

*Cover Letter from the Homeowners (Tom & Abbey Durkin)*

**Boston Planning and Development Agency**

Attn: Alexa Pinard; Joanne Marques

26-Aug-21 [*Amended 29-Aug-21*]

**Subject: 114 Baldwin Street Charlestown - Roof Deck Permit Application Cover Letter (# ALT1217056)**

Property / Proposed Project Overview

**Residential Subdistrict: RH-2000**

**Max Allowed Building Height (per Table C – Article 62): 35 ft.**

**Proposed Max Building Height Incl. New Deck + Railing: 27 ft., 11 in.**

**Proposed Incremental Height Above Existing Roof: 51 in.**

**Proposed Setback from Street-Facing Edge: 60 in.**

Proposed Project Overview

My wife and I are Charlestown residents living at 114 Baldwin Street and are seeking permission to construct a roof deck at our home. After purchasing the house in September 2019, we exchanged correspondence with the prior owner and learned there have been multiple permitted roof decks constructed at the house in the past. The most recent of which was approved by the Inspectional Services Department in June, 1999 (Special Form Application # 07448) but was severely damaged in 2013 by a hurricane, obligating the prior owner to remove the damaged deck and never got around to rebuilding the deck before selling the house to us. As such, we propose constructing a new roof deck in accordance with state and city guidelines. The existing roof hatch opening with access stair is in good working condition and we do not propose altering anything about the opening, it's current dimensions or overall structure.

We have thoroughly reviewed Article 62 of the BDA Zoning Code for the Charlestown Neighborhood District; specifically, the conditions set forth Section 62-25, as we sought to propose a design that would ensure compliance with the outlined criteria and would not materially alter the profile and/or configuration of the roof, mindful of appropriate setback from the street-facing edge so as to preserve its street view profile at the 1:1 ratio (1 ft. setback for every 1ft of incremental height).

The following pages include new architectural drawings in addition to those initially submitted, which we believe adequately address the key components of additional information you requested in your recent letter – namely, existing vs. proposed elevations as well as existing vs. proposed roof plans. Further, we have also included an official plot plan stamped by a MA-registered land surveyor as well as photos / maps to provide additional context around our home's location / street-facing profile.

Many thanks for your consideration. Please do not hesitate to reach out with any questions or if there is anything at all we can do to be of further help. We look forward to hearing from you.

Best,

Tom & Abbey Durkin (114 Baldwin homeowners)

**114 BALDWIN ST | CHARLESTOWN, MA | 02129**  
Proposed Roof Deck Construction

*Response to request for additional information as supplement to permit application #ALT1217056.*

August 26, 2021 *[Amended August 29, 2021]*

Property / Project Headlines

**Residential Subdistrict:** RH-2000

**Max Allowed Building Height (per Table C – Article 62):** 35 ft.

**Proposed Max Building Height Incl. New Deck + Railing:** 27 ft., 11 in.

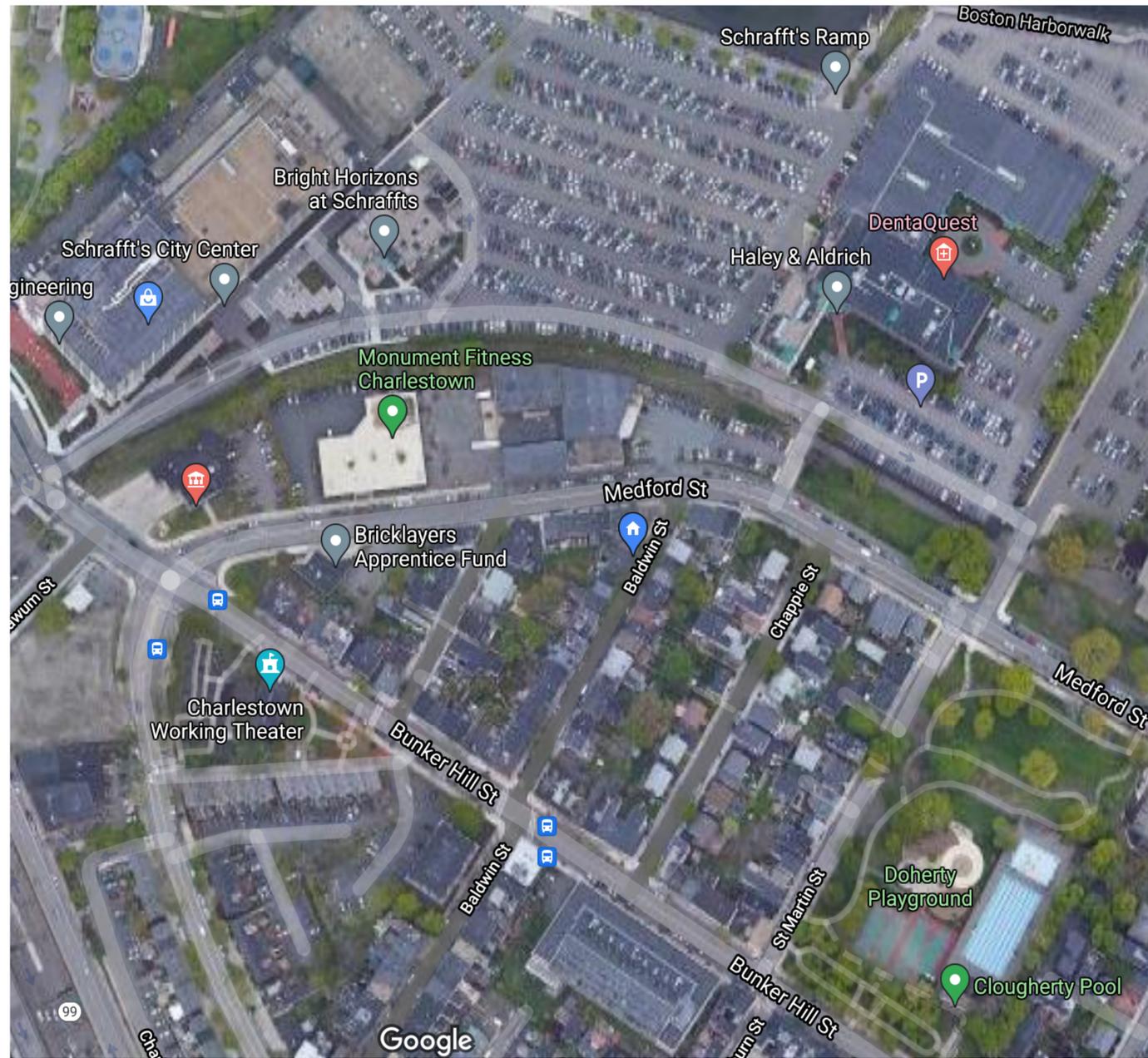
**Proposed Incremental Height Above Existing Roof:** 51 in.

**Proposed Setback From Street-Facing Edge:** 60 in.

*Additional detail provided in following pages:*

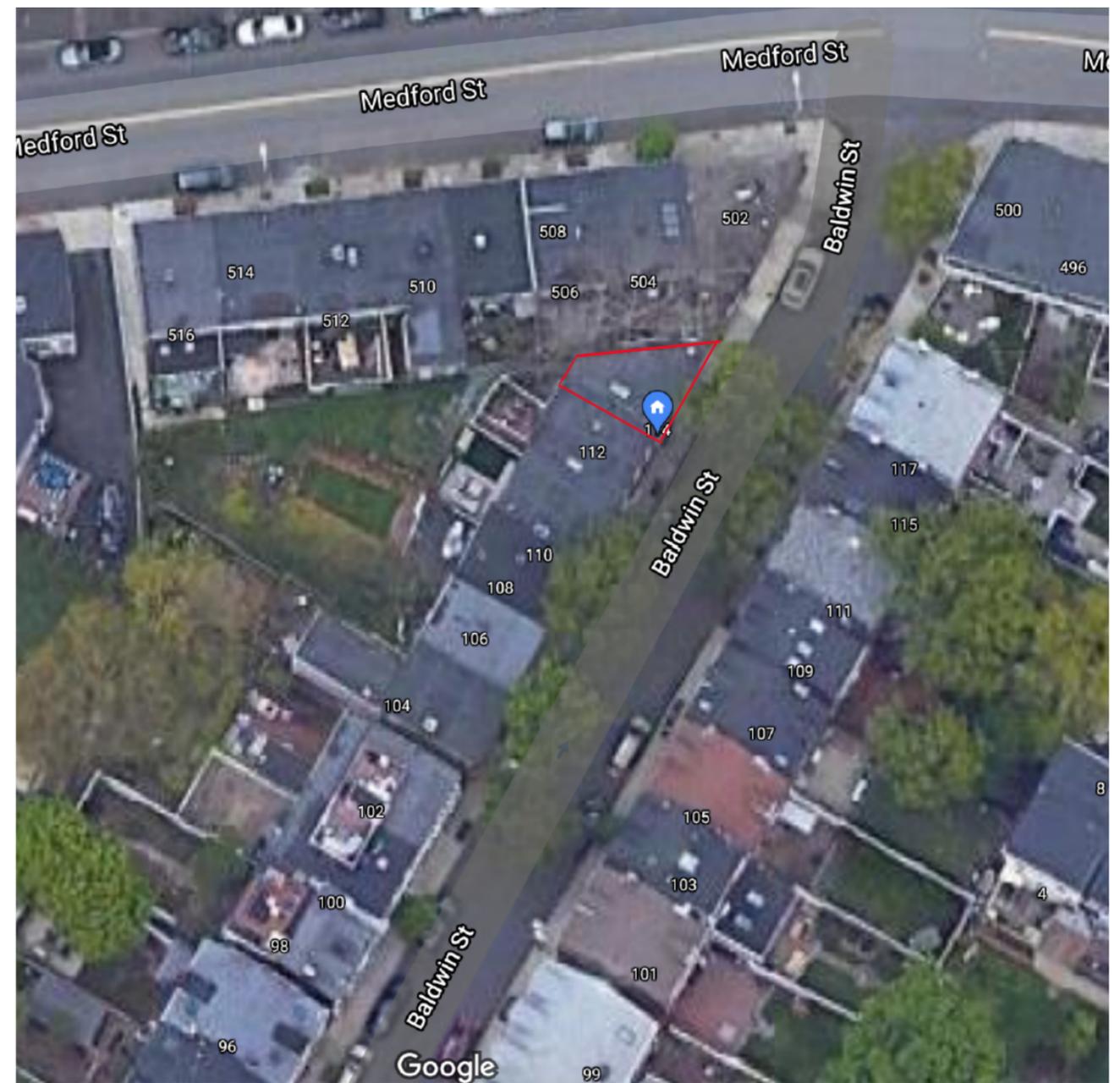
- Map views of property location
- Structural drawings previously submitted
- New architectural drawings (existing vs. proposed elevation and roof)
- Certified plot plan





LOCATION VIEW | ZOOMED OUT

DEPICTION OF PROPERTY (INDICATED BY BLUE BUBBLE WITH HOUSE ICON) POSITIONING WITHIN BROADER NEIGHBORHOOD



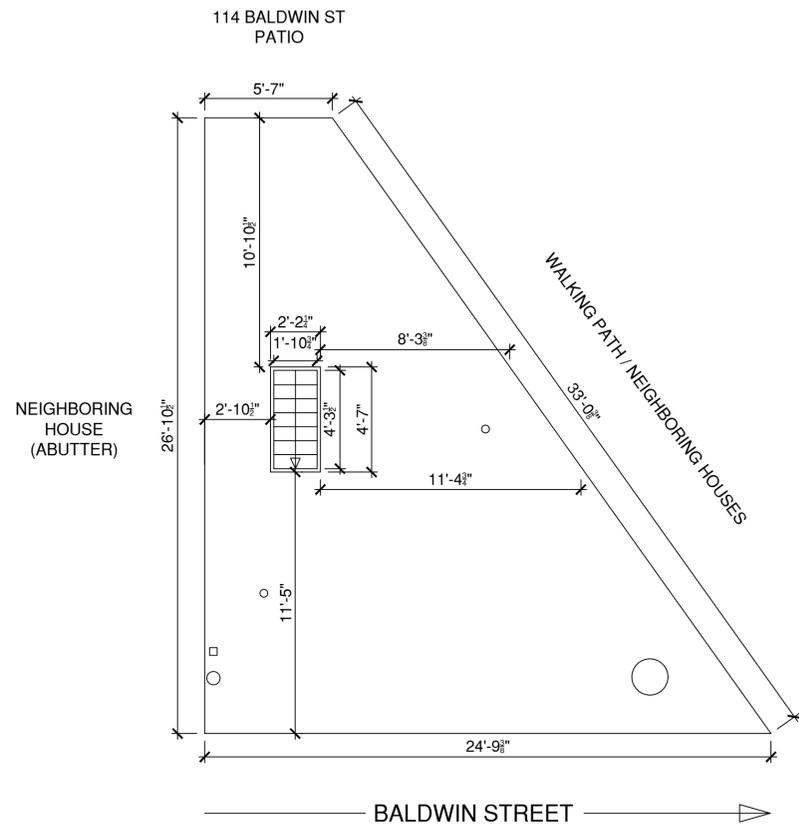
LOCATION VIEW | ZOOMED IN

RED OUTLINE TRACES THE APPROX. PERIMETER OF THE PROPERTY WITH RESPECT TO FRONTAGE STREET (BALDWIN); SHOWING THE CURRENT STATE OF THE FLAT ROOF SURFACE WITH EXISTING HATCH OPENING

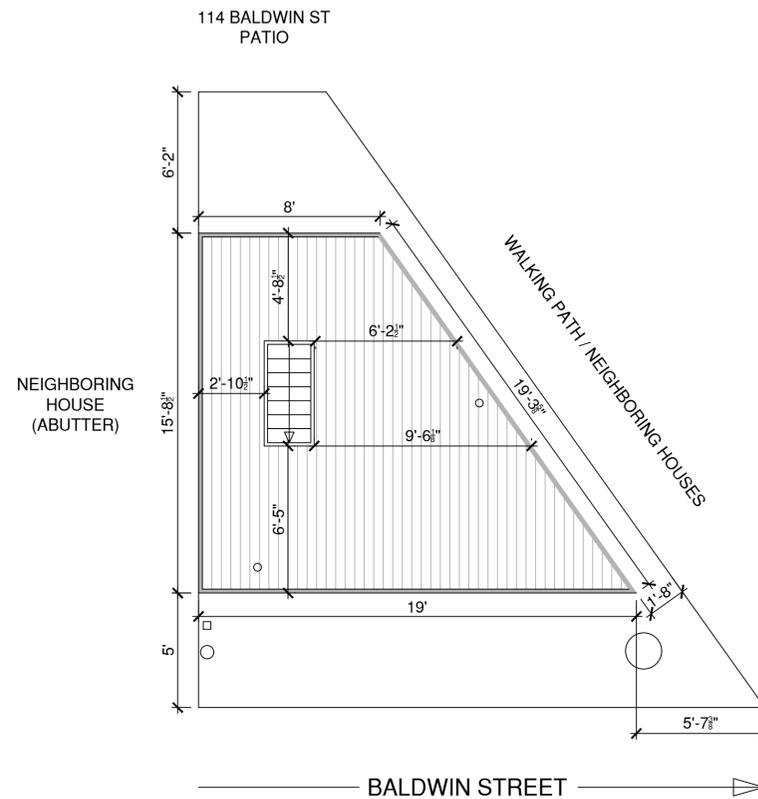








**PLAN** 1/4" = 1'-0"  
 EXISTING ROOF  
 TOTAL AREA: 408'  
 TOTAL PERIMETER: 90'-8"



**PLAN** 1/4" = 1'-0"  
 PROPOSED ROOFDECK  
 PROPOSED AREA: 212'  
 PROPOSED PERIMETER: 62'-1"

COMMENT

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**SURFZONE ENGINEERING**

TITLE  
**EXISTING & PROPOSED FLOOR PLANS**

PROJECT  
 114 BALDWIN ST,  
 CHARLESTOWN, MA 02129

ORDERED BY  
 ABBEY DURKIN

DRAWN	HM	JOB No
CHECKED	FM	
DATE	08/25/2021	SHEET No
SCALE	1/4" = 1'-0"	
PLOTTED	ANSI D	CAD No

PLEASE DESTROY SHEET BEARING PREVIOUS NUMBERS

**PROPOSED RAILING MATERIALS NOTES**

1. ENTIRETY OF PROPOSED RAILING TO BE CONSTRUCTED USING ALL GROUND CONTACT PRESSURE TREATED (PT) WOOD
2. ALL WOOD TO BE STAINED / PAINTED FOLLOWING CONSTRUCTION COMPLETION, FOR AESTHETIC APPEAL AND TO MATCH PROPERTY / NEIGHBORHOOD CHARACTER
3. ALL NAILS, SCREWS AND HANGERS SHALL BE GALVANIZED / WATER RESISTANT

RAIL CAP: PT 2"x 6"  
 GUARD POSTS: PT 4"x 4"  
 BALUSTERS: PT 2"x 2"  
 TOP & BOTTOM RAILS: PT 2"x 4"



**ELEVATION** 1/4" = 1'-0"  
 EXISTING ELEVATION  
 MAX HEIGHT: 24'-3"



**ELEVATION** 1/4" = 1'-0"  
 PROPOSED ELEVATION  
 MAX PROPOSED HEIGHT: 27'-11"

COMMENT

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**SURFZONE ENGINEERING**

TITLE  
**EXISTING & PROPOSED  
 ELEVATION VIEW**

PROJECT  
 114 BALDWIN ST,  
 CHARLESTOWN, MA 02129

ORDERED BY  
 ABBEY DURKIN

DRAWN	HM	JOB No
CHECKED	FM	
DATE	08/25/2021	SHEET No
SCALE	1/4" = 1'-0"	
PLOTTED	ANSI D	CAD No

PLEASE DESTROY SHEET BEARING  
 PREVIOUS NUMBERS

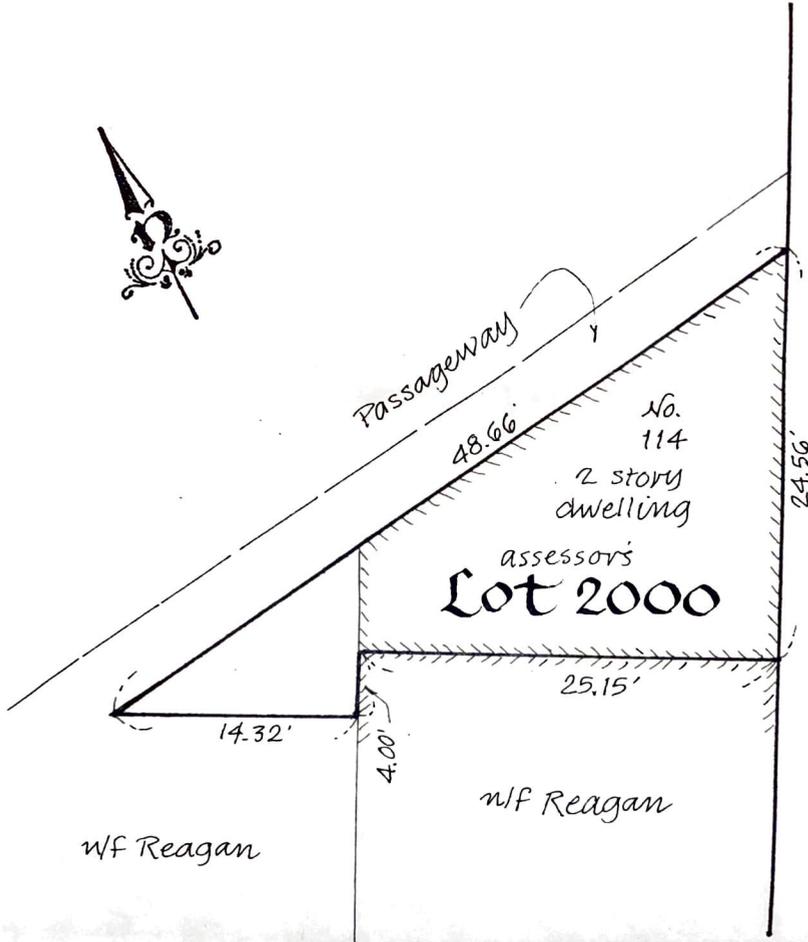


# MORTGAGE INSPECTION PLAN

Applicant: Pollak

Location: Charlestown

114 Baldwin St



Baldwin Street

Title ref: Ctf. 125859 Flood Panel: 2502500014J Flood Zone: X

I hereby certify that this mortgage inspection was prepared for Stiles and Associates, LLC

The dwelling shown hereon does not fall in a special F.E.M.A. flood zone "A" or "V", with an effective date of 3-16-16 and the location of the dwelling does conform to the local zoning by-laws in effect at the time of construction with respect to horizontal dimensional setback requirements or is exempt from violation enforcement action under M.G.L. Ch. 40A, sect. 7.



Scale: 1" = 10'

Date: 8-1-19

File No. 19-1404

Please note: The structures shown on this mortgage inspection are shown approximate only. An instrument survey is necessary to determine a precise location of structures and property lines. This mortgage inspection must not be used for recording purposes or for use in preparing deed descriptions and must not be used for variance or building department purposes. Verification of building locations, property line dimensions, fences or lot configuration can only be accomplished by an accurate instrument survey which may reflect different information than what is shown hereon. NOTE: THIS IS NOT A BOUNDARY SURVEY AND IS FOR MORTGAGE PURPOSES ONLY.

## COLONIAL LAND SURVEYING COMPANY, INC.

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