LC Construction- Lourenco Carminati
441 Medford St, Malden MA 02148
617-910-9018

03/28/2022

To: BPDA Neighborhood Design Review Overlay District Residents

Re: Construction Management Memo: 43-47 Elm St, Charlestown MA 02129

Hello all,

Thank you for providing your feedback during the comment period for our project at 43-47 Elm St. Below you will find some information regarding construction management during the project, to help address any concerns related to noise, dust, parking, etc.

We will ensure that our demolition contractor takes appropriate measures to alleviate any traffic, noise, and dust related issues during demolition. The demolition and removal of the existing structure is expected to take approximately 1-2 days.

During the day to day construction phase, following demolition, we will be sure to use existing parking spots on site whenever possible before using any legal street parking spots. Also, we will abide by all city regulations regarding construction hours, noise levels, etc. Our goal is to mitigate any negative impacts to the neighborhood as best we can.

Please feel free to contact us directly with any questions or concerns.

Regards,

Lourenco Carminati
617-610-9018

PROPOSED SINGLE FAMILY TOWNHOUSE
47 ELM STREET, CHARLESTOWN, MASSACHUSETTS

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:

1. VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
2. ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
3. OBTAINING AND PAYING FOR ALL PERMITS.
4. PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
5. CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
6. SCHEDULING AND SEQUENCING.
7. CONSTRUCTION MEANS, METHODS AND TECHNIQUES
8. MAINTAINING DRAWINGS AND PERMITS ON SITE.
9. JOB SITE SAFETY
10. COORDINATION BETWEEN TRADES, AND SUPPLIERS.
11. PROVIDE SCHEDULE TO OWNER AND ARCHITECT,
12. PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
13. TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
15. REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
16. GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

17. POURING CONCRETE
18. INSULATING
19. INSTALLING DRYWALL
20. FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN. OF 5 DAYS AFTER THEY WERE POURED.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
   - **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
   A. FOOTINGS 3 INCHES
   B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
   C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
   D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
   FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
3. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-O" O.C.
4. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-O" O.C. MAXIMUM.
5. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
6. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
7. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
9. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
11. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH ½" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT
- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

ZONING SUMMARY

ZONE: ARTICLE 62, CHARLESTOWN NEIGHBORHOOD 3F-2000

Use Regulations: Section Table	
Existing	**Proposed**
3F - ALLOWED	1F - ALLOWED

A = Allowed F = Forbidden C = Conditional

Dimensional Regulations: Table

	Code Requirement	Existing Condition	Proposed Project	Proposed Project	Proposed Project	Notes
	SEMI-ATTACHED	41 BARTLETT	43 ELM	45 ELM	47 ELM	
Lot Area Minimum	1000 SF / DU					
Min Lot Area for Additional Units	1000 SF / DU					
Total Required Lot Size	1000 SF	3936 SF	1308 SF	1213 SF	1414 SF	
Min Required Lot Width and Frontage	20'	55'	24.2' / 76.4'	22.3' / 22.3'	25.3' / 25.7'	
Max FAR	2	0.63	(2369 SF) 1.81	(2375 SF) 1.96	(2375 SF) 1.68	2488 SF EX'G
Max Building Height / Stories	35' / 3 STORIES	24' / 2 STORIES	34.5' / 3 STORIES	34.5' / 3 STORIES	34.5' / 3 STORIES	AVG. GRADE TO T.O. ROOF DECK
Usable Open Space	(#43)427 SF REQ'D (#45)403 SF REQ'D (#47)453 SF REQ'D	OV .1' / OV.7' +/-	428 SF	554 SF	644 SF	#43 - 427 SF REQ'D #45 - 403 SF REQ'D #47 - 453 SF REQ'D
Min. Front Yard	MODAL	20.1'	MODAL	MODAL	MODAL	
Min Side Yard	0' / 2.5'	0' / 14.8'	NOT REQ'D	NOT REQ'D	3' / NOT REQ'D	
Min Rear Yard	20'	40.9'	21.2'	20.1'	20.7'	
Max Use of Rear Yard						

Overlays:
NEIGHBORHOOD DESIGN

Other Non-Dimensional Zoning Issues:
REQ'D PARKING - 1 SPACE / UNIT x 1 UNIT = 1 SPACE
EX'G PARKING - 3 SPACES
PROPOSED - 1 SPACE

KEY

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- 1 HOUR WALL
- 2 HOUR WALL
- FAN
- 45 MIN. DOOR
- 1-1/2 HOUR DOOR
- WINDOW TYPE
- 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- 2 HOUR CLG. WALL(SEE C.T.2/A-3.1)
- FIRE EXTINGUISHER
- NEW WALL

CODE SUMMARY

PROPOSED TYPE 5 CONSTRUCTION
PROPOSED R-3 USE GROUP
PROPOSED 3 STORIES
PROPOSED FULLY SPRINKLERED & ALARMED

SOIL TESTING

NOTE:

REFER TO THE GEOTECHNICAL SUMMARY REPORT DATED JUNE 7, 2021 AND PREPARED BY KMM GEOTECHNICAL CONSULTANTS, LLC, 7 MARSHALL ROAD, HAMPSTED, NH 03841

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
47 ELM STREET
CHARLESTOWN, MA 02129

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: TM / DF

Drawing Name

COVER SHEET

Sheet No.

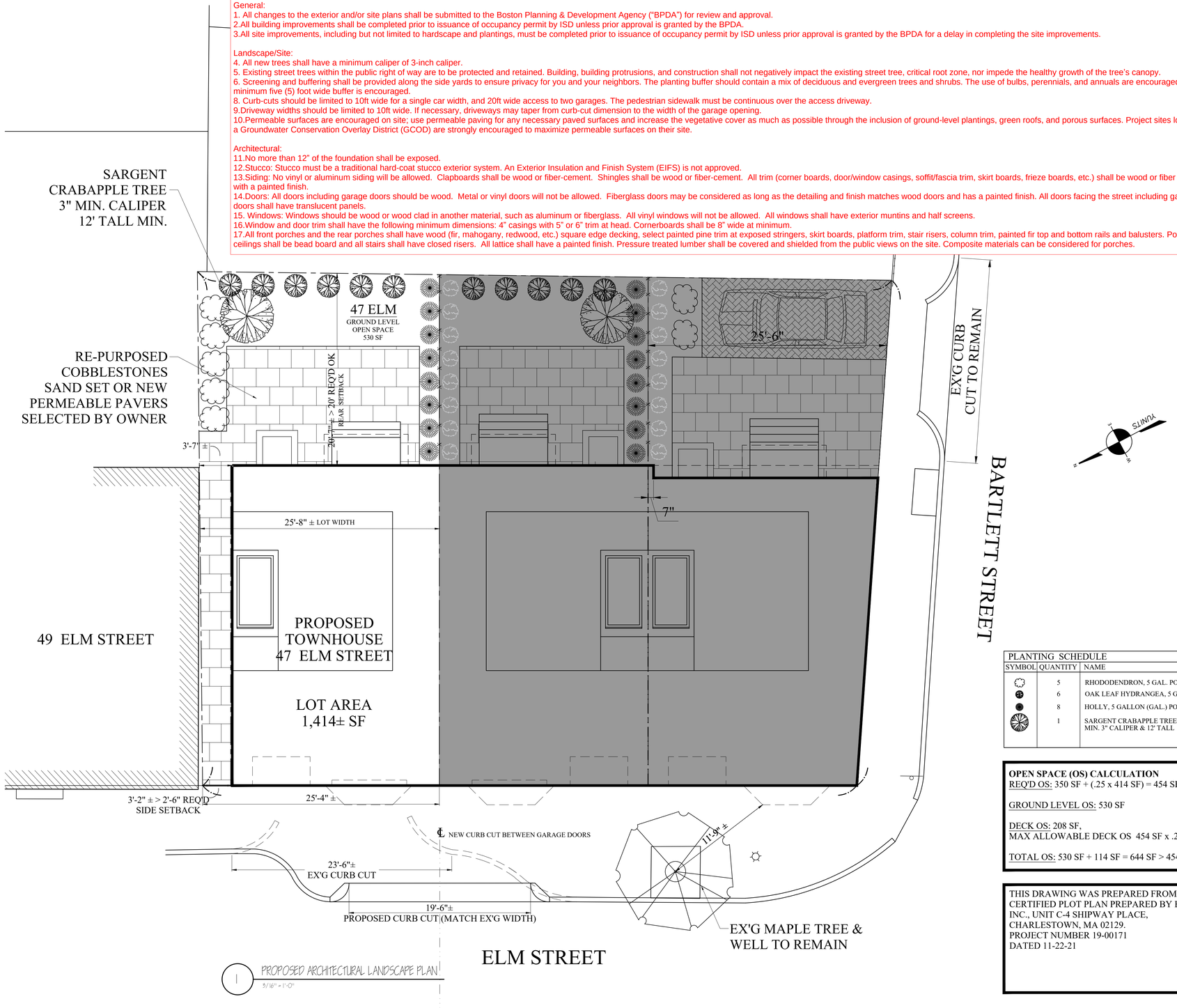
A-0.0

NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2.All building improvements shall be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA.
3.All site improvements, including but not limited to hardscape and plantings, must be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA for a delay in completing the site improvements.

Landscape/Site:
4. All new trees shall have a minimum caliper of 3-inch caliper.
5. Existing street trees within the public right of way are to be protected and retained. Building, building protrusions, and construction shall not negatively impact the existing street tree, critical root zone, nor impede the healthy growth of the tree's canopy.
6. Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
8. Curb-cuts should be limited to 10ft wide for a single car width, and 20ft wide access to two garages. The pedestrian sidewalk must be continuous over the access driveway.
9.Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
10.Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces. Project sites located in a Groundwater Conservation Overlay District (GCOD) are strongly encouraged to maximize permeable surfaces on their site.

Architectural:
11.No more than 12" of the foundation shall be exposed.
12.Stucco: Stucco must be a traditional hard-coat stucco exterior system. An Exterior Insulation and Finish System (EIFS) is not approved.
13.Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. Shingles shall be wood or fiber-cement. All trim (corner boards, door/window casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.
14.Doors: All doors including garage doors should be wood. Metal or vinyl doors will not be allowed. Fiberglass doors may be considered as long as the detailing and finish matches wood doors and has a painted finish. All doors facing the street including garage doors shall have translucent panels.
15. Windows: Windows should be wood or wood clad in another material, such as aluminum or fiberglass. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
16.Window and door trim shall have the following minimum dimensions: 4" casings with 5" or 6" trim at head. Cornerboards shall be 8" wide at minimum.
17.All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.



1 PROPOSED ARCHITECTURAL LANDSCAPE PLAN
3/16" = 1'-0"

PLANTING SCHEDULE		
SYMBOL	QUANTITY	NAME
	5	RHODODENDRON, 5 GAL. POT
	6	OAK LEAF HYDRANGEA, 5 GAL. POT
	8	HOLLY, 5 GALLON (GAL.) POT
	1	SARGENT CRABAPPLE TREE MIN. 3" CALIPER & 12' TALL

OPEN SPACE (OS) CALCULATION
REQ'D OS: 350 SF + (.25 x 414 SF) = 454 SF

GROUND LEVEL OS: 530 SF

DECK OS: 208 SF,
MAX ALLOWABLE DECK OS 454 SF x .25 = 114 SF

TOTAL OS: 530 SF + 114 SF = 644 SF > 454 REQ'D OK

THIS DRAWING WAS PREPARED FROM AN UNDERLAY CERTIFIED PLOT PLAN PREPARED BY BOSTON SURVEY, INC., UNIT C-4 SHIPWAY PLACE, CHARLESTOWN, MA 02129.
PROJECT NUMBER 19-00171
DATED 11-22-21

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
47 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

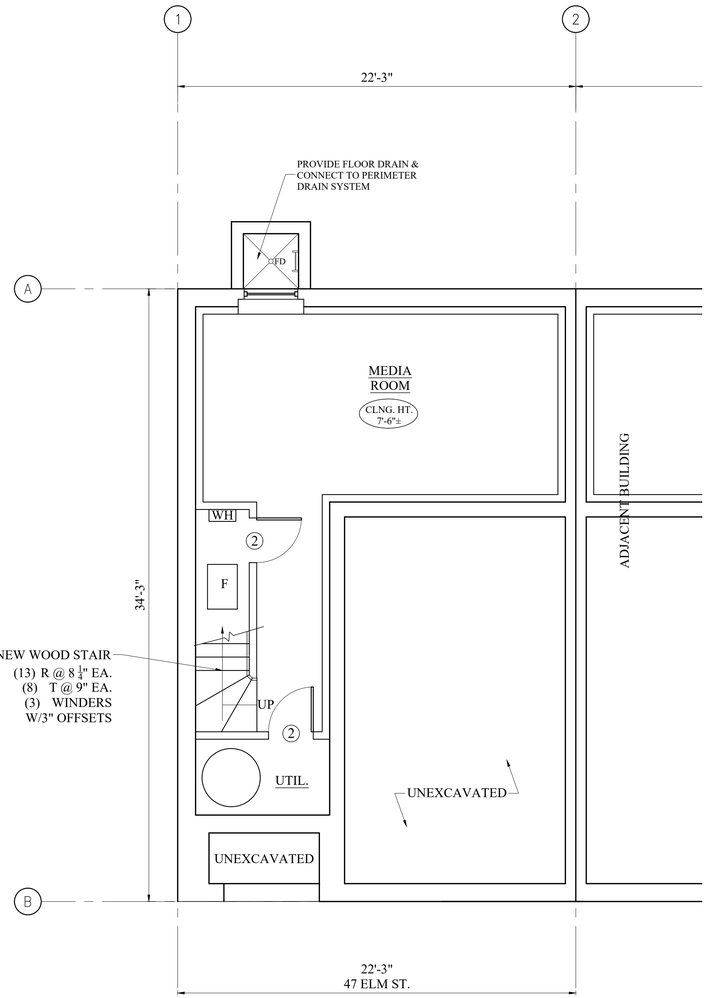
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: TM / DF

Drawing Name

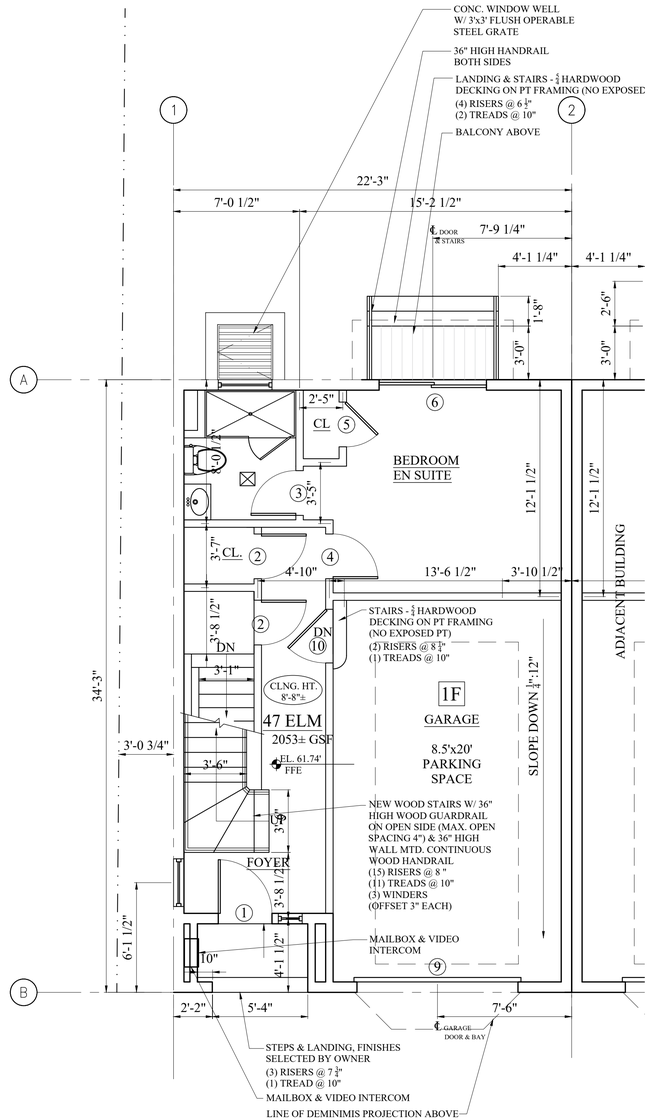
PROPOSED LANDSCAPE PLAN

Sheet No.

A-1.0



1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

Location

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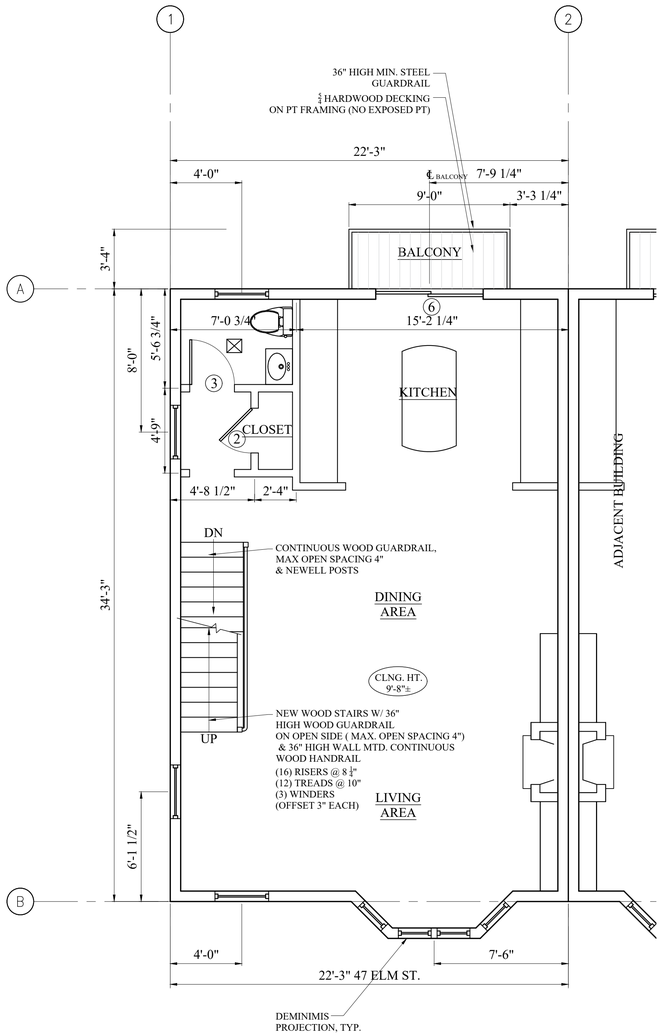
Drawing Name

PROPOSED
FLOOR PLANS

Sheet No.

A-1.1



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

2 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"

Location

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No.	Revision Date

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Drawing Name

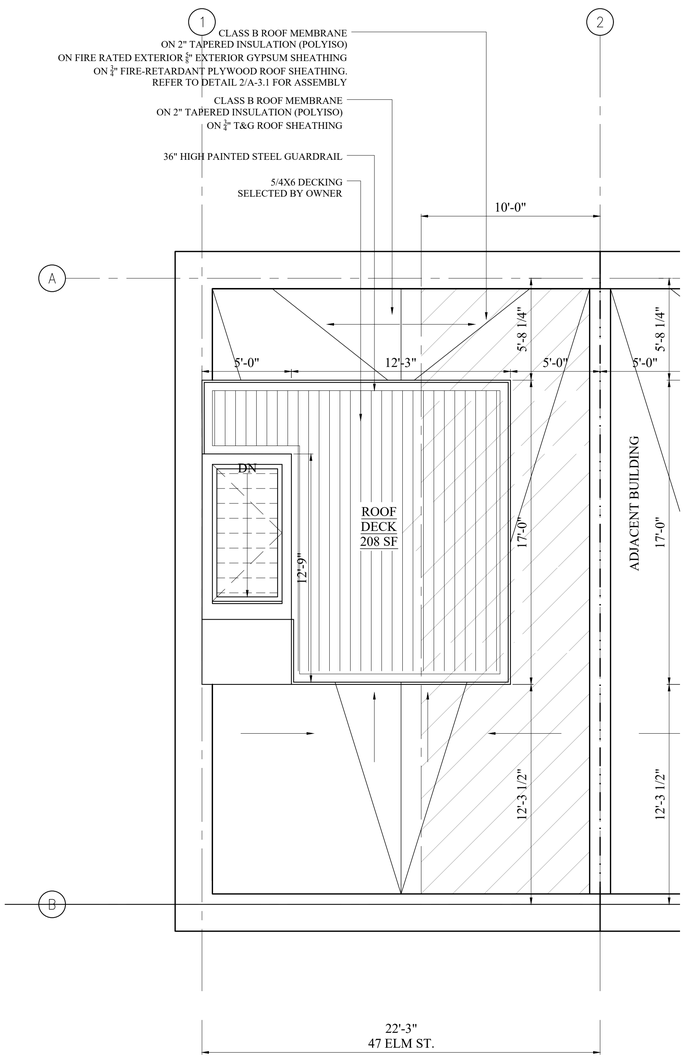
PROPOSED FLOOR PLANS

Sheet No.

A-1.2

NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2. Refer to sheet A1.0 for a full list of BPDA design review provisos.



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

Location

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617-786-7727 fax 617-786-7715

No.	Revision Date

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Date: 4-20-2022
Drawn By: TM / DF

Drawing Name

PROPOSED
FLOOR PLANS

Sheet No.

A-1.3

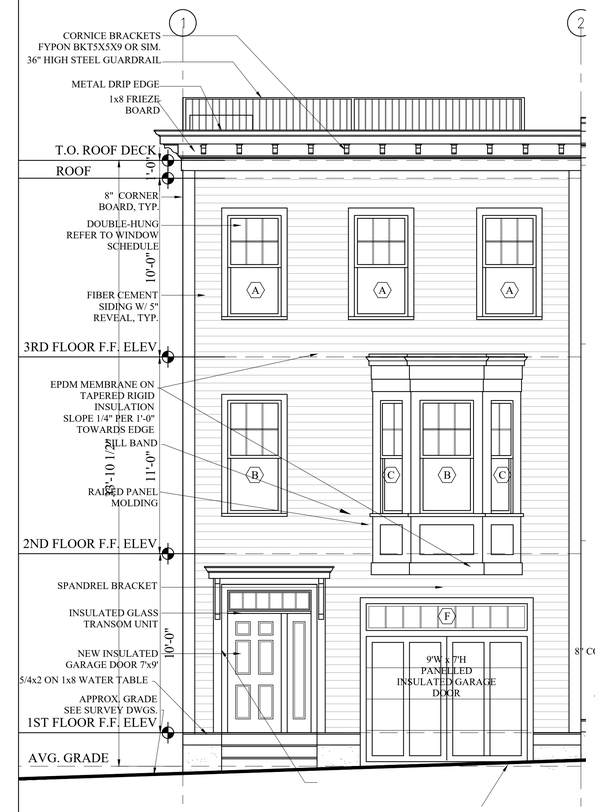
NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2. Refer to sheet A1.0 for a full list of BPDA design review provisos.

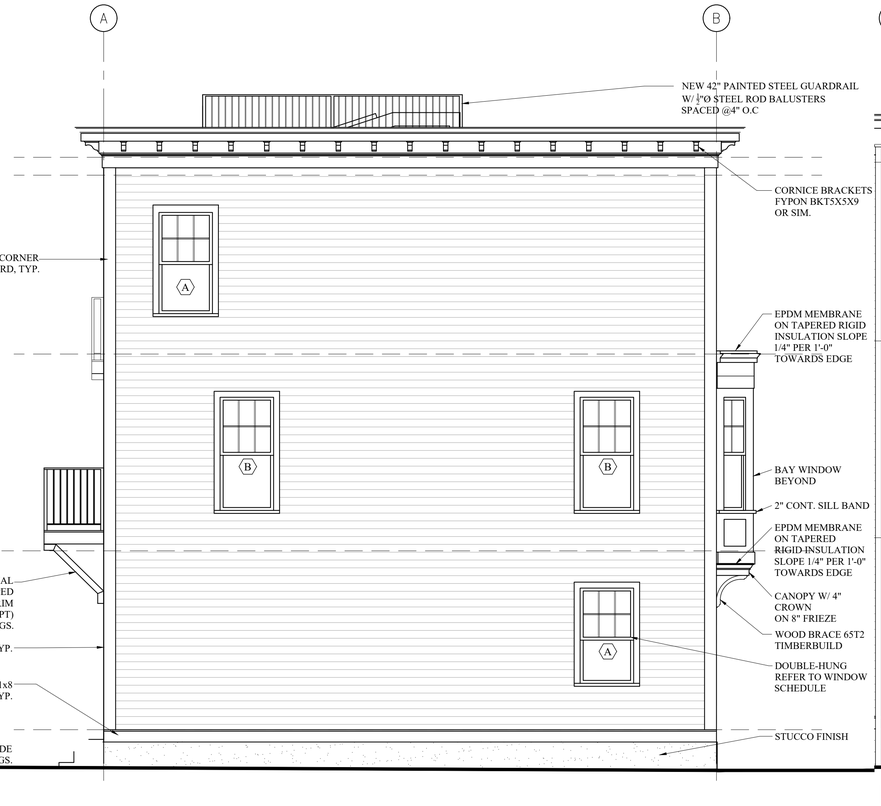
GENERAL EXTERIOR FINISH NOTES:

1. THERE CAN BE NO EXPOSED PRESSURE TREATED WOOD (PT). ALL PT MEMBERS NEED TO BE CLAD W/ 1x TRIM.
2. TRIM MATERIAL IS TO BE EITHER FIBER CEMENT OR POLY-ASH (BORAL) TRIM PRODUCT. AZEK & VINYL IS NOT ALLOWED.
3. THE EXPOSED CONCRETE FOUNDATION IS TO HAVE A PORTLAND CEMENT STUCCO FINISH, (TRADITIONAL HARD-COAT EXTERIOR SYSTEM). EIFS (SYNTHETIC STUCCO) IS NOT PERMITTED.

4 PROPOSED FRONT ELEVATION
1/8" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
1/4" = 1'-0"

3 PROPOSED REAR ELEVATION
1/4" = 1'-0"

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Date: 4-20-2022
Drawn By: TM / DF

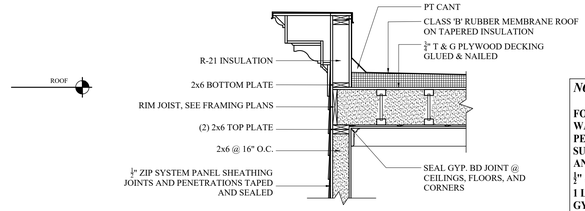
Drawing Name

PROPOSED ELEVATIONS

Sheet No.

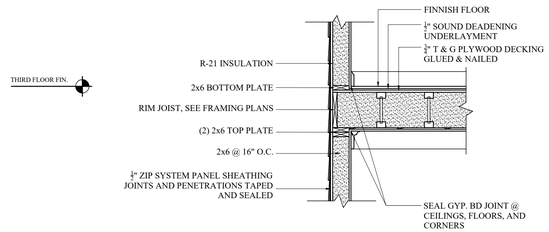
A-2.1

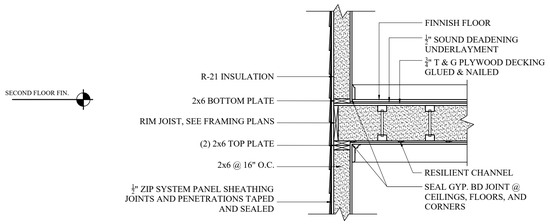
NOTE:
REFER TO THE GEOTECHNICAL SUMMARY
REPORT PREPARED BY KMM GEOTECHNICAL CONSULTANTS, LLC.
DATED JUNE 7, 2021.

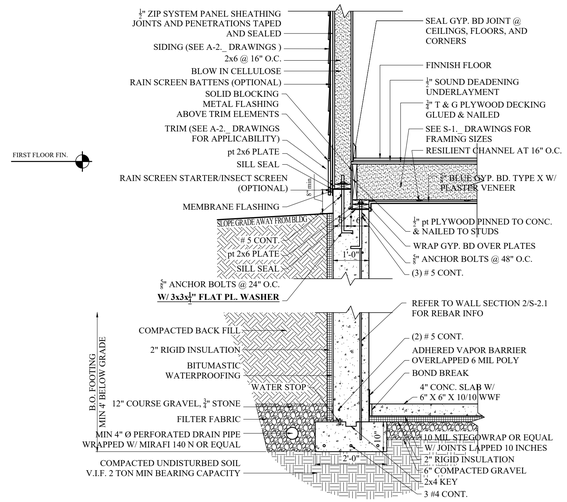


NOTE AT SIDE WALL

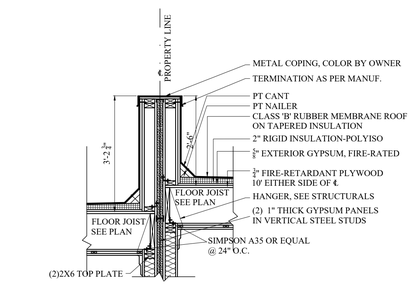
FOR FIRE RATED WALL ASSEMBLIES AS PER THE PLAN, SUBTRACT ZIP SYSTEM PANEL AND REPLACE W/ 1 LAYER OF ½" STRUCTURAL SHEATHING, 1 LAYER OF ⅝" EXTERIOR GYP. BD., AND ADHERED AIR BARRIER MEMBRANE.

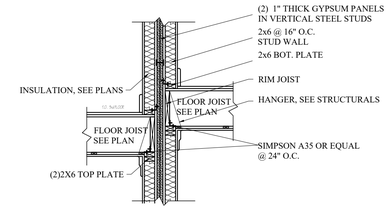


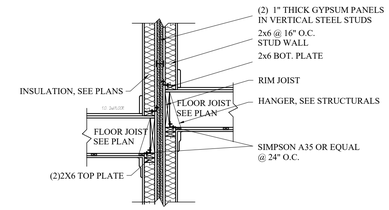


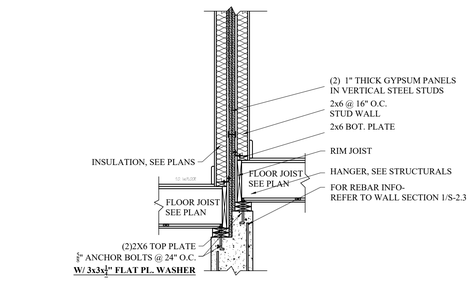


1 PROPOSED TYP. WALL SECTION
1/2" = 1'-0"

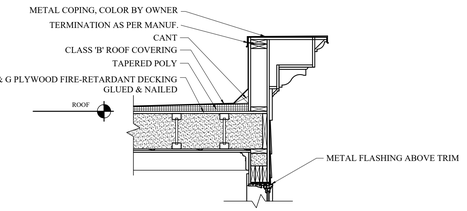


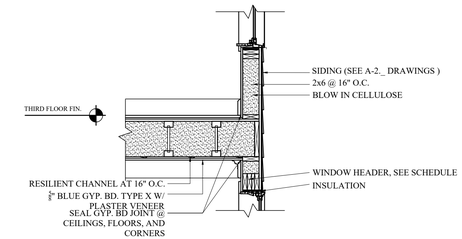


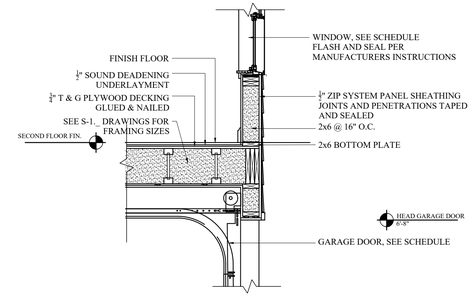


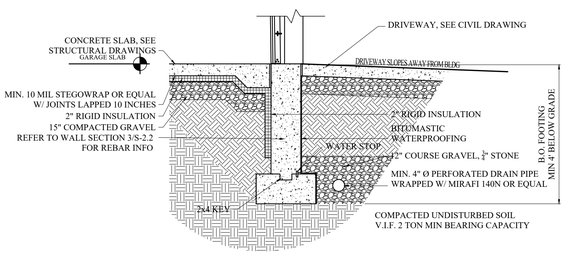


2 PROPOSED WALL SECTION BETWEEN BUILDINGS
1/2" = 1'-0"









3 PROPOSED WALL SECTION AT GARAGE & BAY WINDOW
1/2" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
47 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: TM / DF

Drawing Name

PROPOSED WALL SECTIONS

Sheet No.

A-3.1

WINDOW SCHEDULE

* NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.
* PROVIDE WINDOW FALL PREVENTION DEVICES PER ASTM F2090 ON ALL WINDOWS W/ SILL HEIGHT BELOW 3' A.F.F.

NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS
A	HARVEY	MAJESTY WOOD	9	3'-0" X 5'-8"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE, * INDICATES SAFETY GLASS
B	HARVEY	MAJESTY WOOD	4	3'-0" X 6'-4"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
C	HARVEY	MAJESTY WOOD	2	1'-10" X 6'-4"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
D	HARVEY	MAJESTY WOOD	1	3'-0" X 2'-11"	AWNING, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
E	HARVEY	MAJESTY WOOD	1	2'-8" X 3'-8"	CASEMENT, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE, OPENS IN, PROVIDE EGRESS HARDWARE
F	HARVEY	MAJESTY WOOD	1	1-6" X 9'-0"	FIXED TRANSOM W/9 LITES, WHITE INTERIOR, BLACK EXTERIOR, GC COORDINATE W/ GARAGE DOOR

WINDOW NOTES:
1. GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES PRIOR TO ORDERING.
2. ALL WINDOWS ARE BASED ON HARVEY BUILDING PRODUCTS.
3. WINDOWS ARE TO HAVE SDL & INSULATED GLASS WITH ARGON GAS & A LOW-E TYPE COATING, U-VALUE .3 MINIMUM.
4. ALL WINDOWS TO INCLUDE INSECT SCREENING PER MANUFACTURER.
5. SIZES SHOWN ARE BASED WINDOW DIMENSIONS. G.C. TO COORDINATE ROUGH OPENINGS WITH WINDOW MANUFACTURER'S SPECIFICATIONS.
6. PROVIDE WINDOW OPENING CONTROL DEVICES WHICH COMPLY WITH ASTM F2090 ON ALL WINDOWS.

WINDOW HEAD HEIGHTS:

1. BASEMENT FINISHED HEIGHT IS 7'-0" A.F.F.
2. FIRST FLOOR FINISHED HEIGHT IS 8'-0" A.F.F.
3. SECOND FLOOR FINISHED HEIGHT IS 8'-6" A.F.F.
4. THIRD FLOOR FINISHED HEIGHT IS 8'-0" A.F.F.

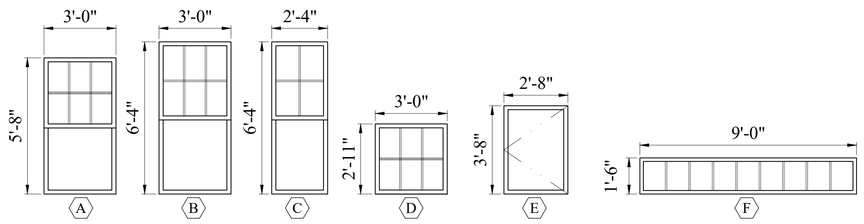
DOOR SCHEDULE

NOTE: GC TO CONFIRM SIZES & QUANTITIES PRIOR TO ORDERING

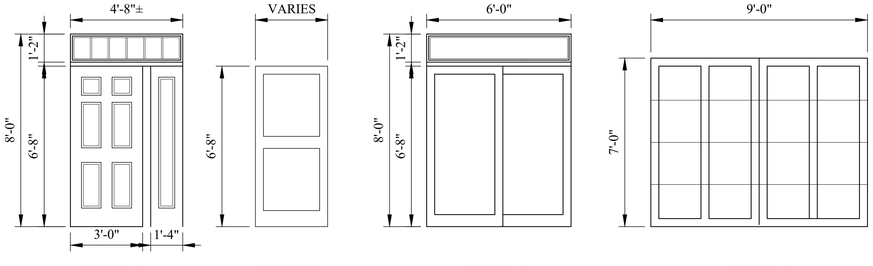
NO.	SIZE	MATERIAL	RATING	FRAME	TYPE	HARDWARE	REMARKS
1	4'-8" x 8'-0" x 1 3/4"	WOOD/GL	-	WOOD	1	ENTRANCE	DOOR UNIT W/ 3'-0"x 6'-8" EGRESS DOOR & 1'-4"x6'-8" SIDELIGHT & TRANSOM, PROVIDE DEADBOLT
2	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	SINGLE DUMMY	PANEL DOOR
3	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	BED	PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL
4	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2		PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL
5	(2) 2'-4" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	SINGLE DUMMY	PAIR OF PANEL DOORS
6	6'-0" x 8'-0" x 1 3/4"	WOOD/GL	-	WOOD	3	SLIDING	SLIDING DOOR UNIT W/ TRANSOM
7	(2) 3'-0" x 6'-8" x 1 3/4"	WOOD	-	WOOD	2	SINGLE DUMMY	PAIR OF PANEL DOORS, W/ BOTTOM LOUVER PANEL, PROVIDE ASTRAGAL
8	3'-0" X 8'-0"	-	-	-	-		BILCO OR DAYLIGHTER, COLOR: GRAY, OPERABLE INSULATED GLASS ROOF HATCH, U-VALUE 0.55
9	7'-0" x 9'-0"	WOOD		WOOD	4	GARAGE	WOOD INSULATED DOOR, PAINTED, CAMBEK OR EQUAL
10	2'-10" x 6'-8" x 1 3/4"	WOOD	20 MIN.	WOOD	2	ENTRANCE	FIRE-RATED PANEL DOOR

NOTE: ALL DOORS TO BE PRE-HUNG. DOOR STYLE, HARDWARE & FINISHES TO BE SELECTED BY OWNER, ALL DOORS ARE BASED ON PELLA OR EQUAL.

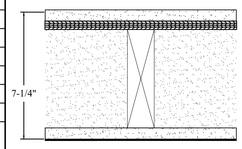
WINDOW TYPES



DOOR TYPES



Exterior Side



Interior Side

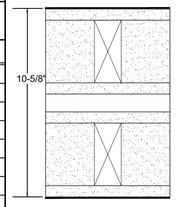
System Description
Wood Stud Exterior Wall (load-bearing)

- Exterior Finish (Not Shown)
- 5/8" Type X Exterior Gyp Sheathing
- min. 15/32" plywood sheathing panels
- 2" x 6" wood studs @ 16" o.c. cross-braced
- 5.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
(RATED FROM BOTH SIDES)
UL Design No. U344

1e 1 HR EXT PARTITION -WOOD LOAD BEARING

SCALE: 3"=1'-0"



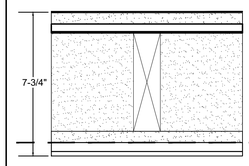
System Description
Wood Stud Unit Seperation Partition (Loadbearing)

- 1/16" veneer plaster
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 2x4 wood stud 16" o.c. cross braced mid-height and 2x4 plates
- 3 ½" Mineral Fiber Batt Insulation
- 5/8" FIRECODE X Core Glass-Mat Sheathing
- 1" airspace
- 5/8" FIRECODE X Core Glass-Mat Sheathing
- 3 ½" Mineral Fiber Batt Insulation
- 2x4 wood stud 16" o.c. cross-braced mid-height and 2x4 plates
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
UL Design No. U342
Fire REsistance Rating UL263

1s1 1 HR UNIT SEPERATION -WOOD BEARING

SCALE: 3"=1'-0"



System Description
Wood Stud Partition (Loadbearing)

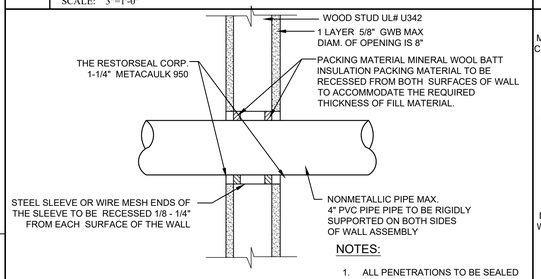
- 1/16" veneer plaster finish
- 5/8" FIRECODE C Core Gypsum Plaster Base
- RC-1 resilient channel one side spaced 24" o.c.
- 2x6 wood stud 16" o.c.
- 5.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Moisture Resistant
- 1/4" Cement Board
- ⅛" Ceramic Tile

GYP BOARD TO EXTEND CONTINUOUSLY BEHIND ALL BATH FIXTURES

System Performance
1 HR Fire
UL Design No. U311
52 STC Sound
SA-830702

1b 1 HR PARTITION BATH / WOOD BEARING STC +50

SCALE: 3"=1'-0"

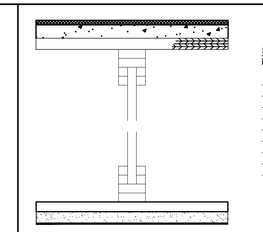


NOTES:

1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.

1F 1 HOUR THROUGH PENETRATION FIRESTOP SYSTEM WALL ASSEMBLY # W-L-2014

SCALE: 3"=1'-0"



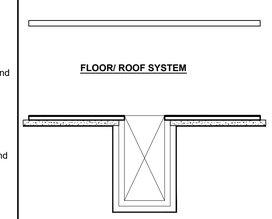
System Description
Engineered Joist

- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- Cellulose Blow In
- RC-1 resilient channel or equivalent
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
IBC 2009 TABLE 720.1(3) ITEM 23
58 STC Sound
50 IIC Sound

1F 1 HR FLOOR ASSEMBLY - +50 STC

SCALE: 3"=1'-0"



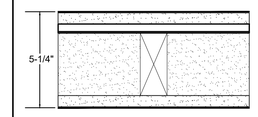
System Description
WOOD BEAM

- WOOD BEAM
- (LAYER 1) 5/8" FIRECODE C Core Gypsum
- (LAYER 2) 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster exterior

System Performance
1 HR Fire BEAM PROTECTION
UL Design No. P517

1BE 1 HR BEAM PROTECTION

SCALE: 1.5"=1'-0"



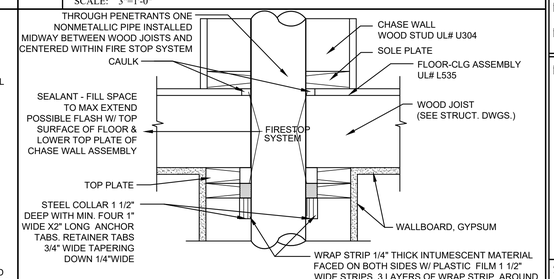
System Description
Wood Stud Partition (Loadbearing)

- 5/8" FIRECODE C Core Gypsum Plaster Base
- RC-1 resilient channel one side spaced 24" o.c
- 2x4 wood stud 16" o.c. cross-braced mid height
- 3.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster finish both sides

System Performance
1 HR Fire
UL Design No. U311
52 STC Sound
SA-830702

1 1 HR PARTITION -WOOD LOAD BEARING

SCALE: 3"=1'-0"



1D 1 HOUR RATING THROUGH PENETRATION FIRESTOP SYSTEM # F-C-2054

SCALE: 3"=1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
47 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

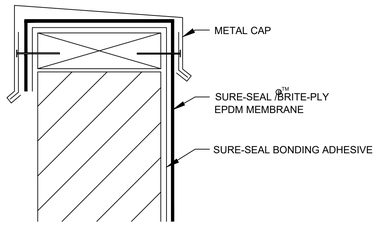
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: TM / DF

Drawing Name

WALL TYPES & SCHEDULES

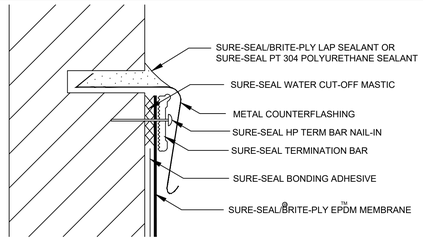
Sheet No.

A-3.2



CAP FLASHING TERMINATION

2

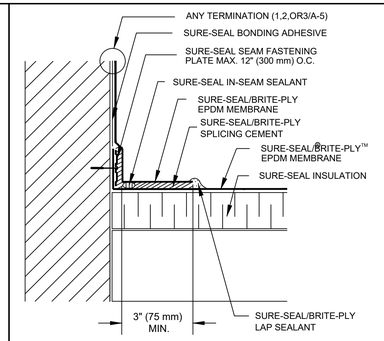


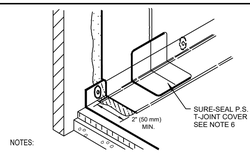
NOTES:

1. APPLY ON HARD SMOOTH SURFACE ONLY; NOT FOR USE ON WOOD.
2. WATER CUT-OFF MASTIC MUST BE HELD UNDER CONSTANT COMPRESSION.
3. DO NOT WRAP COMPRESSION TERMINATION AROUND CORNERS.

COUNTERFLASHING TERMINATION

3



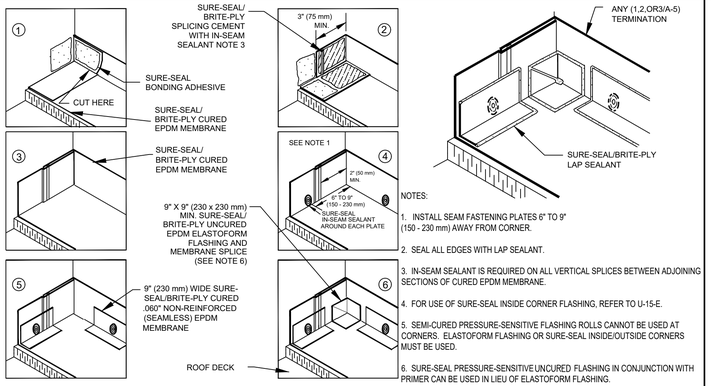


NOTES:

1. LOCATE (1,2,OR3/A-5) TERMINATION ABOVE ANTICIPATED WATER LEVEL.
2. FOR CORNER APPLICATIONS, SEE DETAIL (5/A-5).
3. MAINTAIN A CONTINUOUS BEAD OF IN-SEAM SEALANT AT ALL ADHESIVE MEMBRANE SPLICES; ESPECIALLY AT SPLICE INTERSECTIONS.
4. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL ADHESIVE SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
5. IF A CONTINUATION OF THE DECK MEMBRANE IS TO BE USED AS WALL FLASHING, REFER TO DETAIL U-12-C OR U-12-D.
6. 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MAY ALSO BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
7. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
8. SecurTAPE MAY BE USED IN LIEU OF SPLICING CEMENT.

PARAPET/CURB CURED EPDM

4

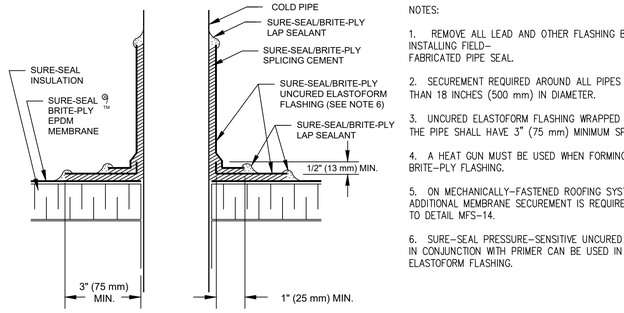


NOTES:

1. INSTALL SEAM FASTENING PLATES 6" TO 9" (150 - 230 mm) AWAY FROM CORNER.
2. SEAL ALL EDGES WITH LAP SEALANT.
3. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
4. FOR USE OF SURE-SEAL INSIDE CORNER FLASHING, REFER TO U-15-E.
5. SEMI-CURED PRESSURE-SENSITIVE FLASHING ROLLS CANNOT BE USED AT CORNERS. ELASTOFORM FLASHING OR SURE-SEAL INSIDE/OUTSIDE CORNERS MUST BE USED.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

5

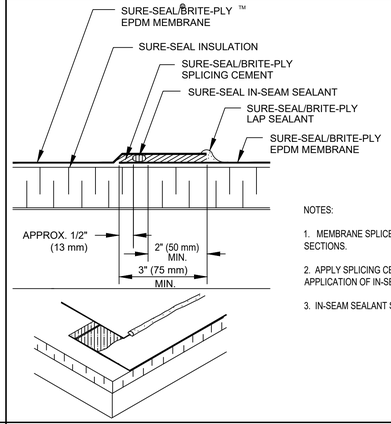


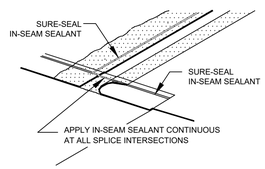
NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
2. SECUREMENT REQUIRED AROUND ALL PIPES GREATER THAN 18 INCHES (500 mm) IN DIAMETER.
3. UNCURED ELASTOFORM FLASHING WRAPPED AROUND THE PIPE SHALL HAVE 3" (75 mm) MINIMUM SPLICE.
4. A HEAT GUN MUST BE USED WHEN FORMING BRITE-PLY FLASHING.
5. ON MECHANICALLY-FASTENED ROOFING SYSTEMS, ADDITIONAL MEMBRANE SECUREMENT IS REQUIRED. REFER TO DETAIL MFS-14.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

FIELD FABRICATED PIPE SEAL

6



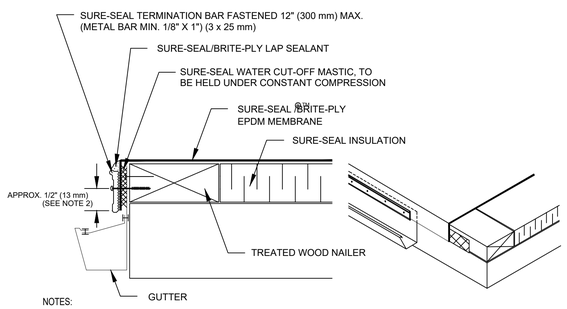


NOTES:

1. MEMBRANE SPLICE PROCEDURE IS FOR SPLICES BETWEEN CURED EPDM SECTIONS.
2. APPLY SPLICING CEMENT OVER ENTIRE 3" (75 mm) MINIMUM SPLICE AREA PRIOR TO APPLICATION OF IN-SEAM SEALANT.
3. IN-SEAM SEALANT SHALL BE CONTINUOUS ALONG THE LENGTH OF THE SPLICE.

MEMBRANE SPLICE WITH SPLICING CEMENT

7

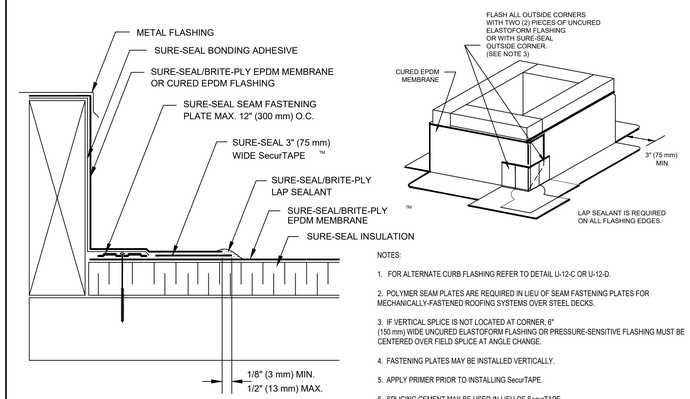


NOTES:

1. FASTENER PATTERN OF METAL BAR MUST PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
2. WHEN REINFORCED MEMBRANE IS USED, ENSURE FASTENER PENETRATES REINFORCEMENT.

METAL BAR TERMINATION

9



NOTES:

1. FOR ALTERNATE CURB FLASHING REFER TO DETAIL U-12-C OR U-12-D.
2. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
3. IF VERTICAL SPLICE IS NOT LOCATED AT CORNER, 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
4. FASTENING PLATES MAY BE INSTALLED VERTICALLY.
5. APPLY PRIMER PRIOR TO INSTALLING SecurTAPE.
6. SPLICING CEMENT MAY BE USED IN LIEU OF SecurTAPE.

CURB FLASHING

10

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
47 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: TM / DF

Drawing Name

MEMBRANE ROOF DETAILS

Sheet No.

A-3.3

PROPOSED SINGLE FAMILY TOWNHOUSE

45 ELM STREET, CHARLESTOWN, MASSACHUSETTS

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:

1. VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
2. ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
3. OBTAINING AND PAYING FOR ALL PERMITS.
4. PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
5. CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
6. SCHEDULING AND SEQUENCING.
7. CONSTRUCTION MEANS, METHODS AND TECHNIQUES
8. MAINTAINING DRAWINGS AND PERMITS ON SITE.
9. JOB SITE SAFETY
10. COORDINATION BETWEEN TRADES, AND SUPPLIERS.
11. PROVIDE SCHEDULE TO OWNER AND ARCHITECT,
12. PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
13. TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
15. REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
16. GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

17. POURING CONCRETE
18. INSULATING
19. INSTALLING DRYWALL
20. FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN. OF 5 DAYS AFTER THEY WERE POURED.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
   - **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
   A. FOOTINGS 3 INCHES
   B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
   C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
   D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
   FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
3. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-O" O.C.
4. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-O" O.C. MAXIMUM.
5. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
6. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
7. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
9. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
11. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH ½" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT
- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

ZONING SUMMARY

ZONE: ARTICLE 62, CHARLESTOWN NEIGHBORHOOD 3F-2000

Use Regulations: Section Table	
Existing	**Proposed**
3F - ALLOWED	1F - ALLOWED

A = Allowed F = Forbidden C = Conditional

Dimensional Regulations: Table

	Code Requirement	Existing Condition	Proposed Project	Proposed Project	Proposed Project	Notes
	SEMI-ATTACHED	41 BARTLETT	43 ELM	45 ELM	47 ELM	
Lot Area Minimum	1000 SF / DU					
Min Lot Area for Additional Units	1000 SF / DU					
Total Required Lot Size	1000 SF	3936 SF	1308 SF	1213 SF	1414 SF	
Min Required Lot Width and Frontage	20'	55'	24.2' / 76.4'	22.3' / 22.3'	25.3' / 25.7'	
Max FAR	2	0.63	(2369 SF) 1.81	(2375 SF) 1.96	(2375 SF) 1.68	2488 SF EX'G
Max Building Height / Stories	35' / 3 STORIES	24' / 2 STORIES	34.5' / 3 STORIES	34.5' / 3 STORIES	34.5' / 3 STORIES	AVG. GRADE TO T.O. ROOF DECK
Usable Open Space	(#43)427 SF REQ'D (#45)403 SF REQ'D (#47)453 SF REQ'D	OV .1' / OV.7' +/-	428 SF	554 SF	644 SF	#43 - 427 SF REQ'D #45 - 403 SF REQ'D #47 - 453 SF REQ'D
Min. Front Yard	MODAL	20.1'	MODAL	MODAL	MODAL	
Min Side Yard	0' / 2.5'	0' / 14.8'	NOT REQ'D	NOT REQ'D	3' / NOT REQ'D	
Min Rear Yard	20'	40.9'	21.2'	20.1'	20.7'	
Max Use of Rear Yard						

Overlays:
NEIGHBORHOOD DESIGN

Other Non-Dimensional Zoning Issues:
REQ'D PARKING - 1 SPACE / UNIT x 1 UNIT = 1 SPACE
EX'G PARKING - 3 SPACES
PROPOSED - 1 SPACE

KEY

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- 1 HOUR WALL
- 2 HOUR WALL
- FAN
- 45 MIN. DOOR
- 1-1/2 HOUR DOOR
- WINDOW TYPE
- 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- 2 HOUR CLG. WALL(SEE C.T.2/A-3.1)
- FIRE EXTINGUISHER
- NEW WALL

CODE SUMMARY

EX'G TYPE 5 CONSTRUCTION
PROPOSED TYPE 5 CONSTRUCTION
EX'G R-2 USE GROUP
PROPOSED R-3 USE GROUP
EX'G 2 STORIES
PROPOSED 3 STORIES
PROPOSED FULLY SPRINKLERED & ALARMED

SOIL TESTING

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM AS DESIGNED IS BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. SOIL BORINGS SHOULD BE PERFORMED TO VERIFY THAT THE MINIMUM DESIGN BEARING CAPACITIES ARE ACHIEVABLE. IF A SUITABLE SOIL THAT CAN NOT WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THAN THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

COVER SHEET

Sheet No.

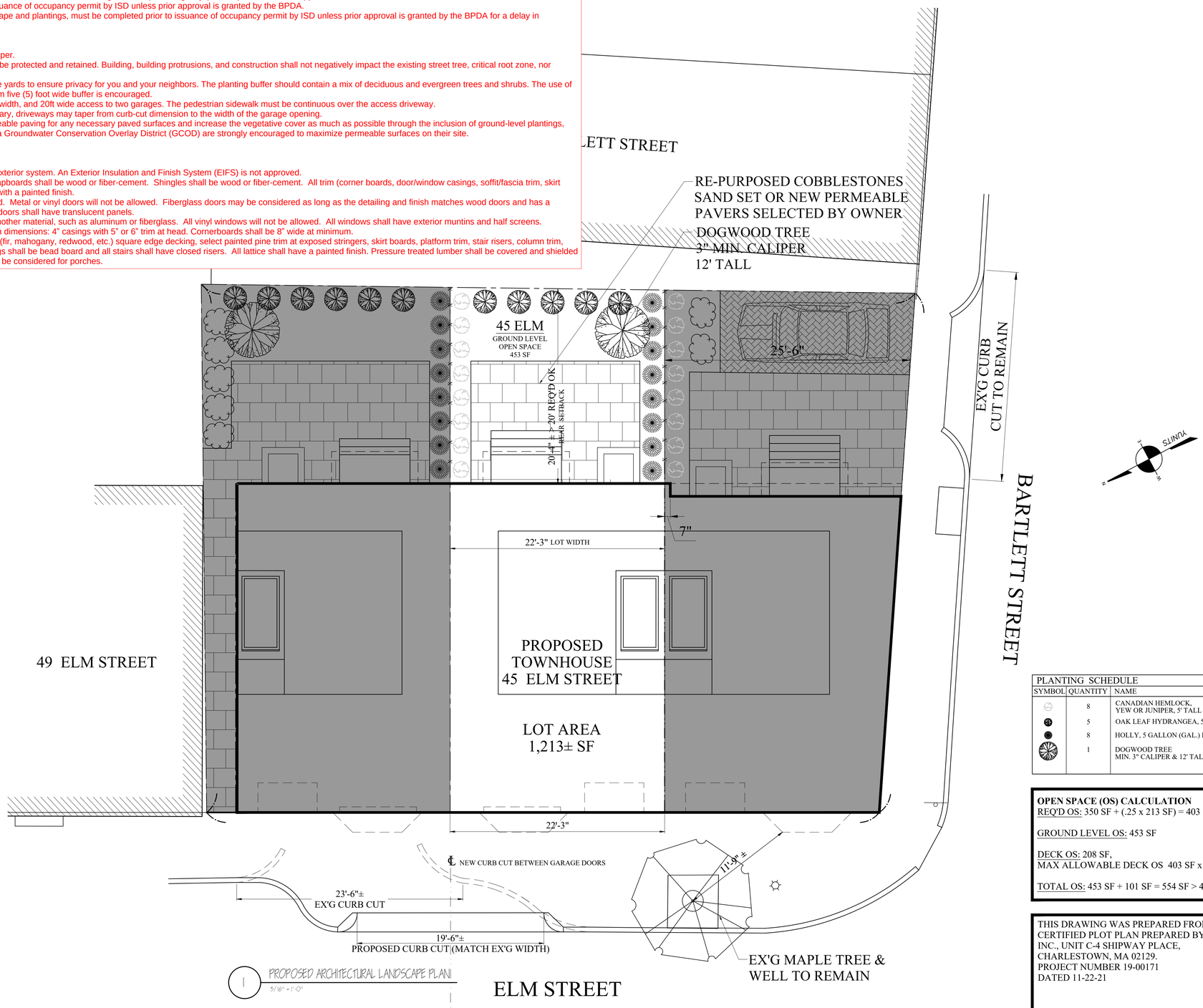
A-0.0

NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2.All building improvements shall be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA.
3.All site improvements, including but not limited to hardscape and plantings, must be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA for a delay in completing the site improvements.

Landscape/Site:
4. All new trees shall have a minimum caliper of 3-inch caliper.
5. Existing street trees within the public right of way are to be protected and retained. Building, building protrusions, and construction shall not negatively impact the existing street tree, critical root zone, nor impede the healthy growth of the tree's canopy.
6. Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
8. Curb-cuts should be limited to 10ft wide for a single car width, and 20ft wide access to two garages. The pedestrian sidewalk must be continuous over the access driveway.
9.Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
10.Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces. Project sites located in a Groundwater Conservation Overlay District (GCOD) are strongly encouraged to maximize permeable surfaces on their site.

Architectural:
11.No more than 12" of the foundation shall be exposed.
12.Stucco: Stucco must be a traditional hard-coat stucco exterior system. An Exterior Insulation and Finish System (EIFS) is not approved.
13.Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. Shingles shall be wood or fiber-cement. All trim (corner boards, door/window casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.
14.Doors: All doors including garage doors should be wood. Metal or vinyl doors will not be allowed. Fiberglass doors may be considered as long as the detailing and finish matches wood doors and has a painted finish. All doors facing the street including garage doors shall have translucent panels.
15. Windows: Windows should be wood or wood clad in another material, such as aluminum or fiberglass. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
16.Window and door trim shall have the following minimum dimensions: 4" casings with 5" or 6" trim at head. Cornerboards shall be 8" wide at minimum.
17.All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.



PLANTING SCHEDULE		
SYMBOL	QUANTITY	NAME
	8	CANADIAN HEMLOCK, YEW OR JUNIPER, 5' TALL MIN.
	5	OAK LEAF HYDRANGEA, 5 GAL. POT
	8	HOLLY, 5 GALLON (GAL.) POT
	1	DOGWOOD TREE MIN. 3" CALIPER & 12' TALL

OPEN SPACE (OS) CALCULATION
REQ'D OS: 350 SF + (.25 x 213 SF) = 403 SF

GROUND LEVEL OS: 453 SF

DECK OS: 208 SF,
MAX ALLOWABLE DECK OS 403 SF x .25 = 101 SF

TOTAL OS: 453 SF + 101 SF = 554 SF > 403 REQ'D OK

THIS DRAWING WAS PREPARED FROM AN UNDERLAY CERTIFIED PLOT PLAN PREPARED BY BOSTON SURVEY, INC., UNIT C-4 SHIPWAY PLACE, CHARLESTOWN, MA 02129.
PROJECT NUMBER 19-00171
DATED 11-22-21

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

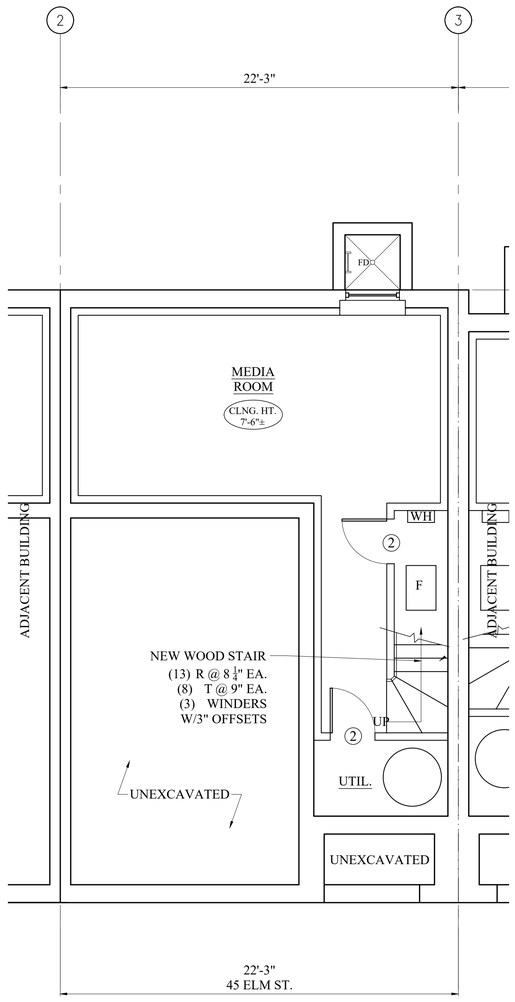
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

PROPOSED LANDSCAPE PLAN

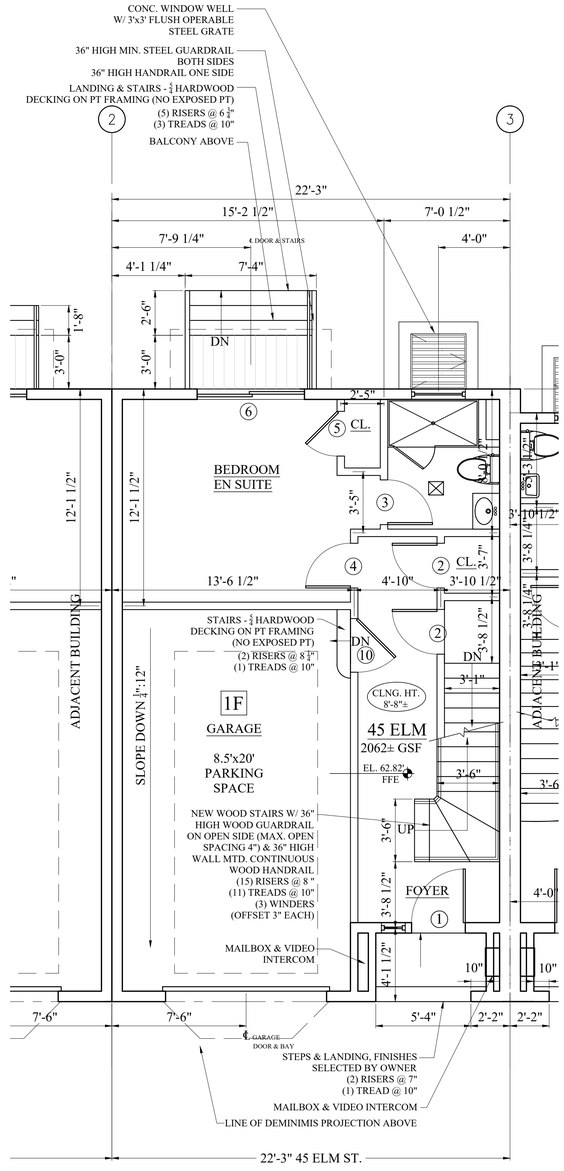
Sheet No.

A-1.0



ELM STREET

1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"



ELM STREET

2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

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617-786-7727 fax 617-786-7715

No.	Revision Date

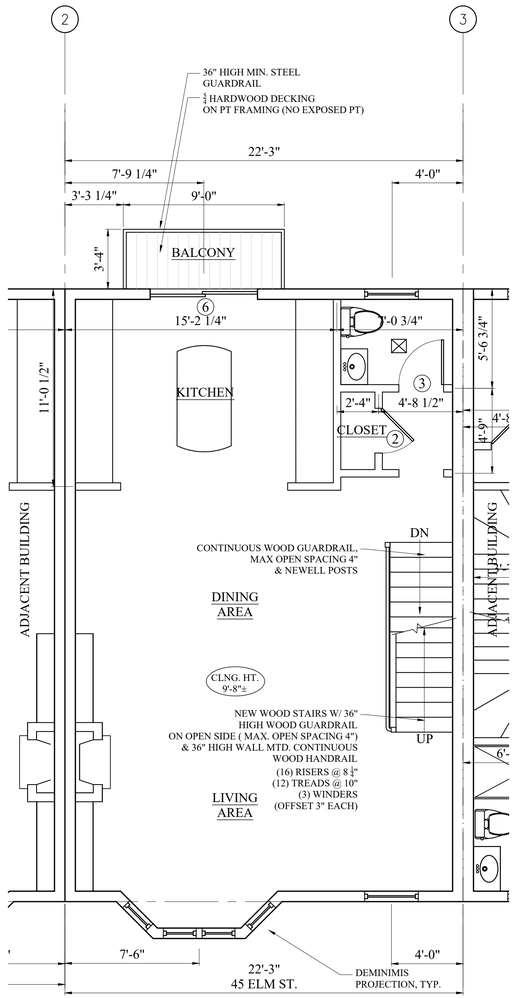
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

PROPOSED FLOOR PLANS

Sheet No.

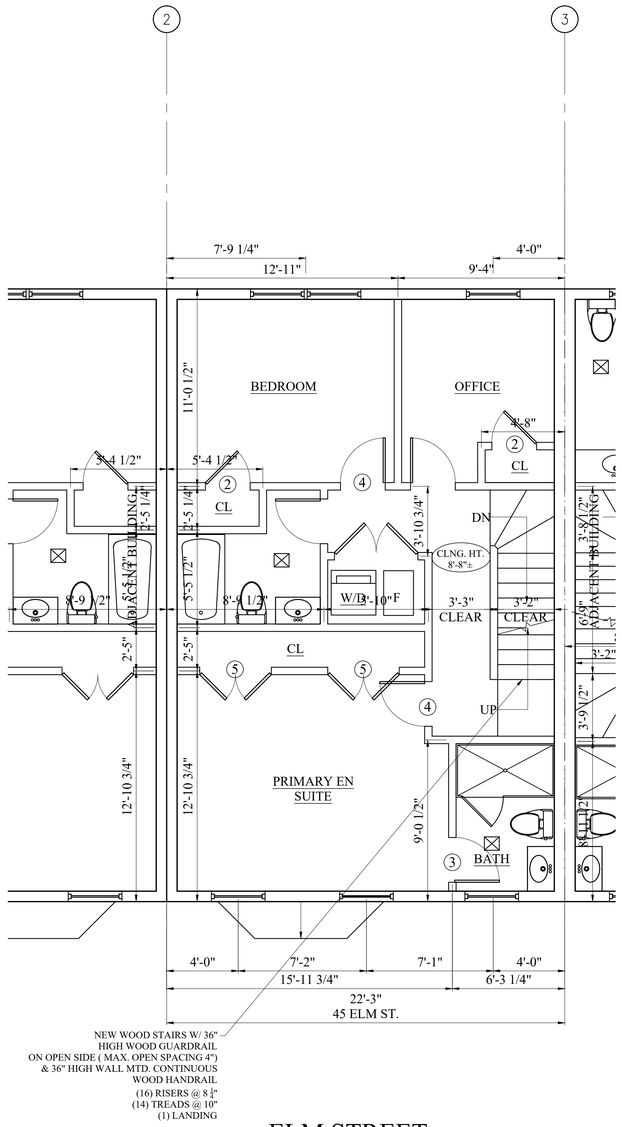
A-1.1



ELM STREET

1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



ELM STREET

2 PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

PROPOSED FLOOR PLANS

Sheet No.

A-1.2

NDOD
BPDA Design Review Provisos

General:
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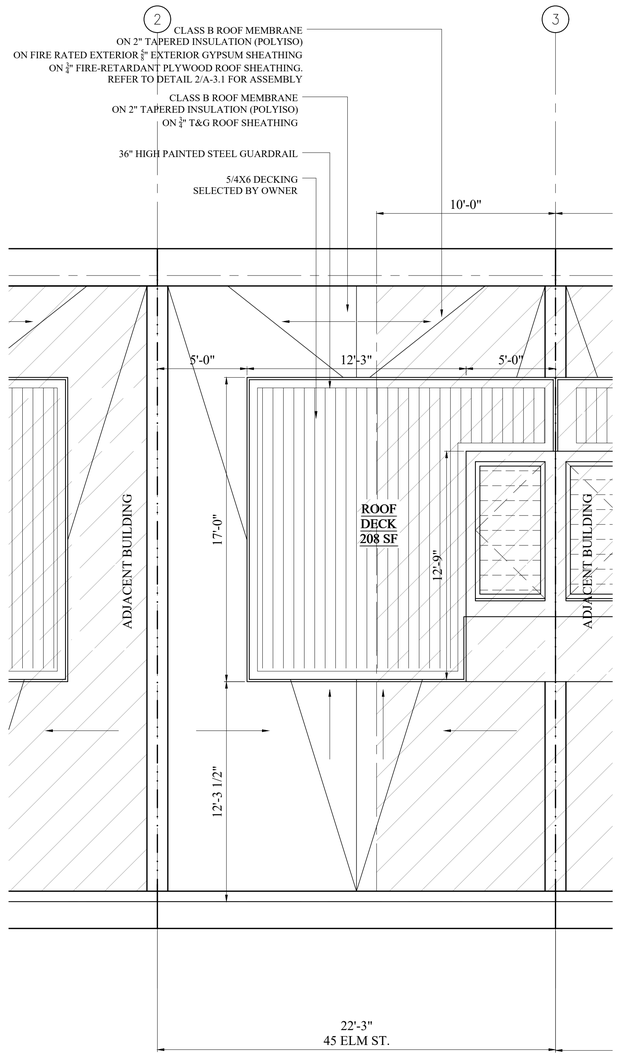
2. Refer to sheet A1.0 for a full list of BPDA design review provisos.



ELM STREET

1 PROPOSED ROOF PLAN
1/4" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name:

PROPOSED FLOOR PLANS

Sheet No.

A-1.3

NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2. Refer to sheet A1.0 for a full list of BPDA design review provisos.

GENERAL EXTERIOR FINISH NOTES:

1. THERE CAN BE NO EXPOSED PRESSURE TREATED WOOD (PT). ALL PT MEMBERS NEED TO BE CLAD W/ 1x TRIM.
2. TRIM MATERIAL IS TO BE EITHER FIBER CEMENT OR POLY-ASH (BORAL) TRIM PRODUCT. AZEK & VINYL IS NOT ALLOWED.
3. THE EXPOSED CONCRETE FOUNDATION IS TO HAVE A PORTLAND CEMENT STUCCO FINISH, (TRADITIONAL HARD-COAT EXTERIOR SYSTEM). EIFS (SYNTHETIC STUCCO) IS NOT PERMITTED.

3 PROPOSED FRONT ELEVATION
1/8" = 1'-0"

1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

2 PROPOSED REAR ELEVATION
1/4" = 1'-0"

Location

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45 ELM STREET
CHARLESTOWN, MA 02129

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No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

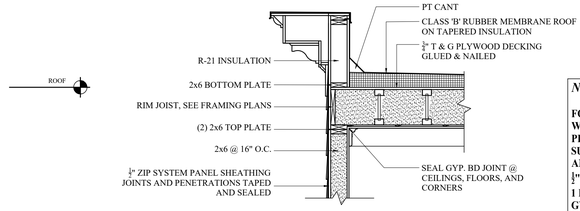
Drawing Name

PROPOSED ELEVATIONS

Sheet No.

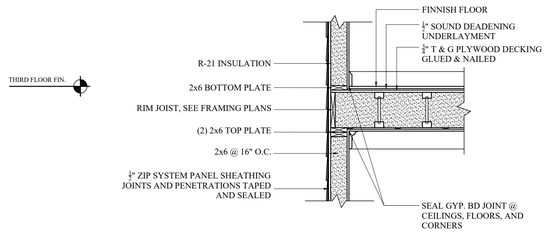
A-2.1

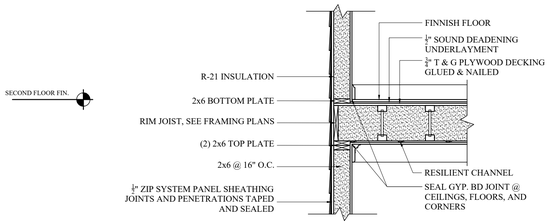
NOTE:
REFER TO THE GEOTECHNICAL SUMMARY REPORT PREPARED BY KMM GEOTECHNICAL CONSULTANTS, LLC. DATED JUNE 7, 2021.

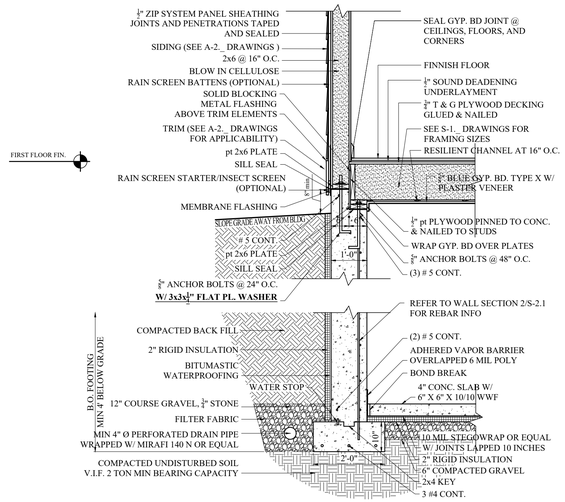


NOTE AT SIDE WALL

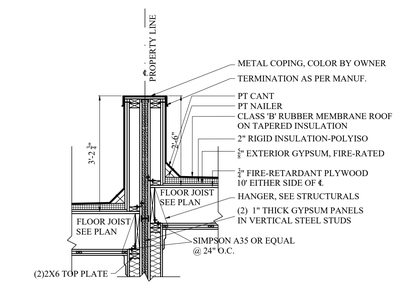
FOR FIRE RATED WALL ASSEMBLIES AS PER THE PLAN, SUBTRACT ZIP SYSTEM PANEL AND REPLACE W/ 1 LAYER OF ½" STRUCTURAL SHEATHING, 1 LAYER OF ⅝" EXTERIOR GYP. BD., AND ADHERED AIR BARRIER MEMBRANE.

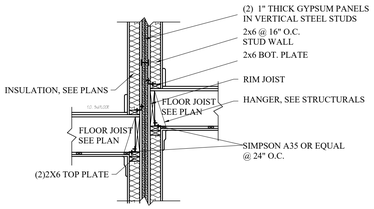


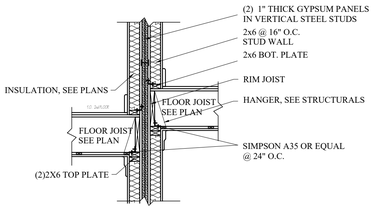


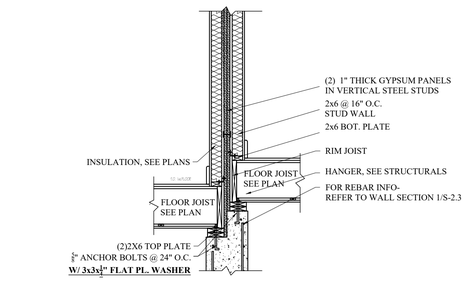


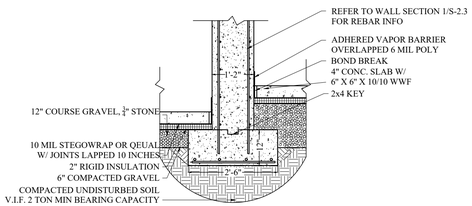
1 PROPOSED TYP. WALL SECTION
1/2" = 1'-0"



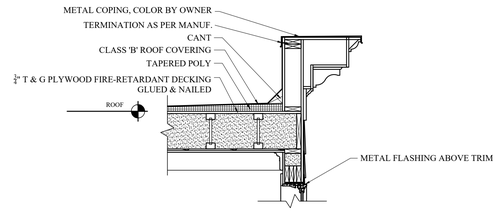


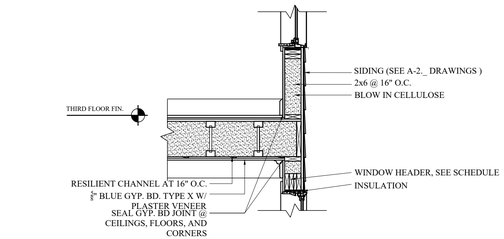


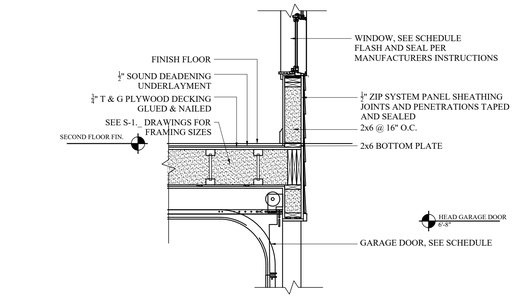


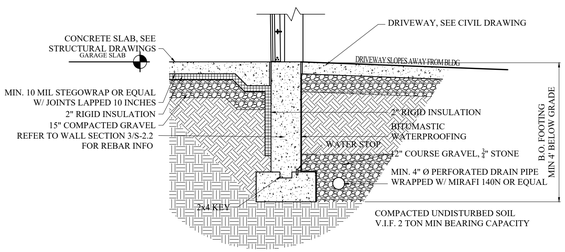


2 PROPOSED WALL SECTION BETWEEN BUILDINGS
1/2" = 1'-0"









3 PROPOSED WALL SECTION AT GARAGE & BAY WINDOW
1/2" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

PROPOSED WALL SECTIONS

Sheet No.

A-3.1

WINDOW SCHEDULE

* NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.
* PROVIDE WINDOW FALL PREVENTION DEVICES PER ASTM F2090 ON ALL WINDOWS W/ SILL HEIGHT BELOW 3' A.F.F.

NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS
A	HARVEY	MAJESTY WOOD	9	3'-0" X 5'-8"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE, * INDICATES SAFETY GLASS
B	HARVEY	MAJESTY WOOD	4	3'-0" X 6'-4"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
C	HARVEY	MAJESTY WOOD	2	1'-10" X 6'-4"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
D	HARVEY	MAJESTY WOOD	1	3'-0" X 2'-11"	AWNING, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
E	HARVEY	MAJESTY WOOD	1	2'-8" X 3'-8"	CASEMENT, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE, OPENS IN, PROVIDE EGRESS HARDWARE
F	HARVEY	MAJESTY WOOD	1	1-6" X 9'-0"	FIXED TRANSOM W/9 LITES, WHITE INTERIOR, BLACK EXTERIOR, GC COORDINATE W/ GARAGE DOOR

WINDOW NOTES:
1. GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES PRIOR TO ORDERING.
2. ALL WINDOWS ARE BASED ON HARVEY BUILDING PRODUCTS.
3. WINDOWS ARE TO HAVE SDL & INSULATED GLASS WITH ARGON GAS & A LOW-E TYPE COATING, U-VALUE .3 MINIMUM.
4. ALL WINDOWS TO INCLUDE INSECT SCREENING PER MANUFACTURER.
5. SIZES SHOWN ARE BASED WINDOW DIMENSIONS. G.C. TO COORDINATE ROUGH OPENINGS WITH WINDOW MANUFACTURER'S SPECIFICATIONS.
6. PROVIDE WINDOW OPENING CONTROL DEVICES WHICH COMPLY WITH ASTM F2090 ON ALL WINDOWS.

WINDOW HEAD HEIGHTS:

1. BASEMENT FINISHED HEIGHT IS 7'-0" A.F.F.
2. FIRST FLOOR FINISHED HEIGHT IS 8'-0" A.F.F.
3. SECOND FLOOR FINISHED HEIGHT IS 8'-6" A.F.F.
4. THIRD FLOOR FINISHED HEIGHT IS 8'-0" A.F.F.

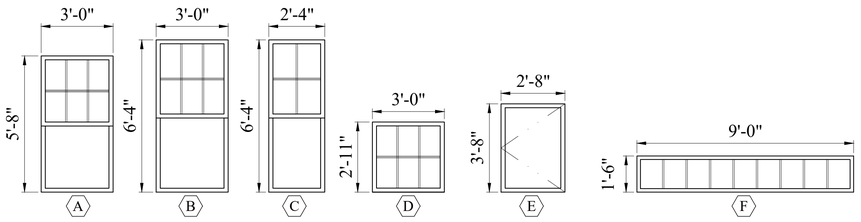
DOOR SCHEDULE

NOTE: GC TO CONFIRM SIZES & QUANTITIES PRIOR TO ORDERING

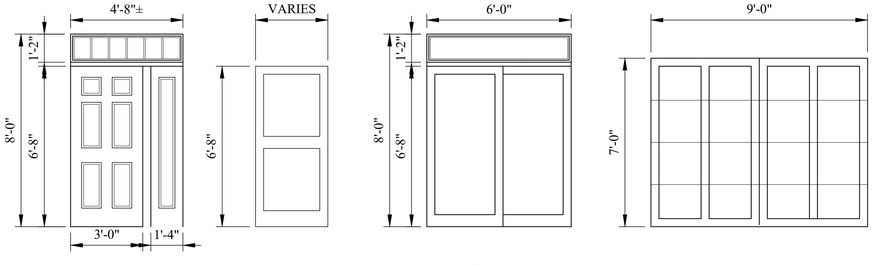
NO.	SIZE	MATERIAL	RATING	FRAME	TYPE	HARDWARE	REMARKS
1	4'-8" x 8'-0" x 1 3/4"	WOOD/GL	-	WOOD	1	ENTRANCE	DOOR UNIT W/ 3'-0"x 6'-8" EGRESS DOOR & 1'-4"x6'-8" SIDELIGHT & TRANSOM, PROVIDE DEADBOLT
2	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	SINGLE DUMMY	PANEL DOOR
3	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	BED	PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL
4	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2		PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL
5	(2) 2'-4" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	SINGLE DUMMY	PAIR OF PANEL DOORS
6	6'-0" x 8'-0" x 1 3/4"	WOOD/GL	-	WOOD	3	SLIDING	SLIDING DOOR UNIT W/ TRANSOM
7	(2) 3'-0" x 6'-8" x 1 3/4"	WOOD	-	WOOD	2	SINGLE DUMMY	PAIR OF PANEL DOORS, W/ BOTTOM LOUVER PANEL, PROVIDE ASTRAGAL
8	3'-0" X 8'-0"	-	-	-	-		BILCO OR DAYLIGHTER, COLOR: GRAY, OPERABLE INSULATED GLASS ROOF HATCH, U-VALUE 0.55
9	7'-0" x 9'-0"	WOOD		WOOD	4	GARAGE	WOOD INSULATED DOOR, PAINTED, CAMBEK OR EQUAL
10	2'-10" x 6'-8" x 1 3/4"	WOOD	20 MIN.	WOOD	2	ENTRANCE	FIRE-RATED PANEL DOOR

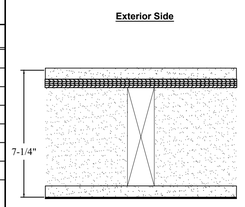
NOTE: ALL DOORS TO BE PRE-HUNG. DOOR STYLE, HARDWARE & FINISHES TO BE SELECTED BY OWNER, ALL DOORS ARE BASED ON PELLA OR EQUAL.

WINDOW TYPES



DOOR TYPES





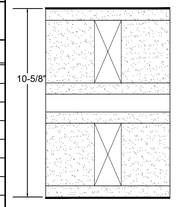
System Description
Wood Stud Exterior Wall (load-bearing)

- Exterior Finish (Not Shown)
- 5/8" Type X Exterior Gyp Sheathing
- min. 15/32" plywood sheathing panels
- 2" x 6" wood studs @ 16" o.c. cross-braced
- 5.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
(RATED FROM BOTH SIDES)
UL Design No. U344

1e 1 HR EXT PARTITION -WOOD LOAD BEARING

SCALE: 3"=1'-0"



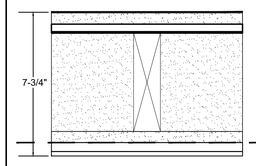
System Description
Wood Stud Unit Seperation Partition (Loadbearing)

- 1/16" veneer plaster
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 2x4 wood stud 16" o.c. cross braced mid-height and 2x4 plates
- 3 ½" Mineral Fiber Batt Insulation
- 5/8" FIRECODE X Core Glass-Mat Sheathing
- 1" airspace
- 5/8" FIRECODE X Core Glass-Mat Sheathing
- 3 ½" Mineral Fiber Batt Insulation
- 2x4 wood stud 16" o.c. cross braced mid-height and 2x4 plates
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
UL Design No. U342
Fire REsistance Rating UL263

1s1 1 HR UNIT SEPERATION -WOOD BEARING

SCALE: 3"=1'-0"



System Description
Wood Stud Partition (Loadbearing)

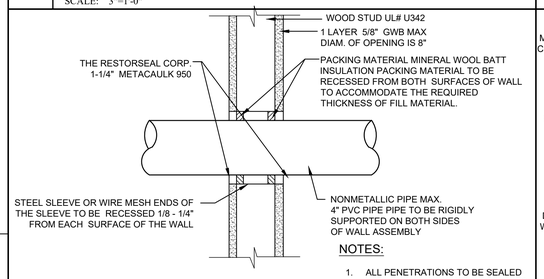
- 1/16" veneer plaster finish
- 5/8" FIRECODE C Core Gypsum Plaster Base
- RC-1 resilient channel one side spaced 24" o.c.
- 2x6 wood stud 16" o.c.
- 5.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Moisture Resistant
- 1/4" Cement Board
- ⅛" Ceramic Tile

GYP BOARD TO EXTEND CONTINUOUSLY BEHIND ALL BATH FIXTURES

System Performance
1 HR Fire
UL Design No. U311
52 STC Sound
SA-830702

1b 1 HR PARTITION BATH / WOOD BEARING STC +50

SCALE: 3"=1'-0"

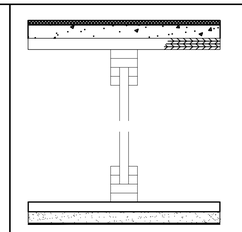


NOTES:

1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.

1F 1 HOUR THROUGH PENETRATION FIRESTOP SYSTEM WALL ASSEMBLY # W-L-2014

SCALE: 3"=1'-0"



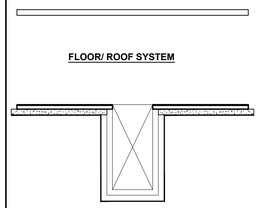
System Description
Engineered Joist

- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- Cellulose Blow In
- RC-1 resilient channel or equivalent
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
IBC 2009 TABLE 720.1(3) ITEM 23
58 STC Sound
50 IIC Sound

1F 1 HR FLOOR ASSEMBLY - +50 STC

SCALE: 3"=1'-0"



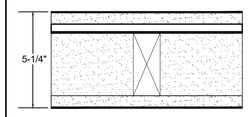
System Description
WOOD BEAM

- WOOD BEAM
- (LAYER 1) 5/8" FIRECODE C Core Gypsum
- (LAYER 2) 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster exterior

System Performance
1 HR Fire BEAM PROTECTION
UL Design No. P517

1BE 1 HR BEAM PROTECTION

SCALE: 1.5"=1'-0"



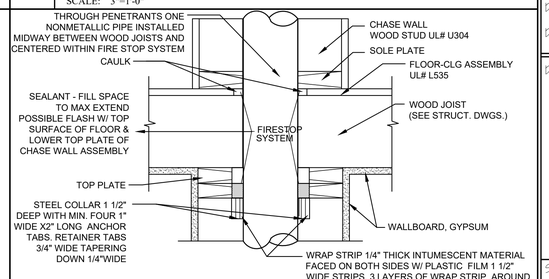
System Description
Wood Stud Partition (Loadbearing)

- 5/8" FIRECODE C Core Gypsum Plaster Base
- RC-1 resilient channel one side spaced 24" o.c
- 2x4 wood stud 16" o.c. cross-braced mid height
- 3.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster finish both sides

System Performance
1 HR Fire
UL Design No. U311
52 STC Sound
SA-830702

1 1 HR PARTITION -WOOD LOAD BEARING

SCALE: 3"=1'-0"



1D 1 HOUR RATING THROUGH PENETRATION FIRESTOP SYSTEM # F-C-2054

SCALE: 3"=1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

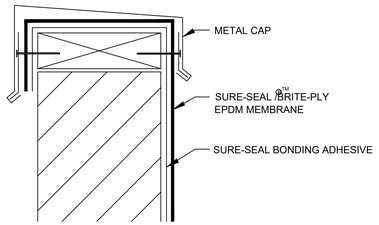
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

WALL TYPES & SCHEDULES

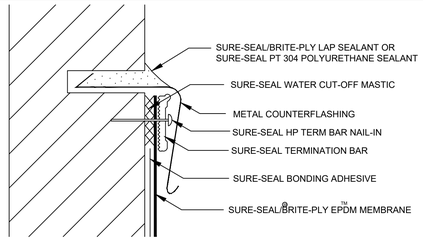
Sheet No.

A-3.2



CAP FLASHING TERMINATION

2

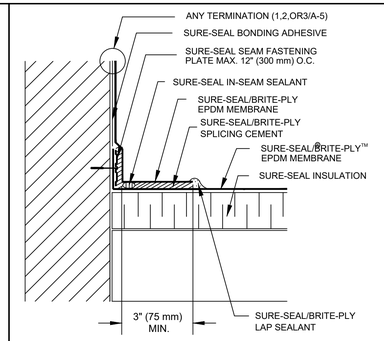


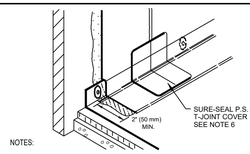
NOTES:

1. APPLY ON HARD SMOOTH SURFACE ONLY; NOT FOR USE ON WOOD.
2. WATER CUT-OFF MASTIC MUST BE HELD UNDER CONSTANT COMPRESSION.
3. DO NOT WRAP COMPRESSION TERMINATION AROUND CORNERS.

COUNTERFLASHING TERMINATION

3



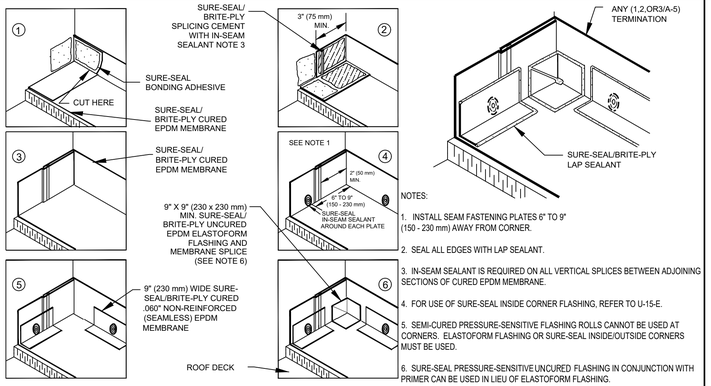


NOTES:

1. LOCATE (1,2,OR3/A-5) TERMINATION ABOVE ANTICIPATED WATER LEVEL.
2. FOR CORNER APPLICATIONS, SEE DETAIL (5/A-5).
3. MAINTAIN A CONTINUOUS BEAD OF IN-SEAM SEALANT AT ALL ADHESIVE MEMBRANE SPLICES; ESPECIALLY AT SPLICE INTERSECTIONS.
4. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL ADHESIVE SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
5. IF A CONTINUATION OF THE DECK MEMBRANE IS TO BE USED AS WALL FLASHING, REFER TO DETAIL U-12-C OR U-12-D.
6. 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MAY ALSO BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
7. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
8. SecurTAPE MAY BE USED IN LIEU OF SPLICING CEMENT.

PARAPET/CURB CURED EPDM

4

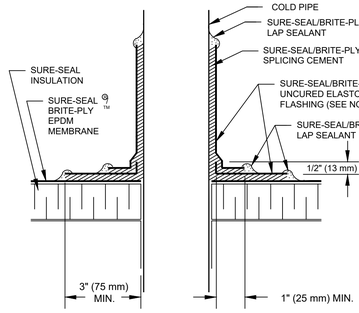


NOTES:

1. INSTALL SEAM FASTENING PLATES 6" TO 9" (150 - 230 mm) AWAY FROM CORNER.
2. SEAL ALL EDGES WITH LAP SEALANT.
3. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
4. FOR USE OF SURE-SEAL INSIDE CORNER FLASHING, REFER TO U-15-E.
5. SEMI-CURED PRESSURE-SENSITIVE FLASHING ROLLS CANNOT BE USED AT CORNERS. ELASTOFORM FLASHING OR SURE-SEAL INSIDE/OUTSIDE CORNERS MUST BE USED.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

5

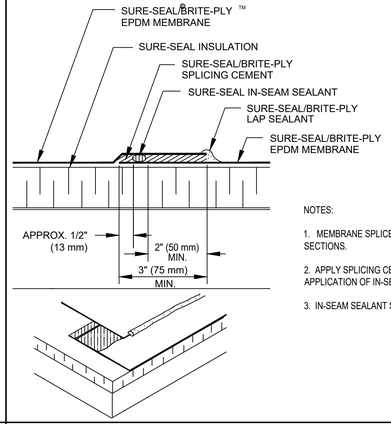


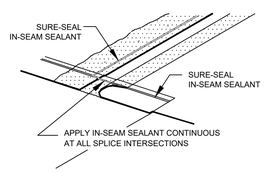
NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
2. SECUREMENT REQUIRED AROUND ALL PIPES GREATER THAN 18 INCHES (500 mm) IN DIAMETER.
3. UNCURED ELASTOFORM FLASHING WRAPPED AROUND THE PIPE SHALL HAVE 3" (75 mm) MINIMUM SPLICE.
4. A HEAT GUN MUST BE USED WHEN FORMING BRITE-PLY FLASHING.
5. ON MECHANICALLY-FASTENED ROOFING SYSTEMS, ADDITIONAL MEMBRANE SECUREMENT IS REQUIRED. REFER TO DETAIL MFS-14.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

FIELD FABRICATED PIPE SEAL

6



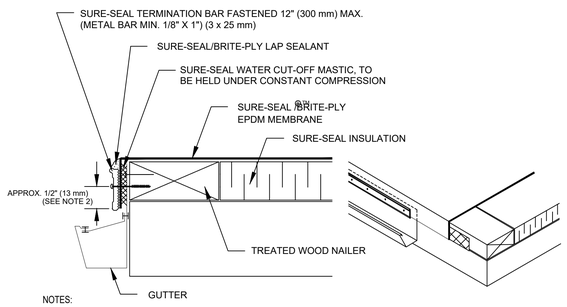


NOTES:

1. MEMBRANE SPLICE PROCEDURE IS FOR SPLICES BETWEEN CURED EPDM SECTIONS.
2. APPLY SPLICING CEMENT OVER ENTIRE 3" (75 mm) MINIMUM SPLICE AREA PRIOR TO APPLICATION OF IN-SEAM SEALANT.
3. IN-SEAM SEALANT SHALL BE CONTINUOUS ALONG THE LENGTH OF THE SPLICE.

MEMBRANE SPLICE WITH SPLICING CEMENT

7

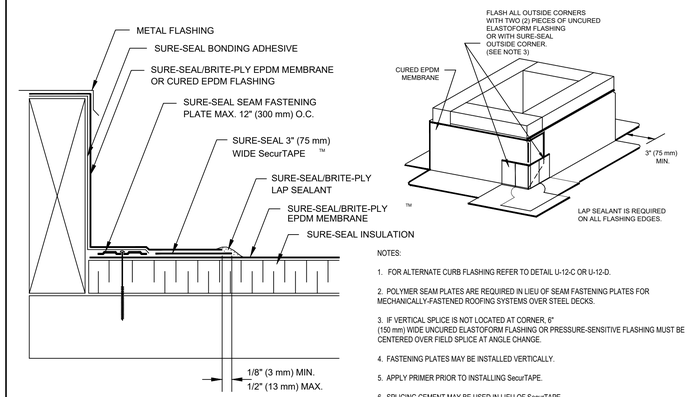


NOTES:

1. FASTENER PATTERN OF METAL BAR MUST PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
2. WHEN REINFORCED MEMBRANE IS USED, ENSURE FASTENER PENETRATES REINFORCEMENT.

METAL BAR TERMINATION

9



NOTES:

1. FOR ALTERNATE CURB FLASHING REFER TO DETAIL U-12-C OR U-12-D.
2. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
3. IF VERTICAL SPLICE IS NOT LOCATED AT CORNER, 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
4. FASTENING PLATES MAY BE INSTALLED VERTICALLY.
5. APPLY PRIMER PRIOR TO INSTALLING SecurTAPE.
6. SPLICING CEMENT MAY BE USED IN LIEU OF SecurTAPE.

CURB FLASHING

10

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
45 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

MEMBRANE ROOF DETAILS

Sheet No.

A-3.3

PROPOSED SINGLE FAMILY ROWHOUSE

43 ELM STREET, CHARLESTOWN, MASSACHUSETTS

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:

1. VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
2. ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
3. OBTAINING AND PAYING FOR ALL PERMITS.
4. PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
5. CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
6. SCHEDULING AND SEQUENCING.
7. CONSTRUCTION MEANS, METHODS AND TECHNIQUES
8. MAINTAINING DRAWINGS AND PERMITS ON SITE.
9. JOB SITE SAFETY
10. COORDINATION BETWEEN TRADES, AND SUPPLIERS.
11. PROVIDE SCHEDULE TO OWNER AND ARCHITECT,
12. PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
13. TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
15. REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
16. GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

17. POURING CONCRETE
18. INSULATING
19. INSTALLING DRYWALL
20. FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN. OF 5 DAYS AFTER THEY WERE POURED.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
   - **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
   A. FOOTINGS 3 INCHES
   B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
   C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
   D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
   FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
3. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-O" O.C.
4. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-O" O.C. MAXIMUM.
5. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
6. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
7. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
9. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
11. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH ½" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT
- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

ZONING SUMMARY

ZONE: ARTICLE 62, CHARLESTOWN NEIGHBORHOOD 3F-2000

Use Regulations: Section Table

Existing	Proposed
3F - ALLOWED	1F - ALLOWED

A = Allowed F = Forbidden C = Conditional

Dimensional Regulations: Table

	Code Requirement	Existing Condition	Proposed Project	Proposed Project	Proposed Project	Notes
	SEMI-ATTACHED	41 BARTLETT	43 ELM	45 ELM	47 ELM	
Lot Area Minimum	1000 SF / DU					
Min Lot Area for Additional Units	1000 SF / DU					
Total Required Lot Size	1000 SF	3936 SF	1308 SF	1213 SF	1414 SF	
Min Required Lot Width and Frontage	20'	55'	24.2' / 76.4'	22.3' / 22.3'	25.3' / 25.7'	
Max FAR	2	0.63	(2369 SF) 1.81	(2375 SF) 1.96	(2375 SF) 1.68	2488 SF EX'G
Max Building Height / Stories	35' / 3 STORIES	24' / 2 STORIES	34.5' / 3 STORIES	34.5' / 3 STORIES	34.5' / 3 STORIES	AVG GRADE TO TO ROOF DECK
Usable Open Space	(#43)427 SF REQ'D (#45)403 SF REQ'D (#47)453 SF REQ'D	OV .1' / OV.7' +/-	428 SF	554 SF	644 SF	#43 - 427 SF REQ'D #45 - 403 SF REQ'D #47 - 453 SF REQ'D
Min. Front Yard	MODAL	20.1'	MODAL	MODAL	MODAL	
Min Side Yard	0' / 2.5'	0' / 14.8'	NOT REQ'D	NOT REQ'D	3' / NOT REQ'D	
Min Rear Yard	20'	40.9'	21.2'	20.1'	20.7'	
Max Use of Rear Yard						

Overlays:
NEIGHBORHOOD DESIGN

Other Non-Dimensional Zoning Issues:
REQ'D PARKING - 1 SPACE / UNIT x 1 UNIT = 1 SPACE
EX'G PARKING - 3 SPACES
PROPOSED - 1 SPACE

KEY

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- 1 HOUR WALL
- 2 HOUR WALL
- FAN
- 45 MIN. DOOR
- 1-1/2 HOUR DOOR
- WINDOW TYPE
- 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- 2 HOUR CLG. WALL(SEE C.T.2/A-3.1)
- FIRE EXTINGUISHER
- NEW WALL

CODE SUMMARY

EX'G TYPE 5 CONSTRUCTION
PROPOSED TYPE 5 CONSTRUCTION
EX'G R-2 USE GROUP
PROPOSED R-3 USE GROUP
EX'G 2 STORIES
PROPOSED 3 STORIES
PROPOSED FULLY SPRINKLERED & ALARMED

SOIL TESTING

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM AS DESIGNED IS BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. SOIL BORINGS SHOULD BE PERFORMED TO VERIFY THAT THE MINIMUM DESIGN BEARING CAPACITIES ARE ACHIEVABLE. IF A SUITABLE SOIL THAT CAN NOT WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THAN THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

COVER SHEET

Sheet No.

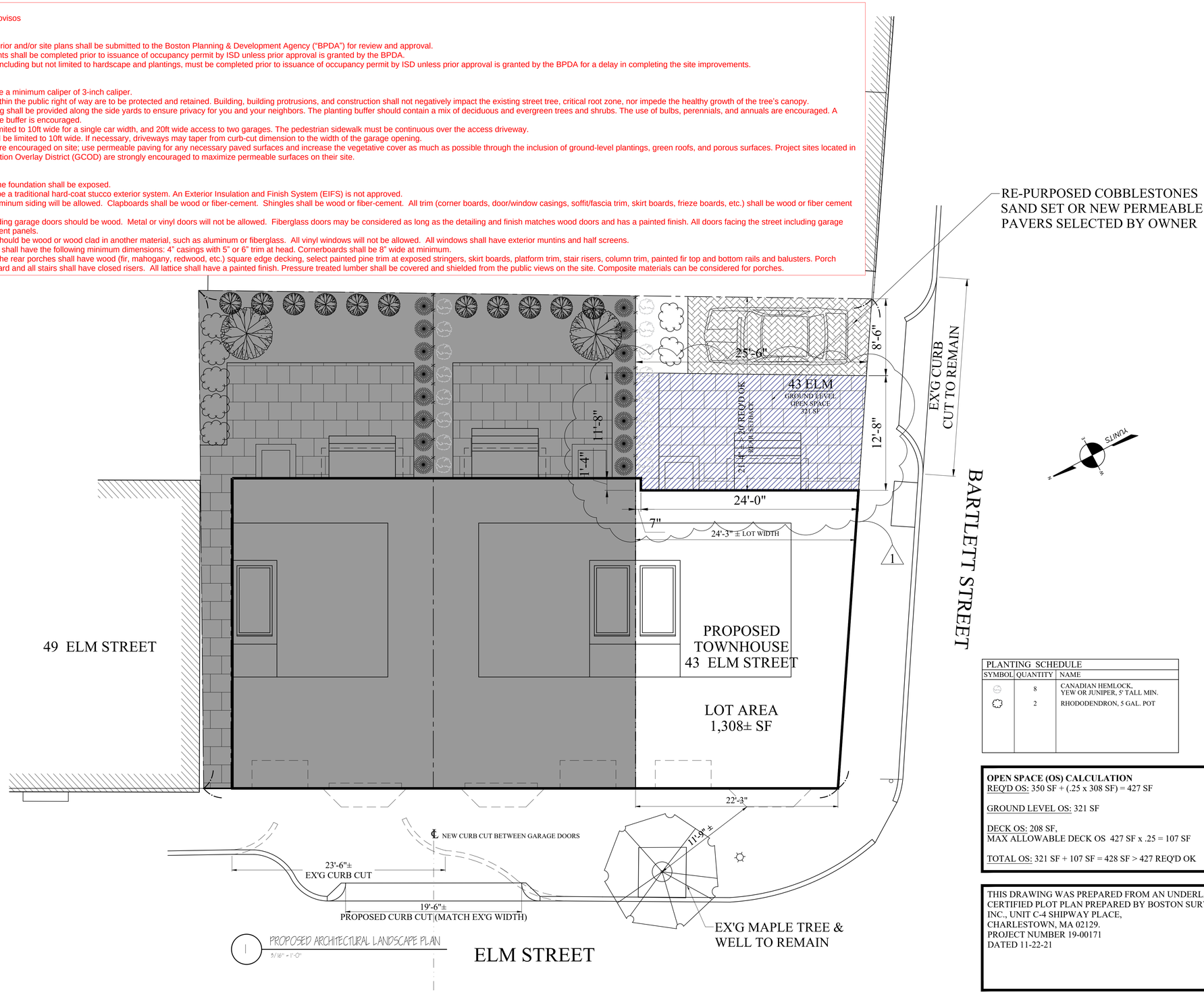
A-0.0

NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2.All building improvements shall be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA.
3.All site improvements, including but not limited to hardscape and plantings, must be completed prior to issuance of occupancy permit by ISD unless prior approval is granted by the BPDA for a delay in completing the site improvements.

Landscape/Site:
4. All new trees shall have a minimum caliper of 3-inch caliper.
5. Existing street trees within the public right of way are to be protected and retained. Building, building protrusions, and construction shall not negatively impact the existing street tree, critical root zone, nor impede the healthy growth of the tree's canopy.
6. Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
8. Curb-cuts should be limited to 10ft wide for a single car width, and 20ft wide access to two garages. The pedestrian sidewalk must be continuous over the access driveway.
9.Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
10.Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces. Project sites located in a Groundwater Conservation Overlay District (GCOD) are strongly encouraged to maximize permeable surfaces on their site.

Architectural:
11.No more than 12" of the foundation shall be exposed.
12.Stucco: Stucco must be a traditional hard-coat stucco exterior system. An Exterior Insulation and Finish System (EIFS) is not approved.
13.Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. Shingles shall be wood or fiber-cement. All trim (corner boards, door/window casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.
14.Doors: All doors including garage doors should be wood. Metal or vinyl doors will not be allowed. Fiberglass doors may be considered as long as the detailing and finish matches wood doors and has a painted finish. All doors facing the street including garage doors shall have translucent panels.
15. Windows: Windows should be wood or wood clad in another material, such as aluminum or fiberglass. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
16.Window and door trim shall have the following minimum dimensions: 4" casings with 5" or 6" trim at head. Cornerboards shall be 8" wide at minimum.
17.All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.



1 PROPOSED ARCHITECTURAL LANDSCAPE PLAN
3/16" = 1'-0"

PLANTING SCHEDULE		
SYMBOL	QUANTITY	NAME
	8	CANADIAN HEMLOCK, YEW OR JUNIPER, 5' TALL MIN.
	2	RHODODENDRON, 5 GAL. POT

OPEN SPACE (OS) CALCULATION
REQ'D OS: 350 SF + (.25 x 308 SF) = 427 SF

GROUND LEVEL OS: 321 SF

DECK OS: 208 SF,
MAX ALLOWABLE DECK OS 427 SF x .25 = 107 SF

TOTAL OS: 321 SF + 107 SF = 428 SF > 427 REQ'D OK

THIS DRAWING WAS PREPARED FROM AN UNDERLAY CERTIFIED PLOT PLAN PREPARED BY BOSTON SURVEY, INC., UNIT C-4 SHIPWAY PLACE, CHARLESTOWN, MA 02129.
PROJECT NUMBER 19-00171
DATED 11-22-21

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	2-21-2022

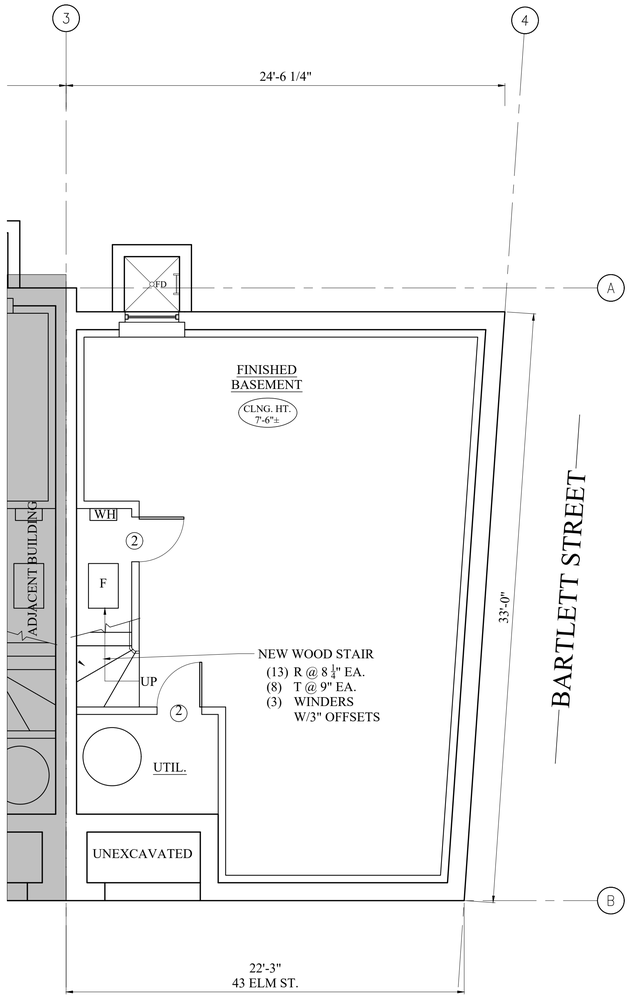
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

PROPOSED LANDSCAPE PLAN

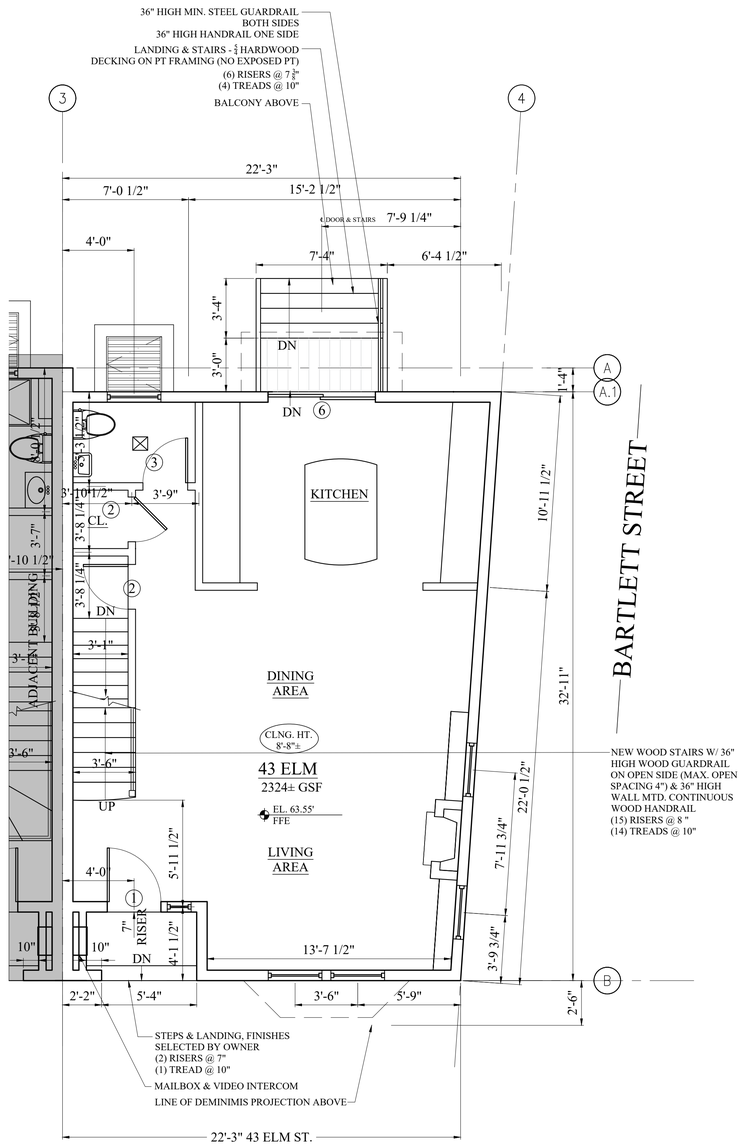
Sheet No.

A-1.0



ELM STREET

1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"



ELM STREET

2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

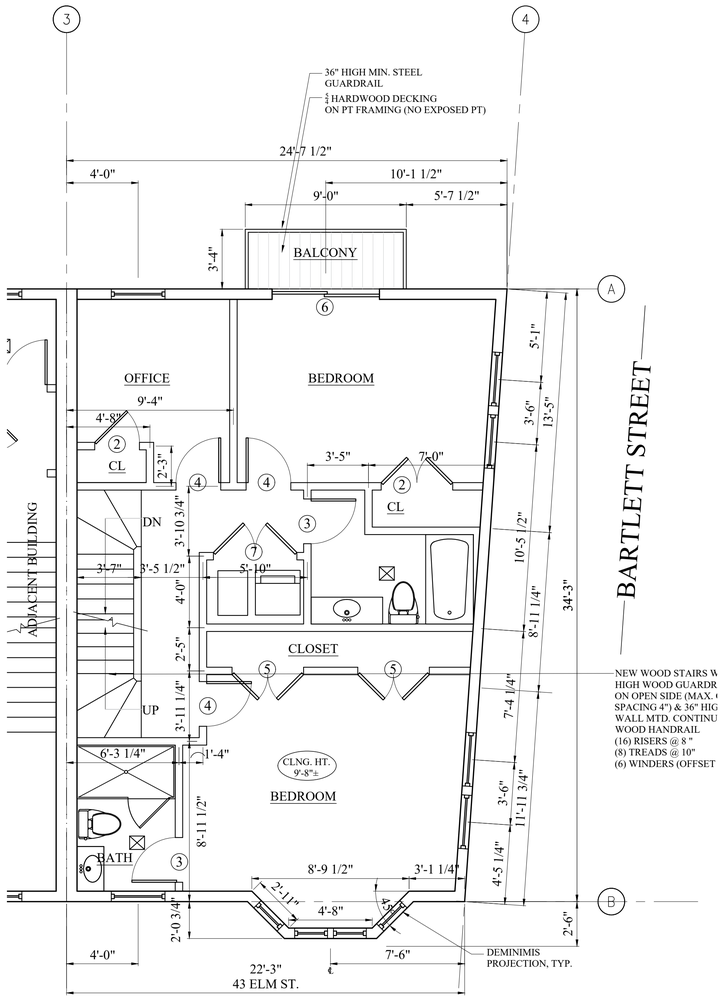
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

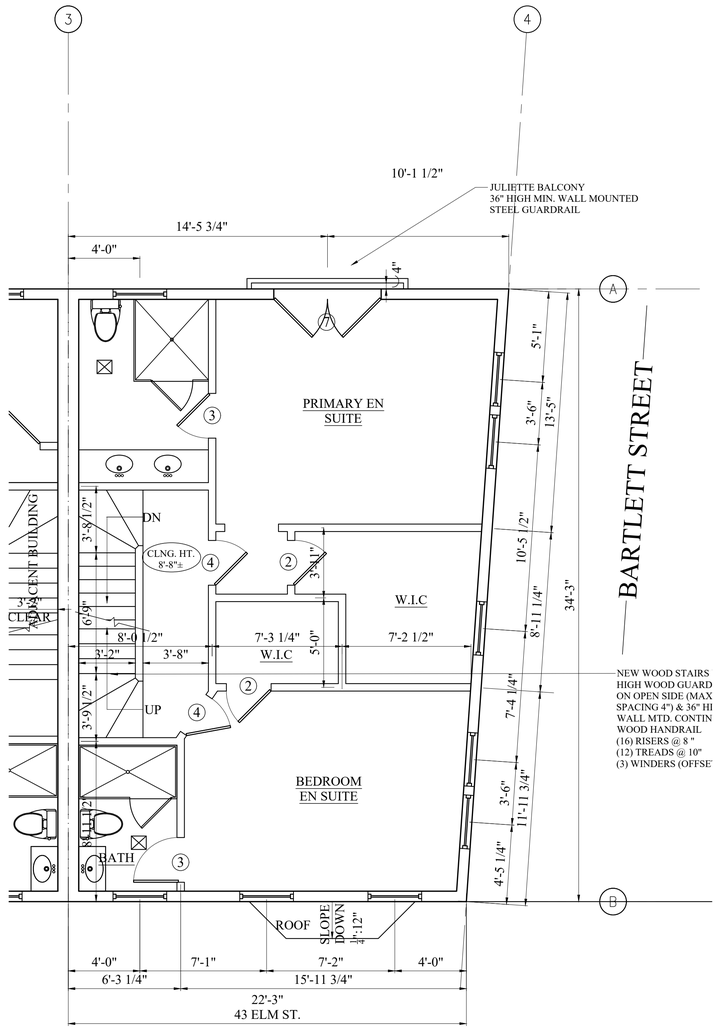
PROPOSED
FLOOR PLANS

Sheet No.

A-1.1



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

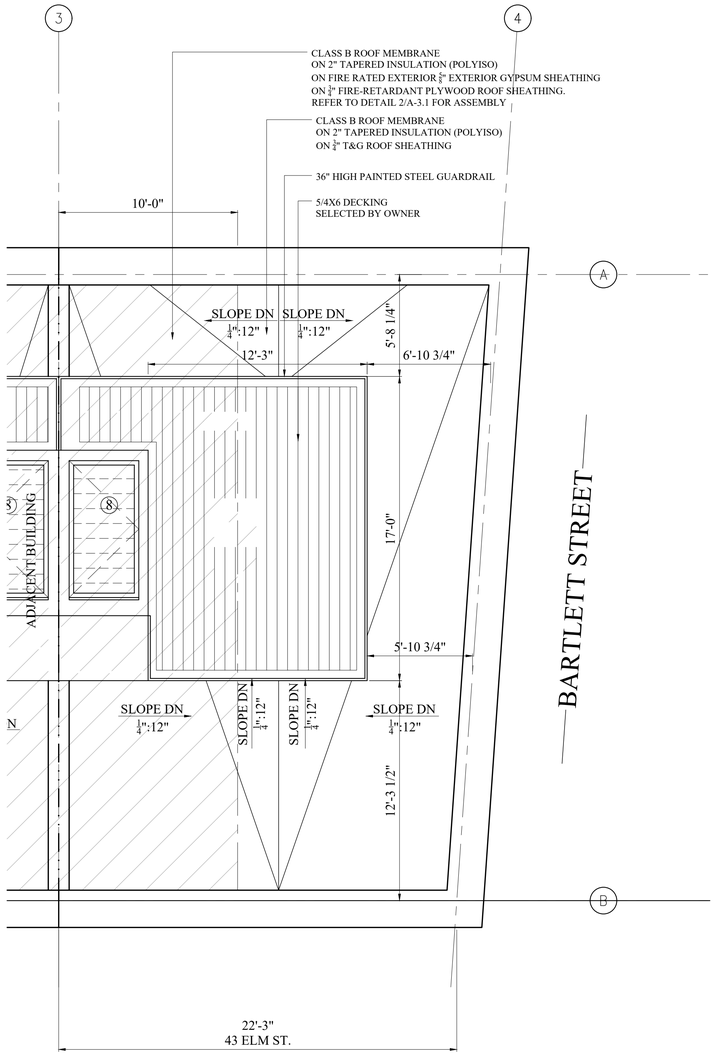
PROPOSED FLOOR PLANS

Sheet No.

A-1.2

NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2. Refer to sheet A1.0 for a full list of BPDA design review provisos.



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

PROPOSED FLOOR PLANS

Sheet No.

A-1.3

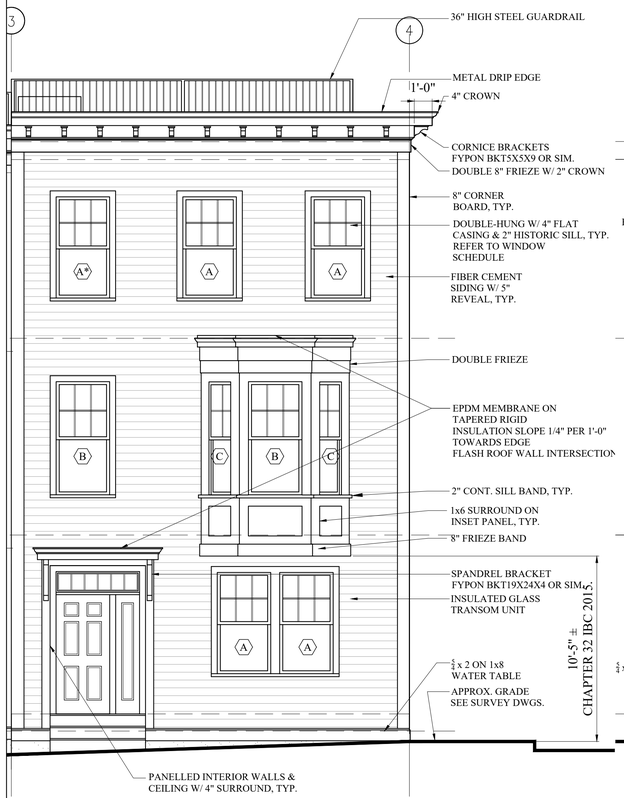
NDOD
BPDA Design Review Provisos

General:
1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2. Refer to sheet A1.0 for a full list of BPDA design review provisos.

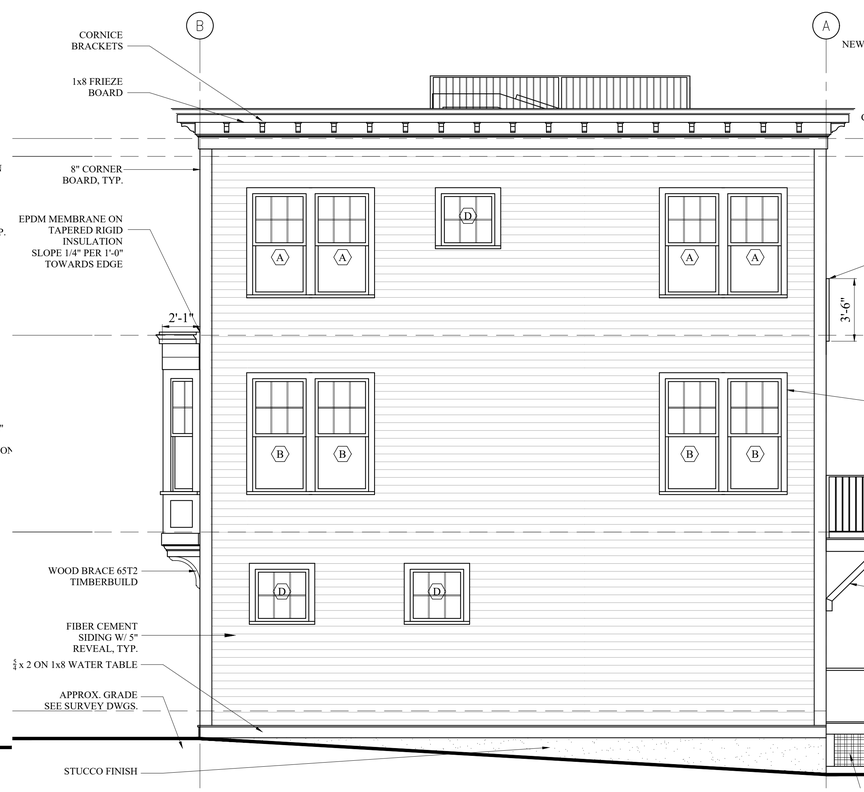
GENERAL EXTERIOR FINISH NOTES:

1. THERE CAN BE NO EXPOSED PRESSURE TREATED WOOD (PT). ALL PT MEMBERS NEED TO BE CLAD W/ 1x TRIM.
2. TRIM MATERIAL IS TO BE EITHER FIBER CEMENT OR POLY-ASH (BORAL) TRIM PRODUCT. AZEK & VINYL IS NOT ALLOWED.
3. THE EXPOSED CONCRETE FOUNDATION IS TO HAVE A PORTLAND CEMENT STUCCO FINISH, (TRADITIONAL HARD-COAT EXTERIOR SYSTEM). EIFS (SYNTHETIC STUCCO) IS NOT PERMITTED.

4 PROPOSED FRONT ELEVATION
1/8" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
1/4" = 1'-0"

3 PROPOSED REAR ELEVATION
1/4" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

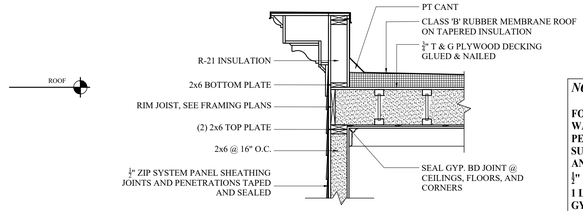
Drawing Name

PROPOSED ELEVATIONS

Sheet No.

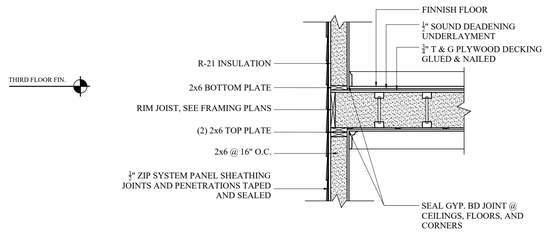
A-2.1

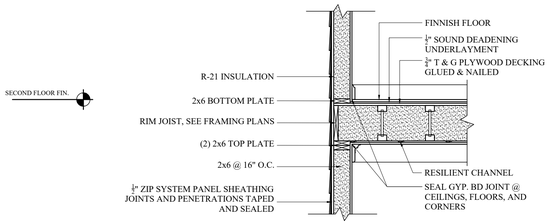
NOTE:
REFER TO THE GEOTECHNICAL SUMMARY REPORT PREPARED BY KMM GEOTECHNICAL CONSULTANTS, LLC. DATED JUNE 7, 2021.

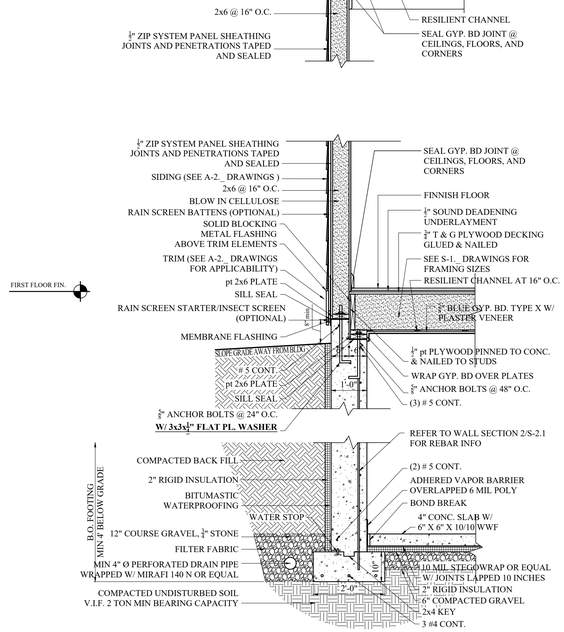


NOTE AT SIDE WALL

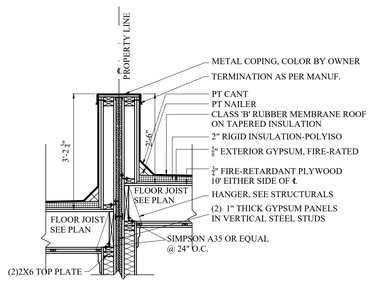
FOR FIRE RATED WALL ASSEMBLIES AS PER THE PLAN, SUBTRACT ZIP SYSTEM PANEL AND REPLACE W/ 1 LAYER OF ½" STRUCTURAL SHEATHING, 1 LAYER OF ⅝" EXTERIOR GYP. BD., AND ADHERED AIR BARRIER MEMBRANE.

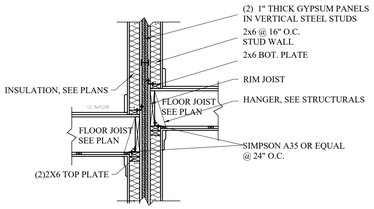


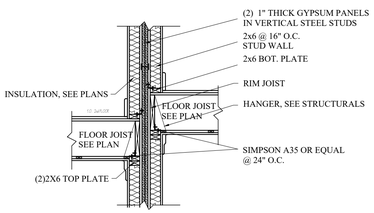


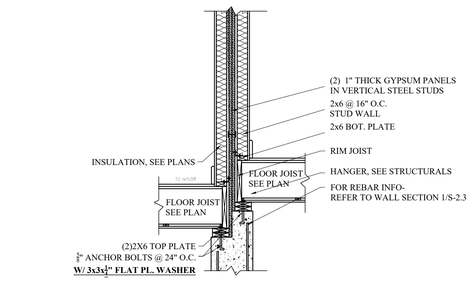


1 PROPOSED TYP. WALL SECTION
1/2" = 1'-0"

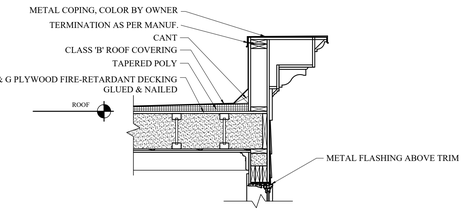


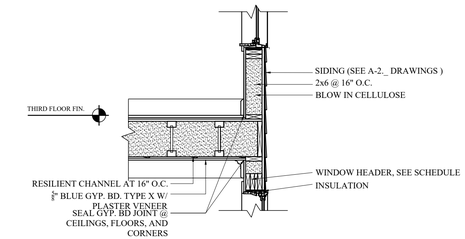


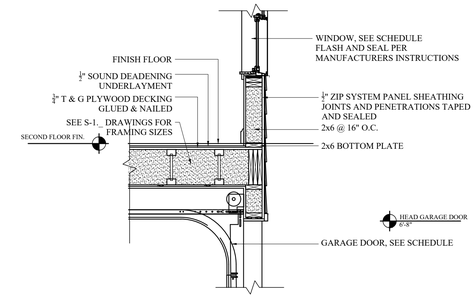


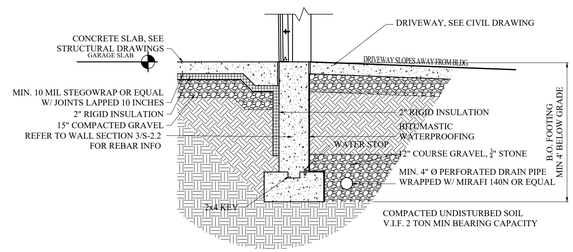


2 PROPOSED WALL SECTION BETWEEN BUILDINGS
1/2" = 1'-0"









3 PROPOSED WALL SECTION AT GARAGE & BAY WINDOW
1/2" = 1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

PROPOSED WALL SECTIONS

Sheet No.

A-3.1

WINDOW SCHEDULE

* NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.
* PROVIDE WINDOW FALL PREVENTION DEVICES PER ASTM F2090 ON ALL WINDOWS W/ SILL HEIGHT BELOW 3' A.F.F.

NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS
A	HARVEY	MAJESTY WOOD	9	3'-0" X 5'-8"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE, * INDICATES SAFETY GLASS
B	HARVEY	MAJESTY WOOD	4	3'-0" X 6'-4"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
C	HARVEY	MAJESTY WOOD	2	1'-10" X 6'-4"	DOUBLE HUNG, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
D	HARVEY	MAJESTY WOOD	1	3'-0" X 2'-11"	AWNING, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE
E	HARVEY	MAJESTY WOOD	1	2'-8" X 3'-8"	CASEMENT, WHITE INTERIOR, BLACK EXTERIOR, WHITE HARDWARE, OPENS IN, PROVIDE EGRESS HARDWARE

WINDOW NOTES:
1. GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES PRIOR TO ORDERING.
2. ALL WINDOWS ARE BASED ON HARVEY BUILDING PRODUCTS.
3. WINDOWS ARE TO HAVE SDL & INSULATED GLASS WITH ARGON GAS & A LOW-E TYPE COATING, U-VALUE .3 MINIMUM.
4. ALL WINDOWS TO INCLUDE INSECT SCREENING PER MANUFACTURER.
5. SIZES SHOWN ARE BASED WINDOW DIMENSIONS. G.C. TO COORDINATE ROUGH OPENINGS WITH WINDOW MANUFACTURER'S SPECIFICATIONS.
6. PROVIDE WINDOW OPENING CONTROL DEVICES WHICH COMPLY WITH ASTM F2090 ON ALL WINDOWS.

WINDOW HEAD HEIGHTS:

1. BASEMENT FINISHED HEIGHT IS 7'-0" A.F.F.
2. FIRST FLOOR FINISHED HEIGHT IS 8'-0" A.F.F.
3. SECOND FLOOR FINISHED HEIGHT IS 8'-6" A.F.F.
4. THIRD FLOOR FINISHED HEIGHT IS 8'-0" A.F.F.

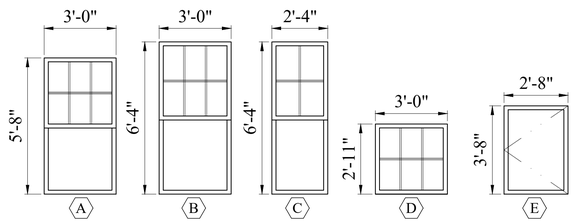
DOOR SCHEDULE

NOTE: GC TO CONFIRM SIZES & QUANTITIES PRIOR TO ORDERING

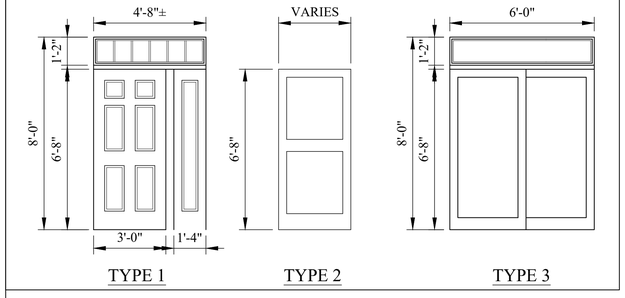
NO.	SIZE	MATERIAL	RATING	FRAME	TYPE	HARDWARE	REMARKS
1	4'-8" x 8'-0" x 1 3/4"	WOOD/GL	-	WOOD	1	ENTRANCE	DOOR UNIT W/ 3'-0"x 6'-8" EGRESS DOOR & 1'-4"x6'-8" SIDELIGHT & TRANSOM, PROVIDE DEADBOLT
2	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	SINGLE DUMMY	PANEL DOOR
3	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	BED	PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL
4	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2		PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL
5	(2) 2'-4" x 6'-8" x 1 3/8"	WOOD	-	WOOD	2	SINGLE DUMMY	PAIR OF PANEL DOORS
6	6'-0" x 8'-0" x 1 3/4"	WOOD/GL	-	WOOD	4	SLIDING	SLIDING DOOR UNIT W/ TRANSOM
7	(2) 3'-0" x 6'-8" x 1 3/4"	WOOD	-	WOOD	2	SINGLE DUMMY	PAIR OF PANEL DOORS, W/ BOTTOM LOUVER PANEL, PROVIDE ASTRAGAL
8	3'-0" X 8'-0"	-	-	-	-		BILCO OR DAYLIGHTER, COLOR: GRAY, OPERABLE INSULATED GLASS ROOF HATCH, U-VALUE 0.55

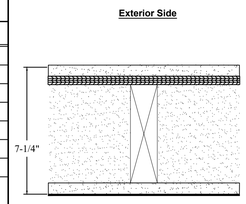
NOTE: ALL DOORS TO BE PRE-HUNG. DOOR STYLE, HARDWARE & FINISHES TO BE SELECTED BY OWNER, ALL DOORS ARE BASED ON PELLA OR EQUAL.

WINDOW TYPES



DOOR TYPES





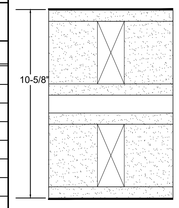
System Description
Wood Stud Exterior Wall (load-bearing)

- Exterior Finish (Not Shown)
- 5/8" Type X Exterior Gyp Sheathing
- min. 15/32" plywood sheathing panels
- 2" x 6" wood studs @ 16" o.c. cross-braced
- 5.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
(RATED FROM BOTH SIDES)
UL Design No. U344

1e 1 HR EXT PARTITION -WOOD LOAD BEARING

SCALE: 3"=1'-0"



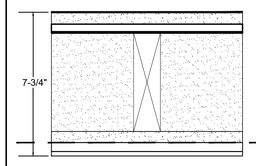
System Description
Wood Stud Unit Seperation Partition (Loadbearing)

- 1/16" veneer plaster
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 2x4 wood stud 16" o.c. cross braced mid-height and 2x4 plates
- 3 ½" Mineral Fiber Batt Insulation
- 5/8" FIRECODE X Core Glass-Mat Sheathing
- 1" airspace
- 5/8" FIRECODE X Core Glass-Mat Sheathing
- 3 ½" Mineral Fiber Batt Insulation
- 2x4 wood stud 16" o.c. cross braced mid-height and 2x4 plates
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
UL Design No. U342
Fire REsistance Rating UL263

1s1 1 HR UNIT SEPERATION -WOOD BEARING

SCALE: 3"=1'-0"



System Description
Wood Stud Partition (Loadbearing)

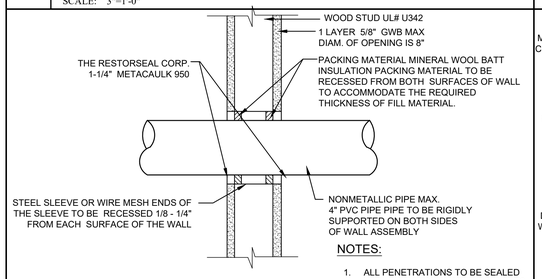
- 1/16" veneer plaster finish
- 5/8" FIRECODE C Core Gypsum Plaster Base
- RC-1 resilient channel one side spaced 24" o.c.
- 2x6 wood stud 16" o.c.
- 5.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Moisture Resistant
- 1/4" Cement Board
- ¼" Ceramic Tile

GYP BOARD TO EXTEND CONTINUOUSLY BEHIND ALL BATH FIXTURES

System Performance
1 HR Fire
UL Design No. U311
52 STC Sound
SA-830702

1b 1 HR PARTITION BATH / WOOD BEARING STC +50

SCALE: 3"=1'-0"

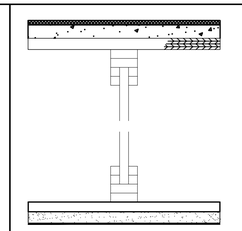


NOTES:

1. ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.

1F 1 HOUR THROUGH PENETRATION FIRESTOP SYSTEM WALL ASSEMBLY # W-L-2014

SCALE: 3"=1'-0"



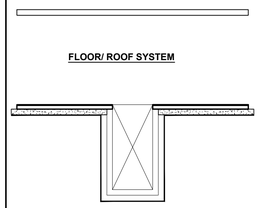
System Description
Engineered Joist

- Hardwood Floor System
- Ecore 5mm ECO silence underlayment
- 1" gypsum underlayment
- 19/32" wood sheathing perpendicular
- 9-1/2" min. wood "I" joist max 24" o.c.
- Cellulose Blow In
- RC-1 resilient channel or equivalent
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster

System Performance
1 HR Fire
IBC 2009 TABLE 720.1(3) ITEM 23
58 STC Sound
50 IIC Sound

1F 1 HR FLOOR ASSEMBLY - +50 STC

SCALE: 3"=1'-0"



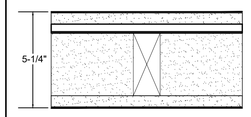
System Description
WOOD BEAM

- WOOD BEAM
- (LAYER 1) 5/8" FIRECODE C Core Gypsum
- (LAYER 2) 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster exterior

System Performance
1 HR Fire BEAM PROTECTION
UL Design No. P517

1BE 1 HR BEAM PROTECTION

SCALE: 1.5"=1'-0"



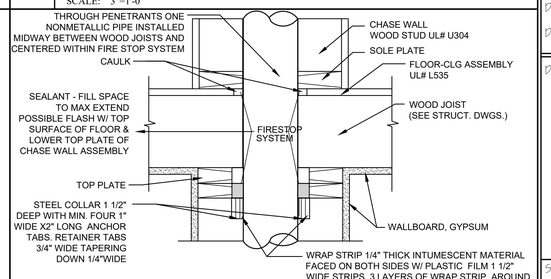
System Description
Wood Stud Partition (Loadbearing)

- 5/8" FIRECODE C Core Gypsum Plaster Base
- RC-1 resilient channel one side spaced 24" o.c
- 2x4 wood stud 16" o.c. cross-braced mid height
- 3.5" Cellulose Blow In
- 5/8" FIRECODE C Core Gypsum Plaster Base
- 1/16" veneer plaster finish both sides

System Performance
1 HR Fire
UL Design No. U311
52 STC Sound
SA-830702

1 1 HR PARTITION -WOOD LOAD BEARING

SCALE: 3"=1'-0"



1D 1 HOUR RATING THROUGH PENETRATION FIRESTOP SYSTEM # F-C-2054

SCALE: 3"=1'-0"

Location

PROPOSED SINGLE FAMILY TOWNHOUSE
43 ELM STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

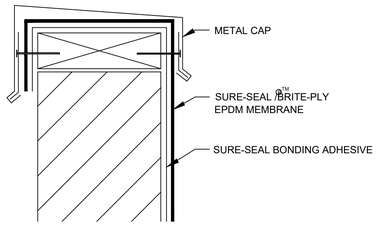
Project No: 19151/19306
Scale: AS NOTED
Date: 4-20-2022
Drawn By: DF/TM

Drawing Name

WALL TYPES & SCHEDULES

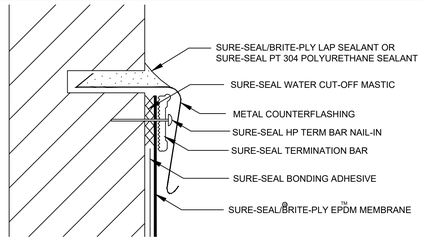
Sheet No.

A-3.2



CAP FLASHING TERMINATION

2

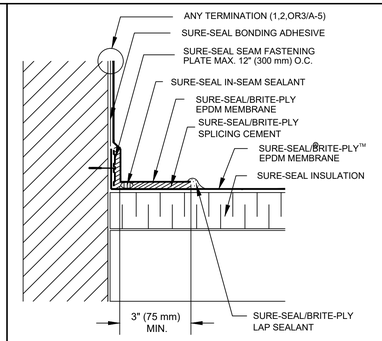


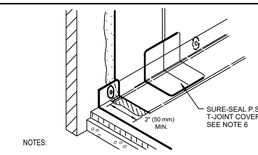
NOTES:

1. APPLY ON HARD SMOOTH SURFACE ONLY; NOT FOR USE ON WOOD.
2. WATER CUT-OFF MASTIC MUST BE HELD UNDER CONSTANT COMPRESSION.
3. DO NOT WRAP COMPRESSION TERMINATION AROUND CORNERS.

COUNTERFLASHING TERMINATION

3



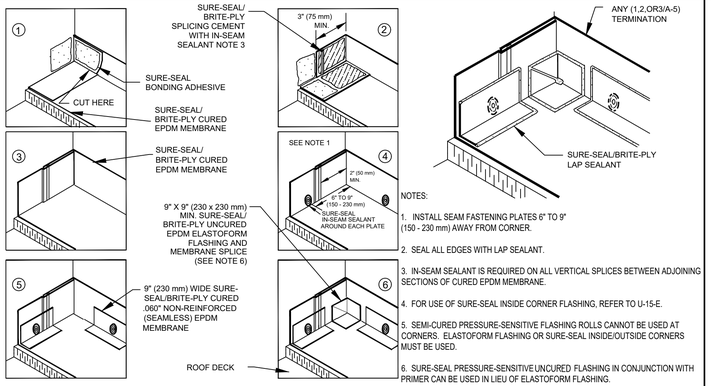


NOTES:

1. LOCATE (1,2,OR3/A-5) TERMINATION ABOVE ANTICIPATED WATER LEVEL.
2. FOR CORNER APPLICATIONS, SEE DETAIL (5/A-5).
3. MAINTAIN A CONTINUOUS BEAD OF IN-SEAM SEALANT AT ALL ADHESIVE MEMBRANE SPLICES; ESPECIALLY AT SPLICE INTERSECTIONS.
4. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL ADHESIVE SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
5. IF A CONTINUATION OF THE DECK MEMBRANE IS TO BE USED AS WALL FLASHING, REFER TO DETAIL U-12-C OR U-12-D.
6. 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MAY ALSO BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
7. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
8. SecurTAPE MAY BE USED IN LIEU OF SPLICING CEMENT.

PARAPET/CURB CURED EPDM

4

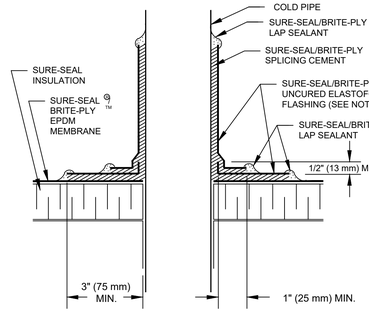


NOTES:

1. INSTALL SEAM FASTENING PLATES 6" TO 9" (150 - 230 mm) AWAY FROM CORNER.
2. SEAL ALL EDGES WITH LAP SEALANT.
3. IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
4. FOR USE OF SURE-SEAL INSIDE CORNER FLASHING, REFER TO U-15-E.
5. SEMI-CURED PRESSURE-SENSITIVE FLASHING ROLLS CANNOT BE USED AT CORNERS. ELASTOFORM FLASHING OR SURE-SEAL INSIDE/OUTSIDE CORNERS MUST BE USED.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

5

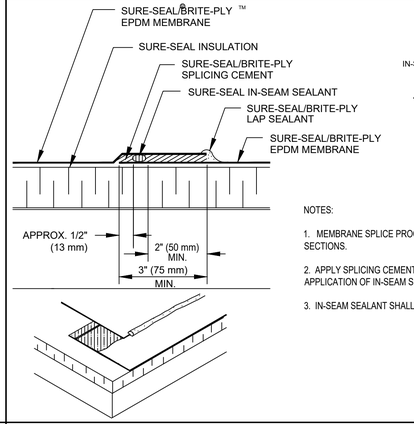


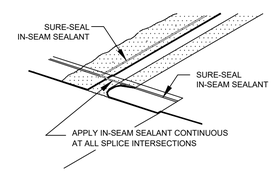
NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
2. SECUREMENT REQUIRED AROUND ALL PIPES GREATER THAN 18 INCHES (500 mm) IN DIAMETER.
3. UNCURED ELASTOFORM FLASHING WRAPPED AROUND THE PIPE SHALL HAVE 3" (75 mm) MINIMUM SPLICE.
4. A HEAT GUN MUST BE USED WHEN FORMING BRITE-PLY FLASHING.
5. ON MECHANICALLY-FASTENED ROOFING SYSTEMS, ADDITIONAL MEMBRANE SECUREMENT IS REQUIRED. REFER TO DETAIL MFS-14.
6. SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

FIELD FABRICATED PIPE SEAL

6



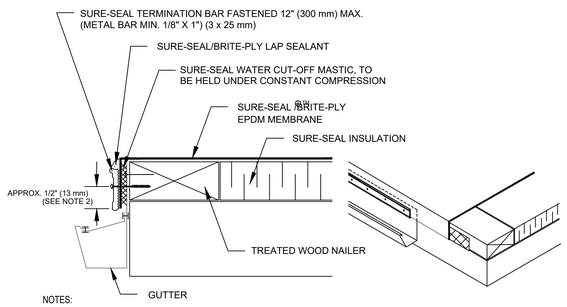


NOTES:

1. MEMBRANE SPLICE PROCEDURE IS FOR SPLICES BETWEEN CURED EPDM SECTIONS.
2. APPLY SPLICING CEMENT OVER ENTIRE 3" (75 mm) MINIMUM SPLICE AREA PRIOR TO APPLICATION OF IN-SEAM SEALANT.
3. IN-SEAM SEALANT SHALL BE CONTINUOUS ALONG THE LENGTH OF THE SPLICE.

MEMBRANE SPLICE WITH SPLICING CEMENT

7

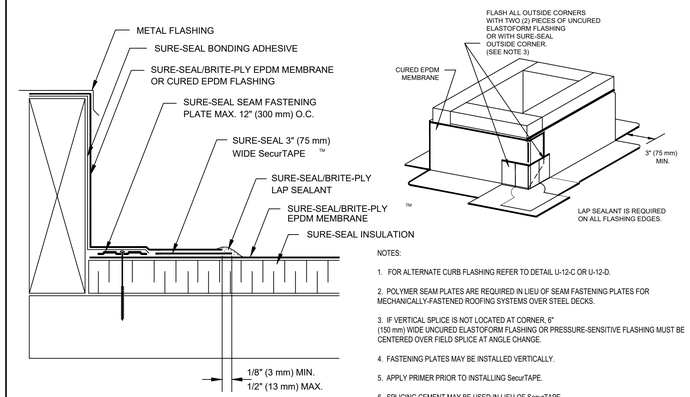


NOTES:

1. FASTENER PATTERN OF METAL BAR MUST PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
2. WHEN REINFORCED MEMBRANE IS USED, ENSURE FASTENER PENETRATES REINFORCEMENT.

METAL BAR TERMINATION

9



NOTES:

1. FOR ALTERNATE CURB FLASHING REFER TO DETAIL U-12-C OR U-12-D.
2. POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
3. IF VERTICAL SPLICE IS NOT LOCATED AT CORNER, 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
4. FASTENING PLATES MAY BE INSTALLED VERTICALLY.
5. APPLY PRIMER PRIOR TO INSTALLING SecurTAPE.
6. SPLICING CEMENT MAY BE USED IN LIEU OF SecurTAPE.

CURB FLASHING

10

Location

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CHARLESTOWN, MA 02129

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No.	Revision Date

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Drawn By: DF/TM

Drawing Name

MEMBRANE ROOF DETAILS

Sheet No.

A-3.3