

11 ARBOR VIEW ROAD, JAMACIA PLAIN, MA

GENERAL REQUIREMENTS

- CONTRACTOR TO REVIEW ALL DRAWINGS AND DIMENSIONS AND BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- NOTIFY ARCHITECT PRIOR TO PLACING CONCRETE & COMPLETION OF STRUCTURAL FRAME.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION WAYS AND MEANS.
- COORDINATE WITH STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- COORDINATE LAYOUTS WITH INTERIOR DESIGNER PRIOR TO ROUGH PLUMBING.

FOUNDATION

- ALLOWABLE SOIL STRESS, 2000 LBS / SF
- ALL FOOTINGS TO BE PLACED ON UNFROZEN, UNDISTURBED OR COMPACTED SOIL.
- ALL FOOTINGS TO BE 4' BELOW GRADE MIN.
- DAMP PROOF ALL EXTERIOR CONCRETE IN CONTACT WITH SOIL
- PROTECT FOOTINGS AGAINST FROST

- UNTIL BACKFILLED
- PROVIDE PERIMETER PERFORATED DRAIN.
 - PROVIDE VAPOR BARRIER UNDER ALL SLABS & PERIMETER UNDERSLAB PERFORATED DRAIN.
 - EXTERIOR FOOTINGS MINIMUM 4' BELOW GRADE. INTERIOR FOOTINGS JUST UNDER SLAB.

CONCRETE

- COMPRESSIVE STRENGTH OF CONCRETE TO BE 3000 PSI AT 28 DAYS
- SLABS ON GRADE TO BE PLACED IN 1,200 SF PANELS MAX. ON MIN. 4" COMPACTED CRUSHED STONE AND 10 MIL VAPOR BARRIER & 2" RIGID TYPE IX EPS INSULATION.
- SLABS TO BE REINFORCED WITH 6X6 WWF.
- CONTROL JOINTS TO BE CUT OR TROWEL 1/4" DEEP AT 20'X20' MIN. SPACING.
- MINIMUM CONCRETE COVER FOR REBAR IN AREAS IN CONTACT WITH GROUND TO BE 3" MIN.
- MINIMUM CONCRETE COVER FOR OTHER

- AREAS TO BE 2" MIN.
- SLOPE GARAGE FLOOR 1/4" /FT TO DOOR.

STRUCTURAL STEEL CONSTRUCTION


- ALL STEEL TO BE A36, PRIMED
- BASEMENT COLUMNS TO BE 4X4X1/4" TUBE OR PIPE WITH 5/8" X 9"X 4" TOP PLATE AND 6"X9"X5/8" BOTTOM PLATE, LAG BOLTED TO BEAMS WITH 4 5/8" LAG BOLTS OR LALLY COLUMNS W/ HEAVY GRADE STEEL JACKET. 5/8" GWB WRAP MIN. FOR FIRE PROTECTION OF HOLLOW COLUMNS.

STRUCTURAL WOOD CONSTRUCTION

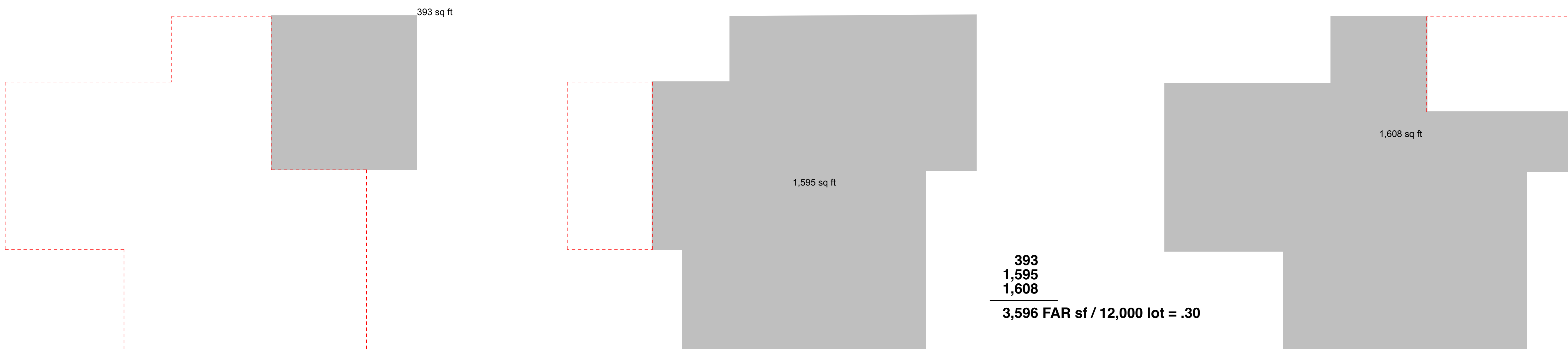
- ALL FRAMING LUMBER KD OR ENGINEERED.
- NEW FRAMING TO HAVE THE FOLLOWING MINIMUM ALLOWABLE BENDING STRESS (Fb), SHEAR (Fv) AND MODULUS OF ELASTICITY (E)
2" WIDE JOIST FB = 1,200 MIN. , E = 1,500,000, FV = 150 PSI
- STUDS - Fb = 1,000 PSI, E=1,200,000 PSI, FV = 75 PSI

- LAMINATED VENEER LUMBER - BENDING Fb = 2,800 PSI, E = 2,000,000 PSI, SHEAR = 290 PSI.
- SILLS TO BE 2 - 2X6 PT WITH 5/8" X 1" ANCHORS BOLTS @ 4' O.C.
- BEARING PARTITIONS SHALL BE BRIDGED @ MID HEIGHT.
- FLOOR SPANS > 10' SHALL BE BRIDGED.
- BUILT UP WOOD BEAMS SHALL BE BOLTED WITH TIMBER LOCK 3/16" BOLTS AT 16" O.C. STAGGARD.
- LEDGERS SHALL BE LAGED TO STUDS OR JOIST BAND @ 32" O.C. MIN. WITH LEGER LOCK 3/8" LAGS. SPANS GREATER THAN 8' TO BE 2 - 3/8" LAGS @ 32" O.C.
- NO JOIST SHALL BE NOTCHED AT TOP OR BOTTOM.
- PROVIDE DOUBLE JOIST UNDER ALL NON LOAD BEARING PARTITIONS PARALLEL TO FLOOR FRAMING.
- PROVIDE SOLID BLOCKING WHERE JOIST ENDS ARE UNRESTRAINED FROM ROTATION.
- MINIMUM BEARING FOR ALL JOIST OR RAFTERS TO BE 3"


- MINIMUM BEARING FOR ALL BEAMS TO BE 3.5"
- LINTELS TO BEAR ON MINIMUM OF 2 JACK STUDS.
- PLYWOOD OR OSB FOR SUBFLOOR TO BE 3/4" T&G GLUED AND GUN NAILED 8" X16".
- COLUMNS TO BEAR ON SOLID WOOD BLOCKING. METAL CONNECT OR LAG TOPS & BOTTOMS WITH FOUR - 3/8" LAGS 2" TARGET EMBEDMENT FOR CONTINUOUS RESISTANCE TO UPLIFT.
- ALL RAFTERS TO BEAM & RAFTER TO PLATE CONNECTIONS TO BE METAL CONNECTED W/ SIMPSON H2.5 HURRICANE CLIPS.
- RESOLVE LOADS ON COLUMNS TO FOUNDATION OR BEAM BELOW. SOLID BLOCK ALL CAVITIES FOR CONTINUOUS BEARING.
- ALL JOIST HANGERS TO BE SIZED TO REACTIONS OF BEAMS OR JOIST.
- PRESSURE TREATED WOOD TO BE USED AT ALL WOOD TO CONCRETE CONTACT.
- PROVIDE SHOP DRAWINGS FROM MANUFACTURER OF WOOD FRAME

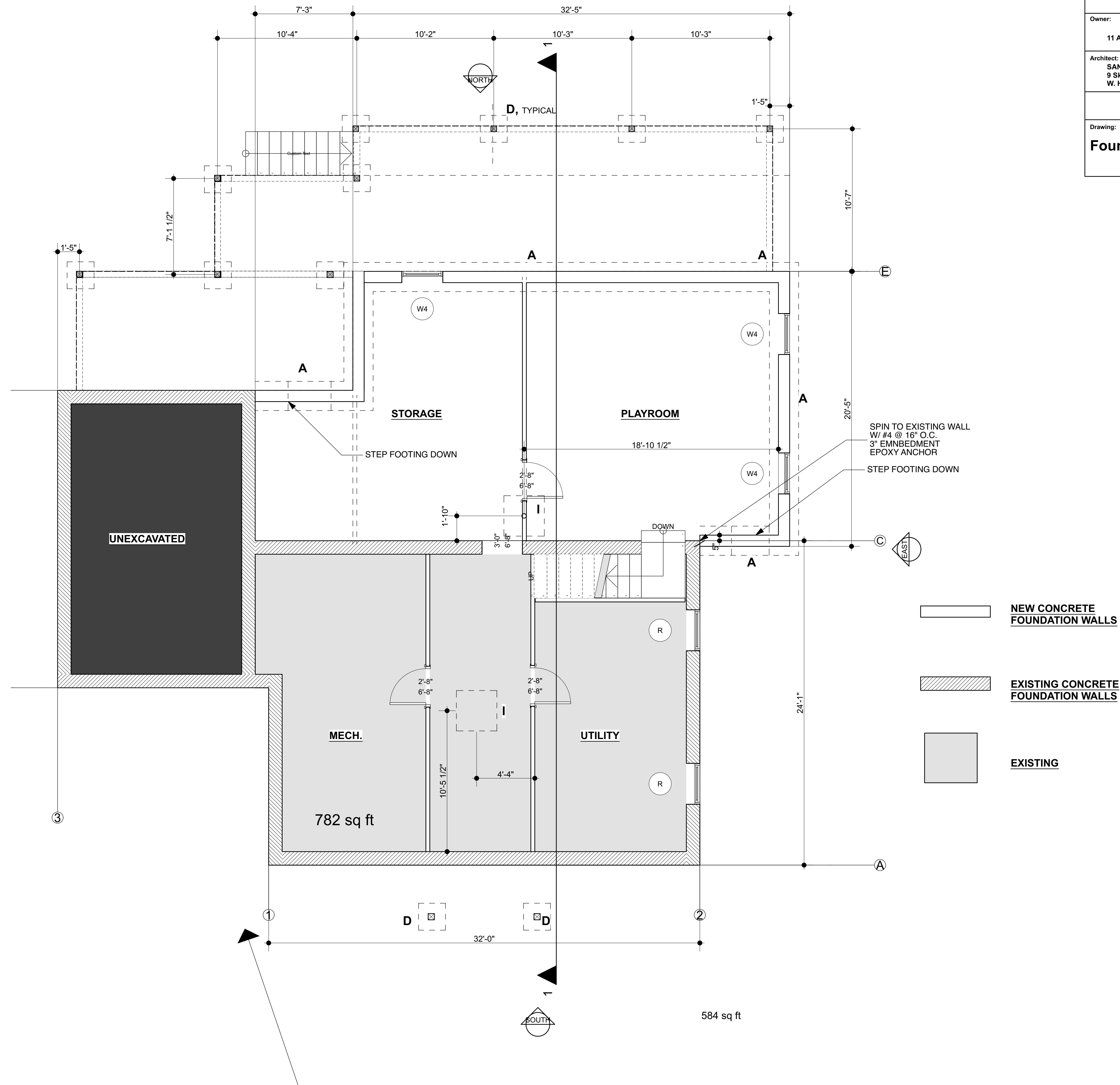
Project: 11 ARBOR VIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Cover & Specifications		A0


	Lot area, Minimum for Dwell. Unit(s) Specified (Sq.Ft.)	Additional Lot Area for Ea. Addit'l Dwell. Unit (Sq.Ft.)	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio Maximum	Building Height Maximum ⁽²⁾		Usable Open Space Minimum Sq. Ft. Per Dwelling Unit ⁽³⁾	Front Yard Minimum Depth (Feet) ⁽⁴⁾	Side Yard Minimum Width (Feet) ⁽⁵⁾	Rear Yard Minimum Depth (Feet)	Rear Yard Maximum Occupancy by Accessory Buildings (Percent)
						Stories	Feet					
1F-9,000⁽¹⁾												
1 Family Detached	9,000	N/A	70	70	0.3	2-1/2	35	2,000	25	12	40	25
Other Use	9,000	N/A	70	70	0.3	2-1/2	35	2,000	25	12	20	25

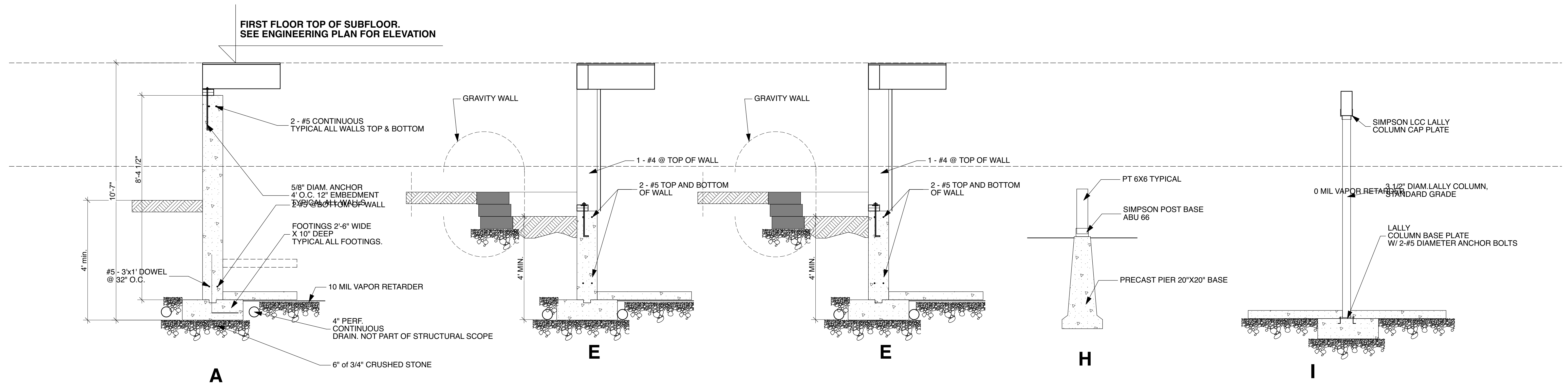


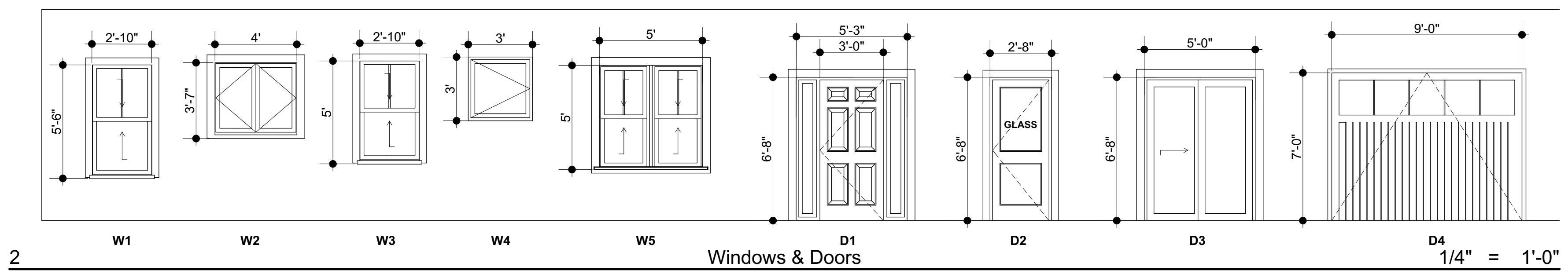
- A0 - SPECIFICATIONS & ZONING TABLE
- A1 - FOUNDATION PLAN
- A2 - FOUNDATION WALLS
- A3 - FIRST FLOOR PLAN
- A4 - SECOND FLOOR PLAN
- A5 - ROOF PLAN & TYPICAL WALL SECTION
- A6 - ELEVATIONS
- A7 - ELEVATIONS
- A8 - SECTIONS
- A9 - FRAMING PLANS

Project: 11 ARBOR VIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Foundation Plan		A1



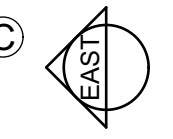
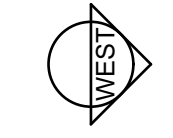
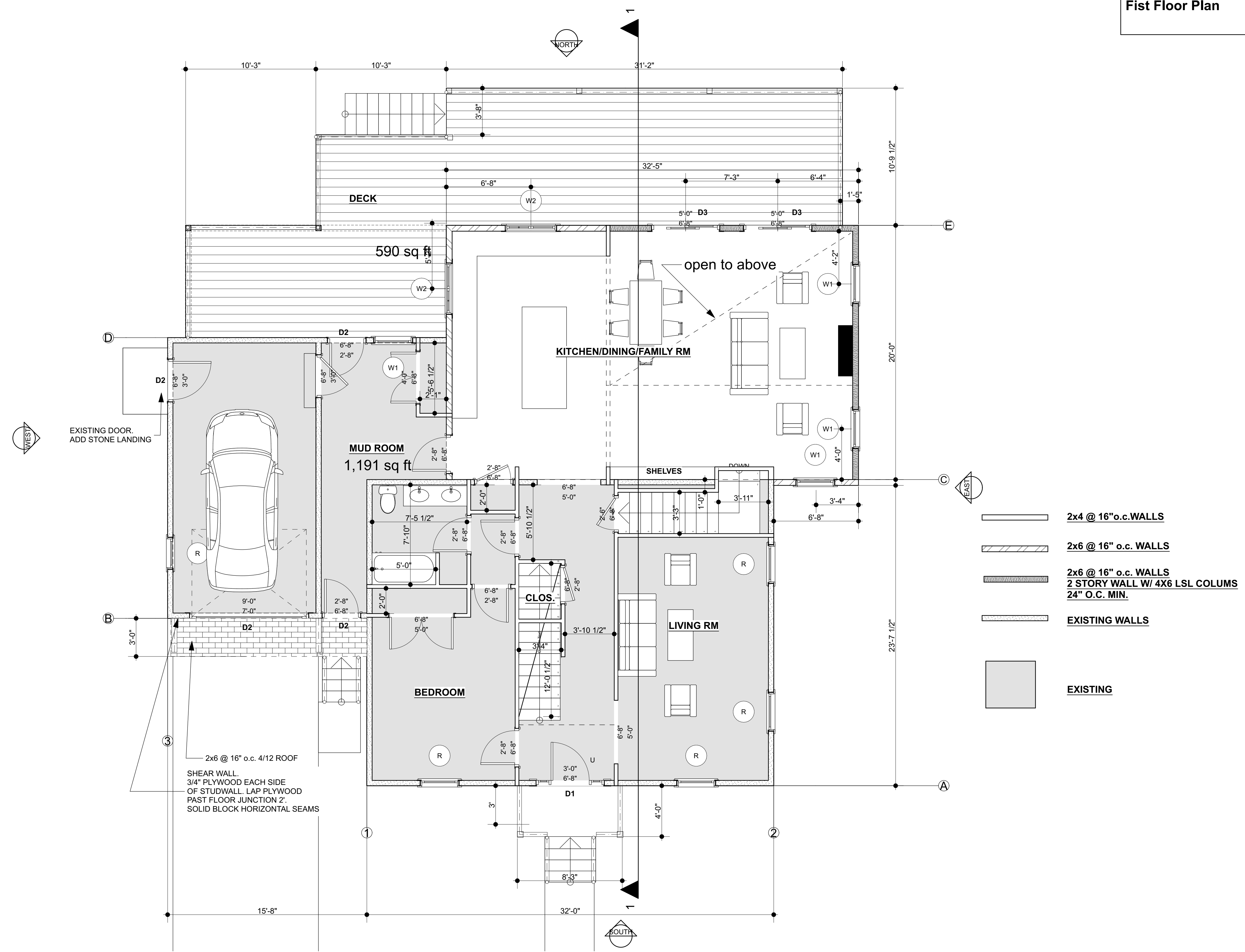
Project: 11 ARBOR VIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
Owner: 11 ARBORVIEW LLC		Date: 9-26-21 12-10-21
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 617 272 5402		
Drawing: Foundation Walls		A2





2

Project: 11 ARBOR VIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21
Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402		A3
Drawing: Fist Floor Plan			



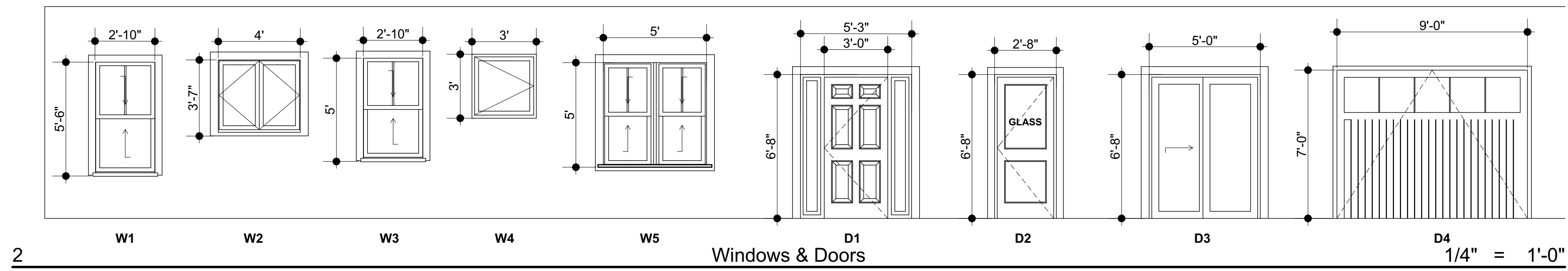
- 2x4 @ 16" o.c. WALLS**
- 2x6 @ 16" o.c. WALLS**
- 2x6 @ 16" o.c. WALLS**
2 STORY WALL W/ 4X6 LSL COLUMNS
24" O.C. MIN.
- EXISTING WALLS**
- EXISTING**

2x6 @ 16" o.c. 4/12 ROOF
SHEAR WALL
3/4" PLYWOOD EACH SIDE
OF STUDY WALL LAP PLYWOOD
PAST FLOOR JUNCTION 2"
SOLID BLOCK HORIZONTAL SEAMS

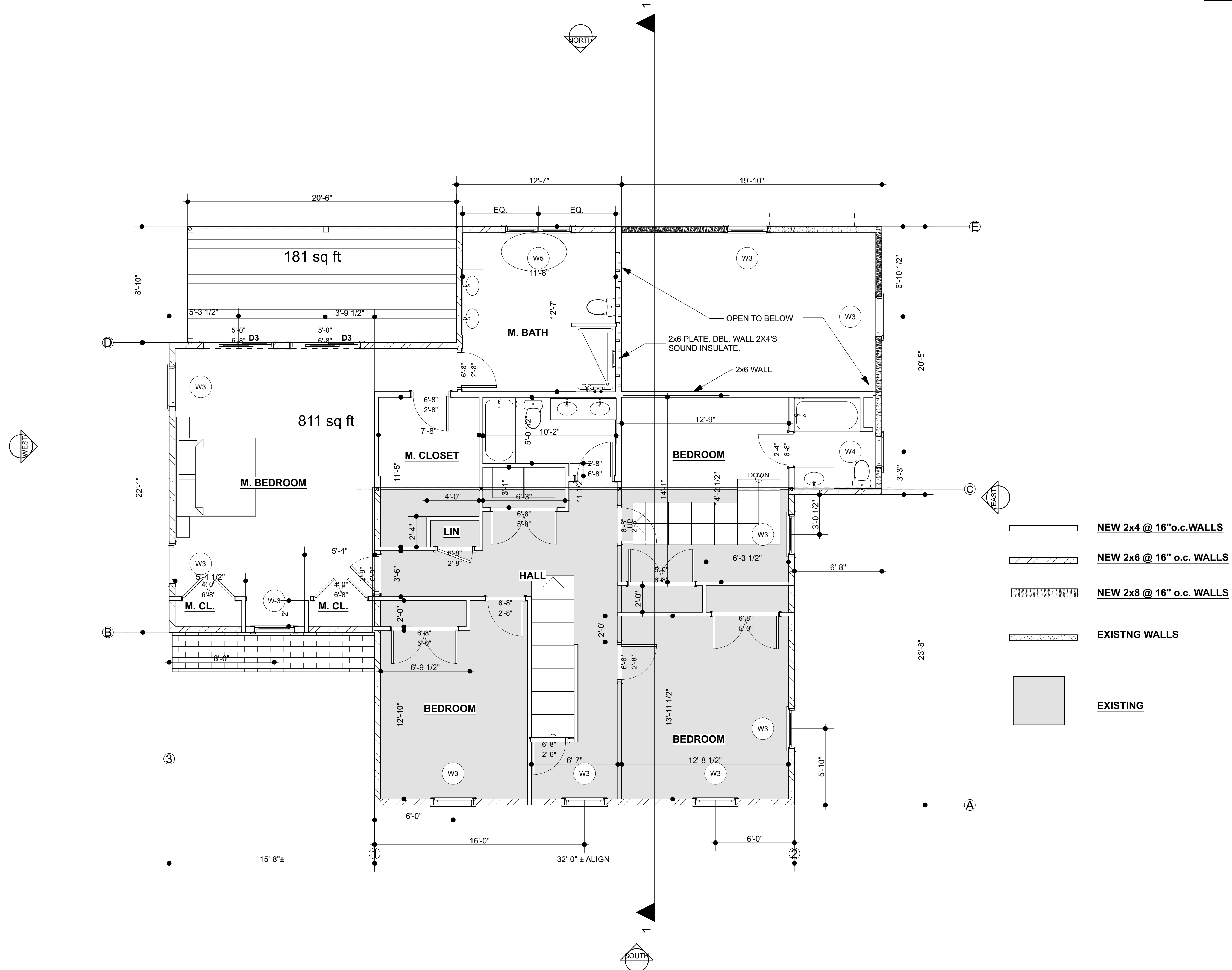
1


Fist Floor Plan

1/4" = 1'-0"

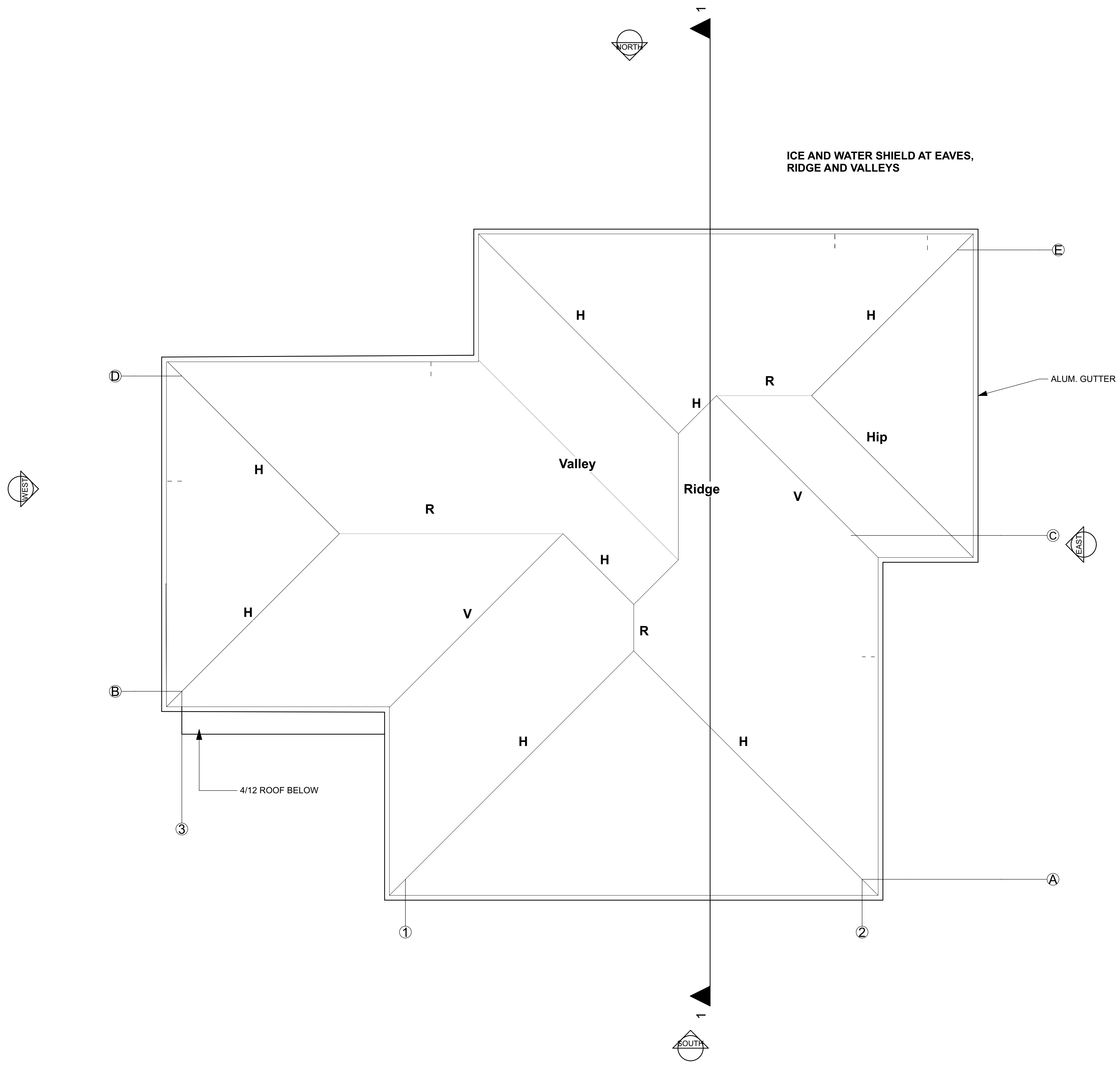


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Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Second Floor Plan		A4	

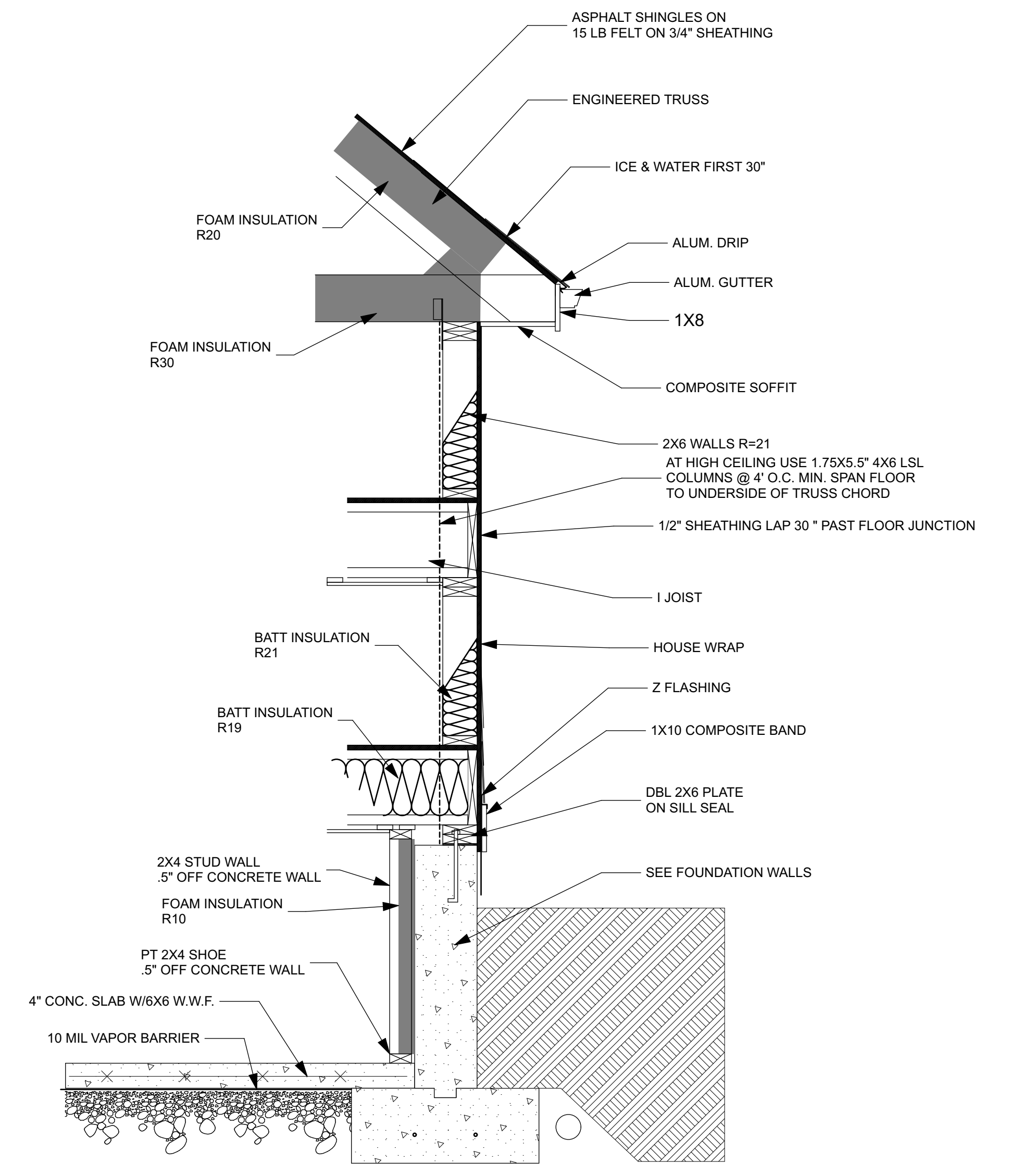


Project: 11 ARBOR VIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME			Date: 9-26-21 12-10-21 12-14-21
Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: Roof Plan & Typical Wall Section		A5	

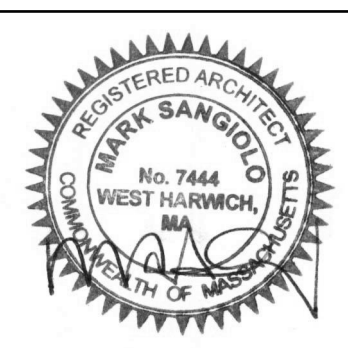
ICE AND WATER SHIELD AT EAVES,
RIDGE AND VALLEYS

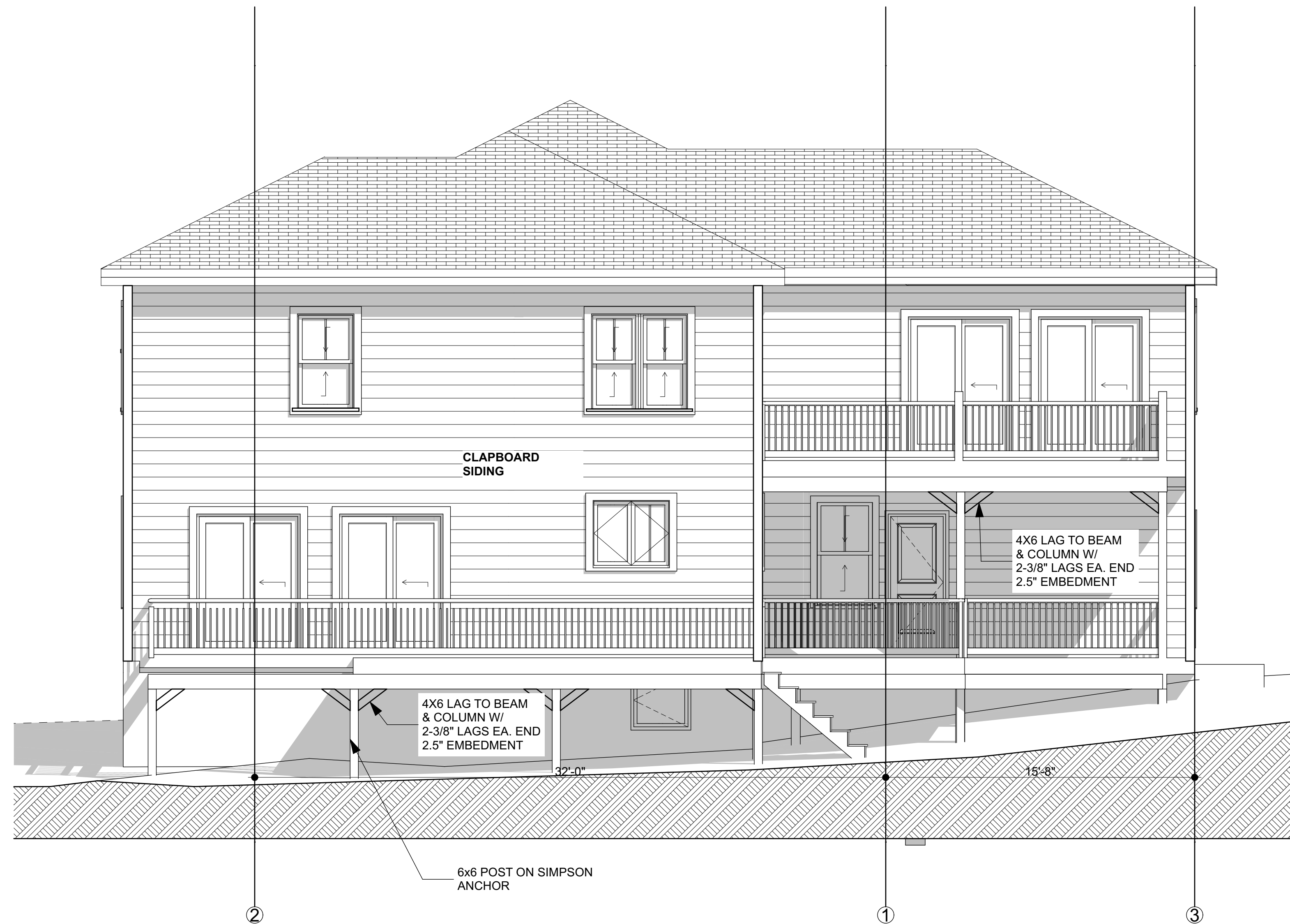


1 Roof Plan 1/4" = 1'-0"



2 Wall Section 3/4" = 1'-0"

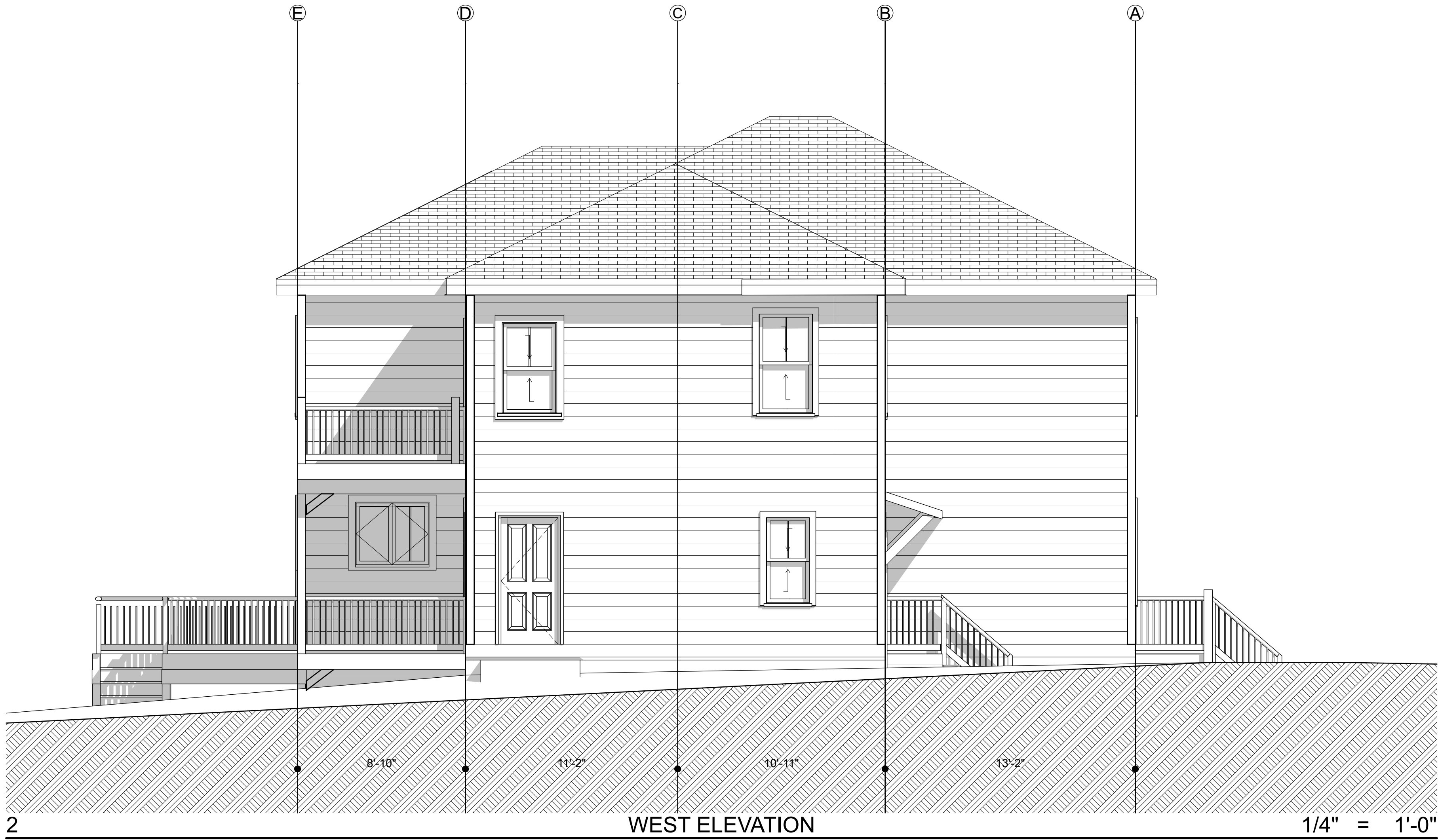
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Owner: 11 ARBORVIEW LLC	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 617 272 5402		
Drawing: Elevations			A6




2 NORTH ELEVATION 1/4" = 1'-0"




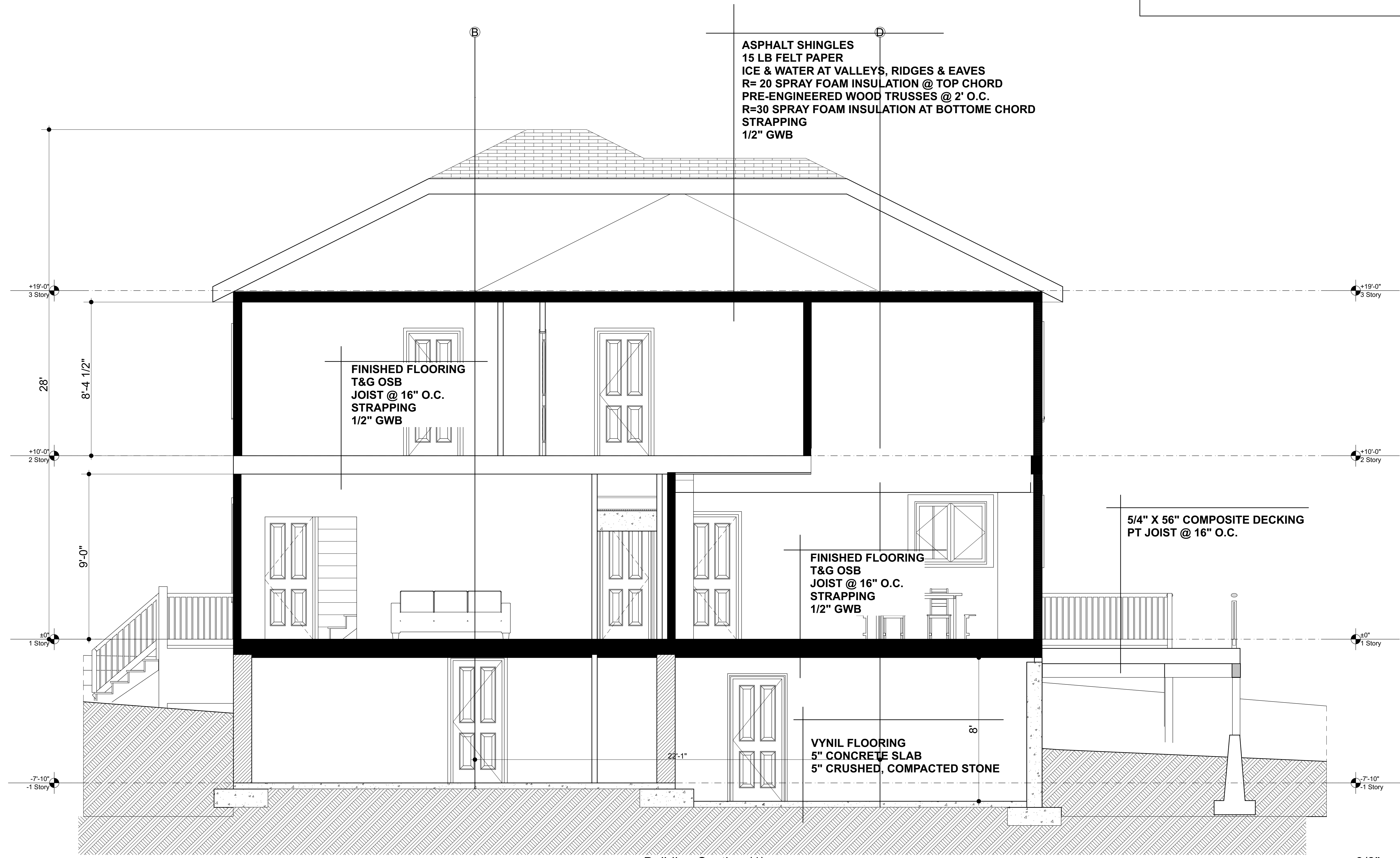
1 SOUTH ELEVATION 1/4" = 1'-0"




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Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 617 272 5402		
Drawing: Elevations		A7

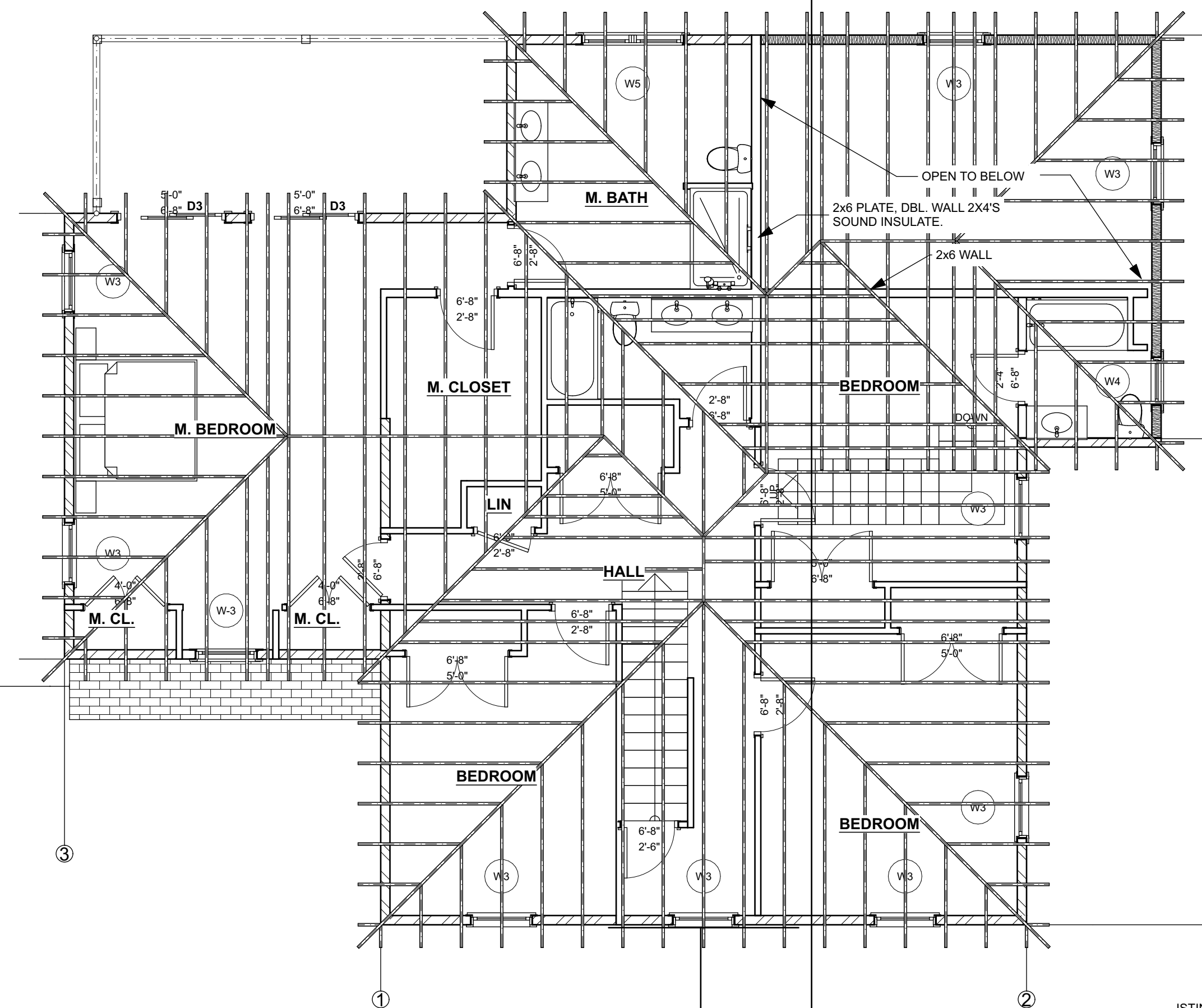


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Drawing: Section		A8

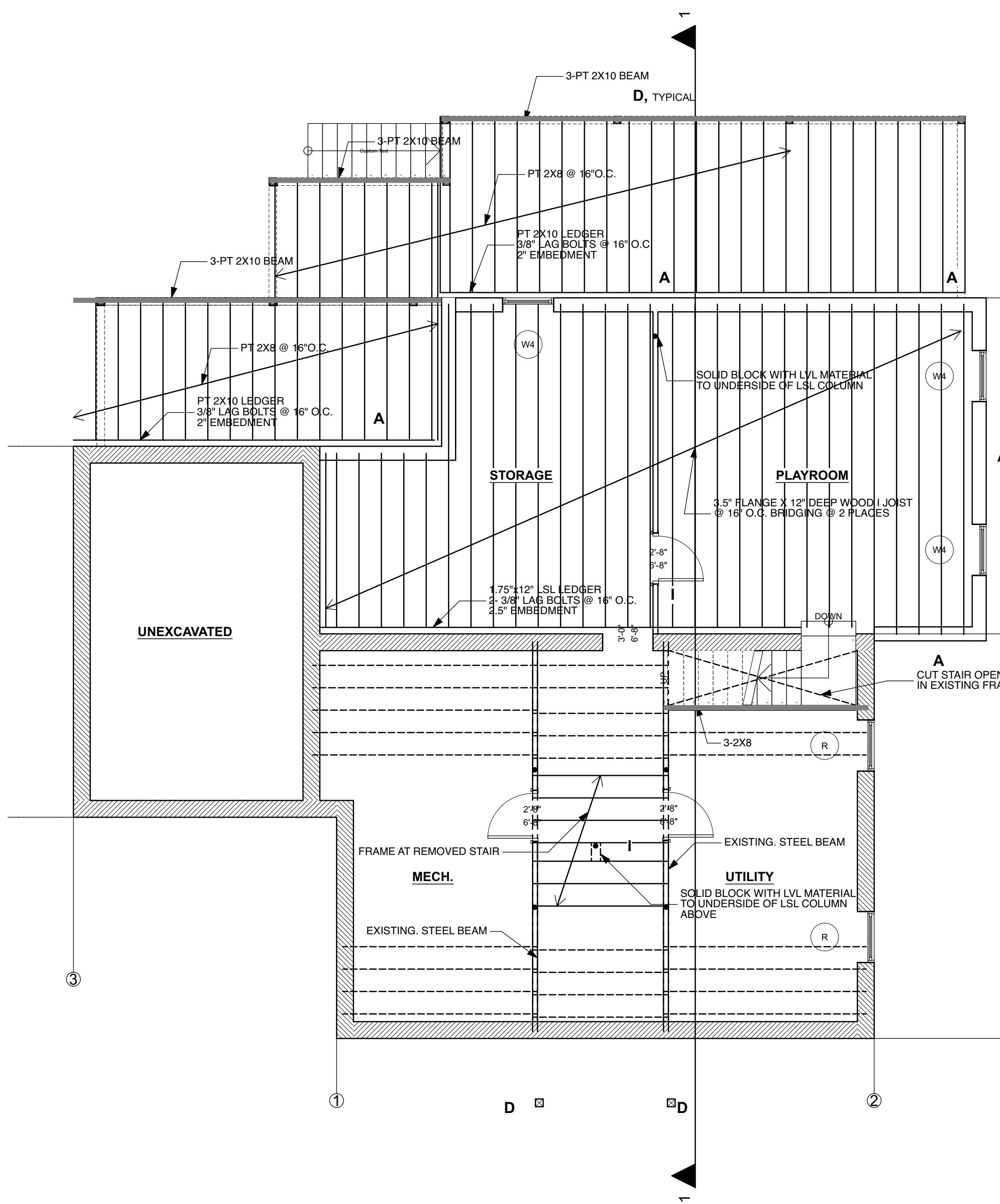


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Drawing: Framing Plans		A9	

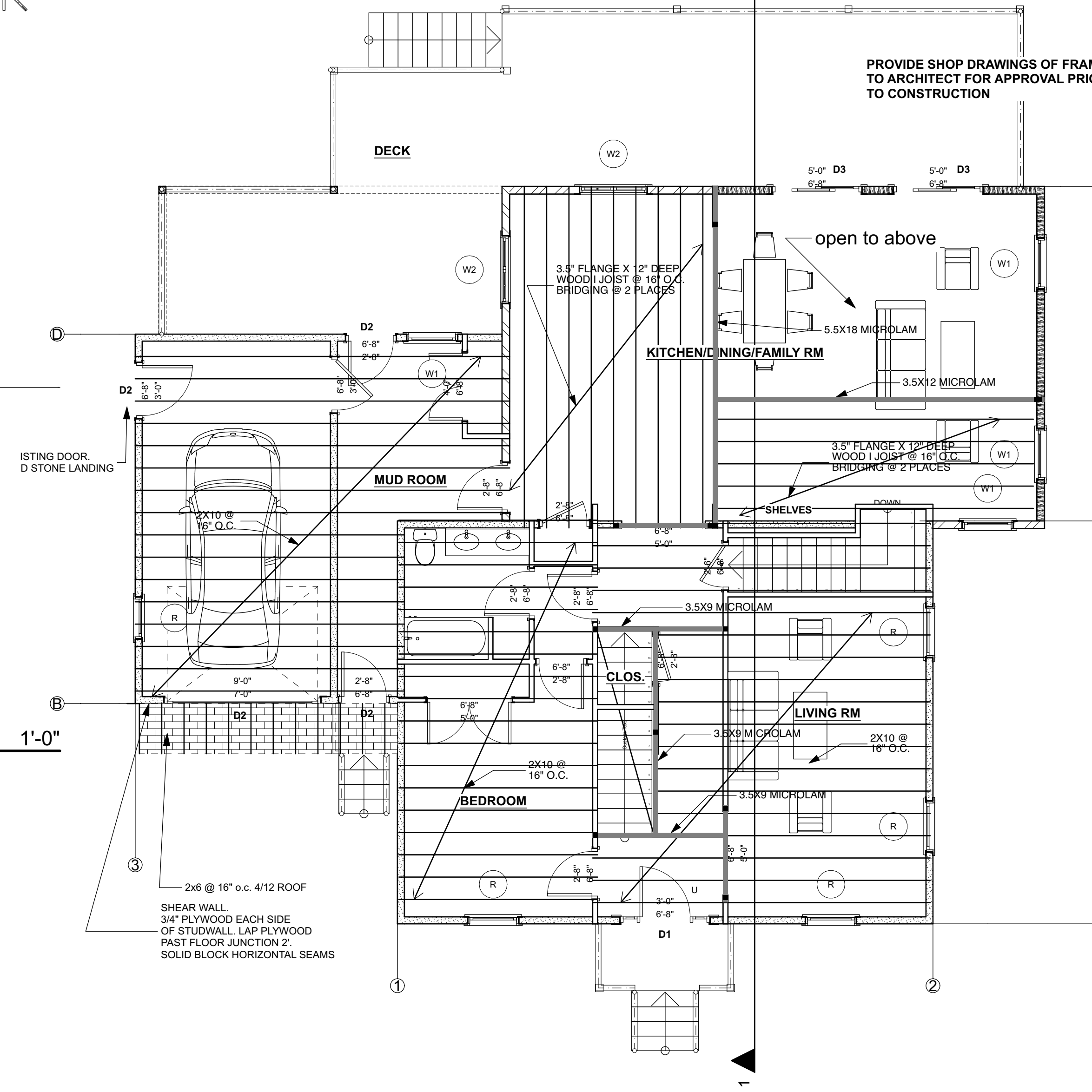
PRE-ENGINEERED WOOD TRUSSES &
PROVIDE SHOPE DRAWINGS TO ARC
PRIOR TO FINAL ORDER.



3 Roof Framing Plan 3/16" = 1'-0"



1 First Floor Framing Plan 3/16" = 1'-0"



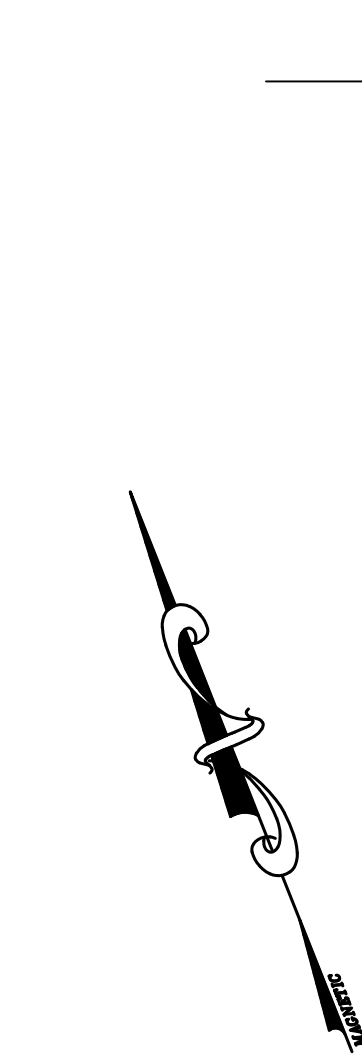
2 Second Floor Framing Plan 3/16" = 1'-0"

PROVIDE SHOP DRAWINGS OF FRAM
TO ARCHITECT FOR APPROVAL PRIOR
TO CONSTRUCTION

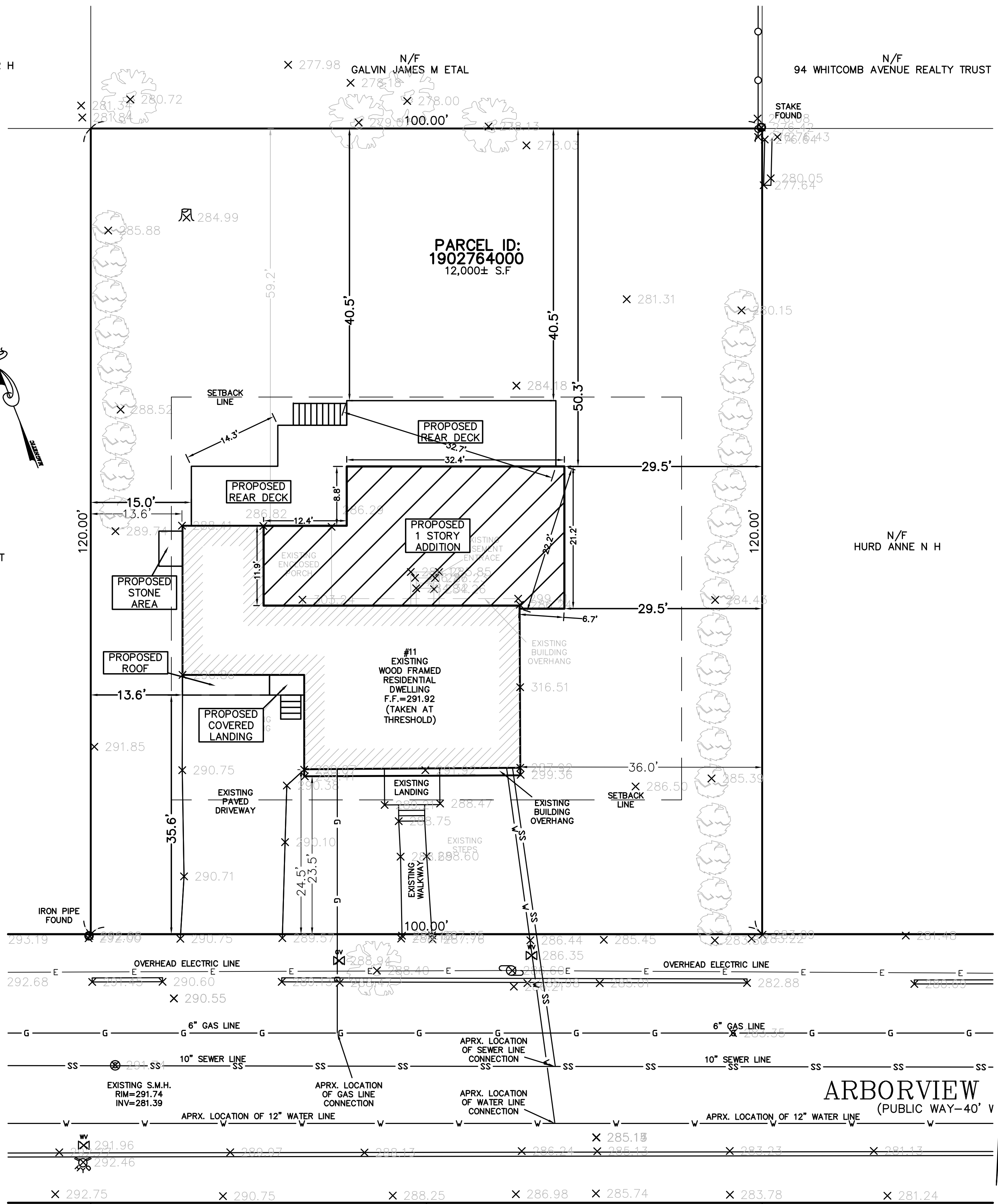
LEGEND

□	BOUND
○	IRON PIN/PIPE
⊙	STONE POST
⊕	TREE
⌒	TREE STUMP
⊗	SHRUBS/FLOWERS
♣	SIGN
⦶	BOLLARD
⊗	SEWER MANHOLE
⊗	DRAIN MANHOLE
⊗	CATCH BASIN
⊗	WATER MANHOLE
⊗	WATER VALVE
⊗	HYDRANT
⊗	GAS VALVE
⊗	ELECTRIC MANHOLE
⊗	ELECTRIC HANDHOLE
⊗	UTILITY POLE
⊗	LIGHT POLE
⊗	MANHOLE
⊗	SPOT GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
---	EXISTING BUILDING
---	RETAINING WALL
---	STONE WALL
---	FENCE
-	TREE LINE
S	SEWER LINE
D	DRAIN LINE
W	WATER LINE
G	GAS LINE
E	UNDERGROUND ELECTRIC LINE
OHW	OVERHEAD WIRES
-145-	CONTOUR LINE (MJR)
-146-	CONTOUR LINE (MNR)

N/F SEIFERT CHRISTOPHER H

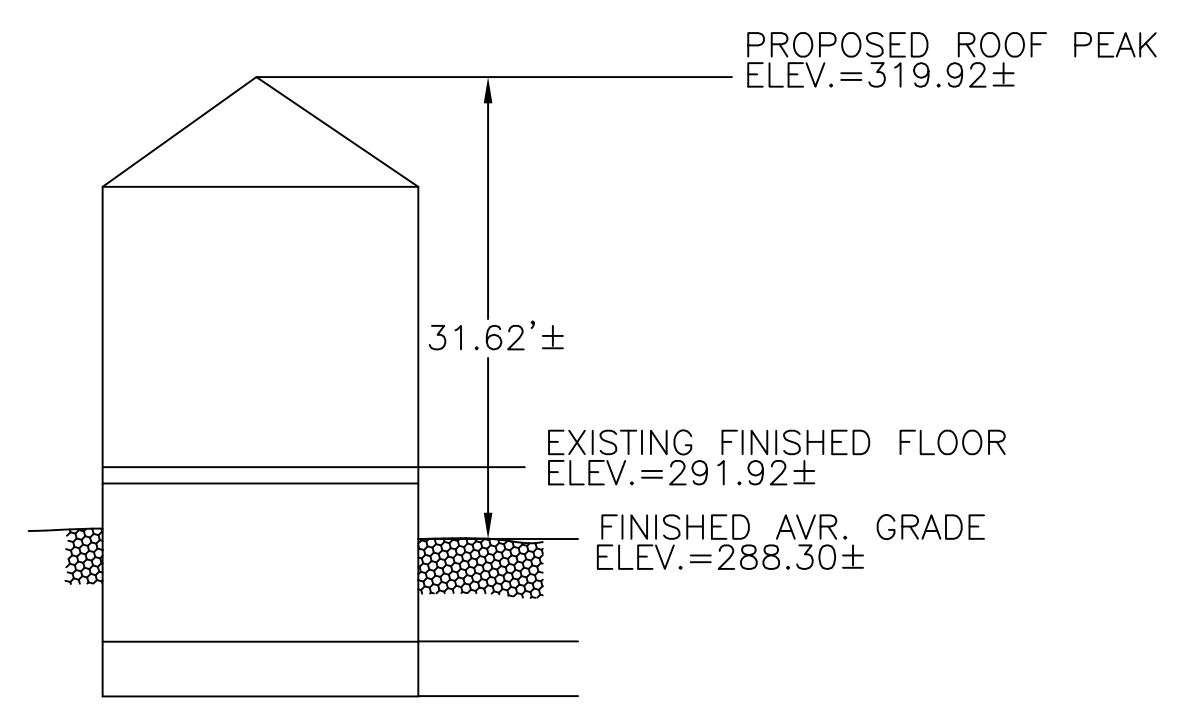


N/F HUANG ROBERT



NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 7/21/2021.
2. DEED REFERENCE: BOOK 16188, PAGE 089
PLAN REFERENCE: PLAN BOOK 4831, PLAN 423
SUFFOLK COUNTY REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C00676, IN COMMUNITY NUMBER: 250286, DATED 9/25/2009.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF BOSTON DATUM.

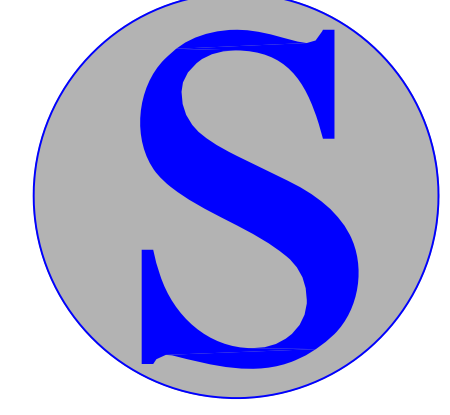
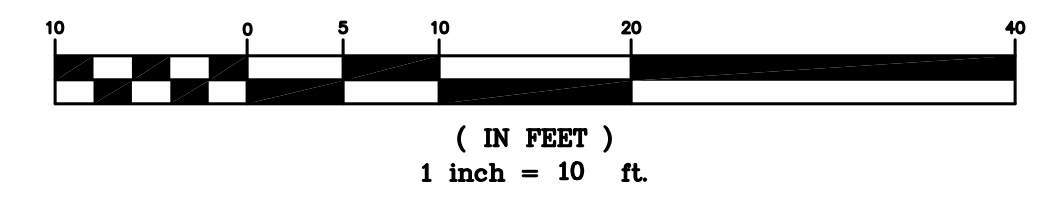


PROPOSED PROFILE NOT TO SCALE

ZONING LEGEND

ZONING DISTRICT: 1F-9,000			
	REQUIRED	PROPOSED	
MIN. AREA	FOR 1 UNIT 9,000 S.F.	12,000± S.F.	
ADDITIONAL AREA FOR EACH ADDITIONAL DWELL. UNIT	-	-	
MIN. LOT WIDTH	70'	100'	
MIN. FRONTAGE	70'	100'	
MAX. F.A.R.	0.3	-	
MAX. STORIES	2.5	-	
MAX. BLDG. HEIGHT	35	31.62'	
MIN. USABLE OPEN SPACE	2000 S.F.	9,355.2± S.F.	
MIN. YARD FRONT	25'	35.6'±	
	SIDE (RIGHT)	12'	13.6'±
	REAR	40'	40.5'±
MAX. REAR YARD OCCUPANCY BY ACCESSORY BLDG.	25%	-	

GRAPHIC SCALE



**Spruhan
Engineering, P.C.**
80 JEWETT ST. (SUITE 2)
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com

**11 ARBORVIEW ROAD
JAMAICA PLAIN
MASSACHUSETTS**

PROPOSED PLOT PLAN

REVISION BLOCK

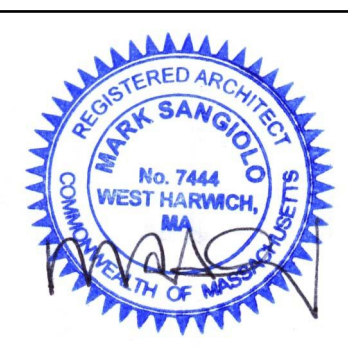
DESCRIPTION	DATE

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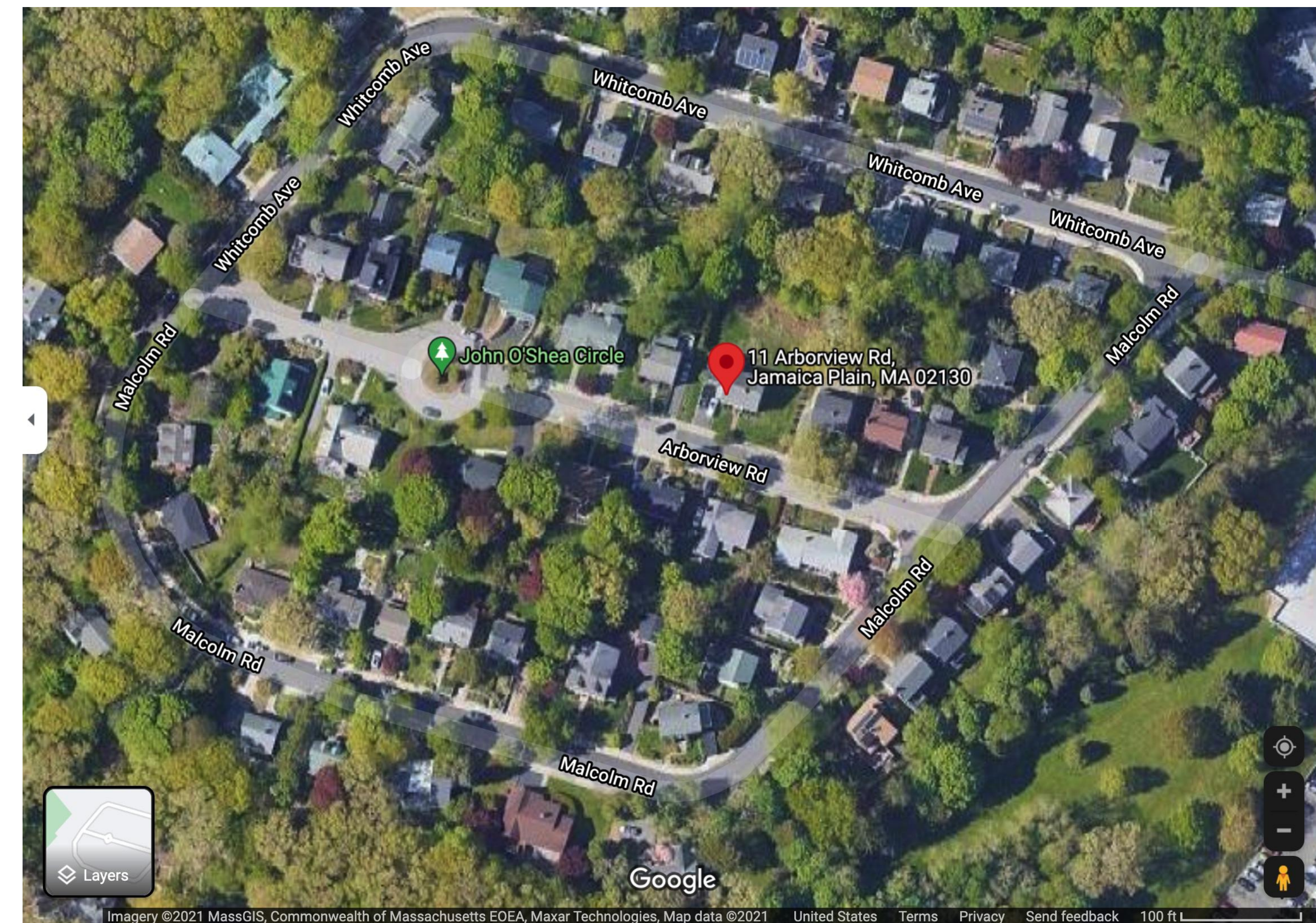
DATE:	9/29/2021
DRAWN BY:	D.K
CHECKED BY:	E.S
APPROVED BY:	C.C

**PROPOSED PLOT
PLAN**

Project: 11 ARBOR VIEW ROAD, JAMACIA PLAIN ALTERATIONS & ADDITIONS TO SINGLE FAMILY HOME		
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Drawing: Existing Photos/Context		A0.1



1 Street View 1:1.67



2 Satellite View 1:1.11