



NOMINAL FEE LETTER

May 15, 2020

Re: 8 Lawrence Street Charlestown MA 02129; Article 62.

City of Boston
Inspectional Services Department
1010 Massachusetts Avenue
Boston, MA

Dear Plans Examiner:

The permit application for the above-captioned project is entirely zoning compliant; it meets all dimensional setbacks, open space and parking requirements. It is; however, within a Neighborhood Design Overlay Subdistrict, and over 300 square feet, as seen from a public way, are being erected or altered. Therefore, we are subject to BPDA design review. Accordingly, please accept this minium fee letter along with our online submission.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Patrick M Mahoney", is written over a horizontal line. The signature is stylized and cursive.

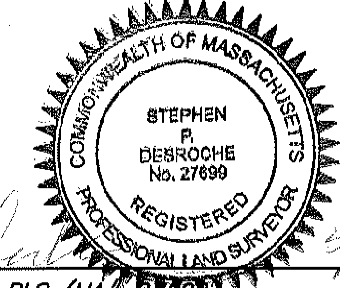
Patrick M Mahoney, Esq.

NOTES

- 1) - THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE WARD 2 - PARCEL 3846, HAVING AN AREA OF 1,678 SQUARE FEET WITH WARD 2 - PARCEL 3848 010, HAVING AN AREA OF 734 SQUARE FEET, TO FORM LOT 1, A CONTIGUOUS LOT WITH AN AREA OF 2,412 SQUARE FEET RESPECTIVELY.
- 2) - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- 3) - BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X"(UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25025C0077J, MAP REVISED MARCH 16, 2016.

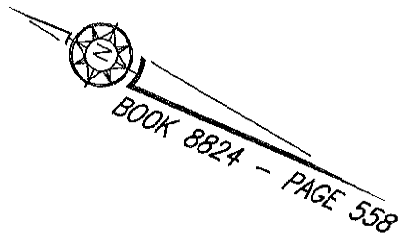
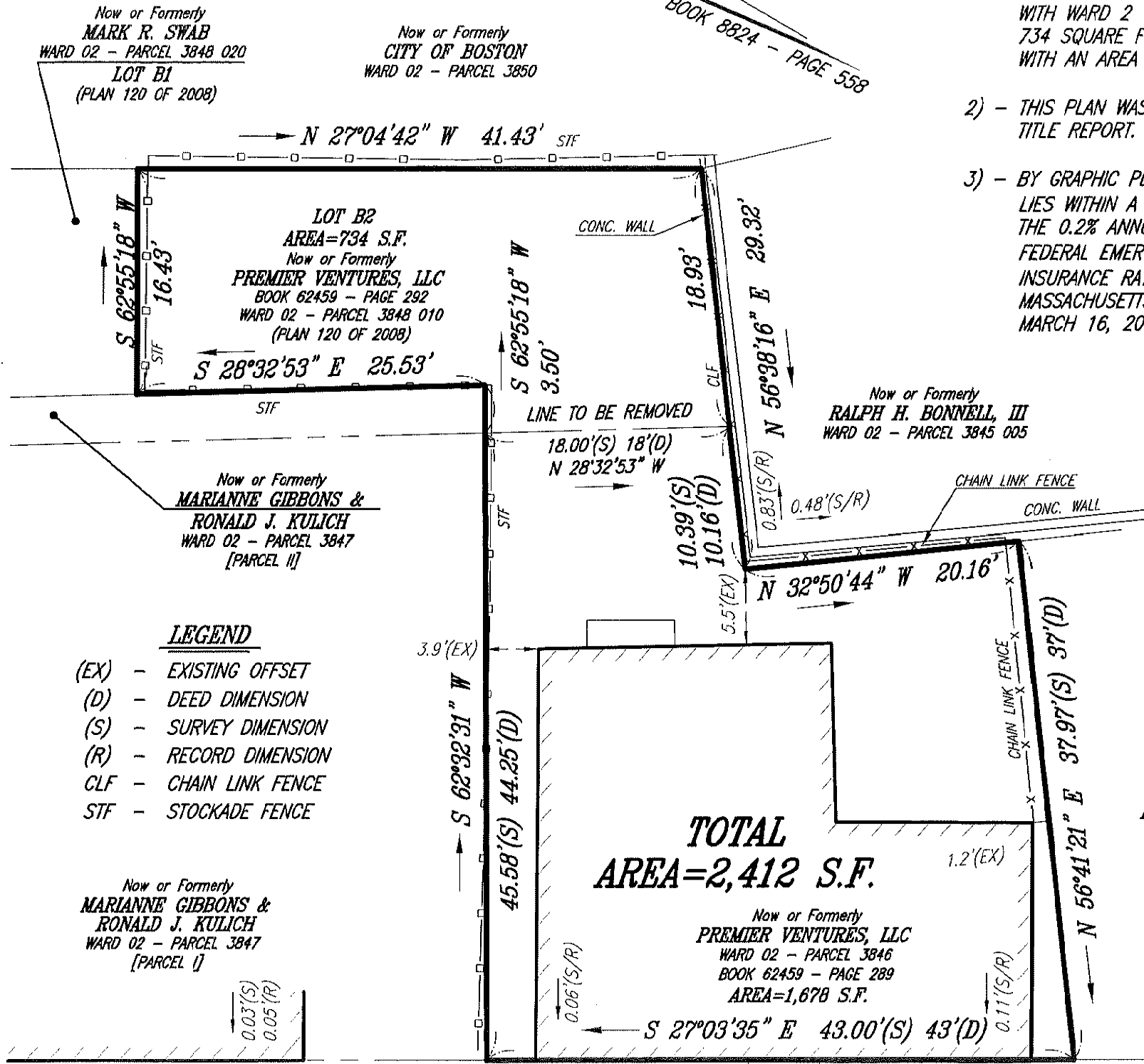
FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PLANS AND DEEDS OF RECORD.



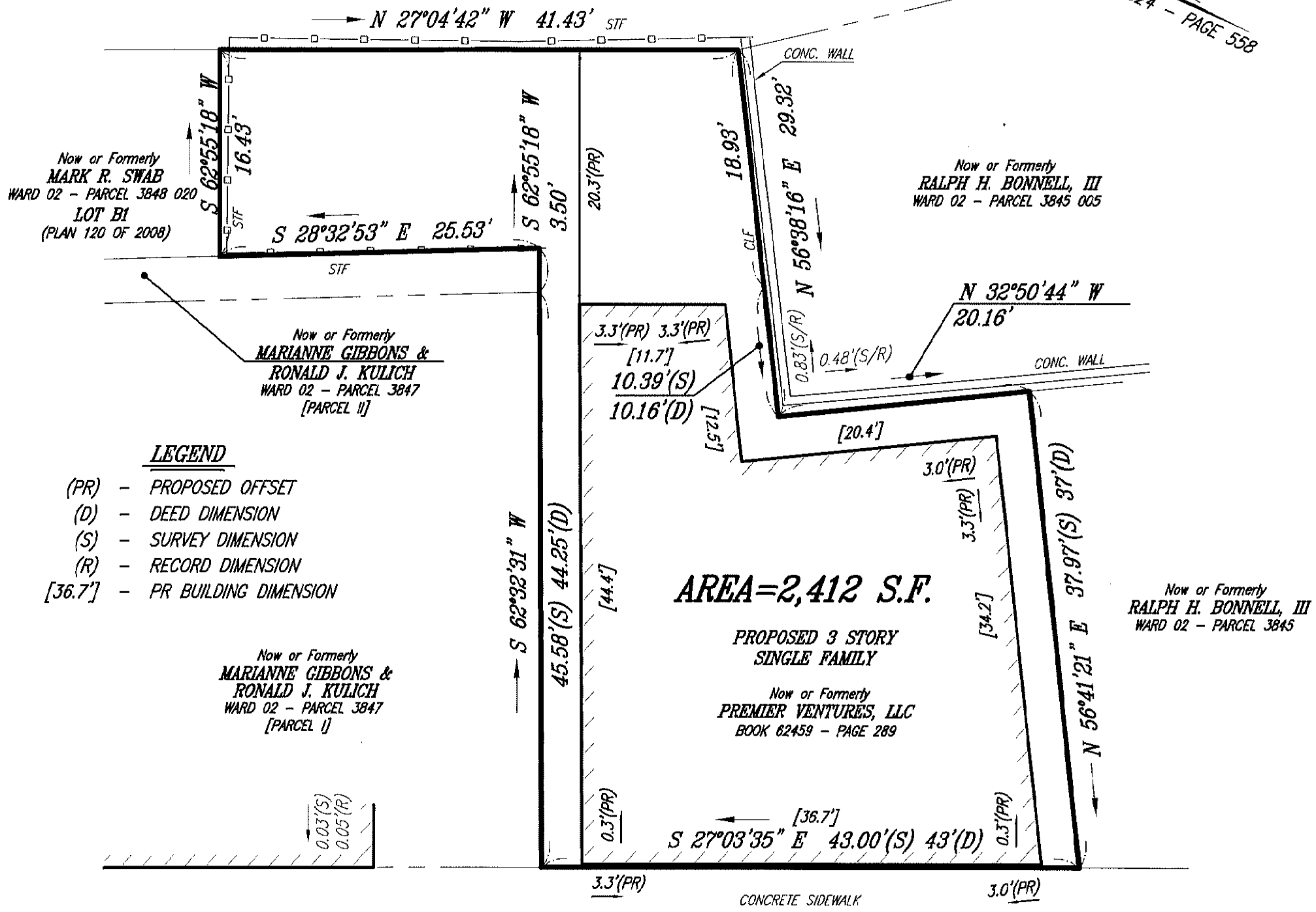
Stephen P. Desroche
STEPHEN P. DesROCHE, PLS (MA# 27899) DATE 5/18/20

FS	CONSOLIDATION PLAN		
	8 LAWRENCE STREET & LOT B2 UNION STREET CHARLESTOWN, MASSACHUSETTS		
FRAMINGHAM SURVEY CONSULTANTS INC.			
P.O. BOX 1190 FRAMINGHAM, MA 01701			
PH: 508-628-1444 FAX: 508-879-9292			
WWW.FRAMINGHAMSURVEY.COM			
SCALE: 1"=10'	DRAWN BY: RDN	DWG: 3108_20	
DATE: APRIL 6, 2020	CHECKED BY: SPD	JOB NO: 3108_20	
GRAPHIC SCALE (IN FEET)			
IN ASSOCIATION WITH NEPONSET VALLEY SURVEY ASSOCIATES, INC.			



Now or Formerly
CITY OF BOSTON
WARD 02 - PARCEL 3850

BOOK 8824 - PAGE 558



NOTES

- 1) - BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X"(UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25025C0077J, MAP REVISED MARCH 16, 2016.
- 2) - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PLANS AND DEEDS OF RECORD.

LEGEND

- (PR) - PROPOSED OFFSET
- (D) - DEED DIMENSION
- (S) - SURVEY DIMENSION
- (R) - RECORD DIMENSION
- [36.7'] - PR BUILDING DIMENSION

AREA=2,412 S.F.

PROPOSED 3 STORY
SINGLE FAMILY

Now or Formerly
PREMIER VENTURES, LLC
BOOK 62459 - PAGE 289



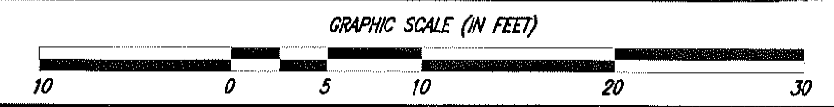
STEPHEN P. DesROCHE, PLS (MA# 27699) DATE 5/18/20



PLAN FOR PROPOSED BUILDING
8 LAWRENCE STREET
CHARLESTOWN, MASSACHUSETTS

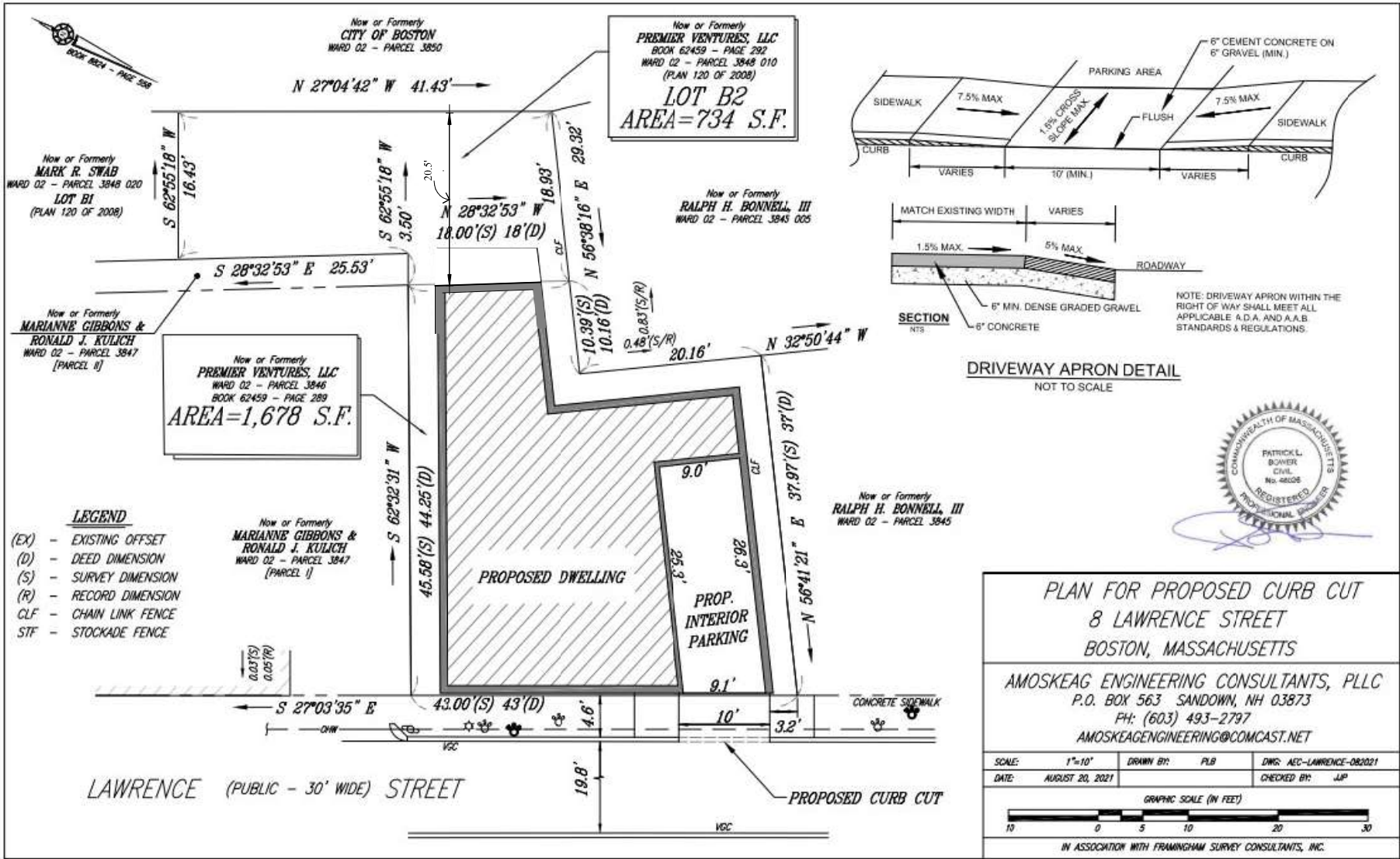
FRAMINGHAM SURVEY CONSULTANTS INC.
P.O. BOX 1190 FRAMINGHAM, MA 01701
PH: 508-628-1444 FAX: 508-879-9292
WWW.FRAMINGHAMSURVEY.COM

SCALE: 1"=10'	DRAWN BY: RDN	DWG: 3106_20 PPF 16 17
DATE: MAY 12, 2020	CHECKED BY: SPD	JOB NO: 3106_20



IN ASSOCIATION WITH NEPONSET VALLEY SURVEY ASSOCIATES, INC.

LAWRENCE (PUBLIC - 30' WIDE) STREET



Now or Formerly
CITY OF BOSTON
 WARD 02 - PARCEL 3850

Now or Formerly
PREMIER VENTURES, LLC
 BOOK 62459 - PAGE 292
 WARD 02 - PARCEL 3848 010
 (PLAN 120 OF 2008)
LOT B2
AREA=734 S.F.

Now or Formerly
MARK R. SWAB
 WARD 02 - PARCEL 3848 020
LOT B1
 (PLAN 120 OF 2008)

Now or Formerly
RALPH H. BONNELL, III
 WARD 02 - PARCEL 3845 005

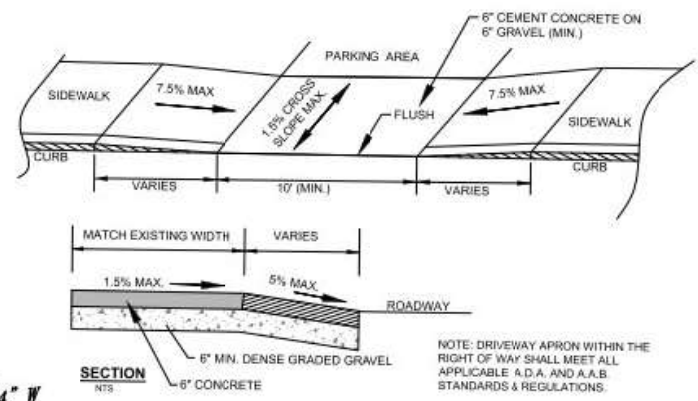
Now or Formerly
**MARIANNE GIBBONS &
 RONALD J. KULICH**
 WARD 02 - PARCEL 3847
 [PARCEL II]

Now or Formerly
PREMIER VENTURES, LLC
 WARD 02 - PARCEL 3846
 BOOK 62459 - PAGE 289
AREA=1,678 S.F.

Now or Formerly
**MARIANNE GIBBONS &
 RONALD J. KULICH**
 WARD 02 - PARCEL 3847
 [PARCEL I]

Now or Formerly
RALPH H. BONNELL, III
 WARD 02 - PARCEL 3845

- LEGEND**
- (EX) - EXISTING OFFSET
 - (D) - DEED DIMENSION
 - (S) - SURVEY DIMENSION
 - (R) - RECORD DIMENSION
 - CLF - CHAIN LINK FENCE
 - STF - STOCKADE FENCE



**PLAN FOR PROPOSED CURB CUT
 8 LAWRENCE STREET
 BOSTON, MASSACHUSETTS**

AMOSKEAG ENGINEERING CONSULTANTS, PLLC
 P.O. BOX 563 SANDOWN, NH 03873
 PH: (603) 493-2797
 AMOSKEAGENGINEERING@COMCAST.NET

SCALE: 1"=10'	DRAWN BY: PLB	DWG: AEC-LAWRENCE-082021
DATE: AUGUST 20, 2021	CHECKED BY: JJP	

GRAPHIC SCALE (IN FEET)

10 0 5 10 20 30

IN ASSOCIATION WITH FRAMINGHAM SURVEY CONSULTANTS, INC.

8 Lawrence Street

Charlestown, Boston, Massachusetts

Owner: George Sarkis, Issued for Permit Set: 05/07/2020

ELEVATION TARGET



INTERIOR ELEVATION TARGET



DETAIL TARGET

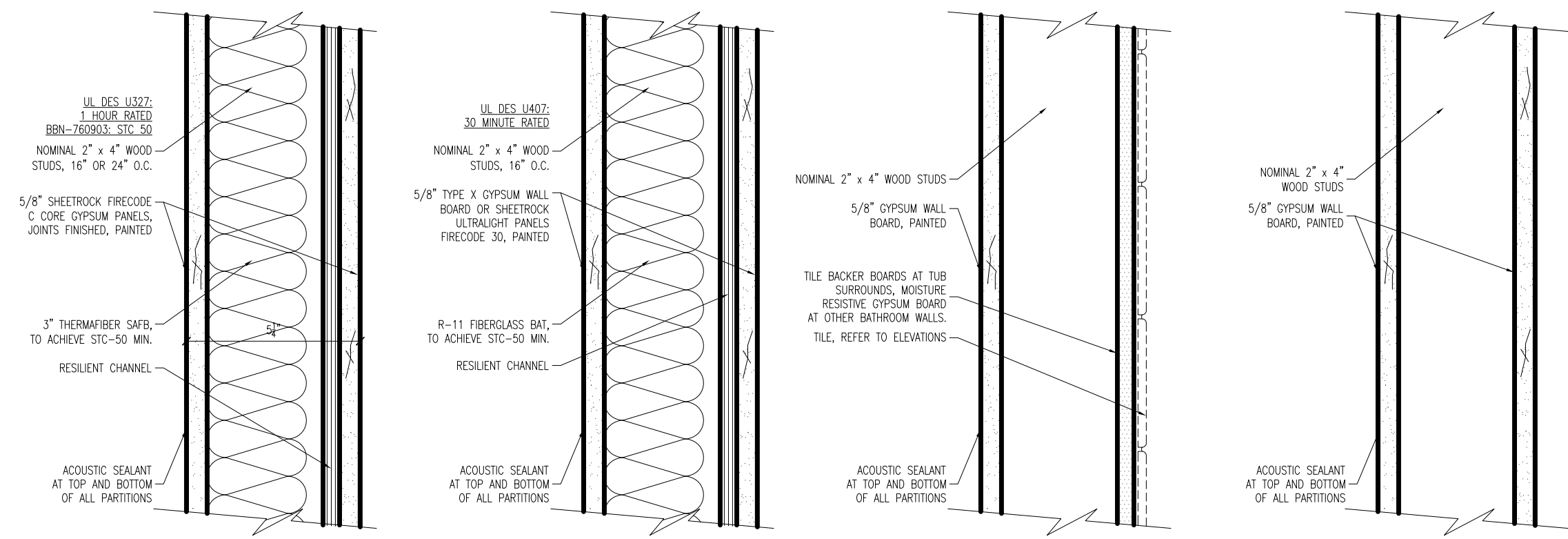


WINDOW TARGET



GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES.
- THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT.
- THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
- BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
- WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
 - DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
 - DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
 - UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 2 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT PERPENDICULAR WALL.
- CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS
- ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
 - SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
 - SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
 - ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
 - ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
 - ALL WOOD COMPONENTS SHALL BE FIRE TREATED
 - CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
 - ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
- WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
- EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
 - MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
 - COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
- PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
- SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
- EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING, CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
 - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES

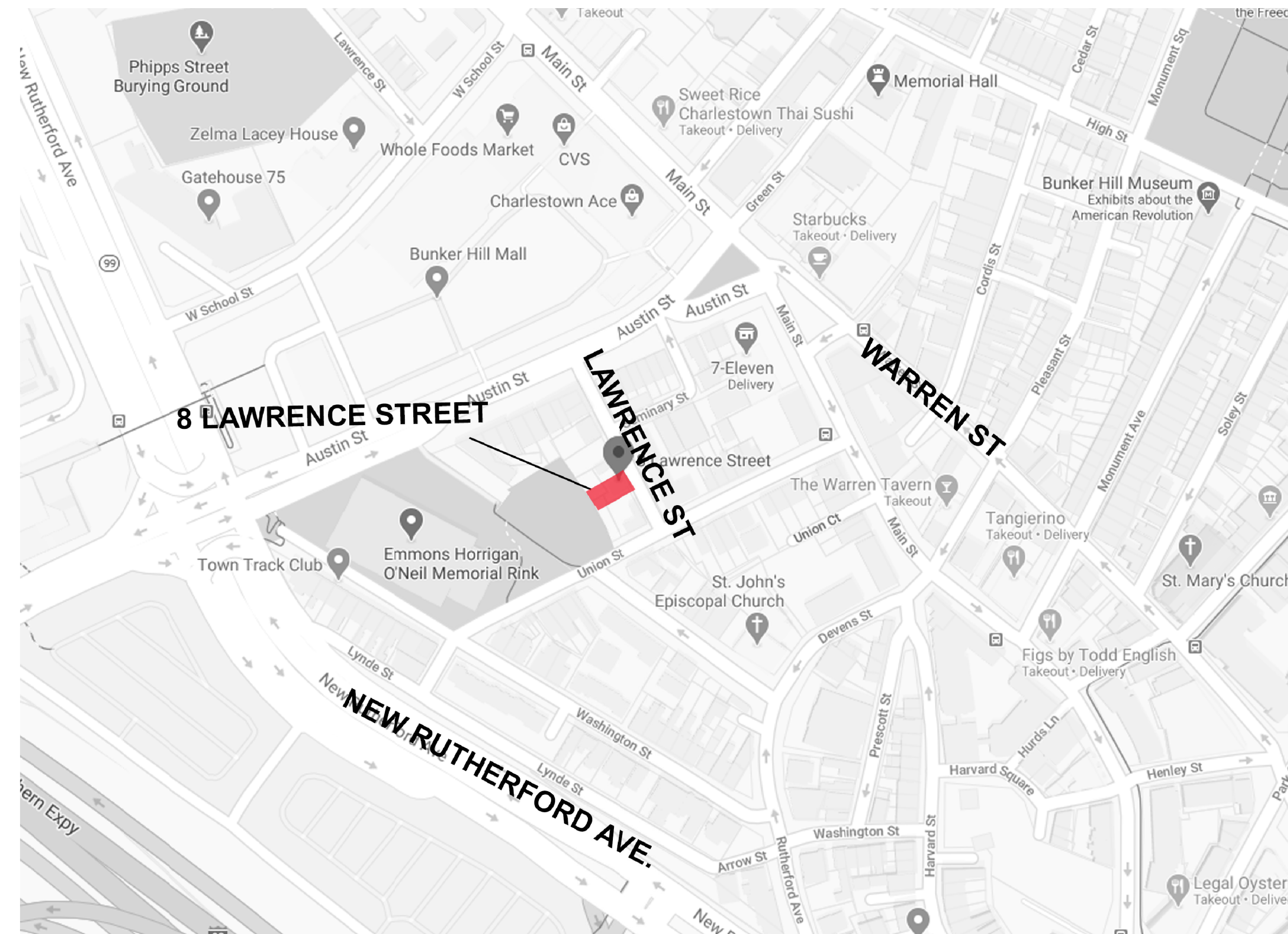


D WALL TYPE D
1 HOUR RATED
SCALE: 3" = 1'-0"

C WALL TYPE C
30 MINUTE RATED
SCALE: 3" = 1'-0"

B WALL TYPE B
SECTION DETAIL
SCALE: 3" = 1'-0"

A WALL TYPE A
SECTION DETAIL
SCALE: 3" = 1'-0"



1 LOCATION PLAN
SCALE: NOT TO SCALE

APPLICABLE CODES:

- BUILDING CODE: CMR 780 MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2015, INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
- ACCESSIBILITY: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD CMR 521 AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
- FIRE PROTECTION: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE CMR 527 1.00 - 2012 NFPA 1: FIRE CODE WITH AMENDMENTS
- ELECTRICAL: 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2014 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
- MECHANICAL: INTERNATIONAL MECHANICAL CODE 2015 W/ AMENDMENTS
- PLUMBING: 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
- ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2015 (IECC)
- AMERICANS WITH DISABILITIES ACT
- BOSTON ZONING CODE
- MGL CH. 148 SECTION 26G

BUILDING DESCRIPTION:

THIS NEW SINGLE-FAMILY HOME IS STORIES TALL WITH A GARAGE SPACE FOR 1 CAR AND A FINISHED BASEMENT AREA.

CODE SUMMARY:

- PROPOSED USE OR OCCUPANCY: RESIDENTIAL - R-3
 - OCCUPANT LOAD: (200 GROSS SF/PERSON PER 1004.1.1) APPROX. 4253 SF = 21 PERSONS
- CONSTRUCTION TYPE: V.A. - TABLE 504.4
 - PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE TO BE 1 HOUR RATED.
 - MAX. AREA PER FLOOR IS 12,000 SF PER TABLE 506 AND MAXIMUM HEIGHT IS 4 STORIES ABOVE GRADE - 504.4
- PER TABLE 1006.3.2(1) FOR USE GROUP R-2 - TWO EXITS ARE REQUIRED WHEN THERE ARE FOUR STORIES OR MORE AND TRAVEL DISTANCE IS LIMITED TO 125'
 - MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
 - MAXIMUM LENGTH OF EXIT TRAVEL: 250 FEET PER 1017.2
- FIRE RATED CONSTRUCTION:
 - PER TABLE 602, EXTERIOR WALLS MORE THAN 30' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 30' OR LESS MUST BE 1 HOUR RATED.
 - DEMISING PARTITIONS/CORRIDORS MUST BE 1 HOUR RATED IN A SPRINKLERED TYPE V.A. BUILDING 420.1, 708.3.
 - HORIZONTAL SEPARATION BETWEEN DWELLING UNITS: 1 HOUR IN A SPRINKLERED TYPE V.A. BUILDING PER 420 AND 711.2.4.3 - REFER TO DETAIL ON A-20
 - STAIRWAYS CONNECTING 4 OR MORE STORIES ARE TO BE 2 HOUR RATED, STAIRS CONNECTING LESS THAN 4 STORIES ARE TO BE 1 HOUR RATED PER 1023.2
 - PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS, 1 HOUR AND 1/2 HOUR CORRIDORS SHALL HAVE A MINIMUM 20 MIN. RATED DOOR. 2 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 90 MIN. DOORS.
- DEMISING PARTITION MINIMUM: STC 50 PER SECTION 1207.2
- ACCESSIBILITY REQUIREMENTS:
 - CMR 521 9.3 - BUILDING DOES NOT CONTAIN AN ELEVATOR BETWEEN GROUND AND FIRST LEVEL - UNITS ON FIRST LEVEL MUST BE CONSTRUCTED AS GROUP 1 DWELLING UNITS, COMPLY WITH 9.5, 42.00, 43.00 AND 46.00
 - CMR 521 9.4 BUILDING DOES NOT CONTAIN 20 OR MORE UNITS

ENERGY REQUIREMENTS:

- MASSACHUSETTS ENERGY STRETCH CODE, CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS, INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015
- CLIMATE ZONE 5H PER TABLE 301.1
 - EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 101.4.3.3.
 - PER IECC TABLES 402.1.2 AND R402.1.4, PENETRATION SHALL HAVE A U-FACTOR OF 0.30 OR BETTER.
 - SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.55 OR BETTER PER 402.1.2 AND 402.1.4.
 - VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
 - R402.1.2 - CEILING: R=49; WOOD FRAME WALL: R=20 OR 13(CAVITY)+5(CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10

ZONING ANALYSIS:	3F-2000	PROPOSED	COMMENTS
LOT AREA MIN.	2,000 SF	2412 SF	*2 LOTS COMBINED
MIN. LOT WIDTH	25'	43'-0"	
MIN. LOT FRONTAGE	25'	43'-0"	
MAX. BUILDING HEIGHT (STORIES/HEIGHT)	3 / 35'	3 / 35'-0"	
MAX. FLOOR AREA RATIO	2.0	4253 / 2412 = 1.76	
MIN. FRONT YARD SETBACK	EXIST. ALIGN	0'-3"	*CONFORMS W/ EXISTING ALIGNMENT
MIN. SIDE YARD SETBACK	2'-6"	3'-0"	
MIN. REAR YARD SETBACK	20'	20'-3"	
OPEN SPACE REQUIREMENT	350 SF	830 SF	
PARKING REQUIREMENT	1/UNIT	1 SPACE	

LIST OF DRAWINGS

- A-01 ANALYSIS, DRAWING LIST AND NOTES
- A-02 PROPOSED SITE PLAN
- A-10 PROPOSED PLANS
- A-30 PROPOSED ELEVATIONS



Eric Johnson

8 Lawrence St
George Sarkis

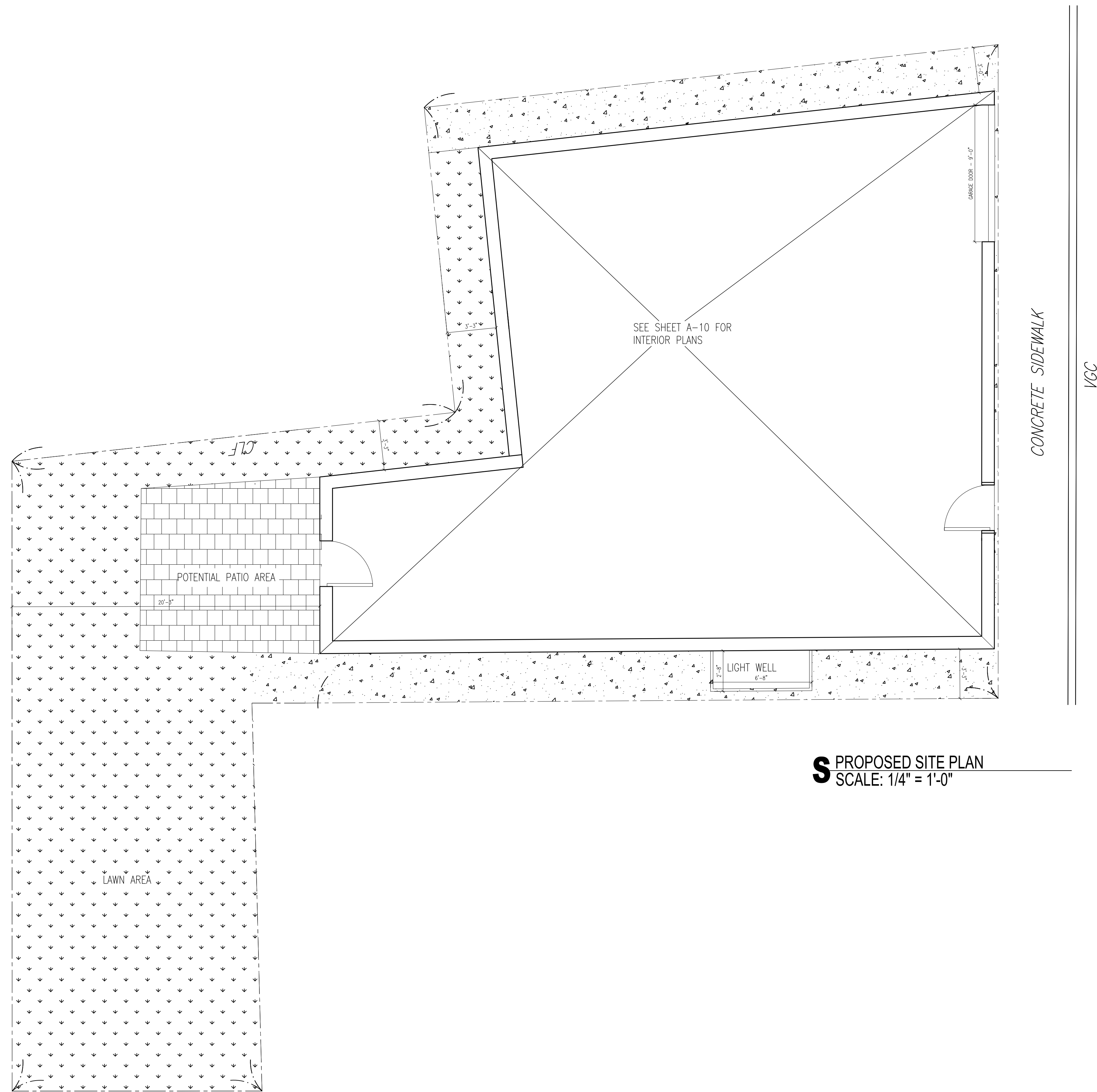
context
a collaborative design workshop

Charlestown, Massachusetts

01 Issued for Permit Set 05/07/2020

No. Description Date
Drawing Title: ANALYSIS, DWG LIST, NOTES
Project No.: 0256 Checked by: EZ

A-01



S PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"



Eric Johnson

05/07/2020

8 Lawrence St
George Sarkis

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Charlestown,
Massachusetts

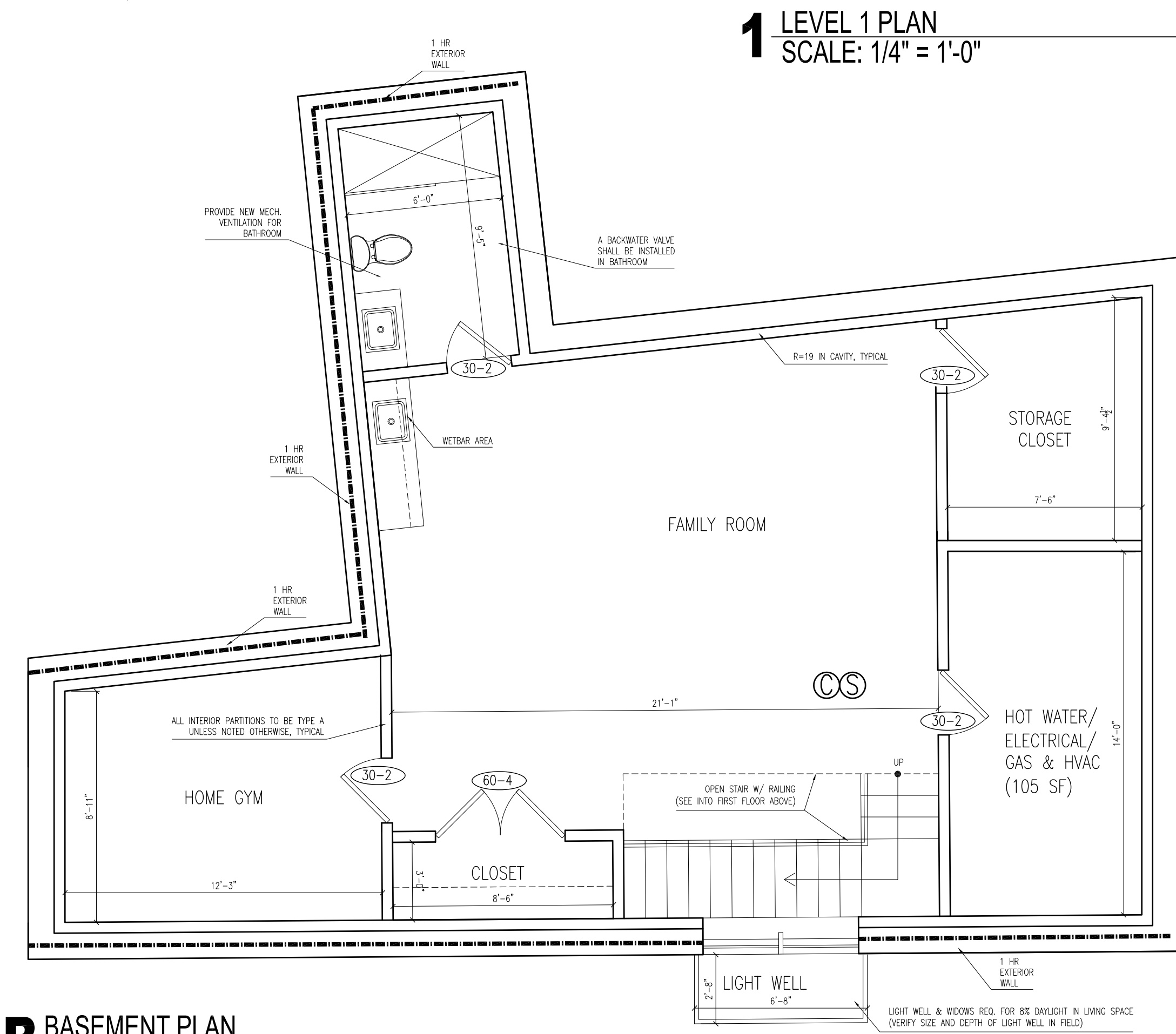
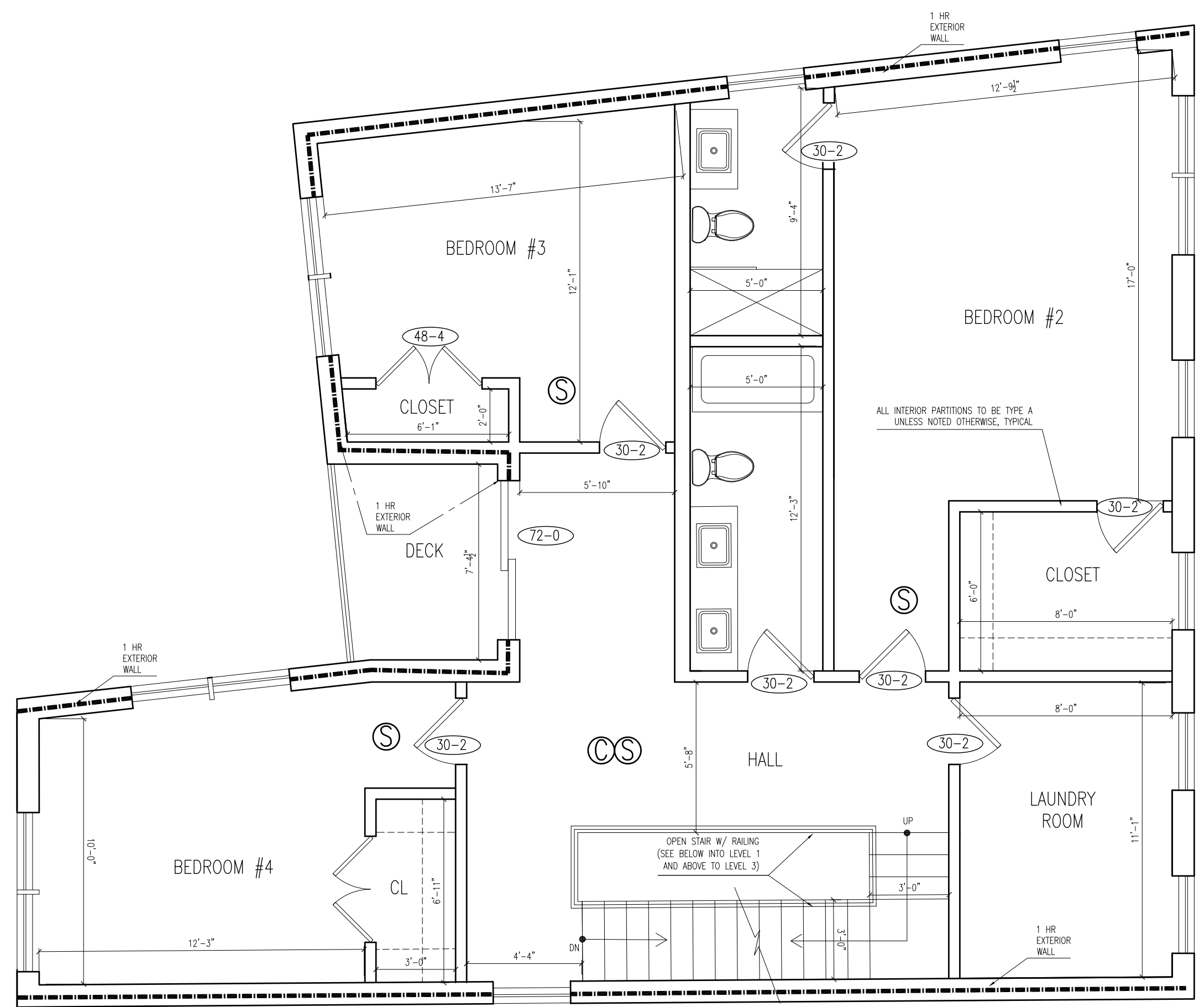
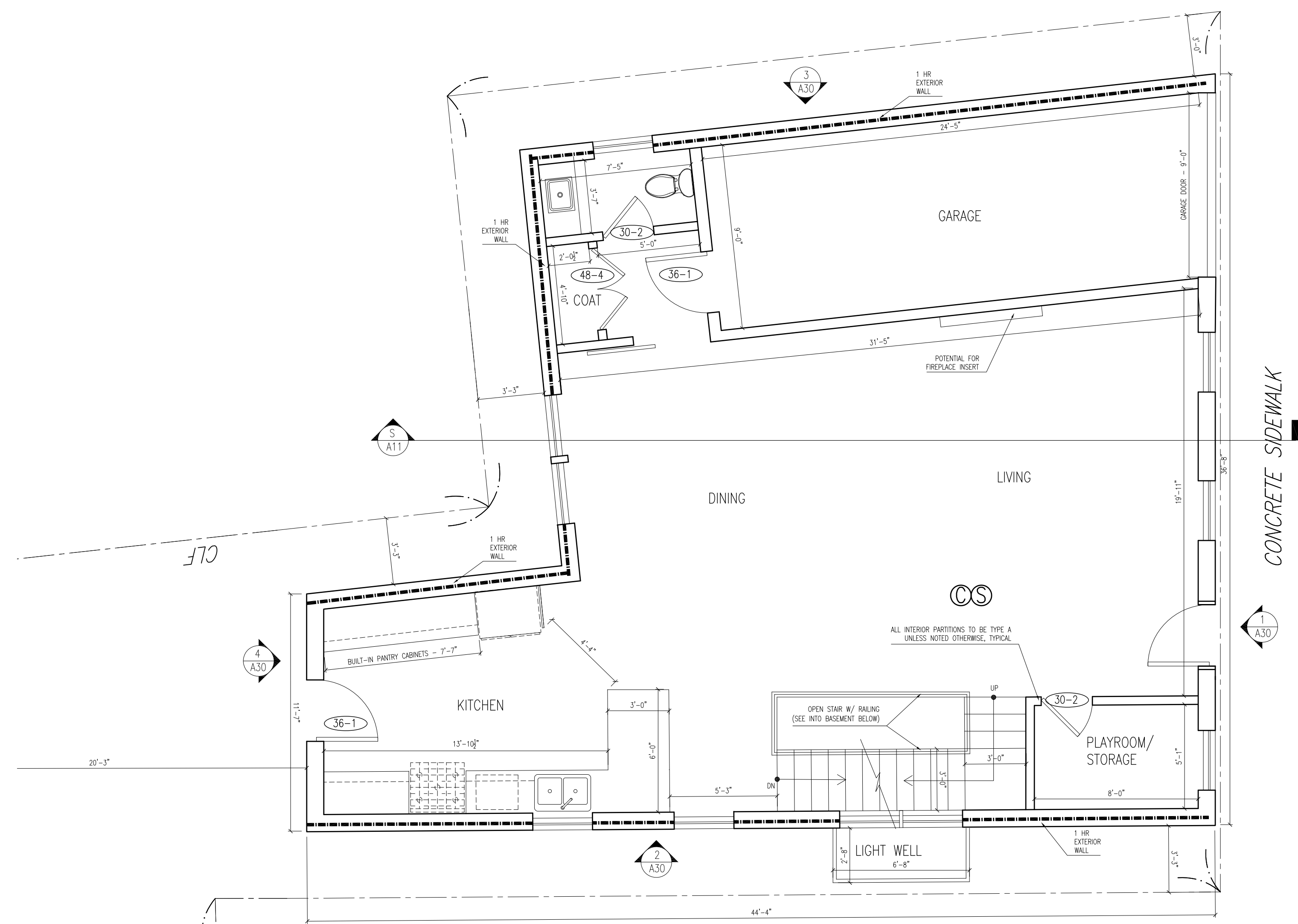
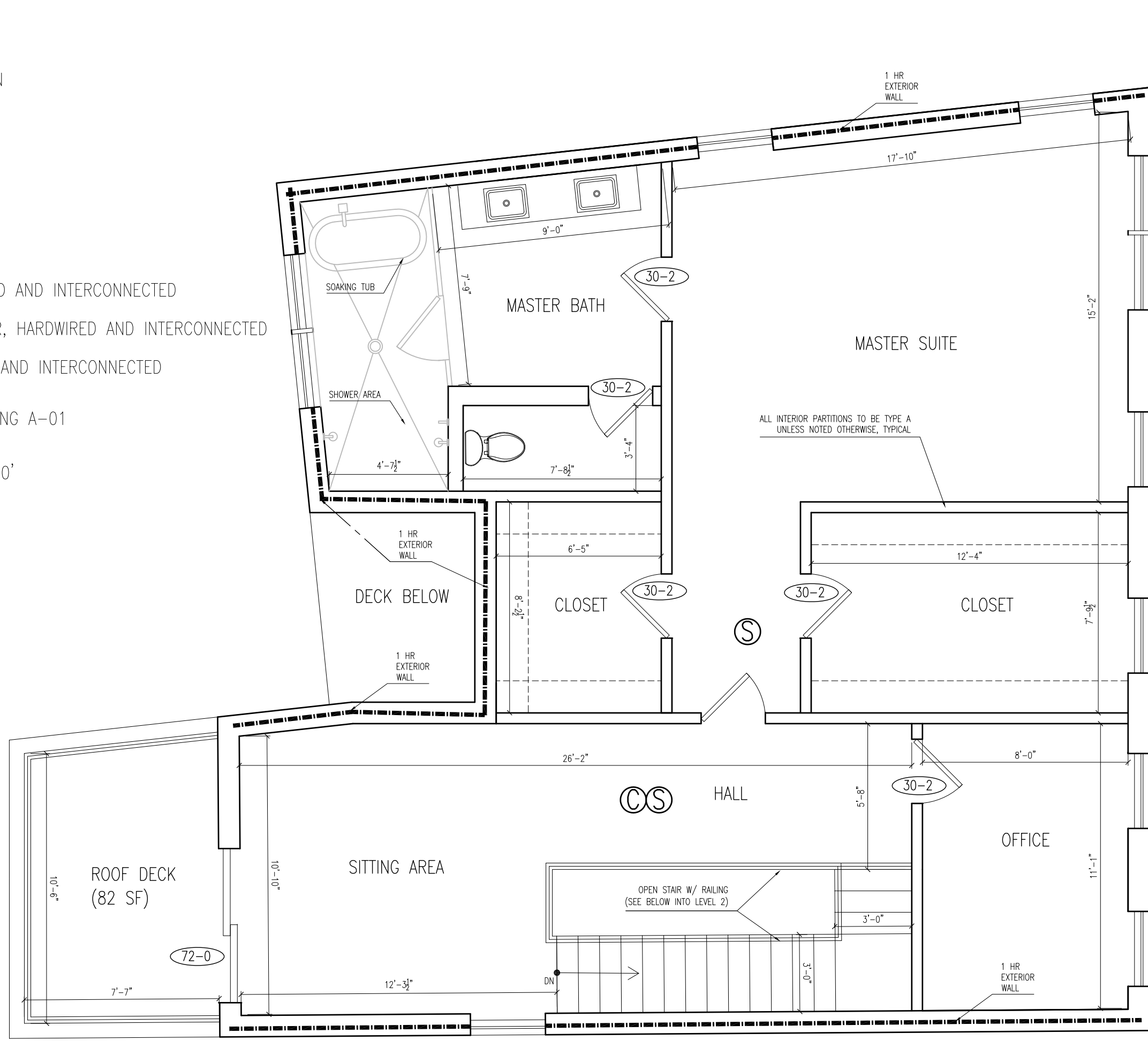
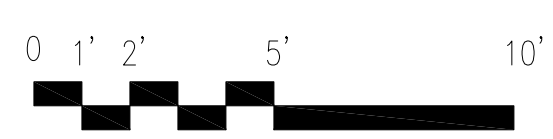
No.	Description	Date
01	Issued for Permit Set	05/07/2020

Drawing Title: Proposed Site Plan

Project No.: 0256 Checked by: EZ

A-02

- LEGEND**
- NEW PARTITION
 - RATED PARTITION
 - PARTITION RATING
 - NEW DOOR
 - 4" BETWEEN ADJACENT WALL AND OPENING, UNLESS NOTED OTHERWISE
 - SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
 - CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
 - HEAT DETECTOR, HARDWIRED AND INTERCONNECTED
 - WALL TYPE, REFER TO DRAWING A-01



1/01



Eric Johnson

05/07/2020

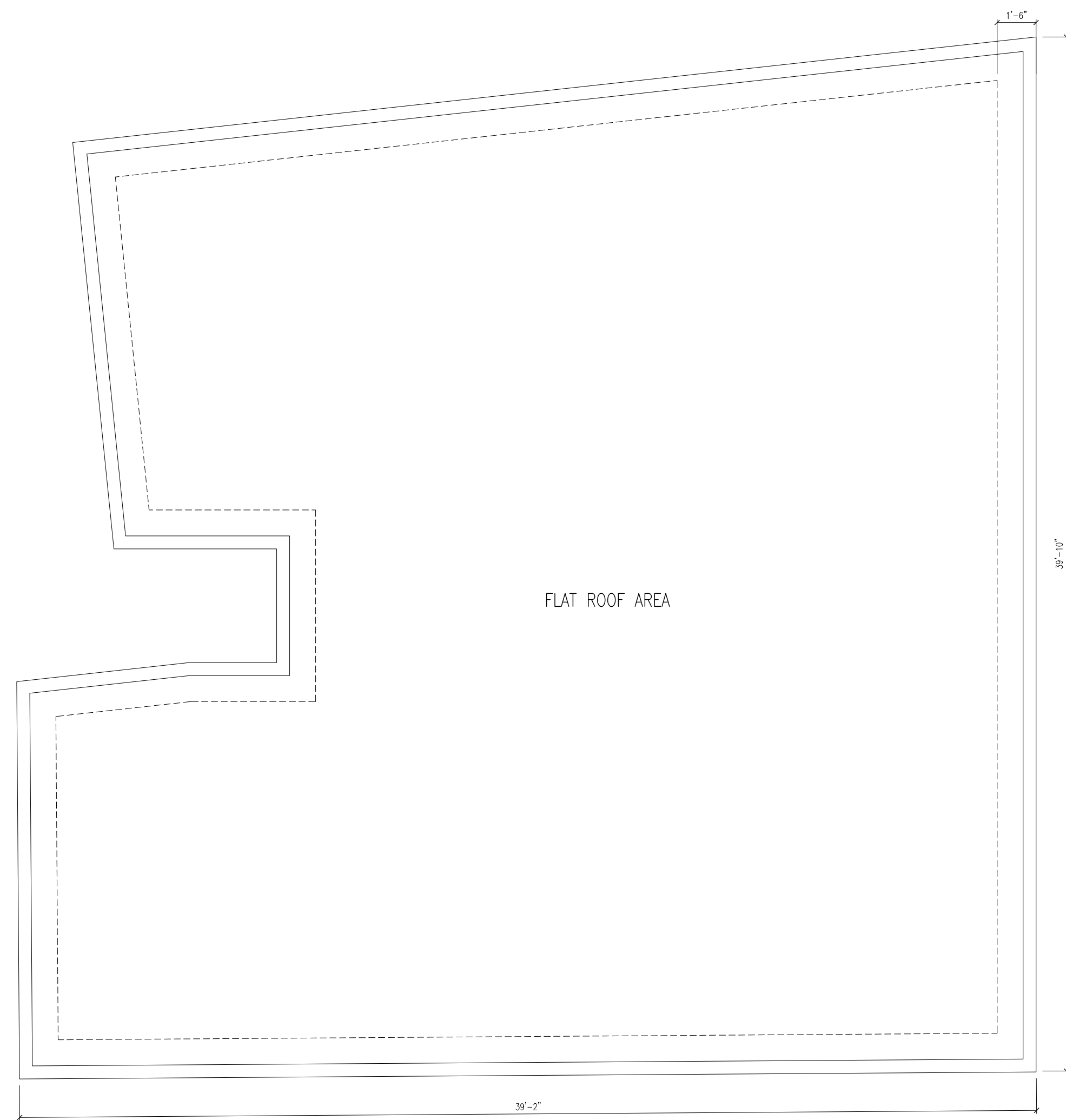
8 Lawrence St
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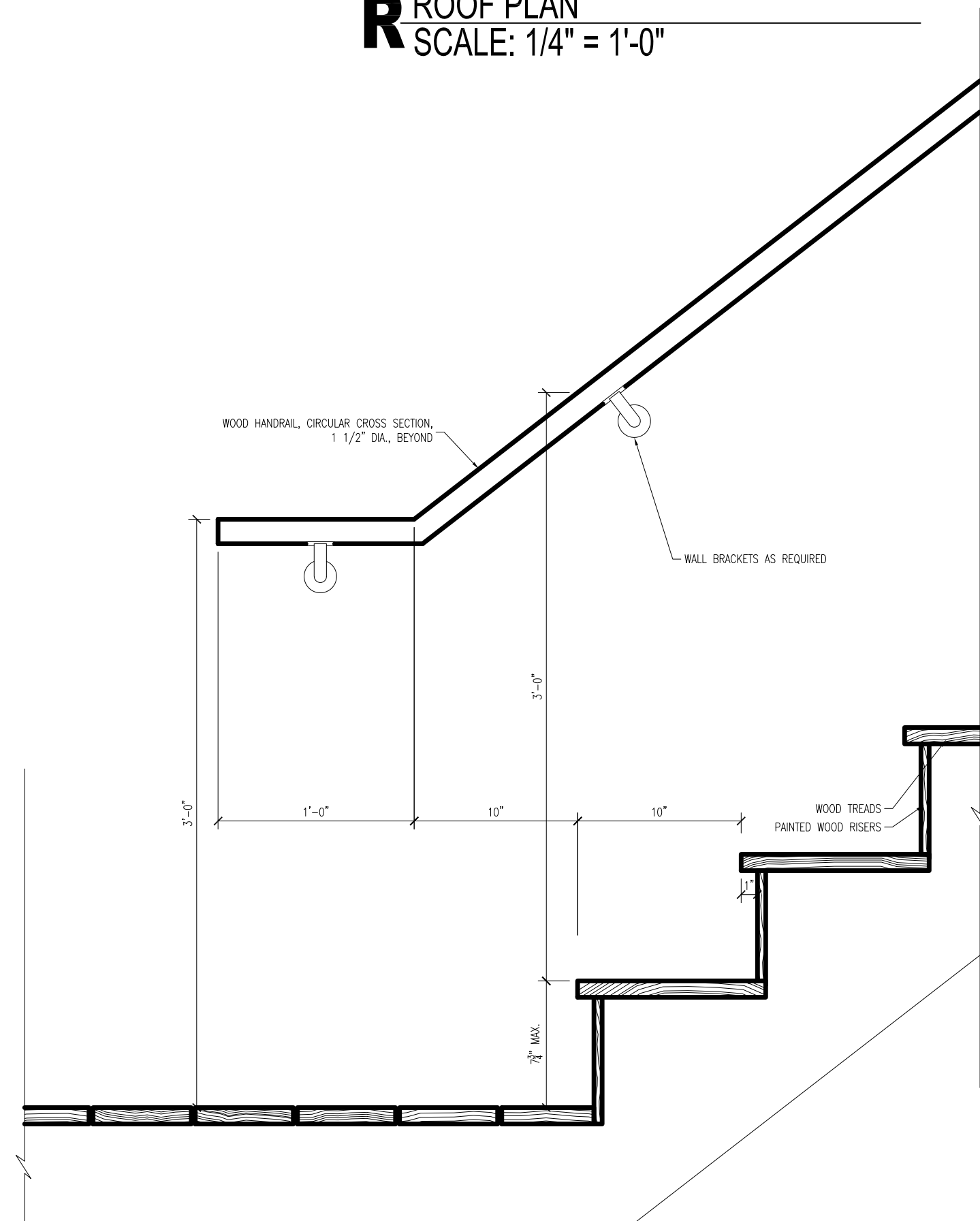
Charlestown,
Massachusetts

01	Issued for Permit Set	05/07/2020
No.	Description	Date
Drawing Title: Proposed Plans		
Project No.: 0256	Checked by: EZ	

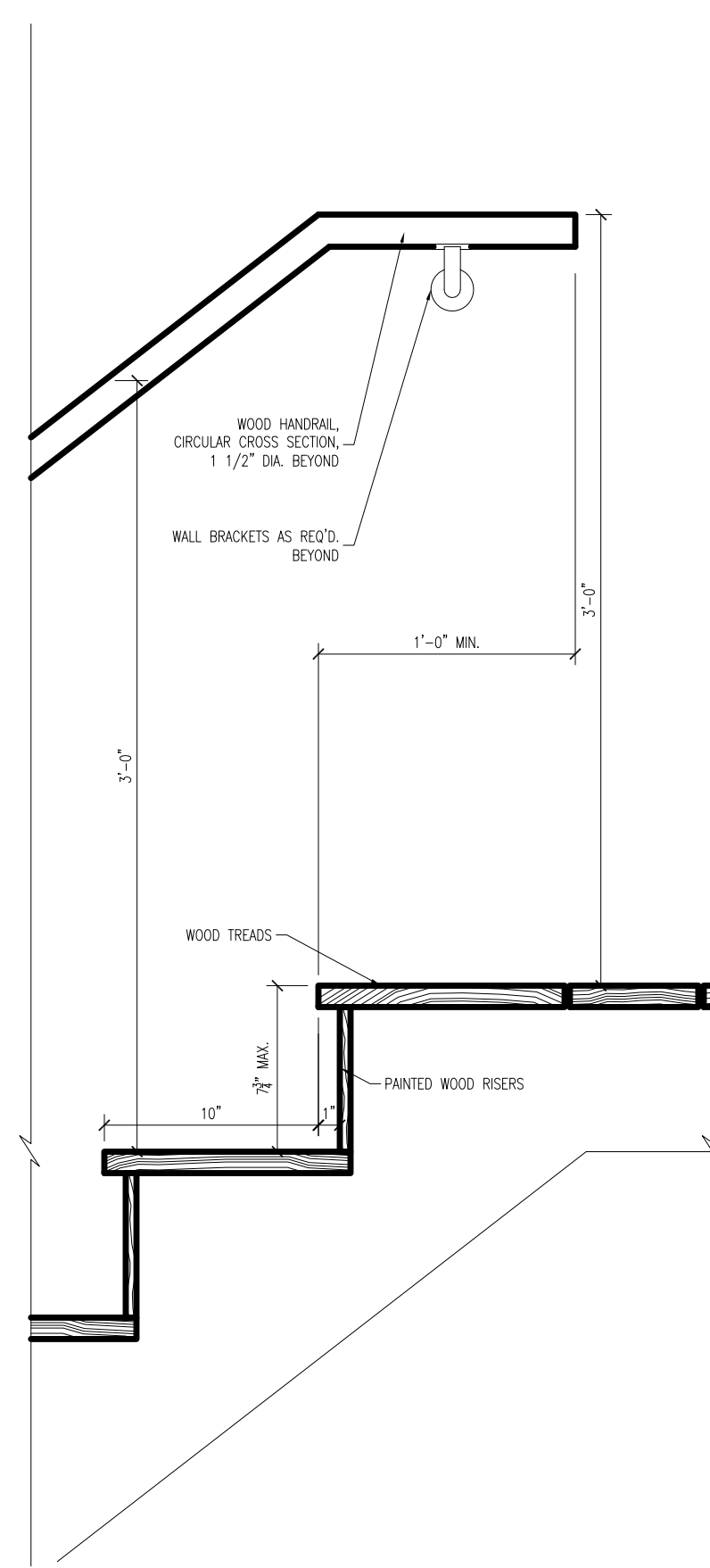
A-10



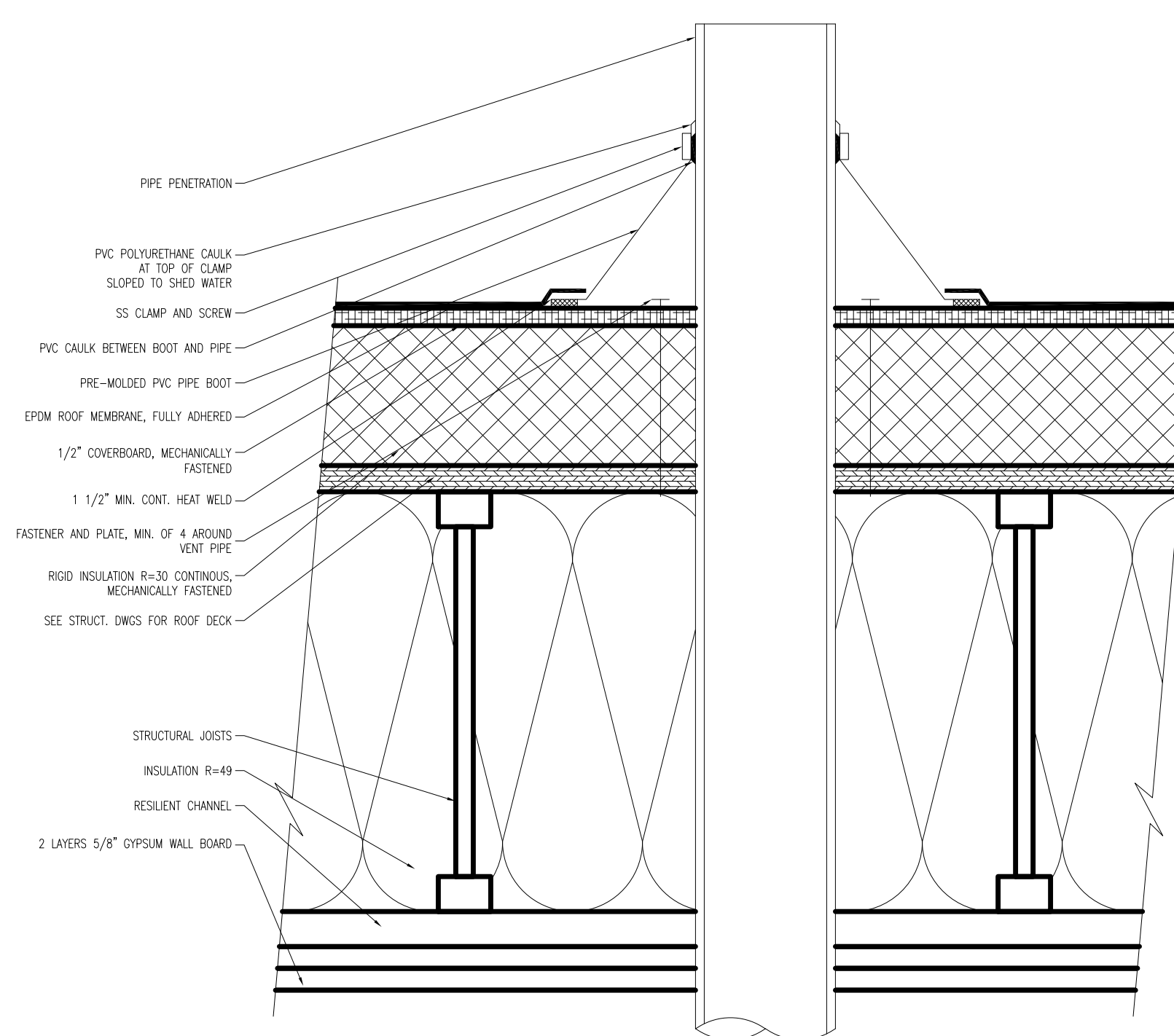
R ROOF PLAN
SCALE: 1/4" = 1'-0"



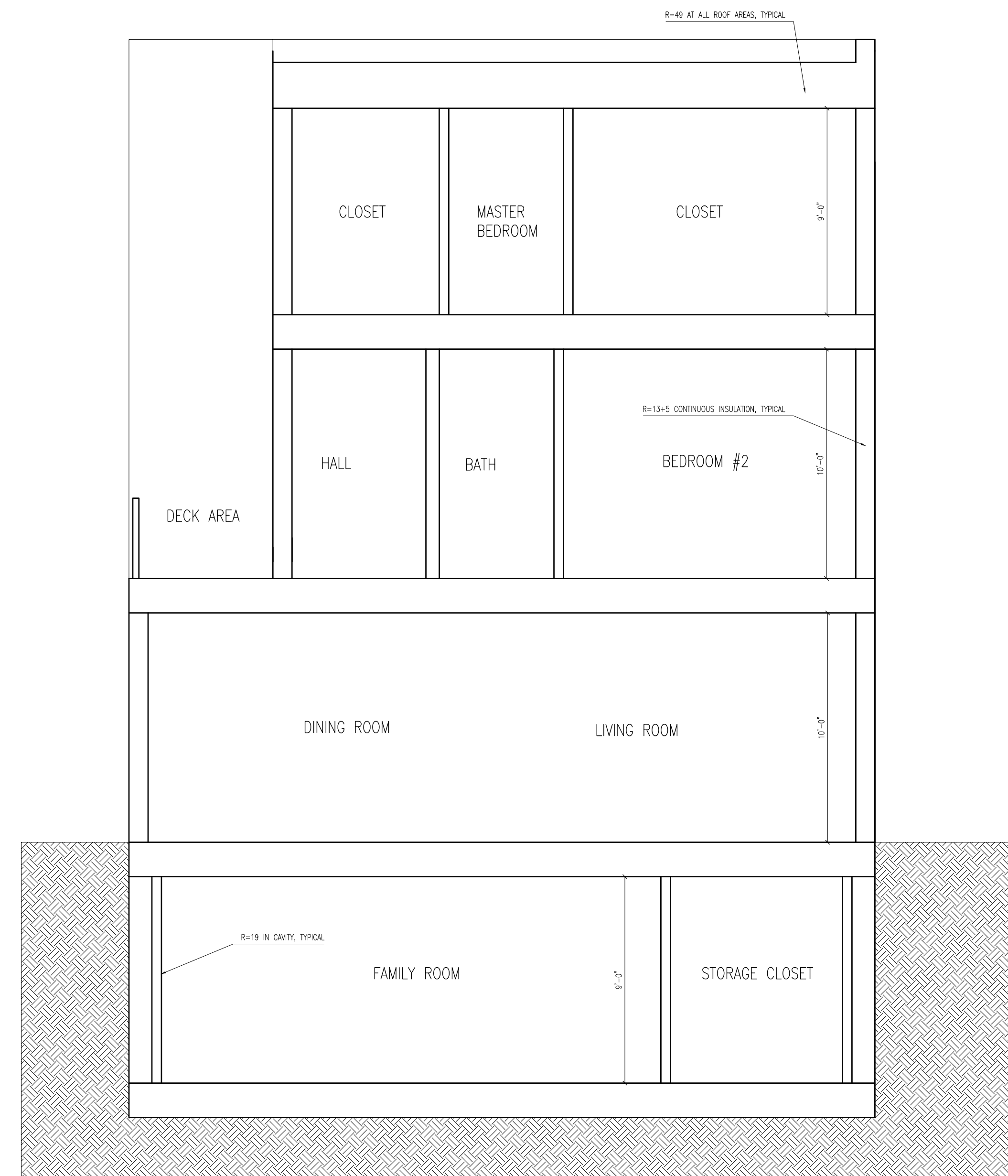
5 PROPOSED SECTION AT BASE OF STAIR
SCALE: 1 1/2" = 1'-0"



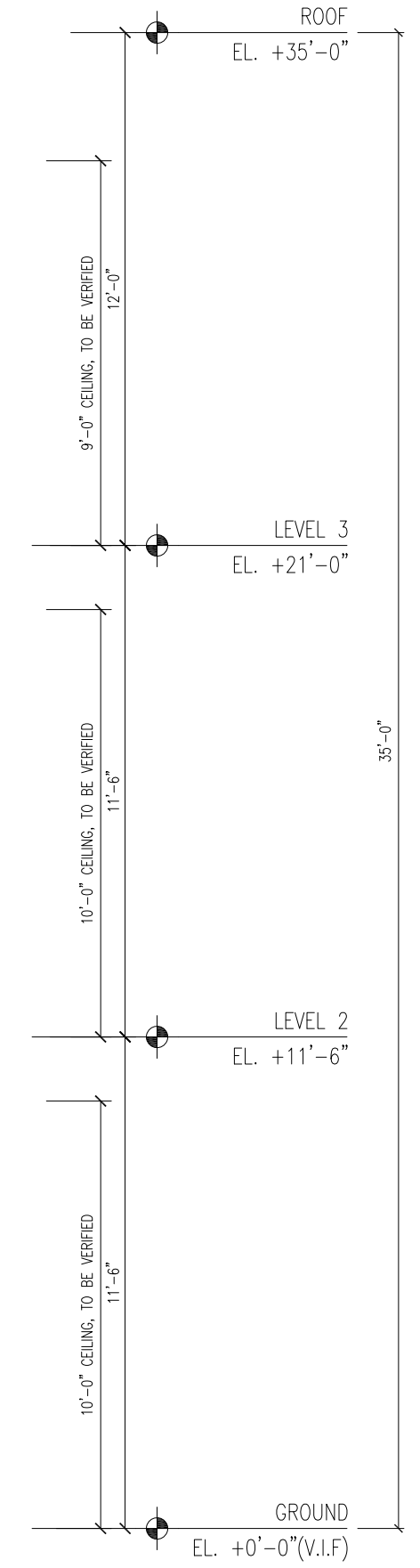
6 PROPOSED SECTION AT TOP OF STAIR
SCALE: 1 1/2" = 1'-0"



4 ROOF PENETRATION SECTION DETAIL
SCALE: 3" = 1'-0"

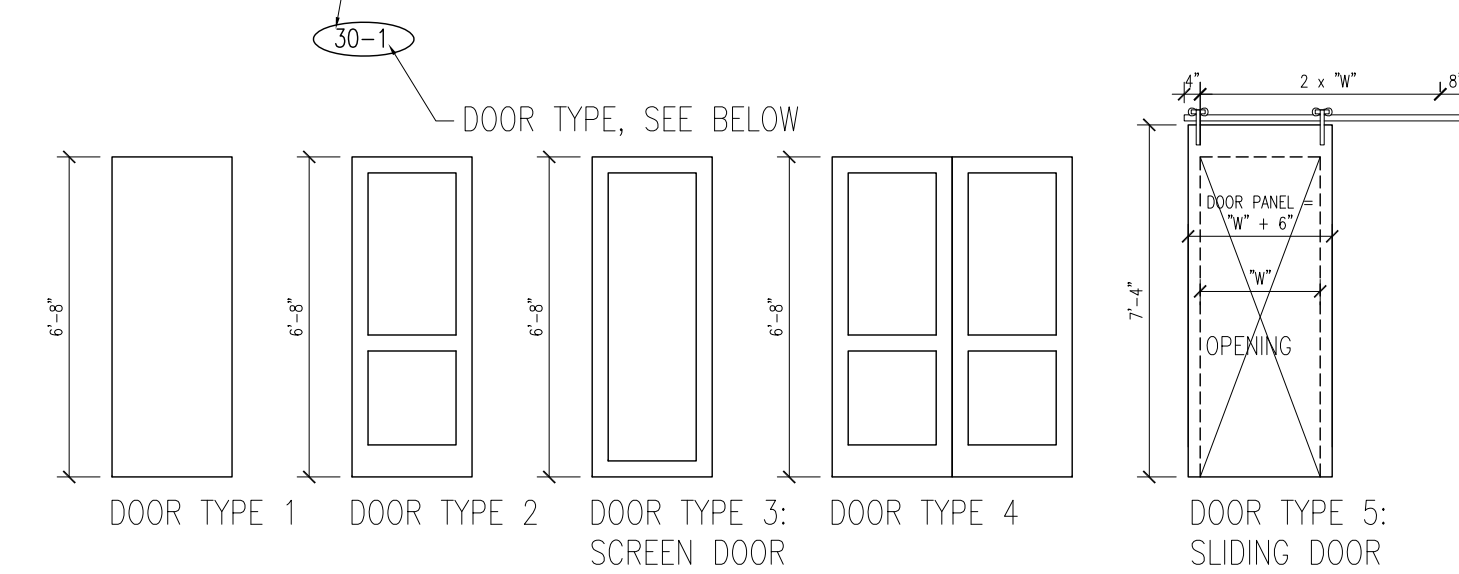


S PROPOSED SECTION
SCALE: 1/4" = 1'-0"



- FINISH NOTES:**
1. ALL WALLS TO BE PAINTED CWB, (WHITE TO MATCH ARCHITECT'S SAMPLE)
 2. FLOORS TO BE HARDWOOD UNLESS NOTED OTHERWISE.

- DOOR NOTES:**
1. ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES.
 2. INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
 3. DOOR TARGETS: DOOR WIDTH



Eric Johnson

8 Lawrence St
George Sarkis

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a collaborative design workshop

Charlestown,
Massachusetts

01	Issued for Permit Set	05/07/2020
No.	Description	Date
Drawing Title: Proposed Plans & Section		
Project No.: 0256	Checked by: EZ	

05/07/2020

A-11



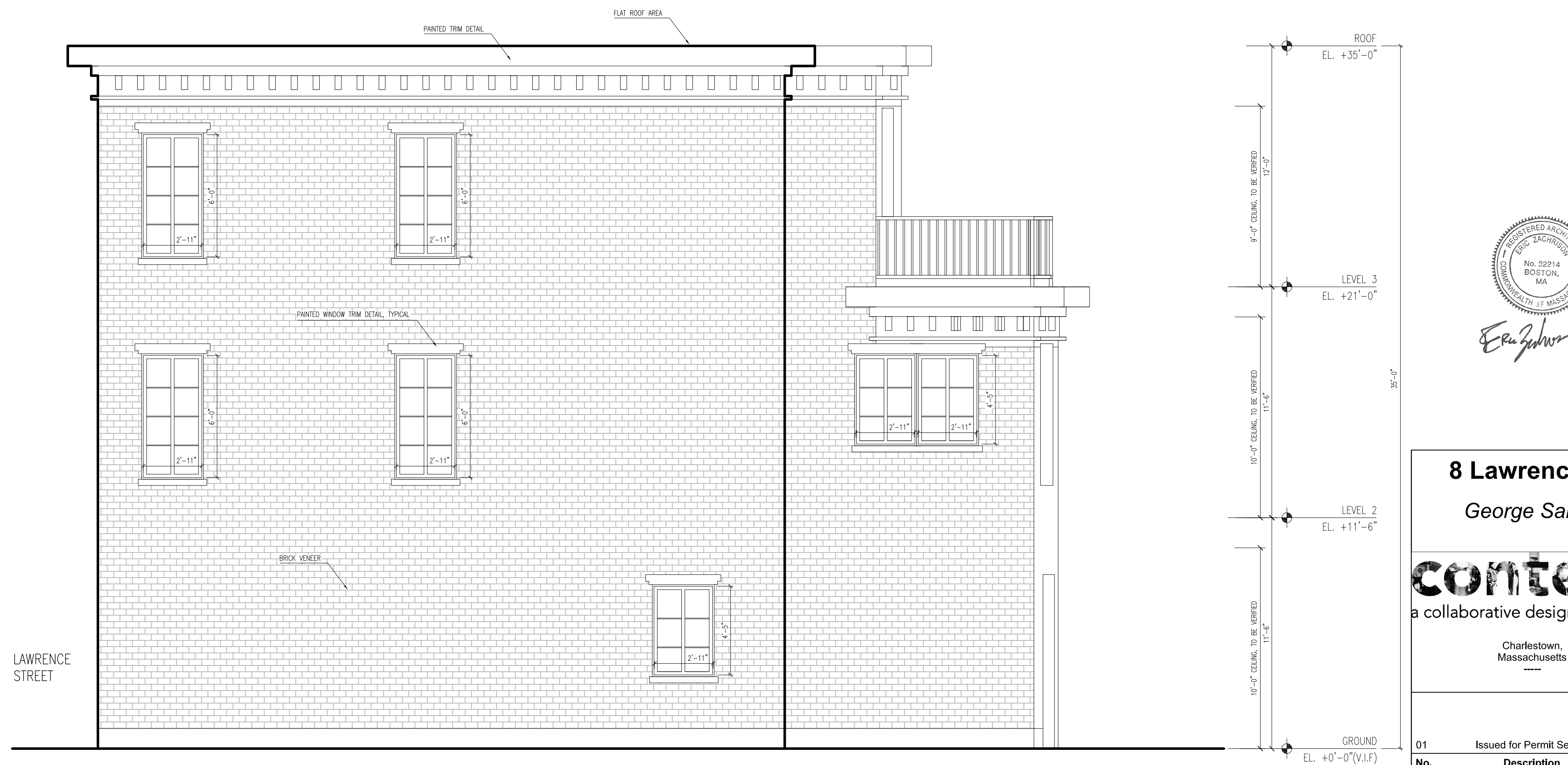
1 LAWRENCE STREET ELEVATION
SCALE: 1/4" = 1'-0"



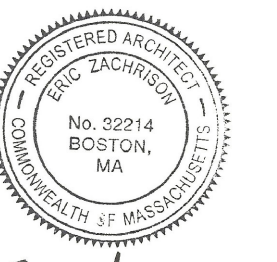
2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



Eric Johnson

8 Lawrence St
George Sarkis

context
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Massachusetts

01 Issued for Permit Set 05/07/2020

No.	Description	Date
Drawing Title: Proposed Elevations		
Project No.: 0256	Checked by: EZ	

A-30

05/07/2020