

*Proposed Two-Family Dwelling  
194 Trenton Street  
East Boston, MA  
Parcel I.D. 0103204000  
Owner  
Salvatore & Nancy Rinaldi*

*February 25, 2018  
Amendment Submittal Plans  
For Small Project Review  
Boston Planning & Development Agency  
(Previous submittal 12/22/17)  
Application # ERT 887738*

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*D1 Site/Floor 1  
D2 Front Elevation  
D3 Left Side Elevation  
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D5 Floor 2  
D6 Floor 3*

*Article 53*

*Three Family Residential Subdistrict: Zoned 3F-2000  
NDOD Overlay District  
Current Property Use: Vacant Lot*

*Proposed Property Use: 2 Family Residential Units*

*CODE SUMMARY*

- 1. Designed in accordance with 2009 IRC 8th Ed. MSBC*
- 2. Energy Code 2015 IECC  
Compliance with Home Energy Rating System (HERS)*
- 3. NFPA 72 -Interconnect all Carbon/Smoke Detectors*
- 4. Provide impermeable spray foam insulation to comply with unvented roof/ceiling assembly Provide Thermal protection in accordance with NFPA 286.*
- 5. Provide fireblocking at required locations.*
- 6. 2015 IECC ZONE 5A  
Roof R49  
Walls R21  
Fenestration U .30, Skylights U .50  
Provide air barrier and thermal protection at all locations.*
- 6. Provide STC 50 Rating between dwelling units*

*DESIGN LOADS*

- 1. Floor 40 # Live Load 10# Dead Load*
- 2. Roof Truss 50 # Ground Snow Load, 30# Attic floor live load*
- 3. LUMBER Deflection L/360 Fb' 1200 Modulus 1.3M*
- 4. Basic Wind Speed 100mph. Exposure B Seismic Category C*
- 5. Stairs 300# Concentrated load Railings/Guards 200# concentrated load*

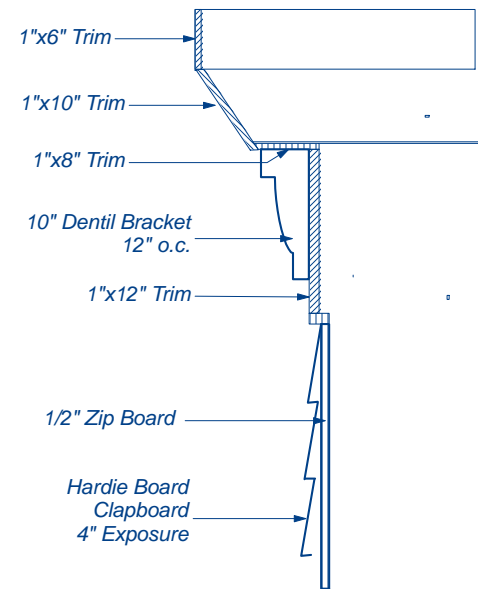
*NOTES:*

- 1. All joists and floor trusses are clear span and do not rely on center bearing walls or center supporting main beam.*
- 2. Provide manufacturer's specification and design calculation sheets for all pre-engineered lumber.*
- 3. All interior doors are 30" minimum width (except closets)*
- 4. Provide make up air in conformance with HERS specification report.*
- 5. Extend masonry chimney to at least two feet higher than any portion of roof within ten feet, but no less than three feet above roof line in any case.*
- 6. Contractor is responsible TO FIELD VERIFY all measurements.*
- 7. Install all pre-engineered lumber in accordance with manufacturer's written installation instructions.*
- 8. Provide structural rim band at bearing walls to augment existing first floor opening headers.*
- 9. Contractor is responsible for compliance with 2009 MSBC and 2015 IECC.*

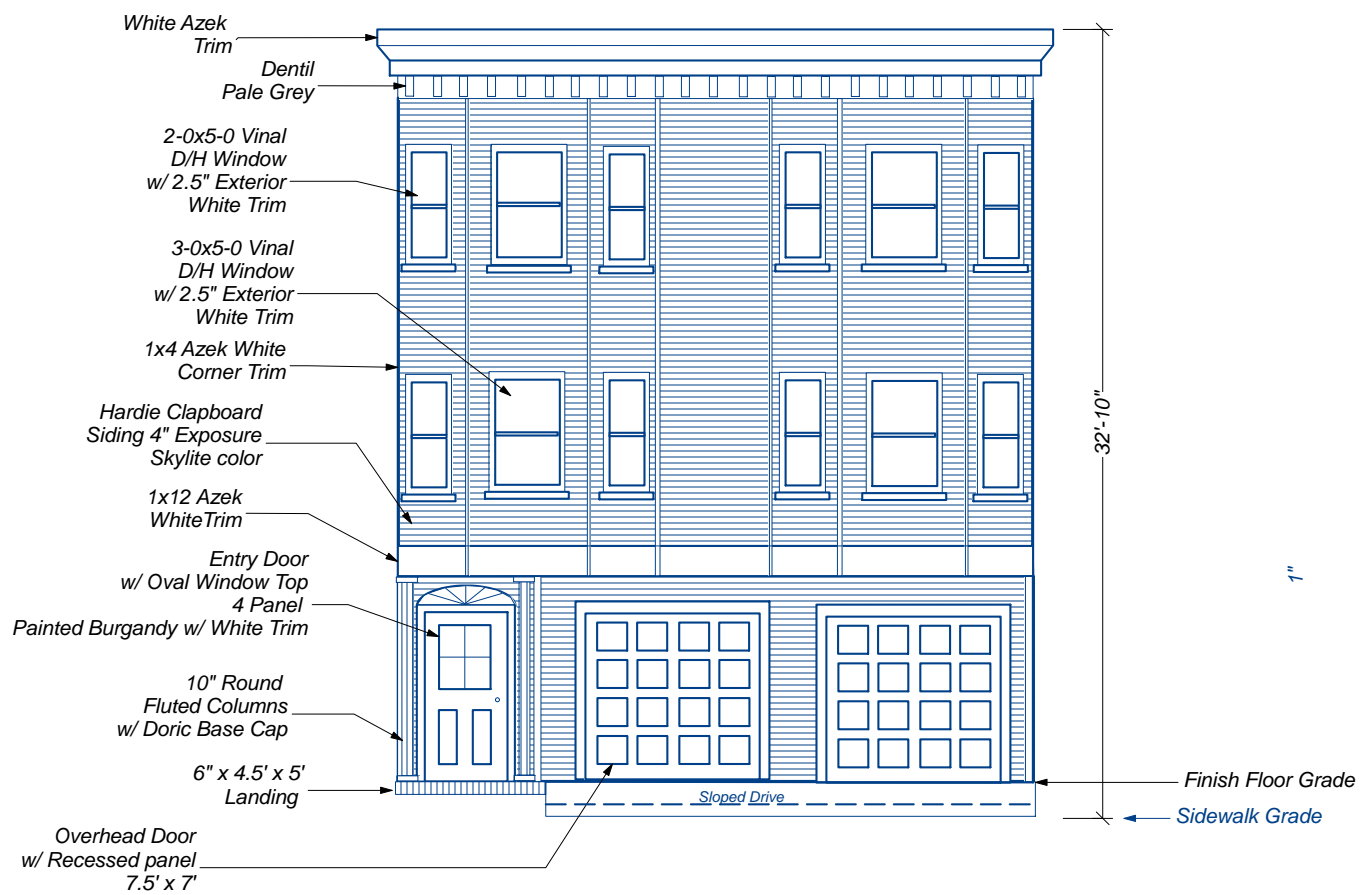
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*DUCA ENGINEERING  
BERWICK, ME.*

*Cover Page*



Front Parapet Profile  
 N.T.S.



Front Elevation

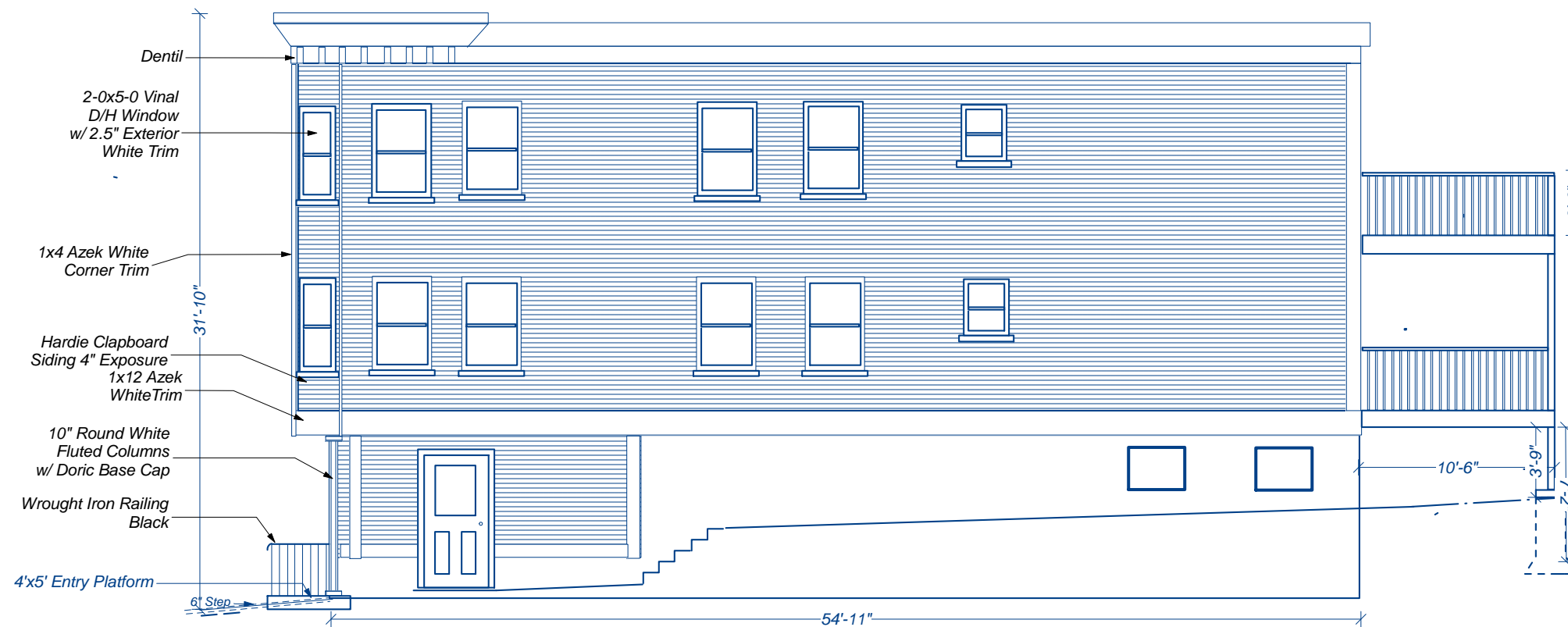
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Front Elevation

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 February 25, 2018  
 Scale 1/8" = One Foot

**D2**



Right Elevation

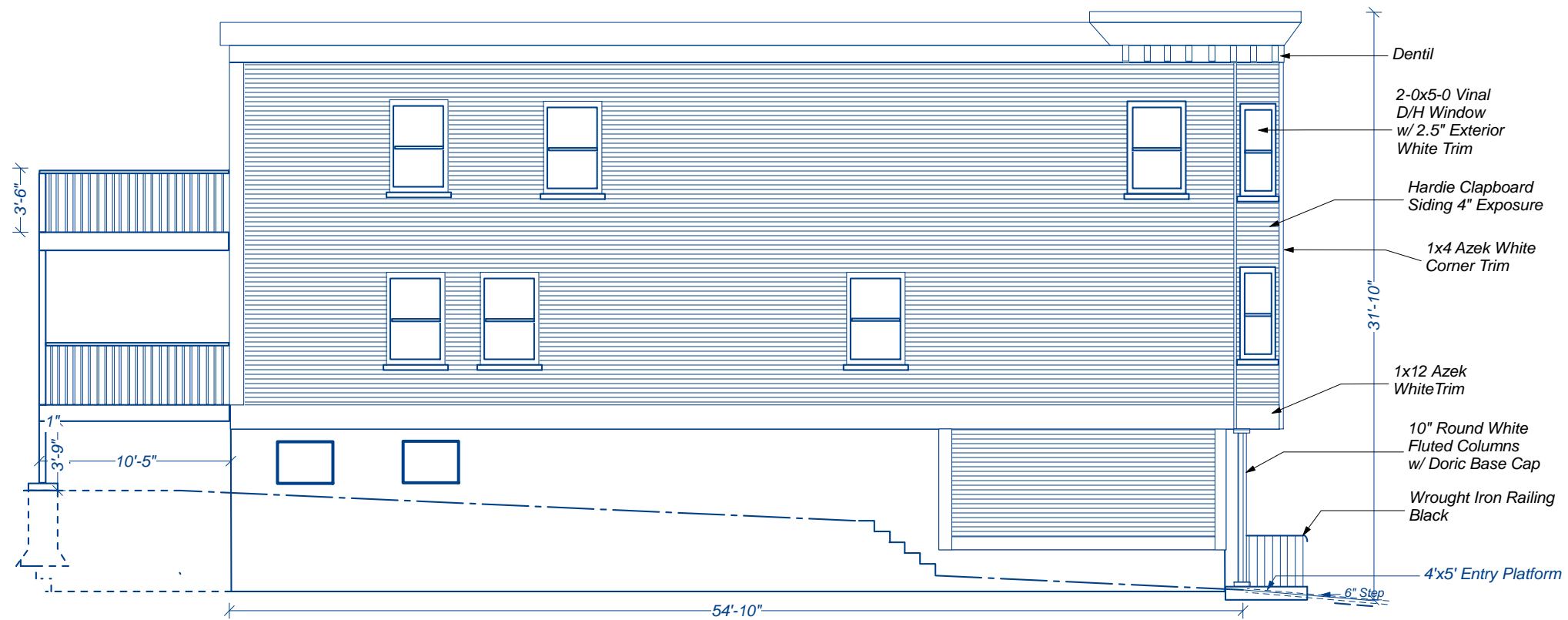
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Right Elevation

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**D4**



Left Elevation

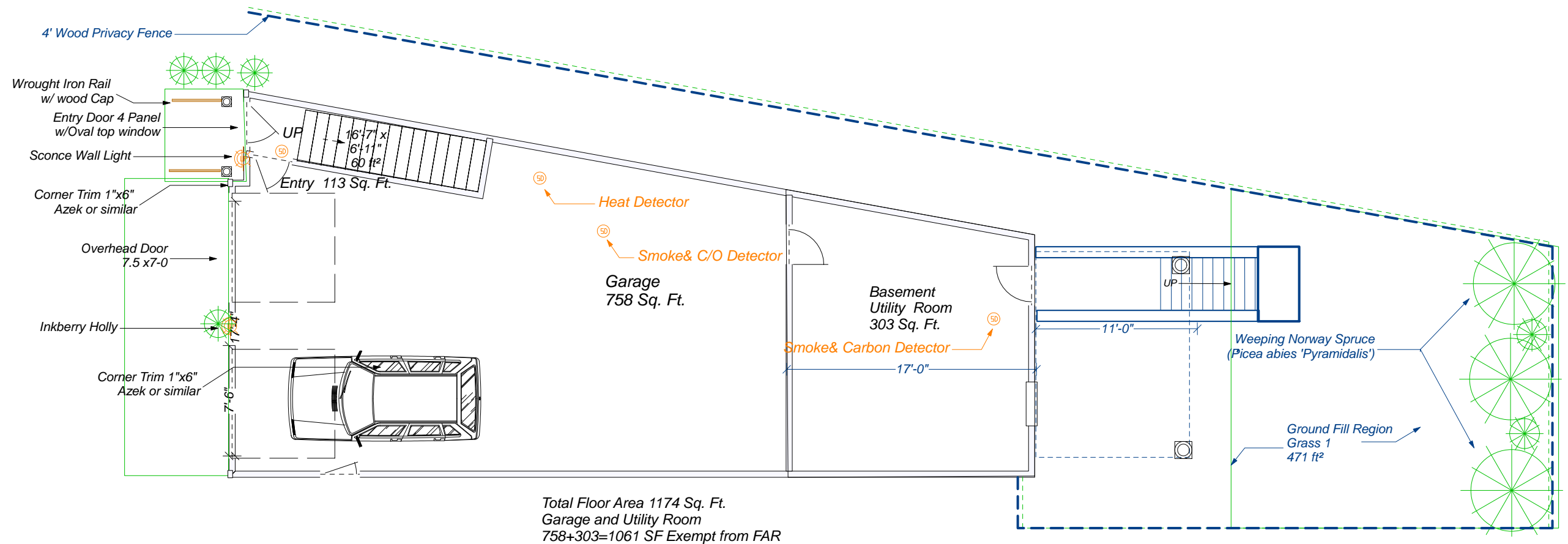
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Left Elevation

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**D3**



Garage/Grade/Site

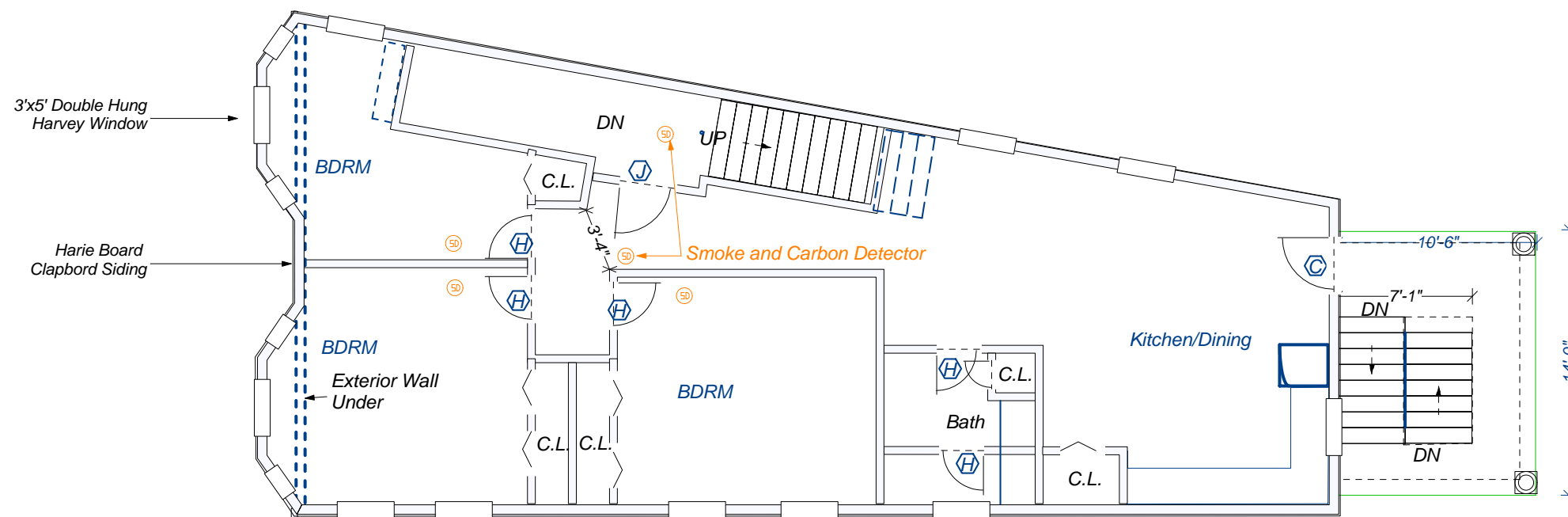
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Floor 1 Garage

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**D1**



Floor 2

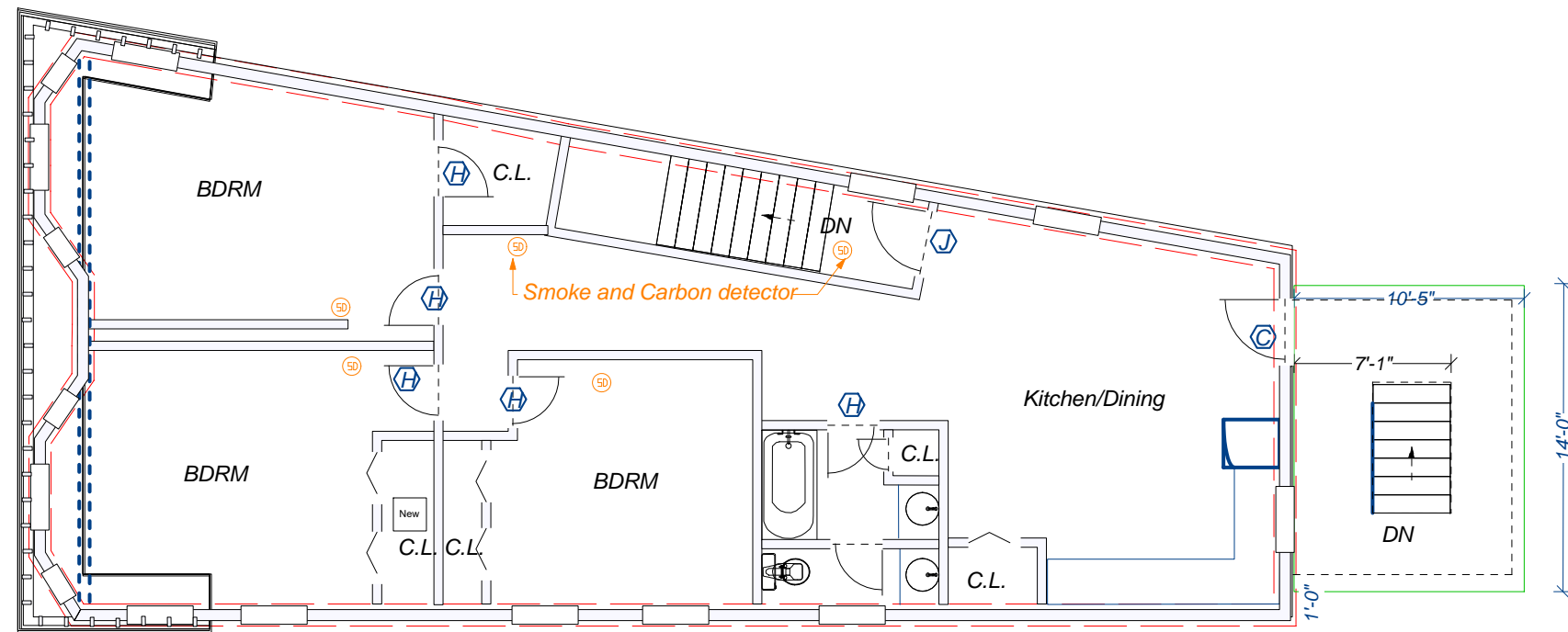
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Floor 2

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**D5**



Floor 3

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**D6**

