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## **58 BURBANK**

**SINGLE FAMILY TOWNHOUSE**

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**58 BURBANK STREET  
BOSTON, MA 02115**

### **Issue for Permit**

**5 OCTOBER 2022**

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### **PROJECT TEAM:**

**ARCHITECT:**  
MONTE FRENCH DESIGN STUDIO  
650 COLUMBUS AVE, STE A  
BOSTON, MA 02118  
(617)-606-4496

**BUILDER:**  
HAYCON INC.  
35 BATCHELDER ST  
BOSTON, MA 02119  
(857)-308-2104

**STRUCTURAL ENGINEER:**  
H+O STRUCTURAL ENGINEERING  
100 SUMMER STREET, SUITE 1600  
BOSTON, MA 02110  
(617)-938-3349

**MECHANICAL ENGINEER:**  
BLW ENGINEERS  
311 GREAT RD  
LITTLETON, MA 01460  
(978) 486-4301

**FIRE PROTECTION ENGINEER:**  
MASS FIRE PREVENTION  
96 RESERVOIR PARK DRIVE  
ROCKLAND, MA  
(781) 871-0131

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NUMBER	NAME			
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S1.5	ROOF & HEADHOUSE FRAMING PLANS	○	○	
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H-100	LEVEL 0,1,2 DUCTWORK	○	○	
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FP-1	SPRINKLER PLANS	○	○	
FP-2	SPRINKLER PLANS	○	○	

## PROJECT SUMMARY

ZONING OVERVIEW	(Subject to Small Project Review: Section 80B-2)	REMARKS
ZONING DISTRICT	FENWAY NEIGHBORHOOD (WARD 4)	Article 66
ZONING SUBDISTRICT	MULTIFAMILY RESIDENTIAL (MFR-2)	
OVERLAY DISTRICTS	NEIGHBORHOOD DESIGN OVERLAY (NDOO)	Sec. 50-38 to 50-44
	GROUNDWATER CONSERVATION	Sec. 32
	RESTRICTED PARKING	
PROPOSED USE	TOWNHOUSE - SINGLE FAMILY	
LOT AREA	1,660sf	
PARCEL #s	401478000	

DIMENSIONAL REGULATIONS	REQUIRED	PROPOSED	COMPLIANCE
DIMENSIONAL REGULATIONS	Article 66, Table C.F	MFR2 Subdistrict	
MINIMUM LOT SIZE	none	1,660sf (existing)	COMPLIANT
MINIMUM LOT AREA PER DWELLING UNIT	none	-	COMPLIANT
LOT WIDTH MINIMUM	none	20' (existing)	COMPLIANT
LOT FRONTAGE MINIMUM	none	20' (existing)	COMPLIANT
FLOOR AREA RATIO MAXIMUM	4.00	3.94	COMPLIANT
BUILDING HEIGHT MAXIMUM STORIES	N/A	6	COMPLIANT
BUILDING HEIGHT MAXIMUM FEET	75'	74'-11"	COMPLIANT
MINIMUM USABLE OPEN SPACE PER DWELLING UNIT (1)	100sf	732sf	COMPLIANT
MINIMUM FRONT YARD (2)	3' (or Modal)	5'-11" (Modal)	COMPLIANT
MINIMUM SIDE YARD	none	0'	COMPLIANT
MINIMUM REAR YARD	11'-6" (per 66-43.10)	11'-6"	COMPLIANT
MAX REAR YARD OCCUP.	25%	0%	COMPLIANT
OFF STREET PARKING (3)	1 space	1 space	COMPLIANT
	Residential Housing	0.75/Unit	-
	Other Uses	none	-
BICYCLE PARKING (3b)	5/Unit	> .5 spaces	COMPLIANT
OFF STREET LOADING	1.0 (f=15,001gsf)	0 Spaces	COMPLIANT

**FOOTNOTES:** (1) The minimum usable open space requirement is applicable only to Residential Uses and Dormitory/Fraternity Uses.

For any lot that exceeds the minimum lot area specified in this Table C, the required number of square feet of usable open space per dwelling unit shall be calculated by adding: (a) the minimum usable open space per dwelling unit specified in this Table C, and (b) twenty-five percent (25%) of the lot area in excess of the required minimum lot area specified in this Table C for the lot. All or a portion of the usable open space requirement may be met by unenclosed porches (with or without roofs) or by suitably designed and accessible space on the roofs of Main Buildings, or on the roofs of Accessory Buildings.

(2) See Section 50-44.2 (Conformity with Existing Building Alignment). If at any time in the same Block as a Lot required by this Article to have a minimum Front Yard there exist two or more buildings fronting on the same side of the same Street as such Lot, instead of the minimum Front Yard depth specified in this Article, the minimum Front Yard depth shall be in conformity with the Existing Building Alignment of the Block. A bay window may protrude into a Front Yard.

(3) The provisions of this Table F shall apply to all Proposed Projects. See Section 66-42 (Off-Street Parking and Loading Requirements). Proposed Projects subject to Large-Project Review with Transportation Access Plans that include a Parking Management Element, pursuant to Section 80B-3.1a, shall assess in such Parking Management Element the need for alternative parking options, including car sharing, bicycle parking, and carpool/vanpool parking, as a means of minimizing the number of accessory spaces, promoting a more sustainable pattern of development and efficient use of land, and promoting good design. The following guidelines shall apply in determining the need for alternative parking spaces:

(a) Proposed projects with a gross floor area of 100,000 square feet or more should provide at least two (2) car sharing spaces;

(b) Proposed Projects should provide bicycle parking spaces, in compliance with Boston Transportation Department (BTD) standards, equal to at least 0.5 spaces per Dwelling Unit (see Footnote 2, below), in the case of Residential Uses, or, in the case of other uses, ten percent (10%) of the number of vehicular spaces. Bicycle parking shall include both short- and long-term spaces, as defined by BTD; and

(c) Carpool/vanpool parking spaces should be provided, as needed, in accordance with BTD standards.

### FAR AREAS

Level	Area
BASEMENT	271.8 SF
LEVEL 1	975.3 SF
LEVEL 2	1,105.4 SF
LEVEL 3	1,105.5 SF
LEVEL 4	1,109.3 SF
LEVEL 5	1,060.3 SF
LEVEL 6	913.1 SF
	6,540.7 SF



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WWW.MFDS-BOS.COM

CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: 1" = 10'-0"

DRAWN BY: ED, MN, AY

PROJECT SUMMARY,  
DRAWING LIST

**G-002**



**BUILDING CODE SUMMARY**

**BUILDING CODE:** MASSACHUSETTS STATE BUILDING CODE, 780 CMR, 9TH EDITION (MSBC)  
**ACCESSIBILITY:** MASSACHUSETTS ARCHITECTURAL ACCESS BOARD, 521 CMR  
**ELECTRICAL:** MASSACHUSETTS ELECTRICAL CODE, 527 CMR 12.00 (AMENDMENT OF 2020 NATIONAL ELECTRIC CODE (NFPA 70))  
**ELEVATORS:** MASSACHUSETTS ELEVATOR REGULATIONS, 524 CMR (AMENDMENT OF 2013 EDITION OF ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS)  
**ENERGY:** 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AS AMENDED BY 780 CMR, EFFECTIVE NOVEMBER 7, 2020  
**FIRE PREVENTION:** MASSACHUSETTS FIRE PREVENTION REGULATIONS, 527 CMR (527 CMR ADOPTS AND AMENDS NFPA 1, 2015 EDITION)  
**MECHANICAL:** INTERNATIONAL MECHANICAL CODE, 2015 (IMC)  
 MASSACHUSETTS FUEL GAS AND PLUMBING CODES, 248 CMR

**CONSTRUCTION TYPE:** BUILDING 1 - PODIUM, BASEMENT, LEVEL 1 TYPE IA  
 BUILDING 2 - (ABOVE PODIUM) LEVELS 2-6 TYPE IIIA

**OCCUPANCY CLASSIFICATION:** SINGLE FAMILY R-3

**BUILDING HEIGHT:** 69'-2 1/2'  
**BUILDING STORIES:** 6  
**SPRINKLERS:** APPROVED AUTOMATED SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13 PROVIDED

		TYPE IA CONSTRUCTION	TYPE IIIA CONSTRUCTION
<b>601 FIRE RESISTANCE RATINGS</b>	PRIMARY STRUCTURAL FRAME	3 HRS	1 HR
	EXTERIOR BEARING WALLS	3 HRS	2 HR
	INTERIOR BEARING WALLS	3 HRS	1 HR
	EXTERIOR NON BEARING WALLS	PER TABLE 602	PER TABLE 602
	INTERIOR NON BEARING WALLS	0 HRS	0 HRS
<b>602 FIRE RESISTANCE RATING REQ'S FOR EXTERIOR WALLS BASED ON FIRE SEPARATION (FSD)</b>	FLOOR CONSTRUCTION	2 HRS	1 HR
	ROOF CONSTRUCTION	1 1/2 HRS	1 HR

NOTE A: SHAFT CONSTRUCTION MUST BE SUPPORTED BY CONSTRUCTION EQUIVALENT TO THE FIRE RATING OF THE SHAFT

	FSD (FT)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP/R
<b>602 FIRE RESISTANCE RATING REQ'S FOR EXTERIOR WALLS BASED ON FIRE SEPARATION (FSD)</b>	X < 5	ALL	1
	5 ≤ X < 10	IA	1
<b>602 MEANS OF EGRESS</b>	10 ≤ X < 30	IA, IB, IIB, VB	0
	X ≥ 30	OTHERS	1
		ALL	0

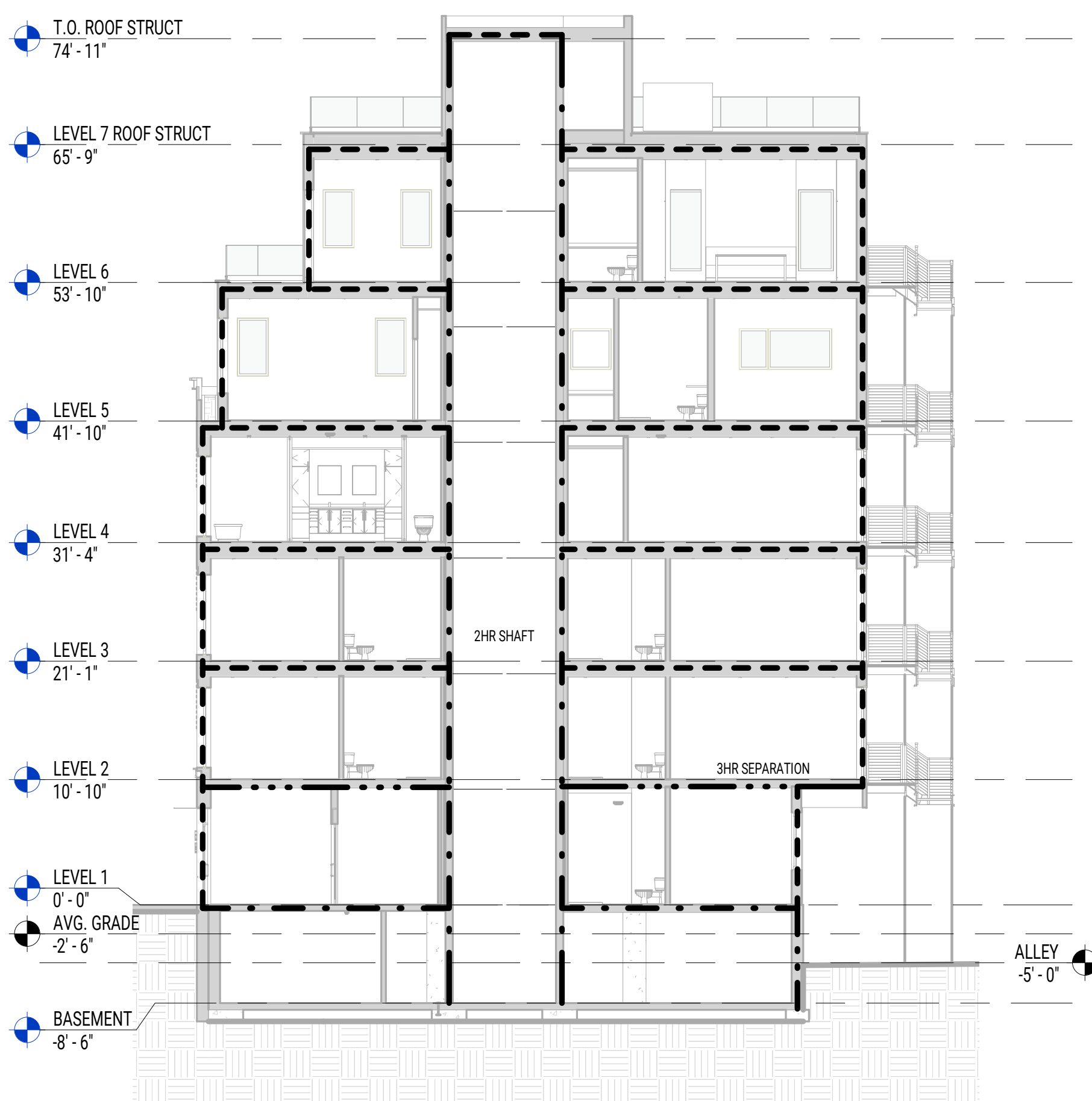
**MEANS OF EGRESS:** 1006.3.3 SINGLE EXITS, PROVISION 4 GROUP R-3 AND R-4 OCCUPANCIES SHALL BE PERMITTED TO HAVE ONE EXIT OR ACCESS TO A SINGLE EXIT, SINGLE EXIT TO BE 2HR RATED

**RISER HEIGHT & TREAD DEPTH:** 1011.5.2 EXCEPTION 3 IN GROUP R-3 OCCUPANCIES...THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES, THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES, THE MINIMUM WINDER TREAD DEPTH AT THE WALKLINE SHALL BE 10 INCHES, AND THE MINIMUM WINDER TREAD DEPTH SHALL BE 6 INCHES. A NOSING PROJECTION NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES.

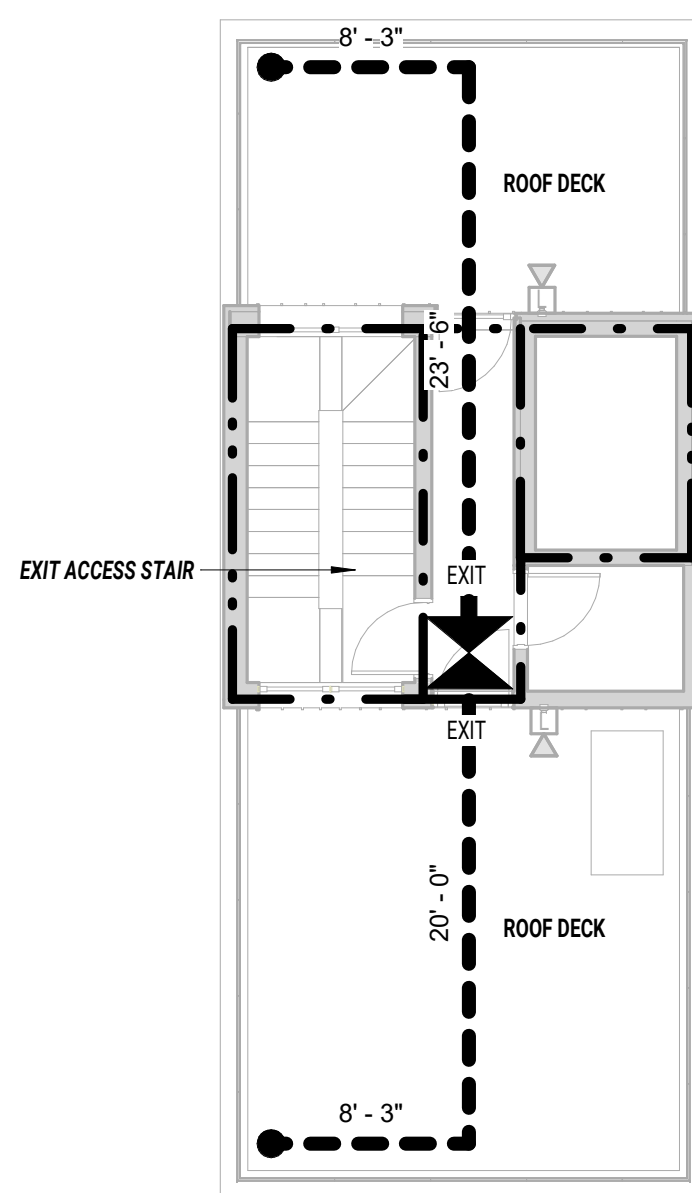
GROSS AREA	
LEVEL	Area
LVL 0	1,048.8 SF
LVL 1	1,048.8 SF
LVL 2	1,187.9 SF
LVL 3	1,187.9 SF
LVL 4	1,187.9 SF
LVL 5	1,158.3 SF
LVL 6	976.6 SF
HEADHOUSE	298.4 SF
Grand total	8,094.3 SF

**RATED ASSEMBLIES & EGRESS LEGEND**

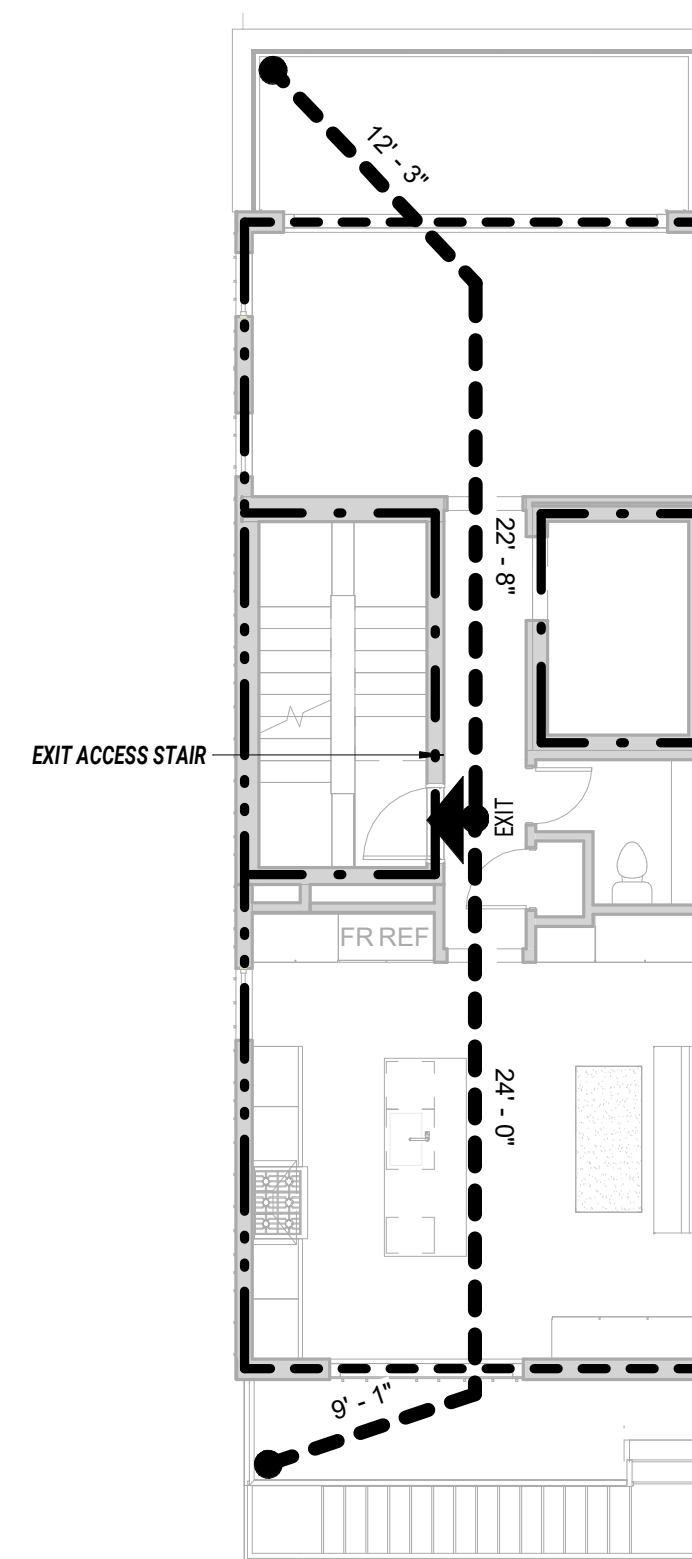
- 1 HR RATED PARTITION
- 2 HR RATED EXTERIOR PARTITION
- - - 1 HR RATED EXTERIOR / 2 HR RATED INTERIOR PARTITION
- - - 3 HR RATED SEPARATION
- EGRESS PATH AND DIRECTION
- ▶ EXIT



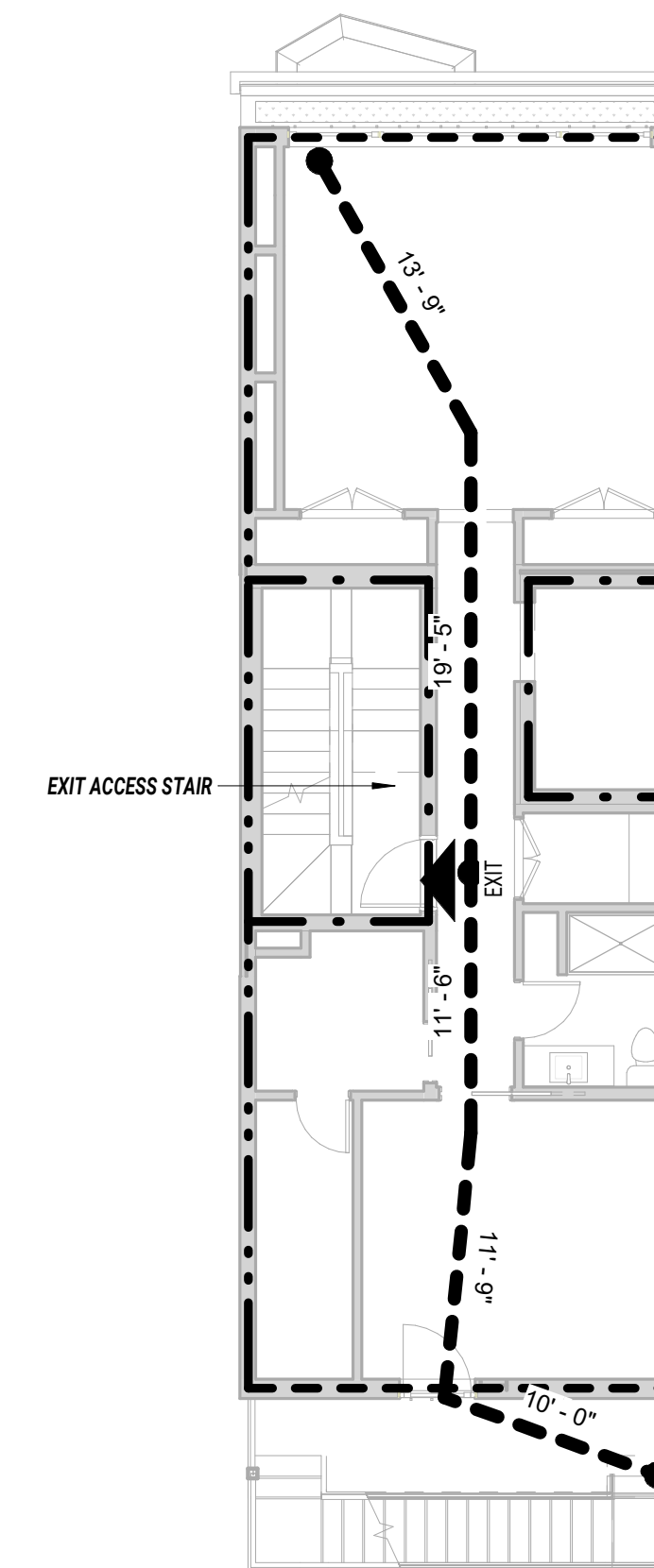
**8 RATED ASSEMBLIES - BLDG SECTION**  
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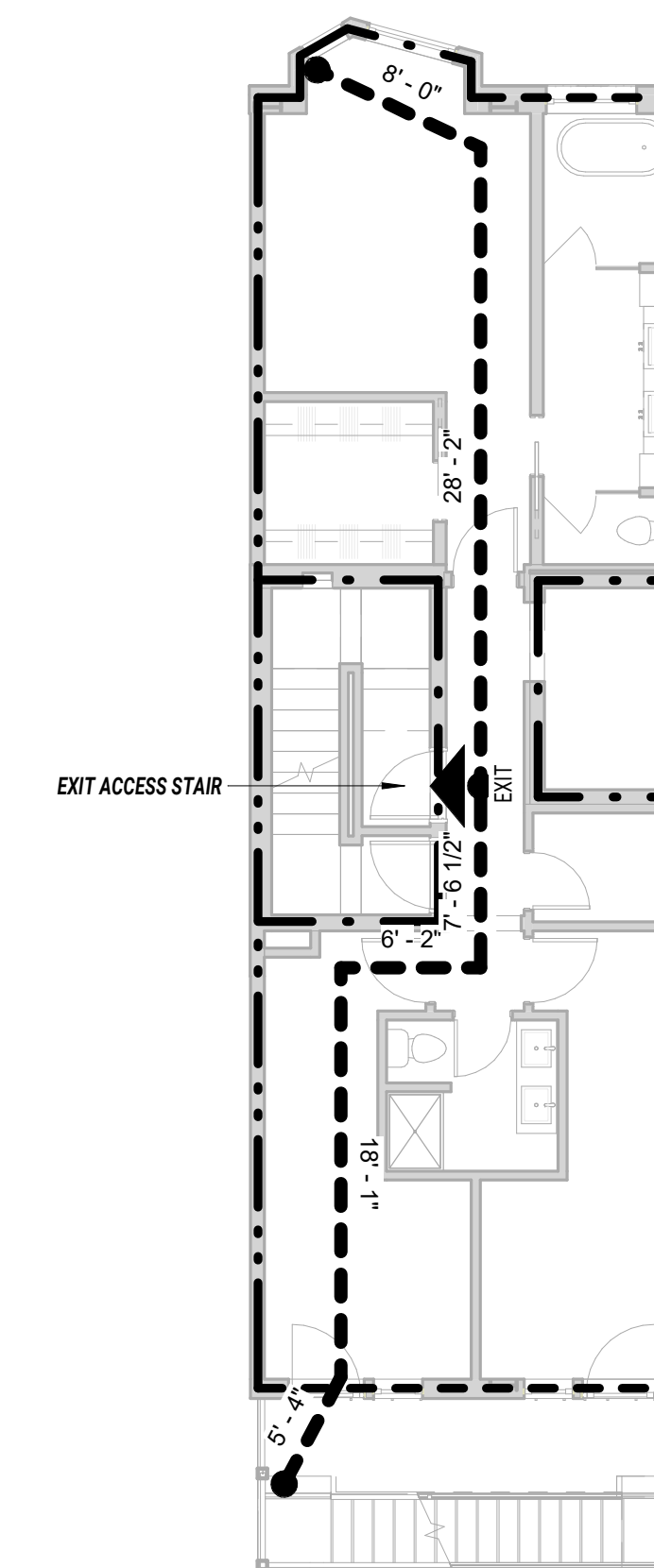
**7 LEVEL 7 ROOF STRUCT**  
 SCALE: 1/8" = 1'-0"



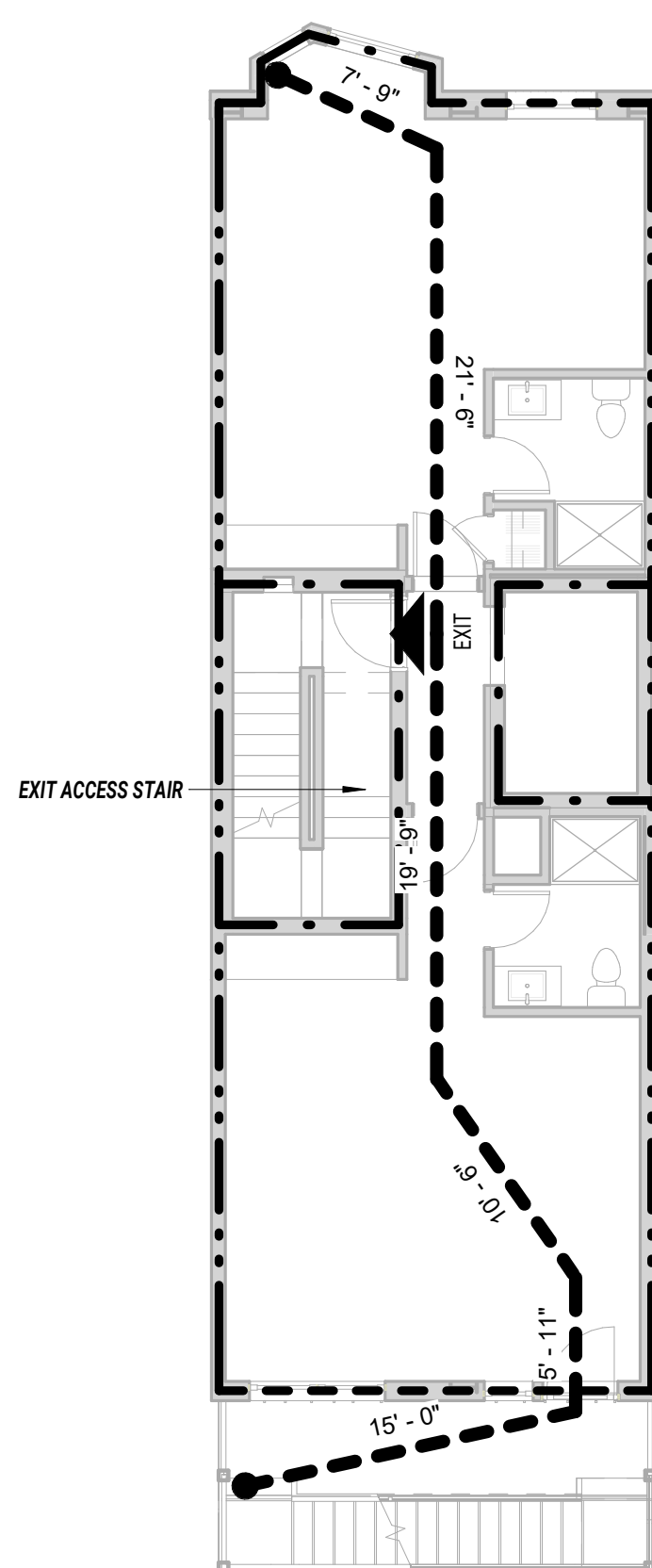
**6 LEVEL 6**  
 SCALE: 1/8" = 1'-0"



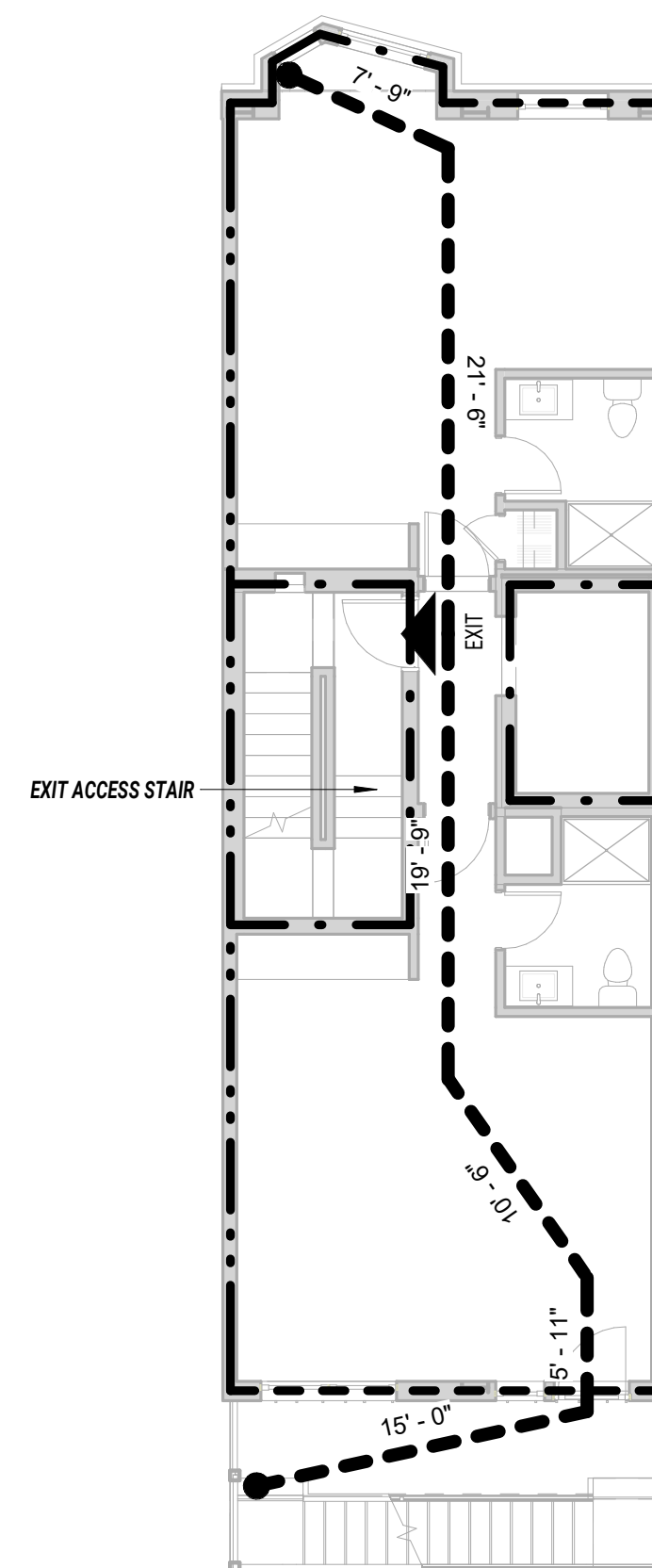
**5 LEVEL 5**  
 SCALE: 1/8" = 1'-0"



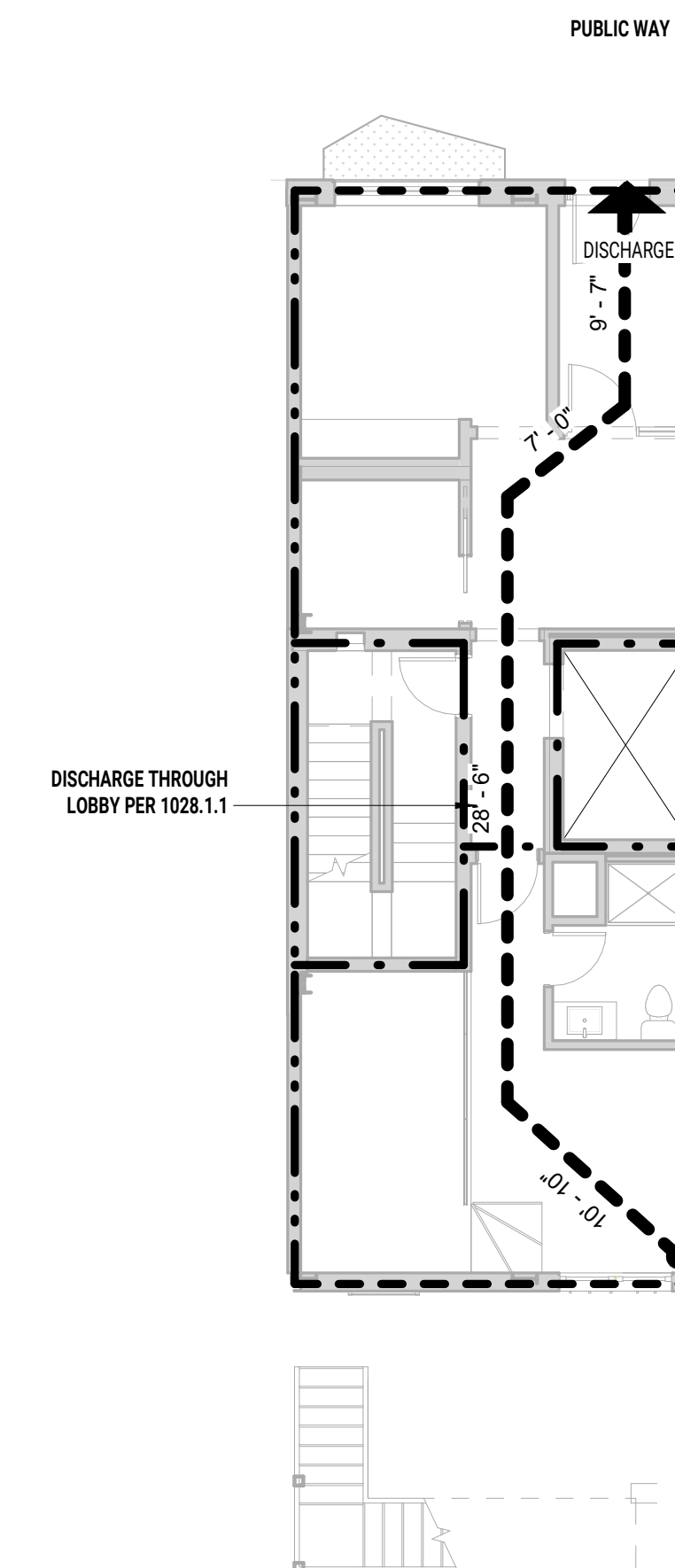
**4 LEVEL 4**  
 SCALE: 1/8" = 1'-0"



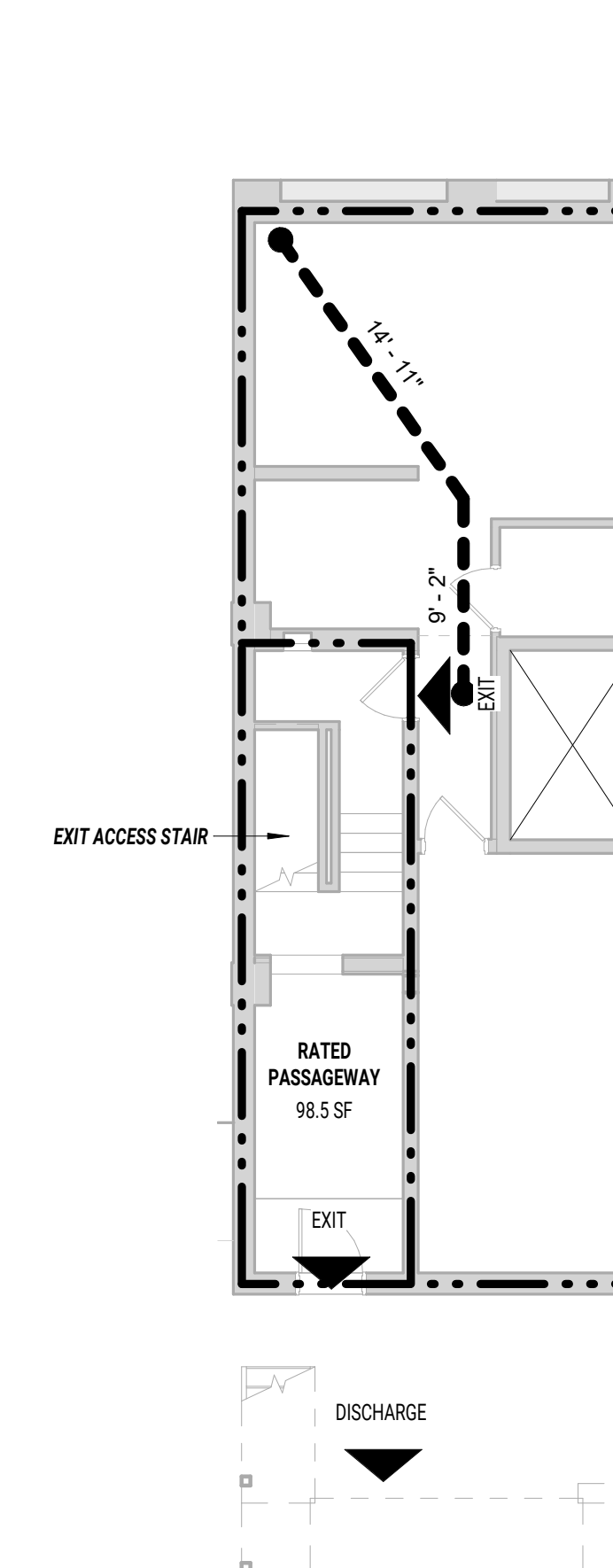
**3 LEVEL 3**  
 SCALE: 1/8" = 1'-0"



**2 LEVEL 2**  
 SCALE: 1/8" = 1'-0"



**1 LEVEL 1**  
 SCALE: 1/8" = 1'-0"



**0 BASEMENT / ALLEY LEVEL**  
 SCALE: 1/8" = 1'-0"

CONSULTANTS:

ISSUE FOR PERMIT

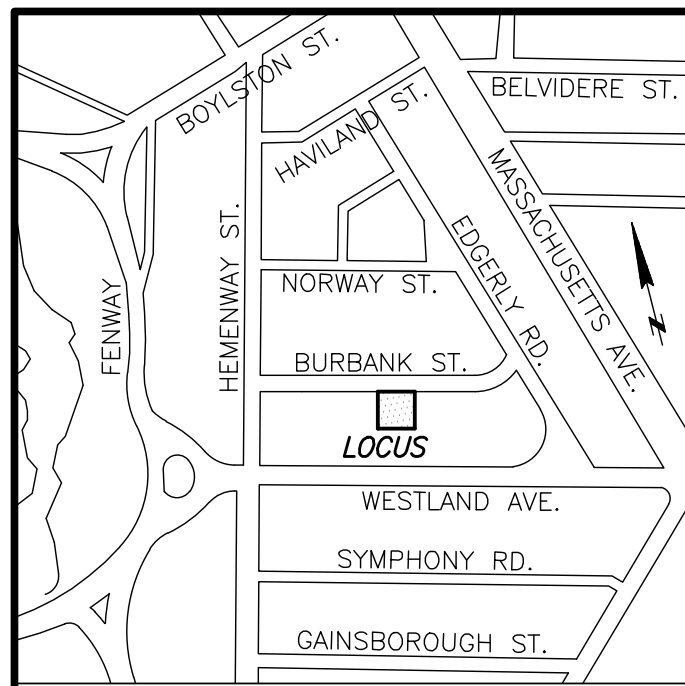


MARK: DATE: DESCRIPTION  
 ISSUE LOG:

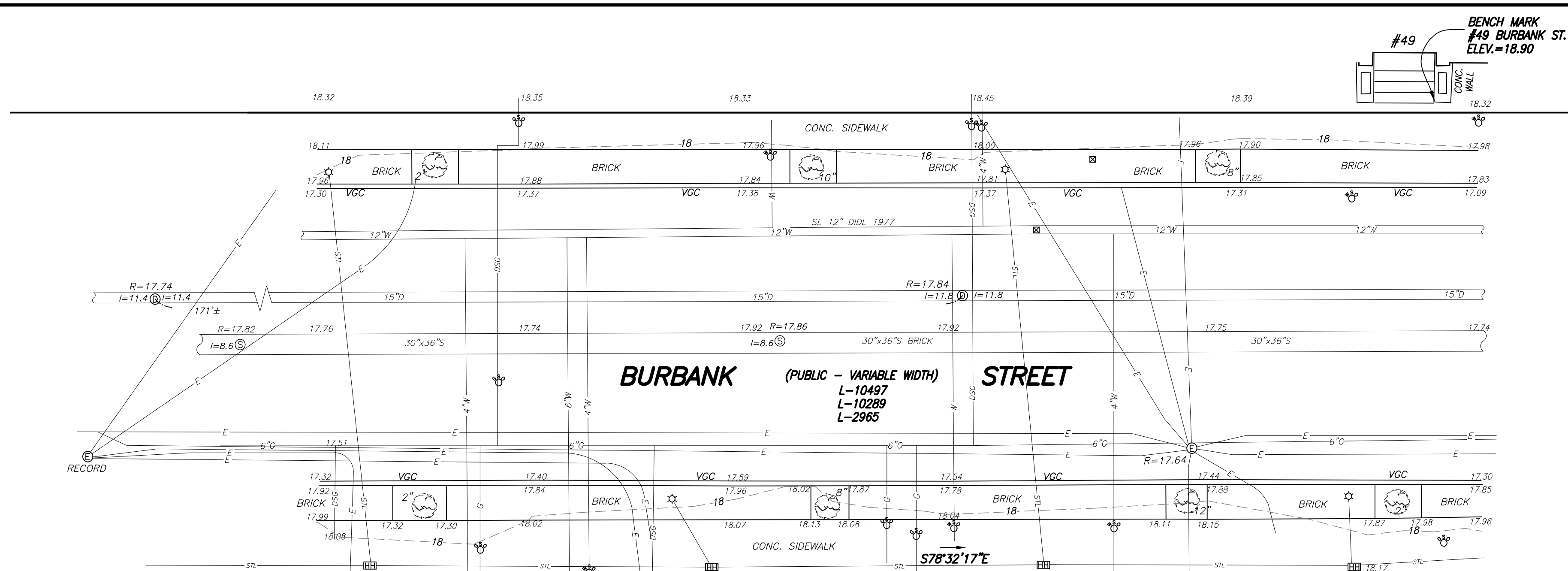
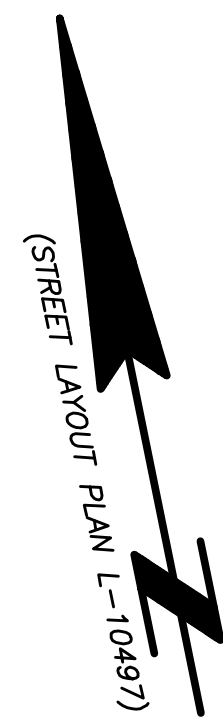
PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
 58 BURBANK STREET  
 BOSTON, MA, 02115  
 DATE ISSUED: 05 OCT 2022  
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 SCALE: As indicated  
 DRAWN BY: ED, MN, AY

CODE SUMMARY & DIAGRAMS



LOCUS MAP - NOT TO SCALE

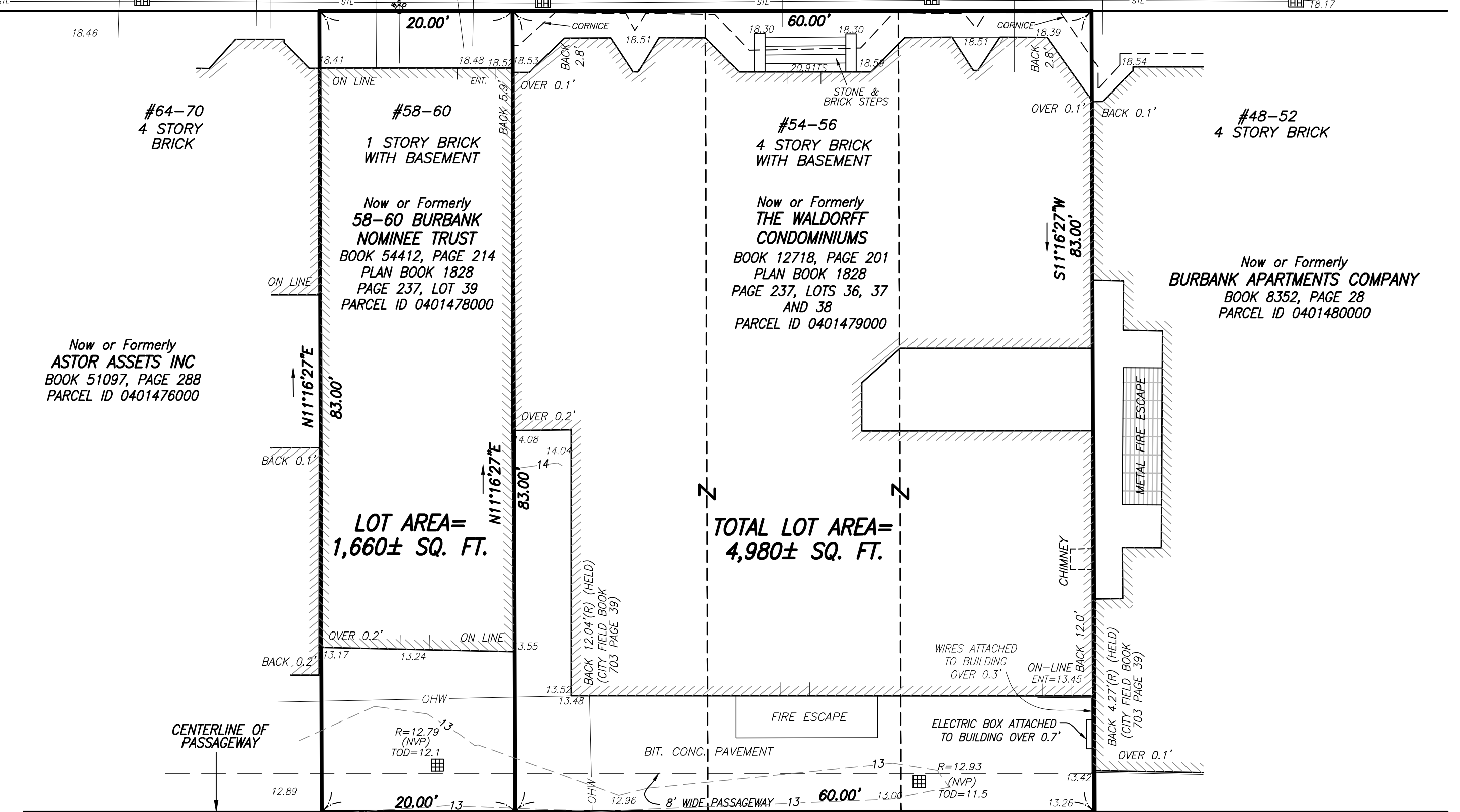


**REFERENCES**

SUFFOLK COUNTY REGISTRY OF DEEDS  
 DEED BOOK 12718, PAGE 201(LOCUS)  
 DEED BOOK 54412, PAGE 214(LOCUS)  
 PLAN IN BOOK 1487, PAGE 113  
 PLAN IN BOOK 1828, PAGE 237  
 PLAN IN BOOK 2013 PAGE 73  
 CITY OF BOSTON ENGINEERING DEPARTMENT  
 L-2965  
 L-3359  
 L-10497  
 FIELD BOOK 334 PAGE 58  
 FIELD BOOK 703 PAGE 39

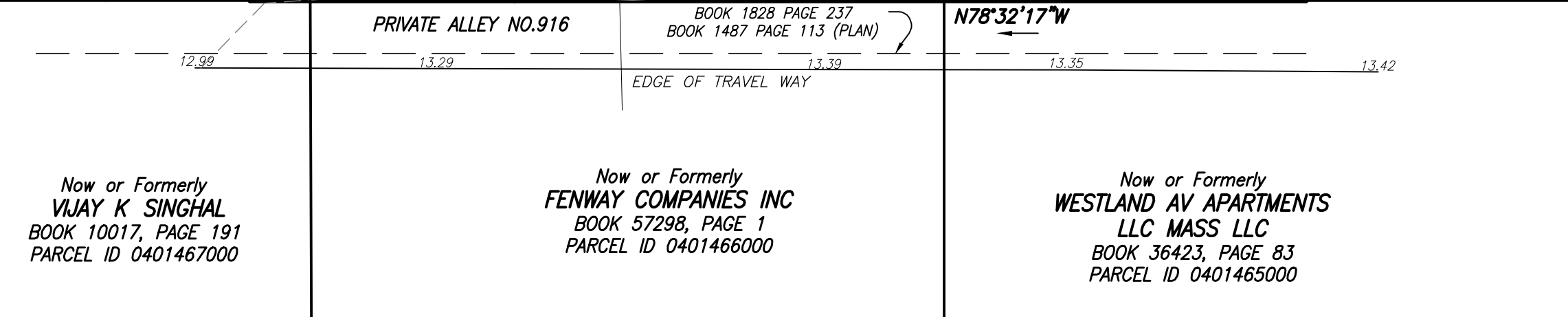
**NOTES:**

- BENCH MARK INFORMATION:  
 BENCH MARK USED:  
 TBM-1: RIGHT OUTER CORNER OF LOWER SLATE STEP AT #49 BURBANK STREET. FELDMAN LAND SURVEYORS JOB NO. 12349. ELEVATION=18.90  
 TEMPORARY BENCH MARKS USED: (SEE FLS JOB#15663)  
 TBM-3: RIGHT OUTER CORNER OF LOWER CONCRETE STEP AT #48-52 BURBANK STREET. ELEVATION=18.88  
 TBM-4: RIGHT OUTER CORNER OF LOWER CONCRETE STEP AT #63 BURBANK STREET. ELEVATION=18.99
- ELEVATIONS REFER TO BOSTON CITY BASE.
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS. ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACURATELY SHOWN ON SAID RECORD PLANS. SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- RECORD CABLE TV INFORMATION NOT PLOTTABLE.
- RECORD TELEPHONE INFORMATION NOT AVAILABLE AT THIS TIME.



**LEGEND**

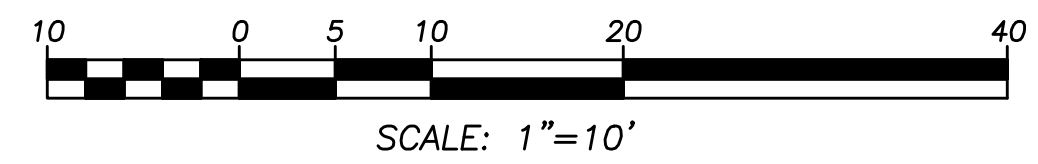
- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊖ ELECTRIC MANHOLE
- ⊗ TELEPHONE MANHOLE
- ⊘ WATER SHUT OFF/WATER GATE
- ⊙ GAS SHUT OFF/GAS GATE
- SIGN
- ⊠ CATCH BASIN
- GP GATE POST
- ⊙ DECIDUOUS TREE
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ WALK LIGHT
- ⊙ ELECTRIC HANDHOLE
- ⊙ AIR CONDITIONING UNIT
- BIT BITUMINOUS
- BC BOTTOM OF CURB
- BK BACK
- BOT BOTTOM
- BW BOTTOM OF WALL
- (C) CALCULATED
- CLF CHAINLINK FENCE
- CONC CONCRETE
- ENT ENTRANCE
- FOD FULL OF DEBRIS
- GD GARAGE DOOR
- M&S MULCH & SHRUBS
- NVP NO VISIBLE PIPE
- OV OVER
- R= RIM ELEVATION
- I= INVERT
- (R) RECORD
- SQ. FT. SQUARE FEET
- TC TOP OF CURB
- TH= THRESHOLD ELEVATION
- TR CENTER OF THROUGH
- TT TOP OF TRAP
- TW TOP OF WALL
- VGC VERTICAL GRANITE CURB
- NVP NO VISIBLE PIPE
- TOD TOP OF DEBRIS
- C CABLE TELEVISION
- D DRAIN
- DSG DIG SAFE GAS
- E ELECTRIC
- G GAS
- OHW OVERHEAD WIRES
- S SEWER
- SL STREET LIGHTING
- T TELEPHONE
- W WATER
- X X METAL FENCE
- WOOD FENCE



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.  
 JOHN L. McDONAGH, PLS (MA# 56280)  
 SMCDONAGH@FELDMANSURVEYORS.COM  
 5-13-2021  
 DATE

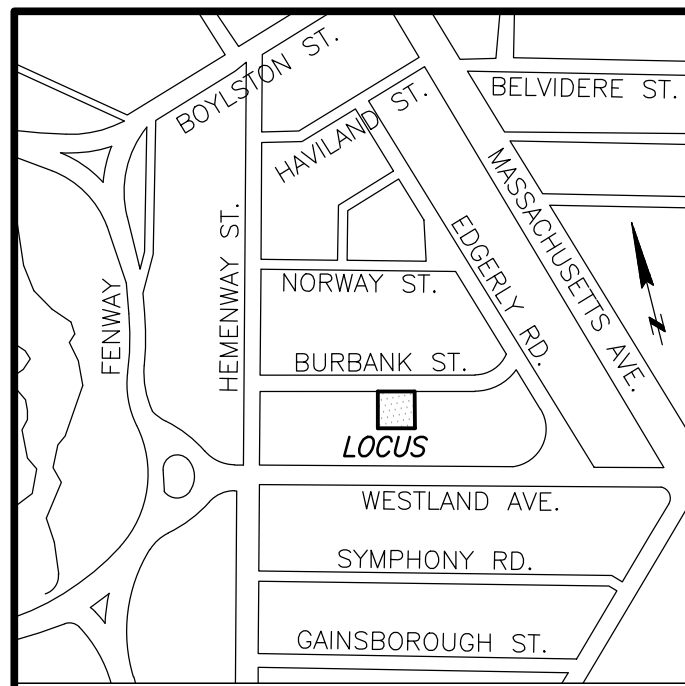
**EXISTING CONDITIONS PLAN OF LAND  
 54-60 BURBANK STREET  
 BOSTON, MASS.**

FELDMAN LAND SURVEYORS APRIL 20, 2021  
 152 HAMPDEN STREET PHONE: (617)357-9740  
 BOSTON, MASS. 02119 www.feldmansurveyors.com

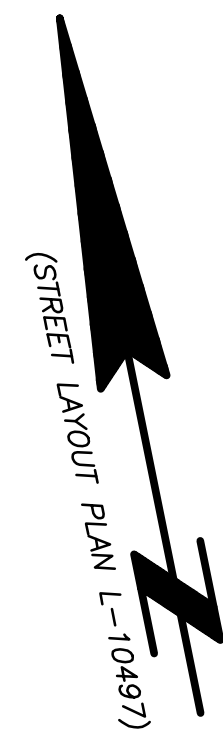


RESEARCH GL	FIELD CHIEF SSW	PROJ MGR GL	APPROVED	SHEET NO. 1 OF 1
CALC TI	CADD TI	FIELD CHECKED	CRD FILE 18010	JOB NO. 18010

FILENAME: S:\PROJECTS\18000\18010\DWG\18010-EC.dwg



LOCUS MAP - NOT TO SCALE



**REFERENCES**

SUFFOLK COUNTY REGISTRY OF DEEDS

DEED BOOK 12718, PAGE 201(LOCUS)  
 DEED BOOK 54412, PAGE 214(LOCUS)  
 DEED BOOK 66448, PAGE 246(LOCUS)

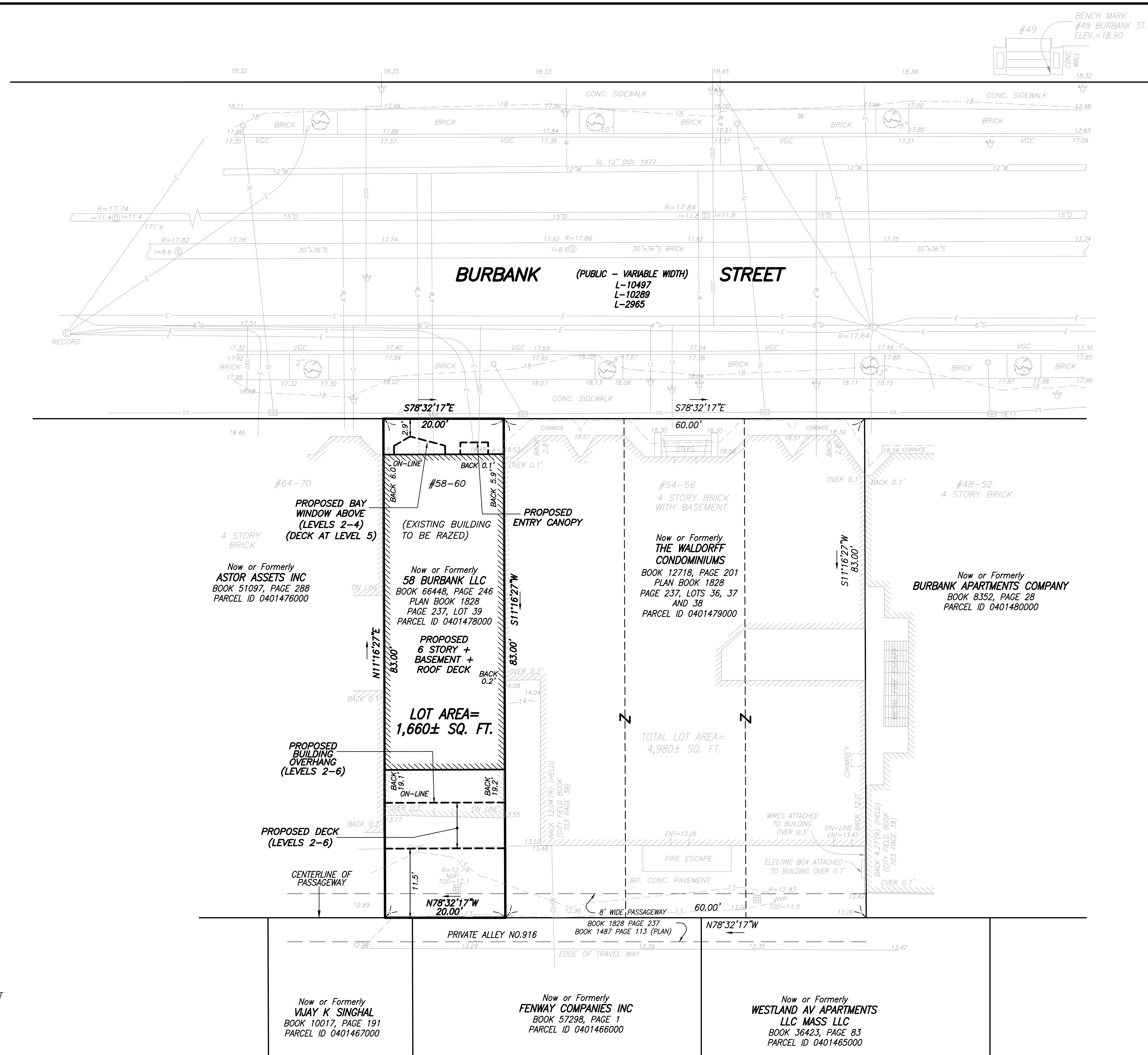
PLAN IN BOOK 1487, PAGE 113  
 PLAN IN BOOK 1828, PAGE 237  
 PLAN IN BOOK 2013, PAGE 73

CITY OF BOSTON ENGINEERING DEPARTMENT

L-2965  
 L-3359  
 L-10497  
 FIELD BOOK 334 PAGE 58  
 FIELD BOOK 703 PAGE 39

**NOTES:**

- 1) BENCH MARK INFORMATION:  
 BENCH MARK USED:  
 TBM-1: RIGHT OUTER CORNER OF LOWER SLATE STEP AT #49 BURBANK STREET, FELDMAN LAND SURVEYORS JOB NO. 12349. ELEVATION=18.90  
 TEMPORARY BENCH MARKS USED: (SEE FLS JOB#15663)  
 TBM-3: RIGHT OUTER CORNER OF LOWER CONCRETE STEP AT #48-52 BURBANK STREET. ELEVATION=18.88  
 TBM-4: RIGHT OUTER CORNER OF LOWER CONCRETE STEP AT #63 BURBANK STREET. ELEVATION=18.99
- 2) ELEVATIONS REFER TO BOSTON CITY BASE.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS, ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.
- 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- 6) RECORD CABLE TV INFORMATION NOT PLOTTABLE.
- 7) RECORD TELEPHONE INFORMATION NOT AVAILABLE AT THIS TIME.
- 8) PROPOSED BUILDING TAKEN FROM REFERENCE CAD FILE "AS001.DWG", PROVIDED BY MONTE FRENCH DESIGN STUDIO ON 10-7-2022.
- 9) EXISTING CONDITIONS SURVEY COMPETED ON APRIL 20, 2021.

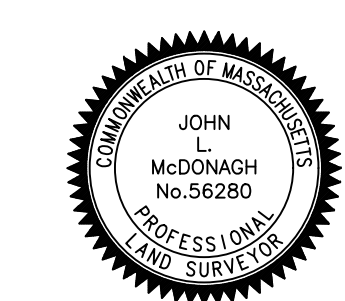


**LEGEND**

- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊖ ELECTRIC MANHOLE
- ⊗ TELEPHONE MANHOLE
- ⊘ WATER SHUT OFF/WATER GATE
- ⊙ GAS SHUT OFF/GAS GATE
- SIGN
- ▭ CATCH BASIN
- GP GATE POST
- ⊙ DECIDUOUS TREE
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ WALK LIGHT
- ⊙ ELECTRIC HANDHOLE
- ⊙ AIR CONDITIONING UNIT
- BIT
- BC BOTTOM OF CURB
- BK BACK
- BOT BOTTOM
- BW BOTTOM OF WALL
- (C) CALCULATED
- CLF CHAINLINK FENCE
- CONC CONCRETE
- ENT ENTRANCE
- FOD FULL OF DEBRIS
- GD GARAGE DOOR
- M&S MULCH & SHRUBS
- NVP NO VISIBLE PIPE
- OV OVER
- R= RIM ELEVATION
- I= INVERT
- (R) RECORD
- SQ. FT. SQUARE FEET
- TC TOP OF CURB
- TH= THRESHOLD ELEVATION
- TR CENTER OF THROUGH
- TT TOP OF TRAP
- TW TOP OF WALL
- VGC VERTICAL GRANITE CURB
- NVP NO VISIBLE PIPE
- TOD TOP OF DEBRIS
- C CABLE TELEVISION
- D DRAIN
- DSG DIG SAFE GAS
- E ELECTRIC
- G GAS
- OHW OVERHEAD WIRES
- S SEWER
- SL STREET LIGHTING
- T TELEPHONE
- W WATER
- X X METAL FENCE
- WOOD FENCE

TO: PATRIOT COMMUNITY BANK

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.



John L. McDonagh  
 JOHN L. McDONAGH, PLS (MA# 56280)  
 SMCDONAGH@FELDMANSURVEYORS.COM  
 10-11-2022  
 DATE

**PLOT PLAN SHOWING PROPOSED BUILDING 58-60 BURBANK STREET BOSTON, MASS.**

FELDMAN GEOSPATIAL 152 HAMPDEN STREET BOSTON, MASS. 02119

OCTOBER 5, 2022  
 PHONE: (617)357-9740  
 www.feldmansurveyors.com

**FELDMAN**  
 GEOSPATIAL

SCALE: 1"=10'

RESEARCH GL	FIELD CHIEF SSW	PROJ MGR GL	APPROVED	SHEET NO. 1 OF 1
CALC TI	CADD TI	FIELD CHECKED	CRD FILE 18010	JOB NO. 18010

FILENAME: 18010A (PLOT PLAN)\DWG\18010A-PLOTPLAN (rev-2).dwg

CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

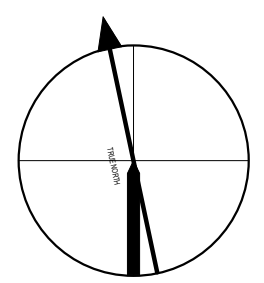
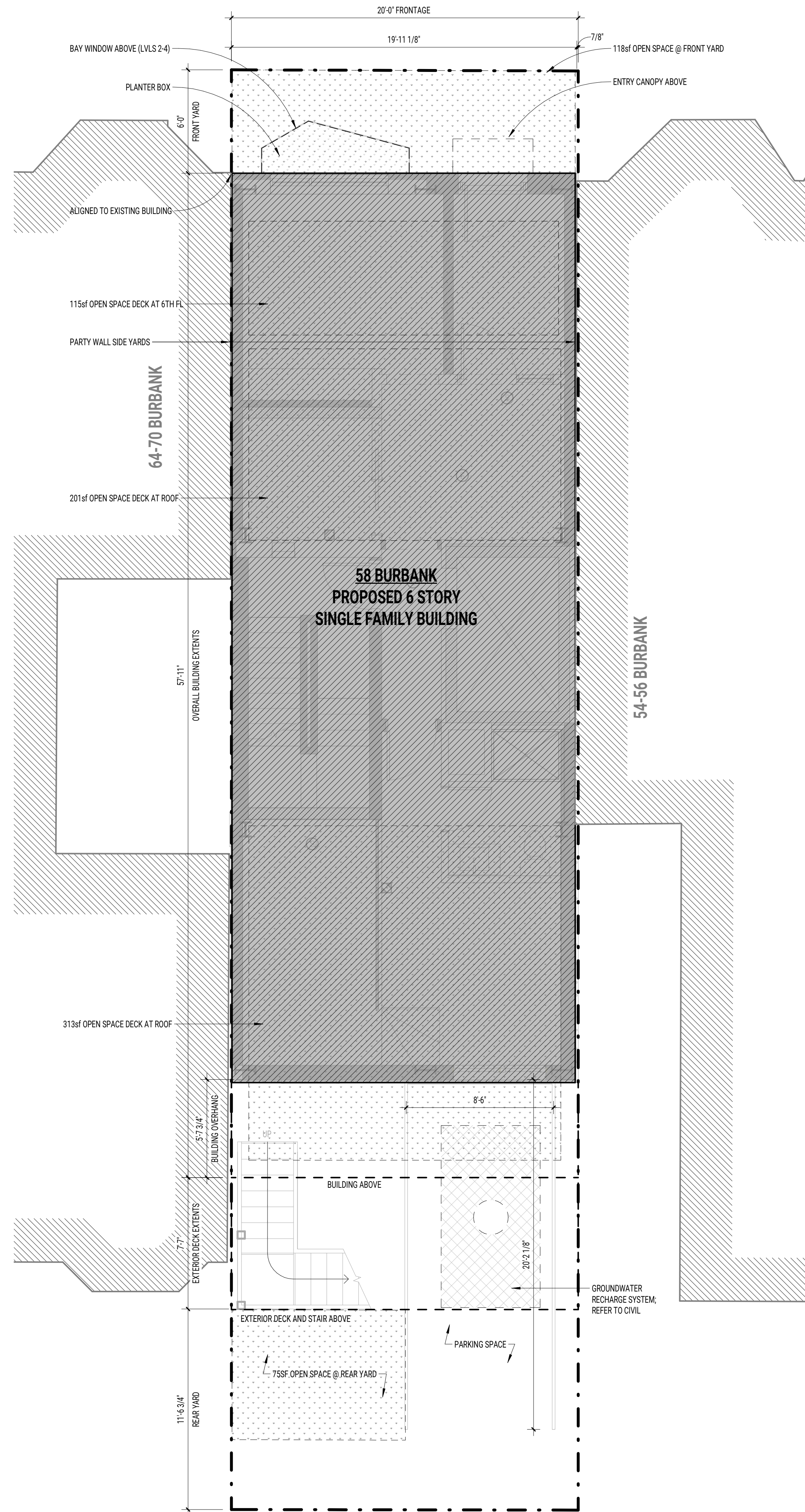
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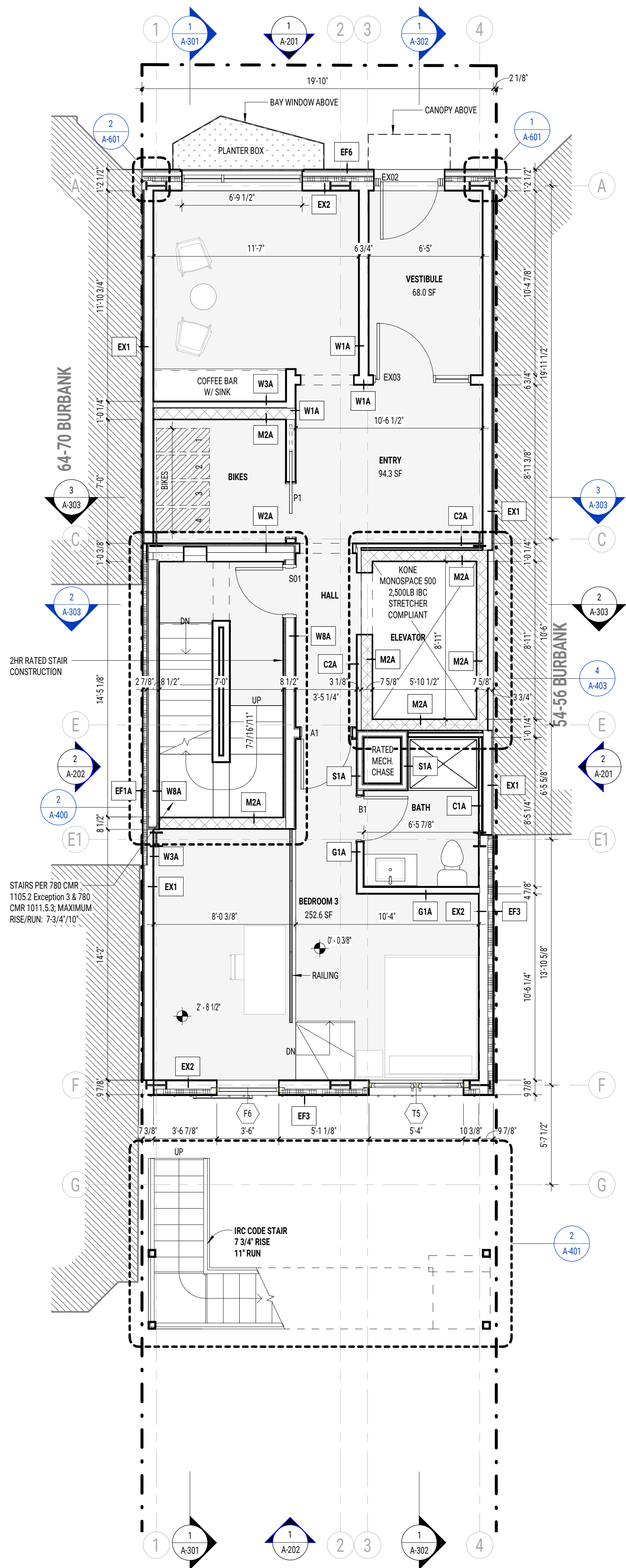
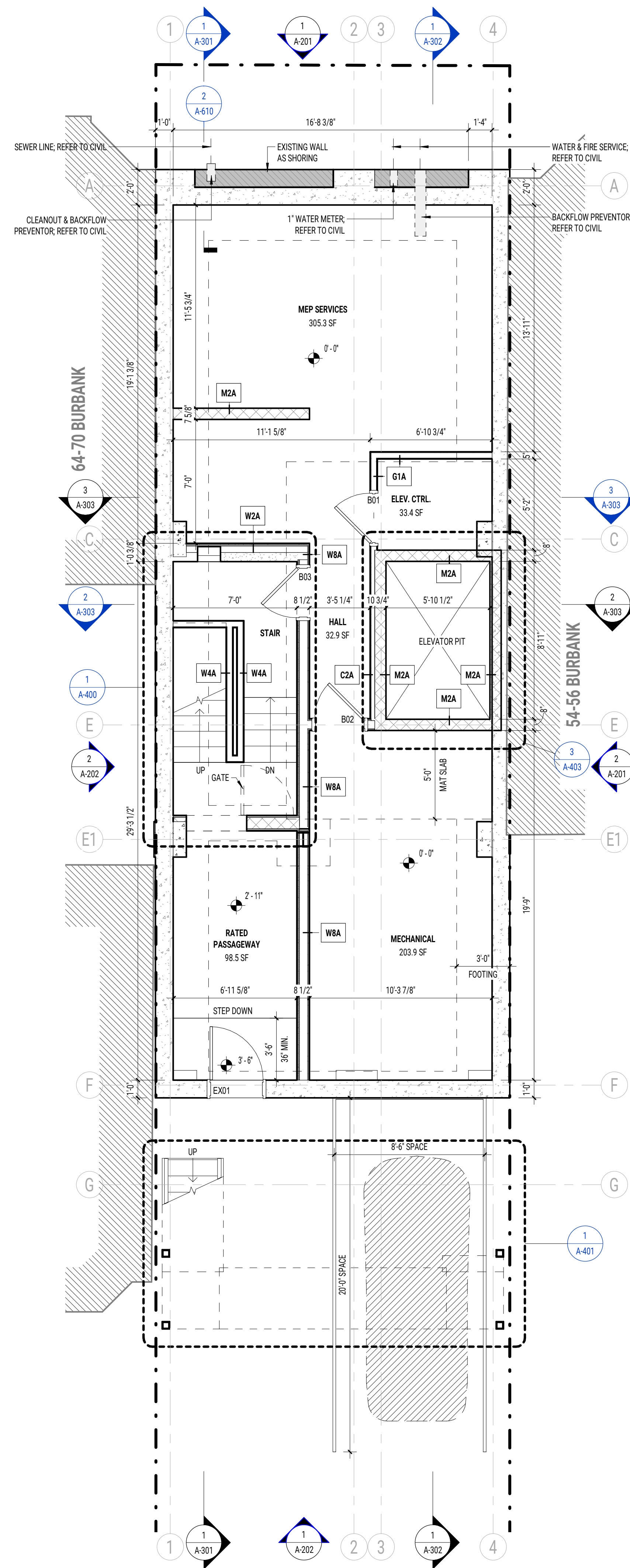
DRAWN BY: ED, MN, AY

ARCHITECTURAL SITE PLAN

**AS001**



NORTH ARROW



CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

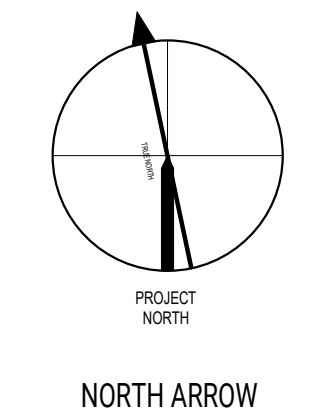
PROJECT #: 21012

SCALE: 1/4" = 1'-0"

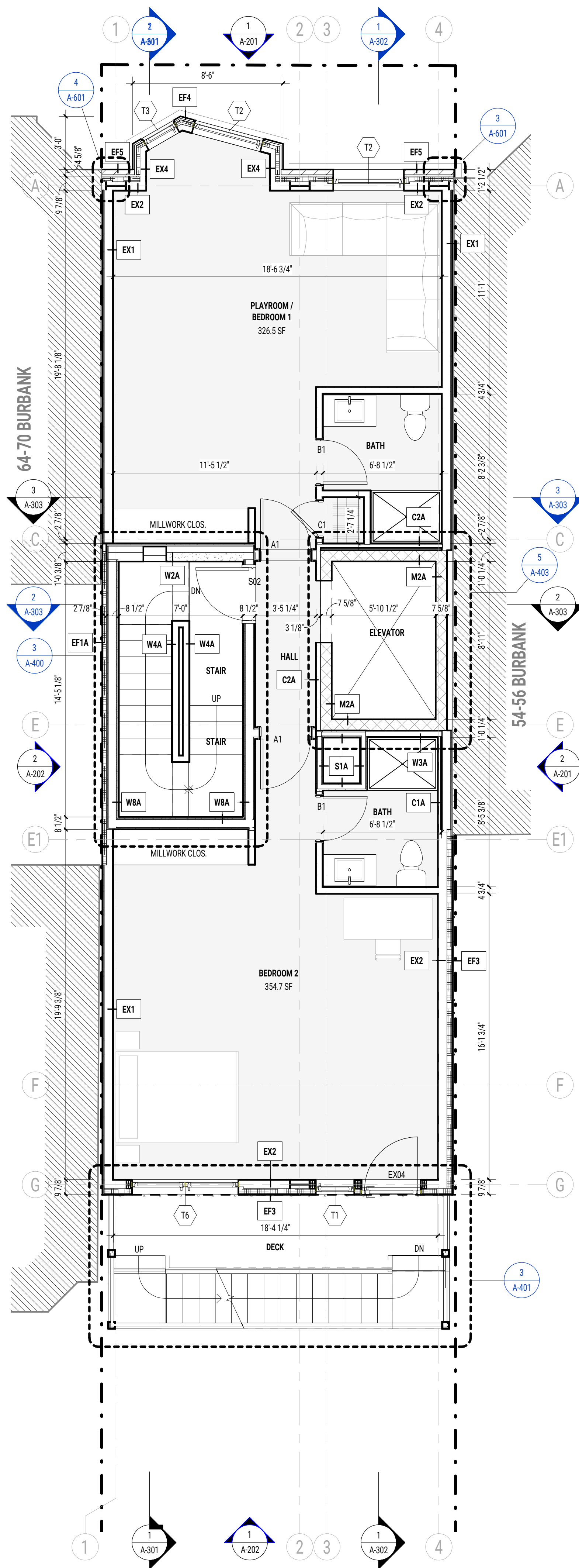
DRAWN BY: ED, MN, AY

FLOOR PLAN

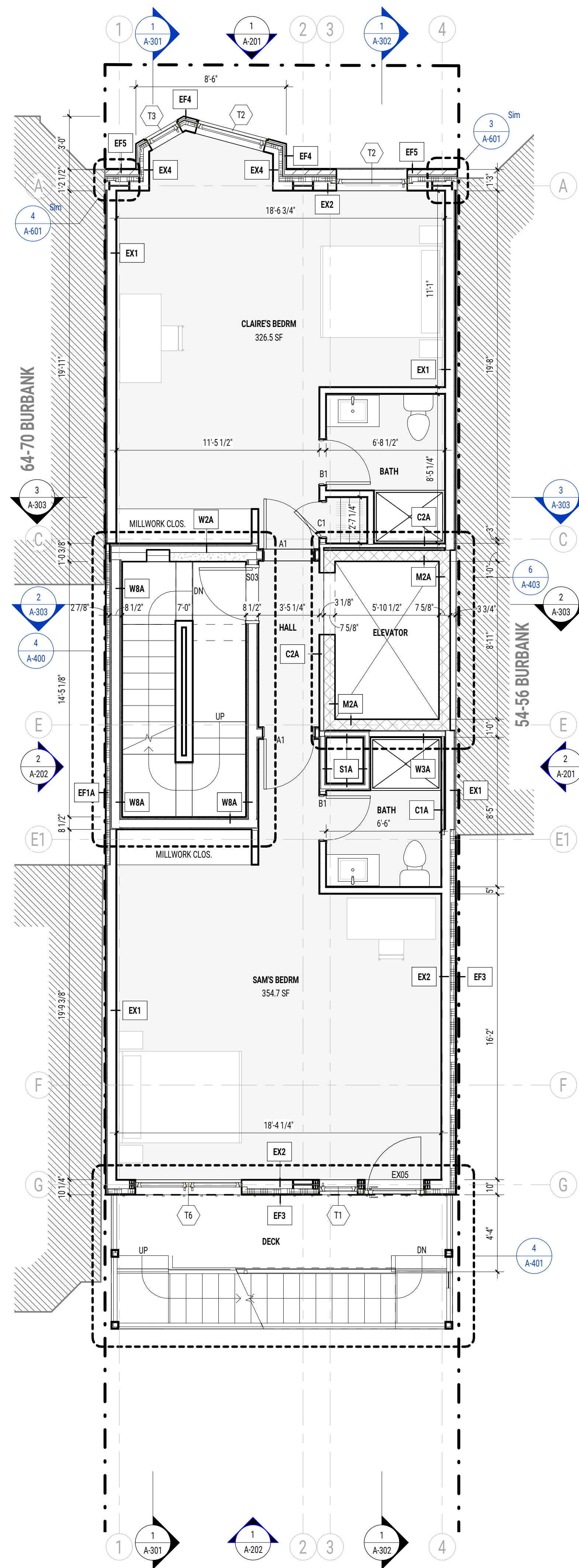
**A-101**



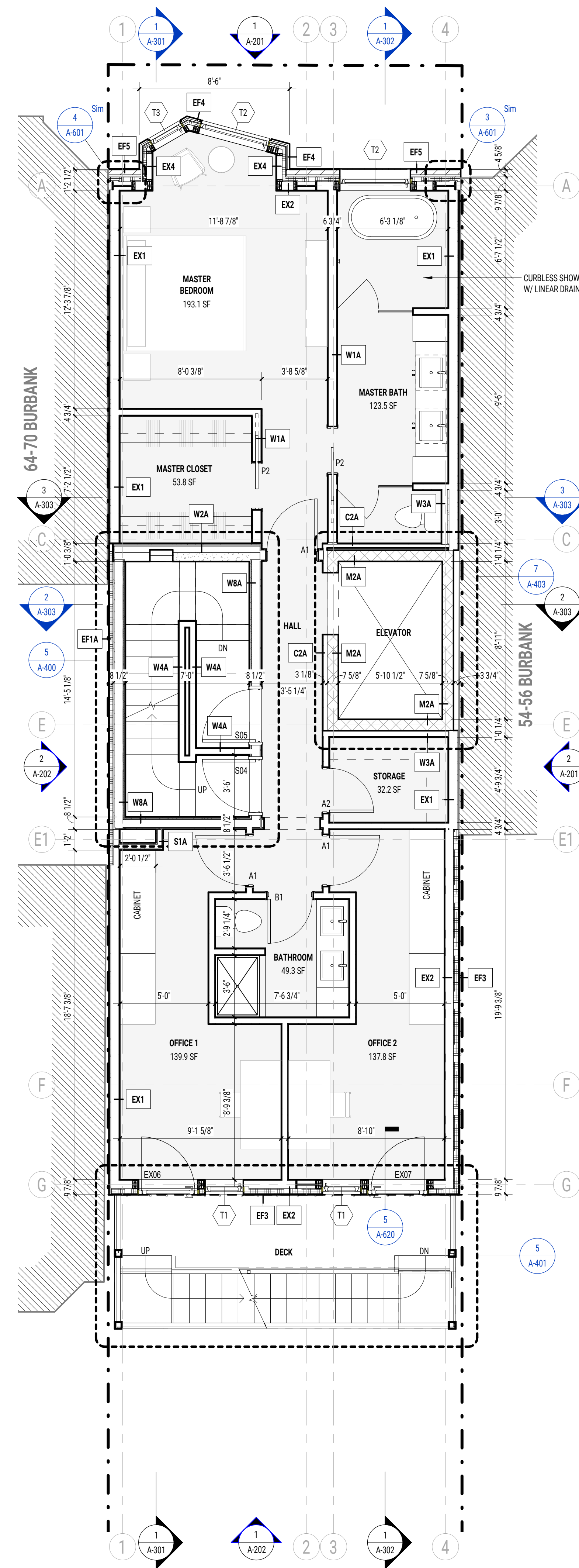




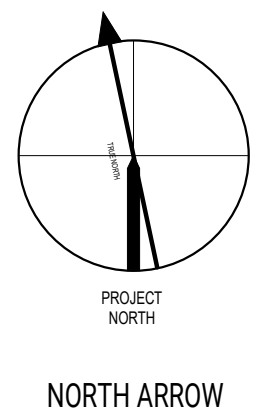
**1** LEVEL 2 - FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**2** LEVEL 3 - FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**3** LEVEL 4 - FLOOR PLAN  
SCALE: 1/4" = 1'-0"



CONSULTANTS:

ISSUE FOR PERMIT



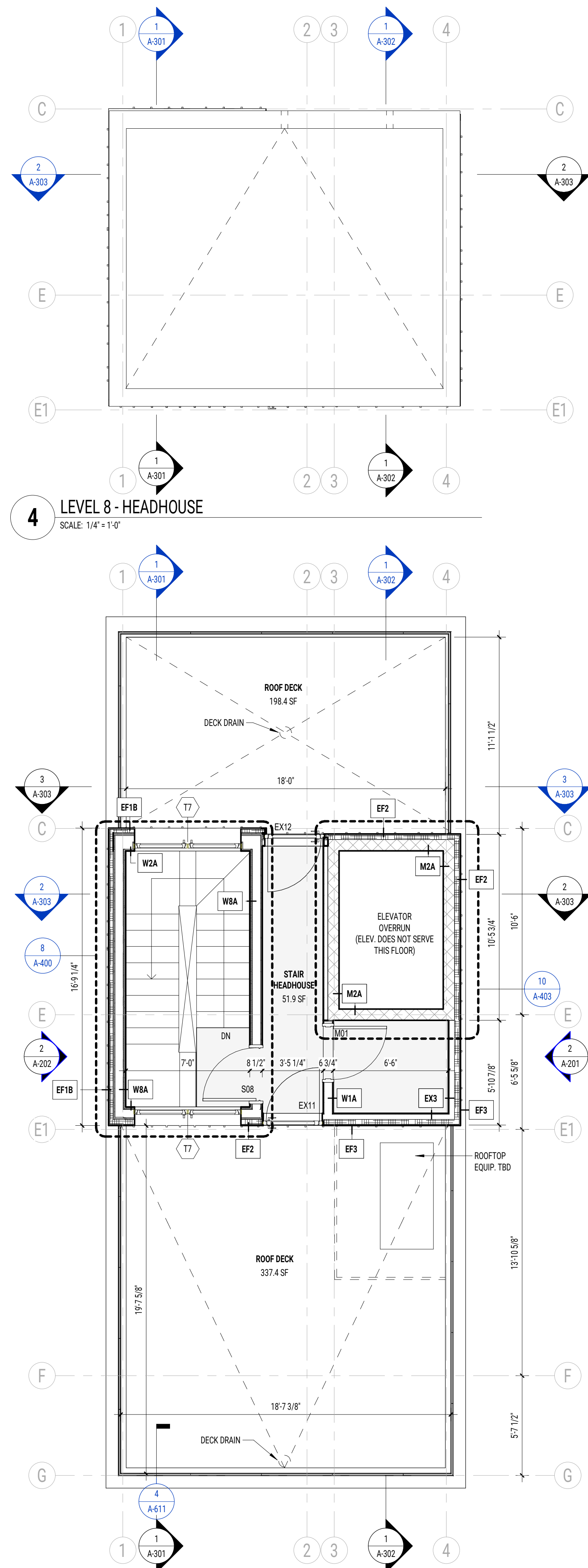
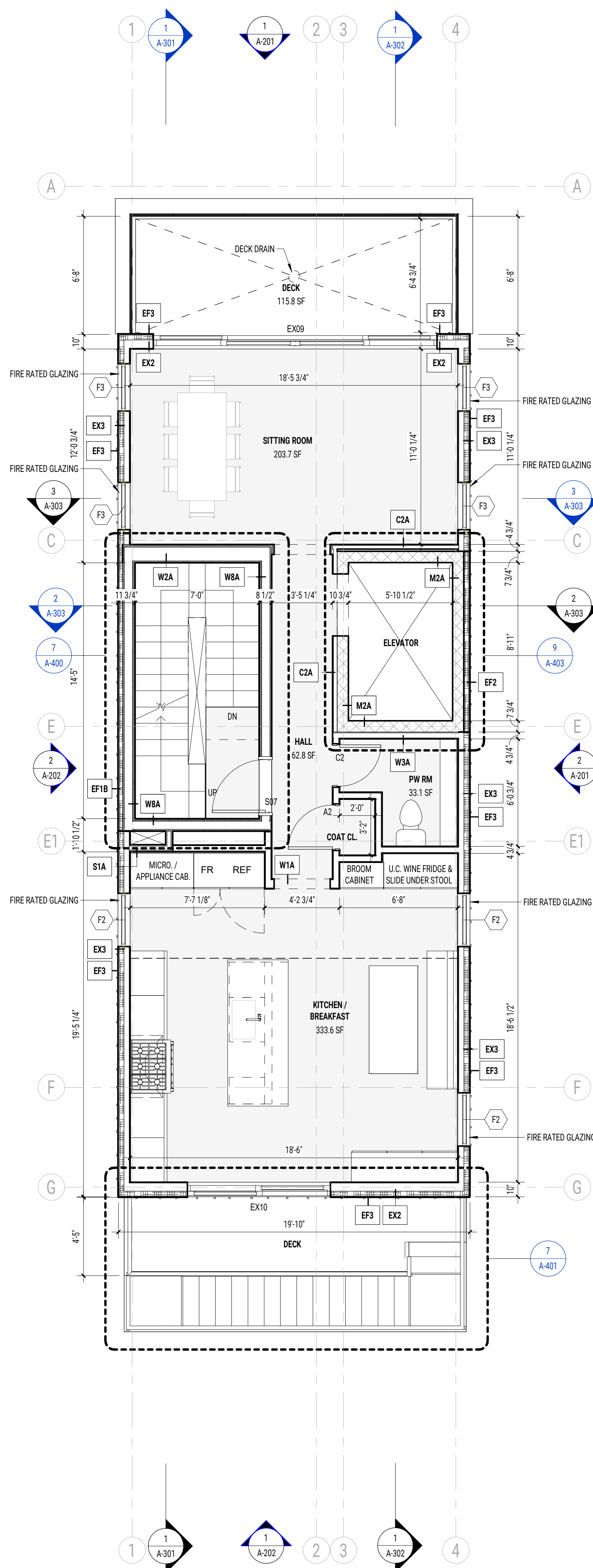
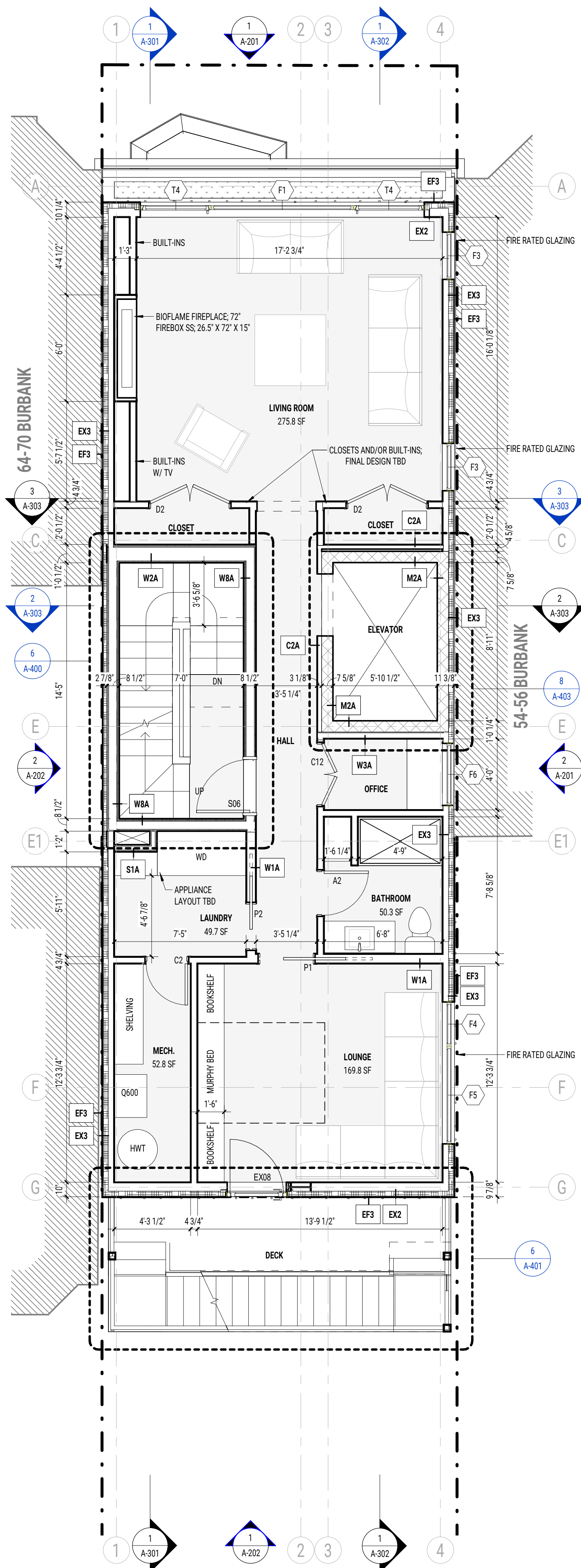
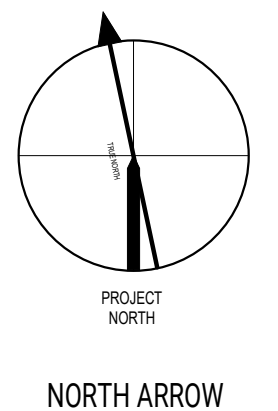
MARK: DATE: DESCRIPTION:  
 ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
 58 BURBANK STREET  
 BOSTON, MA, 02115  
 DATE ISSUED: 05 OCT 2022  
 PROJECT #: 21012  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: ED, MN, AY

FLOOR PLAN

# A-103



**4 LEVEL 8 - HEADHOUSE**  
 SCALE: 1/4" = 1'-0"

CONSULTANTS:

### GENERAL NOTES:

1. SEE HVAC DRAWINGS FOR VENTILATION AND AIR CONDITIONING SCOPE.
2. SEE FA DRAWINGS FOR FIRE ALARM SCOPE.
3. SEE FP DRAWINGS FOR FIRE PROTECTION SCOPE.

### MECHANICAL FIXTURES:

- |  |                  |  |                             |
|--|------------------|--|-----------------------------|
|  | SUPPLY DIFFUSER  |  | MINI SPLIT                  |
|  | RETURN DIFFUSER  |  | CEILING MOUNTED UNIT HEATER |
|  | EXHAUST DIFFUSER |  | WALL MOUNTED UNIT HEATER    |

### FIRE PROTECTION & ALARM FIXTURES:

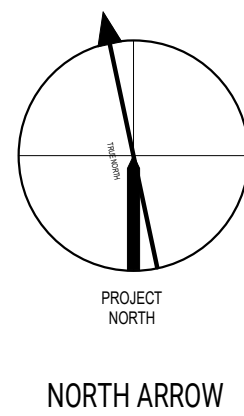
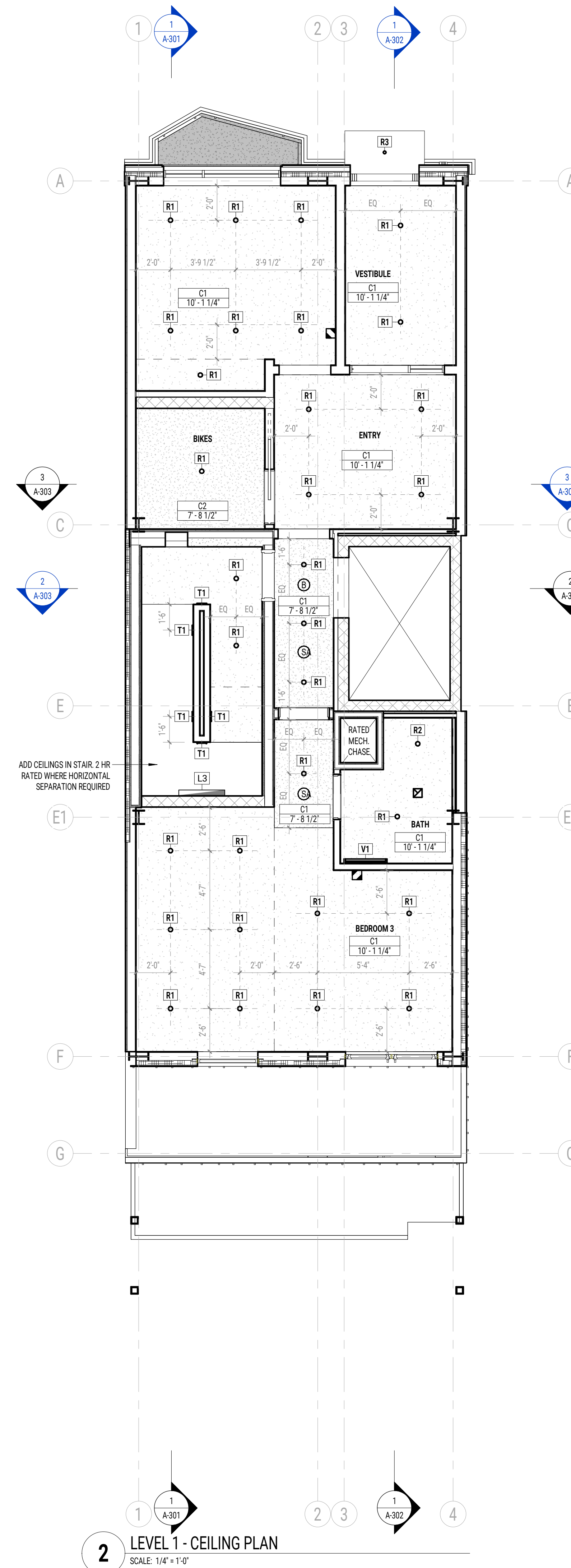
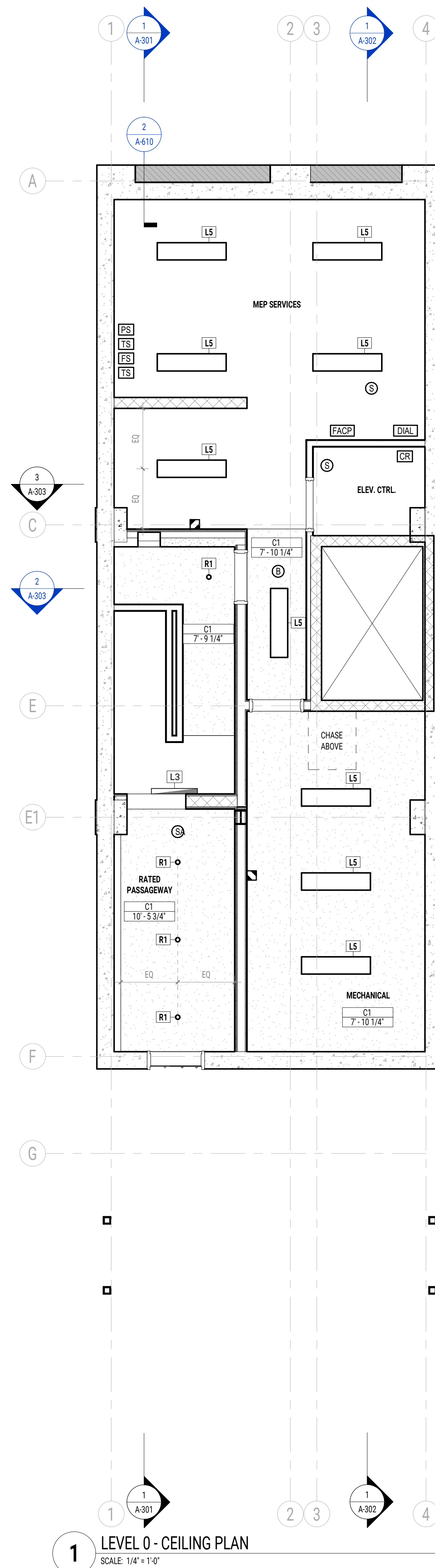
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|--|-----------------------------|--|--|
|  | RECESSED SPRINKLER          |  | EXIT SIGN - CEILING MOUNTED W/ EMERGENCY HEADS |
|  | UPRIGHT SPRINKLER           |  | FIRE ALARM PULL STATION                        |
|  | SMOKE DETECTOR              |  | COMBINATION HORN AND STROBE                    |
|  | SMOKE/CARBON DETECTOR       |  | STROBE   |
|  | MINI STROBE                 |  | FIRE ALARM INDICATING BEACON                   |
|  | EMERGENCY BATTERY UNIT      |  | FIRE ALARM PANEL                               |
|  | EXIT SIGN - CEILING MOUNTED |  | FIRE ALARM KNOX BOX                            |

### LIGHTING FIXTURES & DEVICES:

- |  |   |                          |  |
|--|---|--------------------------|--|
|  | 3' RECESSED FIXTURE (DIMMABLE)                                  |                          | WALL MOUNTED VANITY LIGHT              |
|  | 3' RECESSED FIXTURE W/ EMERGENCY BACKUP (DIMMABLE)              |                          | RECESSED WALL MOUNTED FIXTURE          |
|  | 3' RECESSED FIXTURE WATERPROOF (DIMMABLE)                       |                          | EXTERIOR WALL SCONCE                   |
|  | 2' MOUNTED PUCK LIGHT   |                          | PENDANT FIXTURE (DIMMABLE)             |
|  | 4' SURFACE MOUNTED LINEAR FIXTURE                               |                          | 48' LED SURFACE MOUNTED LINEAR FIXTURE |
|  | 2' SURFACE MOUNTED LINEAR FIXTURE                               | <b>LIGHTING DEVICES:</b> |  |
|  | STAIR FIXTURE W/ INTEGRATED OCCUPANCY SENSOR AND BATTERY BACKUP |                          | CEILING MOUNTED OCCUPANCY SENSOR       |
|  | UNDER CABINET OR SHELF LED STRIP LIGHT, 12V OR 24V DIMMABLE     |                          | WALL MOUNTED OCCUPANCY SENSOR          |

### ACCESS PANELS:

- |  |                        |  |                        |
|--|------------------------|--|------------------------|
|  | 28' X 30' ACCESS PANEL |  | 30' X 40' ACCESS PANEL |
|--|------------------------|--|------------------------|



ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION  
ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: 1/4" = 1'-0"

DRAWN BY: ED, MN, AY

REFLECTED CEILING PLANS

### GENERAL NOTES:

1. SEE HVAC DRAWINGS FOR VENTILATION AND AIR CONDITIONING SCOPE.
2. SEE FA DRAWINGS FOR FIRE ALARM SCOPE.
3. SEE FP DRAWINGS FOR FIRE PROTECTION SCOPE.

### MECHANICAL FIXTURES:

- |  |                  |  |                             |
|--|------------------|--|-----------------------------|
|  | SUPPLY DIFFUSER  |  | MINI SPLIT                  |
|  | RETURN DIFFUSER  |  | CEILING MOUNTED UNIT HEATER |
|  | EXHAUST DIFFUSER |  | WALL MOUNTED UNIT HEATER    |

### FIRE PROTECTION & ALARM FIXTURES:

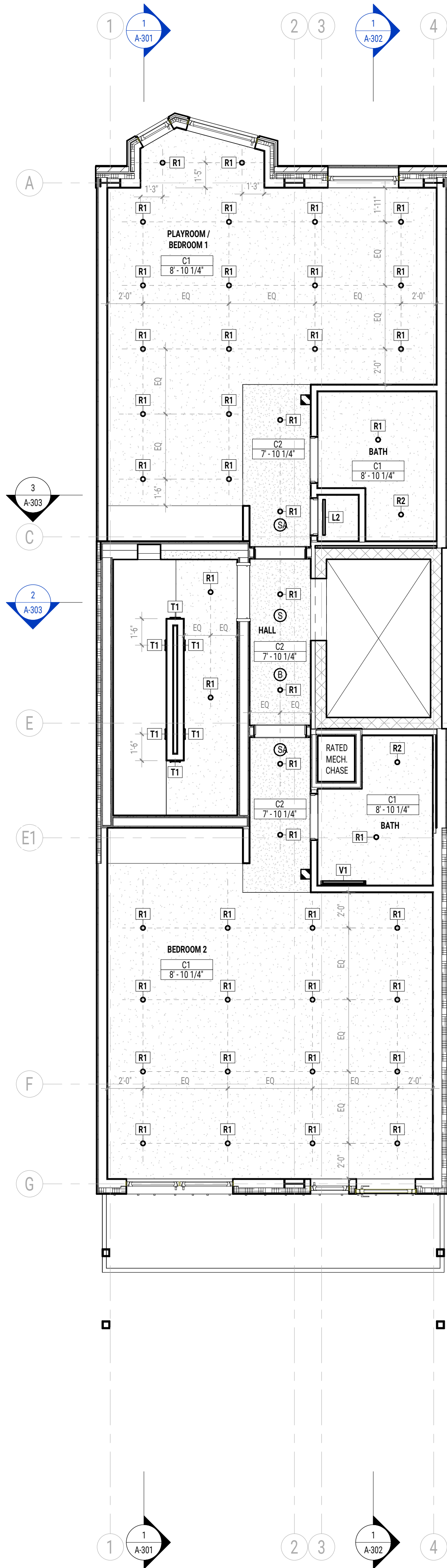
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|--|-----------------------------|--|--|
|  | RECESSED SPRINKLER          |  | EXIT SIGN - CEILING MOUNTED W/ EMERGENCY HEADS |
|  | UPRIGHT SPRINKLER           |  | FIRE ALARM PULL STATION                        |
|  | SMOKE DETECTOR              |  | COMBINATION HORN AND STROBE                    |
|  | SMOKE/CARBON DETECTOR       |  | STROBE   |
|  | MINI STROBE                 |  | FIRE ALARM INDICATING BEACON                   |
|  | EMERGENCY BATTERY UNIT      |  | FIRE ALARM PANEL                               |
|  | EXIT SIGN - CEILING MOUNTED |  | FIRE ALARM KNOX BOX                            |

### LIGHTING FIXTURES & DEVICES:

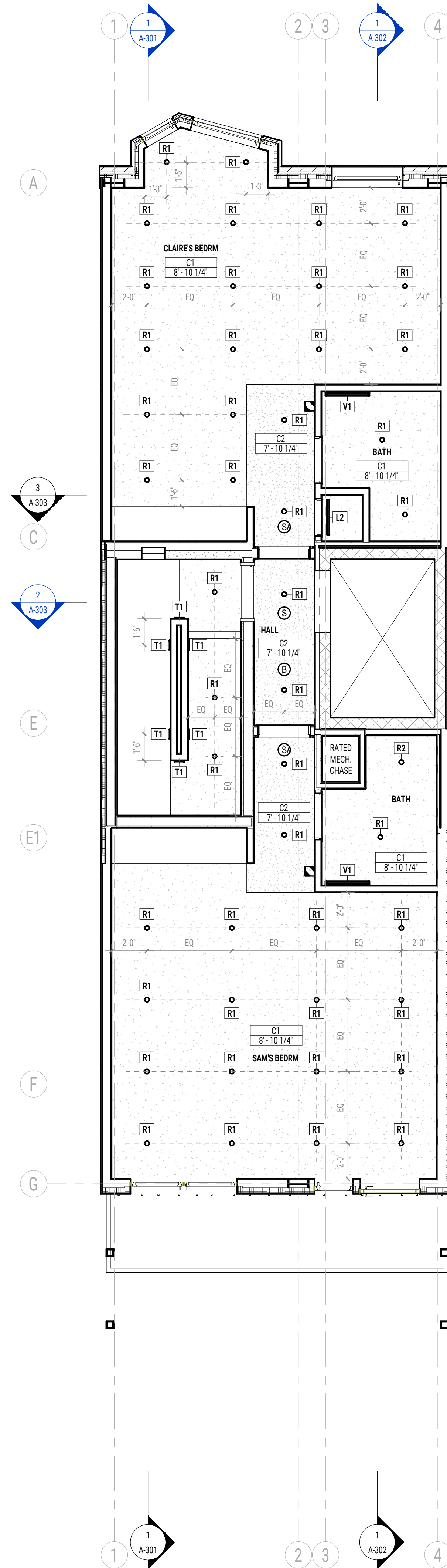
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|--|---|--------------------------|--|
|  | 3' RECESSED FIXTURE (DIMMABLE)                                  |                          | WALL MOUNTED VANITY LIGHT              |
|  | 3' RECESSED FIXTURE W/ EMERGENCY BACKUP (DIMMABLE)              |                          | RECESSED WALL MOUNTED FIXTURE          |
|  | 3' RECESSED FIXTURE WATERPROOF (DIMMABLE)                       |                          | EXTERIOR WALL SCONCE                   |
|  | 2' MOUNTED PUCK LIGHT   |                          | PENDANT FIXTURE (DIMMABLE)             |
|  | 4' SURFACE MOUNTED LINEAR FIXTURE                               |                          | 48' LED SURFACE MOUNTED LINEAR FIXTURE |
|  | 2' SURFACE MOUNTED LINEAR FIXTURE                               | <b>LIGHTING DEVICES:</b> |  |
|  | STAIR FIXTURE W/ INTEGRATED OCCUPANCY SENSOR AND BATTERY BACKUP |                          | CEILING MOUNTED OCCUPANCY SENSOR       |
|  | UNDER CABINET OR SHELF LED STRIP LIGHT, 12V OR 24V DIMMABLE     |                          | WALL MOUNTED OCCUPANCY SENSOR          |

### ACCESS PANELS:

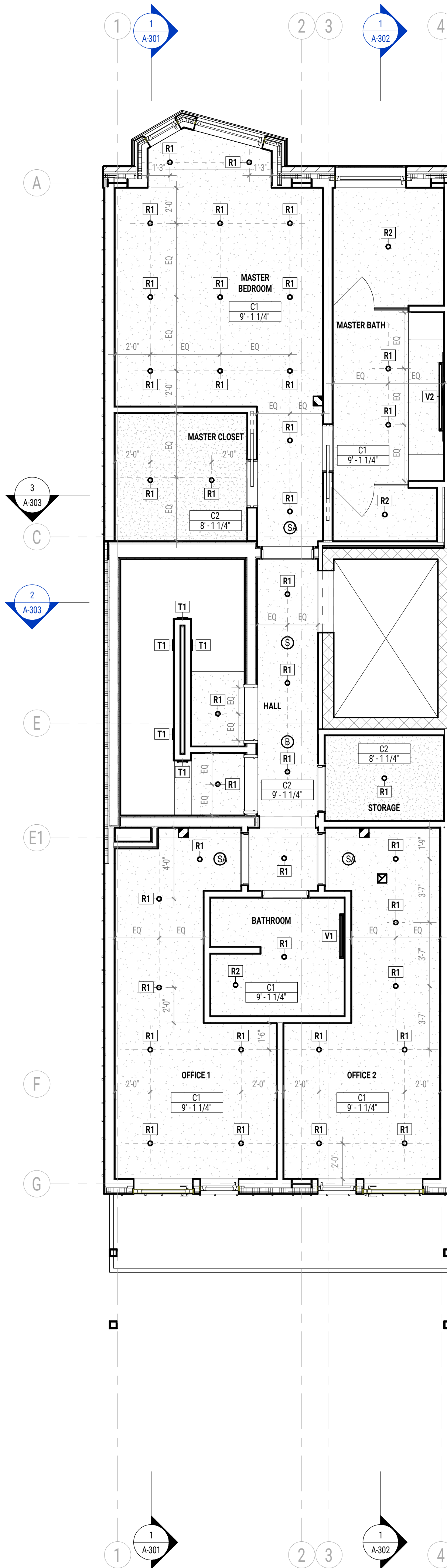
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|--|------------------------|--|------------------------|
|  | 28' X 30' ACCESS PANEL |  | 30' X 40' ACCESS PANEL |
|--|------------------------|--|------------------------|



**1** LEVEL 2 - CEILING PLAN  
SCALE: 1/4" = 1'-0"



**2** LEVEL 3 - CEILING PLAN  
SCALE: 1/4" = 1'-0"



**3** LEVEL 4 - CEILING PLAN  
SCALE: 1/4" = 1'-0"

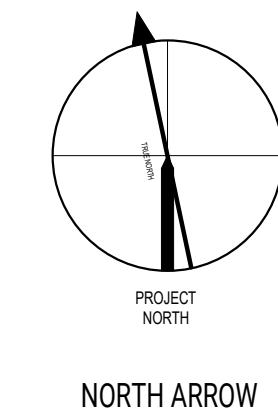
ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION  
ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**  
ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115  
DATE ISSUED: 05 OCT 2022  
PROJECT #: 21012  
SCALE: 1/4" = 1'-0"  
DRAWN BY: ED, MN, AY

REFLECTED CEILING PLANS



### GENERAL NOTES:

1. SEE HVAC DRAWINGS FOR VENTILATION AND AIR CONDITIONING SCOPE.
2. SEE FA DRAWINGS FOR FIRE ALARM SCOPE.
3. SEE FP DRAWINGS FOR FIRE PROTECTION SCOPE.

### MECHANICAL FIXTURES:

- |  |                  |  |                             |
|--|------------------|--|-----------------------------|
|  | SUPPLY DIFFUSER  |  | MINI SPLIT                  |
|  | RETURN DIFFUSER  |  | CEILING MOUNTED UNIT HEATER |
|  | EXHAUST DIFFUSER |  | WALL MOUNTED UNIT HEATER    |

### FIRE PROTECTION & ALARM FIXTURES:

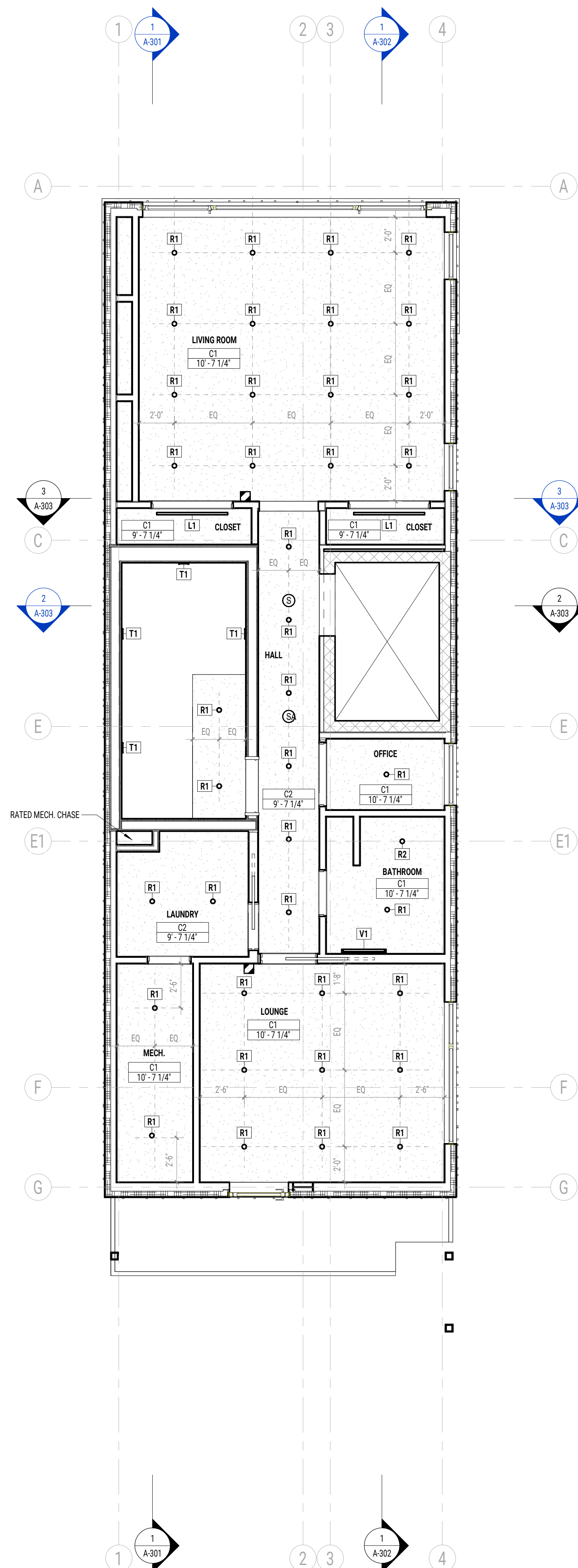
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|--|-----------------------------|--|--|
|  | RECESSED SPRINKLER          |  | EXIT SIGN - CEILING MOUNTED W/ EMERGENCY HEADS |
|  | UPRIGHT SPRINKLER           |  | FIRE ALARM PULL STATION                        |
|  | SMOKE DETECTOR              |  | COMBINATION HORN AND STROBE                    |
|  | SMOKE/CARBON DETECTOR       |  | STROBE   |
|  | MINI STROBE                 |  | FIRE ALARM INDICATING BEACON                   |
|  | EMERGENCY BATTERY UNIT      |  | FIRE ALARM PANEL                               |
|  | EXIT SIGN - CEILING MOUNTED |  | FIRE ALARM KNOX BOX                            |

### LIGHTING FIXTURES & DEVICES:

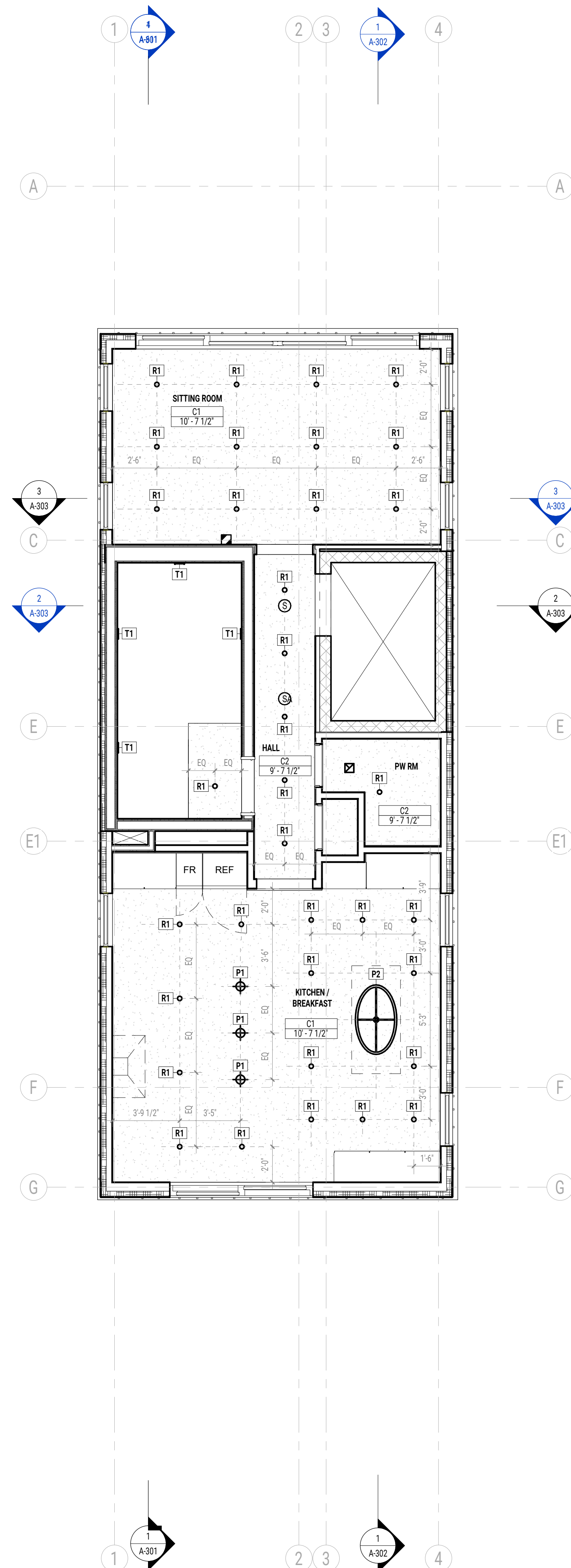
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|--|---|--------------------------|--|
|  | 3' RECESSED FIXTURE (DIMMABLE)                                  |                          | WALL MOUNTED VANITY LIGHT              |
|  | 3' RECESSED FIXTURE W/ EMERGENCY BACKUP (DIMMABLE)              |                          | RECESSED WALL MOUNTED FIXTURE          |
|  | 3' RECESSED FIXTURE WATERPROOF (DIMMABLE)                       |                          | EXTERIOR WALL SCONCE                   |
|  | 2' MOUNTED PUCK LIGHT   |                          | PENDANT FIXTURE (DIMMABLE)             |
|  | 4' SURFACE MOUNTED LINEAR FIXTURE                               |                          | 48' LED SURFACE MOUNTED LINEAR FIXTURE |
|  | 2' SURFACE MOUNTED LINEAR FIXTURE                               | <b>LIGHTING DEVICES:</b> |  |
|  | STAIR FIXTURE W/ INTEGRATED OCCUPANCY SENSOR AND BATTERY BACKUP |                          | CEILING MOUNTED OCCUPANCY SENSOR       |
|  | UNDER CABINET OR SHELF LED STRIP LIGHT, 12V OR 24V DIMMABLE     |                          | WALL MOUNTED OCCUPANCY SENSOR          |

### ACCESS PANELS:

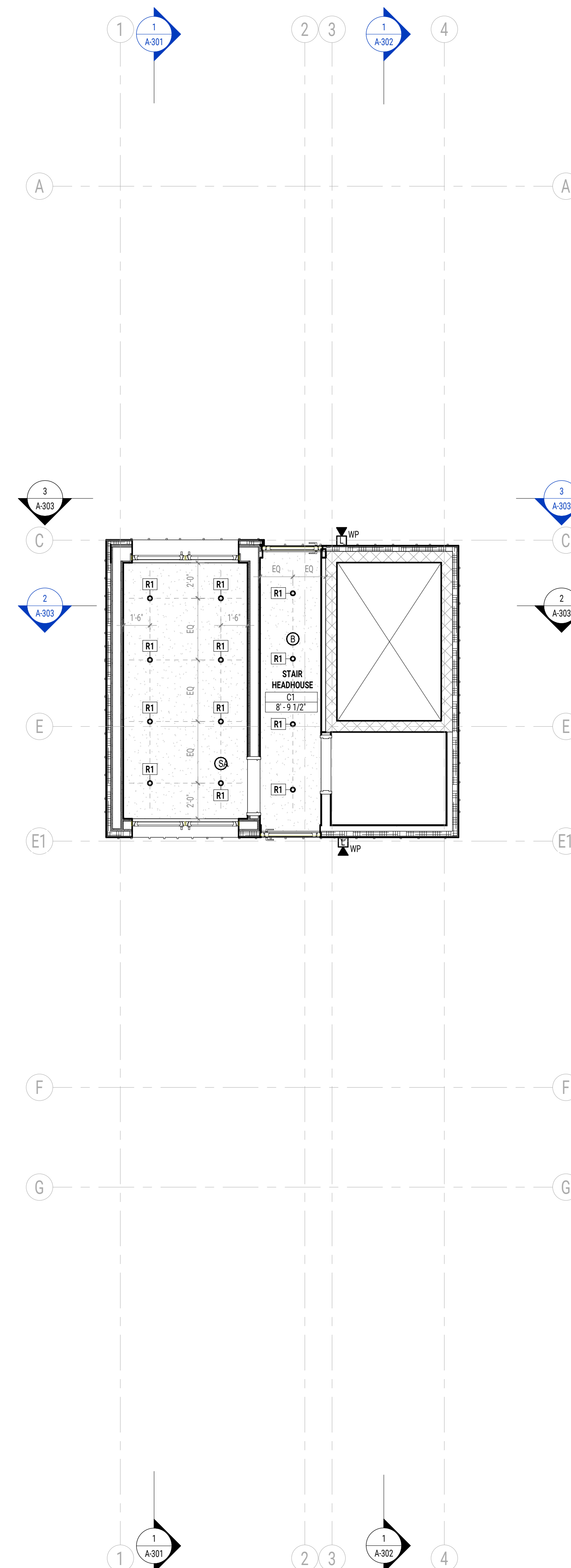
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|--|------------------------|--|------------------------|
|  | 28' X 30' ACCESS PANEL |  | 30' X 40' ACCESS PANEL |
|--|------------------------|--|------------------------|



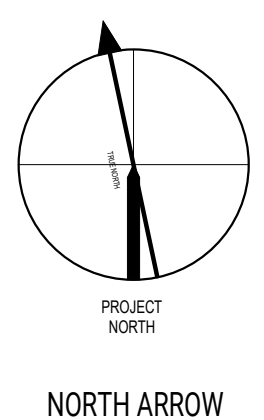
**1** LEVEL 5 - CEILING PLAN  
SCALE: 1/4" = 1'-0"



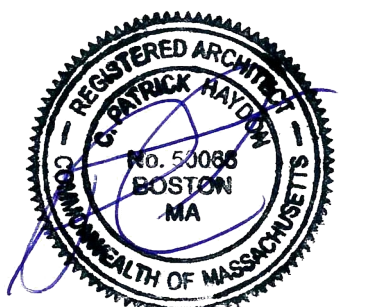
**2** LEVEL 6 - CEILING PLAN  
SCALE: 1/4" = 1'-0"



**3** T.O. ROOF STRUCTURE - CEILING PLAN  
SCALE: 1/4" = 1'-0"



ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:

**58 BURBANK**

ADDRESS:

58 BURBANK STREET  
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: 1/4" = 1'-0"

DRAWN BY: ED, MN, AY

REFLECTED CEILING PLANS

**A-123**

CONSULTANTS:

ISSUE FOR PERMIT

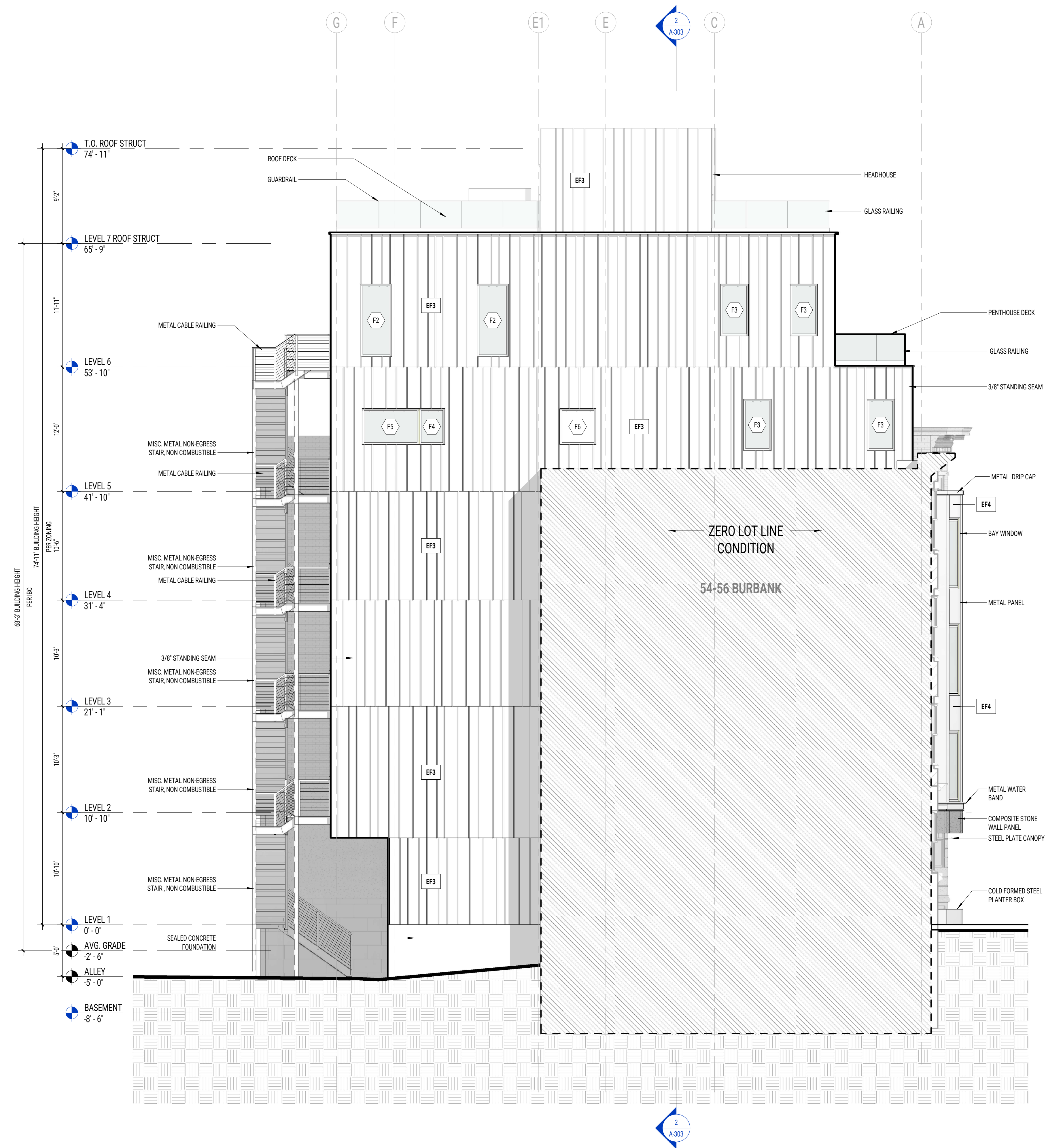


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ISSUE LOG:

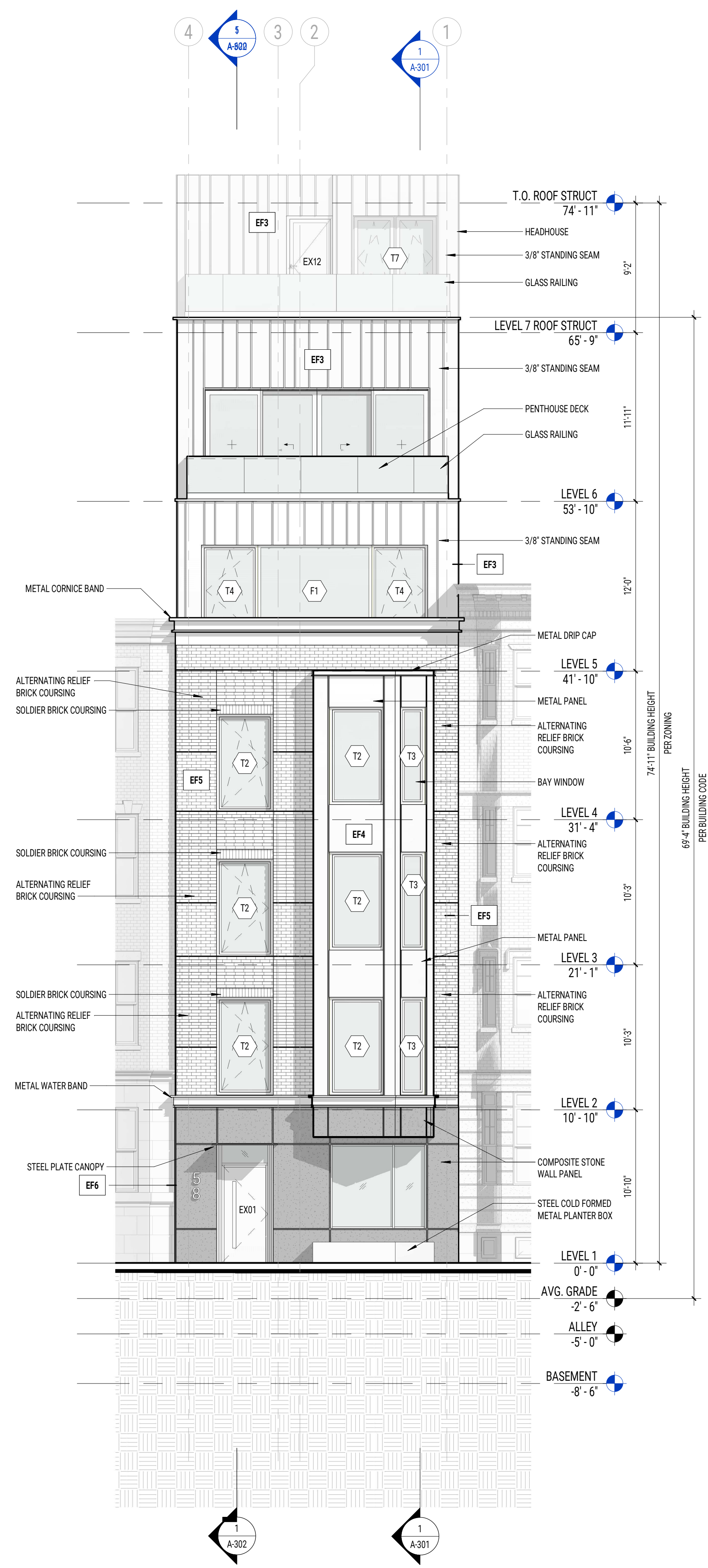
PROJECT NAME:  
**58 BURBANK**  
ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115  
DATE ISSUED: 05 OCT 2022  
PROJECT #: 21012  
SCALE: 3/16" = 1'-0"  
DRAWN BY: ED, MN, AY

FRONT & EAST BUILDING  
ELEVATION

## A-201



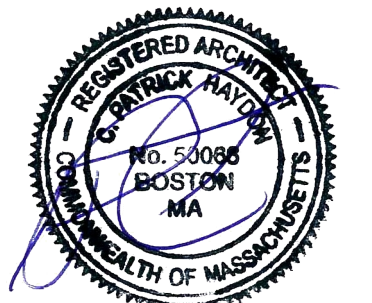
**2** EAST ELEV.  
SCALE: 3/16" = 1'-0"



**1** BURBANK STREET ELEV.  
SCALE: 3/16" = 1'-0"

CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:  
 ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
 58 BURBANK STREET  
 BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

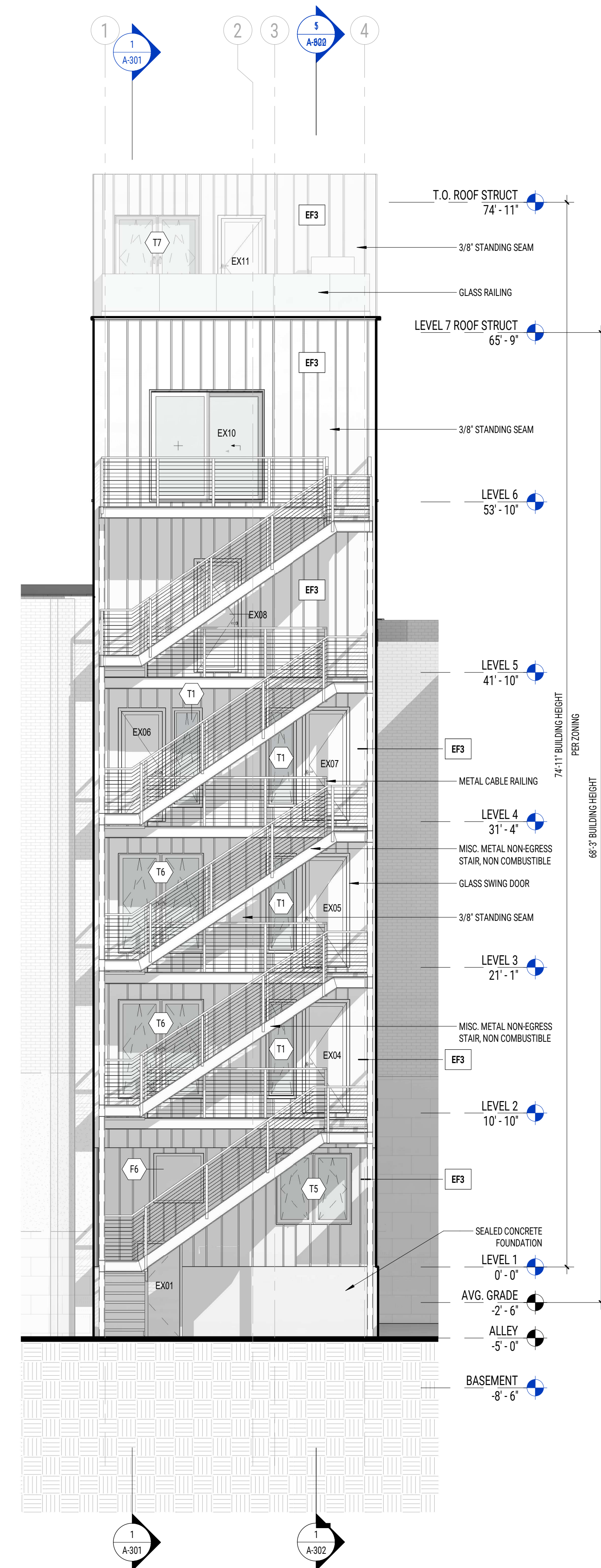
PROJECT #: 21012

SCALE: 3/16" = 1'-0"

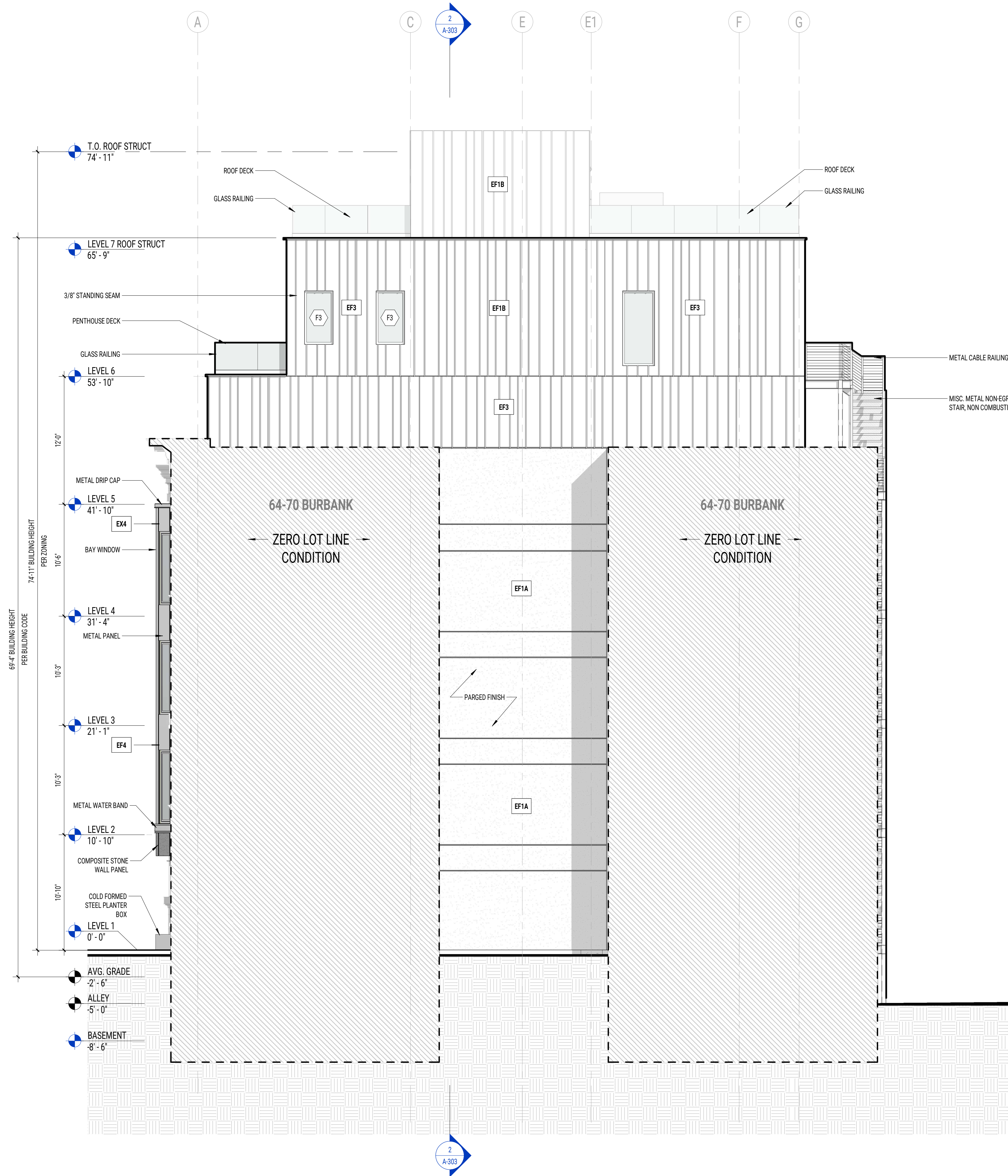
DRAWN BY: ED, MN, AY

REAR & WEST BUILDING  
 ELEVATION

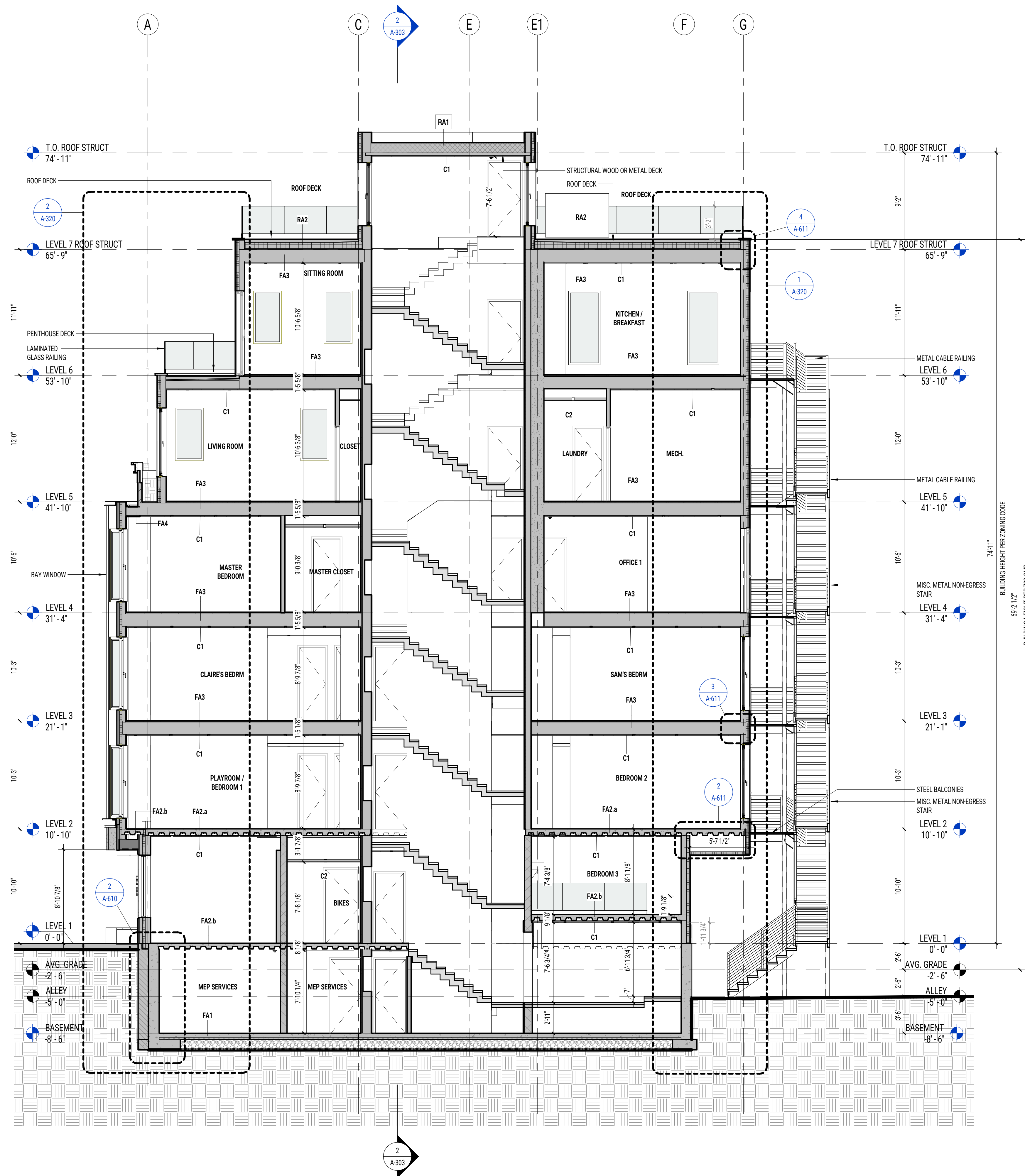
## A-202



**1** ALLEY ELEV.  
 SCALE: 3/16" = 1'-0"

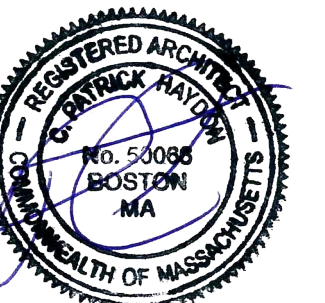


**2** WEST ELEV.  
 SCALE: 3/16" = 1'-0"



CONSULTANTS:

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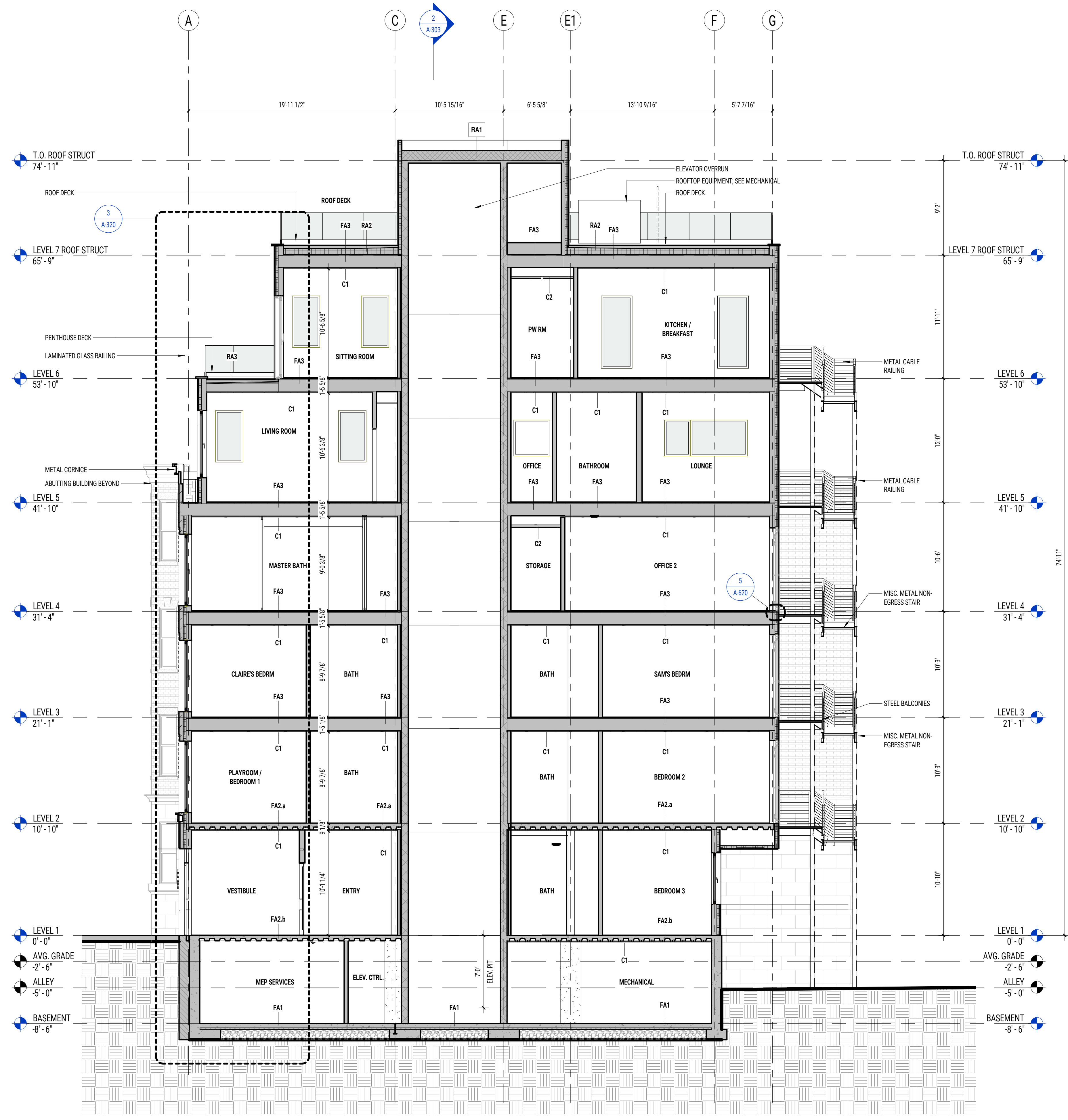
MARK: DATE: DESCRIPTION:  
 ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
 58 BURBANK STREET  
 BOSTON, MA, 02115  
 DATE ISSUED: 05 OCT 2022  
 PROJECT #: 21012  
 SCALE: 3/16" = 1'-0"  
 DRAWN BY: ED, MN, AY

BUILDING SECTION





CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION  
 ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
 58 BURBANK STREET  
 BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: 3/16" = 1'-0"

DRAWN BY: ED, MN, AY

BUILDING SECTION

CONSULTANTS:

ISSUE FOR PERMIT



MARK	DATE	DESCRIPTION

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
 58 BURBANK STREET  
 BOSTON, MA, 02115

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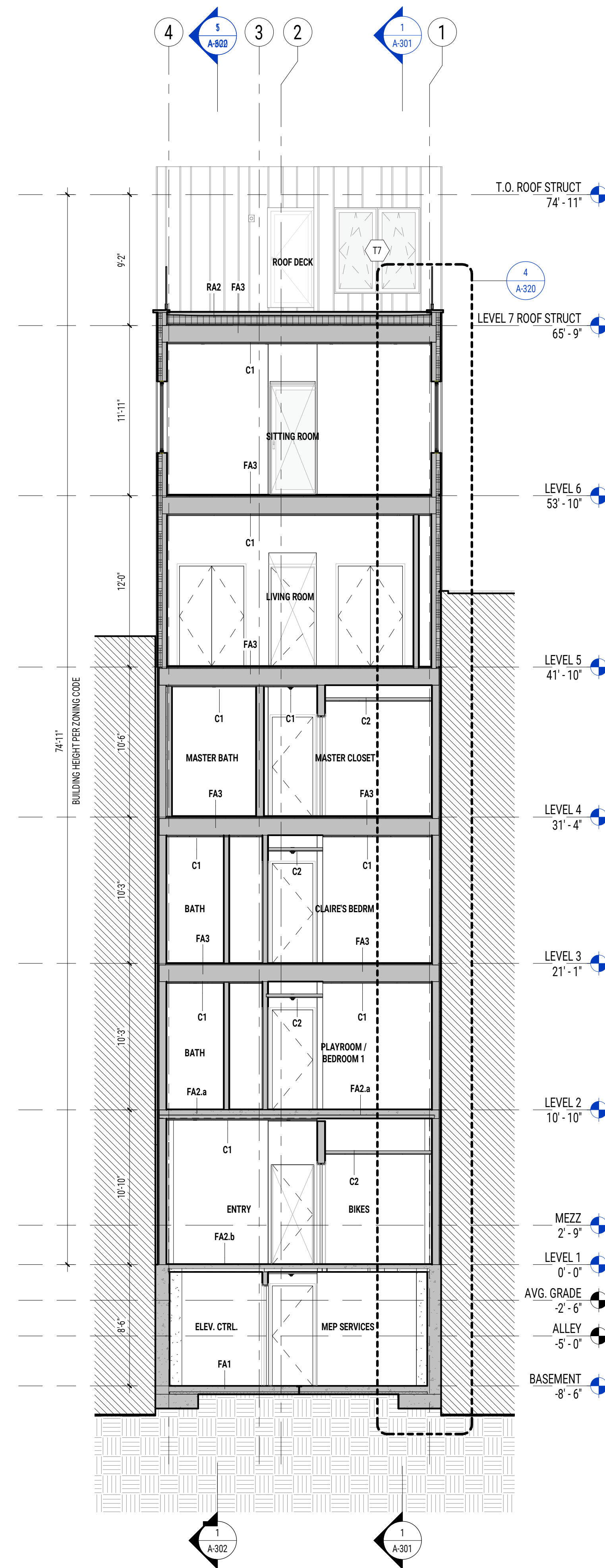
PROJECT #: 21012

SCALE: 3/16" = 1'-0"

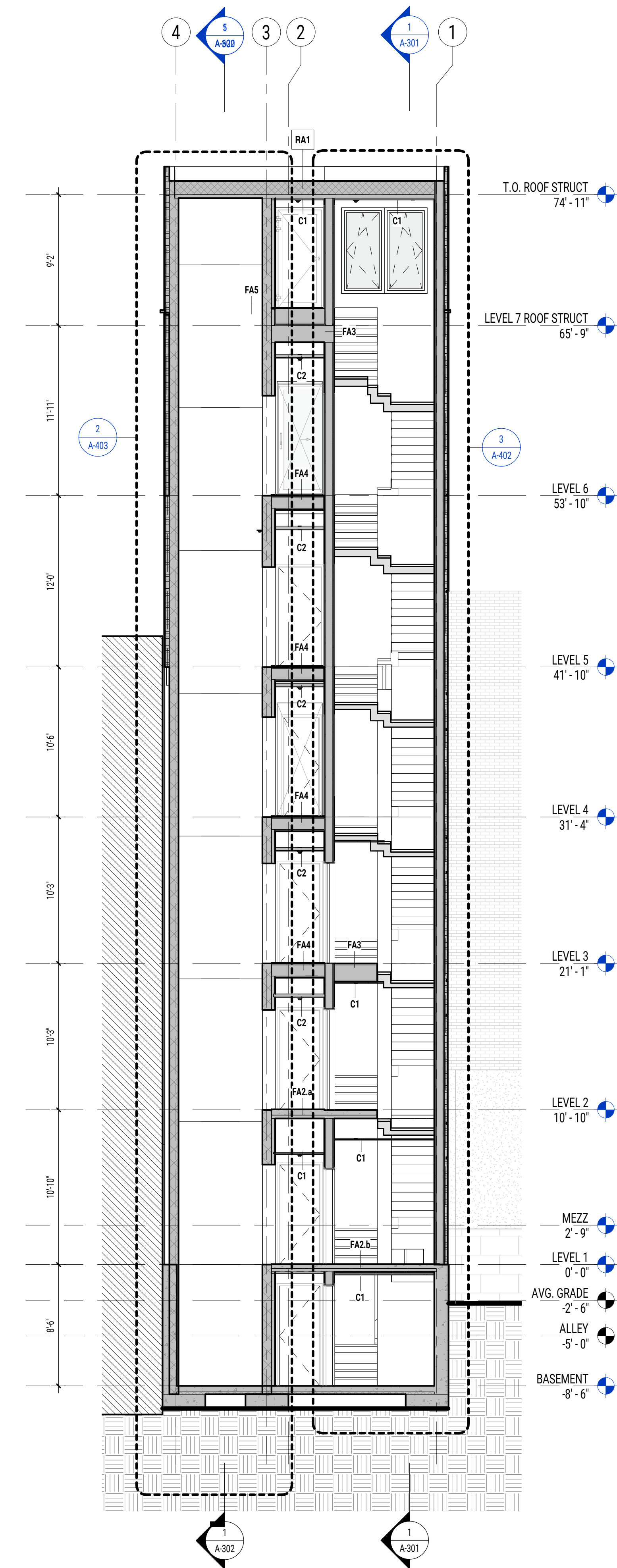
DRAWN BY: ED, MN, AY

BUILDING SECTION

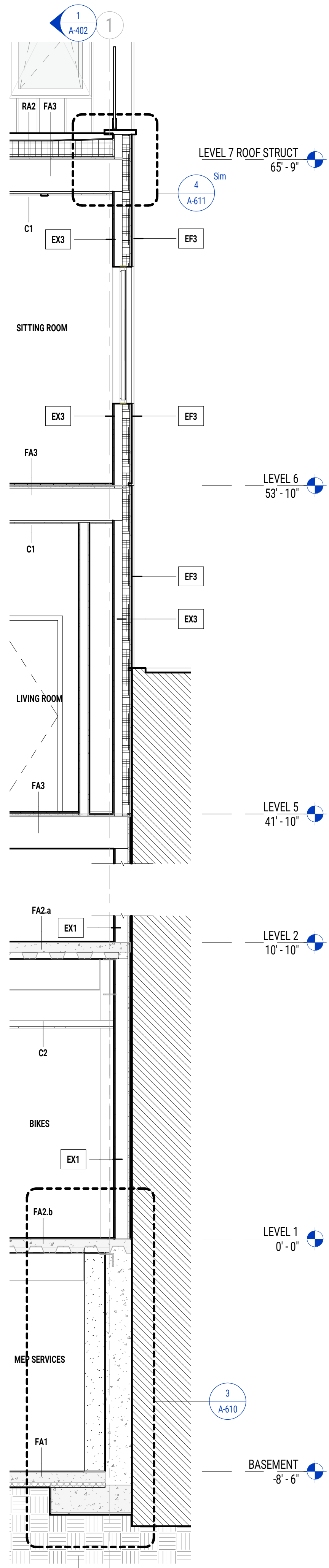
## A-303



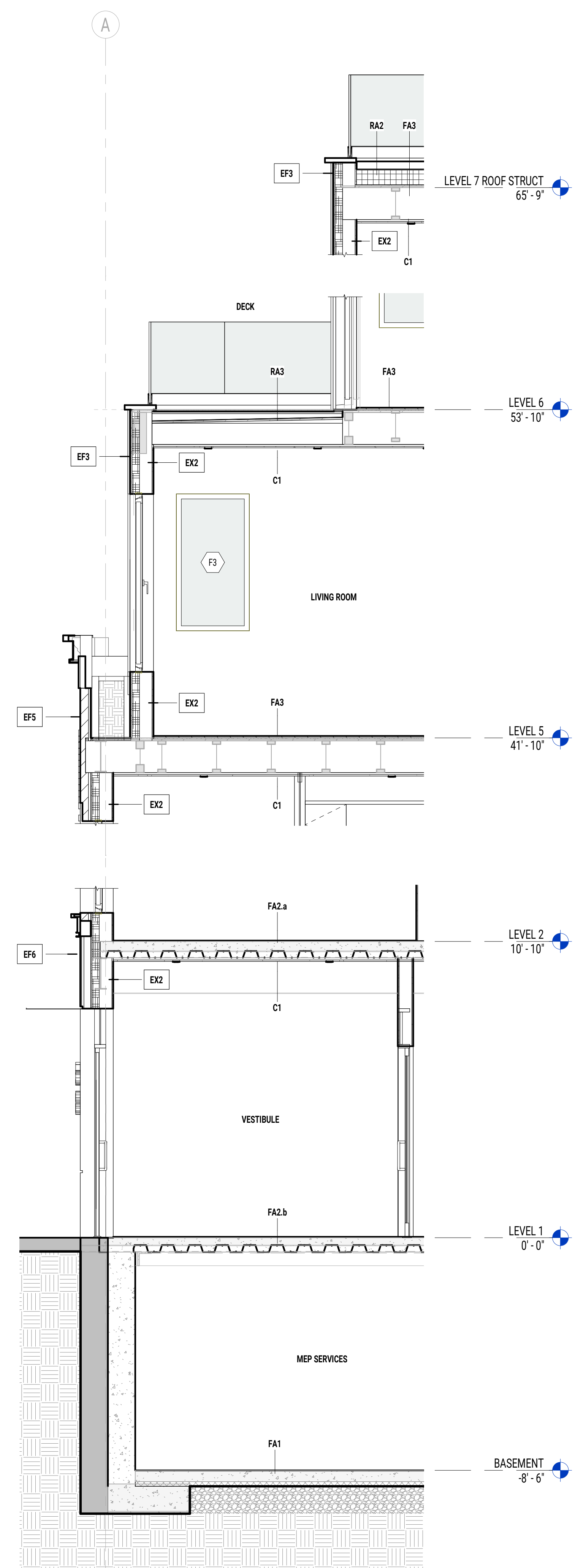
**3** BUILDING SECTION - SHORT 1  
 SCALE: 3/16" = 1'-0"



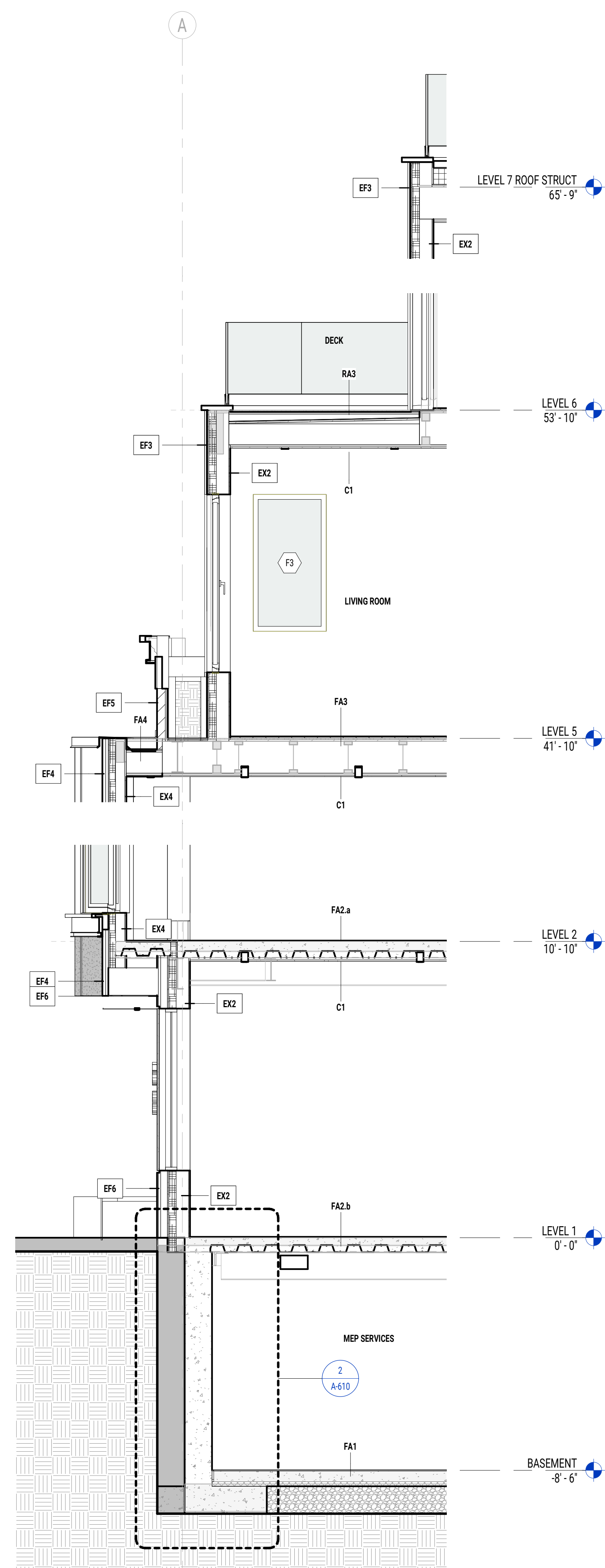
**2** BUILDING SECTION - SHORT 2  
 SCALE: 3/16" = 1'-0"



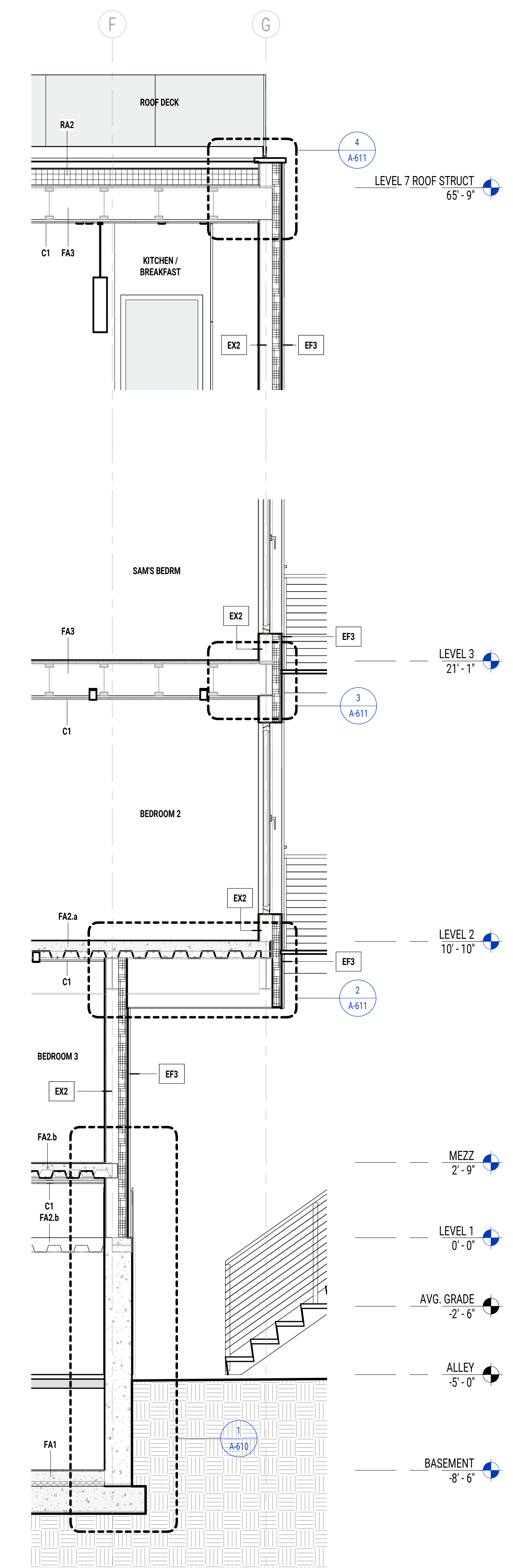
**4** WALL SECTION 1  
SCALE: 3/8" = 1'-0"



**3** WALL SECTION - FRONT ENTRY  
SCALE: 3/8" = 1'-0"

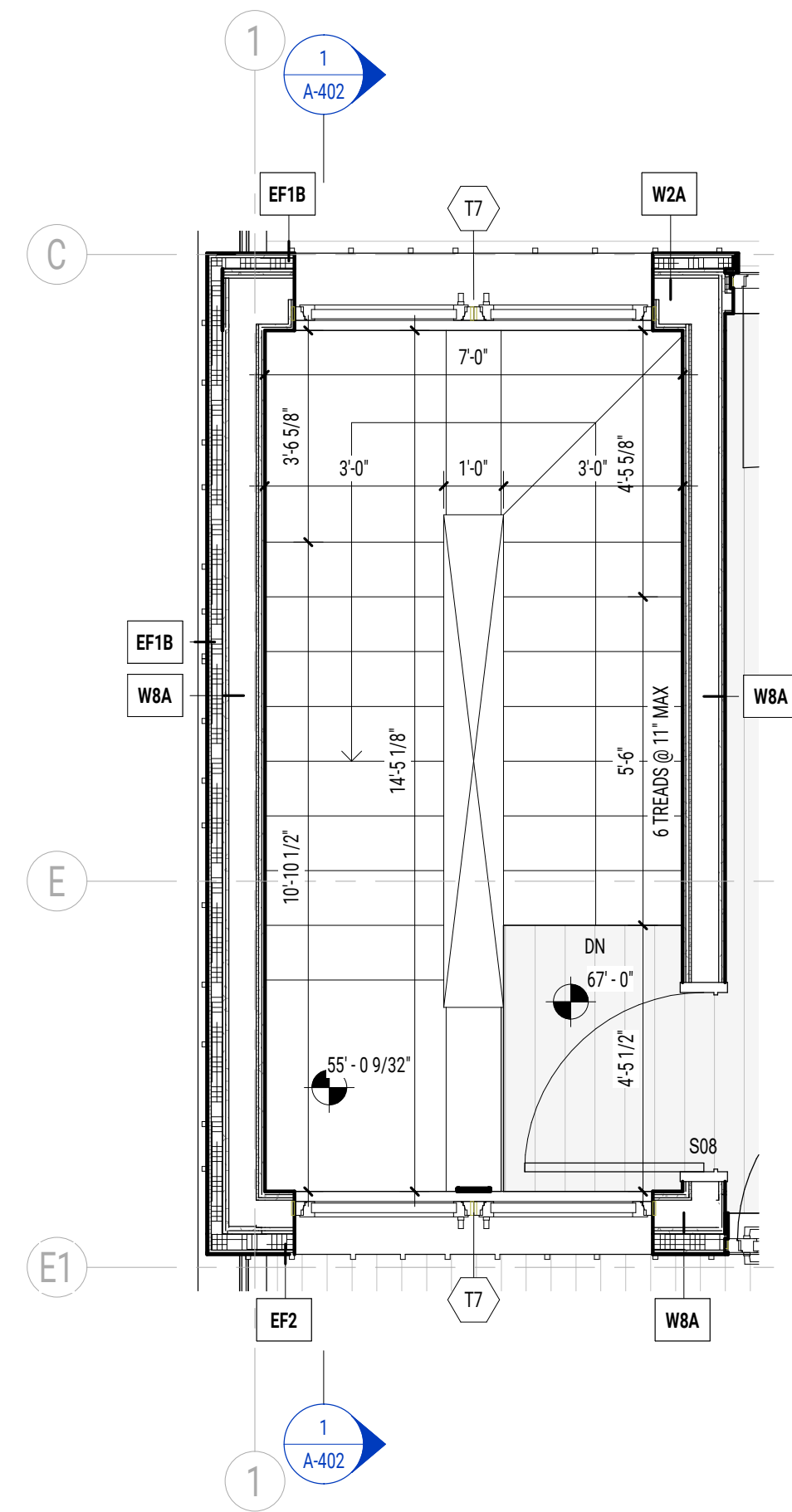


**2** WALL SECTION - BAYS @ FRONT  
SCALE: 3/8" = 1'-0"

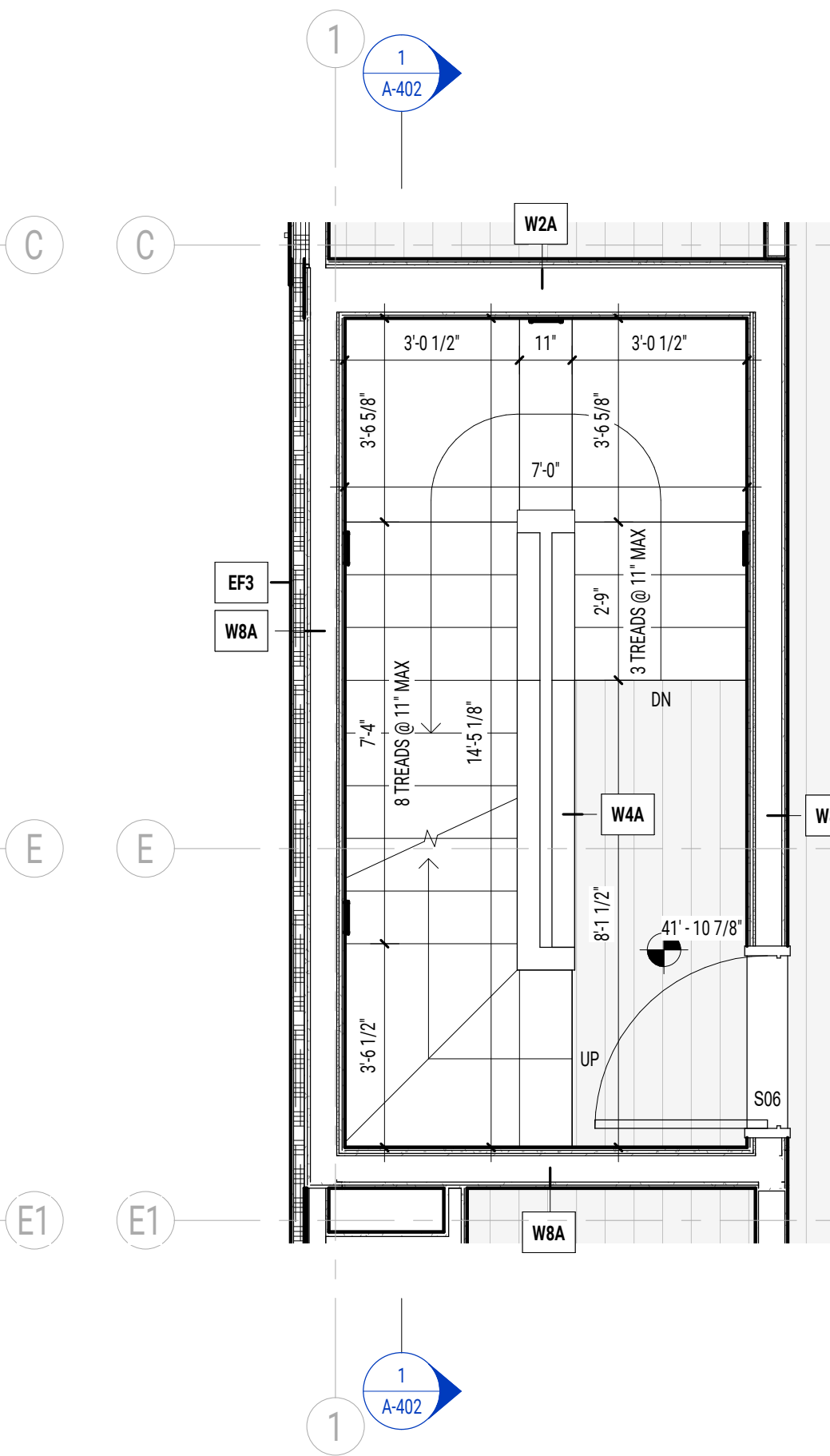


**1** WALL SECTION - DECKS @ REAR  
SCALE: 3/8" = 1'-0"

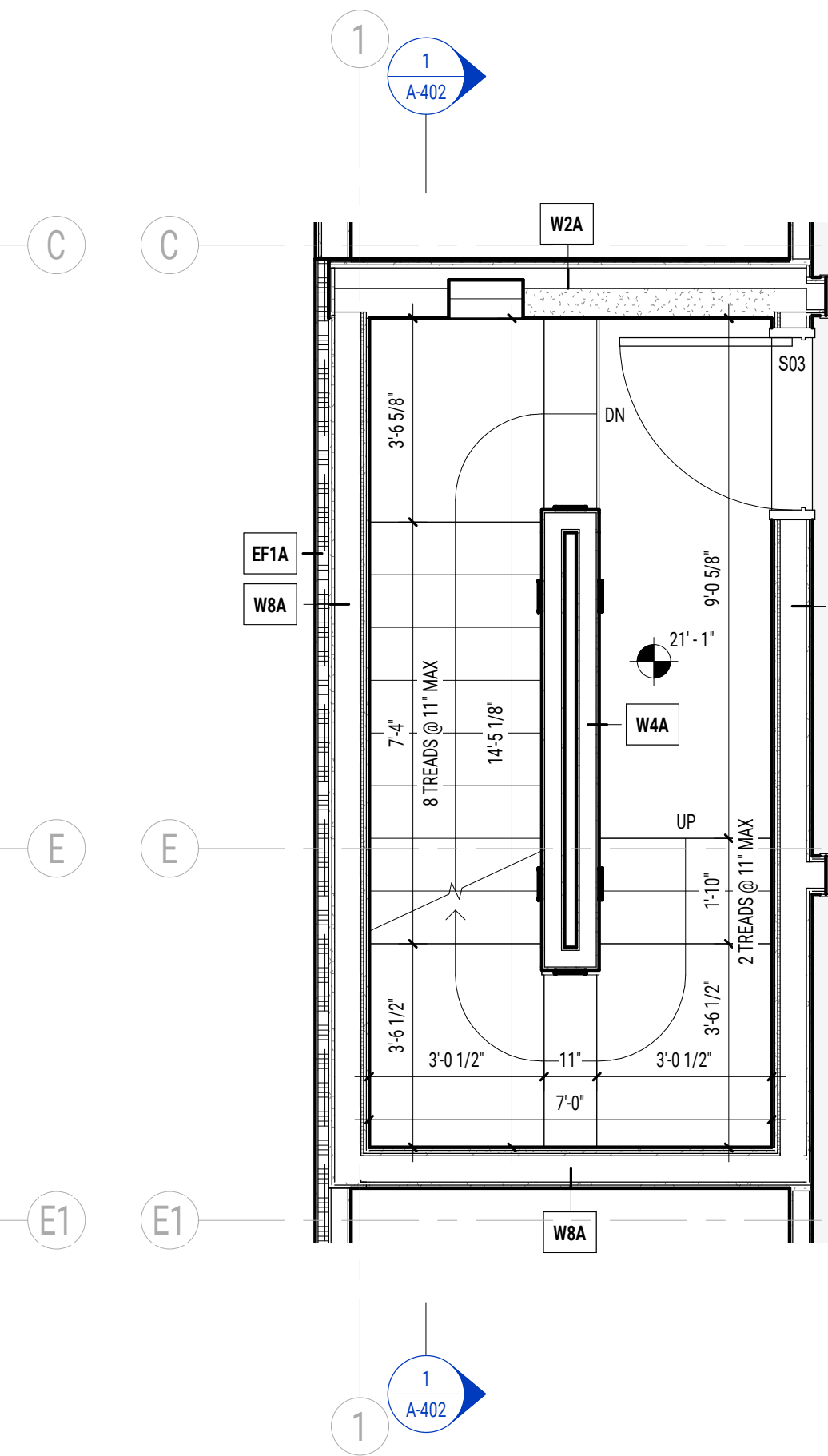
STAIRS PER 780 CMR - 1011.2 EXCEPTION 1, 1011.5.2 EXCEPTION 3 & 780 CMR 1011.5.3; MAXIMUM RISE/RUN: 7-3/4" / 10", STAIR WIDTH 36"



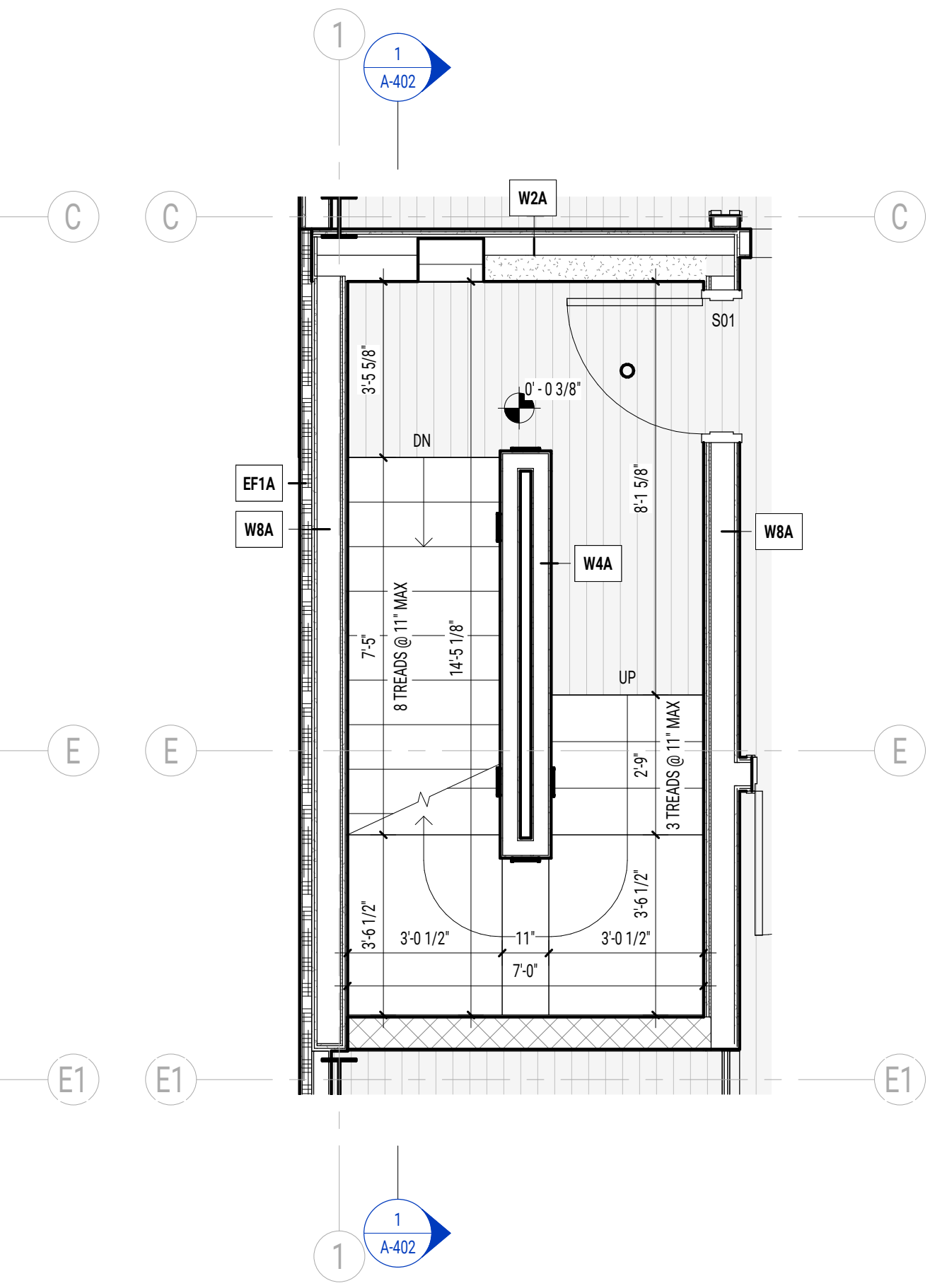
**8** STAIR 01 - LEVEL 7  
SCALE: 3/8" = 1'-0"



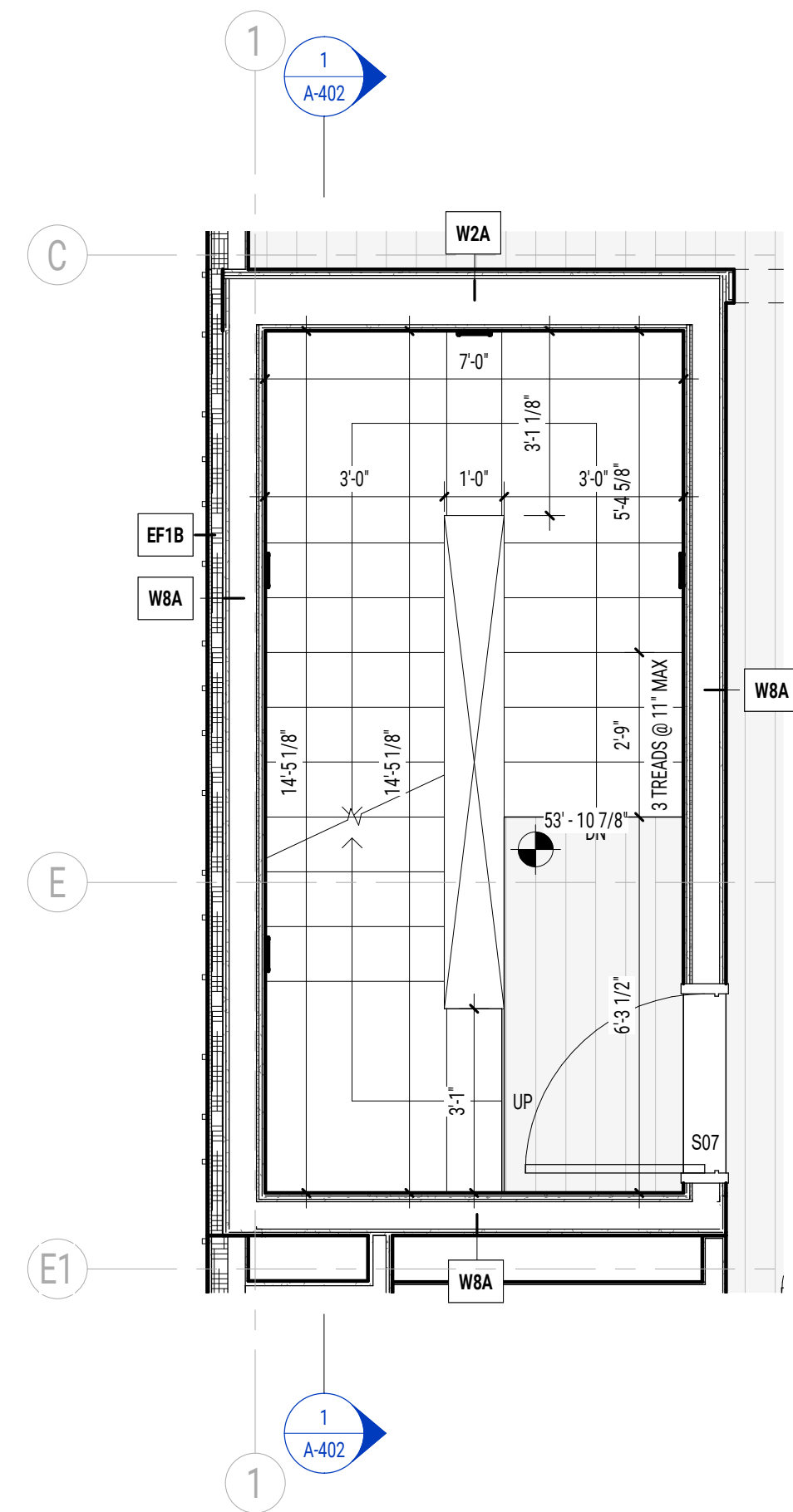
**6** STAIR 01 - LEVEL 5  
SCALE: 3/8" = 1'-0"



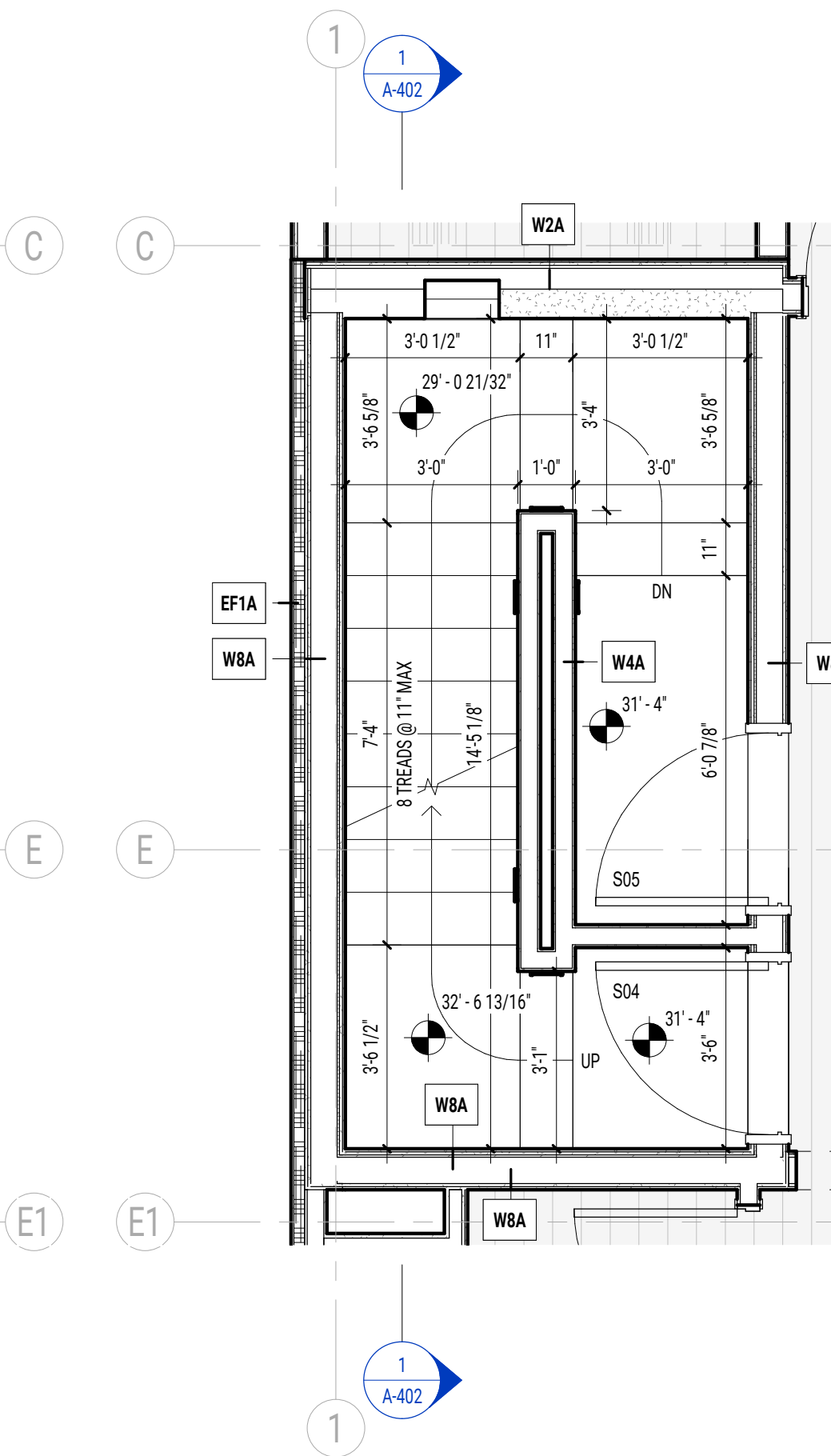
**4** STAIR 01 - LEVEL 3  
SCALE: 3/8" = 1'-0"



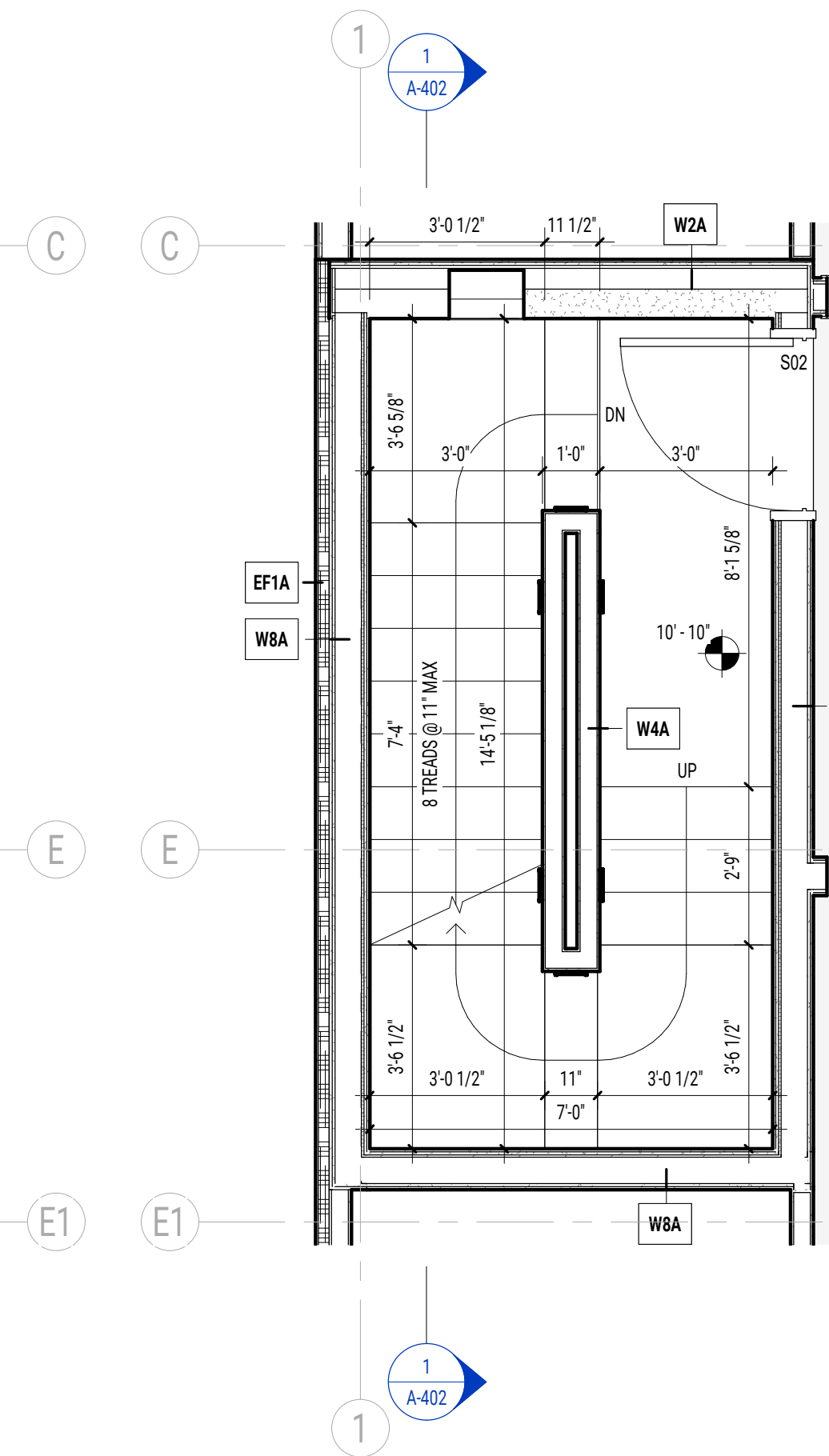
**2** STAIR 01 - LEVEL 1  
SCALE: 3/8" = 1'-0"



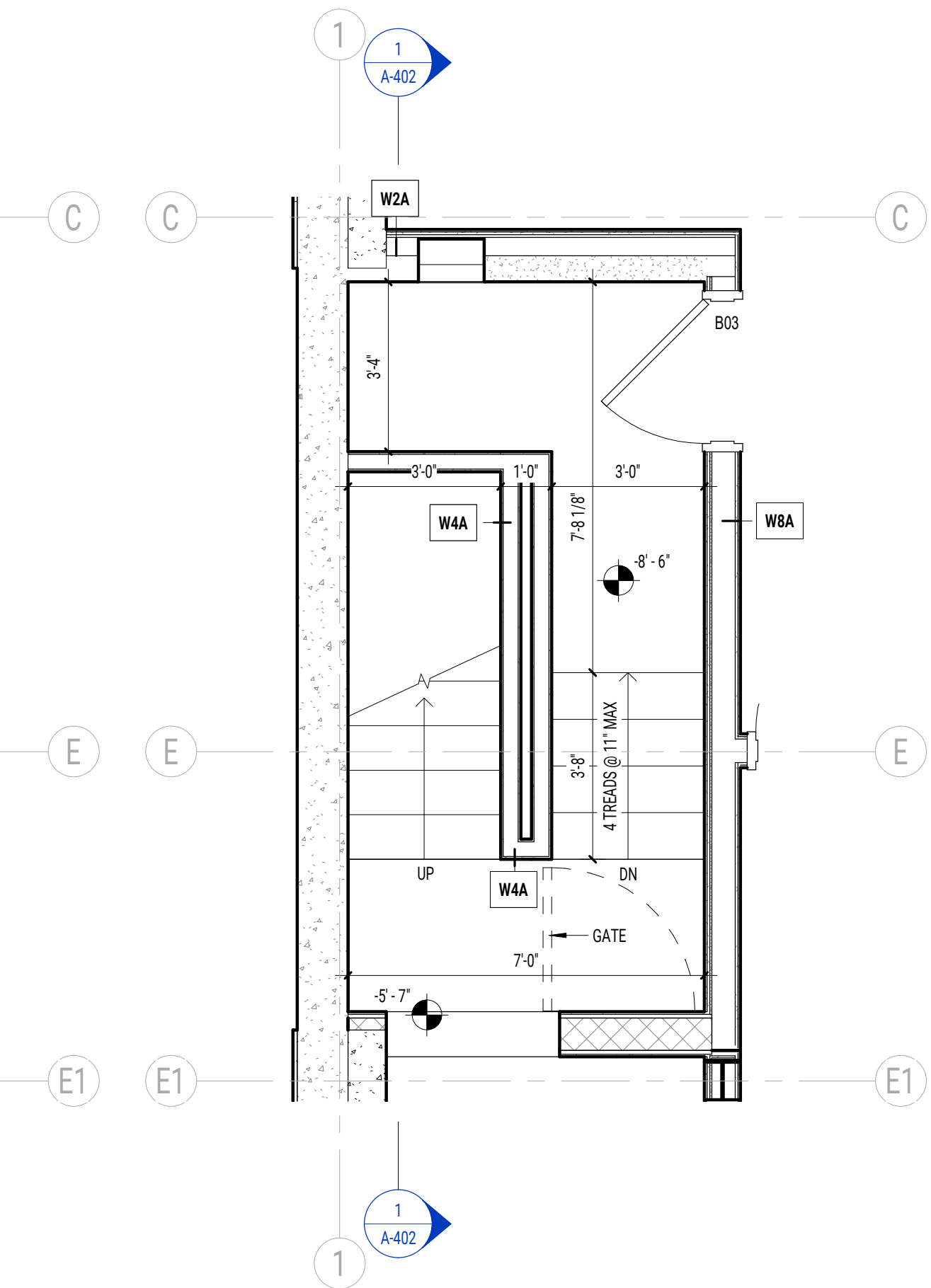
**7** STAIR 01 - LEVEL 6  
SCALE: 3/8" = 1'-0"



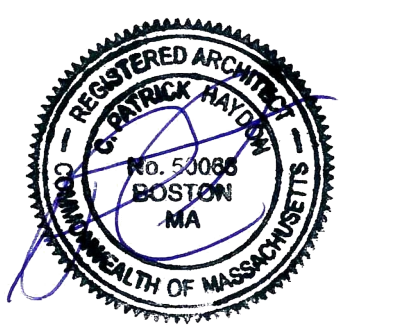
**5** STAIR 01 - LEVEL 4  
SCALE: 3/8" = 1'-0"



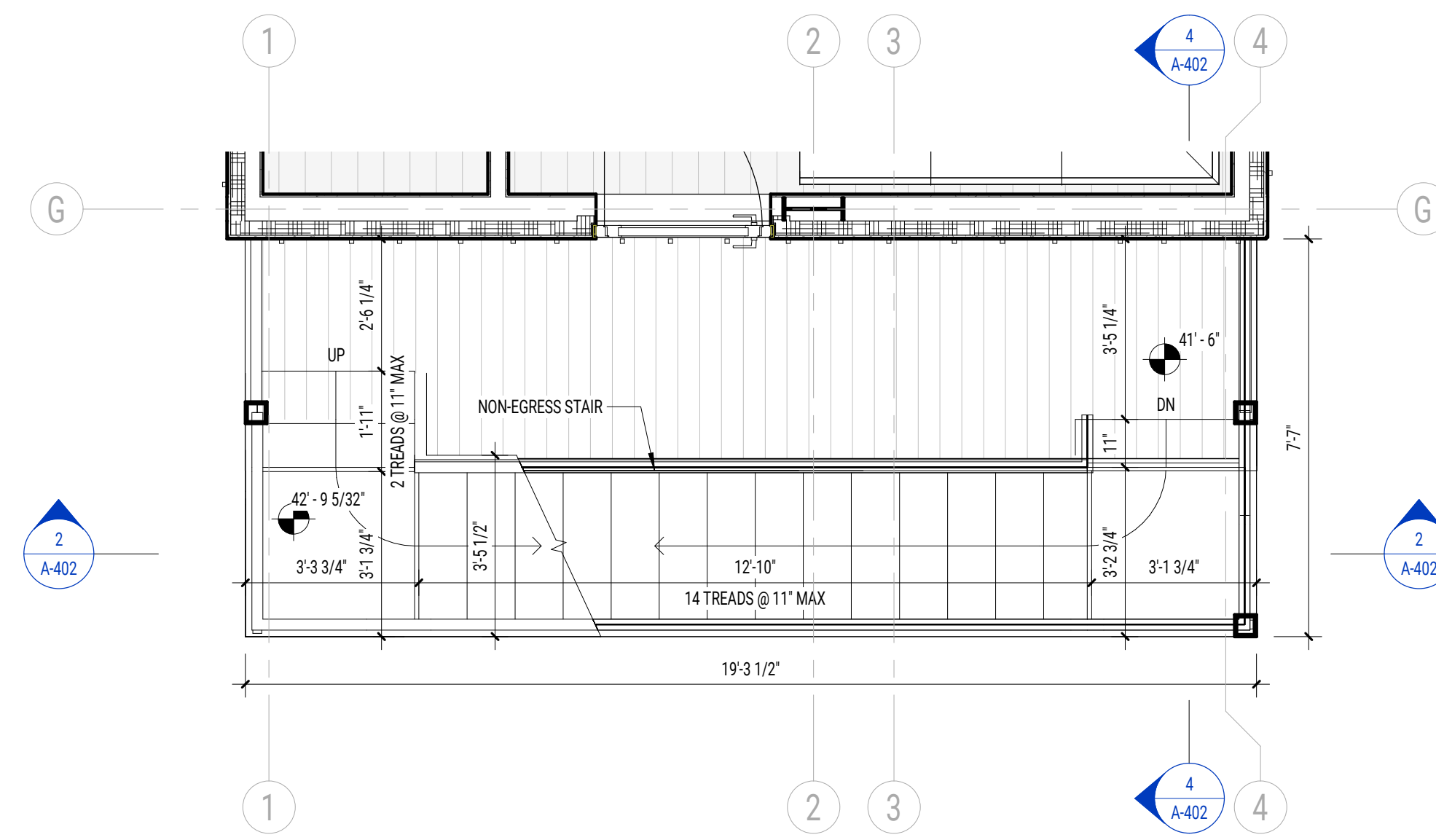
**3** STAIR 01 - LEVEL 2  
SCALE: 3/8" = 1'-0"



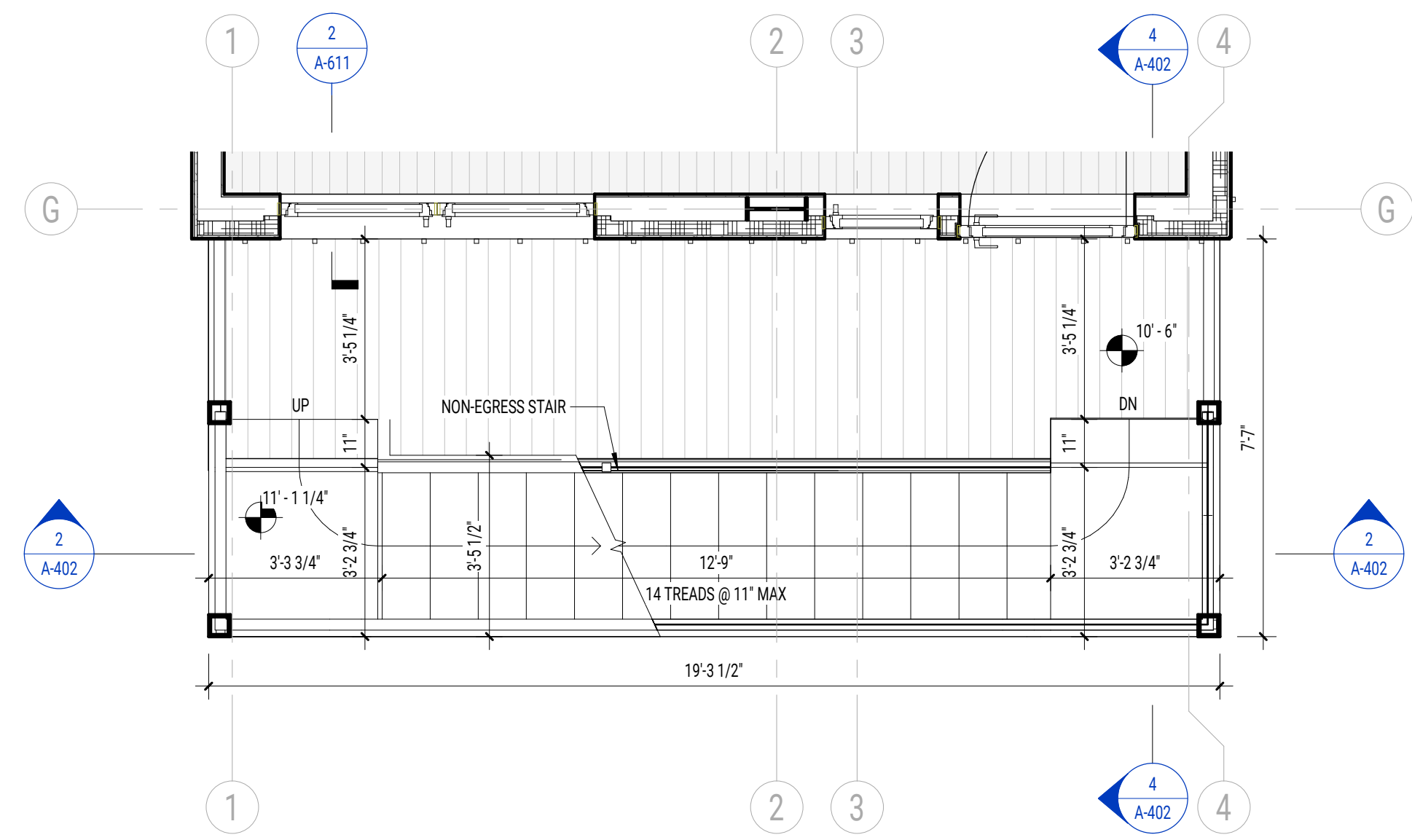
**1** STAIR 01 - LEVEL 0  
SCALE: 3/8" = 1'-0"



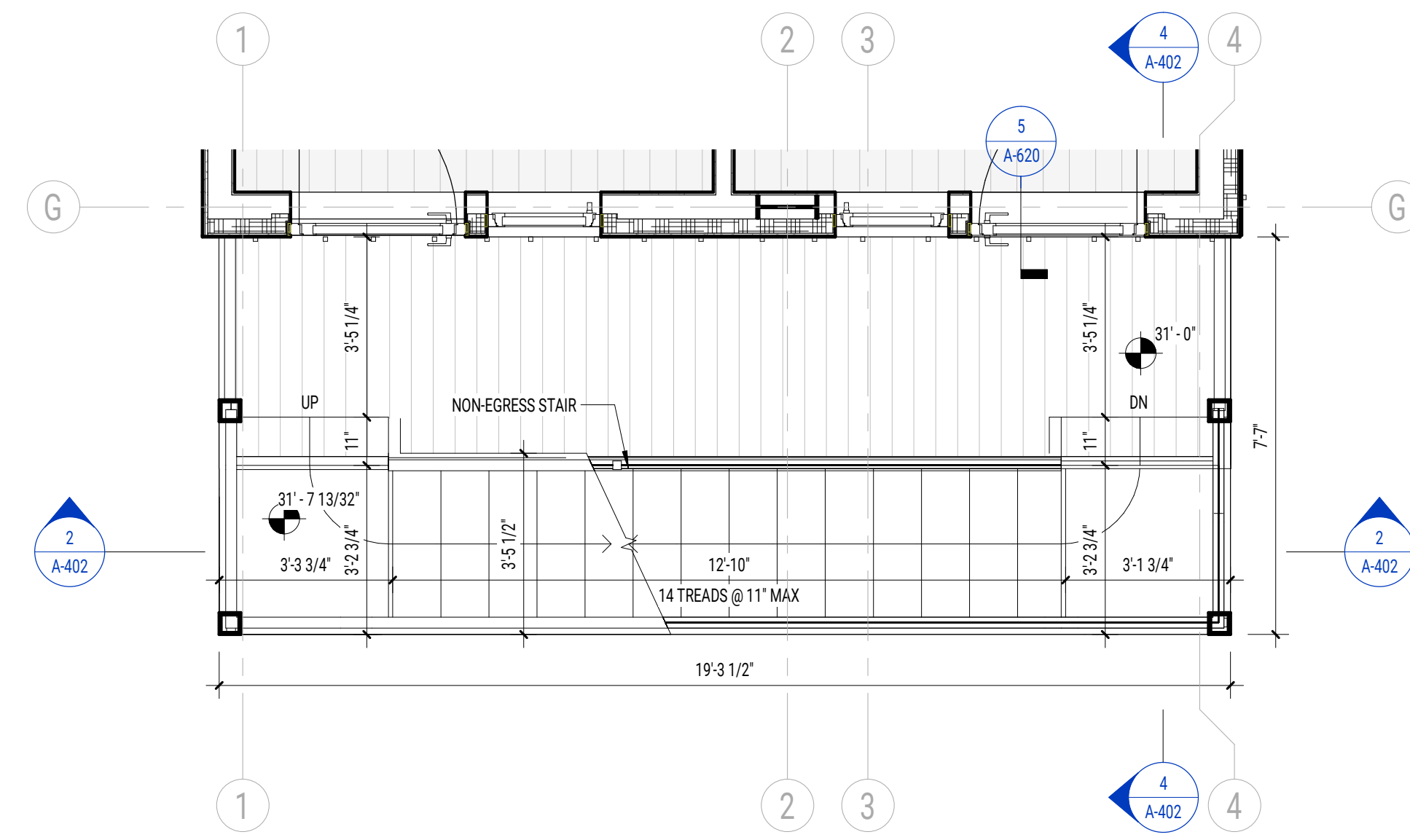
CONSULTANTS:



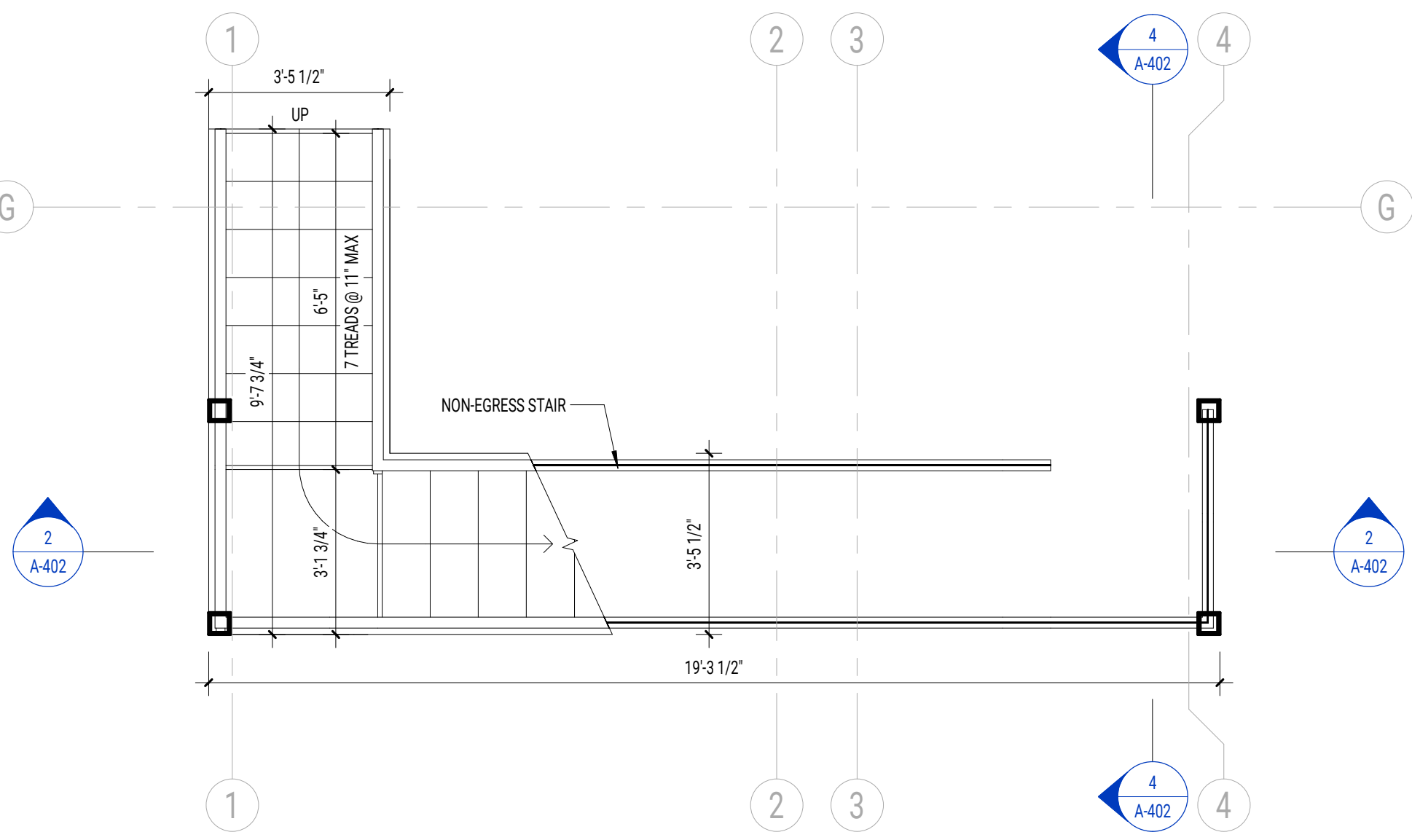
**6** STAIR 02 - LEVEL 5  
SCALE: 3/8" = 1'-0"



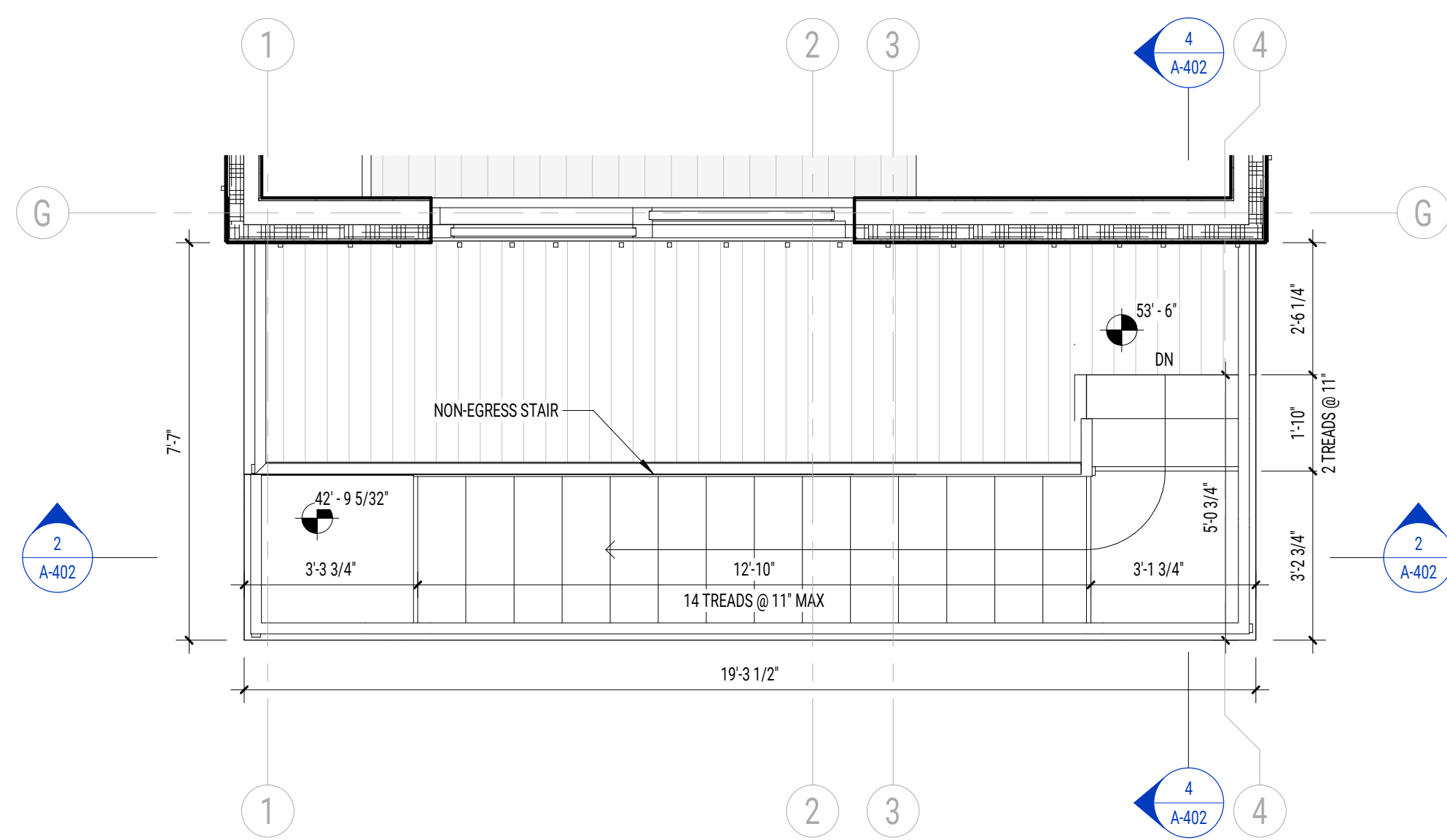
**3** STAIR 02 - LEVEL 2  
SCALE: 3/8" = 1'-0"



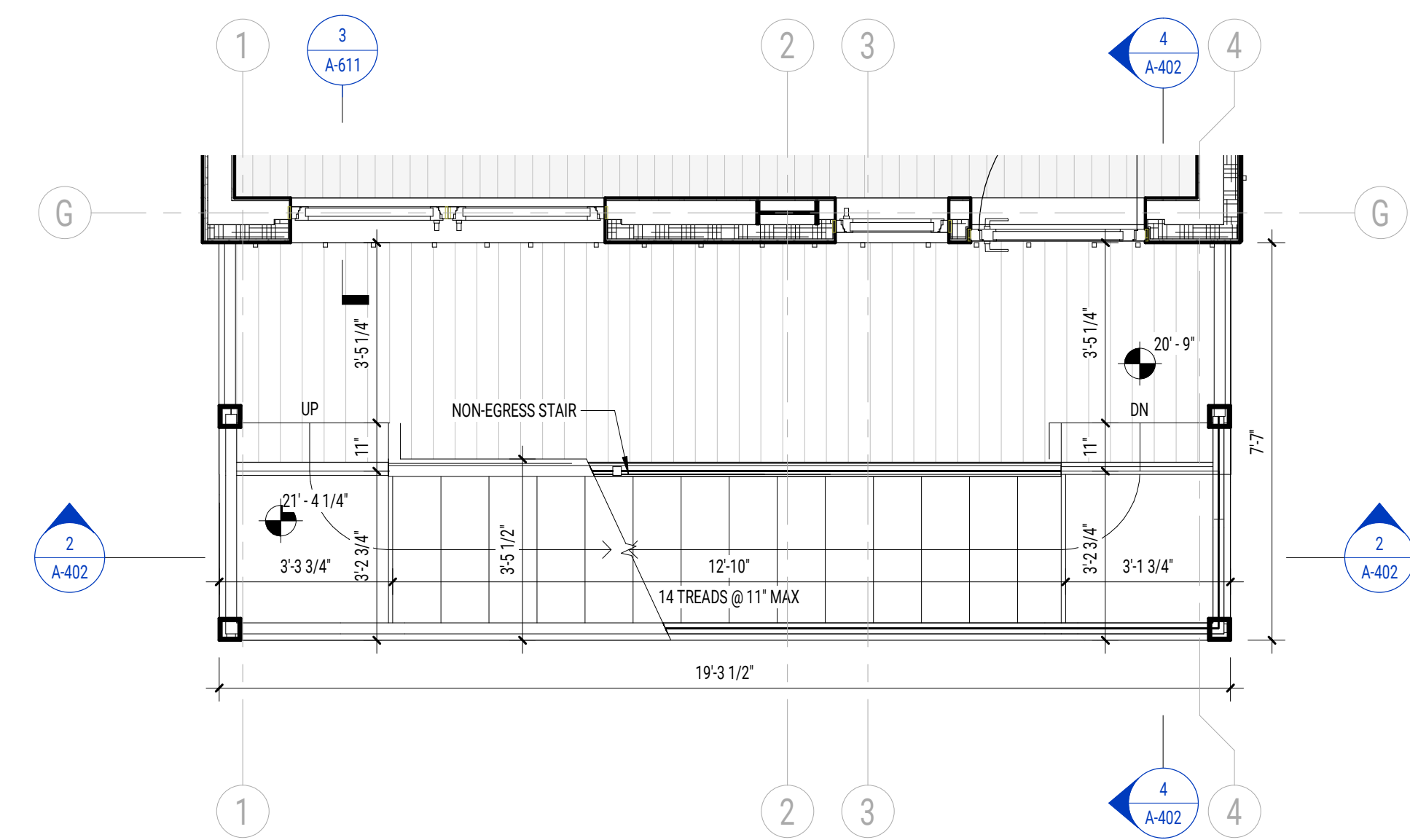
**5** STAIR 02 - LEVEL 4  
SCALE: 3/8" = 1'-0"



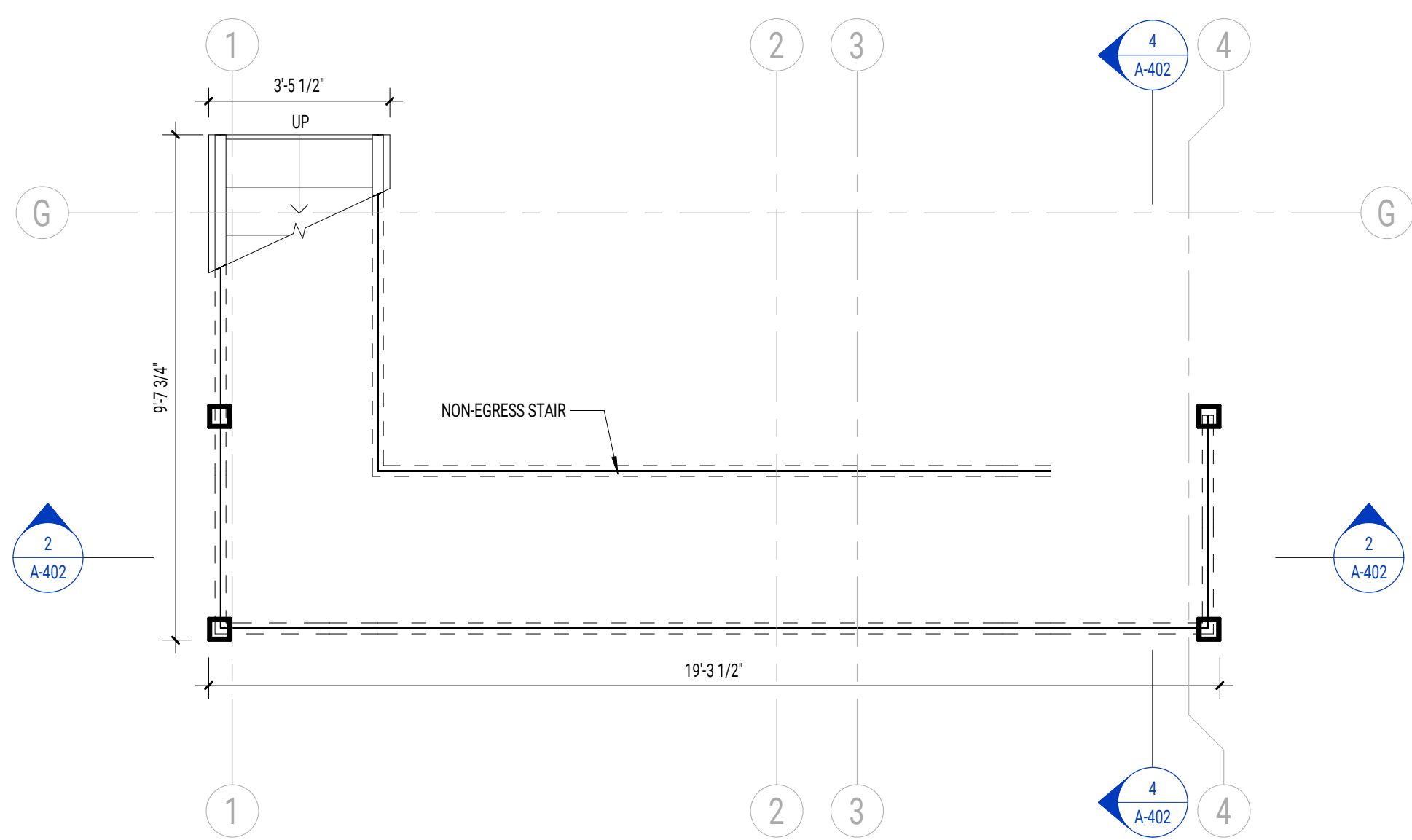
**2** STAIR 02 - LEVEL 1  
SCALE: 3/8" = 1'-0"



**7** STAIR 02 - LEVEL 6  
SCALE: 3/8" = 1'-0"



**4** STAIR 02 - LEVEL 3  
SCALE: 3/8" = 1'-0"



**1** STAIR 02 - LEVEL 0  
SCALE: 3/8" = 1'-0"

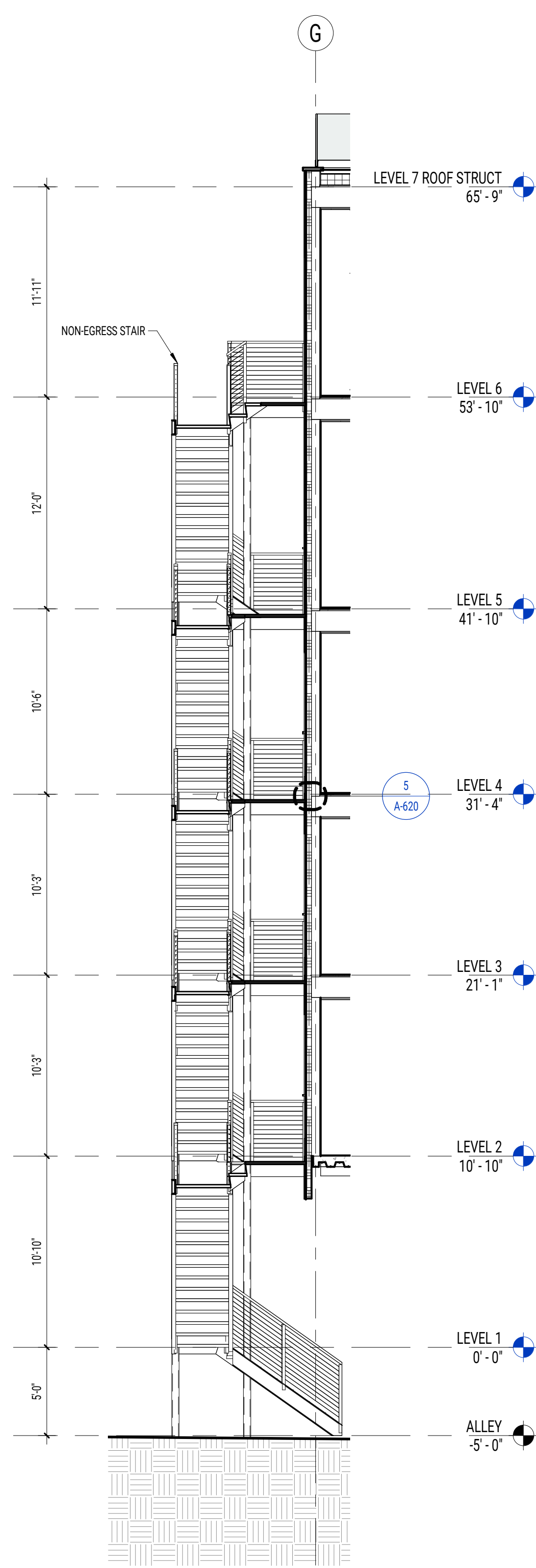
ISSUE FOR PERMIT



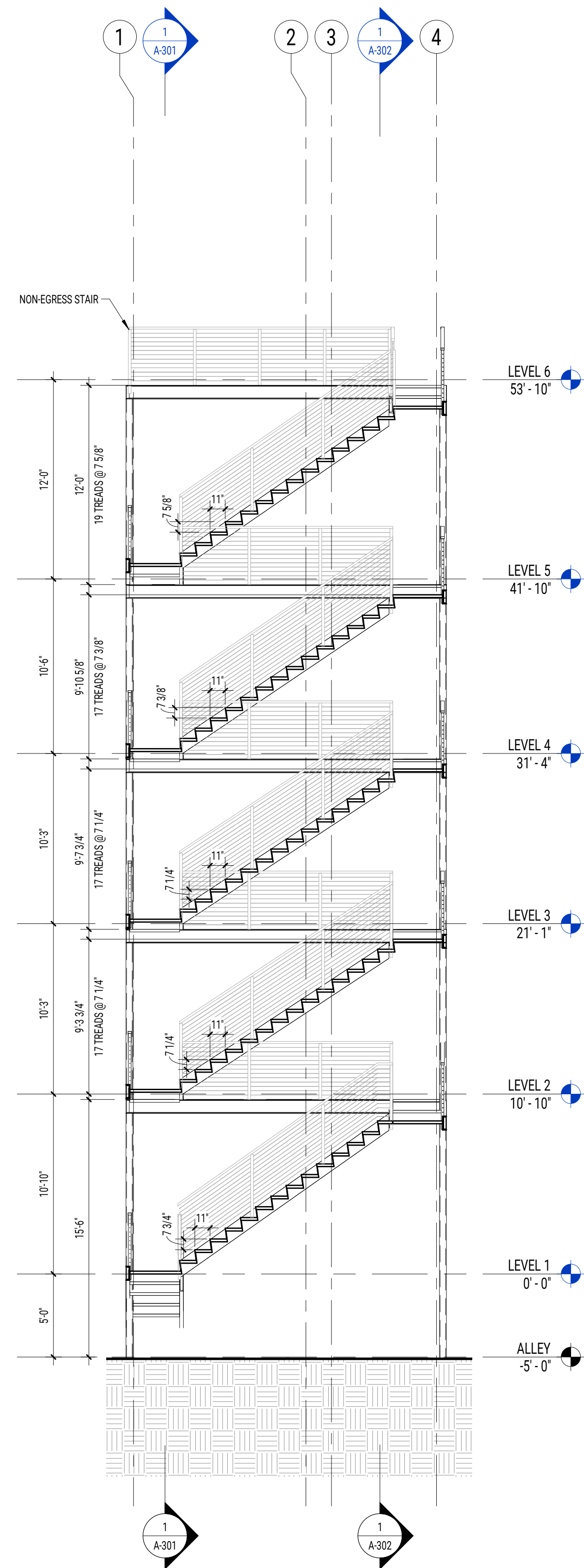
MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**  
ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115  
DATE ISSUED: 05 OCT 2022  
PROJECT #: 21012  
SCALE: 3/8" = 1'-0"  
DRAWN BY: ED, MN, AY

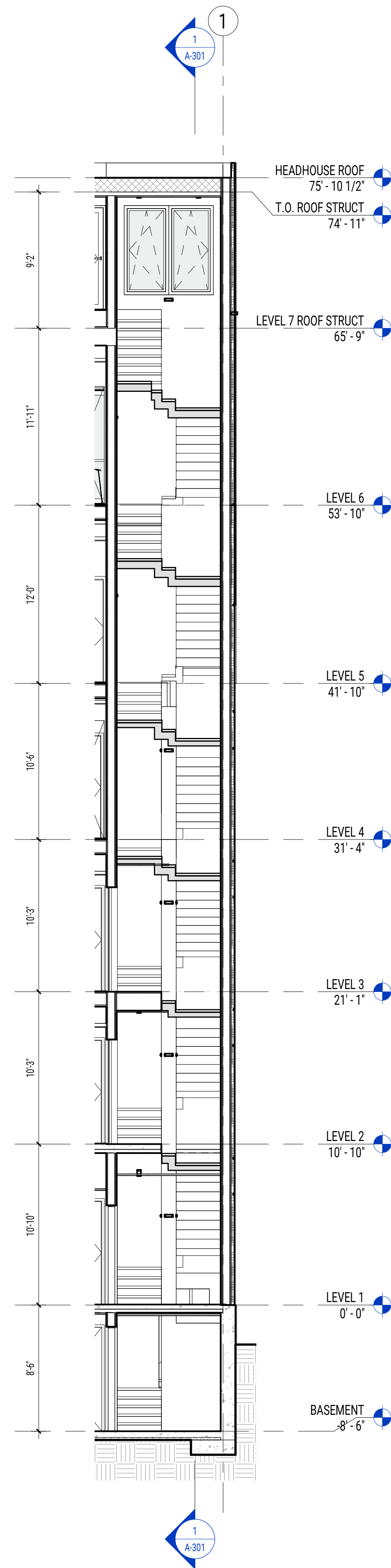
STAIR 02 PLANS



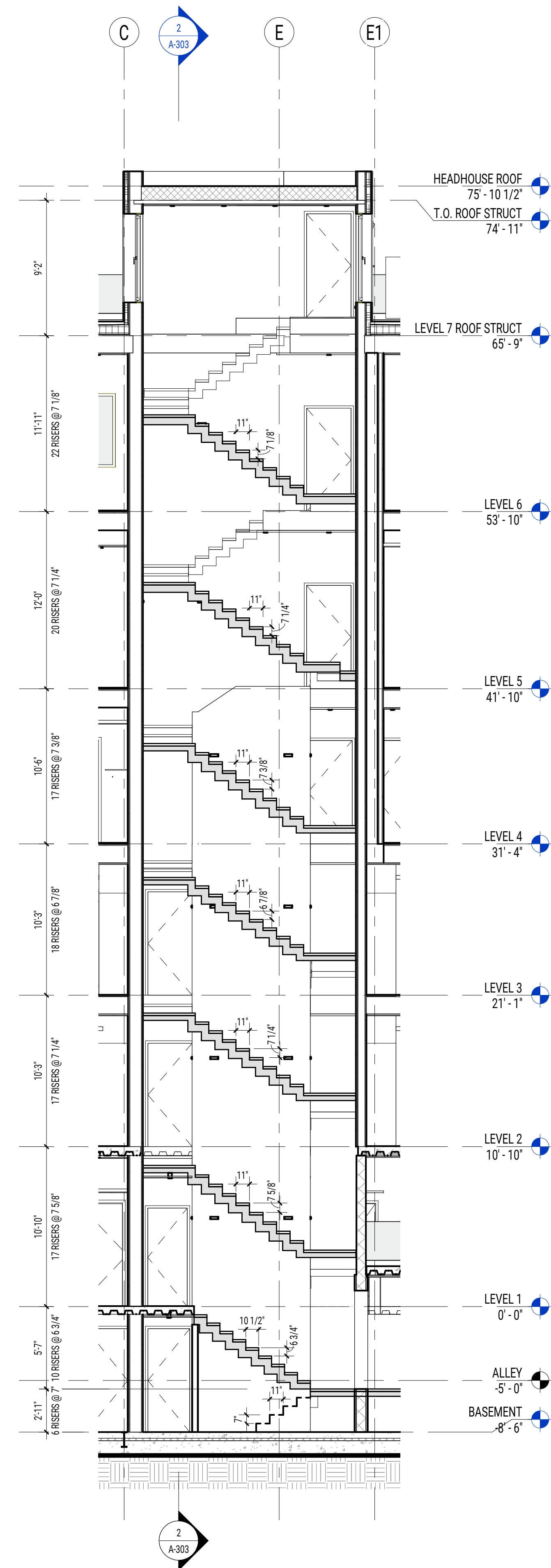
**4** STAIR 02 - SHORT SECTION  
SCALE: 3/16" = 1'-0"



**2** STAIR 02 - LONG SECTION  
SCALE: 3/16" = 1'-0"



**3** STAIR 01 - SHORT SECTION  
SCALE: 3/16" = 1'-0"



**1** STAIR 01 - LONG SECTION  
SCALE: 3/16" = 1'-0"

CONSULTANTS:

ISSUE FOR PERMIT

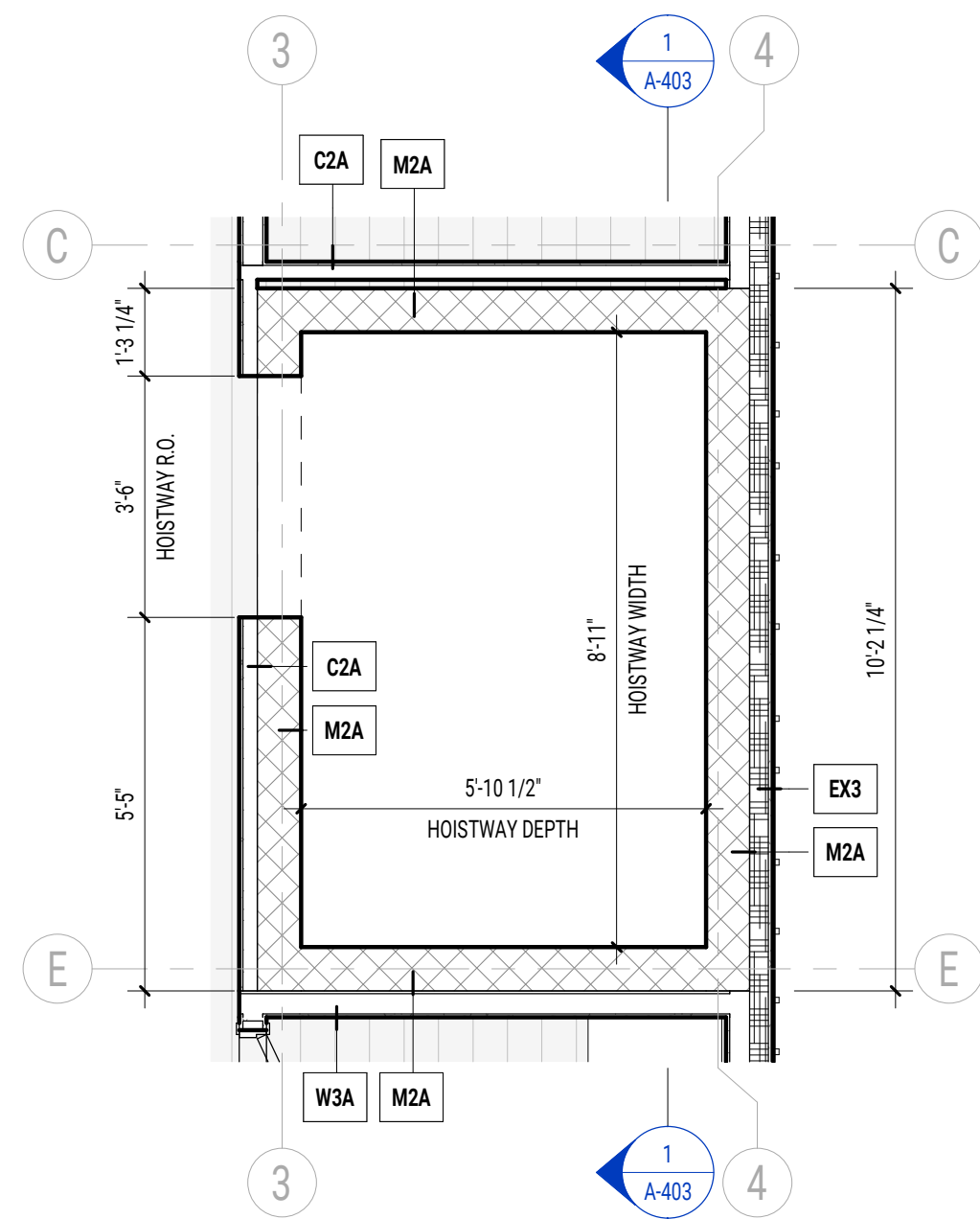
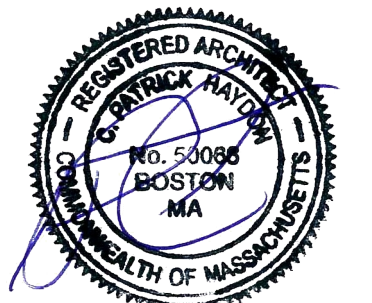


MARK: DATE: DESCRIPTION:  
ISSUE LOG:

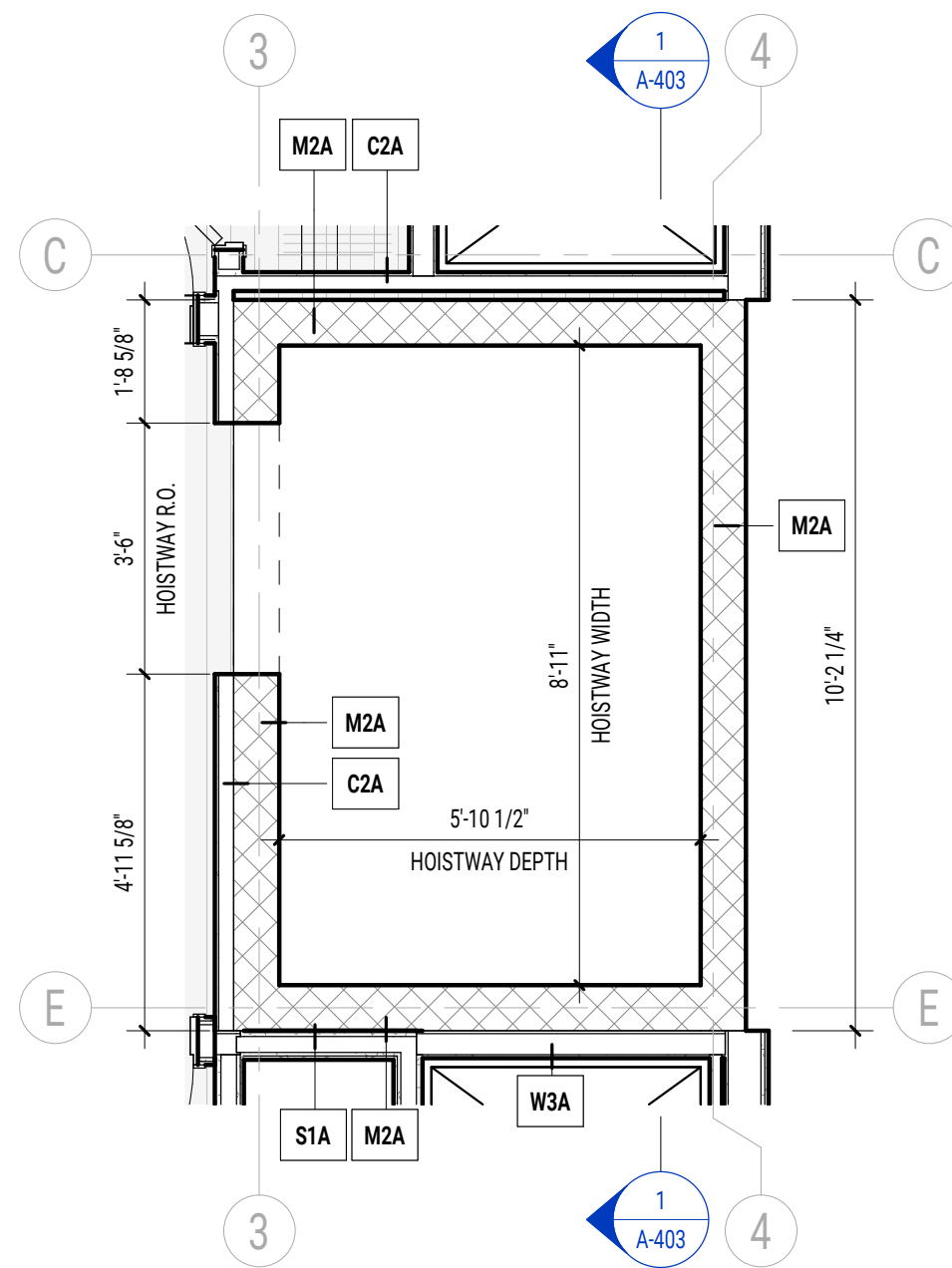
PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115  
DATE ISSUED: 05 OCT 2022  
PROJECT #: 21012  
SCALE: 3/16" = 1'-0"  
DRAWN BY: ED, MN, AY

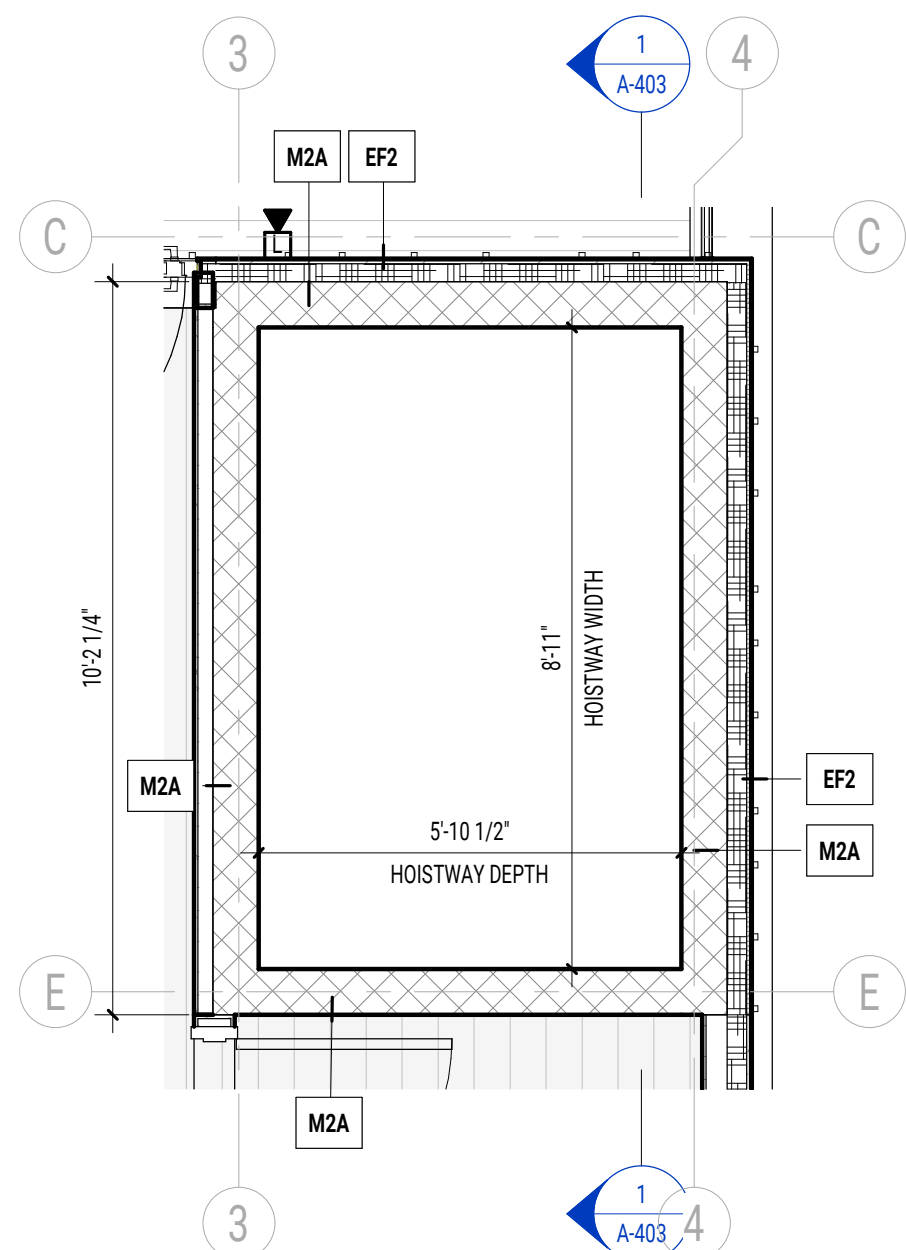
STAIR 01 & STAIR 02  
SECTIONS



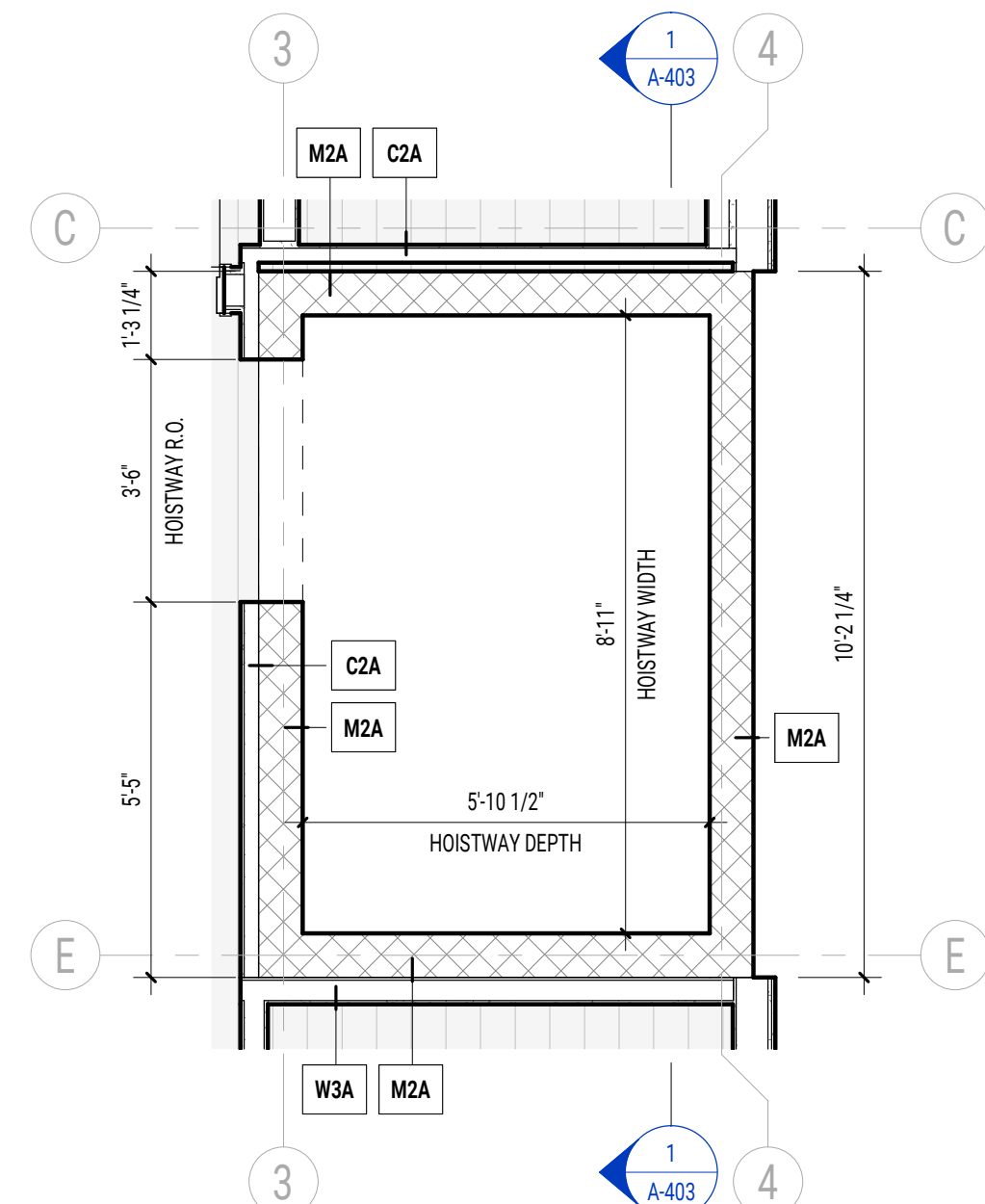
**8** ELEVATOR - LEVEL 5  
SCALE: 3/8" = 1'-0"



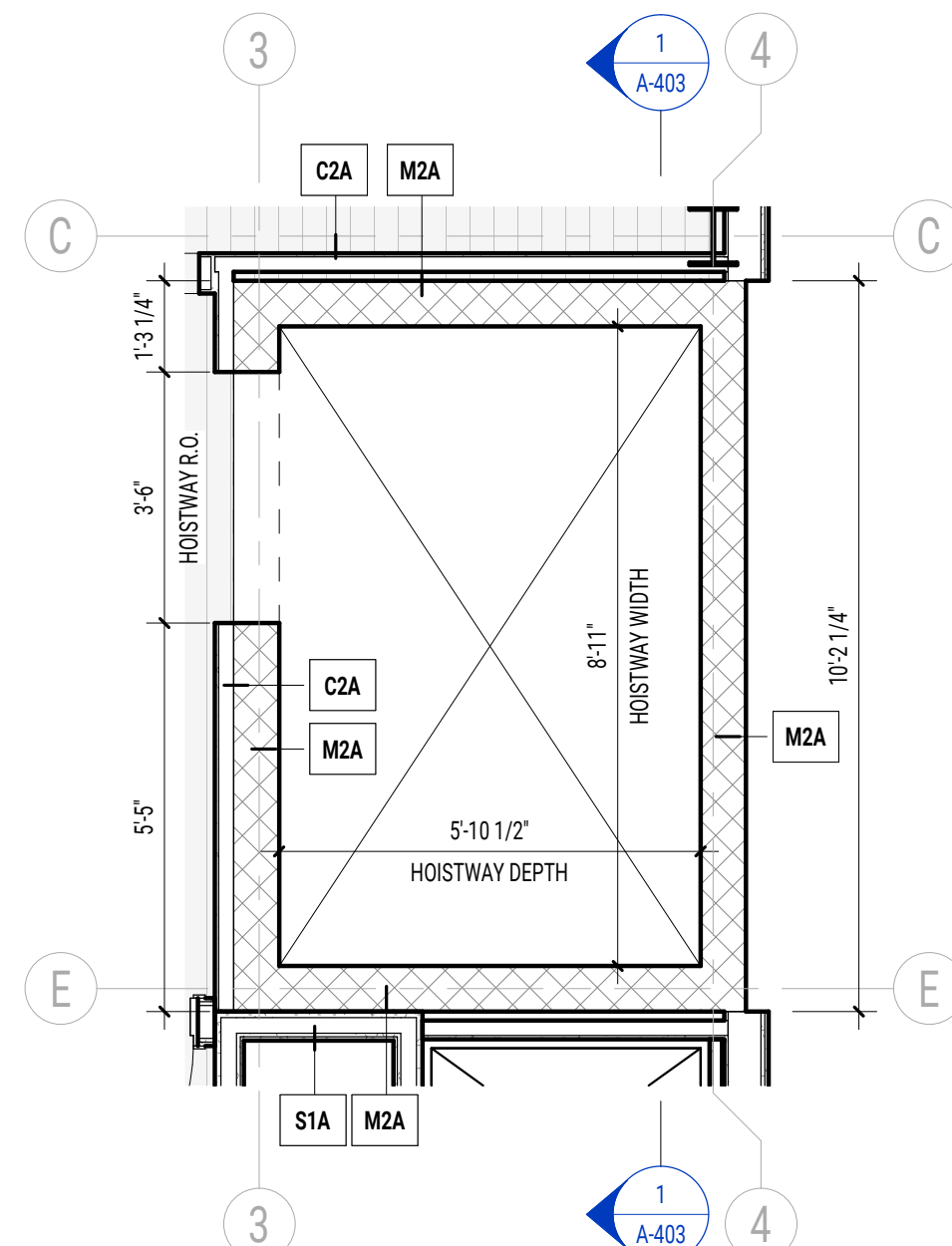
**5** ELEVATOR - LEVEL 2  
SCALE: 3/8" = 1'-0"



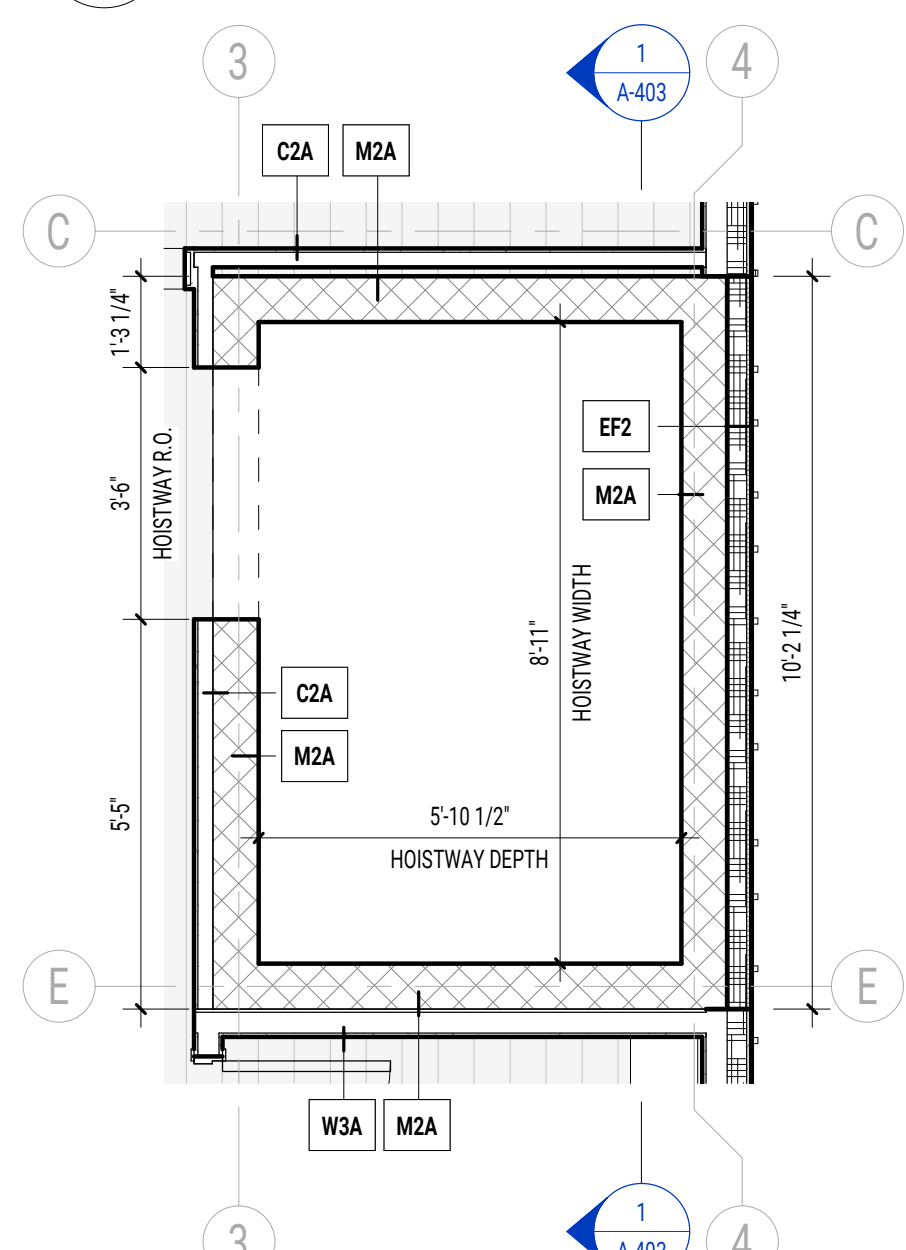
**10** ELEVATOR - LEVEL 7  
SCALE: 3/8" = 1'-0"



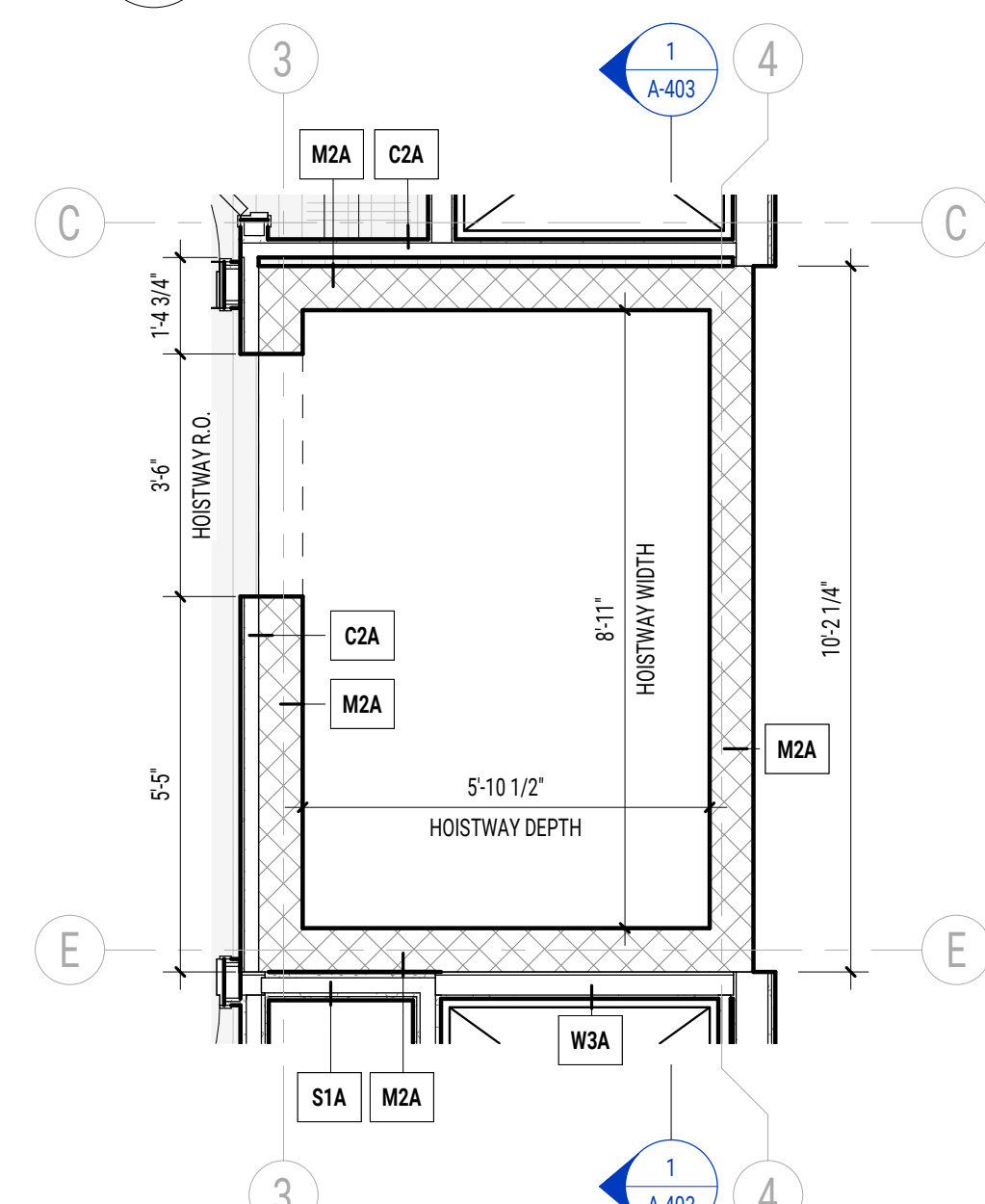
**7** ELEVATOR - LEVEL 4  
SCALE: 3/8" = 1'-0"



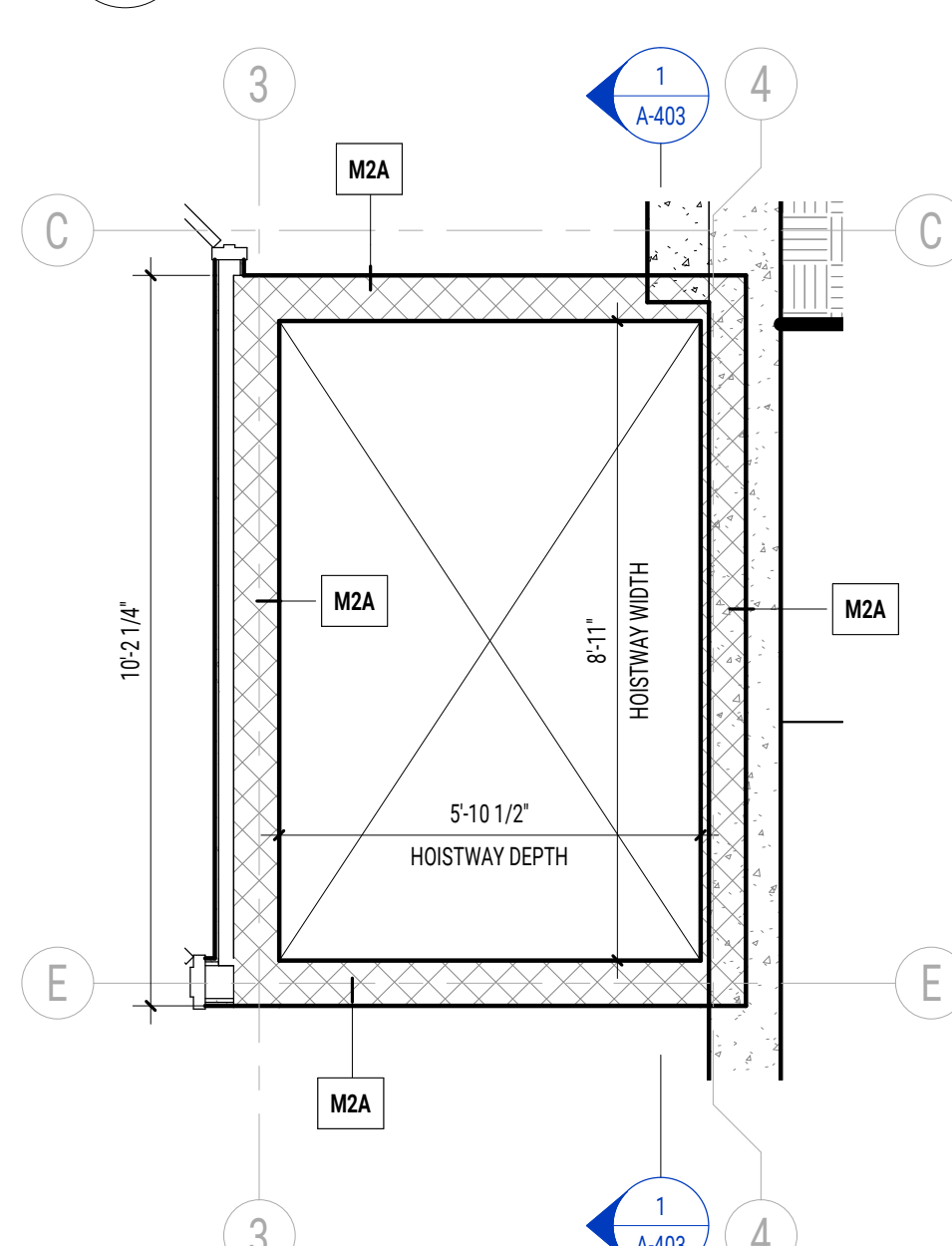
**4** ELEVATOR - LEVEL 1  
SCALE: 3/8" = 1'-0"



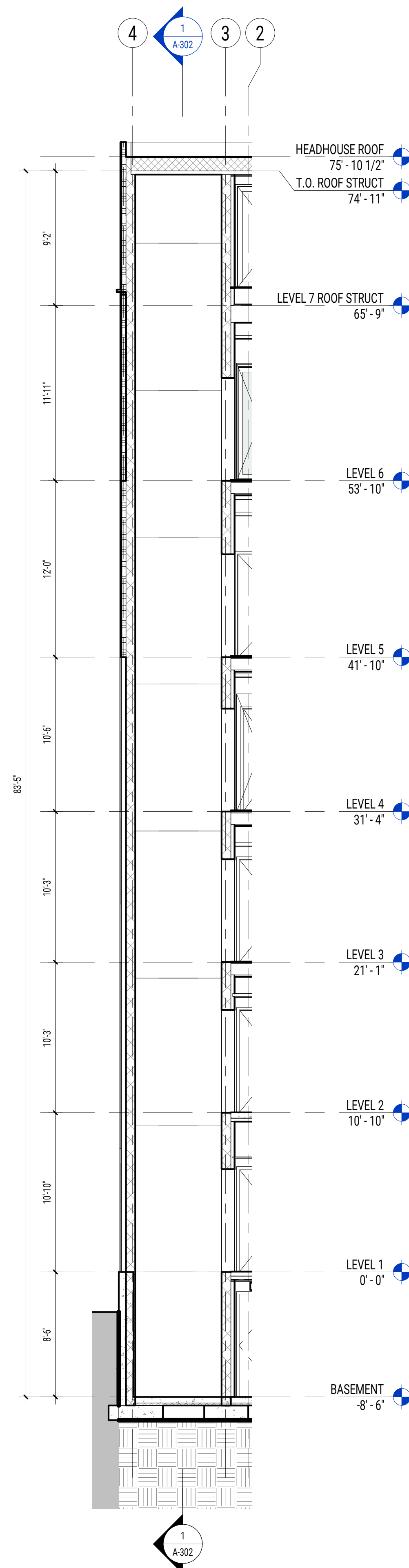
**9** ELEVATOR - LEVEL 6  
SCALE: 3/8" = 1'-0"



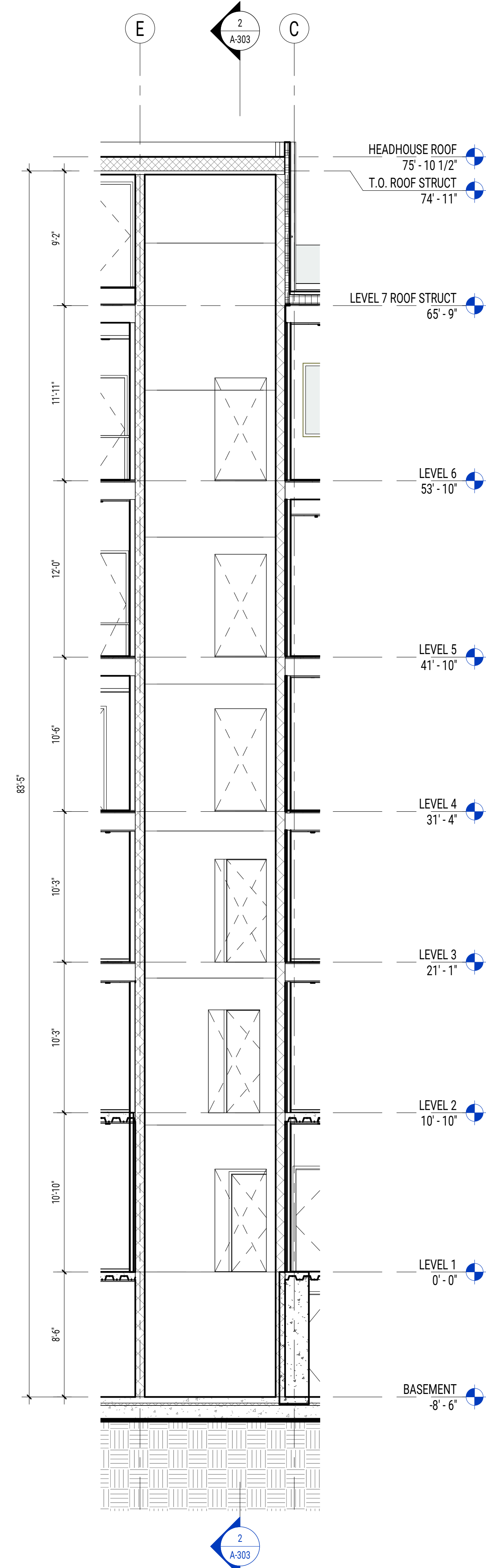
**6** ELEVATOR - LEVEL 3  
SCALE: 3/8" = 1'-0"



**3** ELEVATOR - LEVEL 0  
SCALE: 3/8" = 1'-0"

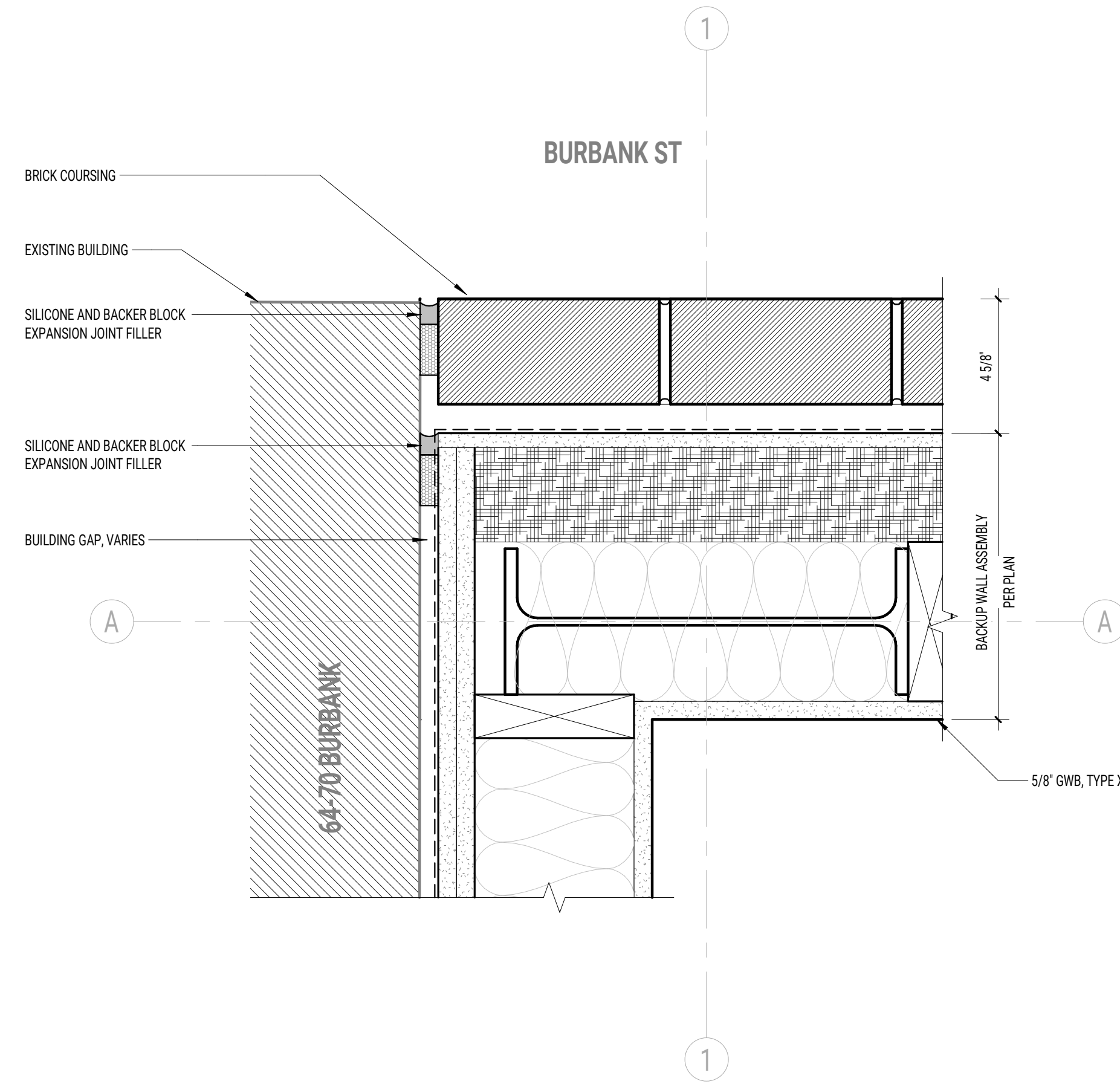


**2** ELEVATOR - SHORT SECTION  
SCALE: 3/16" = 1'-0"

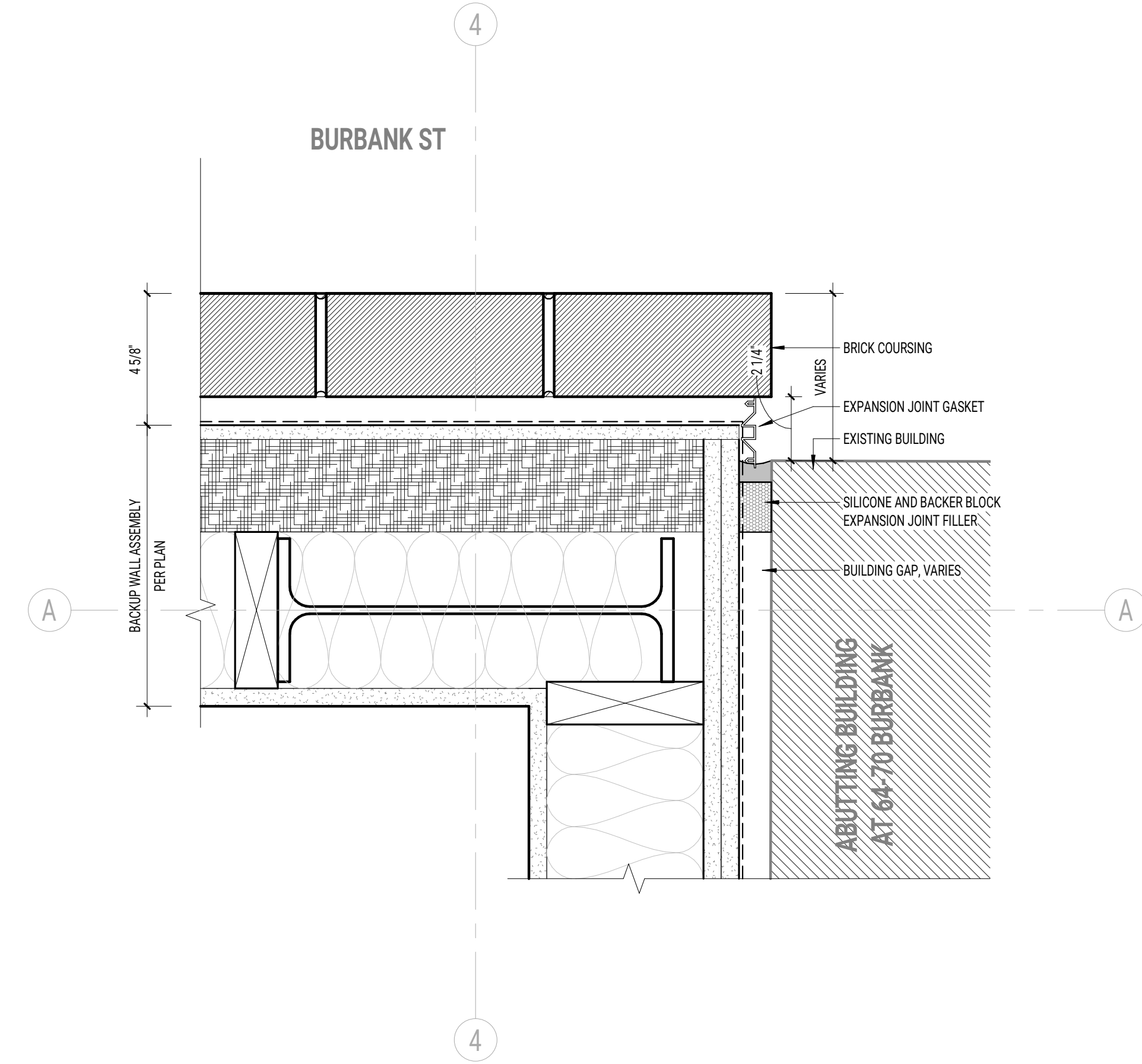


**1** ELEVATOR - LONG SECTION  
SCALE: 3/16" = 1'-0"

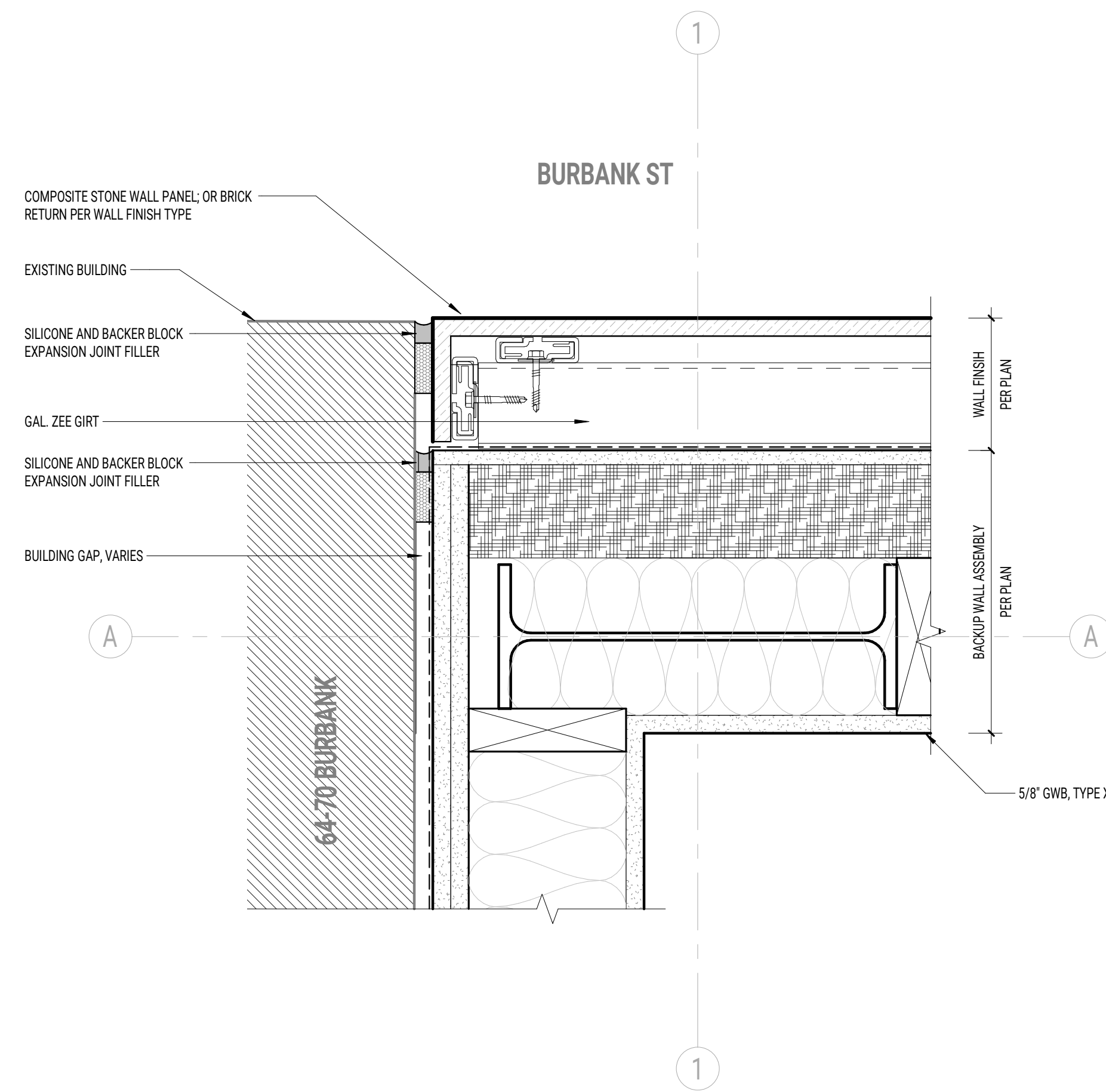
CONSULTANTS:



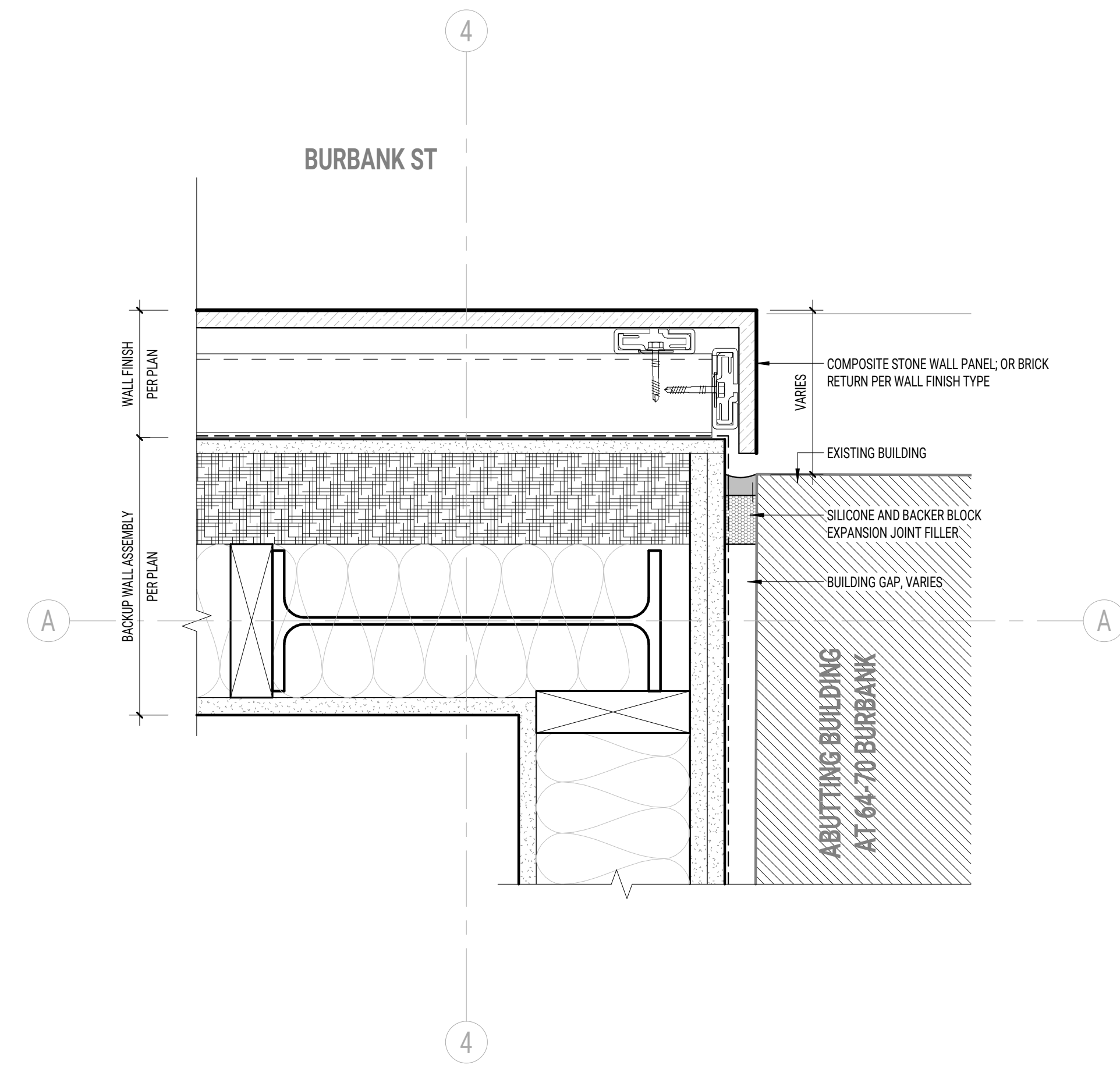
**4** PARTY WALL DETAIL 2  
SCALE: 3" = 1'-0"



**3** PARTY WALL DETAIL 1  
SCALE: 3" = 1'-0"



**2** PARTY WALL DETAIL 01  
SCALE: 3" = 1'-0"



**1** PARTY WALL DETAIL 02  
SCALE: 3" = 1'-0"

ISSUE FOR PERMIT



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PROJECT NAME:

**58 BURBANK**

ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

SCALE: 3" = 1'-0"

DRAWN BY: ED, MN, AY

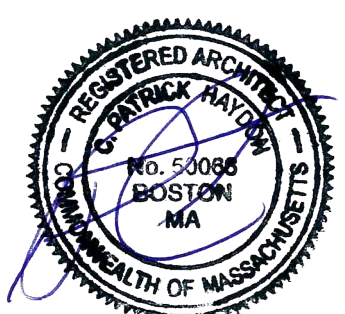
EXTERIOR PLAN DETAILS

**A-601**



CONSULTANTS:

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ISSUE LOG:

PROJECT NAME:

**58 BURBANK**

ADDRESS:

58 BURBANK STREET  
BOSTON, MA, 02115

DATE ISSUED: 05 OCT 2022

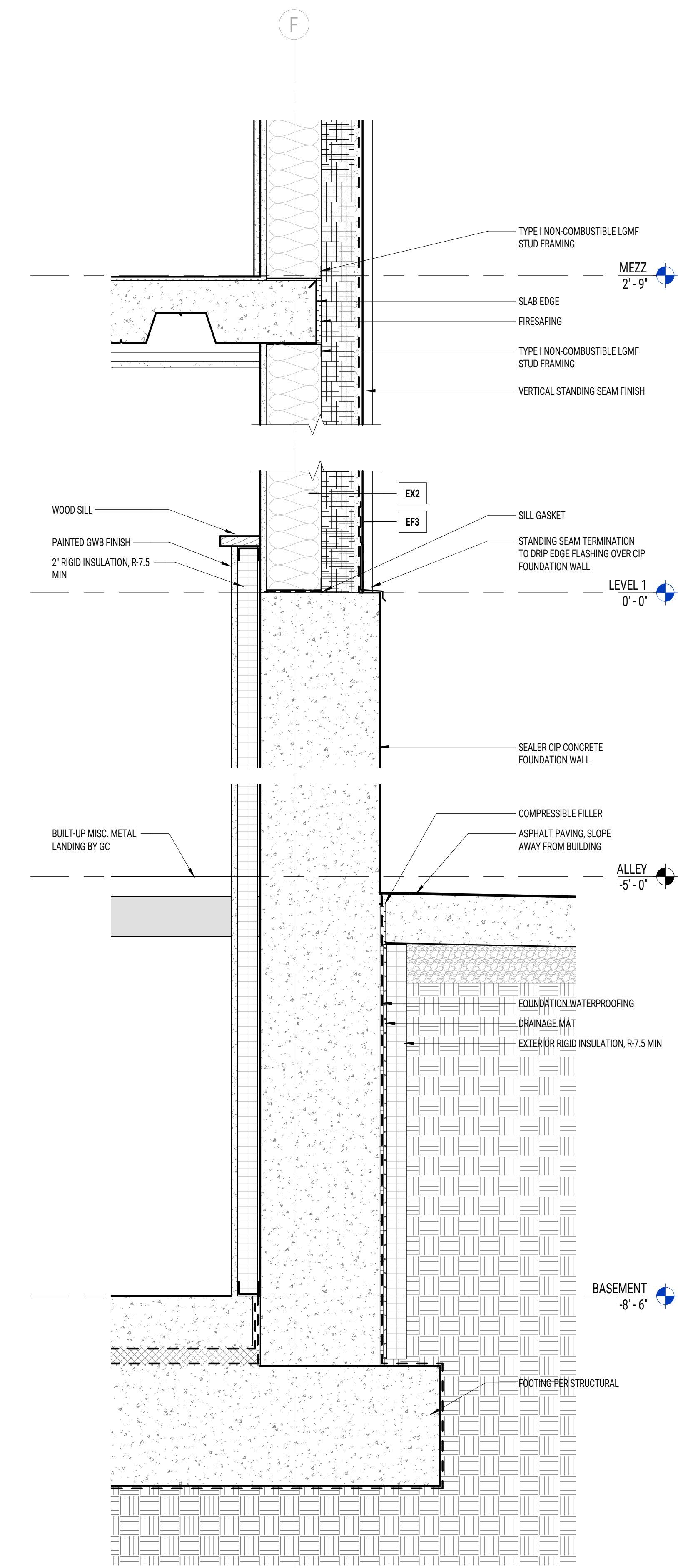
PROJECT #: 21012

SCALE: 1 1/2" = 1'-0"

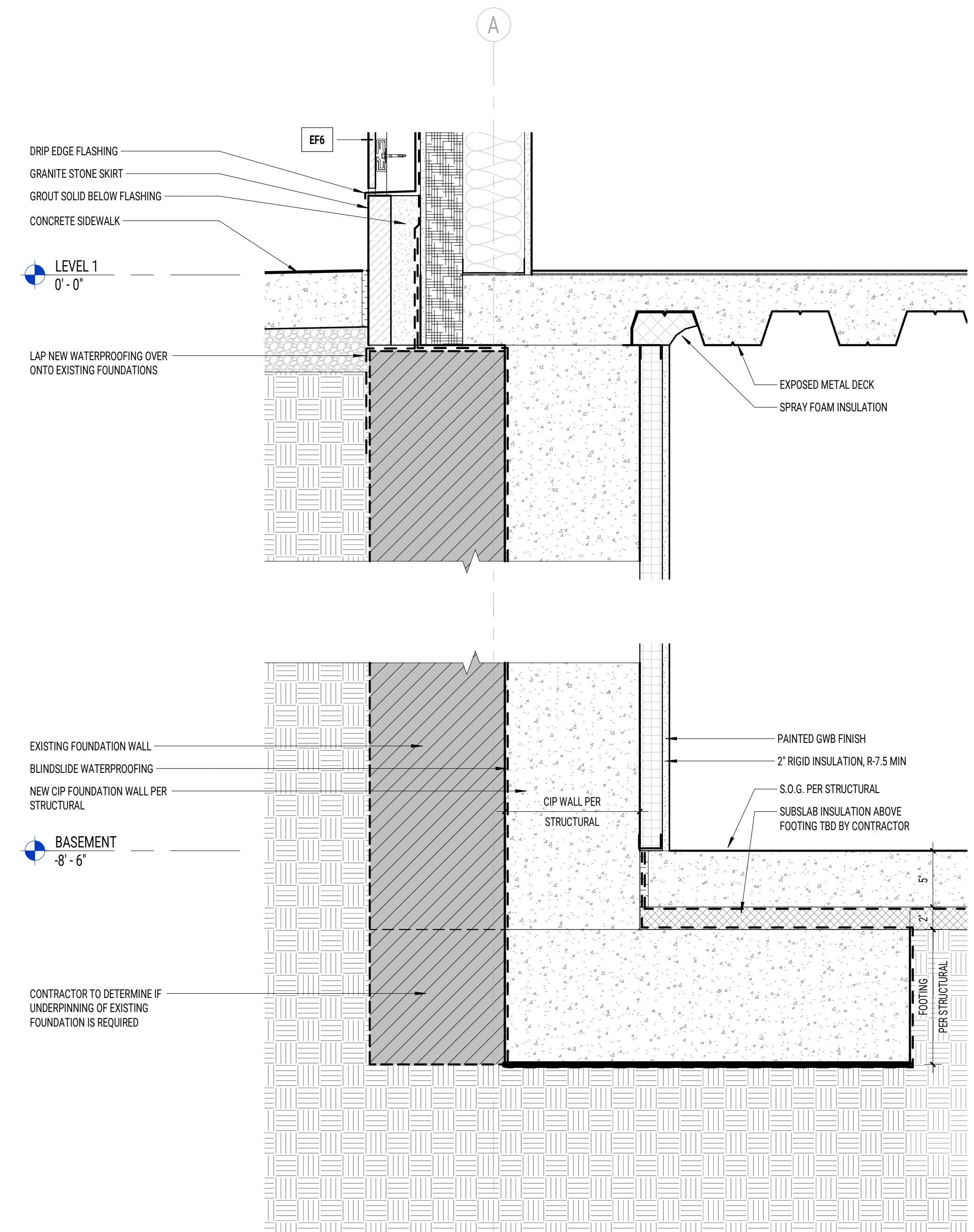
DRAWN BY: ED, MN, AY

EXTERIOR DETAILS -  
FOUNDATION

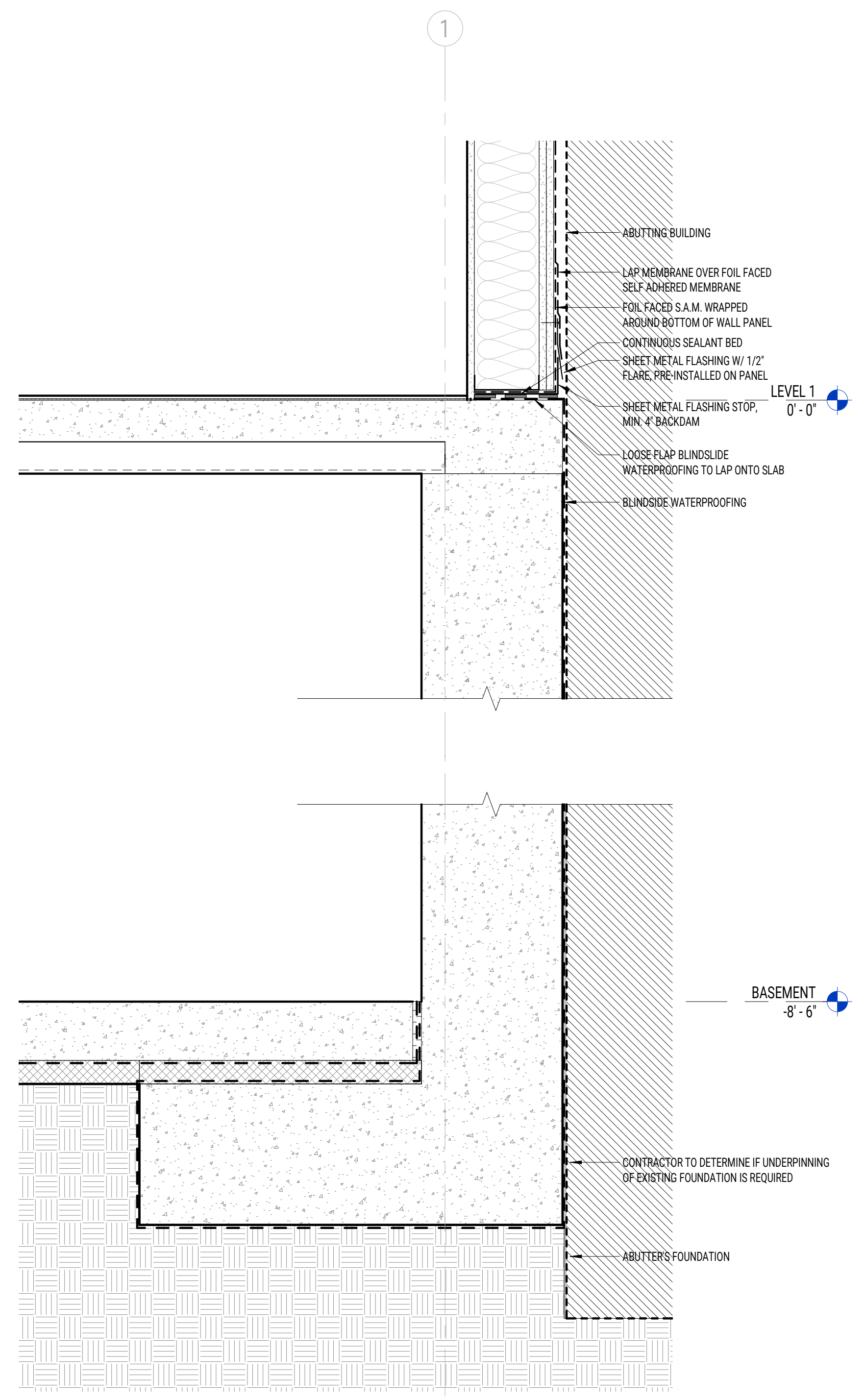
**A-610**



**1** TYP. FOUNDATION DETAIL AT REAR  
SCALE: 1 1/2" = 1'-0"



**2** TYP. OFFSET FOUNDATION DTL  
SCALE: 1 1/2" = 1'-0"



**3** DETAIL - FND @ SIDE  
SCALE: 1 1/2" = 1'-0"

CONSULTANTS:

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**58 BURBANK**

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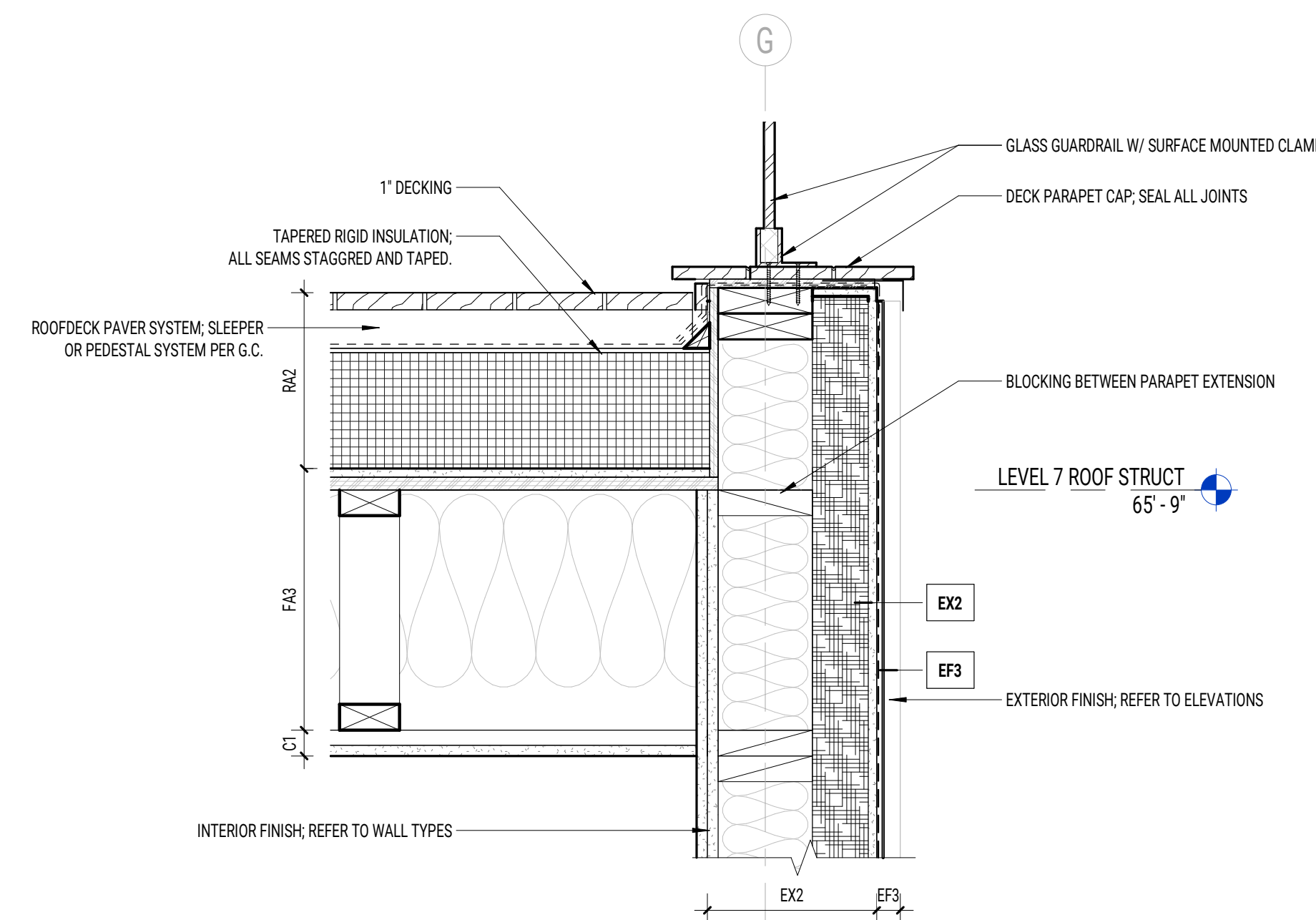
DATE ISSUED: 05 OCT 2022

PROJECT #: 21012

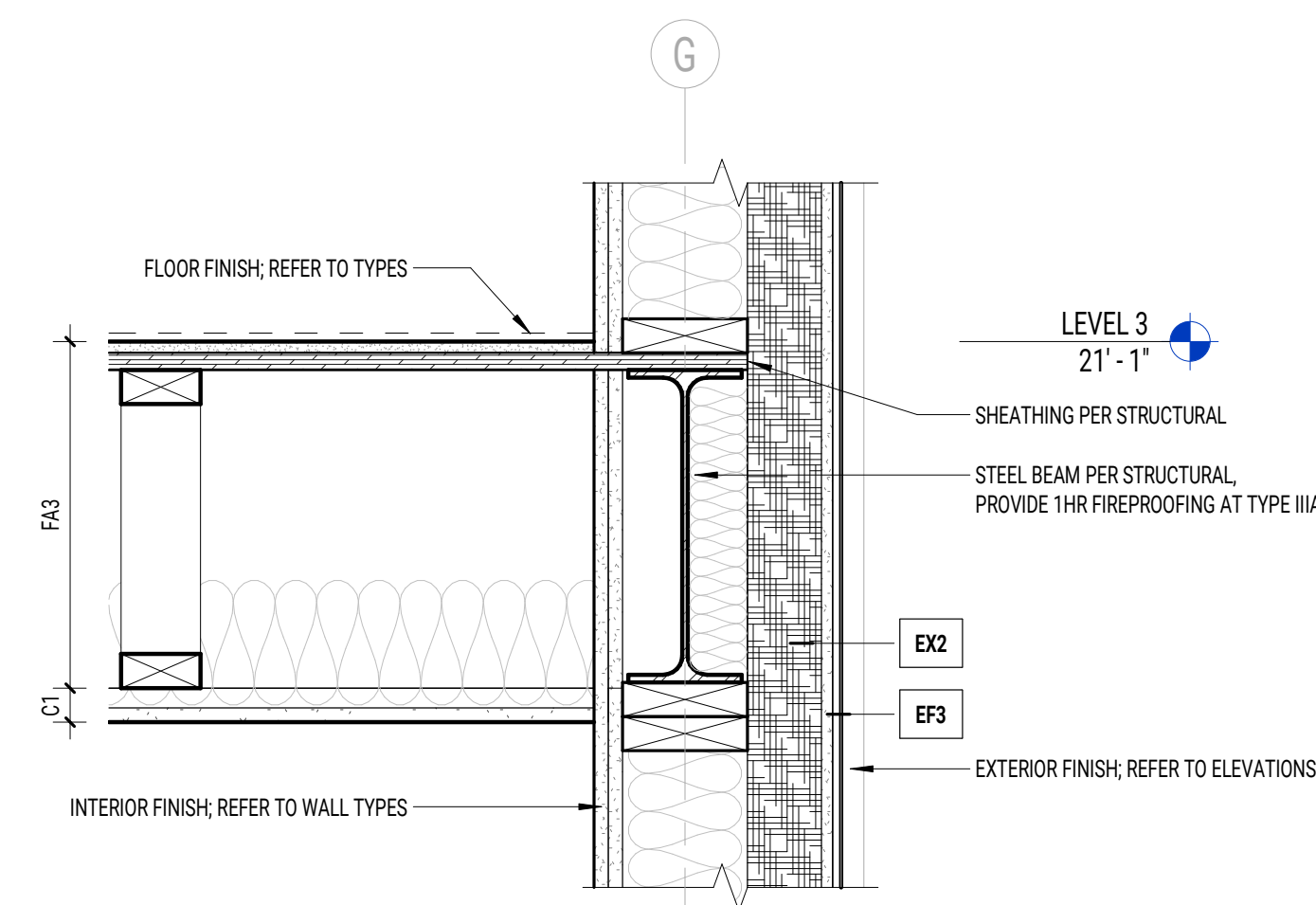
SCALE: 1 1/2" = 1'-0"

DRAWN BY: ED, MN, AY

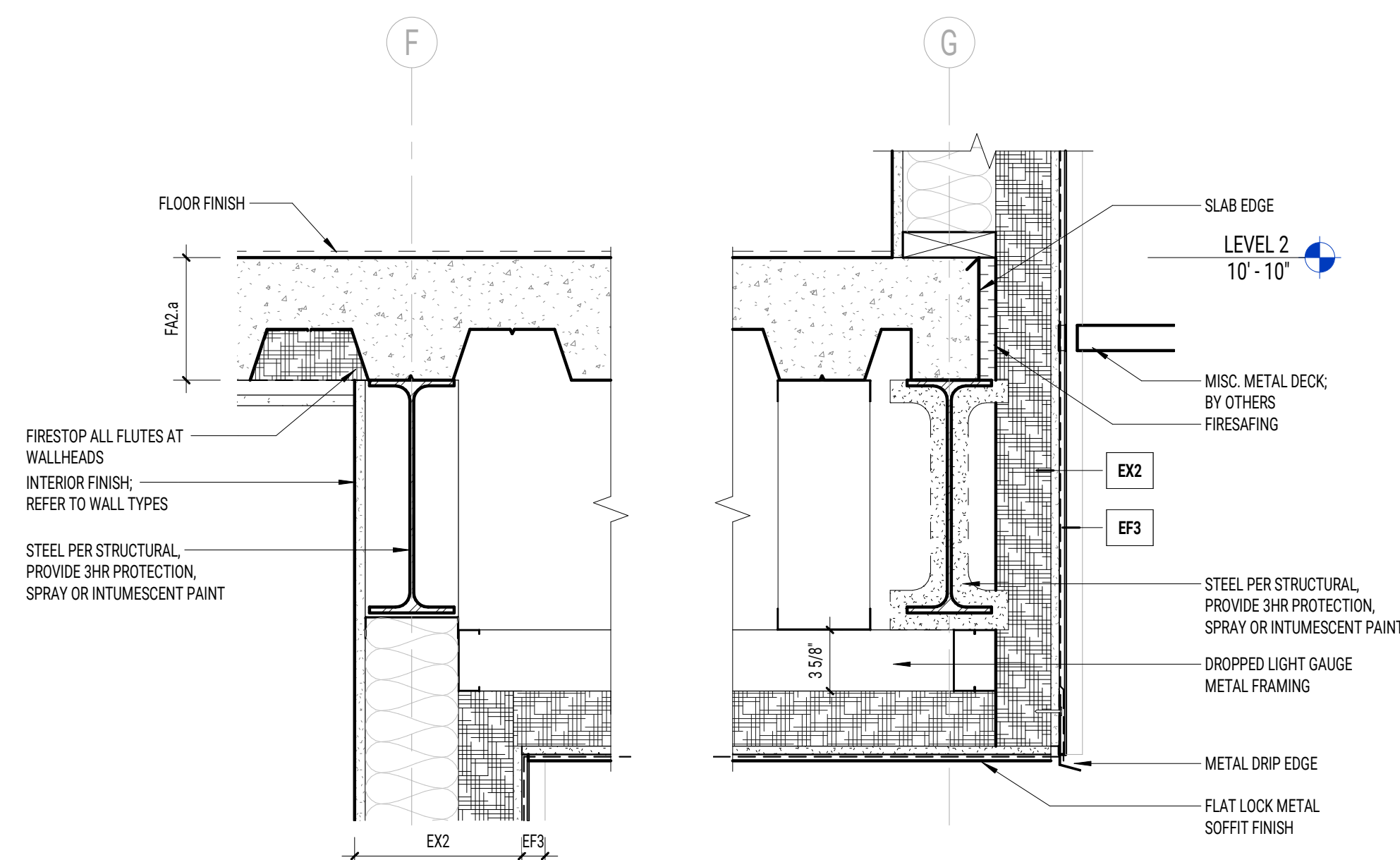
EXTERIOR DETAILS - EXTERIOR WALL



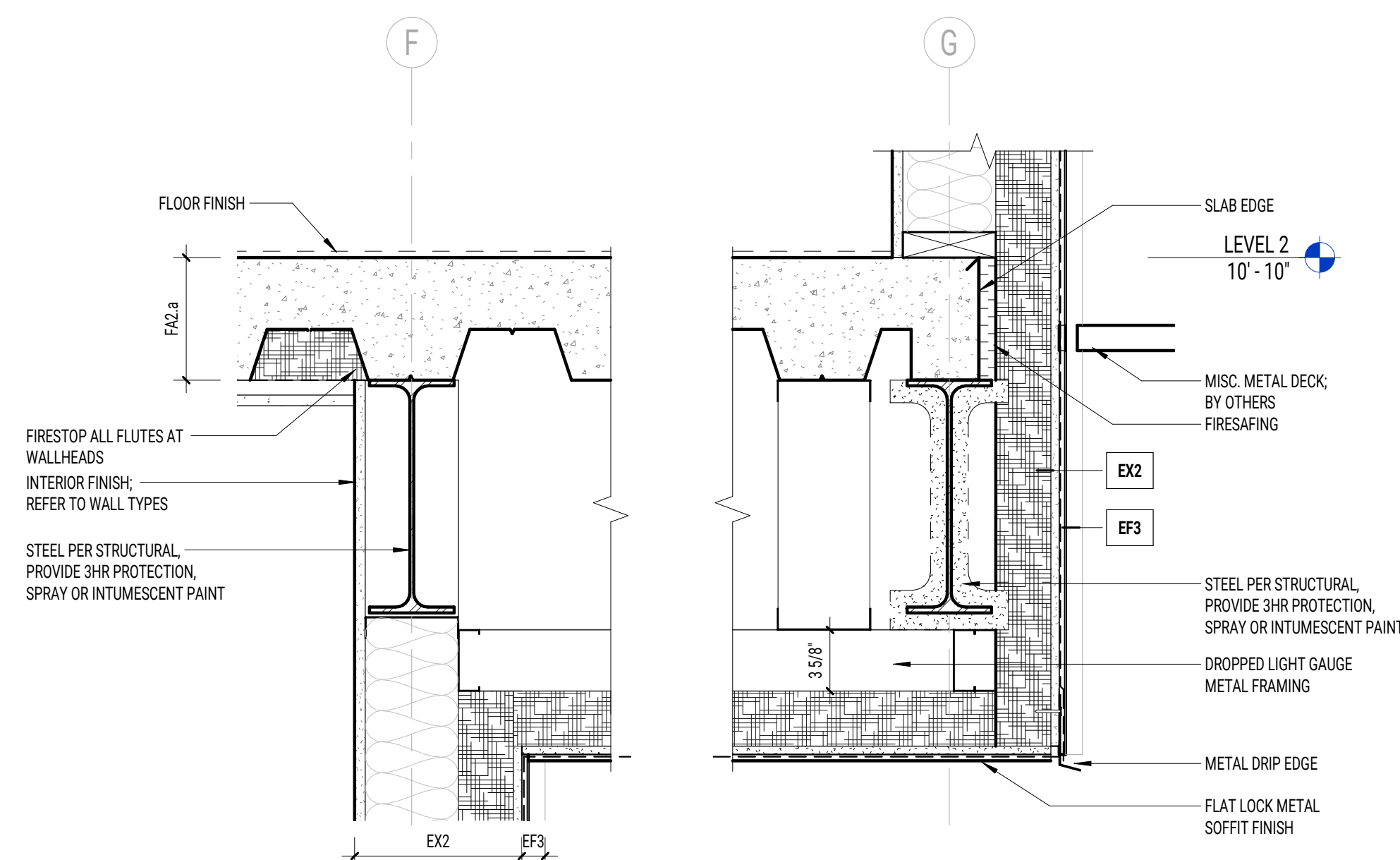
**4** TYP. PARAPET & ROOF DECK DTL  
SCALE: 1 1/2" = 1'-0"



**3** TYP. MOMENT FRAME @ EXTERIOR WALL  
SCALE: 1 1/2" = 1'-0"

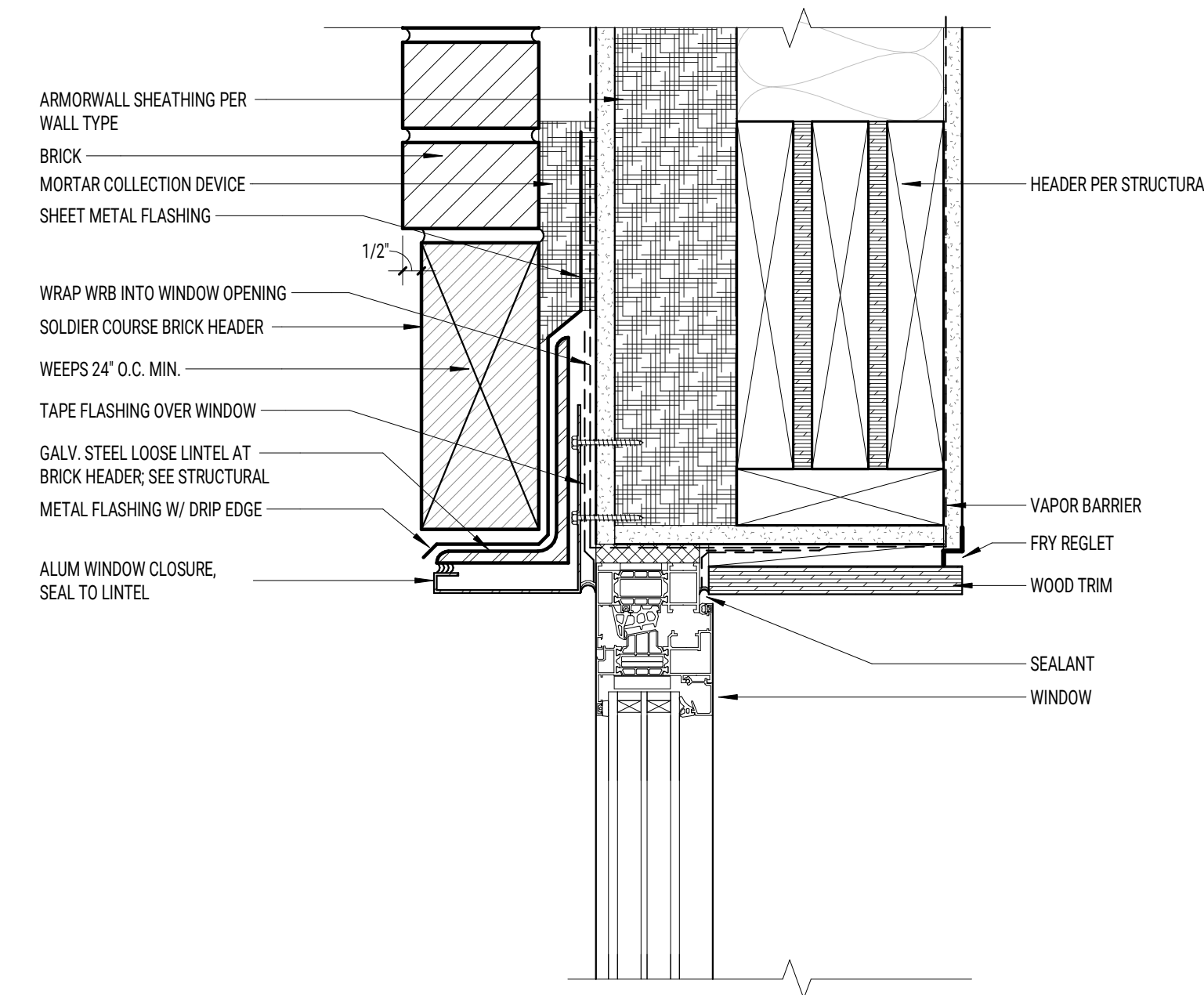


**1** TYP. PODIUM SLAB EDGE DTL  
SCALE: 1 1/2" = 1'-0"

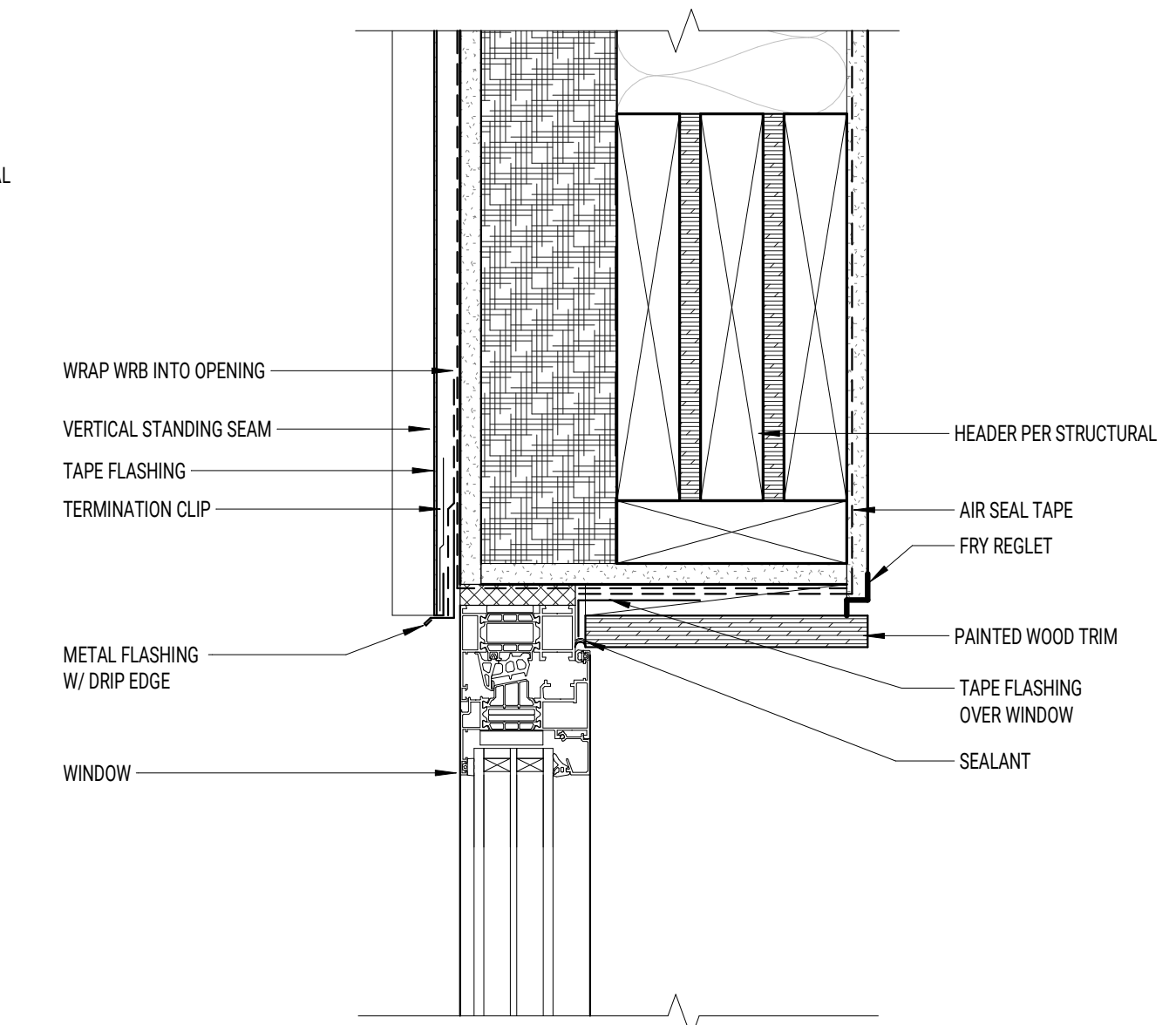


**2** TYP. CANTILEVERED DECK @ REAR  
SCALE: 1 1/2" = 1'-0"

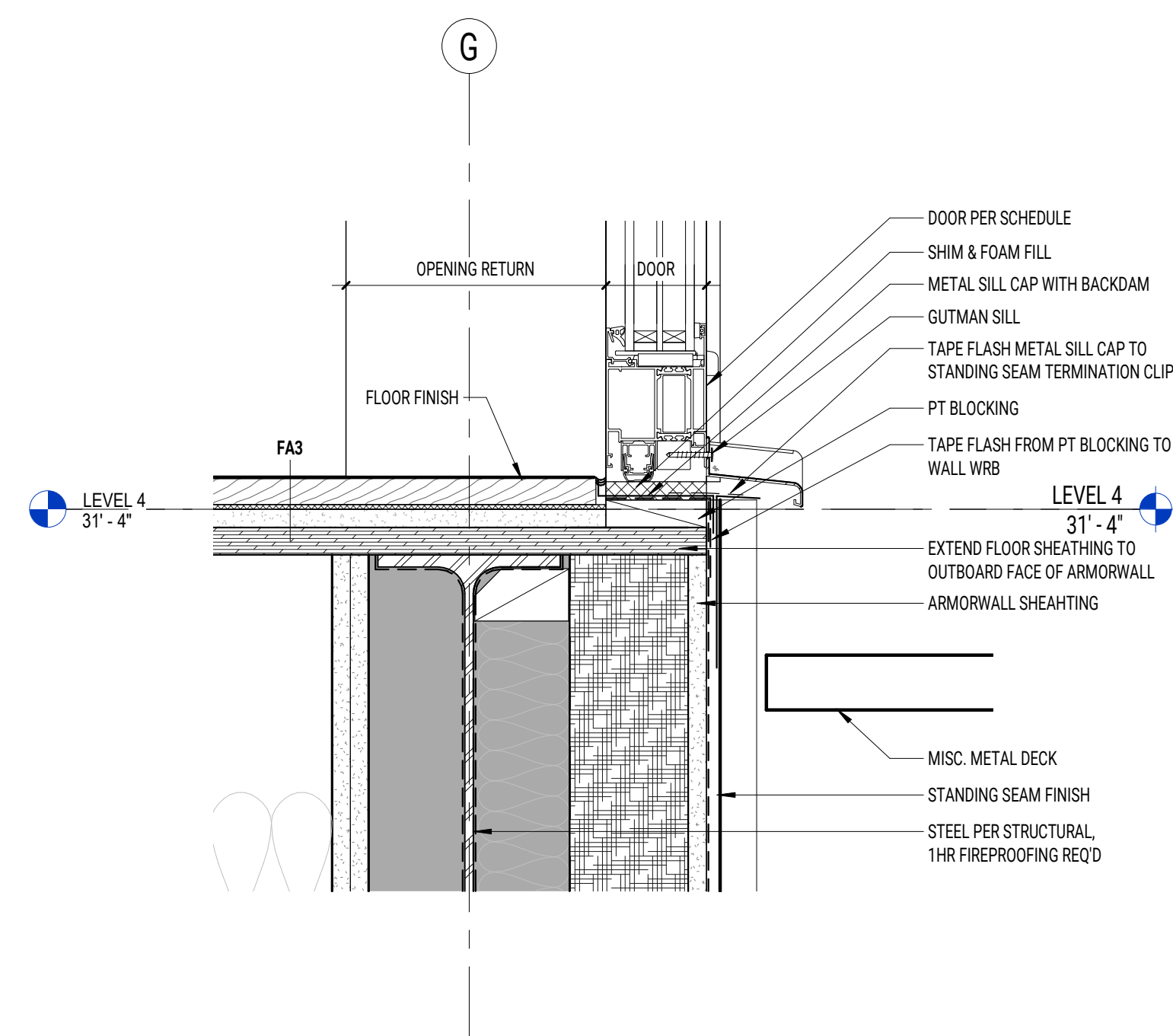
CONSULTANTS:



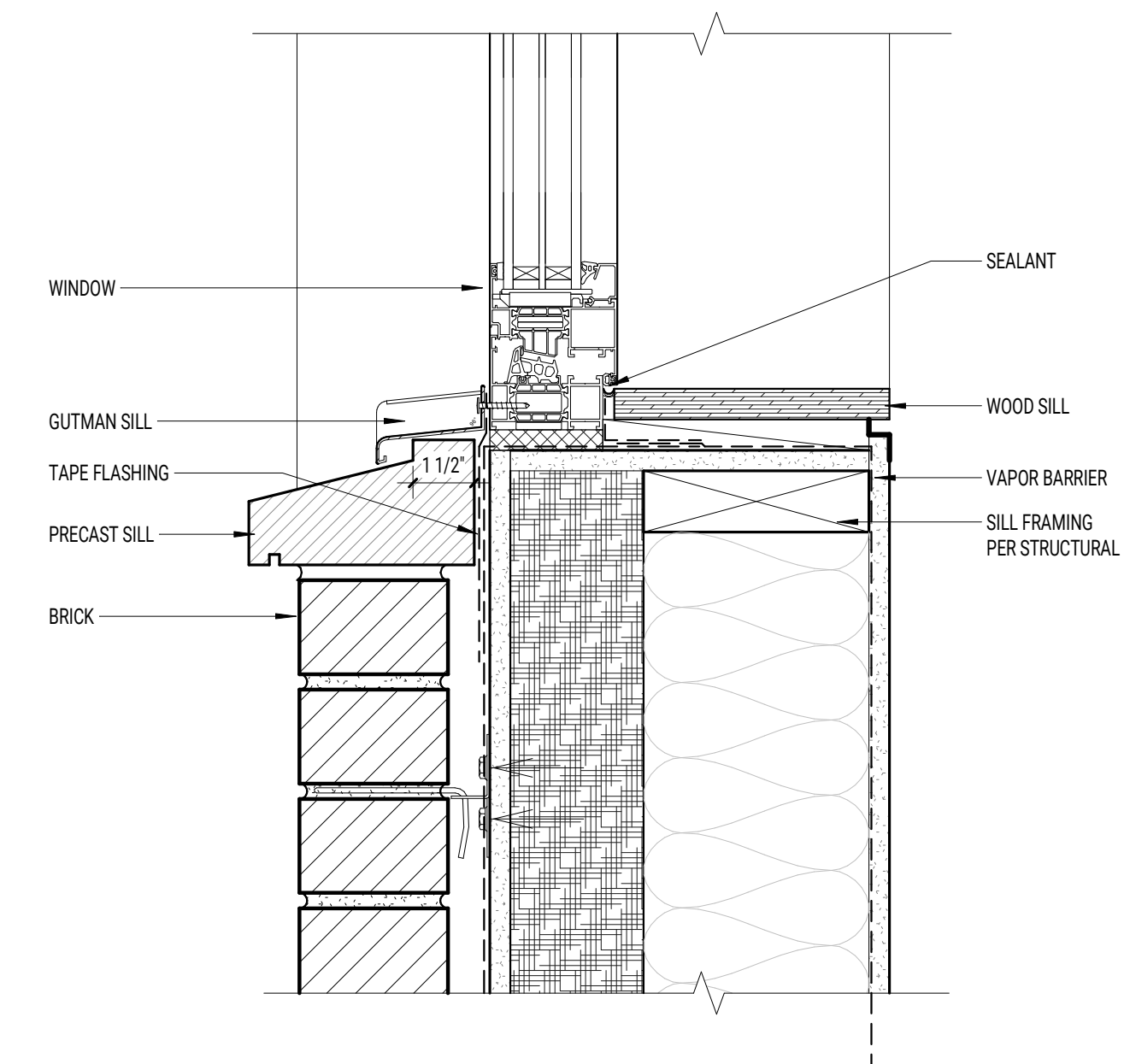
**4** TYP. WINDOW HEAD @ BRICK  
SCALE: 3' = 1'-0"



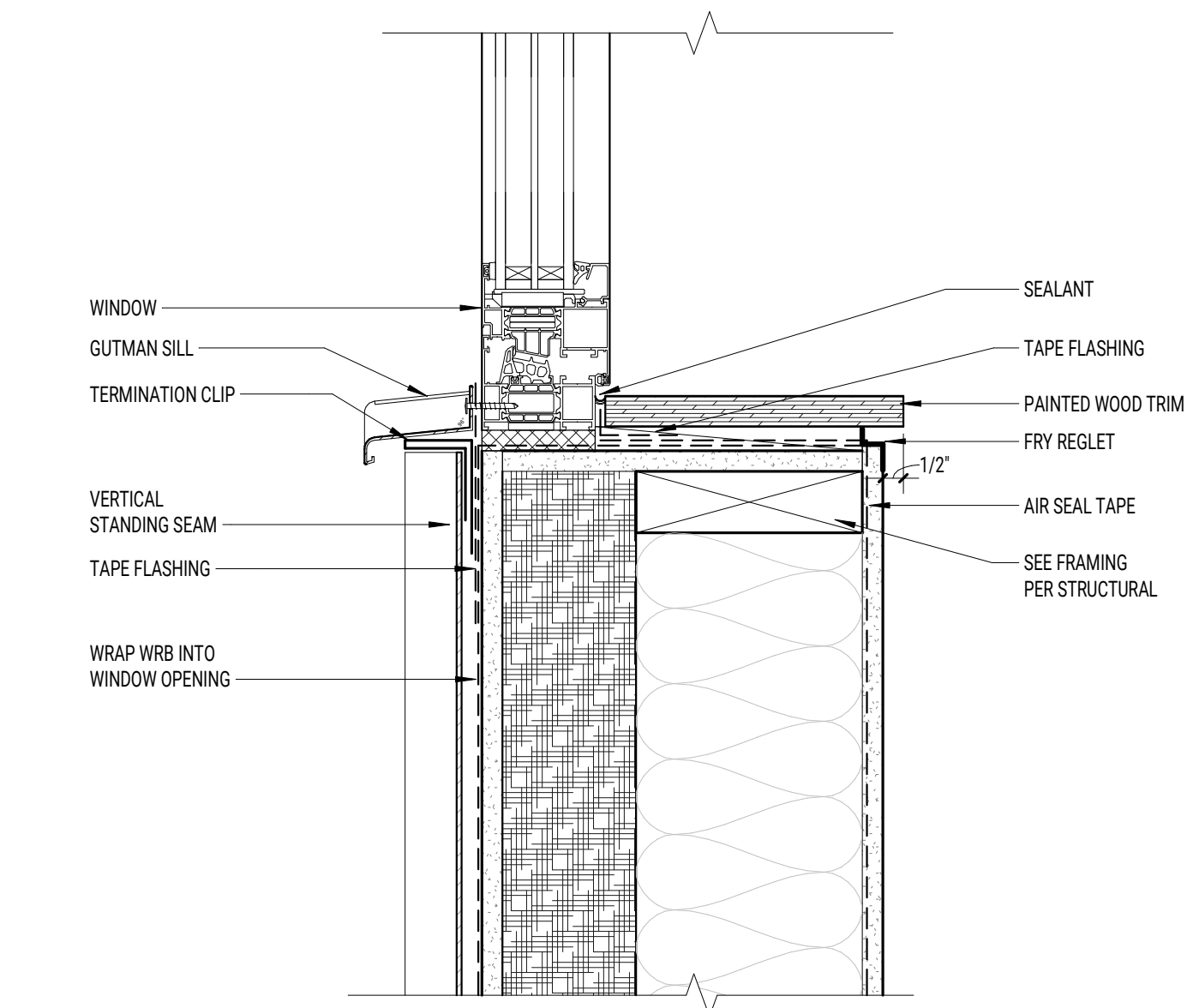
**2** TYP. WINDOW HEAD @ STANDING SEAM  
SCALE: 3' = 1'-0"



**5** TYP. DOOR SILL DTL  
SCALE: 3' = 1'-0"



**3** TYP. WINDOW SILL @ BRICK  
SCALE: 3' = 1'-0"



**1** TYP. WINDOW SILL @ STANDING SEAM  
SCALE: 3' = 1'-0"

ISSUE FOR PERMIT

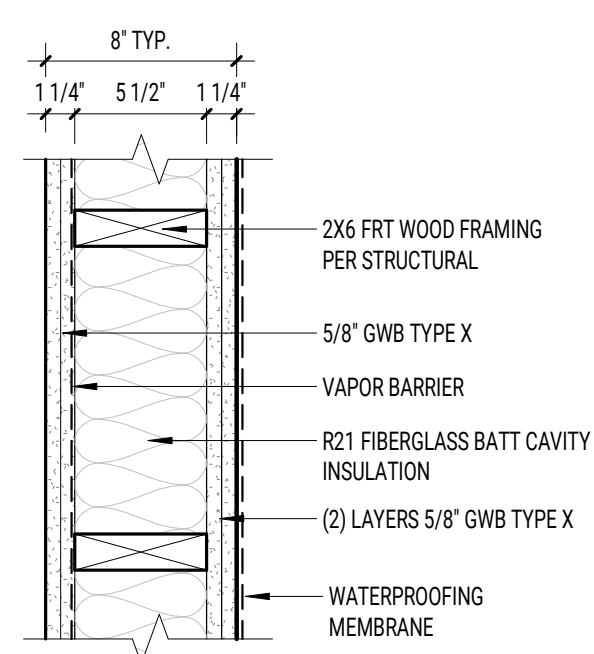


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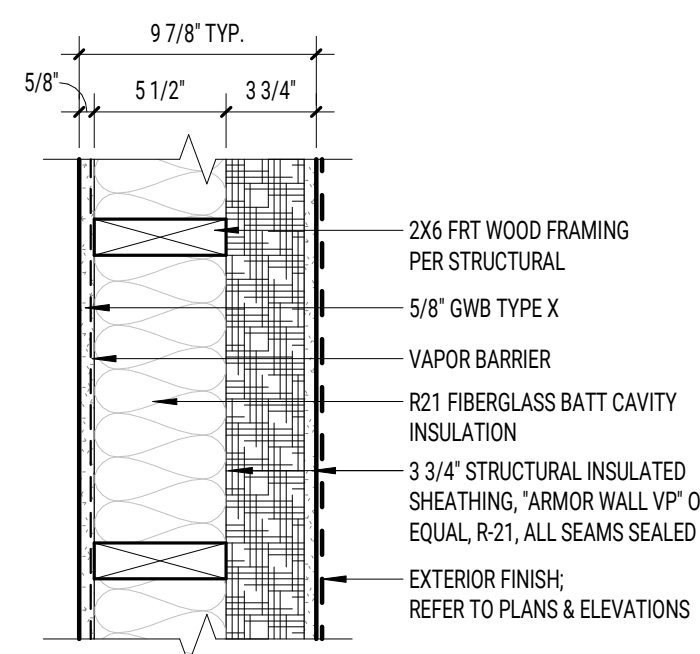
PROJECT NAME:  
**58 BURBANK**  
ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115  
DATE ISSUED: 05 OCT 2022  
PROJECT #: 21012  
SCALE: 3' = 1'-0"  
DRAWN BY: ED, MN, AY

TYPICAL DOOR & WINDOW  
DETAILS

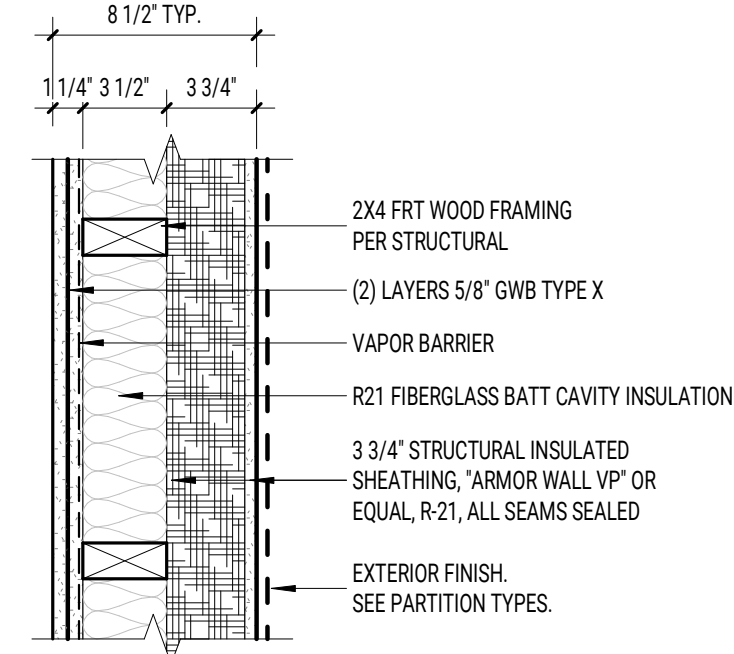
EXTERIOR WALL ASSEMBLIES



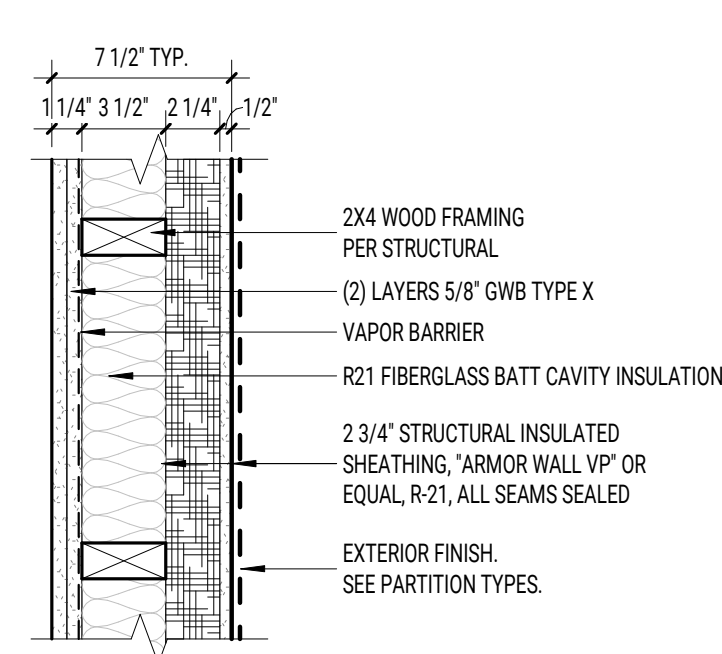
<b>EX1</b>
FIRE RATING: 2 HR SYMMETRICAL
UL NO.: UL U301
STC RATING:



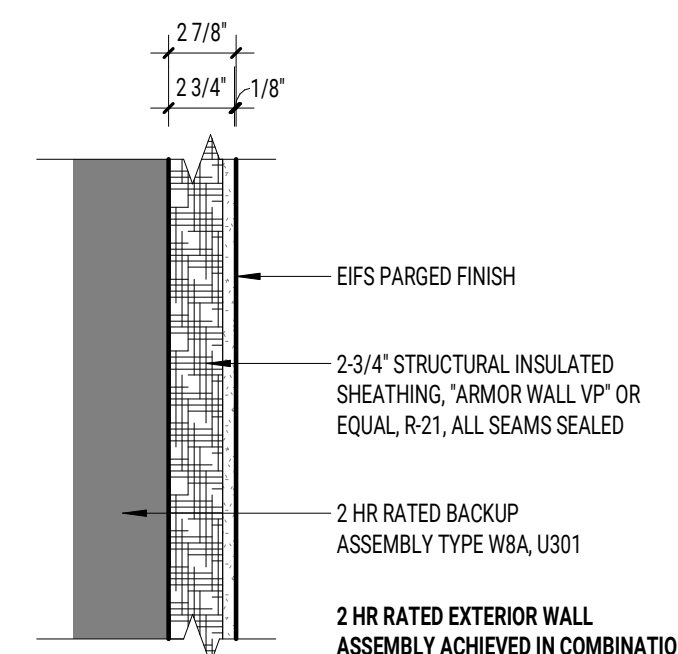
<b>EX2</b>
FIRE RATING: 1 HR SYMMETRICAL
UL NO.: EEW 10727d
STC RATING:



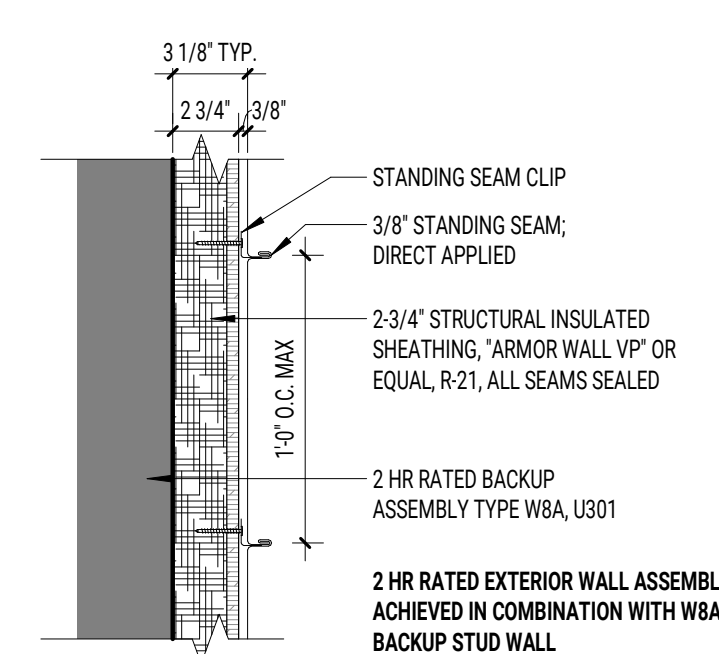
<b>EX3</b>
FIRE RATING: 2HR INT, 1 HR EXT
UL NO.: EEW 10727d
STC RATING:



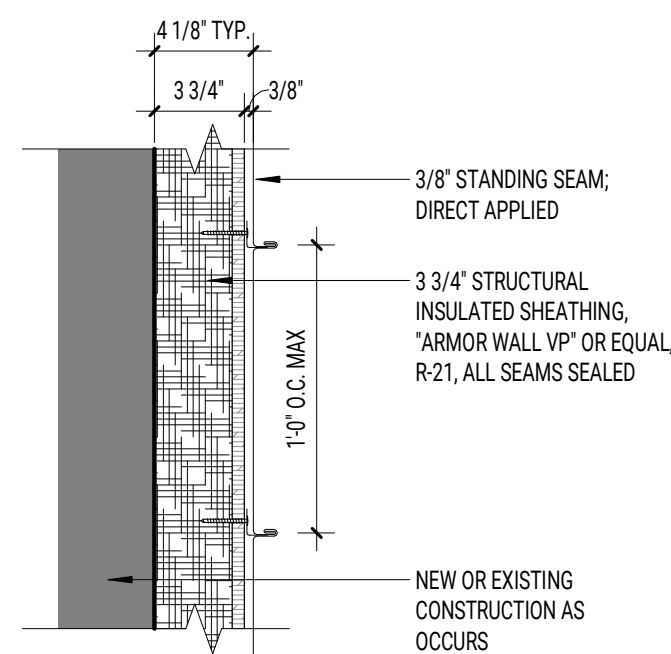
<b>EX4</b>
FIRE RATING: 2 HR INT, 1 HR EXT
UL NO.: EEW 10727d
STC RATING:



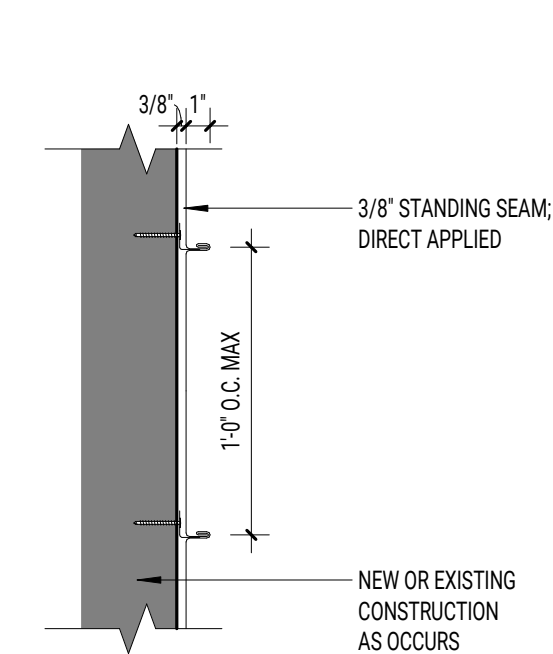
<b>EF1A</b>
FIRE RATING: 2 HR
UL NO.: EEW 10727d
STC RATING:



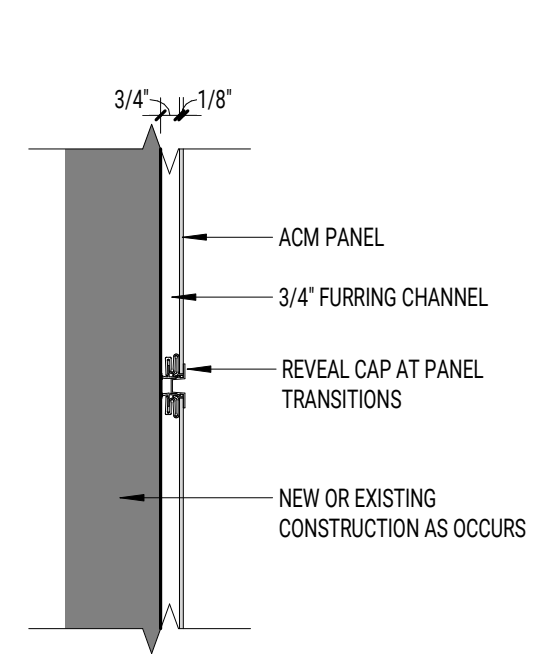
<b>EF1B</b>
FIRE RATING: 2 HR
UL NO.: EEW 10727d
STC RATING:



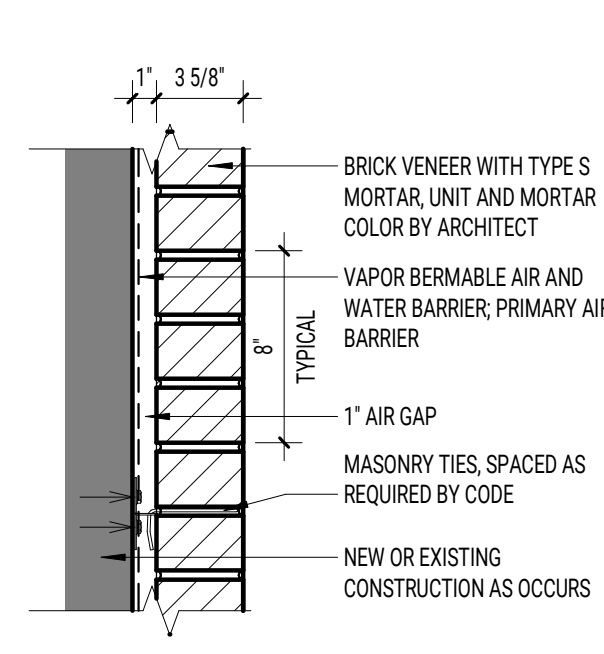
<b>EF2</b>
FIRE RATING:
UL NO.:
STC RATING:



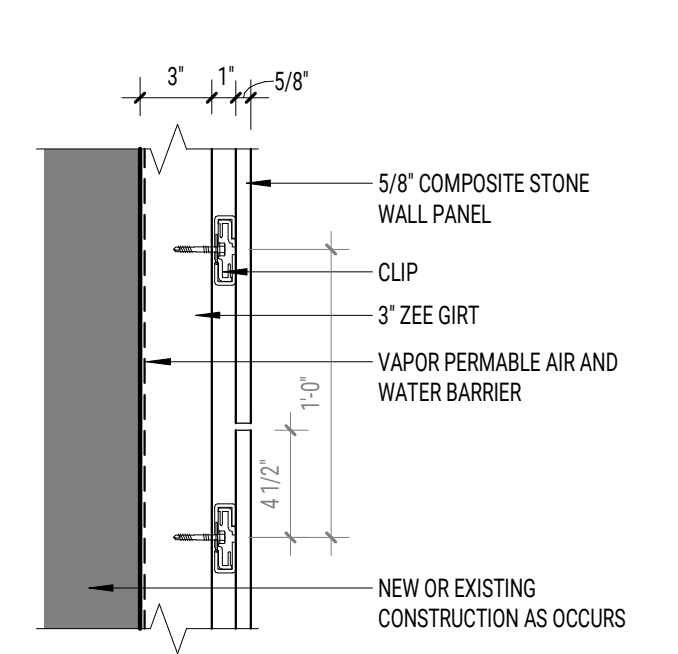
<b>EF3</b>
FIRE RATING:
UL NO.:
STC RATING:



<b>EF4</b>
FIRE RATING:
UL NO.:
STC RATING:



<b>EF5</b>
FIRE RATING:
UL NO.:
STC RATING:

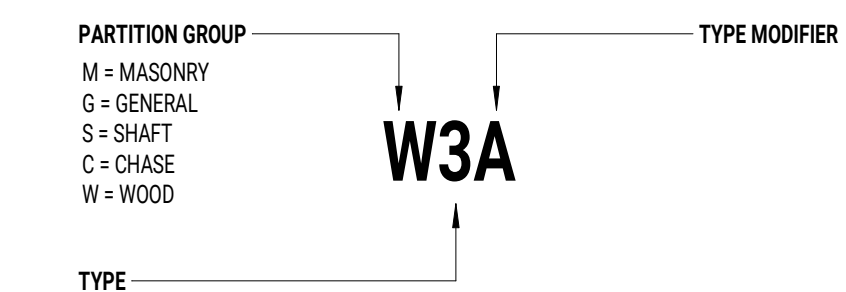


<b>EF6</b>
FIRE RATING:
UL NO.:
STC RATING:

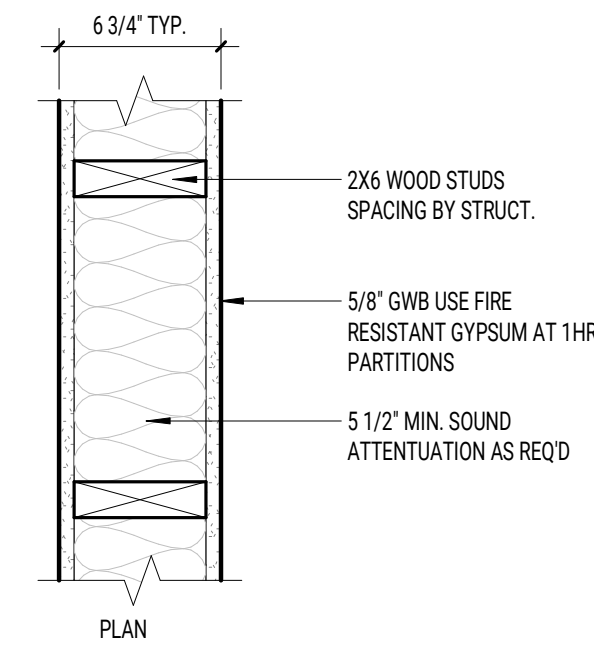
PARTITION GENERAL NOTES

- ALL PARTITIONS ARE TYPE W4B UNLESS OTHERWISE NOTED. PARTITIONS TYPES ARE KEYS ON FLOOR PLANS.
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS.
- VERIFY RATED WALLS WITH CODE PLANS.
- REVIEW ALL DRAWINGS AND COORDINATE WALL CONSTRUCTION INCLUDING LOCATION OF FRAMING MEMBERS WITH PENETRATIONS, RECESSED AND SURFACE MOUNTED ITEMS. PROVIDE FRAMING AND OR BACKING AS REQUIRED TO SUPPORT WALL MOUNTED OR RECESSED ITEMS AND WALL CONSTRUCTION AROUND ITEMS.
- PARTITIONS ENCLOSING SPACES WITHOUT CEILINGS ARE TO EXTEND TO UNDERSIDE OF SLAB ABOVE.
- ALL FIRE RATED PARTITION ASSEMBLIES ARE TO CONTINUE FROM FLOOR TO DECK ABOVE.
- ALL FIRE AND SMOKE RATED PARTITIONS ARE TO HAVE ANY ALL GAPS FILLED WITH A MATERIAL THAT WILL MEET OR EXCEED THE RATING AND/OR CONSTRUCTION REQUIREMENTS OF THE WALL.
- THE ENVELOPE CREATED BY FIRE RATED PARTITIONS AND SHAFTS IS REQUIRED TO BE CONTINUOUS AND UNINTERRUPTED EXCEPT BY TESTED THROUGH-PENETRATION FIRE STOP ASSEMBLIES AS SPECIFIED. REFER TO THE CODE PLAN FOR DIAGRAMS.
- PROJECT IS BASED ON QUOTED UL DESIGNS. OTHER DESIGNS ACCEPTABLE TO ALL AGENCIES WITH JURISDICTION MAY BE SUBMITTED FOR APPROVAL.
- WALL TYPES DESCRIBED ON THIS SHEET DO NOT ACCOUNT FOR REQUIRED BACKING AND/OR SUPPORT FOR WALL MOUNT FIXTURES, EQUIPMENT, CASEWORK AND/OR SYSTEMS FURNITURE. COORDINATE WITH ENLARGED FLOOR PLANS, INTERIOR ELEVATIONS, AND EQUIPMENT PLANS PRIOR TO THE COVERING OF STUD FRAMING. REFER TO MANUFACTURER'S RECOMMENDATIONS.
- ALL PARTITIONS DIMENSIONS PROVIDED ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.
- LOCATE HINGE SIDE OF DOOR AT 4\"/>

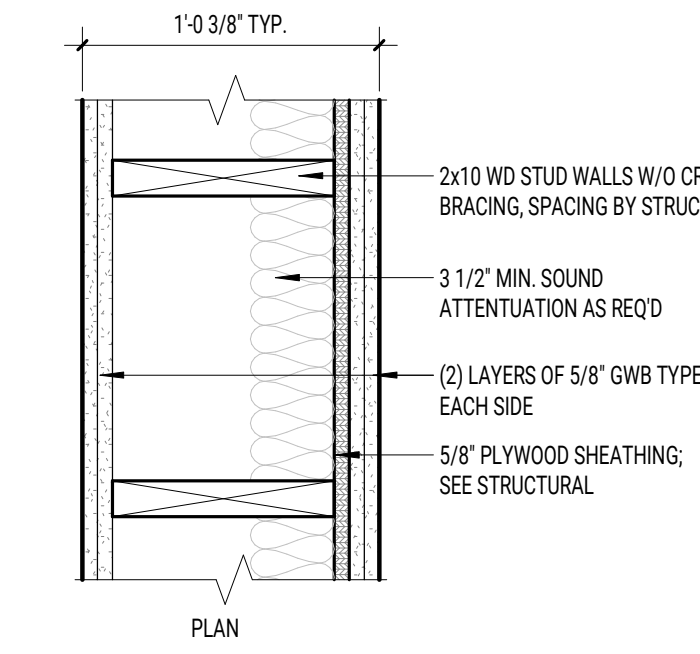
PARTITION TYPE LEGEND



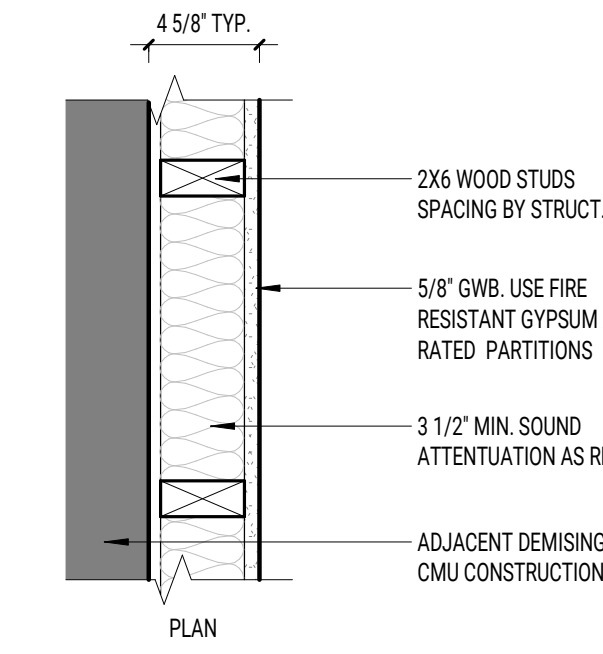
WOOD PARTITIONS



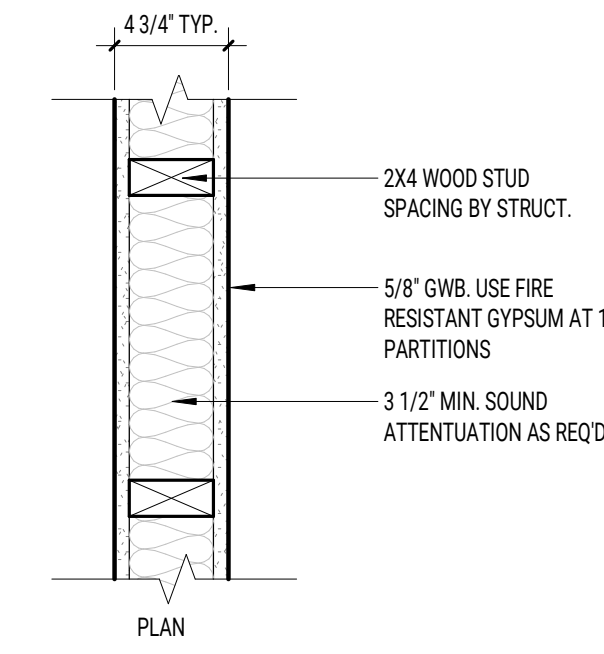
<b>W1A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE



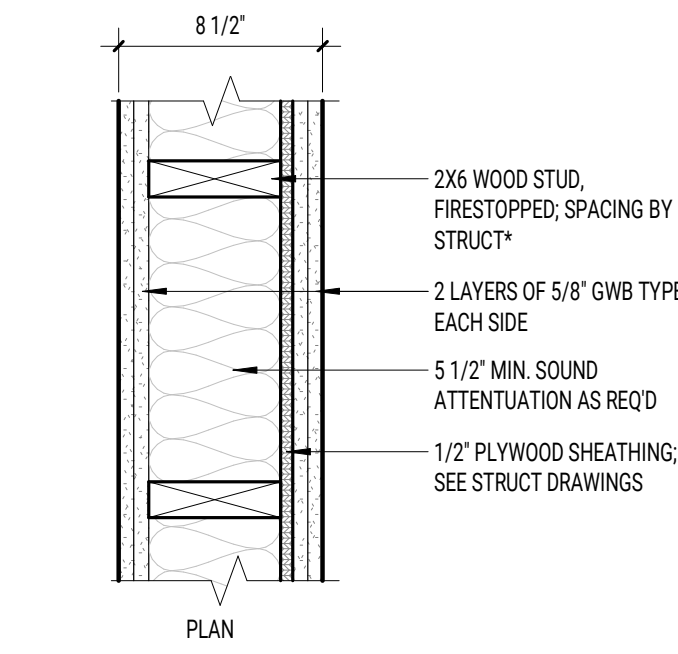
<b>W2A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE



<b>W3A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE



<b>W4A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE



<b>W8A</b>
FIRE RATING: 2 HOUR
UL NO.: U301
STC RATING: NONE

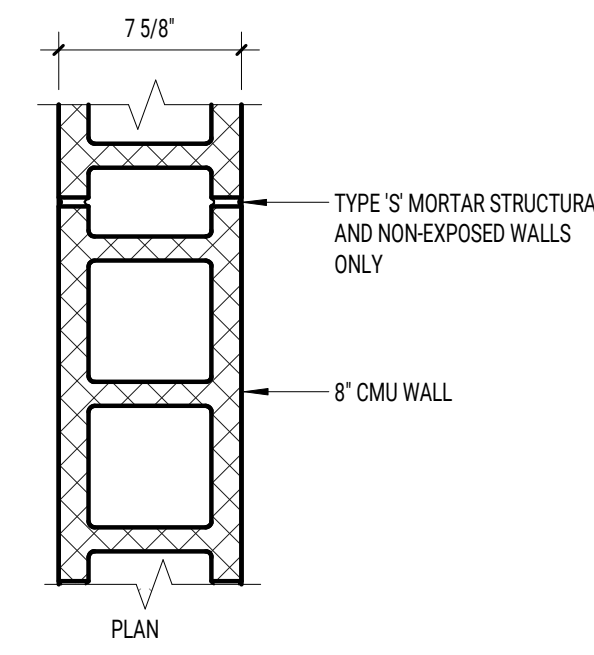
<b>W1B</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: STC: 40-43

<b>W2B</b>
FIRE RATING: 2 HOUR
UL NO.: 309
STC RATING: NONE

<b>W3B</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE

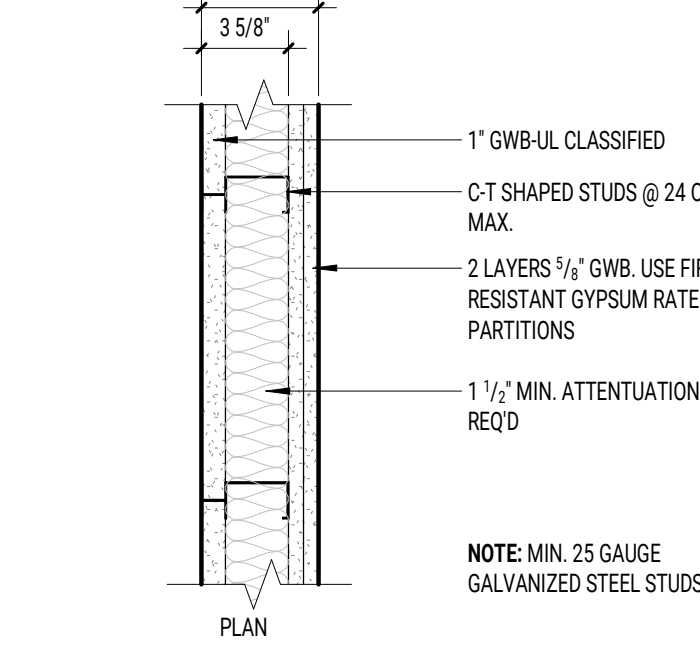
<b>W4B</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: 43-44

MASONRY PARTITIONS



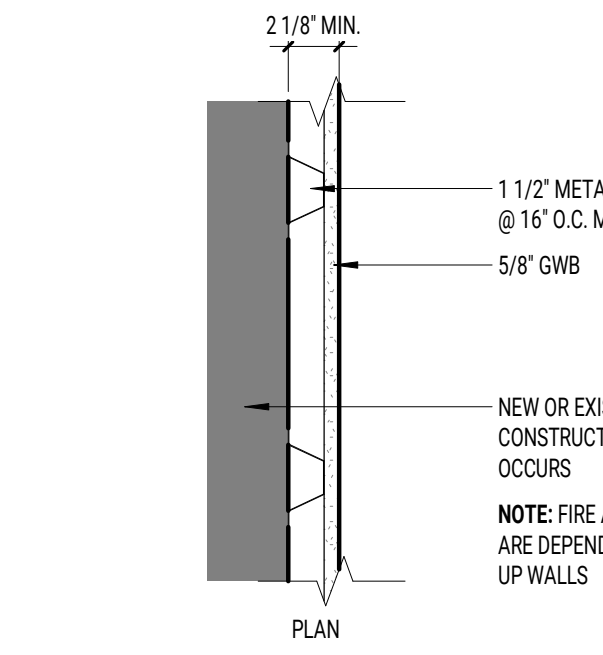
<b>M2A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE

SHAFT PARTITIONS

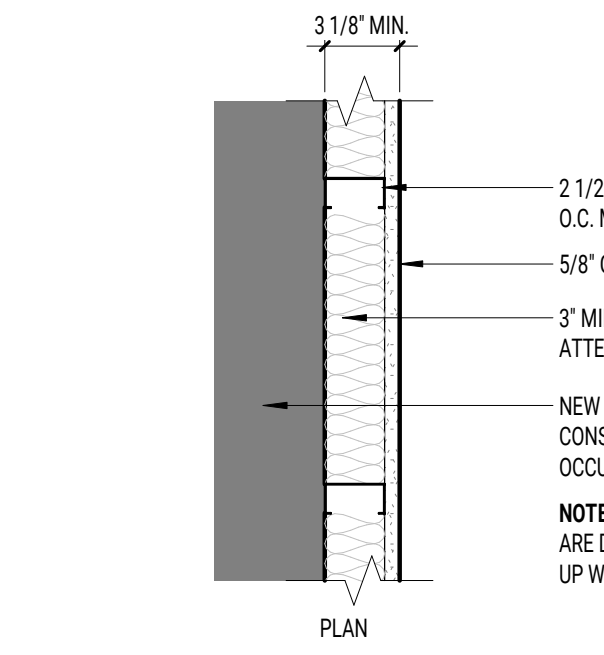


<b>S1A</b>
FIRE RATING: 2 HOUR
UL NO.: 417 SYSTEM C
STC RATING: NONE

CHASE PARTITIONS

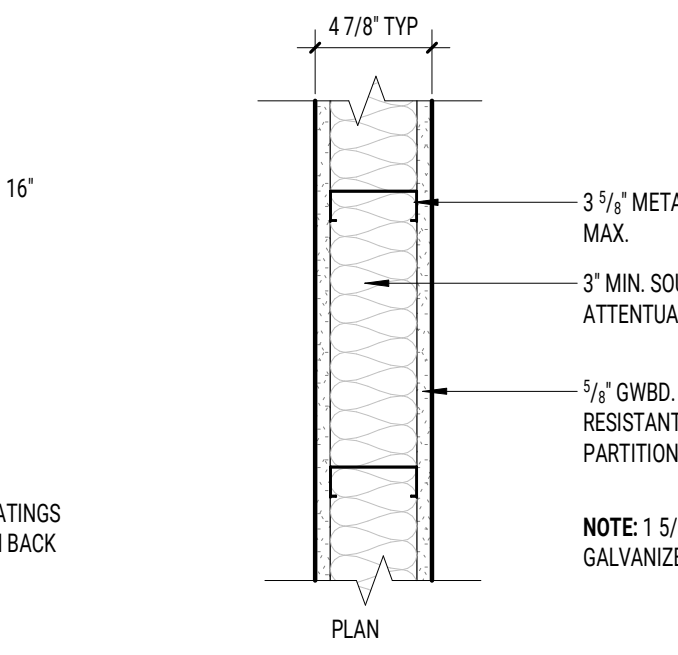


<b>C1A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE

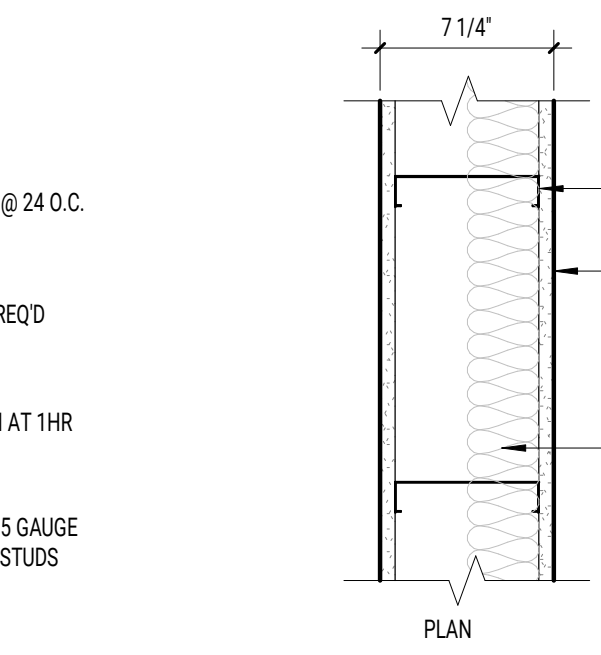


<b>C2A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE

GENERAL PARTITIONS



<b>G1A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: NONE



<b>G4A</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: STC: 40

<b>G1B</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: 43-44

<b>G4B</b>
FIRE RATING: NONE
UL NO.: NONE
STC RATING: STC: 48



CONSULTANTS:

ISSUE FOR PERMIT



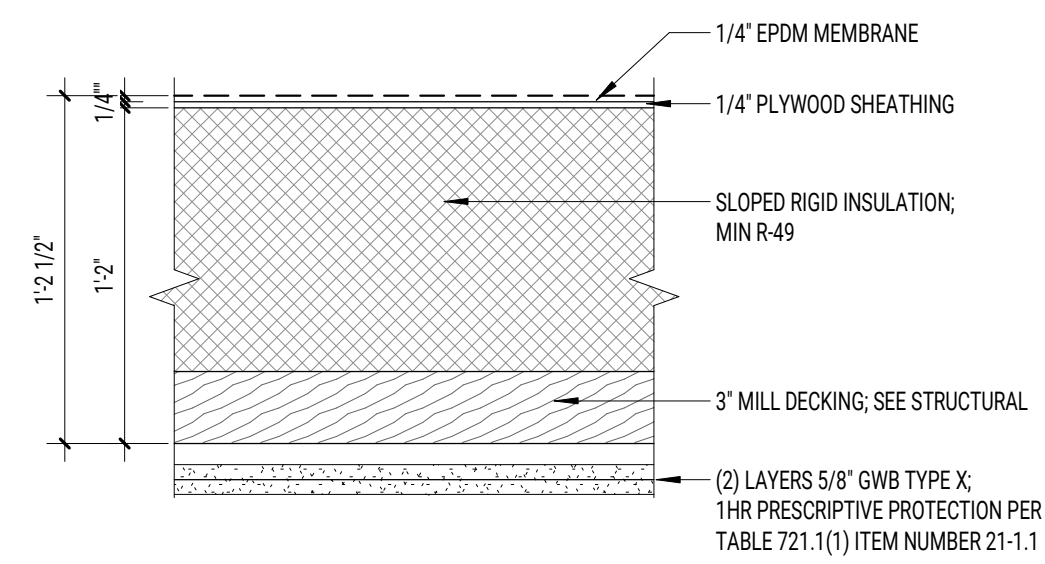
MARK: DATE: DESCRIPTION: ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**  
ADDRESS:  
58 BURBANK STREET  
BOSTON, MA, 02115  
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SCALE: As indicated  
DRAWN BY: ED, MN, AY

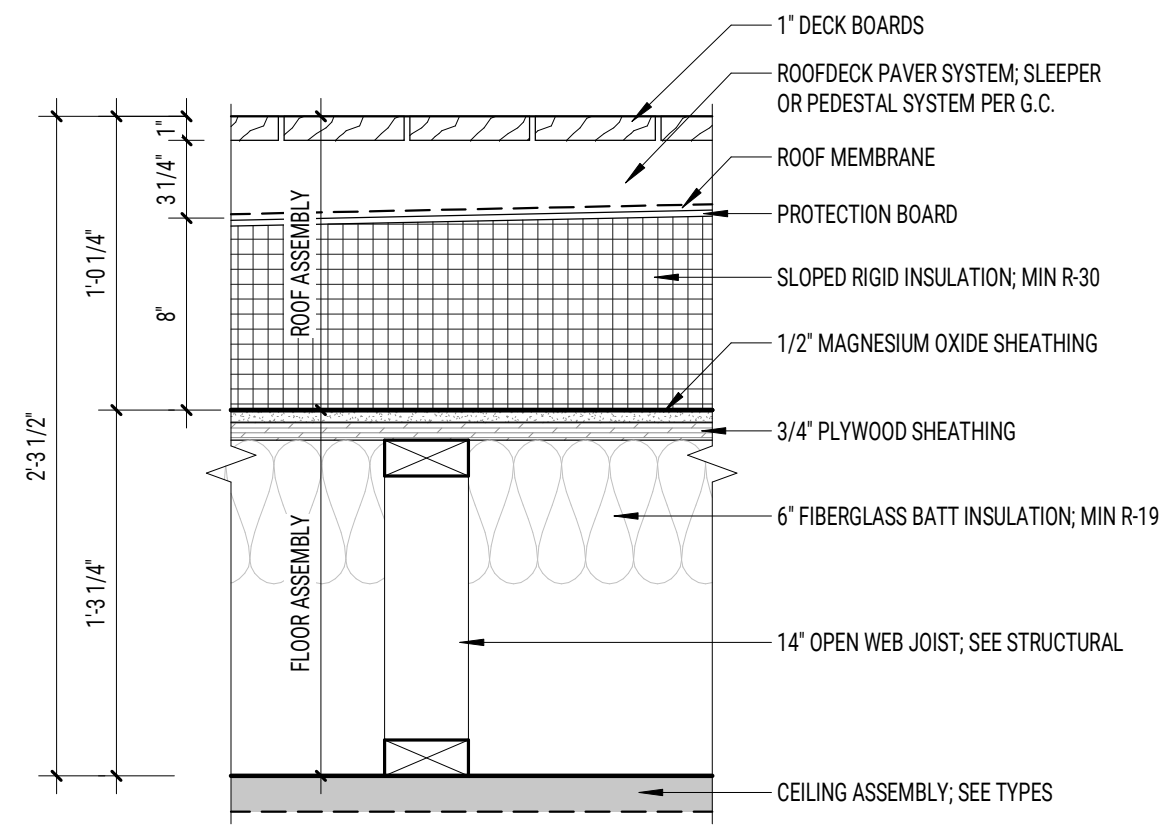
PARTITION TYPES

**A-700**

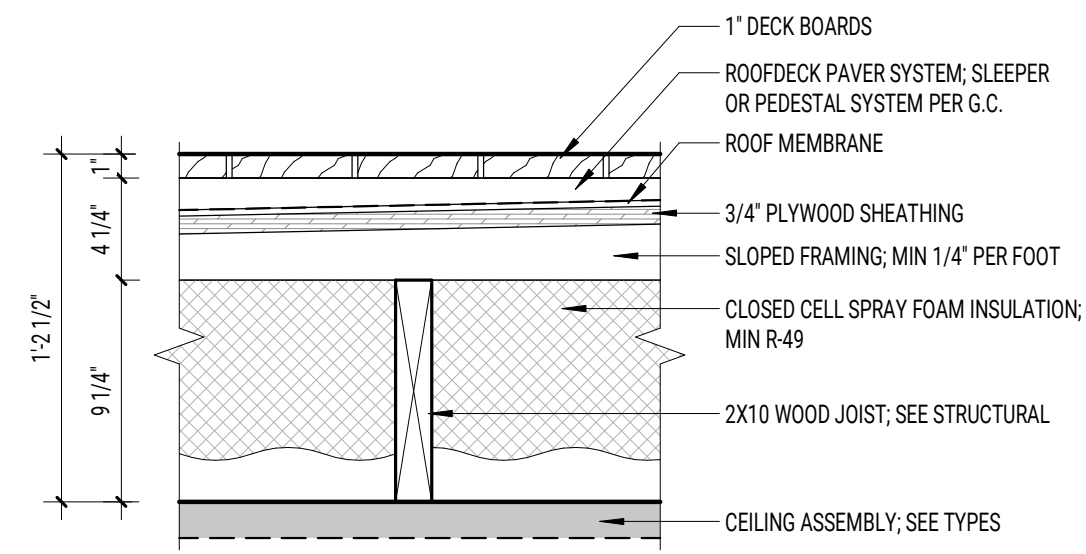
ROOF ASSEMBLIES



<b>RA1</b>	FIRE RATING: 1 HR PRESCRIPTIVE
	UL NO.:
	R-VALUE: R-49

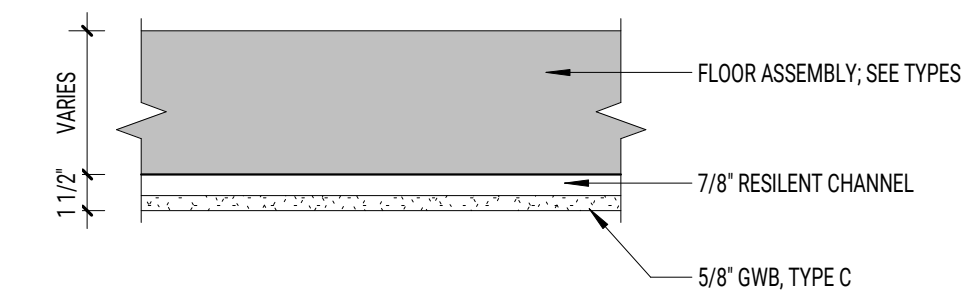


<b>RA2</b>	FIRE RATING: 1 HR TESTED ASSEMBLY
	UL NO.: L528
	STC/IIC RATING: R-VALUE: R-49

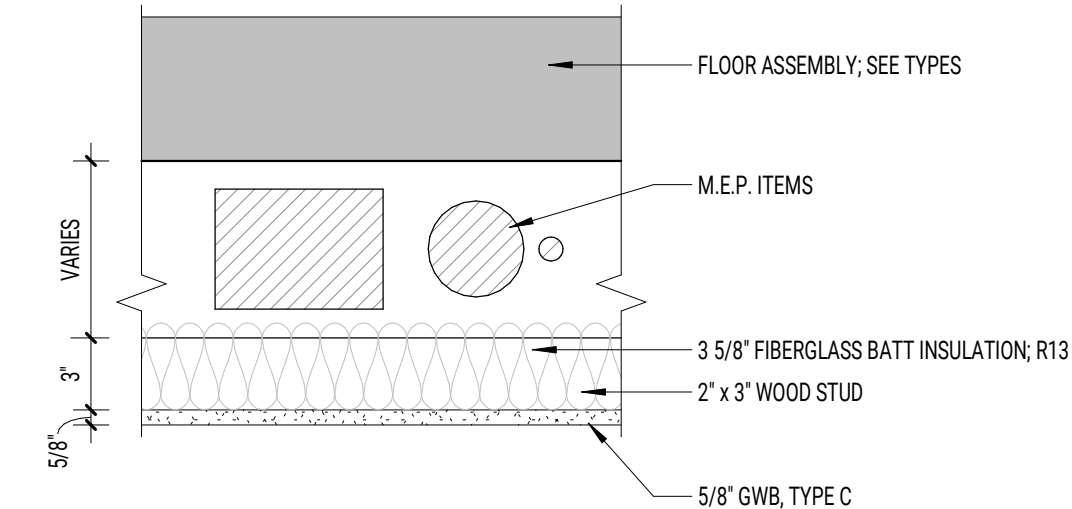


<b>RA3</b>	FIRE RATING: 1 HR TESTED ASSEMBLY
	UL NO.: L501
	STC/IIC RATING: R-VALUE: R-49

CEILING ASSEMBLIES

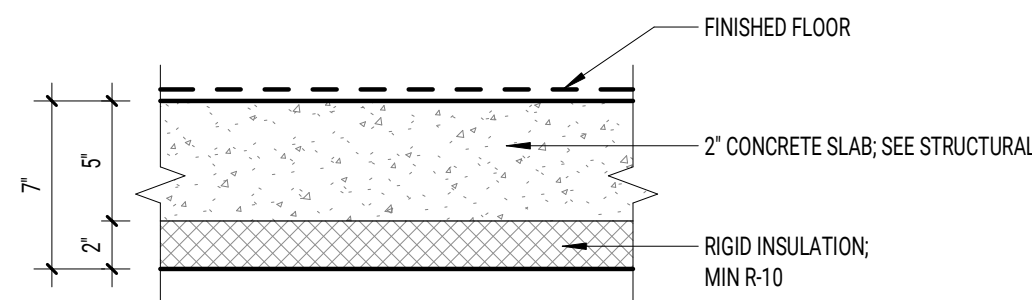


CEILING TYPE - C1

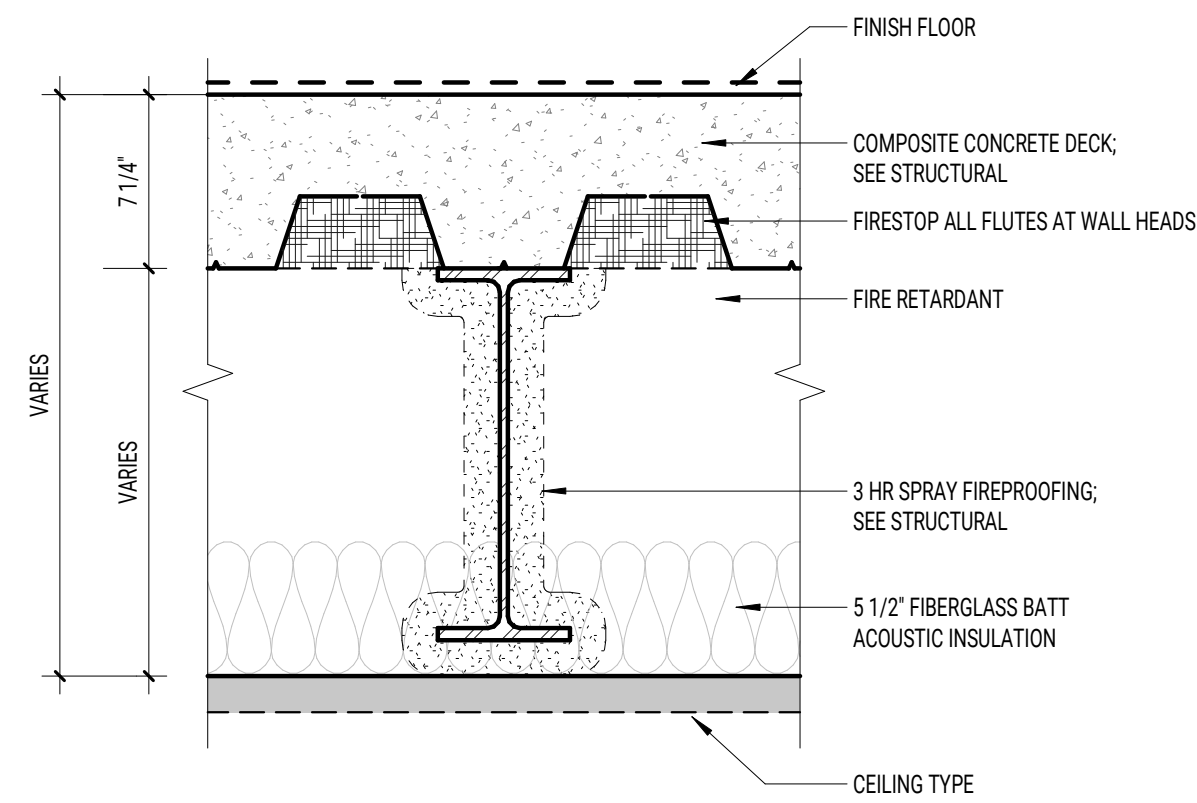


CEILING TYPE - C2

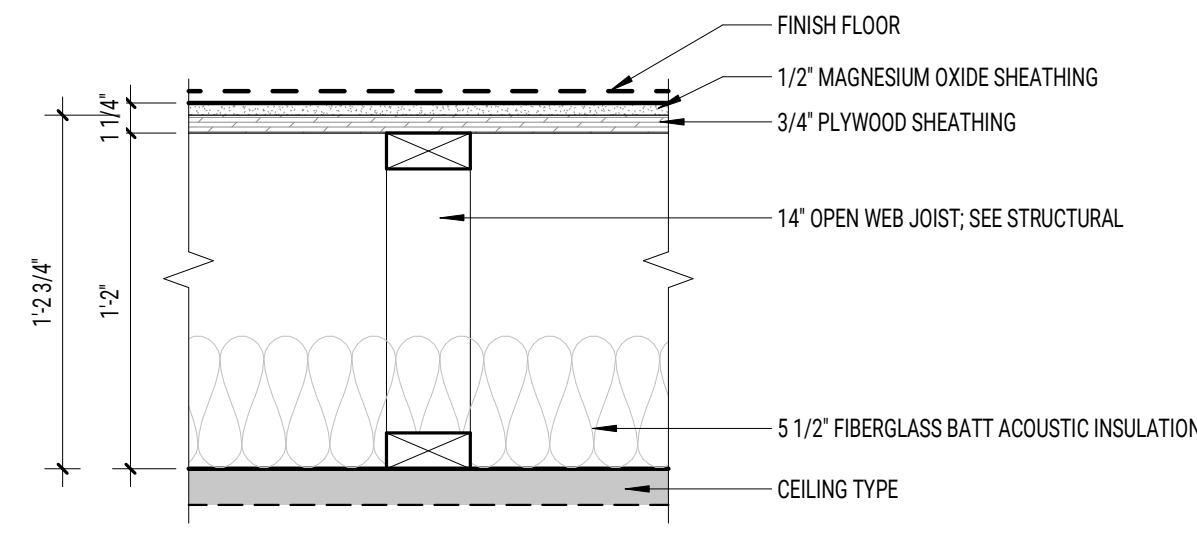
FLOOR ASSEMBLIES



<b>FA1</b>	FIRE RATING:
	UL NO.:
	STC/IIC RATING: R-VALUE: R-10

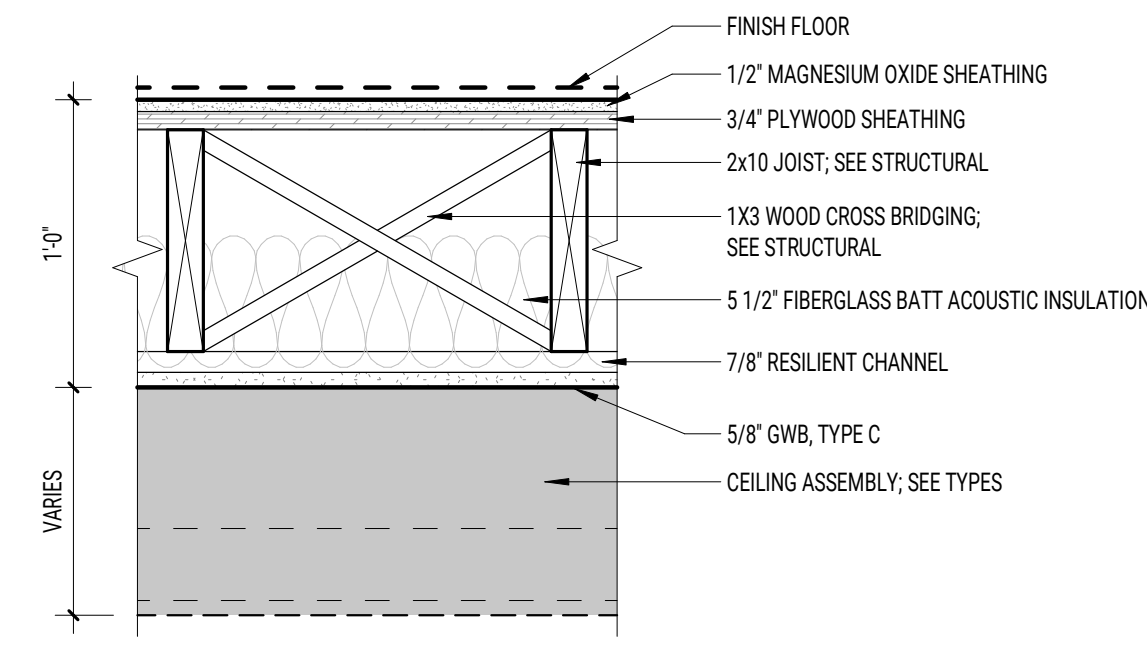


<b>FA2.a</b>	FIRE RATING: 3 HR
	UL NO.: UL D918
	STC/IIC RATING: R-VALUE:



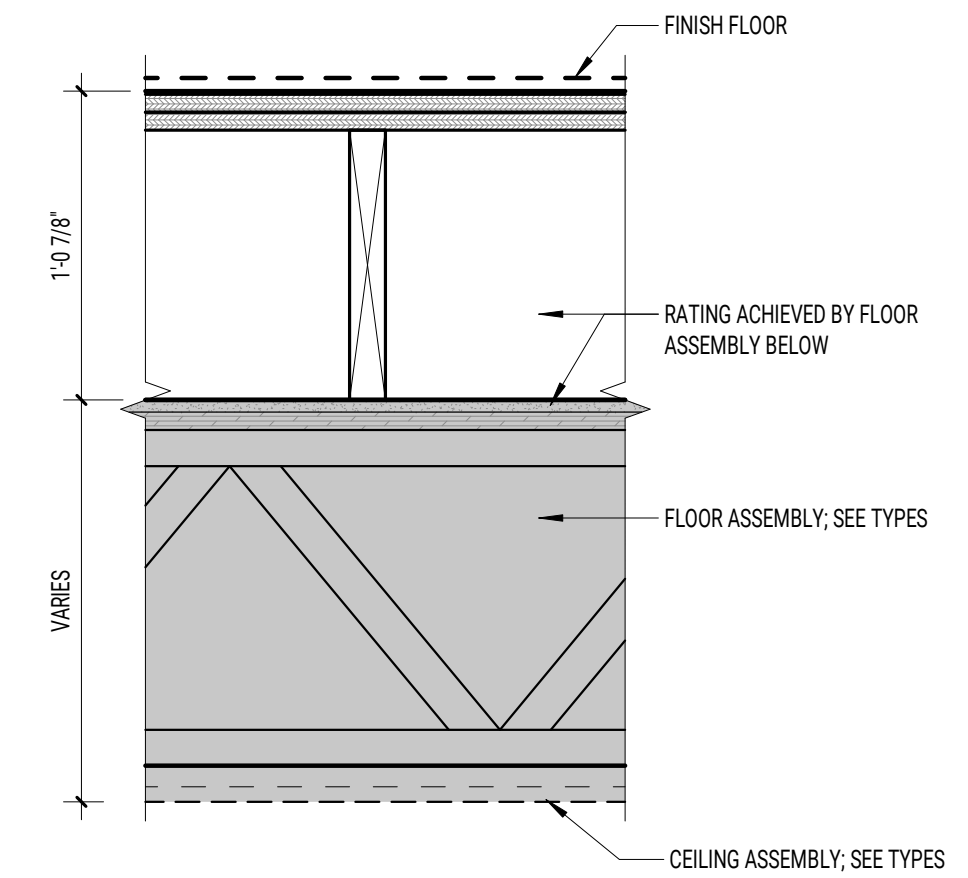
<b>FA3</b>	FIRE RATING: 1 HR TESTED ASSEMBLY
	UL NO.: L528
	STC/IIC RATING: 60 / 56 MINIMUM R-VALUE:

\*UL GUIDE BXUV L528 - DESIGN L528; SYSTEM NO. 22  
\*EXACOR SOUND & FIRE ASSEMBLIES HANDBOOK



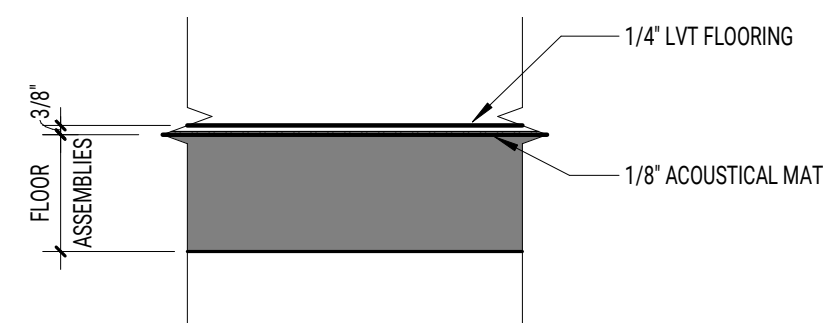
<b>FA4</b>	FIRE RATING: 1 HR TESTED ASSEMBLY
	UL NO.: L525
	STC/IIC RATING: R-VALUE:

\*UL GUIDE BXUV L525 - DESIGN L525; SYSTEM NO. 16  
\*EXACOR SOUND & FIRE ASSEMBLIES HANDBOOK

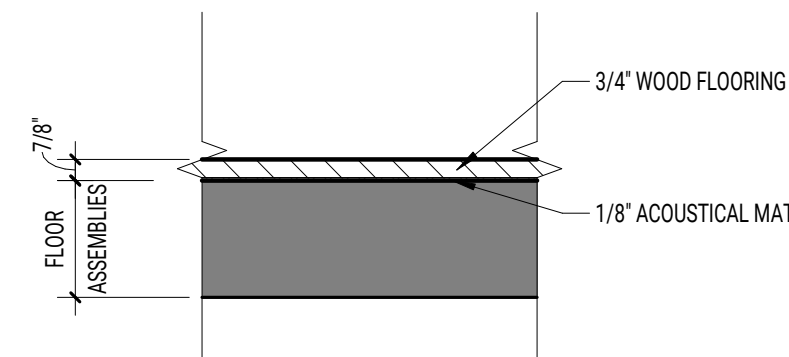


<b>FA5</b>	FIRE RATING:
	UL NO.:
	STC/IIC RATING: R-VALUE:

FINISH FLOOR ASSEMBLIES



<b>FF1</b>	FIRE RATING:
	UL NO.:
	STC/IIC RATING: R-VALUE:



<b>FF2</b>	FIRE RATING:
	UL NO.:
	STC/IIC RATING: R-VALUE:

CONSULTANTS:

ISSUE FOR PERMIT



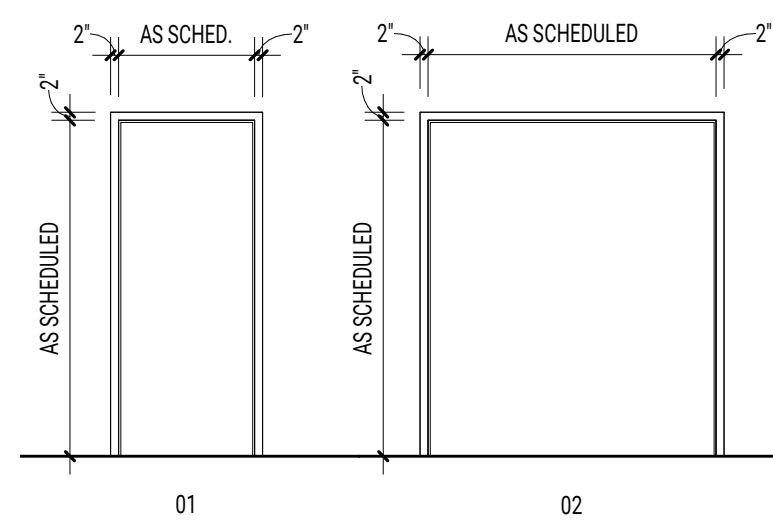
MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

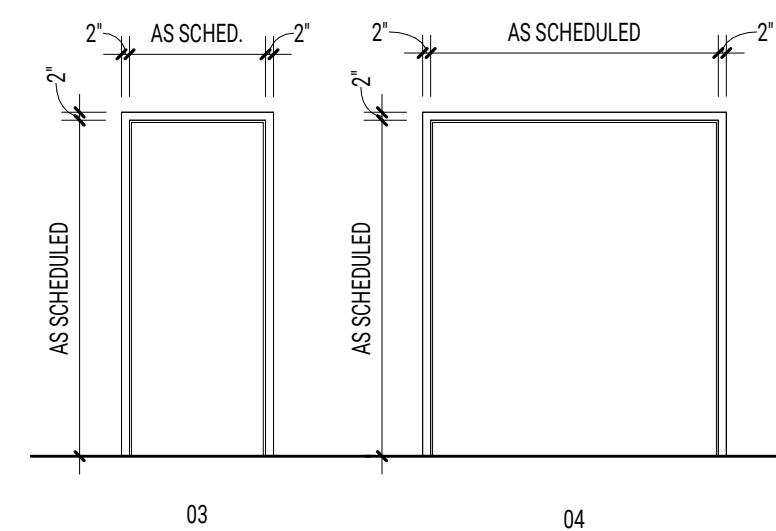
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FLOOR AND ROOF TYPES

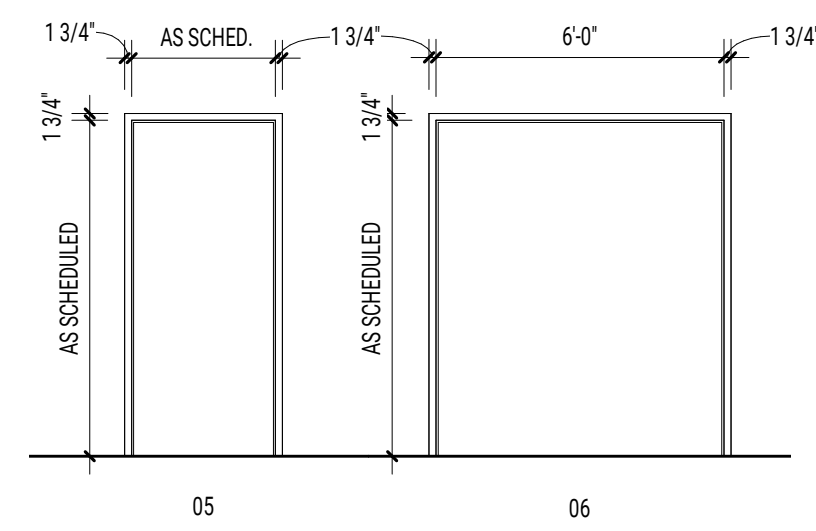
**WOOD FRAME TYPES**



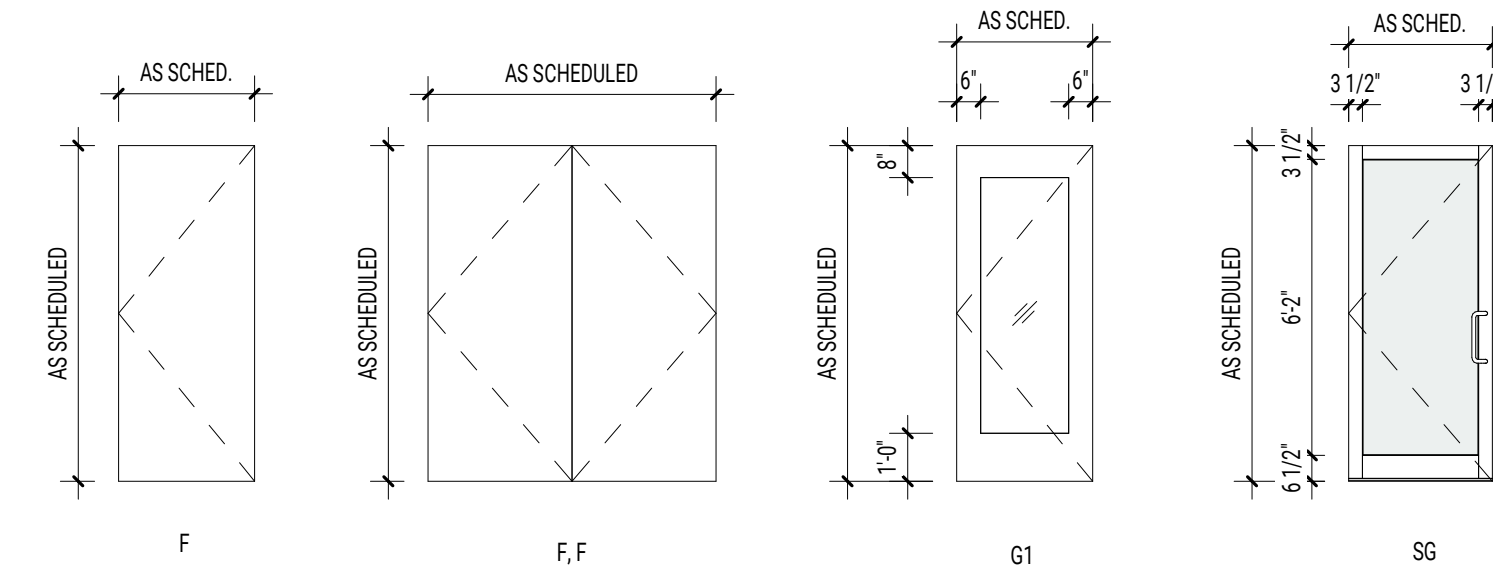
**HOLLOW METAL FRAME TYPES**



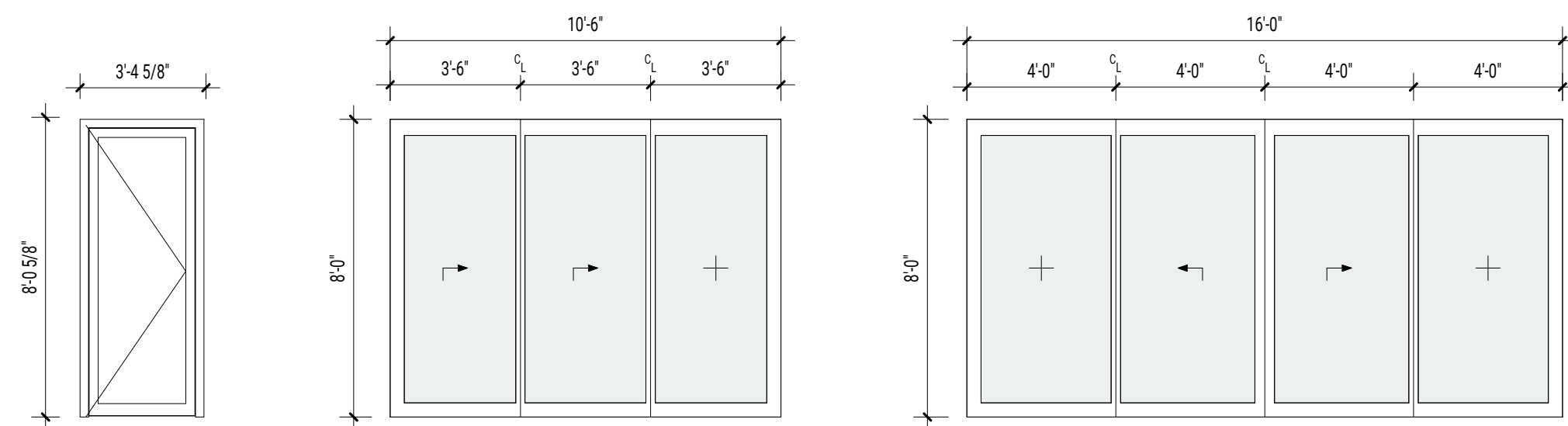
**ALUMINUM FRAME TYPES**



**PANEL TYPES**



**EXTERIOR PANEL TYPES**



**DOOR SCHEDULE**

MARK	FRAME DETAILS			DOOR DETAILS				FIRE RATING	HDWR SET	REMARKS
	MATL	TYPE	PANEL	MATL	WIDTH	HEIGHT	THK			
BASEMENT										
B01	HM	03	F	MTL	2'-10"	7'-0"				
B02	HM	03	F	MTL	2'-10"	7'-0"				
B03	HM	03	F	MTL	2'-10"	7'-0"		90MIN		RATED DOOR, W/ CLOSER
ALLEY										
EX01	HM	03	F	MTL	3'-0"	6'-8"			90MIN	RATED DOOR, W/ CLOSER
LEVEL 1										
EX02	AL	01	SG2: SG2	ALU/GL	3'-3"	6'-11 1/4"				
EX03	AL	01	SG2: SG2	ALU/GL	3'-2 1/4"	6'-11 1/4"				
S01	HM	03	F	MTL	2'-8"	6'-8"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 2										
EX04	AL	05	SG	ALU/GL	3'-4"	8'-0"				
S02	HM	03	F	MTL	3'-0"	7'-0"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 3										
EX05	AL	05	SG	ALU/GL	3'-4"	8'-0"				
S03	HM	03	F	MTL	3'-0"	7'-0"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 4										
EX06	AL	05	SG	ALU/GL	3'-4"	8'-0"				
EX07	AL	05	SG	ALU/GL	3'-4"	8'-0"				
S04	HM	03	F	MTL	3'-0"	7'-0"		45MIN		RATED DOOR, W/ CLOSER
S05	HM	03	F	MTL	3'-0"	7'-0"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 5										
EX08	AL	05	SG	ALU/GL	3'-4"	8'-0"				
S06	HM	03	F	MTL	3'-0"	7'-0"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 6										
EX09	AL	05	SG	ALU/GL	16'-0"	8'-0"				
EX10	AL	05	SG	ALU/GL	8'-0 27/32"	7'-10 11/16"				
S07	HM	03	F	MTL	3'-0"	7'-0"		45MIN		RATED DOOR, W/ CLOSER
LEVEL 7 ROOF STRUCT										
EX11	AL	05	SG	ALU/GL	3'-4"	7'-0"				
EX12	AL	05	SG	ALU/GL	3'-4"	7'-0"				
S08	HM	03	F	MTL	3'-0"	7'-0"		45MIN		RATED DOOR, W/ CLOSER

**DOOR TYPE SCHEDULE**

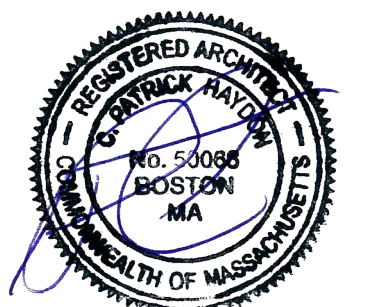
MARK	FRAME DETAILS			DOOR DETAILS				FIRE RATING	HDWR SET	REMARKS
	MATL	TYPE	PANEL	MATL	WIDTH	HEIGHT	THK			
A1	WD	01	F	WD	2'-10"	7'-0"				TYPICAL IN-UNIT DOOR
A2	WD	01	F	WD	2'-6"	7'-0"				STORAGE
B1	WD	01	F	WD	2'-6"	7'-0"				BATHROOM
C1	WD	01	F	WD	2'-0"	7'-0"				CLOSET
C2	WD	01	F	WD	2'-4"	7'-0"				CLOSET
C12	WD	02	F,F	WD	3'-6"	7'-0"				DOUBLE DOOR
D2	WD	02	F,F	WD	4'-6"	7'-0"				DOUBLE CLOSET
P1	WD	01	P	WD	3'-0"	7'-0"				POCKET DOOR
P2	WD	01	P	WD	2'-6"	7'-0"				POCKET DOOR



MONTE FRENCH DESIGN STUDIO (MFDS)  
650 COLUMBUS AVE, STE. A  
BOSTON MA, 02118  
T: 617-606-4496  
WWW.MFDS-BOS.COM

CONSULTANTS:

ISSUE FOR PERMIT



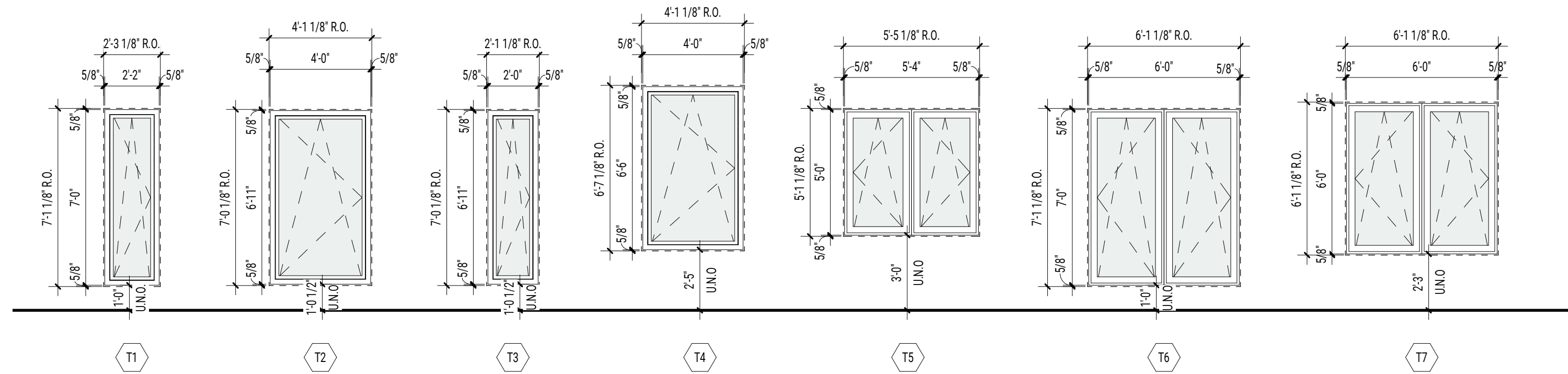
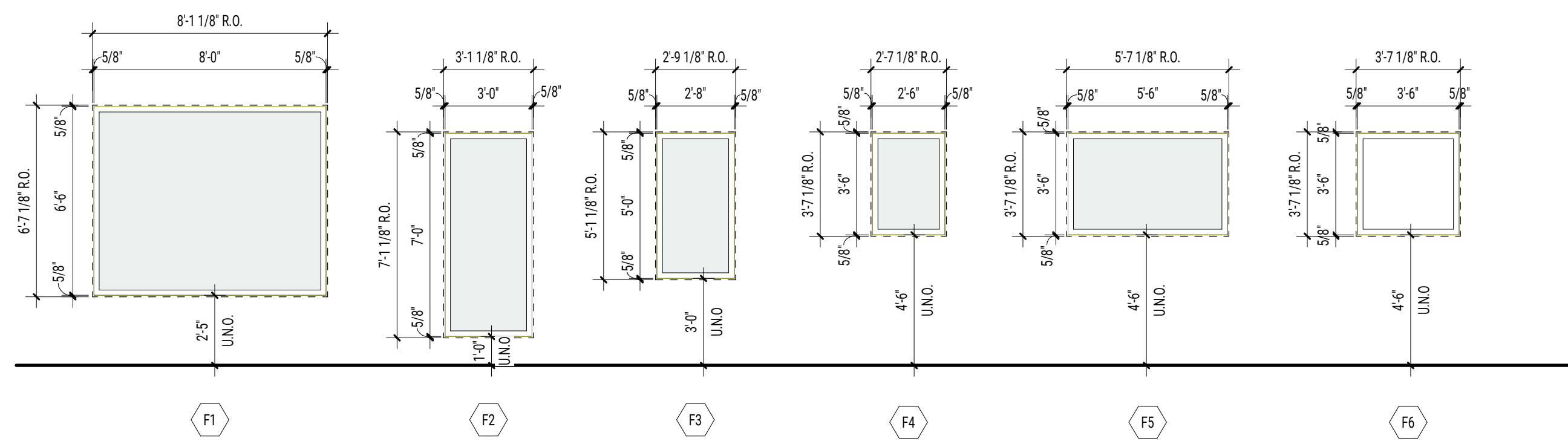
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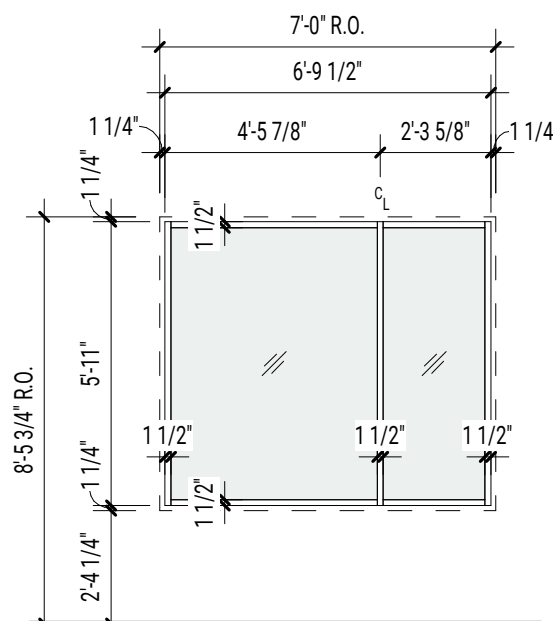
DOOR TYPES AND SCHEDULE

**A-710**

WINDOW TYPES



STOREFRONT TYPES



WINDOW SCHEDULE

TYPE MARK	HEIGHT	WIDTH	SILL HEIGHT	MATERIAL	OPERATION	MODEL	MANUFACTURER	FINISH	COMMENTS
F1	6'-6"	8'-0"	2'-5"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		
F2	7'-0"	3'-0"	1'-0"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F3	5'-0"	2'-8"	3'-0"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F4	3'-6"	2'-6"	4'-6"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F5	3'-6"	5'-6"	4'-6"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
F6	3'-6"	3'-6"	4'-6"	ALUMINUM	FIXED	MB-79N SI	ALUPROF S.A.		FIRE RATED GLAZING
T1	7'-0"	2'-2"	1'-0"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T2	6'-11"	4'-0"	0'-6 1/2"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T3	6'-11"	2'-0"	1'-0 1/2"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T4	6'-6"	4'-0"	2'-5"	ALUMINUM	TILT/TURN	MB-79N SI	ALUPROF S.A.		
T5	5'-0"	5'-4"	3'-0"	ALUMINUM	2X TILT/TURN	MB-79N SI	ALUPROF S.A.		
T6	7'-0"	6'-0"	1'-0"	ALUMINUM	2X TILT/TURN	MB-79N SI	ALUPROF S.A.		
T7	6'-0"	6'-0"	2'-3"	ALUMINUM	2X TILT/TURN	MB-79N SI	ALUPROF S.A.		



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CONSULTANTS:

ISSUE FOR PERMIT



MARK: DATE: DESCRIPTION:  
 ISSUE LOG:

PROJECT NAME:  
**58 BURBANK**

ADDRESS:  
 58 BURBANK STREET  
 BOSTON, MA, 02115  
 DATE ISSUED: 05 OCT 2022  
 PROJECT #: 21012  
 SCALE: As indicated  
 DRAWN BY: ED, MN, AY

WINDOW TYPES AND  
 SCHEDULE

**A-720**