODE (780 CMR - 8TH EDITION)

LVL BEAMS:
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 CONSULT SPECIFICATION SHEET
 FOR EXACT DIMENSIONS

HEADERS:
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 2x10s w/ 1/2" PLWD. BETWEEN
 (UNLESS OTHERWISE NOTED)

BRIDGING / BLOCKING:
 ALL FLOOR / CEILING JOISTS TO BE
 BRACED AT MID SPAN w/ BRIDGING
 (X-BRACE) OR SOLID BLOCKING

**11 7/8" I-JOIST @ 16" O.C.
 w/ 1"x 11 7/8" RIM BOARD
 (BRACING AT MID-SPAN)**

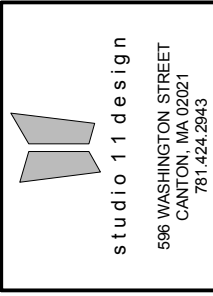


**LEVEL TWO
 FRAMING PLAN**

SCALE: 3/16" = 1'-0"

PERMIT DRAWINGS	6/28/14

**PROPOSED NEW RESIDENCE:
 ALBANO STREET - LOT 2
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA**



F-3

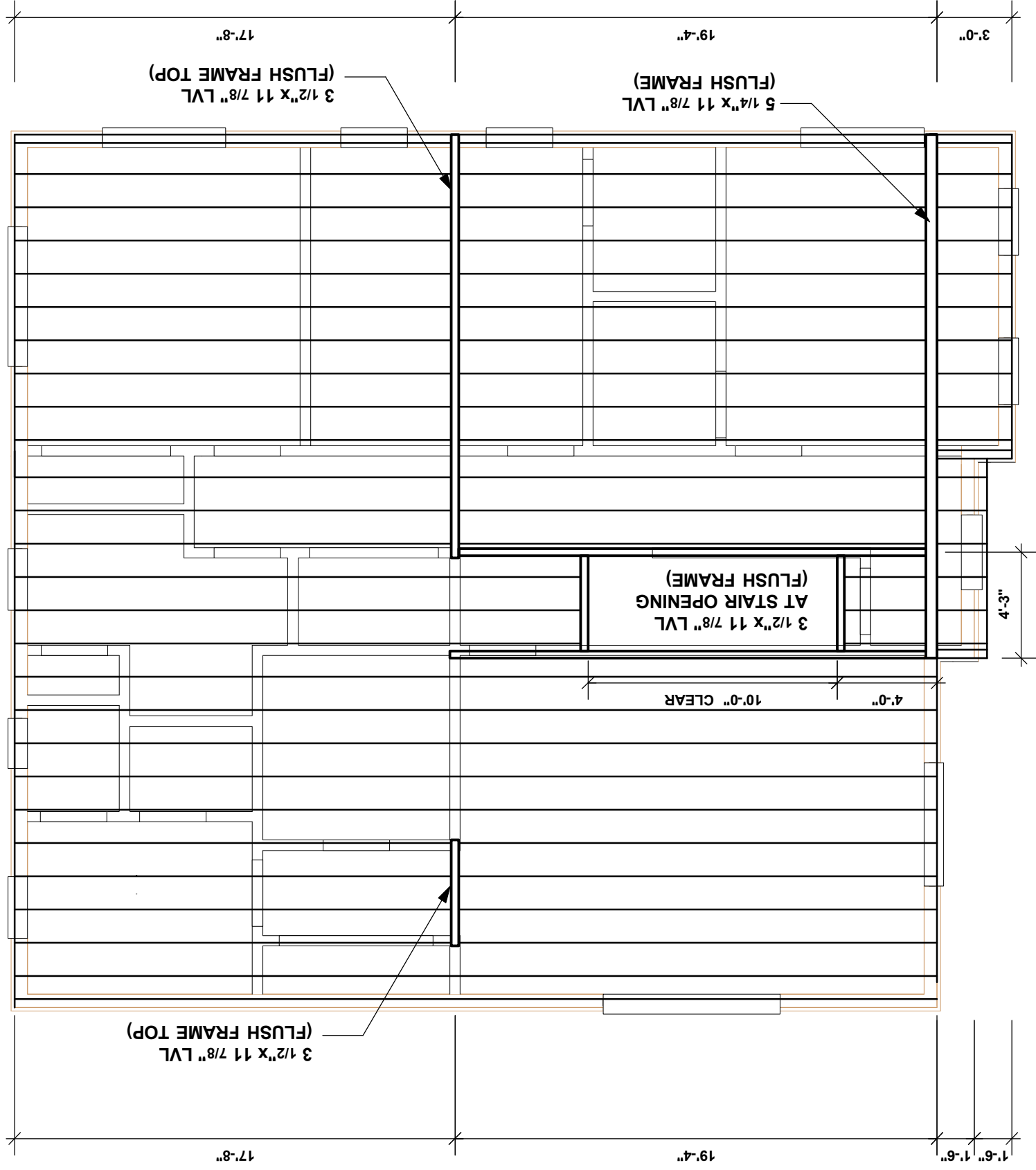
NOTES:
ALL CONSTRUCTION METHODS
& MATERIALS TO COMPLY WITH
MASSACHUSETTS BUILDING
CODE (780 CMR - 8TH EDITION)

LVL BEAMS:
SIZES LISTED ARE APPROXIMATE.
CONSULT SPECIFICATION SHEET
FOR EXACT DIMENSIONS

HEADERS:
ALL HEADERS AT OPENINGS IN LOAD-
BEARING WALLS TO MINIMUM DOUBLE
2x10s w/ 1/2" PLWD. BETWEEN
(UNLESS OTHERWISE NOTED)

BRIDGING / BLOCKING:
ALL FLOOR / CEILING JOISTS TO BE
BRACED AT MID SPAN w/ BRIDGING
(X-BRACE) OR SOLID BLOCKING

**2x12 JOIST @ 16" O.C.
(BRACING AT MID-SPAN)**



**3 1/2" x 11 7/8" LVL
(FLUSH FRAME)**

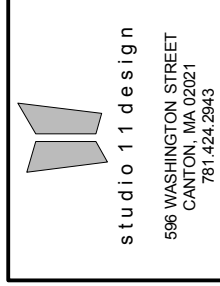
ATTIC/CEILING FRAMING PLAN

SCALE: 3/16" = 1'-0"

PERMIT DRAWINGS	6/28/14

F-4

**PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 2
ROSLINDALE NEIGHBORHOOD - BOSTON, MA**



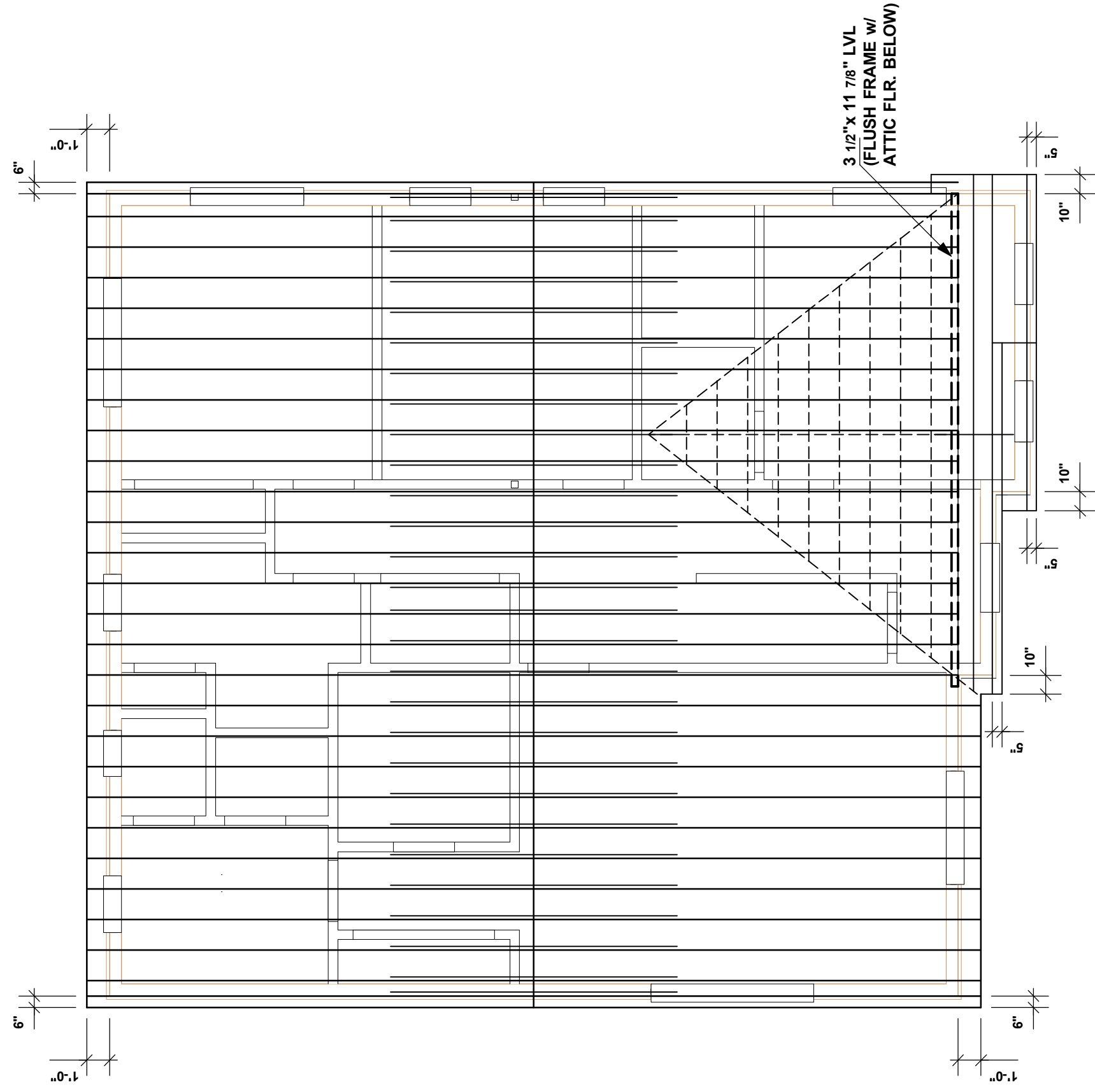
NOTES:
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 CODE (780 CMR - 8TH EDITION)

HEADERS:
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 BEARING WALLS TO MINIMUM DOUBLE
 2x10s w/ 1/2" PLWD. BETWEEN
 (UNLESS OTHERWISE NOTED)

LVL BEAMS:
 SIZES LISTED ARE APPROXIMATE.
 CONSULT SPECIFICATION SHEET
 FOR EXACT DIMENSIONS

BRIDGING / BLOCKING:
 ALL FLOOR / CEILING JOISTS TO BE
 BRACED AT MID SPAN w/ BRIDGING
 (X-BRACE) OR SOLID BLOCKING

**2x12 RAFTERS @ 16" O.C.
 2x6 COLLAR TIES @ 16" O.C.
 2x12 RIDGE BOARD**



- NOTES:**
- LAY FRONT ROOF OVER MAIN ROOF
 - MAIN ROOF HAS 8/12 PITCH
 - FRONT ROOF HAS 10/12 PITCH
 - MAIN ROOF HAS 12" EAVE OVER HANG AND NO RAKE OVERHANG
 - FRONT ROOF HAS 10" EAVE OVERHANG AND 5" RAKE OVERHANG

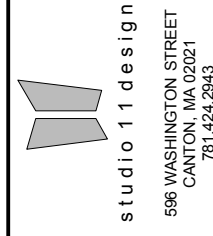
**ROOF
 FRAMING PLAN**

SCALE: 3/16" = 1'-0"

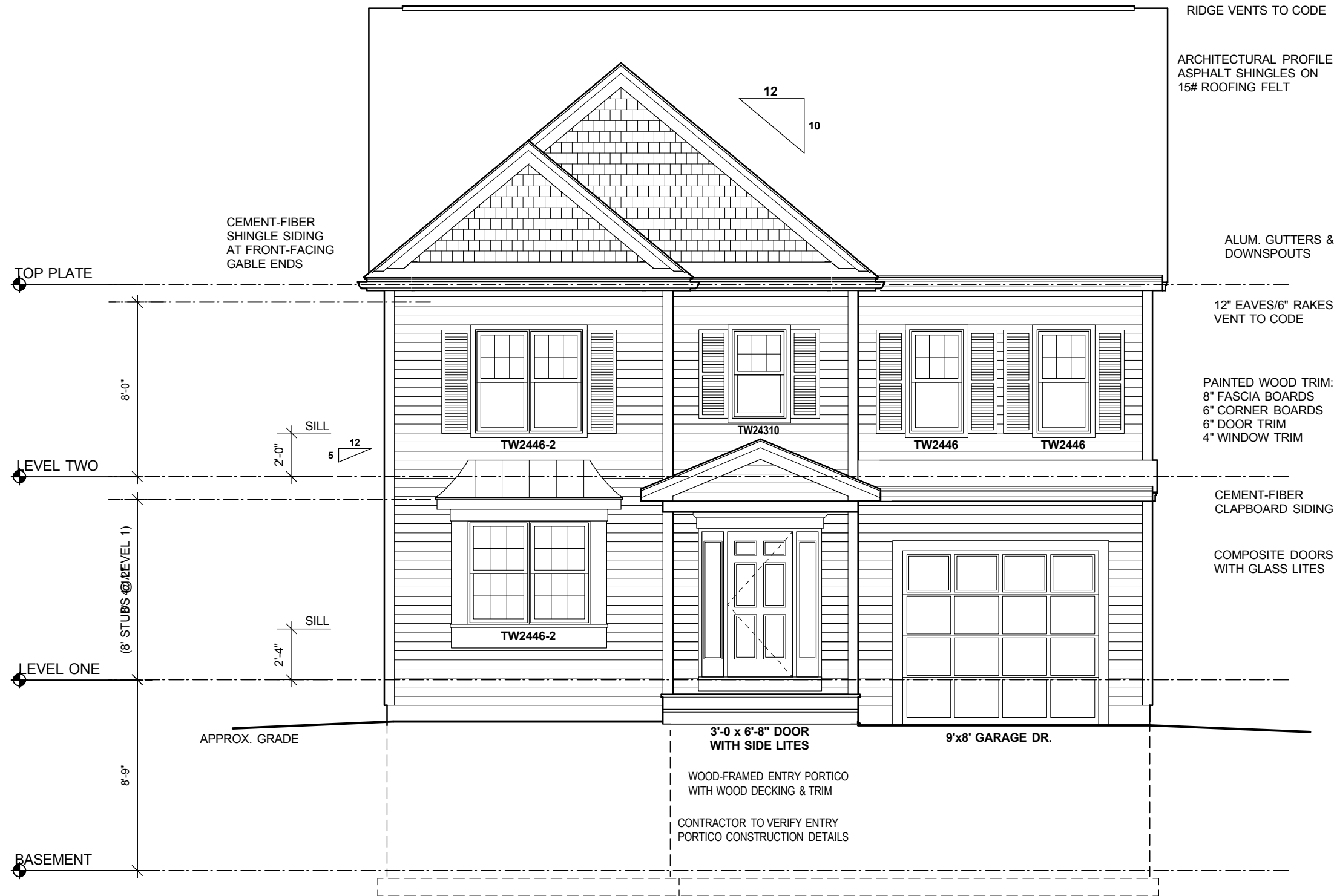
PERMIT DRAWINGS	6/28/14

F-5

PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 2
ROSLINDALE NEIGHBORHOOD - BOSTON, MA



NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING CODE
 (780 CMR - 8TH EDITION)



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

PROPOSED NEW RESIDENCE:

**ALBANO STREET - LOT 1
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

6/28/14

PERMIT DWGS

A-1

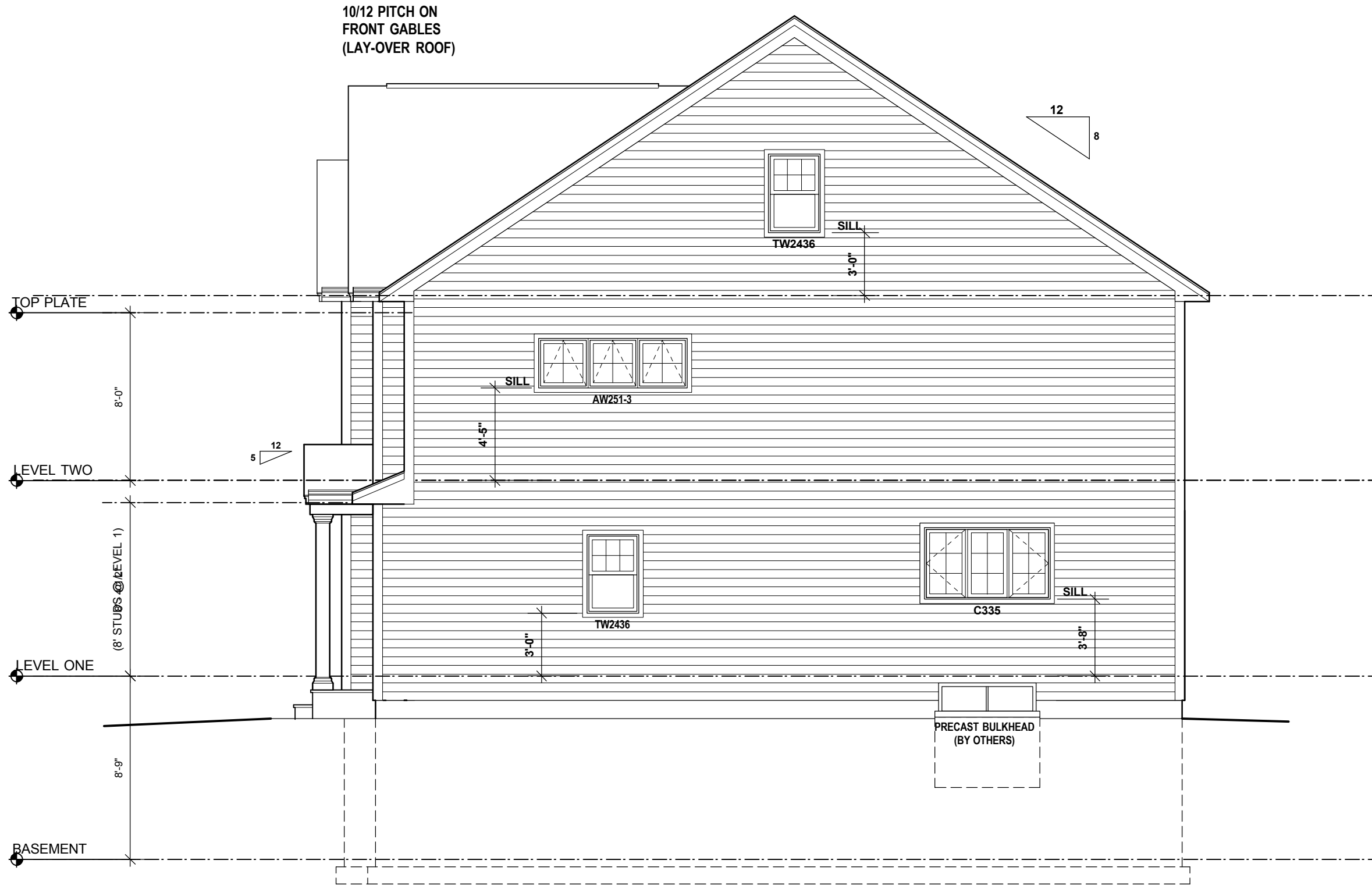
WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY. WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.

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NOTES:
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 (780 CMR - 8TH EDITION)



SIDE ELEVATION (DRIVE)

SCALE: 3/16" = 1'-0"

WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY. WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.

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
PROPOSED NEW RESIDENCE:

**ALBANO STREET - LOT 1
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

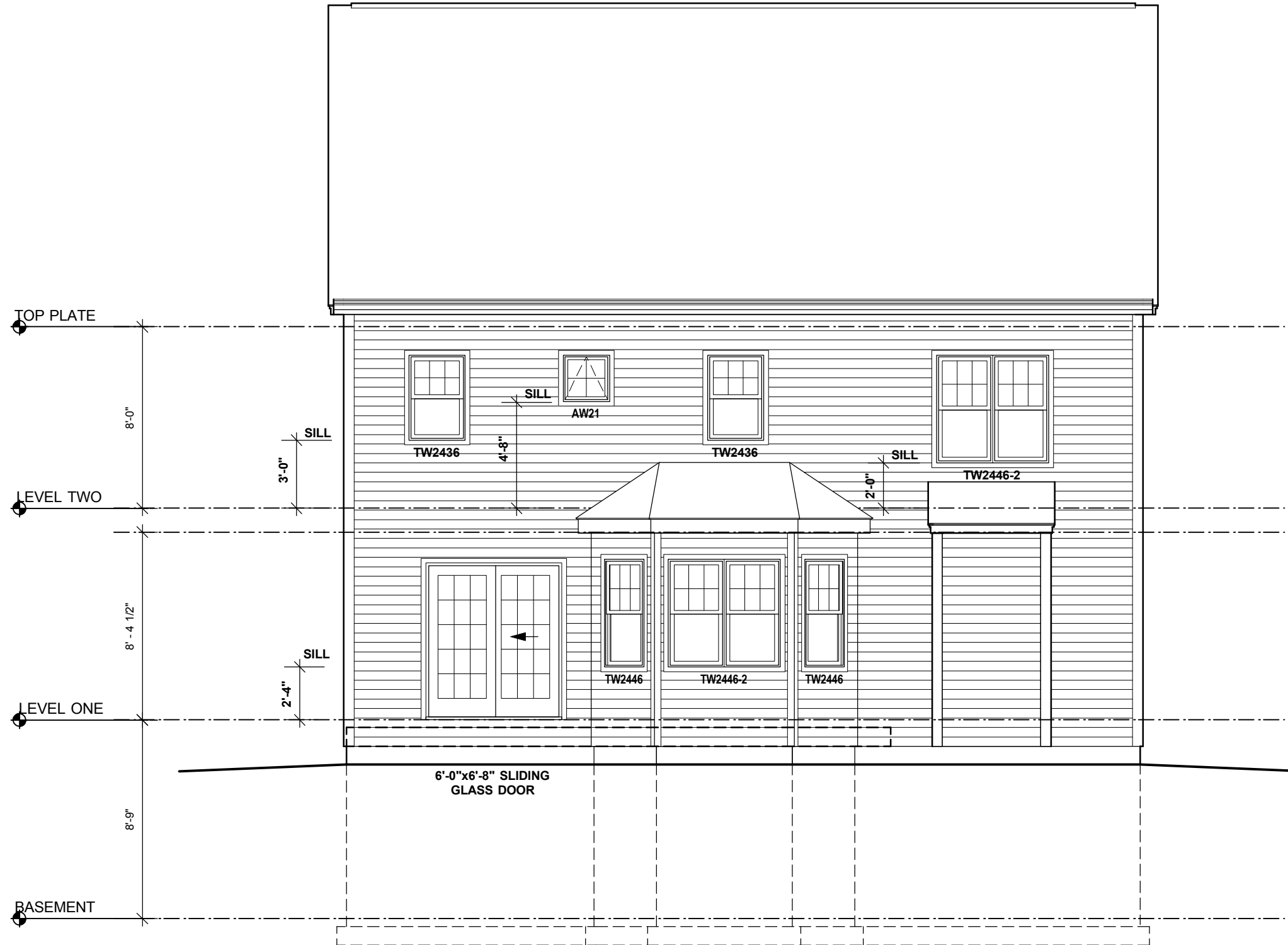
6/28/14

PERMIT DWGS

A-2


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NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
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 (780 CMR - 8TH EDITION)



REAR ELEVATION

SCALE: 3/16" = 1'-0"

WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY. WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.

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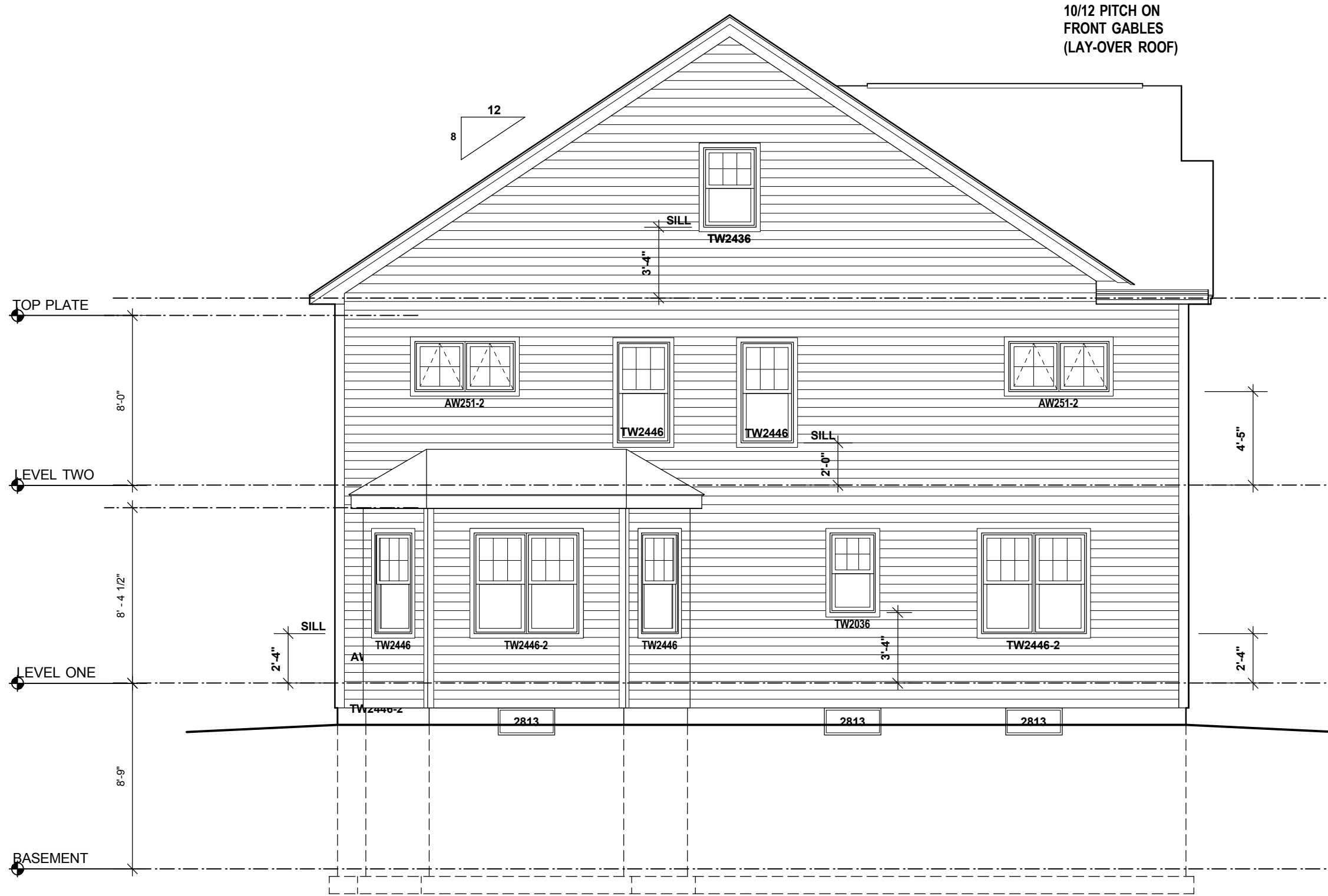
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PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 1
ROSLINDALE NEIGHBORHOOD - BOSTON, MA

PERMIT DWGS	6/28/14

A-3

NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING CODE
 (780 CMR - 8TH EDITION)



SIDE ELEVATION (YARD)

SCALE: 3/16" = 1'-0"

WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW
 SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY.
 WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S
 SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES
 WHERE APPLICABLE.

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PROPOSED NEW RESIDENCE:

**ALBANO STREET - LOT 1
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

6/28/14

PERMIT DWGS

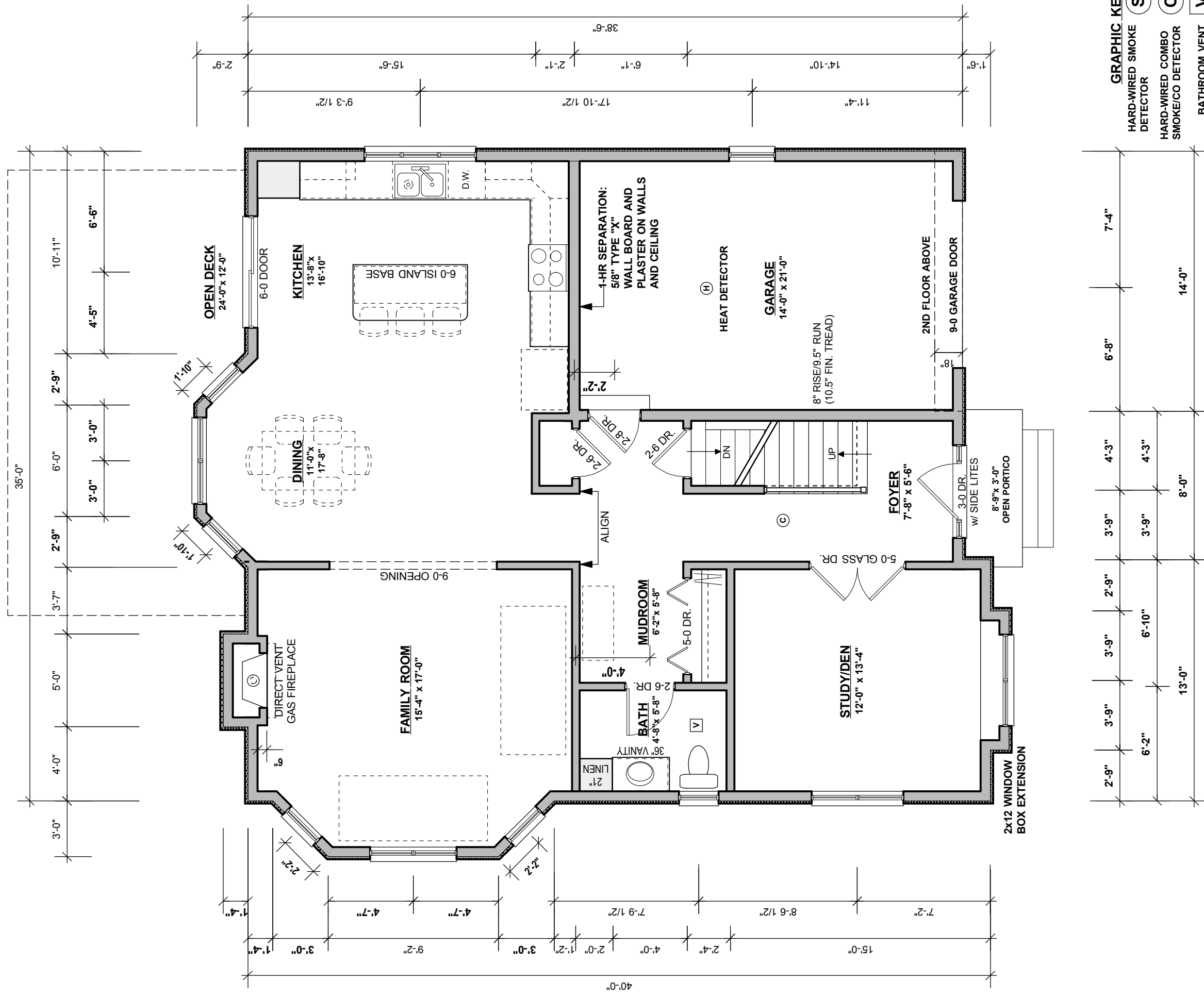
A-4

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NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING
 CODE (780 CMR - 8TH EDITION)

DIMENSION STANDARDS:
 EXTERIOR WALLS TO EXTERIOR STUD FACE
 INTERIOR WALLS TO CENTER OF STUD
 WINDOWS/DOORS TO CENTER OF OPENING
 (UNLESS OTHERWISE NOTED)

WALL FRAMING:
 EXTERIOR WALLS - 2x6 STUDS
 INTERIOR WALLS - 2x4 STUDS
 (UNLESS OTHERWISE NOTED)



LEVEL 1 FLOOR PLAN

SCALE: 3/16" = 1'-0"

- GRAPHIC KEY**
- S HARD-WIRED SMOKE DETECTOR
 - C HARD-WIRED COMBO SMOKE/CO DETECTOR
 - V BATHROOM VENT

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PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 1
ROSLINDALE NEIGHBORHOOD - BOSTON, MA

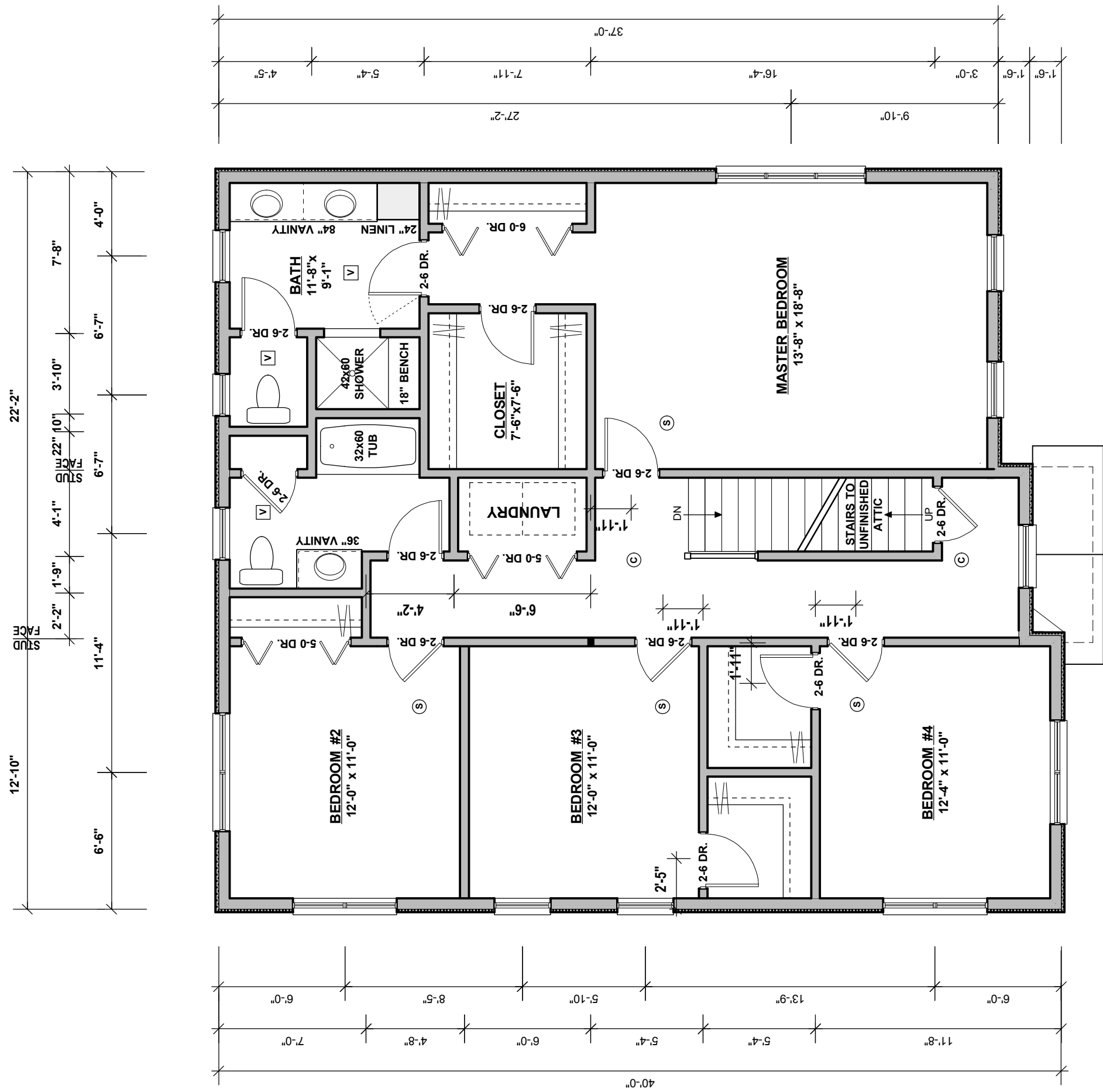
6/28/14	PERMIT DWGS

A-5

NOTES:
 ALL CONSTRUCTION METHODS
 & MATERIALS TO COMPLY WITH
 MASSACHUSETTS BUILDING
 CODE (780 CMR - 8TH EDITION)

DIMENSION STANDARDS:
 EXTERIOR WALLS TO EXTERIOR STUD FACE
 INTERIOR WALLS TO CENTER OF STUD
 WINDOWS/DOORS TO CENTER OF OPENING
 (UNLESS OTHERWISE NOTED)

WALL FRAMING:
 EXTERIOR WALLS - 2x6 STUDS
 INTERIOR WALLS - 2x4 STUDS
 (UNLESS OTHERWISE NOTED)

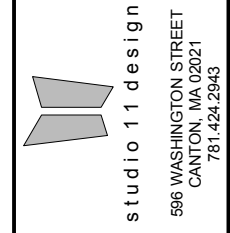


LEVEL 2 FLOOR PLAN

SCALE: 3/16" = 1'-0"

- GRAPHIC KEY**
- S HARD-WIRED SMOKE DETECTOR
 - C HARD-WIRED COMBO SMOKE/CO DETECTOR
 - V BATHROOM VENT

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PROPOSED NEW RESIDENCE:
ALBANO STREET - LOT 1
ROSLINDALE NEIGHBORHOOD - BOSTON, MA

6/28/14	PERMIT DWGS

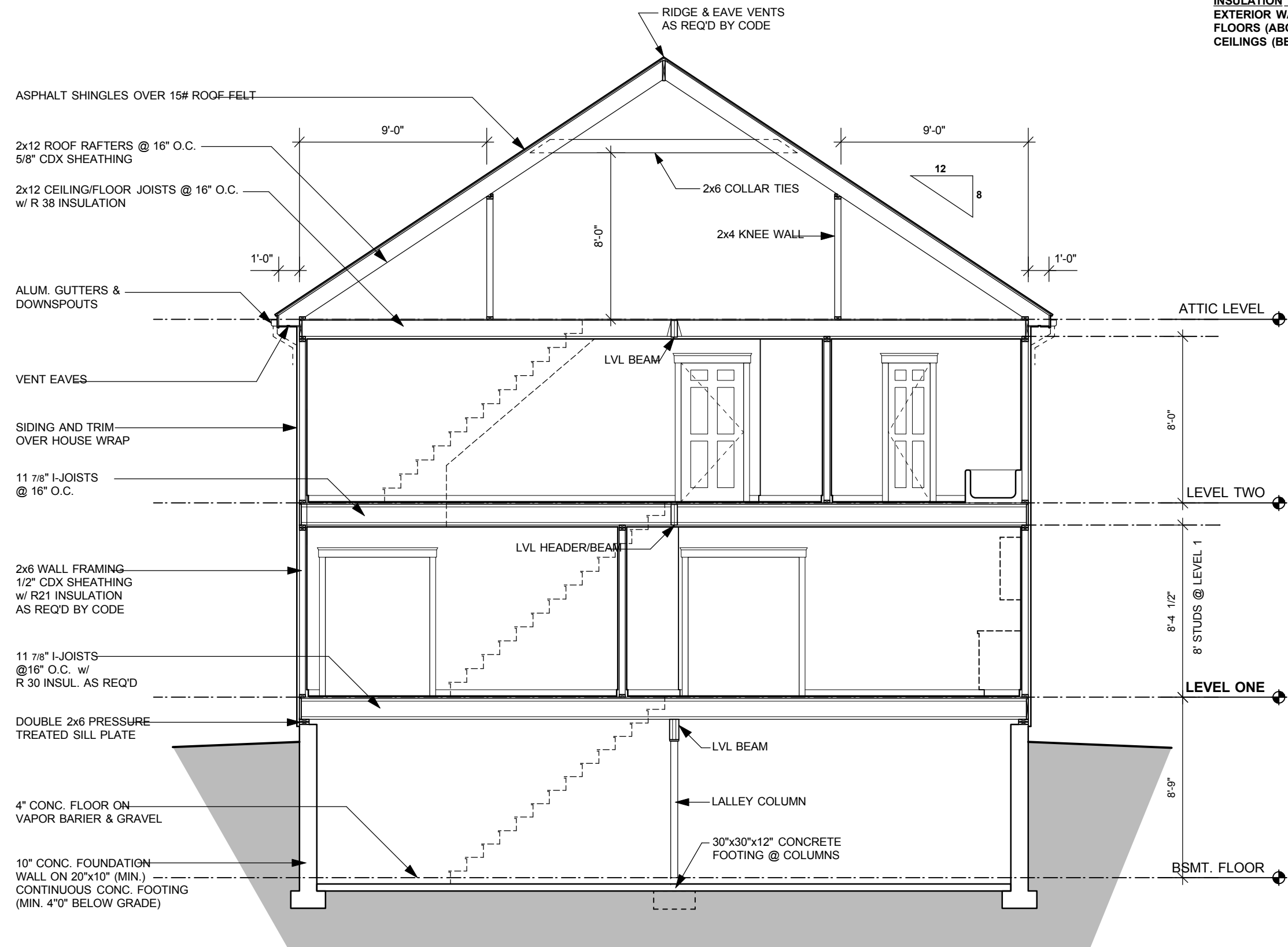
A-6

NOTES:
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 MASSACHUSETTS BUILDING
 CODE (780 CMR - 8TH EDITION)

DIMENSION STANDARDS:
 * EXTERIOR WALLS TO EXTERIOR STUD FACE
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 (UNLESS OTHERWISE NOTED)

INSULATION REQUIREMENTS:
 EXTERIOR WALLS: R21
 FLOORS (ABOVE BASEMENT): R30
 CEILINGS (BELOW ATTIC): R38

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PROPOSED NEW RESIDENCE:
ALBANO STREET
ROSLINDALE NEIGHBORHOOD - BOSTON, MA

PERMIT DWGS	6/28/14

BUILDING SECTION
 SCALE: 1/4" = 1'-0"

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A-7

NOTES:
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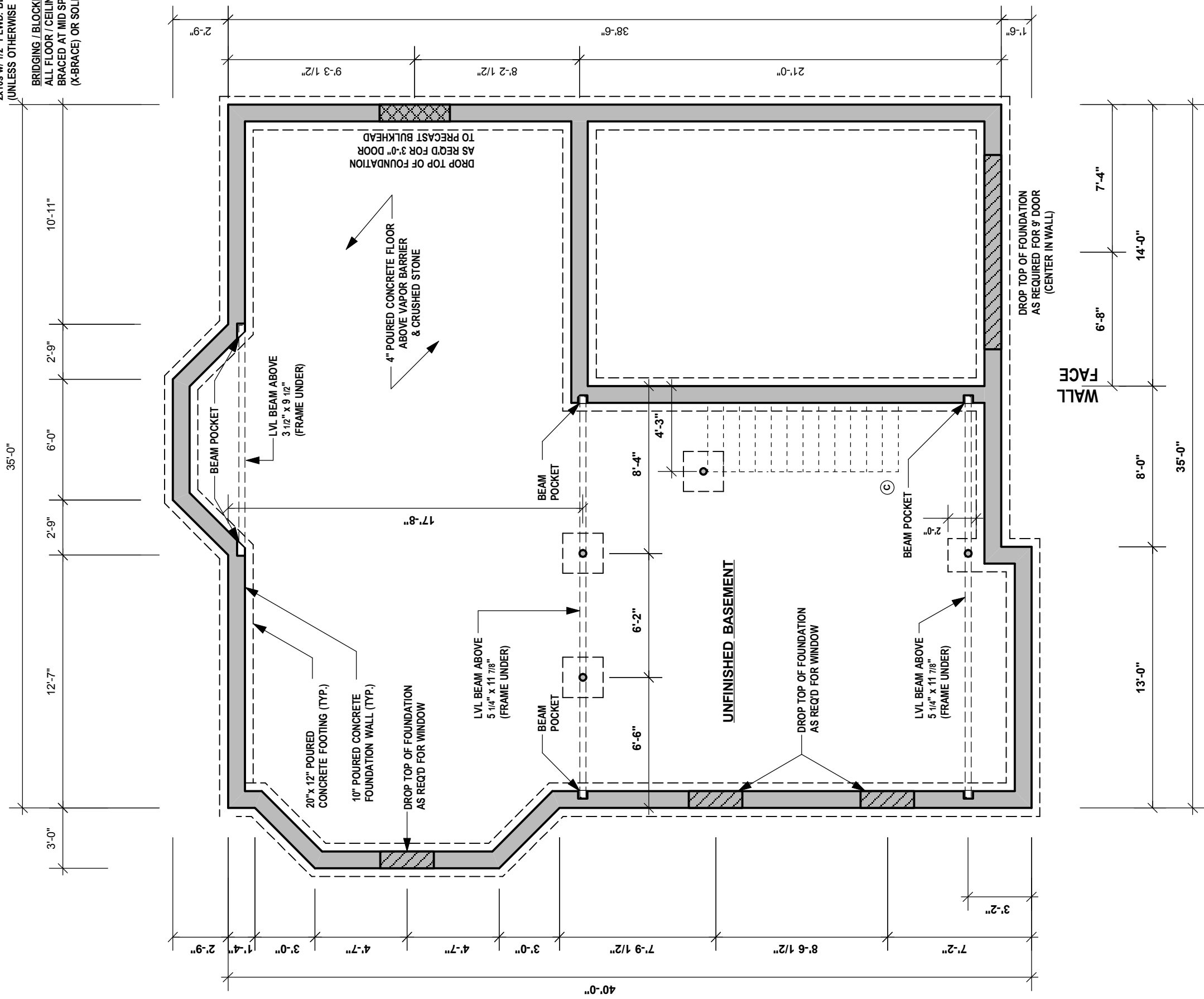
SILL PLATE ANCHORS:
 INSET 1/2" ANCHOR BOLTS MIN. 8"
 INTO TOP OF CONC. FOUNDATION
 WALL - MIN 6'-0" O.C. & 12" FROM
 CORNERS

BEAM POCKETS:
 DEPTH TO MATCH BEAM DEPTH,
 WIDTH TO EXCEED BEAM WIDTH
 BY 2" (1" MINIMUM ON EACH SIDE)

LVL BEAMS:
 SIZES LISTED ARE APPROXIMATE.
 CONSULT SPECIFICATION SHEET
 FOR EXACT DIMENSIONS

HEADERS:
 ALL HEADERS AT OPENINGS IN LOAD-
 BEARING WALLS TO MINIMUM DOUBLE
 2x10s w/ 1/2" PLWD. BETWEEN
 (UNLESS OTHERWISE NOTED)

BRIDGING / BLOCKING:
 ALL FLOOR / CEILING JOISTS TO BE
 BRACED AT MID SPAN w/ BRIDGING
 (X-BRACE) OR SOLID BLOCKING



**FOUNDATION/
 BASEMENT PLAN**

SCALE: 3/16" = 1'-0"

GRAPHIC KEY
 (S) HARD-WIRED SMOKE
 DETECTOR
 (C) HARD-WIRED COMBO
 SMOKE/CO DETECTOR
 (V) BATHROOM VENT

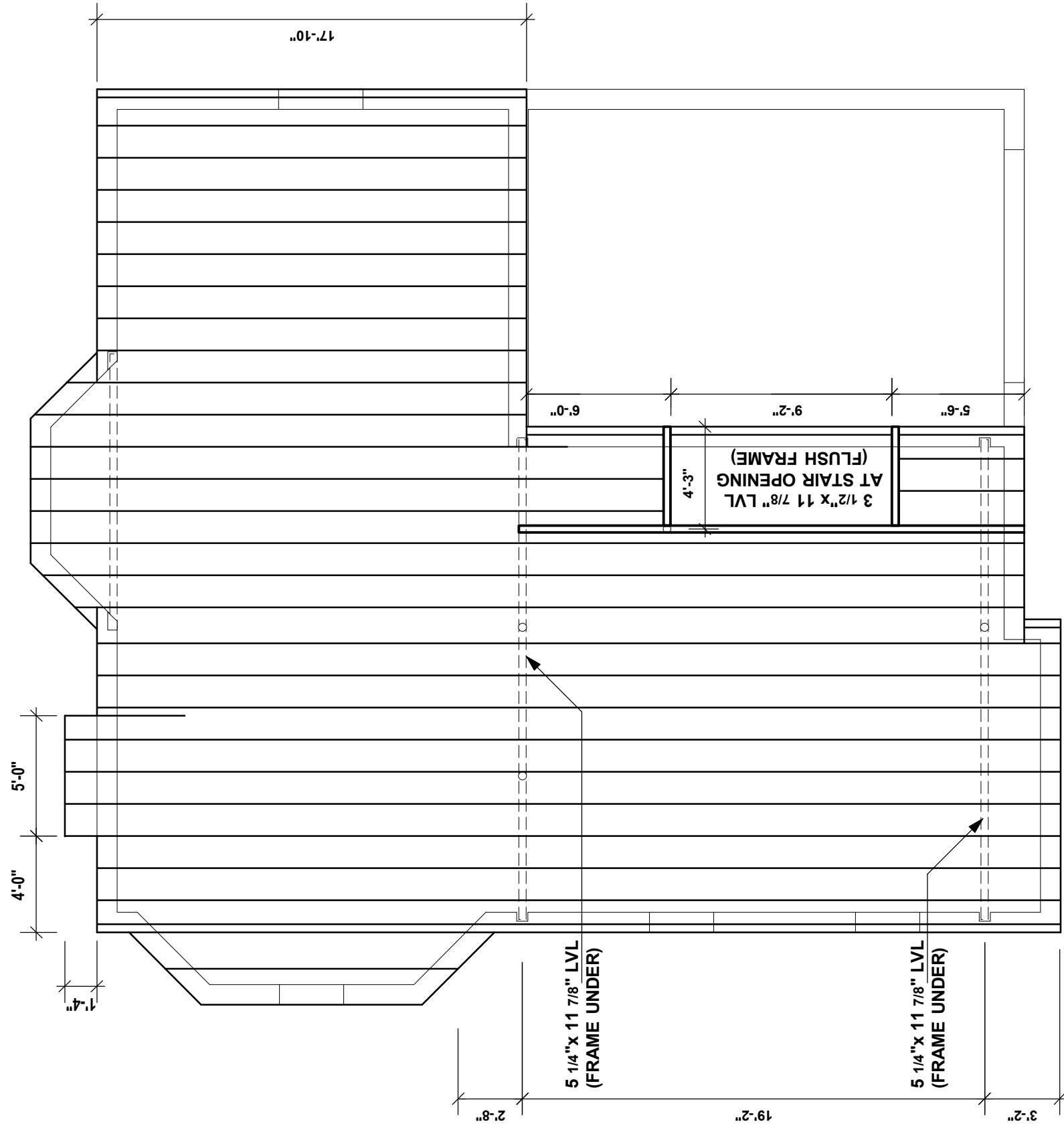
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 (UNLESS OTHERWISE NOTED)

BRIDGING / BLOCKING:
 ALL FLOOR / CEILING JOISTS TO BE
 BRACED AT MID SPAN w/ BRIDGING
 (X-BRACE) OR SOLID BLOCKING

**11 7/8" I-JOIST @ 16" O.C.
 w/ 1"x 11 7/8" RIM BOARD
 (BRACING AT MID-SPAN)**



**LEVEL ONE
 FRAMING PLAN**

SCALE: 3/16" = 1'-0"

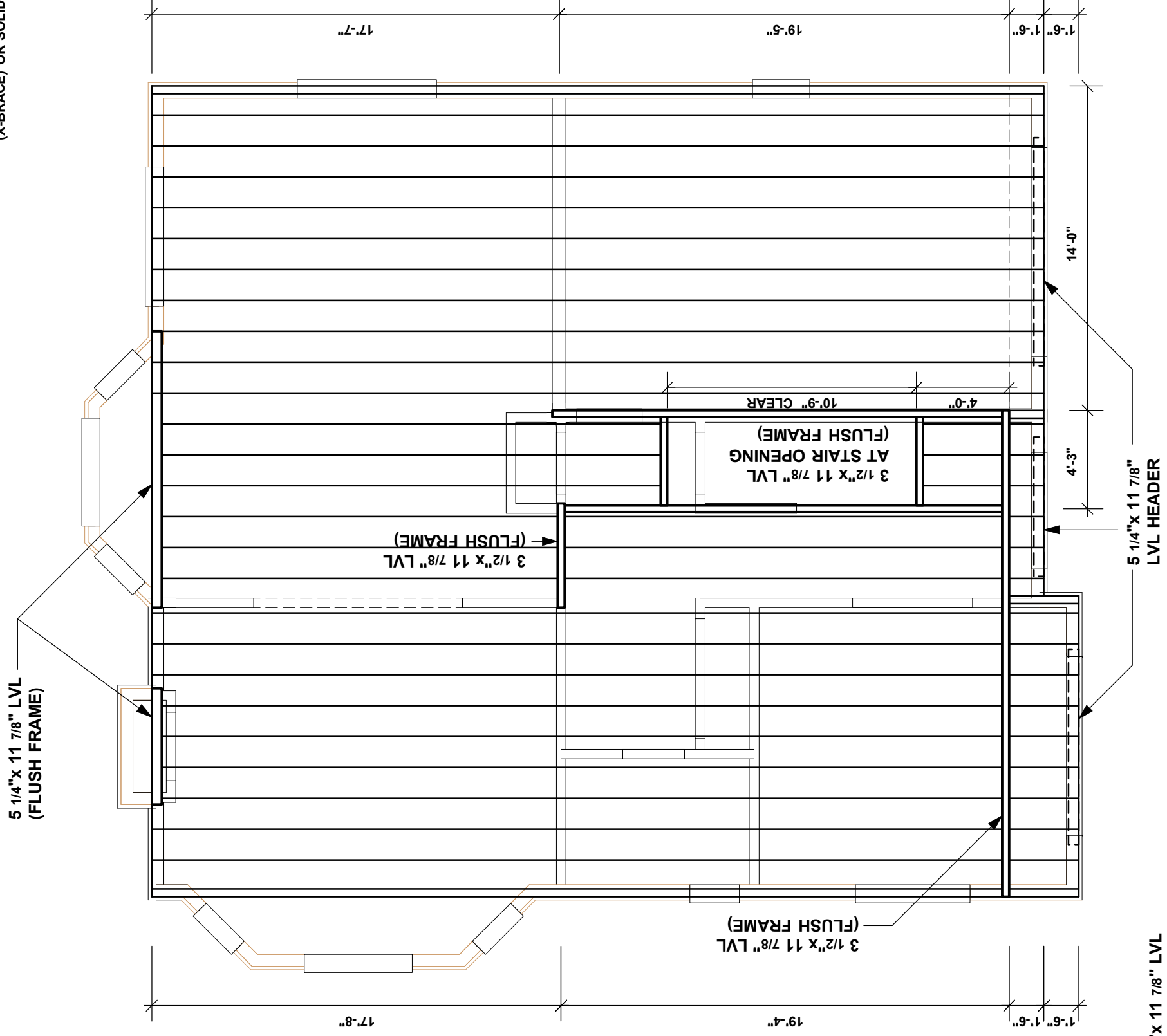
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 (UNLESS OTHERWISE NOTED)

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 (X-BRACE) OR SOLID BLOCKING

11 7/8" I-JOIST @ 16" O.C.
 w/ 1"x 11 7/8" RIM BOARD
 (BRACING AT MID-SPAN)



3 1/2" x 11 7/8" LVL
 (FLUSH FRAME)

5 1/4" x 11 7/8" LVL
 HEADER

**LEVEL TWO
 FRAMING PLAN**

SCALE: 3/16" = 1'-0"

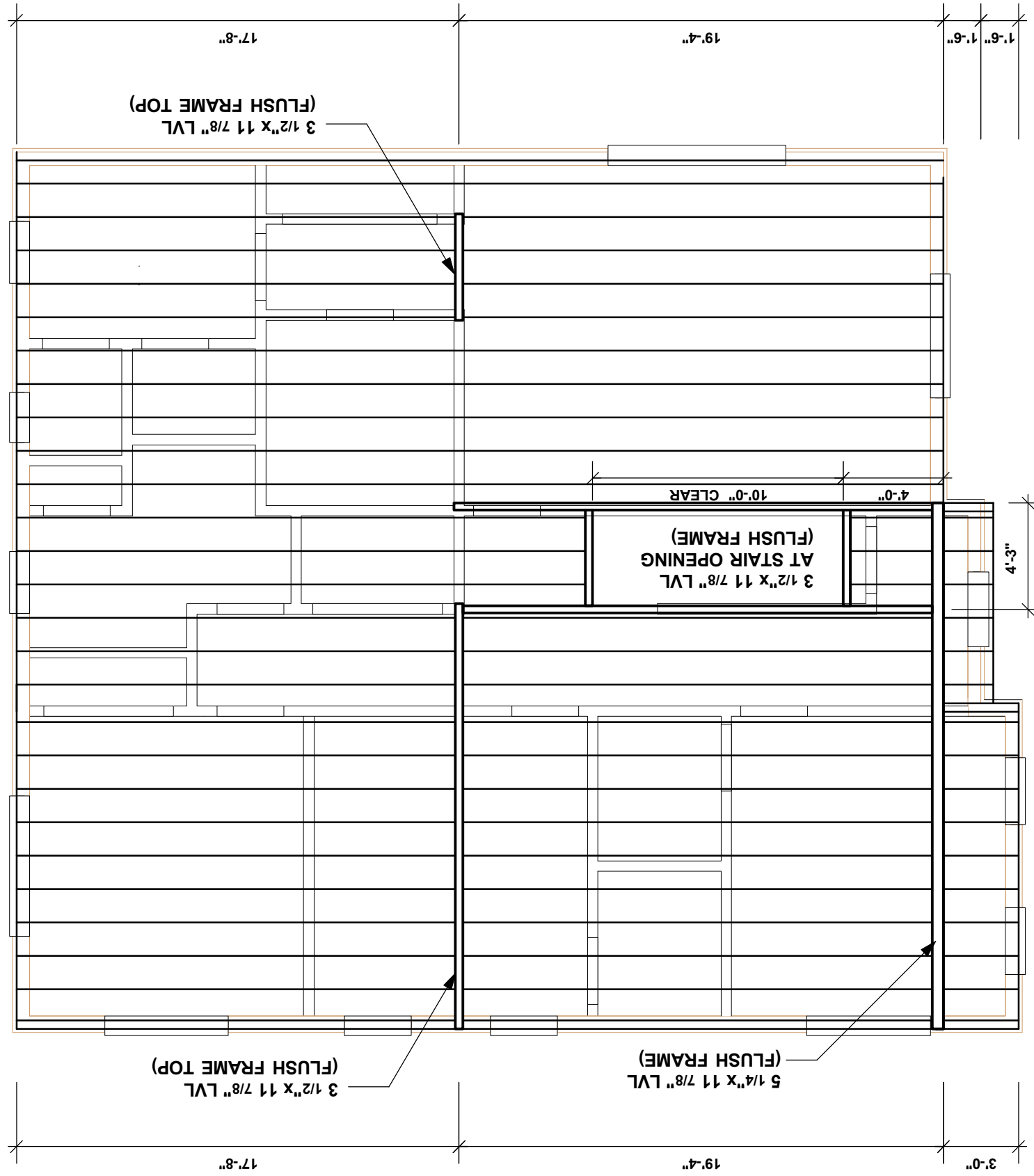
HEADERS:
 ALL HEADERS AT OPENINGS IN LOAD-BEARING WALLS TO MINIMUM DOUBLE 2x10s w/ 1/2" PLWD. BETWEEN (UNLESS OTHERWISE NOTED)

NOTES:
 ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

BRIDGING / BLOCKING:
 ALL FLOOR / CEILING JOISTS TO BE BRACED AT MID SPAN w/ BRIDGING (X-BRACE) OR SOLID BLOCKING

LVL BEAMS:
 SIZES LISTED ARE APPROXIMATE. CONSULT SPECIFICATION SHEET FOR EXACT DIMENSIONS

2x12 JOIST @ 16" O.C.
 (BRACING AT MID-SPAN)



3 1/2" x 11 7/8" LVL
 (FLUSH FRAME)

**ATTIC/CEILING
 FRAMING PLAN**

SCALE: 3/16" = 1'-0"

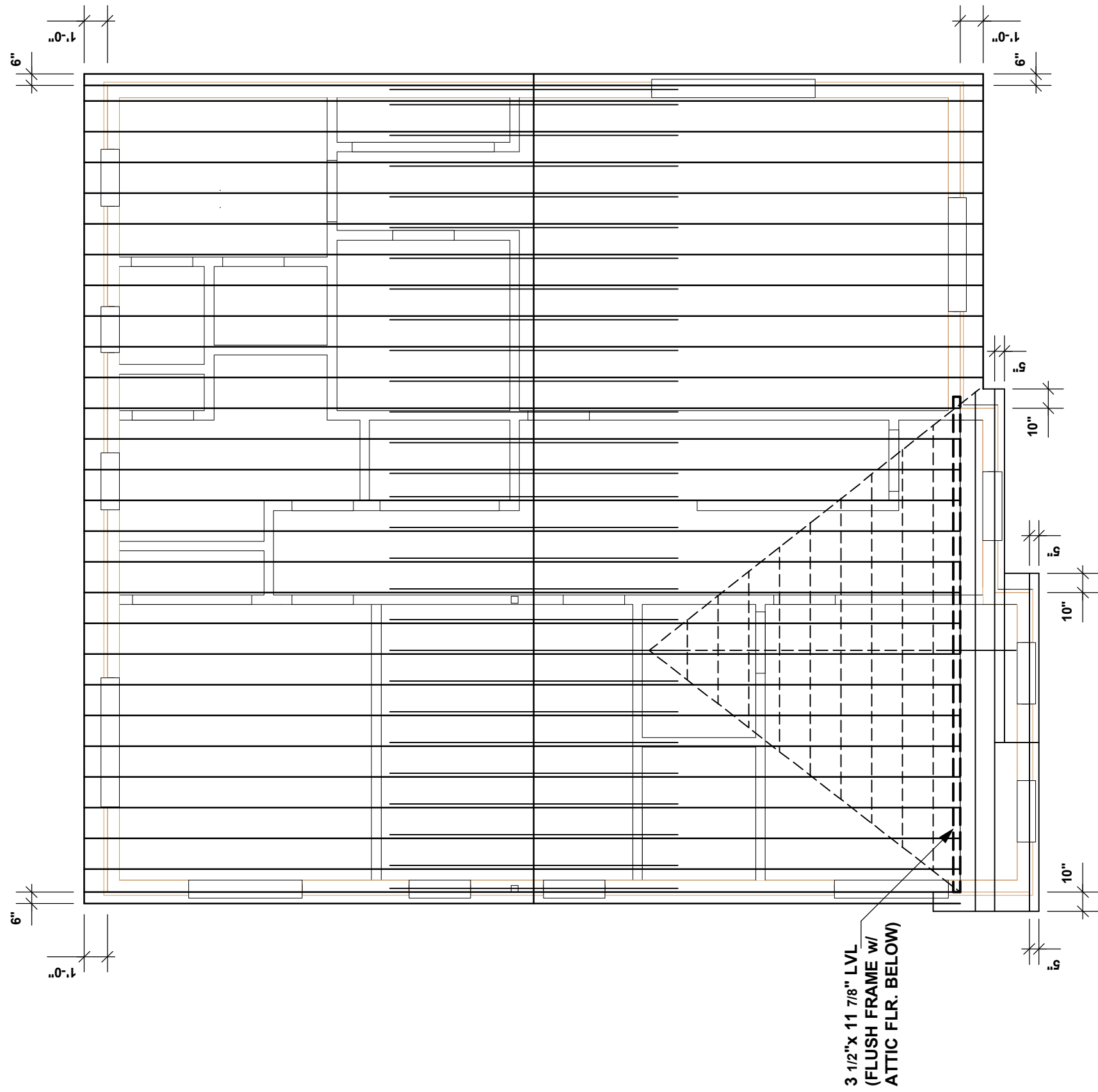
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LVL BEAMS:
 SIZES LISTED ARE APPROXIMATE. CONSULT SPECIFICATION SHEET FOR EXACT DIMENSIONS

**2x12 RAFTERS @ 16" O.C.
 2x6 COLLAR TIES @ 16" O.C.
 2x12 RIDGE BOARD**



- NOTES:**
- LAY FRONT ROOF OVER MAIN ROOF
 - MAIN ROOF HAS 8/12 PITCH
 - FRONT ROOF HAS 10/12 PITCH
 - MAIN ROOF HAS 12" EAVE OVER HANG AND NO RAKE OVERHANG
 - FRONT ROOF HAS 10" EAVE OVERHANG AND 5" RAKE OVERHANG

3 1/2"x 11 7/8" LVL
 (FLUSH FRAME w/
 ATTIC FLR. BELOW)

**ROOF
 FRAMING PLAN**

SCALE: 3/16" = 1'-0"