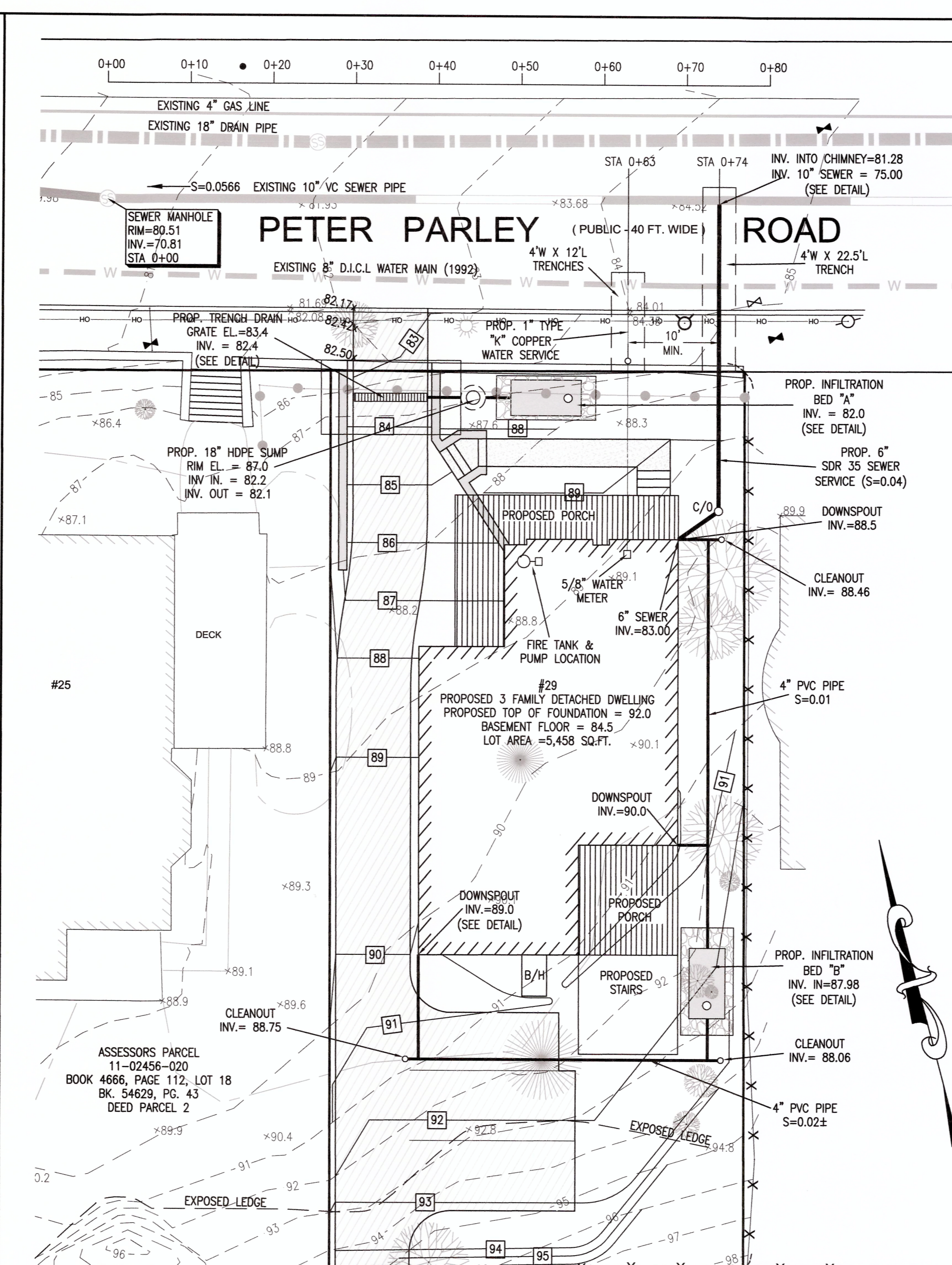


**LOT LAYOUT**  
SCALE: 1"=10'



**GRADING PLAN**  
SCALE: 1"=10'

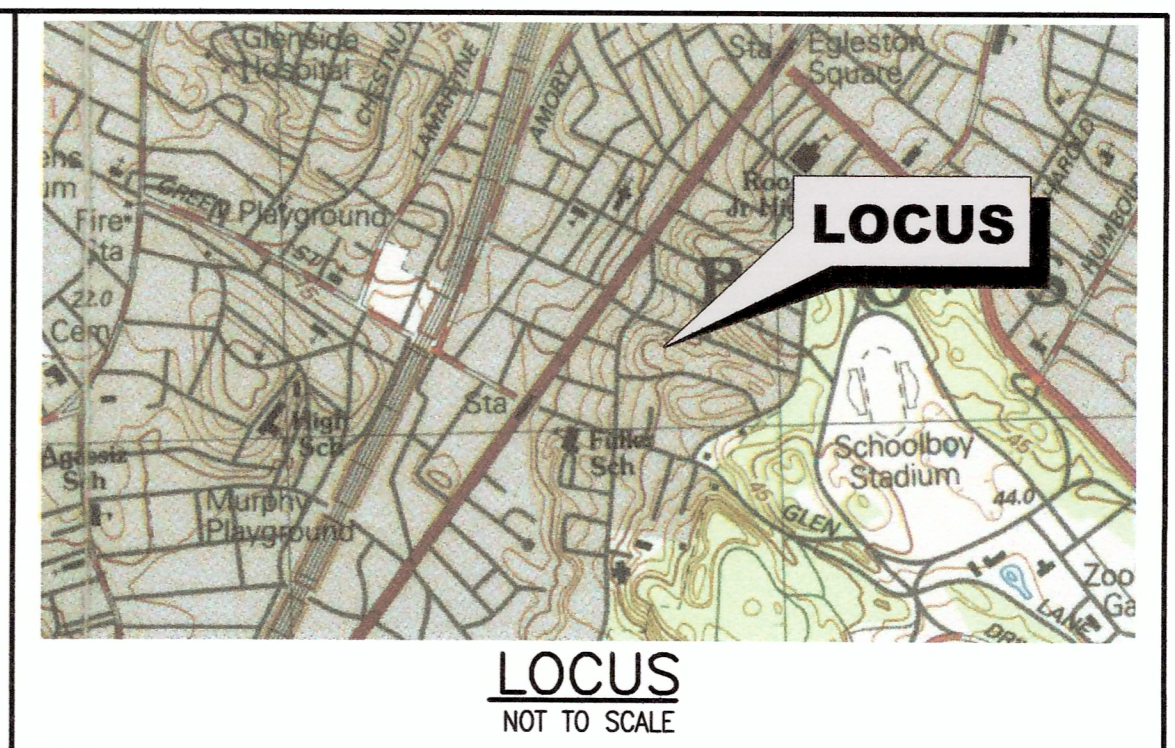
**DRAINAGE CALCULATIONS:**

TOTAL IMPERVIOUS AREA = 3,276 SF  
 BOSTON WATER AND SEWER COMMISSION REQUIRES 1" OF STORAGE PER SF OF IMPERVIOUS AREA.  
 TOTAL STORAGE REQUIRED = 3,276 SF X 0.0835F = 273 CF

INFILTRATION BED "A":  
 DRIVEWAY RUNOFF = 1,452 SF X 0.083 FT = 121 CF  
 CULTEC R-330XLHD CHAMBER STORAGE = 52.2 CF  
 STONE BED VOLUME = 5.33'W X 12.00'L X 4.54'H = 290.4 CF  
 STONE BED STORAGE = (290.4 CF - 52.2) X 0.30 = 71.5  
 TOTAL STORAGE = 71.5 + 52.2 = 123.7 CF > 121 CF

INFILTRATION BED "B":  
 ROOF RUNOFF = 1,824 SF X 0.083 FT = 152 CF  
 CULTEC R-330XLHD CHAMBER STORAGE = 52.2 CF  
 STONE BED VOLUME = 6.33'W X 13.00'L X 5.04'H = 414.7 CF  
 STONE BED STORAGE = (414.7 - 52.2) X 0.30 = 108.8 CF  
 TOTAL STORAGE = 108.8 + 52.2 = 161 CF > 152 CF

TOTAL STORAGE = 123.7 CF + 161 CF = 284.7 CF  
 284.7 CF > 273 CF OF REQUIRED STORAGE



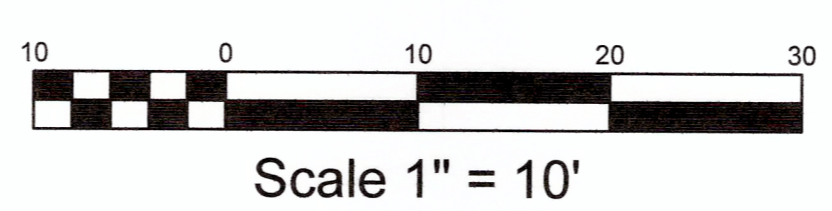
**PROPERTY NOTES:**

- THE SUBJECT PROPERTY IS SHOWN AS PARCEL ID 11-02456-030, WARD 11, BLOCK 142D ON THE CITY OF BOSTON ASSESSORS.
- LAND USE CODE: R3 - RESIDENTIAL 3 FAMILY
- REFER TO BOOK 54629, PAGES 42-43, ON RECORD AT THE SUFFOLK COUNTY REGISTRY OF DEEDS FOR TITLE REFERENCES TO THE SUBJECT PROPERTIES.
- REFER TO A PLAN ON RECORD AT SAID REGISTRY OF DEEDS AT BOOK 4666, PAGE 112 FOR FURTHER REFERENCE TO THE SUBJECT PROPERTIES.
- THIS PLAN IS A RESULT OF A FIELD SURVEY BY PRIME ENGINEERING, INC. IN AUGUST, 2015.
- ACCOUNT # **NEW**
- OWNER INFORMATION:  
 NAME: SWING OIL, LLC  
 ADDRESS: 15 CRAWFORD STREET, NEEDHAM, MA 02494  
 CONTACT PERSON: STEPHANIE LOPILATO  
 NUMBER: 781-828-9016

INSPECTIONAL SIGN-OFF SCHEDULE					
29 PETER PARLEY ROAD - SERVICE CONNECTIONS					
ITEM NO.	DESCRIPTION OF SERVICE	QTY.	BWSC INSPECTOR	DATE	COMMENTS
1	1" DOMESTIC WATER SERVICE	1			
2	6" SEWER SERVICE	1			
3	INFILTRATION BED "A"	1			
4	TRENCH DRAIN	1			
5	18" HDPE SUMP	1			
6	INFILTRATION BED "B"	1			
7	OVERFLOW DOWNSPOUT	1			
8	6" SEWER CLEANOUT	1			

ZONING TABLE	
ZONE: 3R - 4,000	
MINIMUM LOT WIDTH	40 FEET
MINIMUM LOT FRONTAGE	40 FEET
FLOOR AREA RATIO MAXIMUM	0.7
FRONT YARD MINIMUM DEPTH	15 FEET
SIDE YARD MINIMUM:	17 FEET TOTAL
	7 FEET (LOT LINE)
	10 FEET (ABUTTING STRUCTURE)
REAR YARD MINIMUM DEPTH	20 FEET
OPEN USABLE SPACE	2,030 SQ.FT.

- GENERAL NOTES:**
- EXISTING UTILITY LOCATIONS SHOWN ARE FROM AVAILABLE BWSC RECORD DATA AND ARE APPROXIMATE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THE EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
  - ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (MDPW) CONSTRUCTION STANDARDS AND THE MDPW "STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGES", UNLESS OTHERWISE SPECIFIED BY THE BOSTON WATER AND SEWER COMMISSION, BOSTON PUBLIC WORKS DEPARTMENT, OR OTHER AGENCIES WITH AUTHORITY.
  - CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO PREVENT IMPACT ON WATER BODIES, VEGETATED WETLANDS, CITY DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.
  - THE CONTRACTOR SHALL FILE APPLICATIONS FOR PERMITS REQUIRED TO CONSTRUCT THE PROJECT AND ANY AS-BUILT PLANS REQUIRED BY THE CONTROLLING AUTHORITIES.
  - ALL NEW CONSTRUCTION REQUIRES A CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTIONAL SERVICES DEPARTMENT BEFORE FILING FOR A GENERAL SERVICE APPLICATION.

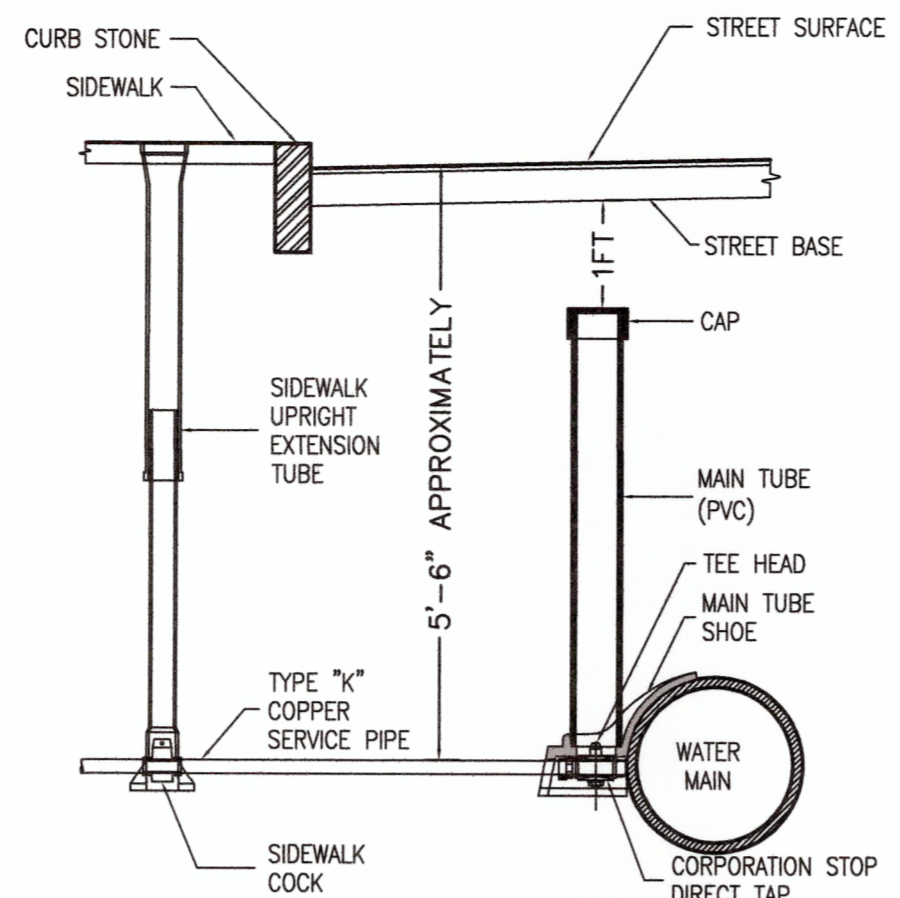
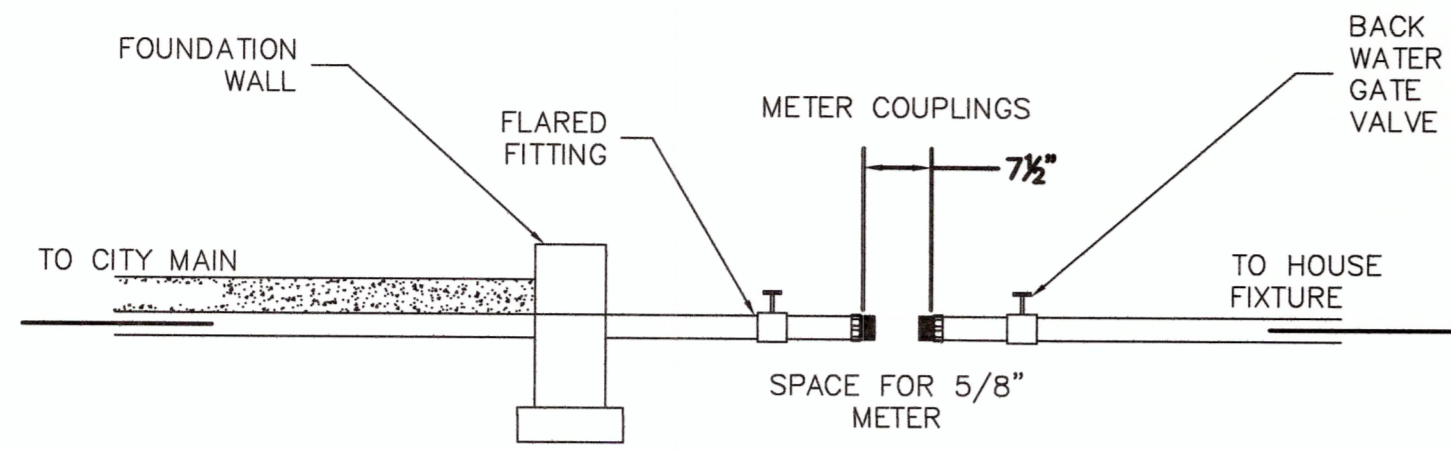


DRAWING TITLE		<b>BUILDING PERMIT PLAN SITE PLAN 15425</b>		SCALE:	1" = 10'
PROJECT		<b>29 PETER PARLEY ROAD BOSTON, MASSACHUSETTS</b>		DATE:	AUG. 19, 2015
CLIENT		<b>LOPILATO CONSTRUCTION CO.</b>		DRAWN BY:	JLB
REV		DATE		DESIGNED BY:	JLB
3		12/16/2015		CHECKED BY:	RJR
2		12/11/2015		APPROVED BY:	RJR
1		12/2/2015		PROJECT NO.:	2206-01-01
DESCRIPTION		BY		 P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004	
REVISIONS PER BWSC COMMENTS		TRW		 <b>1 OF 2</b>	
REVISIONS PER BWSC COMMENTS		TRW			
REVISIONS PER BWSC COMMENTS		TRW			
CIVIL ENGINEERING		RJR			
LAND SURVEYING		RJR			
ENVIRONMENTAL ASSESSMENT		RJR			



**METER SIZING:**

FIXTURE COUNT:  
 8.2 DEMAND FIXTURE UNIT PER HOUSING UNIT  
 (3) 8.2 = 24.6 TOTAL FIXTURE UNITS  
 USING THE HUNTER CURVE C - 24.6 FIXTURE UNITS = 13 GPM  
 PEAK FLOW:  
 3 UNITS X 3 BEDROOMS = 9 BEDROOMS  
 9 BEDROOMS X 110 GPD = 990 QPD  
 USE PEAKING FACTOR OF 4 & ASSUME 15 HOURS OF USE PER DAY  
 990 QPD X 4 = 264 GALS/HOUR = 4.4 GPM  
 15 HOURS  
 TOTAL FLOW = 17.4 GPM  
 USE 5/8" METER FOR WATER SERVICE



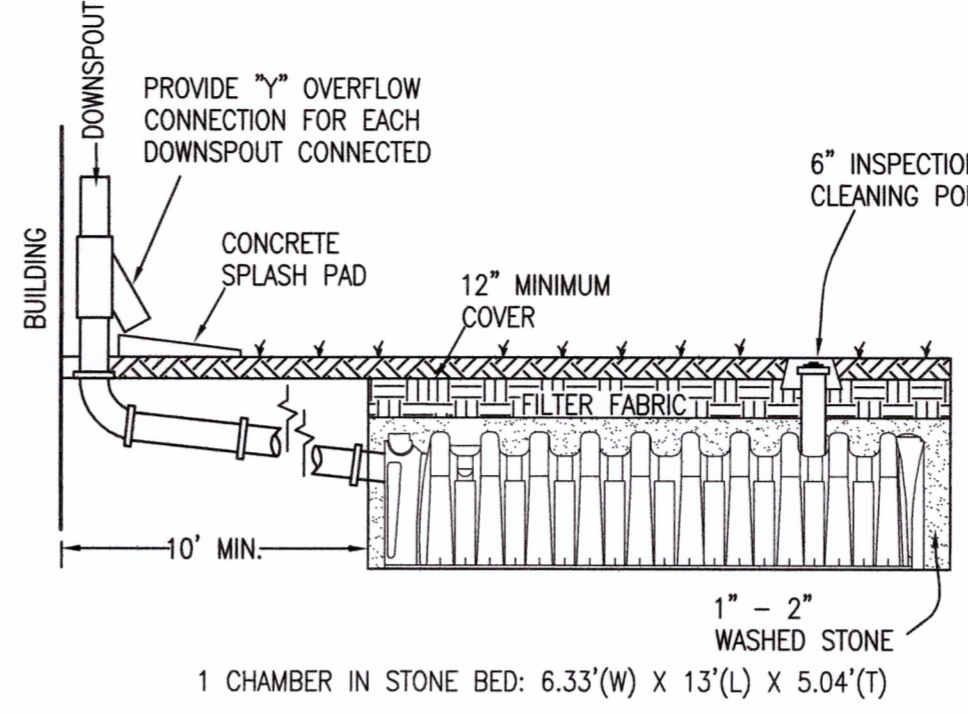
**NOTES:**

1. TOPSOIL AND SUBSOIL SHALL BE REMOVED BENEATH CHAMBER.
2. HEAVY DUTY WIRE STRAINERS ARE TO BE INSTALLED AT ALL DOWN SPOUTS. THIS IS TO PREVENT LEAVES AND OTHER DEBRIS FROM CLOGGING DOWN SPOUT.
3. CHAMBERS ARE TO BE PROVIDED AS SHOWN ON THIS PLAN.

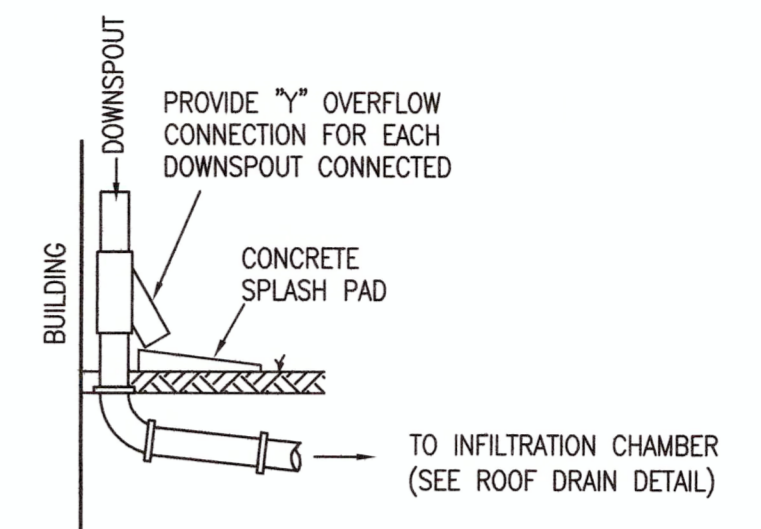
**GENERAL NOTES:**

RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD, CT.  
 STORAGE PROVIDED = 7,459 CF/FT PER DESIGN UNIT.  
 REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.  
 MAXIMUM ALLOWED COVER ON TOP OF UNIT SHALL BE 12.0' [3.66 m]

SEE SITE PLAN FOR INFILTRATION CALCULATIONS.



**RECHARGER 330XLHD BY CULTEC  
 DETAIL OF ROOF DRAIN INFILTRATION SYSTEM  
 NOT TO SCALE**



**OVERFLOW DOWNSPOUT DETAIL  
 NOT TO SCALE**



**Boston Water and Sewer Commission**  
 880 HARRISON AVE., BOSTON, MA 02118  
 (617) 552-7000

CORRECT PLUMBING FOR METER INSTALLATION  
 SCALE: NOT TO SCALE

DATE:  
 Nov 10, 2009

DETAIL NO.  
 M-01

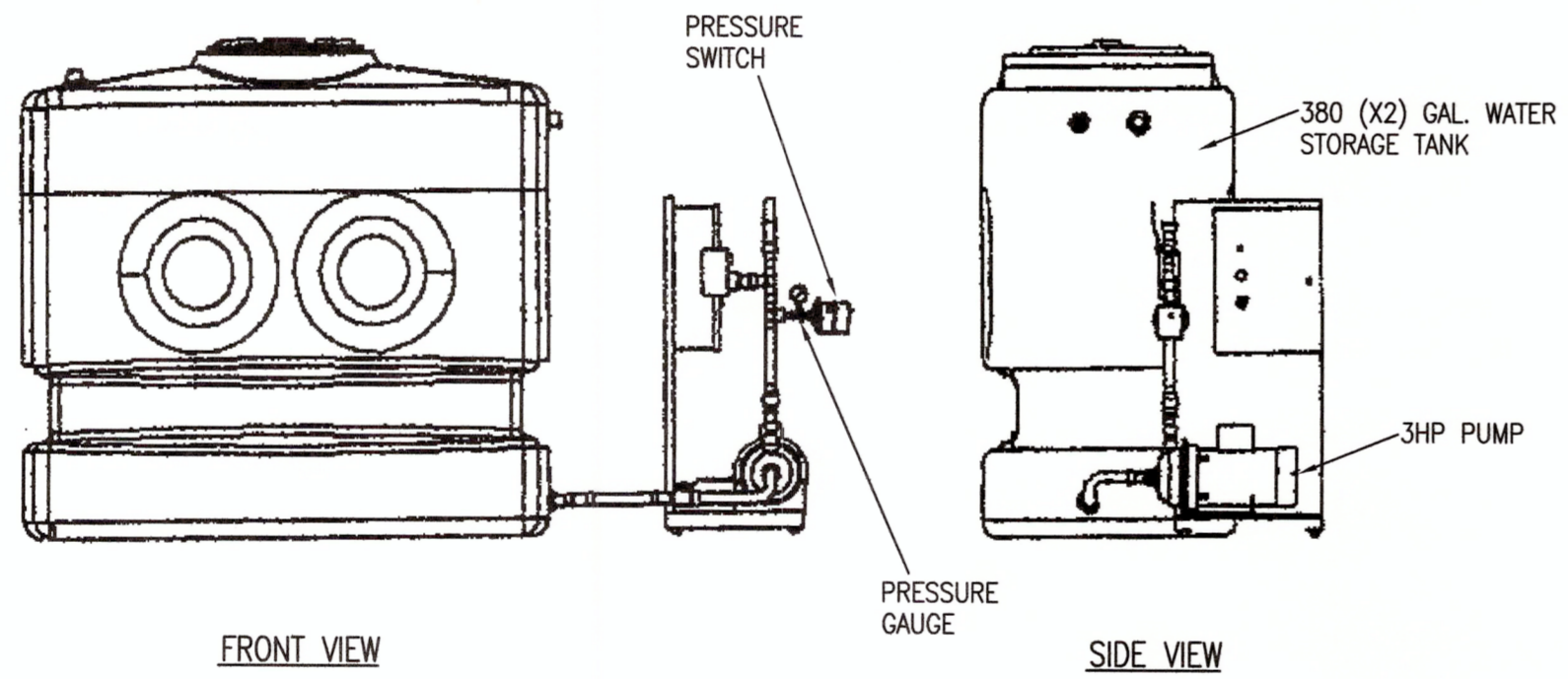


**Boston Water and Sewer Commission**  
 880 HARRISON AVE., BOSTON, MA 02118  
 (617) 552-7000

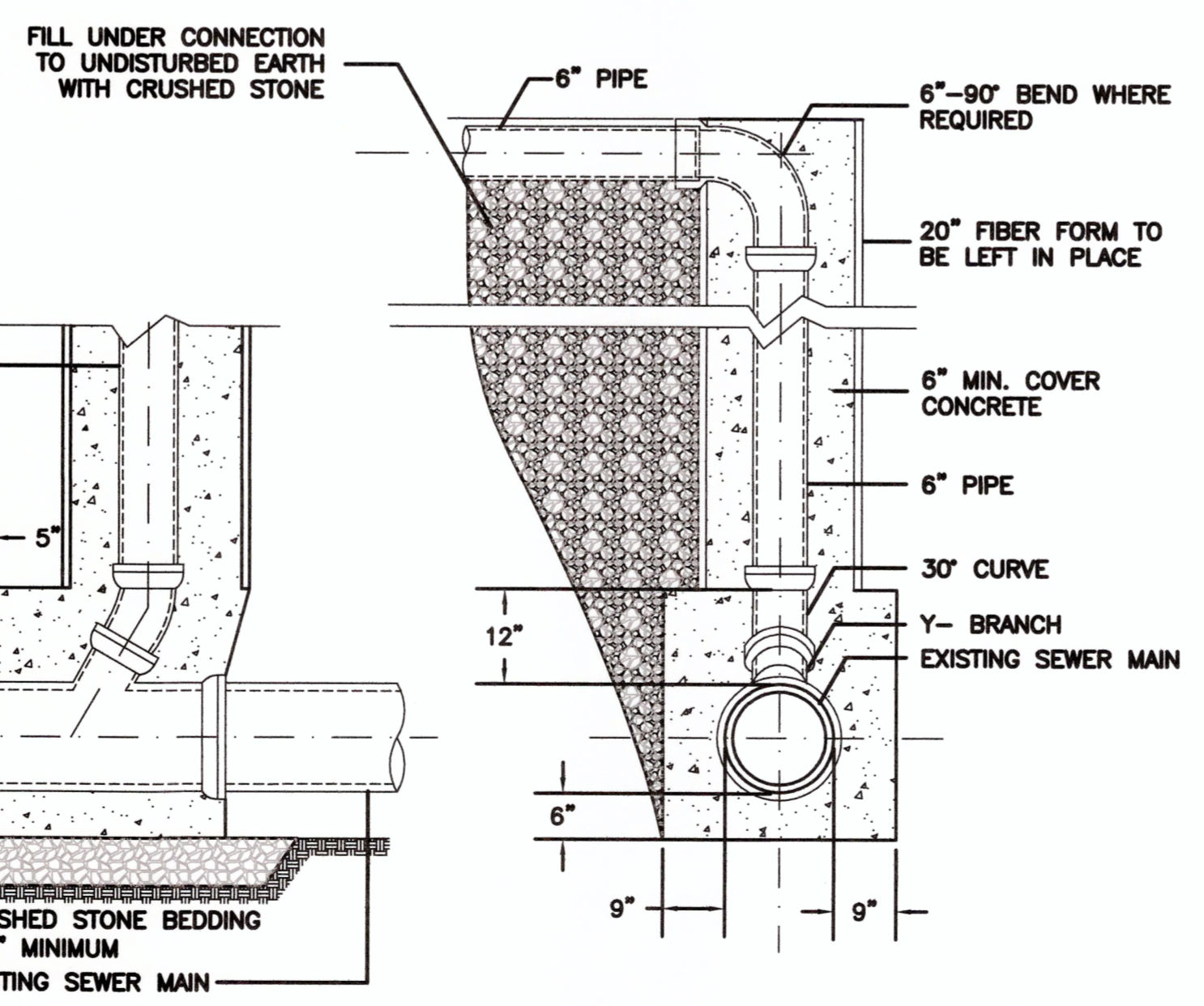
TYPICAL WATER CONNECTION FOR 3/4\"/>
 SCALE: NOT TO SCALE

DATE:  
 Jan 3, 2006

DETAIL NO.  
 A-10



**SPRINKLER SYSTEM  
 RESIDENTIAL 1.3D PUMP & TANK DETAIL  
 NOT TO SCALE**

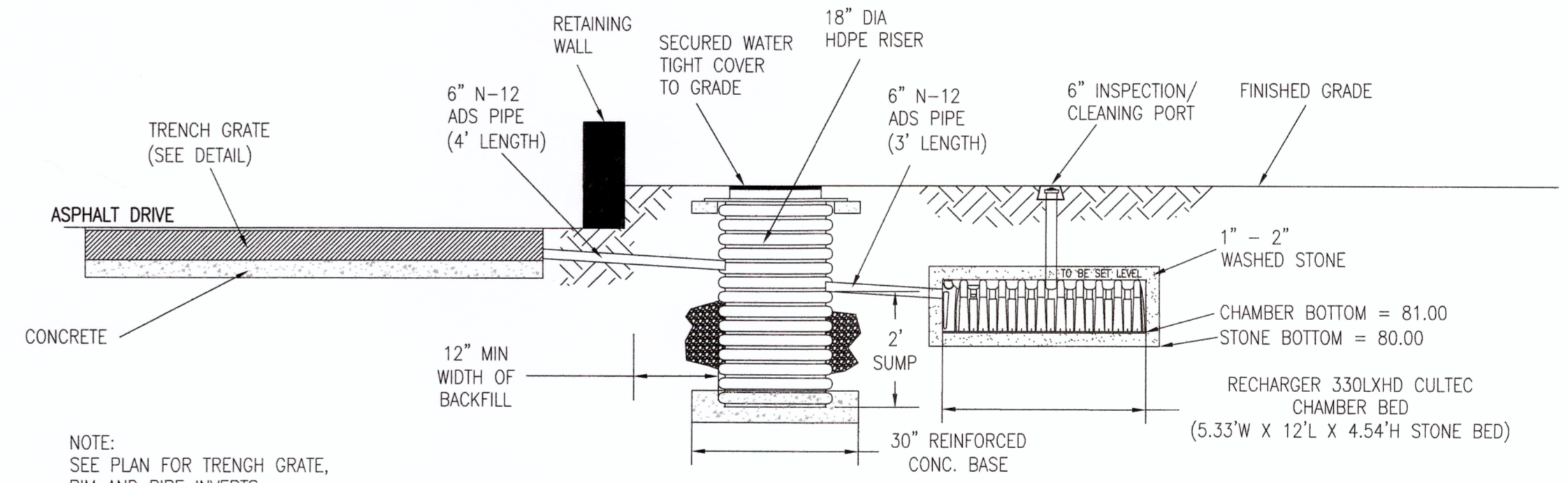


**Boston Water and Sewer Commission**  
 880 HARRISON AVE., BOSTON, MA 02118  
 (617) 552-7000

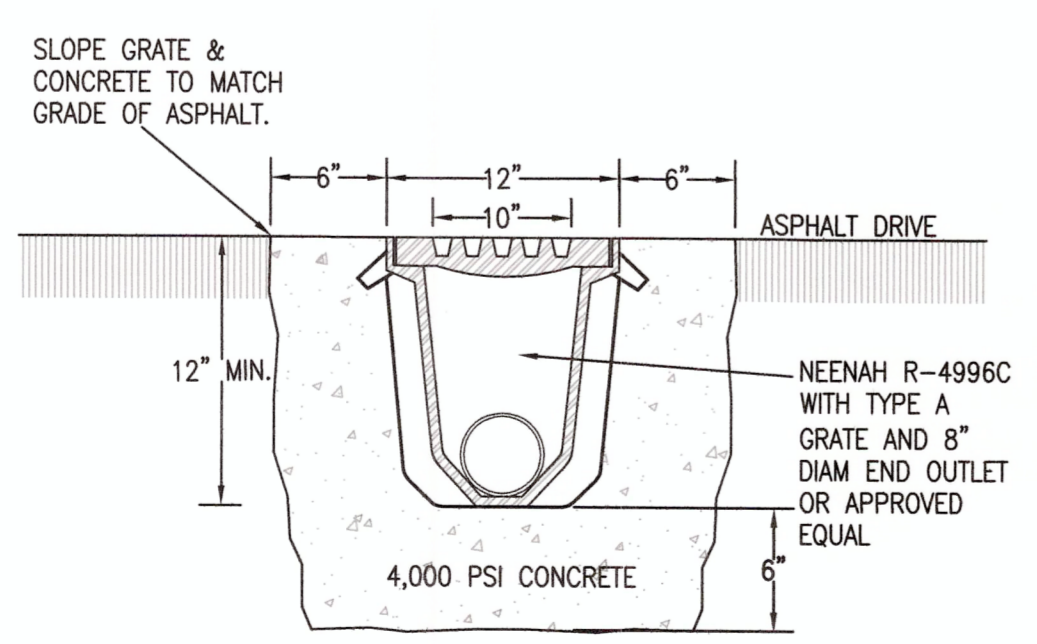
TYPICAL SEWER CHIMNEY  
 SCALE: NOT TO SCALE

DATE:  
 Sept. 30, 2012

DETAIL NO.  
 B-15



**TRENCH GRATE, SUMP & LEACHING BED PROFILE  
 NOT TO SCALE**



NOTE: TRENCH GRATE TO BE INSTALLED PER METHODOLOGY PRESCRIBED BY MANUFACTURER.

**TRENCH GRATE  
 NOT TO SCALE**

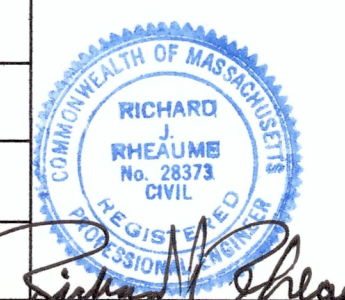
**FOR BWSC USE ONLY**

DRAWING TITLE <b>BUILDING PERMIT PLAN - DETAILS SITE PLAN 15425</b>		SCALE: 1" = 10'
PROJECT <b>29 PETER PARLEY ROAD BOSTON, MASSACHUSETTS</b>		DATE: AUG. 19, 2015
CLIENT <b>LOPILATO CONSTRUCTION CO.</b>		DRAWN BY: JLB
REVISIONS PER BWSC COMMENTS		DESIGNED BY: JLB
3	12/18/2015	CHECKED BY: RJR
2	12/11/2015	APPROVED BY: RJR
1	12/2/2015	PROJECT NO. 2206-01-01
REV.	DATE	DESCRIPTION

CIVIL ENGINEERING  
 LAND SURVEYING  
 ENVIRONMENTAL ASSESSMENT



P.O. BOX 1088  
 300 BEDFORD ST.  
 LAKEVILLE, MA 02347  
 TEL: 508.947.0050  
 FAX: 508.947.2004





**A. Summary of the Work:**

The project consist of three (3) residential units. It is a three-story wood framed structure with a flat roof and full basement at 3,820 square feet Floor Area Ratio (FAR).

APPLICABLE CODES	
CODE TYPE	APPLICABLE CODE (MODEL CODE BASIS)
BUILDING	780 CMR: MASSACHUSETTS BUILDING CODE (8TH EDITION) (INTERNATIONAL BUILDING CODE 2009, AMENDED)
PLUMBING/ GAS	248 CMR: MASSACHUSETTS PLUMBING CODE (2005)
MECHANICAL	2009 INTERNATIONAL MECHANICAL CODE
ELECTRICAL	527 CMR 12.00: MASSACHUSETTS ELECTRICAL CODE (2011 NATIONAL ELECTRICAL CODE, AMENDED)
ENERGY	STRETCH ENERGY CODE APPENDIX 115 AA (THE INTERNATIONAL ENERGY CONSERVATION CODE 2009)
FIRE	527 CMR 12.00: MASSACHUSETTS ELECTRICAL CODE (2011 NATIONAL ELECTRICAL CODE, AMENDED)
ACCESSIBILITY	521 CMR: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS ADA: AMERICANS WITH DISABILITIES ACT (2010 ADAAG)

**B. Use and Occupancy:**

Residential Group R-2

**C. Construction Classification:**

Type VB

**D. General Height and Area Limitations:**

HEIGHT AND AREA LIMITATIONS		
CODE REFERENCE	TYPE VB, GROUP R-2	
	HEIGHT	AREA
TABLE 503	2 ST, 40'	7,000 SQFT
SECTION 504.2 SPRINKLER HEIGHT INCREASE	+1 ST, 20'	
SECTION 506.3 SPRINKLER AREA MODIFICATION *		+14,000 SQFT
TOTAL ALLOWED	3 ST, 60'	21,000 SQFT
ACTUAL SIZE HEIGHT AND AREA	3 ST, 35'	3,820 SQFT

**E. Occupancy and Egress Analysis:**

All units are provided with access to two exit stairways.

OCCUPANT LOAD				
FLOOR	AREA	SQFT	SQFT/OCCUPANT	OCCUPANT LOAD
1	RESIDENTIAL	1,280	200 GROSS	7
2	RESIDENTIAL	1,270	200 GROSS	7
3	RESIDENTIAL	1,270	200 GROSS	7
TOTAL				21

A minimum of two exits, or exit access stairways are required from any story or occupied roof.

**MINIMUM CORRIDOR WIDTH:**  
OCCUPANCY CAPACITY LESS THAN 50 WITHIN A DWELLING UNIT 36 INCHES

**MINIMUM STAIRWAY WIDTH:**  
OCCUPANCY CAPACITY LESS THAN 50 WITHIN A DWELLING UNIT 36 INCHES

**G. Fire-Resistance Ratings:**

FIRE RESISTANCE RATINGS		
BUILDING ELEMENT	FIRE RESISTANCE RATING (HOURS)	OPENING PROTECTIVE RATING (MINUTES)
CORRIDOR	.5 HR	20
DWELLING UNIT SEPARATIONS	.5 HR	20
EXIT STAIRWAY	1	60

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS	
BUILDING ELEMENT	TYPE VB RATING
PRIMARY STRUCTURAL FRAME	0
BEARING WALLS - EXTERIOR	0
BEARING WALLS - INTERIOR	0
NON-BEARING WALLS AND PARTITIONS - EXTERIOR *	0
NON-BEARING WALLS AND PARTITIONS - INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS **	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0

\* NOT LESS THAN RATING BASED ON FIRE SEPARATION DISTANCE. SEE TABLE 602  
\*\* NOT LESS THAN RATING OF WALLS SUPPORTED

EXTERIOR WALL FIRE RESISTANCE RATING		
FIRE SEPERATION DISTANCE	CONSTRUCTION TYPE VB	FIRE RESISTANCE RATING OF EXTERIOR WALL USE GROUP R-2
<5 FT		1HR
>=5 FT TO <10 FT		1 HR
>=10FT TO <30FT		0 HR
>=30FT		0 HR

705.5 THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF LESS THAN OR EQUAL TO 10 FEET SHALL BE RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES.



MAXIMUM AREA OF EXTERIOR WALL OPENINGS	
FIRE SEPERATION DISTANCE	% OF AREA OF EXTERIOR WALL FULLY SPRINKLERED
0 TO <3FT	NOT PERMITTED
3 TO <5FT	15%
5 TO <10FT	25%
10 TO <15FT	45%
15 TO <20FT	75%
20 FT OR GREATER	NO LIMIT

101: 30.3.4.1.1 MUNICIPALLY CONNECTED FIRE ALARM SYSTEM IS REQUIRED (DESIGN-BUILD)

101: 30.3.5.1 SUPERVISED SPRINKLER SYSTEM IS REQUIRED (DESIGN-BUILD)

**H. Finishes:**

Table 803.9 Interior wall and ceiling finish requirements by occupancy

SPRINKLERED (GROUP R-2)		
Interior exit stairways, interior exit ramps and exit passageways	Corridors and enclosure for exit access stairways and exit access ramps	Rooms and enclosed spaces
C	C	C

Applies when protected by an automatic sprinkler system

**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**AD**  
architect  
38 Chapman Street  
Canton, MA 02021  
617.501.0631  
www.ad-architect.com

LoPilato Construction Corp.  
3-Family Residence at  
29 Peter Parley Road  
Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

Revisions:		
Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	01/28 2016
2	BRA REVISIONS	02/03 2016

Scale: 1/14" = 1'-0"

**FRONT ELEVATION**

**A.01**

LoPilato Construction Corp.  
3-Family Residence at  
29 Peter Parley Road  
Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	01/28 2016
2	BRA REVISIONS	02/03 2016

Scale: 1/4"=1'-0"

RIGHT SIDE  
ELEVATION

A.02

**RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"





LoPilato Construction Corp.  
3-Family Residence at  
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Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

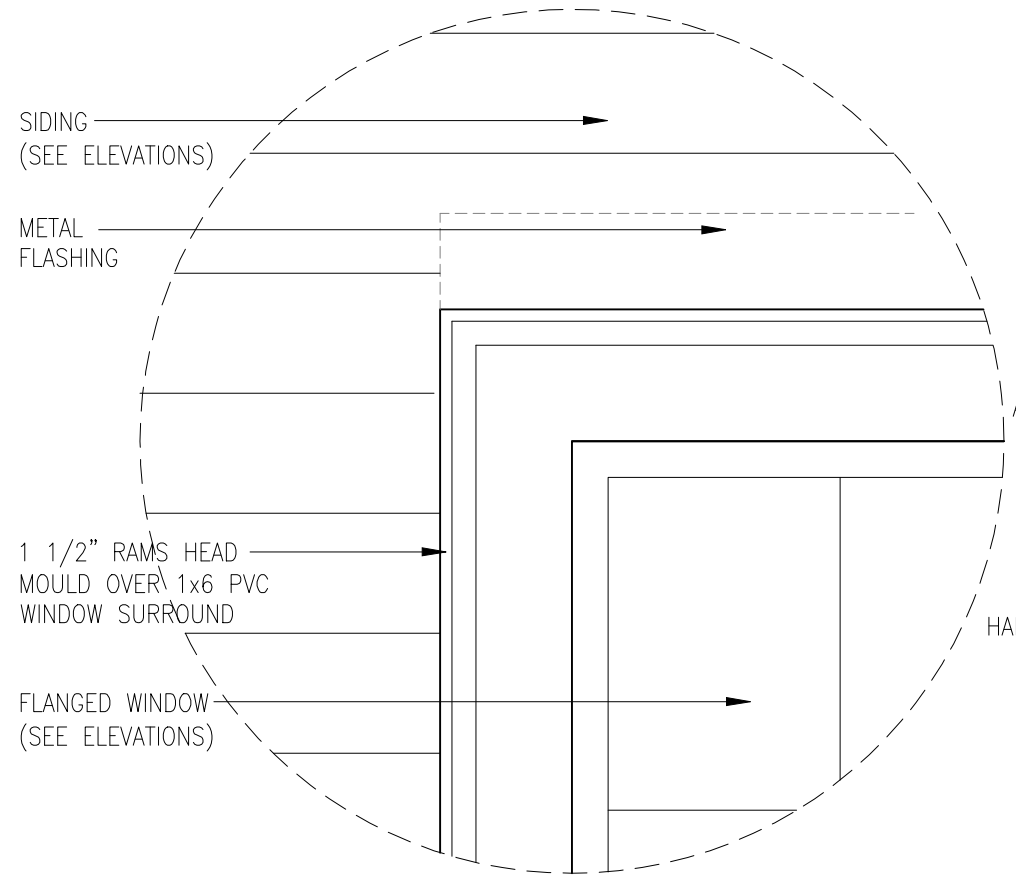
Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	01/28 2016
2	BRA REVISIONS	02/03 2016

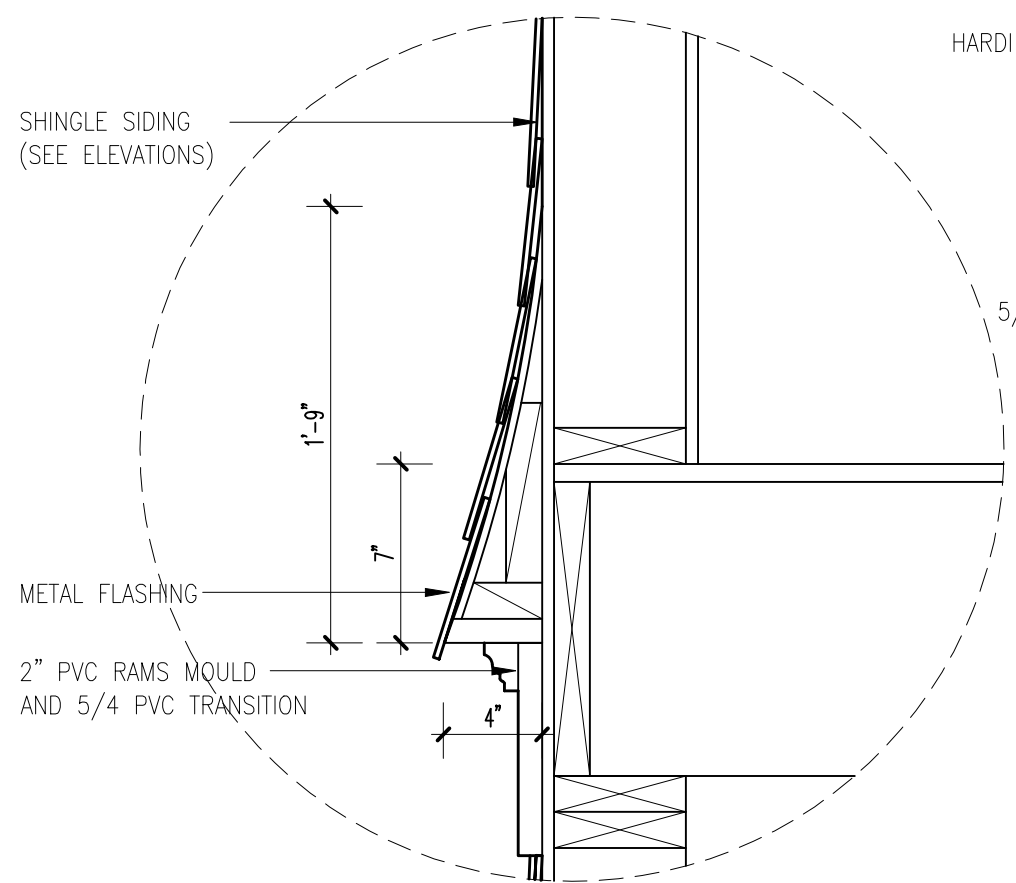
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## REAR ELEVATION

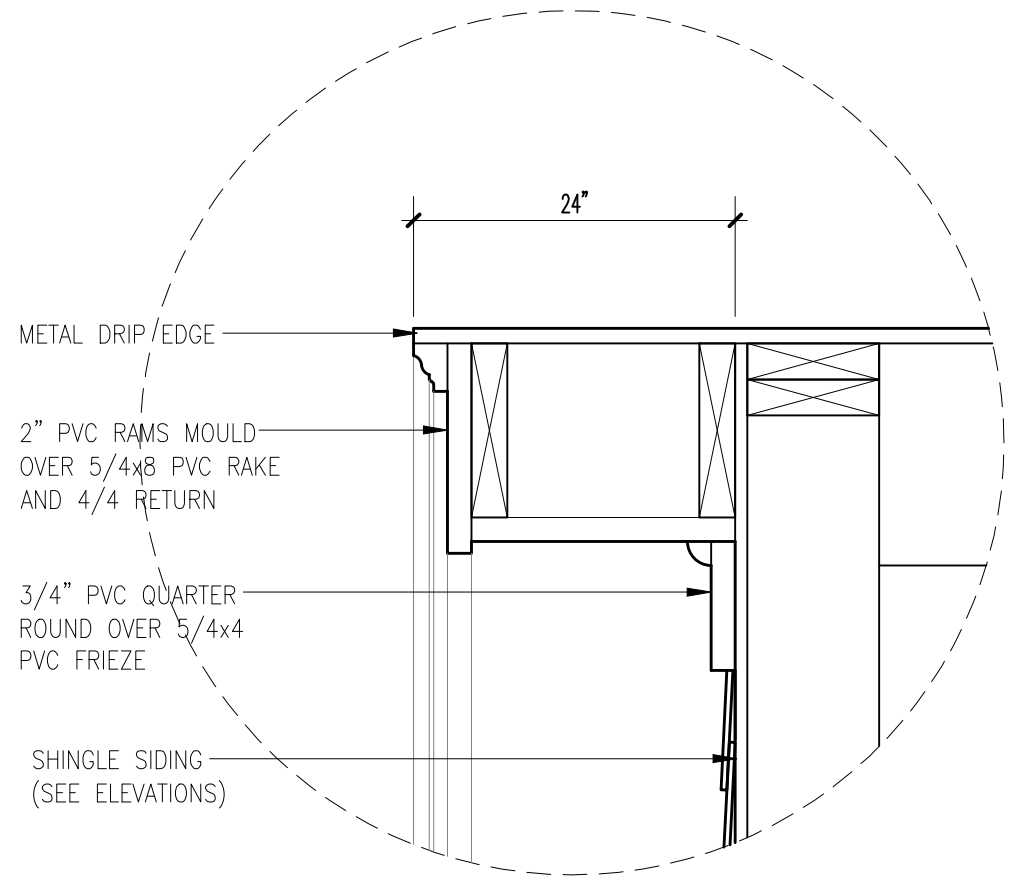
# A.03



**WINDOW HEAD DETAIL**  
SCALE: 1 1/2"=1'-0"



**SKIRT DETAIL**  
SCALE: 1 1/2"=1'-0"



**RAKE DETAIL**  
SCALE: 1 1/2"=1'-0"



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"





LoPilato Construction Corp.  
3-Family Residence at  
29 Peter Parley Road  
Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	01/28 2016
2	BRA REVISIONS	02/03 2016

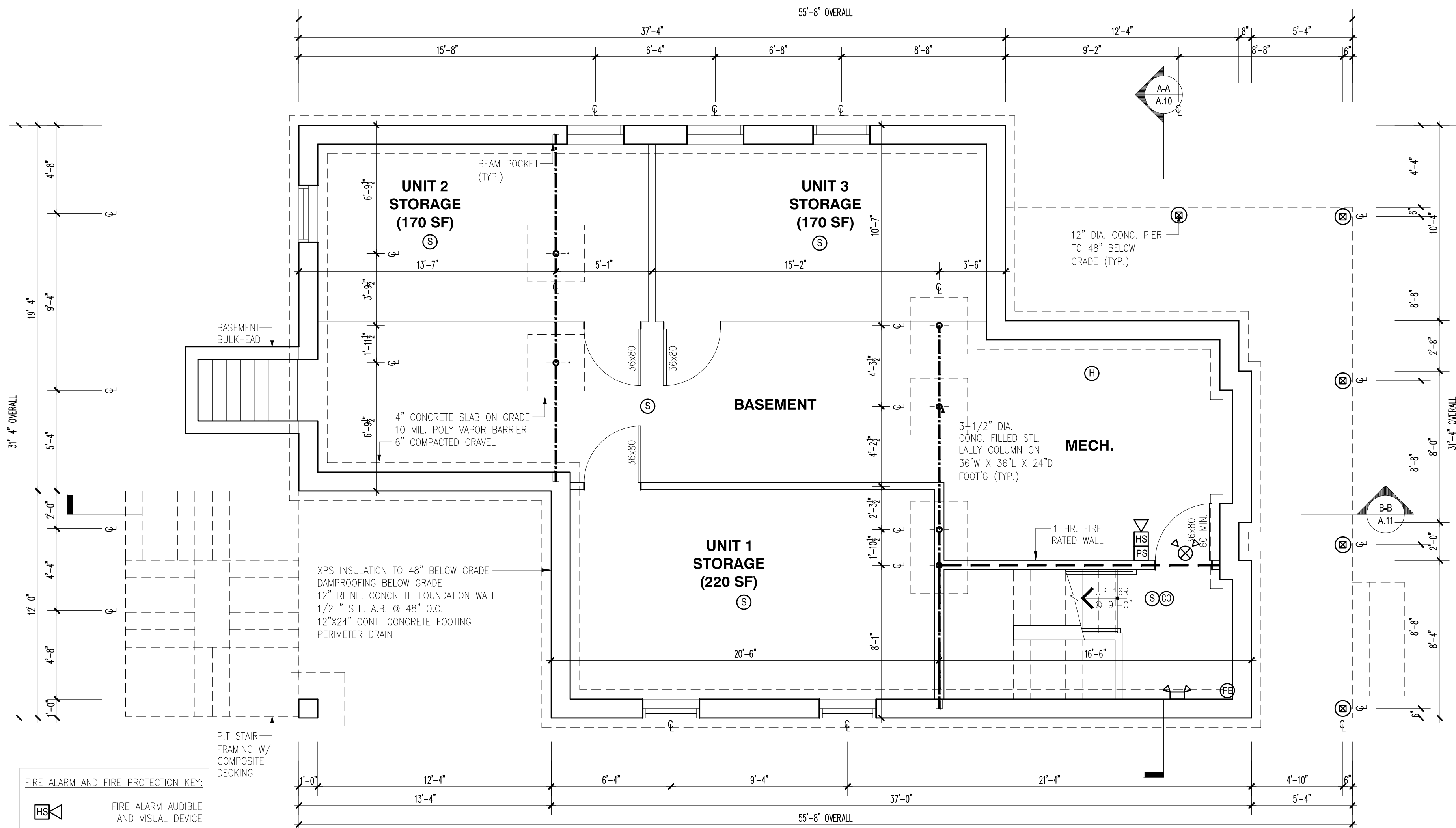
Scale: 1/4"=1'-0"

LEFT SIDE  
ELEVATION

A.04

**LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"





**FIRE ALARM AND FIRE PROTECTION KEY:**

- FIRE ALARM AUDIBLE AND VISUAL DEVICE
- MANUAL PULL STATION
- FIRE EXTINGUISHER
- EXIT SIGN W/ LIGHTING ON EMERGENCY POWER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT

**NOTES:**  
1. PHOTOELECTRIC DETECTORS AS REQUIRED.  
2. COMBINATION DETECTORS ARE ACCEPTABLE.

LoPilato Construction Corp.  
3-Family Residence at  
29 Peter Parley Road  
Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

**Revisions:**

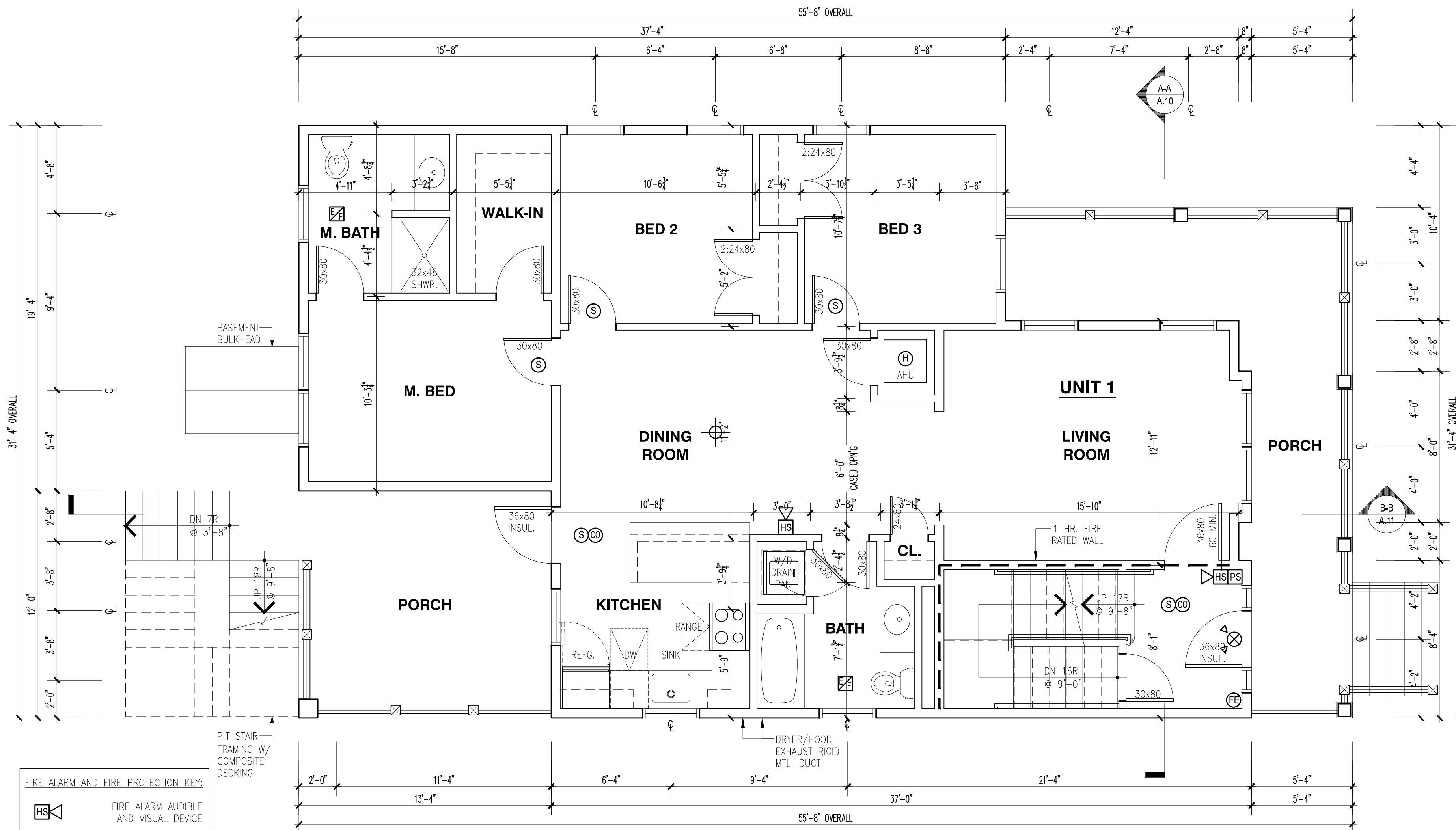
Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	02/03 2016

Scale: 1/4"=1'-0"

**BASEMENT PLAN**

**BASEMENT PLAN**  
SCALE: 1/4"=1'-0"





**FIRE ALARM AND FIRE PROTECTION KEY:**

- FIRE ALARM AUDIBLE AND VISUAL DEVICE
- MANUAL PULL STATION
- FIRE EXTINGUISHER
- EXIT SIGN W/ LIGHTING ON EMERGENCY POWER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT

**NOTES:**

- PHOTOELECTRIC DETECTORS AS REQUIRED.
- COMBINATION DETECTORS ARE ACCEPTABLE.

**FIRST FLOOR PLAN (1,280 SF)**  
SCALE: 1/4" = 1'-0"

LoPilato Construction Corp.  
3-Family Residence at  
29 Peter Parley Road  
Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

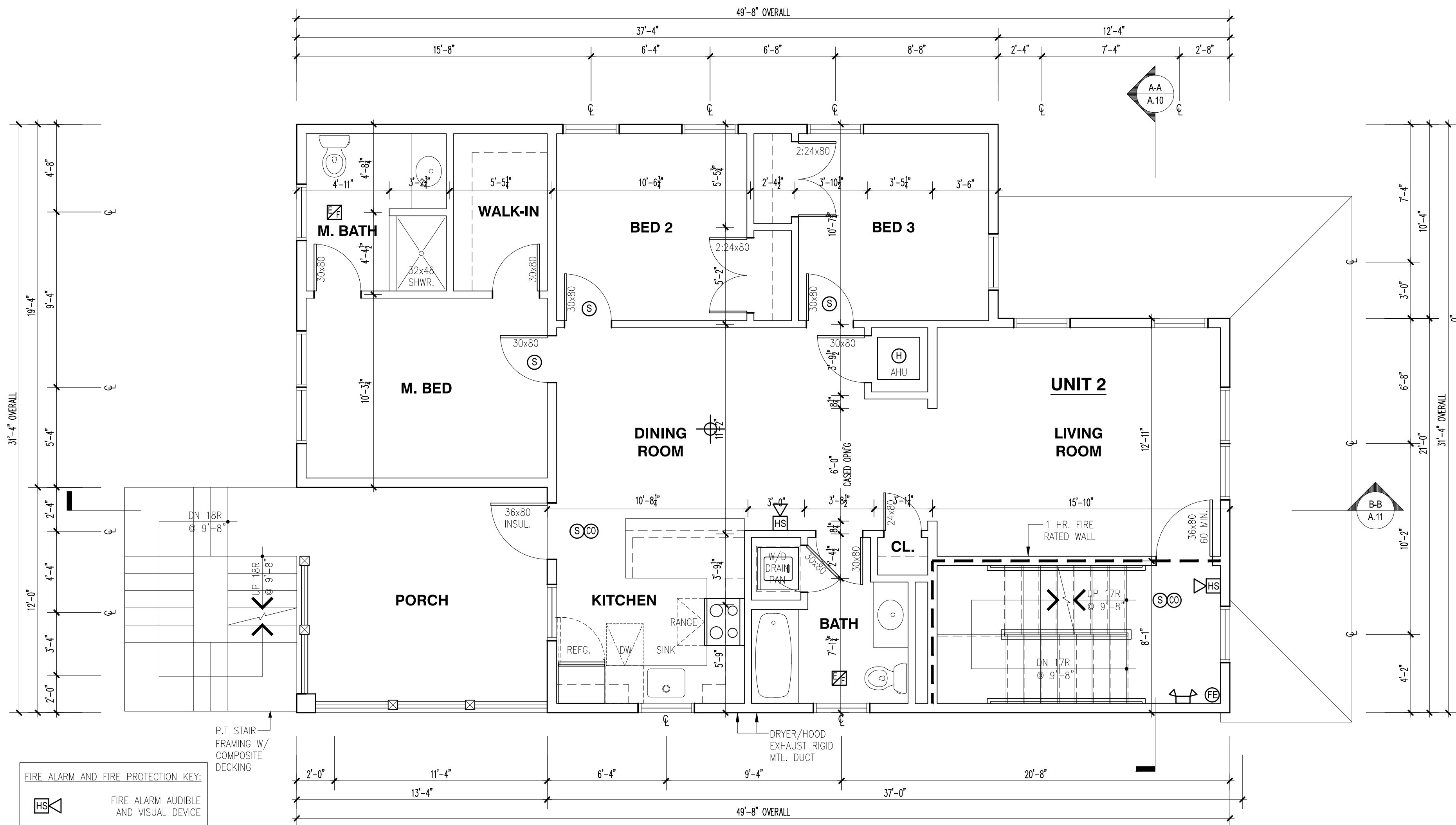
**Revisions:**

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	02/03 2016

Scale: 1/14" = 1'-0"

**FIRST FLOOR PLAN**





**FIRE ALARM AND FIRE PROTECTION KEY:**

- FIRE ALARM AUDIBLE AND VISUAL DEVICE
- MANUAL PULL STATION
- FIRE EXTINGUISHER
- EXIT SIGN W/ LIGHTING ON EMERGENCY POWER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT

**NOTES:**

1. PHOTOELECTRIC DETECTORS AS REQUIRED.
2. COMBINATION DETECTORS ARE ACCEPTABLE.

LoPilato Construction Corp.  
3-Family Residence at  
29 Peter Parley Road  
Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

**Revisions:**

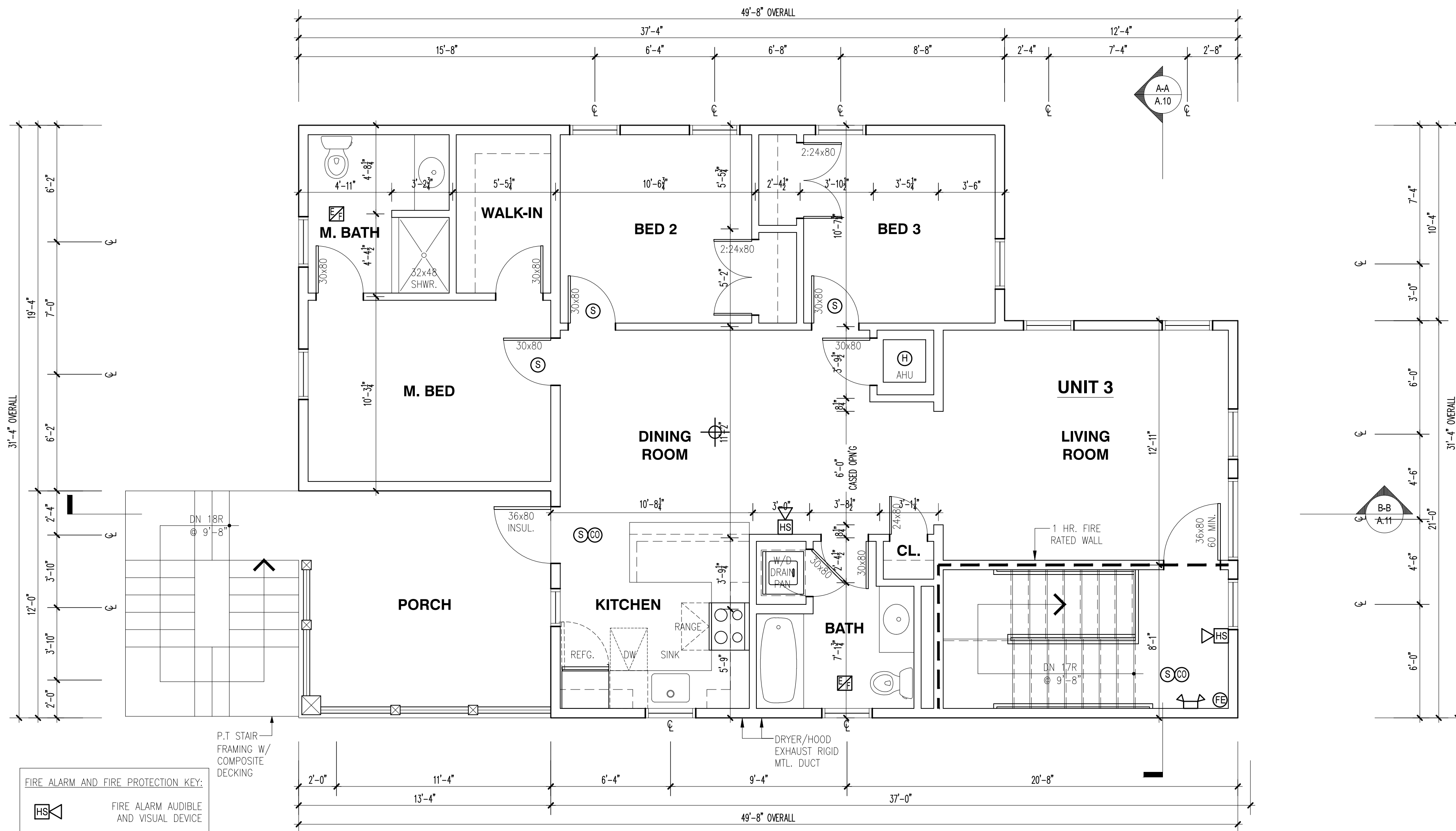
Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	02/03 2016

Scale: 1/14"=1'-0"

## SECOND FLOOR PLAN

**SECOND FLOOR PLAN (1,270 SF)**  
SCALE: 1/4" = 1'-0"





**FIRE ALARM AND FIRE PROTECTION KEY:**

- FIRE ALARM AUDIBLE AND VISUAL DEVICE
- MANUAL PULL STATION
- FIRE EXTINGUISHER
- EXIT SIGN W/ LIGHTING ON EMERGENCY POWER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT

- NOTES:**
1. PHOTOELECTRIC DETECTORS AS REQUIRED.
  2. COMBINATION DETECTORS ARE ACCEPTABLE.

LoPilato Construction Corp.  
3-Family Residence at  
29 Peter Parley Road  
Jamaica Plain, MA 02130

Project Number: 51003.00  
Date: 10.19.2015

**Revisions:**

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	02/03 2016

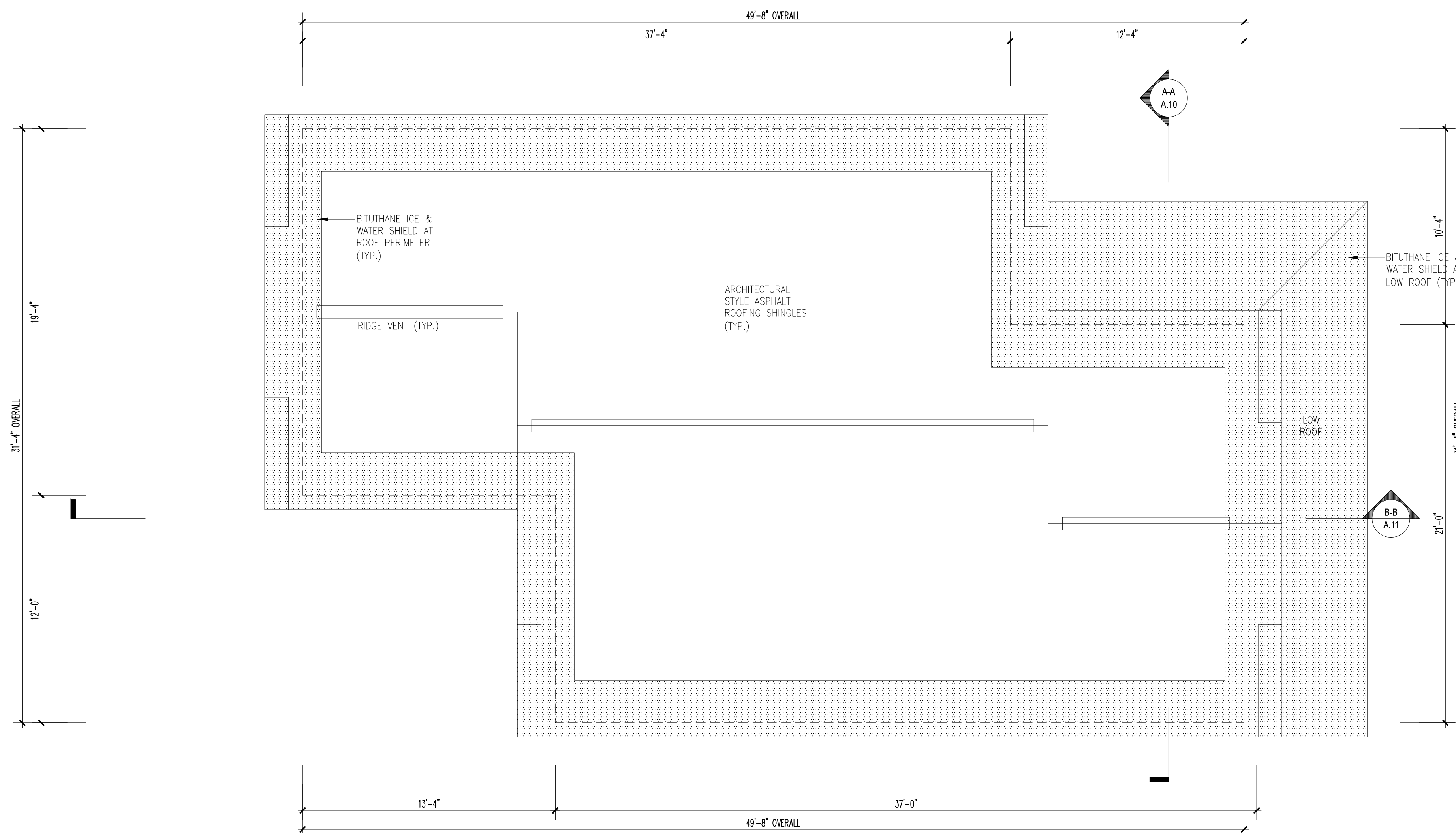
Scale: 1/4"=1'-0"

## THIRD FLOOR PLAN

**THIRD FLOOR PLAN (1,270 SF)**  
SCALE: 1/4"=1'-0"



**AD**  
 architect  
 38 Chapman Street  
 Canton, MA 02021  
 617.501.0631  
 www.ad-architect.com



LoPilato Construction Corp.  
 3-Family Residence at  
 29 Peter Parley Road  
 Jamaica Plain, MA 02130

Project Number: 51003.00  
 Date: 10.19.2015

Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	02/03 2016

Scale: 1/4"=1'-0"

**ROOF PLAN**

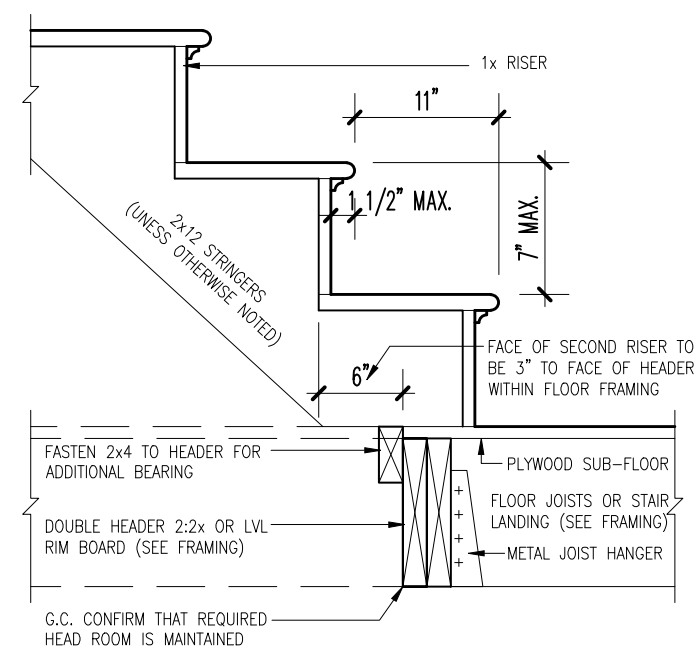
**A.09**

- ROOFING AND FLASHING NOTES
1. PROVIDE ARCHITECTURAL STYLE ASPHALT ROOFING SHINGLES OVER 15# ROOF FELT UNDERLAYMENT U.N.O.
  2. PROVIDE CONTINUOUS RIDGE AND SOFFIT VENTS.
  3. PROVIDE 3'-0" WIDE FIBERGLASS REINFORCED BITUTHENE ICE AND WATER SHIELD AT ROOF PERIMETER AND AT ROOF WALL INTERSECTIONS CARRIED 1'-6" UP THE WALL. CONTINUOUS UNDER ROOF SHINGLES AT LOW ROOF WHERE PITCH IS LESS THAN 4:12.
  4. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOORS HEAD TRIM AND AT THE CONNECTION BETWEEN ALL EXTERIOR WALLS AND EXTERIOR DECKS.
  5. PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS
  6. SUPPORT ALL MECHANICAL EQUIPMENT ON PRE-FABRICATED CURBS PER ROOFING MANUFACTURE'S RECOMMENDATIONS.
  7. PROVIDE PREFORMED VENT/PIPE PENETRATIONS PER ROOFING MANUFACTURER'S RECOMMENDATIONS.

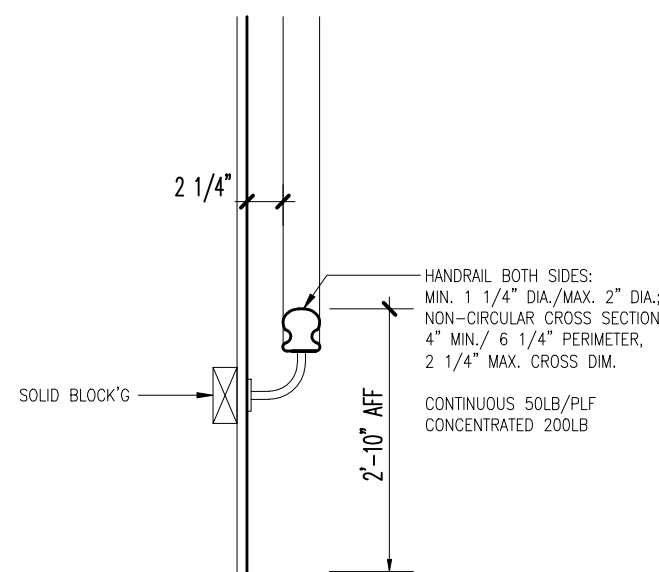
**ROOF PLAN**  
 SCALE: 1/4"=1'-0"



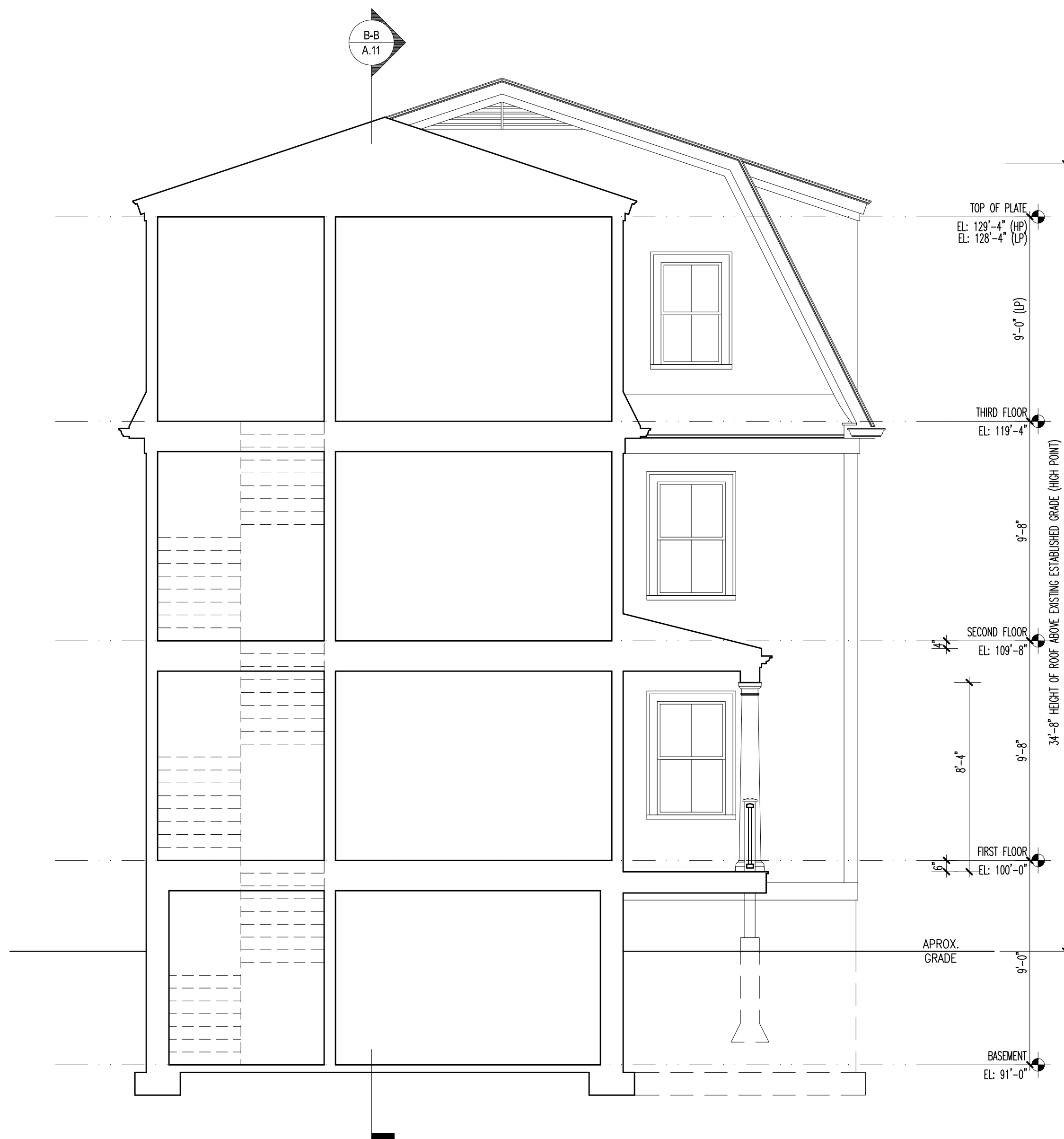
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**STAIR DETAIL**  
 SCALE: 1 1/2"=1'-0"



**HANDRAIL DETAIL**  
 SCALE: 1 1/2"=1'-0"



**TRANSVERSE BUILDING SECTION A-A**  
 SCALE: 1/4"=1'-0"

LoPilato Construction Corp.  
 3-Family Residence at  
 29 Peter Parley Road  
 Jamaica Plain, MA 02130

Project Number: 51003.00  
 Date: 10.19.2015

Revisions:

Number	Description	Date
0	PERMIT	10/24
	DRAWINGS	2015
1	BRA	02/03
	REVISIONS	2016

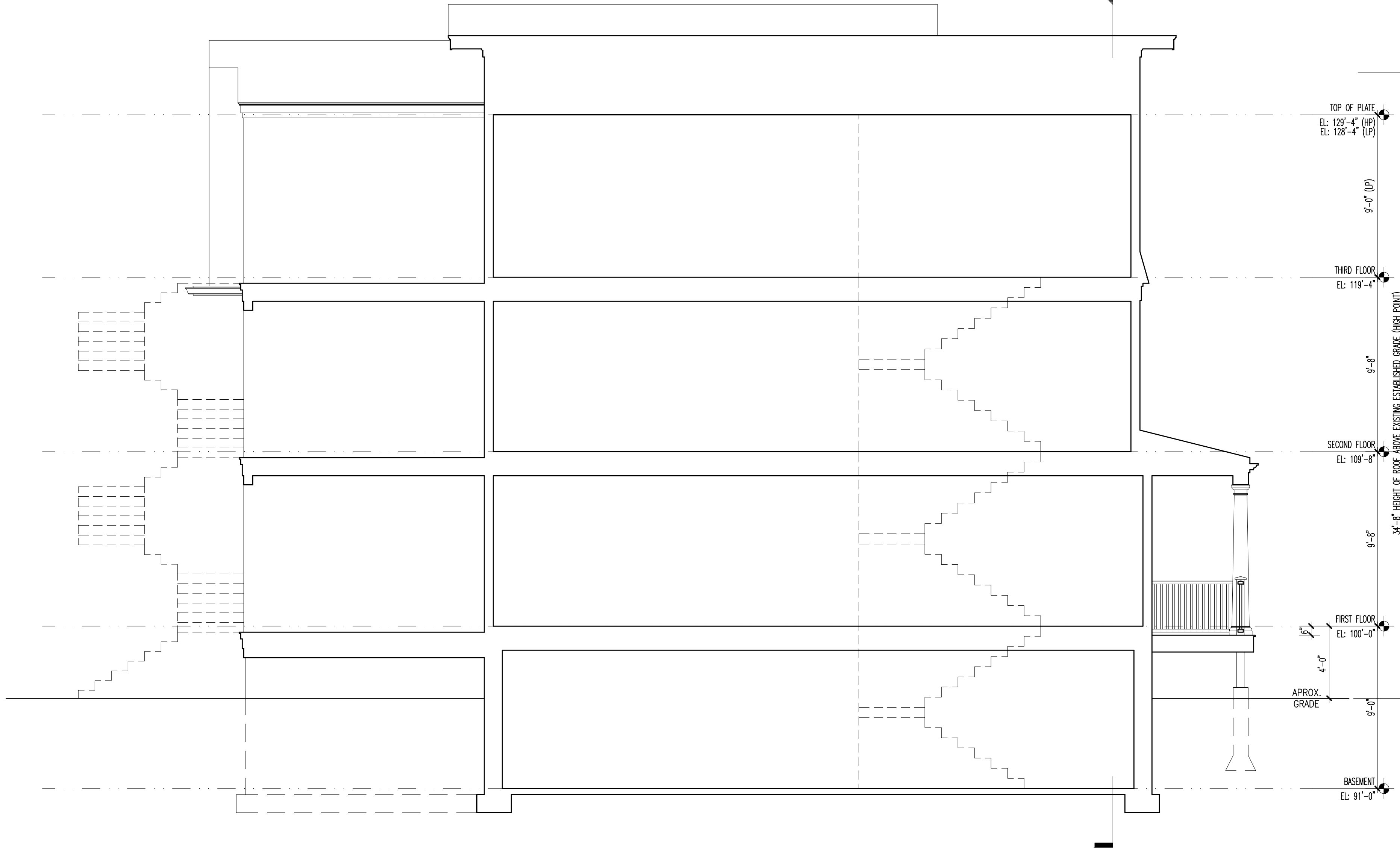
Scale: 1/14"=1'-0"

**BUILDING SECTION**

**A.10**



A-A  
A.10



# AD

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LoPilato Construction Corp.  
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Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	BRA REVISIONS	02/03 2016

Scale: 1/4"=1'-0"

**BUILDING  
SECTION**

**A.11**

**LONGITUDINAL BUILDING SECTION B-B**

SCALE: 1/4"=1'-0"



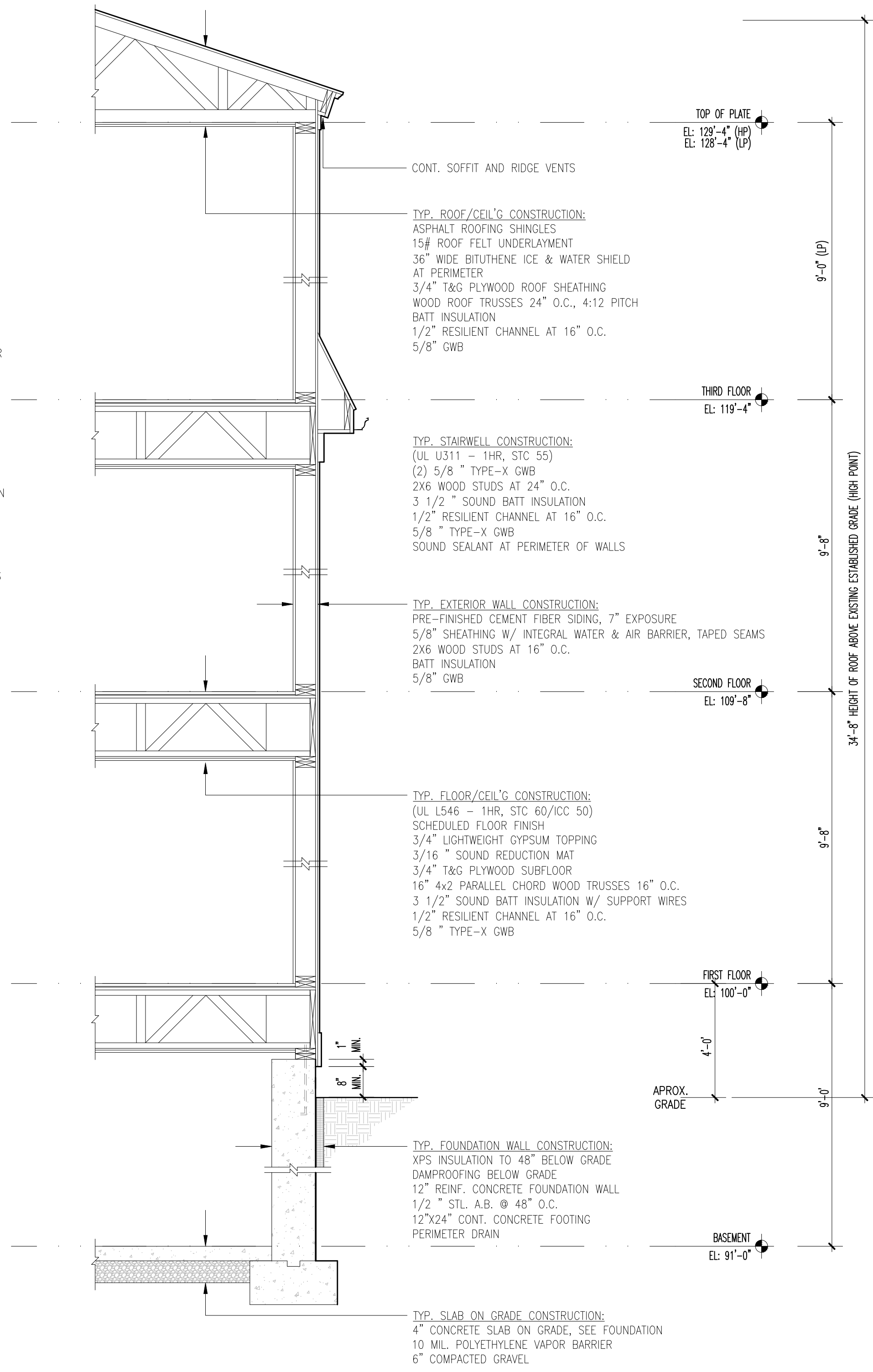
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**THERMAL INSULATION NOTES:**

- INSULATION LEVELS SHALL MEET OR EXCEED THE COMPONENT INSULATION REQUIREMENTS IN 2009 IECC TABLE 402.1.1 "INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS"
- REFER TO THE THIRD PARTY HERS RATER INDEX SPECIFICATIONS SUMMARY FOR INFORMATION REGARDING INSULATION VALUES AND LOCATIONS. BLOWER TESTS ARE MANDATORY FOR NEW HOMES TO ENSURE BUILDING THERMAL ENVELOPE TIGHTNESS.
- DEMONSTRATE COMPLIANCE WITH THE ENERGY STAR THERMAL BYPASS INSPECTION CHECKLIST.

**2009 IECC 402.4.2 "VISUAL INSPECTION LIST FOR AIR SEALING AND INSULATION COMPLIANCE"**

COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED. AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL. AIR PERMEABLE INSULATION IS INSIDE OF AN AIR BARRIER.
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING/SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED. ATTIC ACCESS (EXCEPT UNVENTED ATTIC), KNEE WALL DOOR, OR DROP DOWN STAIR IS SEALED.
WALLS	CORNERS AND HEADERS ARE INSULATED. JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED.
WINDOWS AND DOORS	SPACE BETWEEN WINDOW/DOOR JAMS AND FRAMING IS SEALED.
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AIR BARRIER.
FLOORS	(INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS) INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
CRAWL SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACE IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED. SHAFTS, PENETRATIONS DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT, OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION.
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIRTIGHT, IC RATED, AND SEALED TO DRYWALL. EXCEPTION - FIXTURES IN CONDITIONED SPACE.
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES. BATT INSULATION IS CUT TO FIT AROUND WIRING AND PLUMBING, OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL.
ELECTRICAL/PHONE ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED.
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN DWELLING UNITS.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL.
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER.



**CONSTRUCTION SECTION**  
SCALE: 1/2" = 1'-0"

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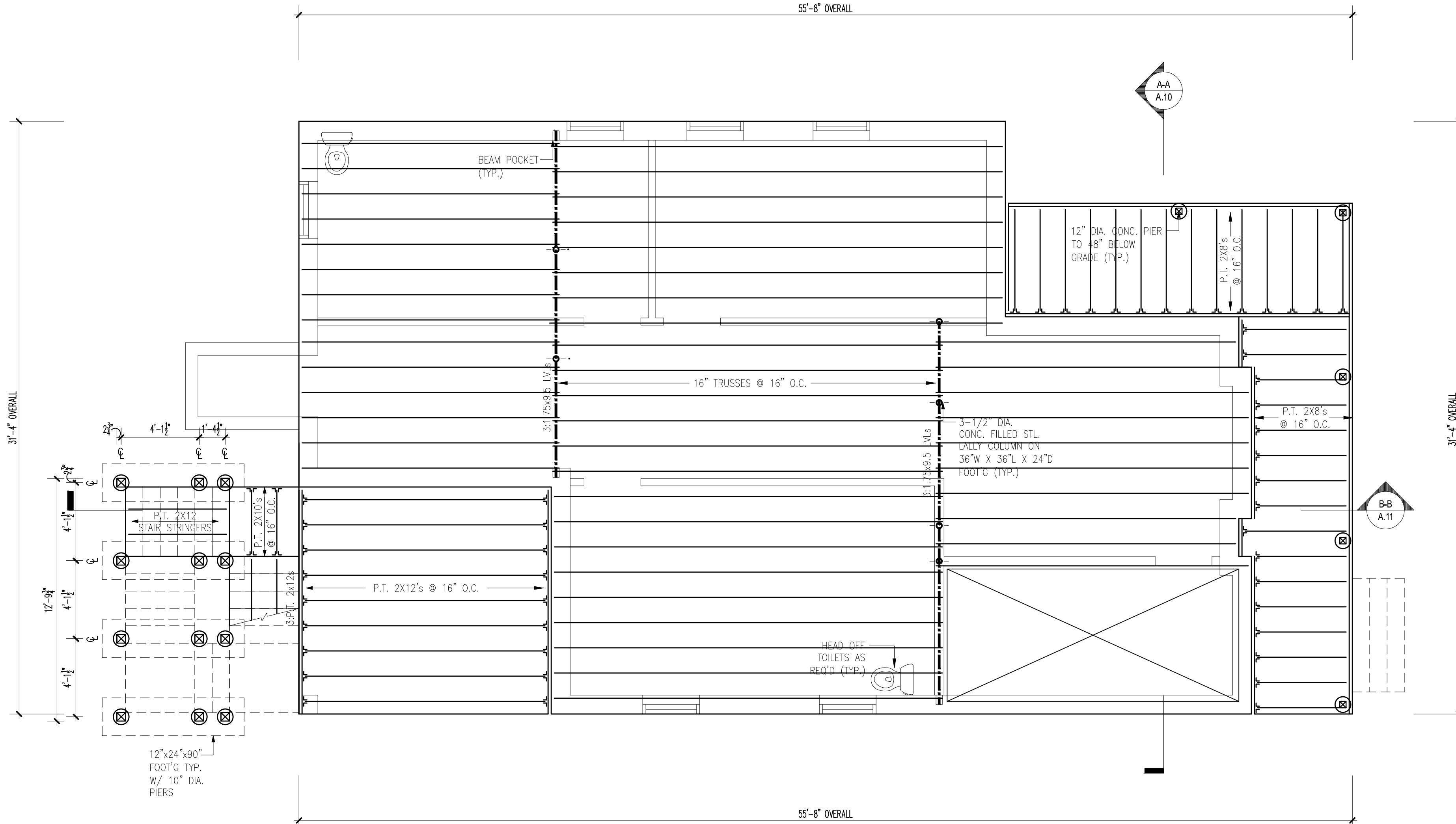
**Revisions:**

Number	Description	Date
0	PERMIT	10/24
	DRAWINGS	2015
1	BRA	02/03
	REVISIONS	2016

Scale: 1/14" = 1'-0"

**CONSTRUCTION SECTION**





**FIRST FLOOR FRAMING**  
SCALE: 1/4" = 1'-0"

STAMP.jpeg

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Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	ISD COMMENTS	01/18 2016
2	BRA REVISIONS	02/03 2016

Scale: 1/4" = 1'-0"

**FIRST FLOOR FRAMING**

**A.13**



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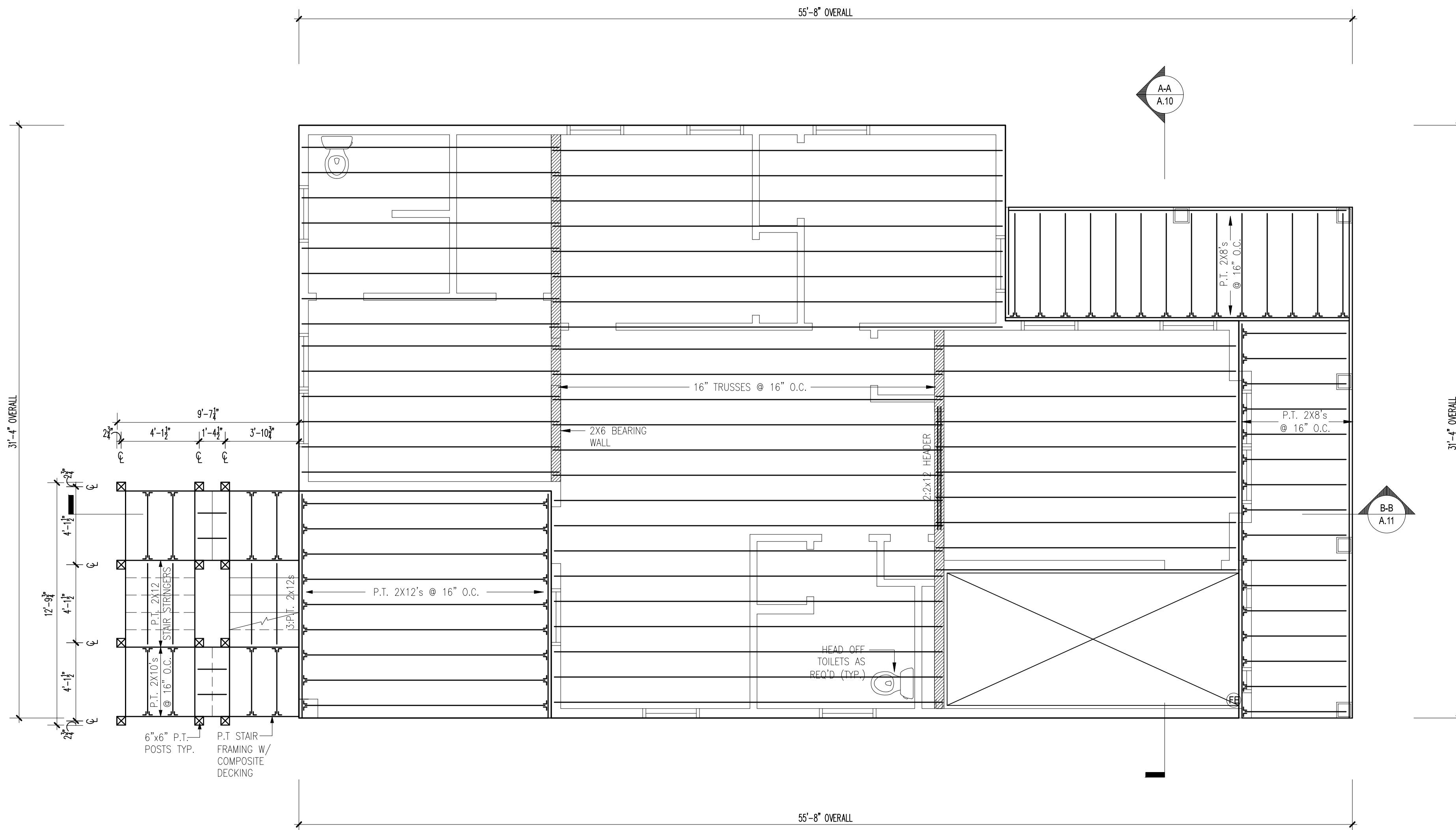
Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	10/24 2015
1	ISD COMMENTS	01/18 2016
2	BRA REVISIONS	02/03 2016

Scale: 1/4"=1'-0"

SECOND/ THIRD  
FLOOR FRAMING

A.14



**SECOND/ THIRD FLOOR FRAMING**  
SCALE: 1/4"=1'-0"



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Scale: 1/4"=1'-0"

ROOF FRAMING

A.15

**ROOF FRAMING**  
SCALE: 1/4"=1'-0"

