

WEST ROXBURY YMCA

15 BELLEVUE STREET

WEST ROXBURY, MASSACHUSETTS



Application for Article 80 Small Project Review
Boston Redevelopment Authority
Date: December 13, 2013

Submitted By:
YMCA of Greater Boston, Inc.
316 Huntington Avenue
Boston, MA 02115

Prepared By:
Shavel & Krems, LLP
141 Tremont Street
Boston, MA 02111

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Exhibits

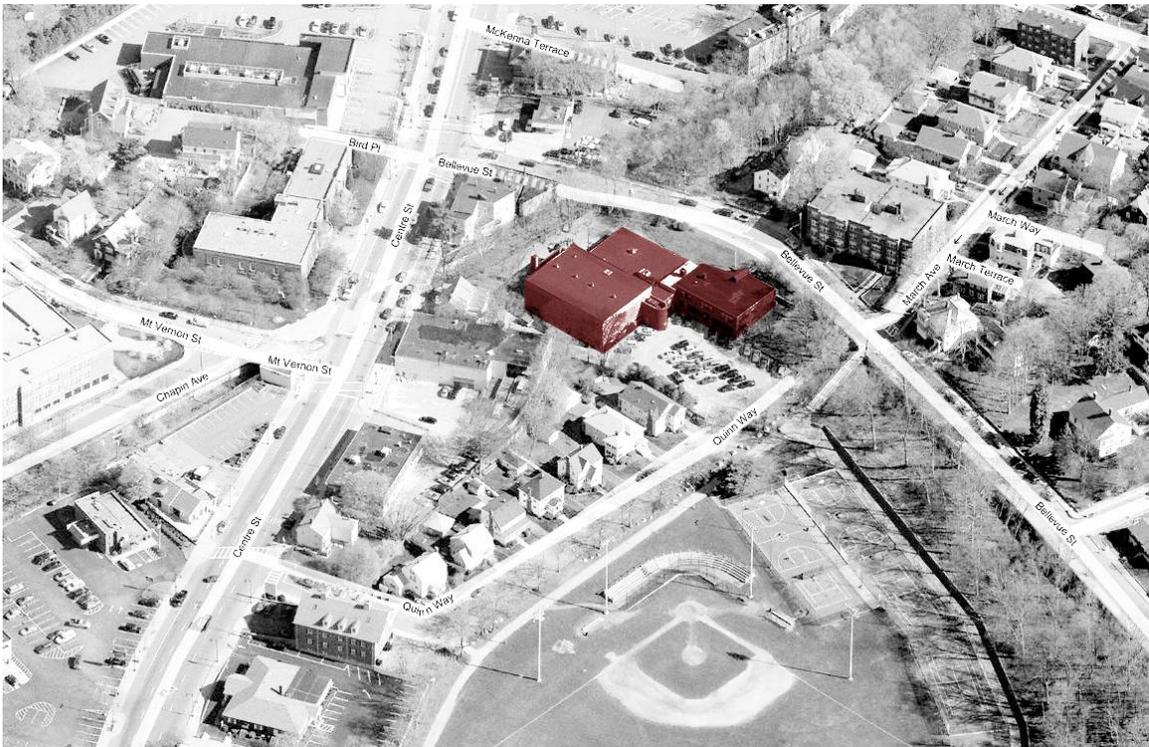
- Exhibit A: Project Plans – Civil and Architectural Drawings
- Exhibit B: MHC Determination Letter
- Exhibit C: MEPA Determination Letter
- Exhibit D: Boston Parks and Recreation Department Determination Letter
- Exhibit E: Exterior Perspectives
- Exhibit F: Architect’s Rooftop Models

Introduction/Overview

This application is being submitted by the YMCA of Greater Boston, Inc., (“YMCA”) in accordance with Article 80E (Small Project Review) of the Boston Zoning Code (“BZC”) regarding a proposed project (“Proposed Project” or “Project”) at the YMCA’s facility located at 15 Bellevue Street, West Roxbury.



Locus Map of 15 Bellevue Street, West Roxbury



Aerial locus Map of YMCA Facility

The Proposed Project involves the demolition of the former Federal Post Office at 1972 Centre Street and portions of the existing YMCA facility. The YMCA will add a new gymnasium, aquatics center and other program areas to the expanded facility. The Project also proposes to rehabilitate the remaining portion of the YMCA facility to bring it up to modern accessibility and building code requirements. The Project will include the following primary and accessory uses: community center, gymnasium, pool, exercise/wellness area, childcare/day care, adult education, classrooms, and administrative offices.

Project Description

In order to facilitate the Project, the YMCA's lot will be subdivided into two lots. A portion of the lot fronting on Centre Street will be sold and is proposed to be developed by the White Fund in conjunction with the City of Boston for public recreational purposes. The YMCA's Project is separate and independent from the White Fund project, though they may occur at or about the same time. The YMCA's retained lot will contain approximately 70,000 square feet. The YMCA's Project will occur solely on the YMCA retained lot, with some proposed future parking to be located on the White Fund parcel.

The West Roxbury YMCA lies at the heart of community life in West Roxbury. The YMCA offers more than 10,000 adults and children activities that promote healthy living, social responsibility and youth development. Unfortunately, the existing facility, which is 61 years old, is simply not capable of meeting the modern needs of the children and families the YMCA serves. The building systems are outdated and not energy efficient. The building lacks sufficient space to accommodate all of the activities the YMCA offers. In addition, the existing facility is not fully handicapped accessible.

The YMCA proposes to demolish an approximately 16,000 square foot portion of the existing structure, which contains an outdated pool and gymnasium. The YMCA will then construct an approximately 24,000 square foot addition, which will house a new gymnasium and a new aquatics center. The Proposed Project will increase the existing facility by approximately 8,000 square feet. The remaining portions of the existing YMCA community center will undergo interior renovations, which will bring the facility up to modern code and accessibility standards. The current facility will undergo a complete renovation and space reallocation to better accommodate existing programs and allow for new initiatives such as a teen fitness center, expanded child care, senior programs, water therapy, handicapped access, as well as youth sports and programs for children with special needs. The new aquatic center will enable expanded instruction for youth and adults, and collaborative sharing with local schools for training, competitions and instruction. It will also enable the YMCA to meet the increasing demand for water therapy for older populations. The total gross floor area of the Project will be approximately 36,000 gross square feet. **(See Project Plans – Exhibit A).**

Project Proponent

Founded in 1851 as America's first Y, the YMCA of Greater Boston has strengthened the Greater Boston community through a focus on youth development, healthy living and social responsibility. As the community's leading nonprofit, the YMCA is dedicated to nurturing the potential of every child and teen, improving the community's health and well-being and providing opportunities to give back and support its neighbors. Each year the YMCA enables more than 100,000 youth, adults, and seniors to be healthy, confident, connected and secure. Today the YMCA of Greater Boston ranks as one of the largest urban Y's in the nation, staying true to its roots as a values-driven, volunteer-led, human service organization strengthening children, families and communities. The YMCA's staff, volunteers, and constituents represent the broad spectrum of citizens, by any and all measures, who live in Greater Boston.

The YMCA is the largest provider of after school programs and child care in the Commonwealth of Massachusetts, offers the state's largest summer youth employment program, involves more than 10,000 children in summer camps, and leverages resources to provide over \$10.3 million in critical services at no cost to low-income participants.

Project Site

15 Bellevue Avenue is located in the West Roxbury Neighborhood on the east side of Centre Street. The property backs up to the City of Boston's Billings Field in the rear. Bellevue Street lies to the North of the site and Quinn Way lies to the South.

The Project is located within a Neighborhood Shopping (NS) subdistrict of the West Roxbury Neighborhood District (Article 56 of the BZC). The existing primary and accessory uses at the property, which will remain unchanged, include: community center, gymnasium, pool, exercise/wellness area, childcare/day care, adult education, classrooms and administrative offices, which are all allowed uses under BZC Article 56. The proposed YMCA Project fully complies with all of the dimensional requirements of the Boston Zoning Code.

Project Status

The YMCA filed a full set of design and construction plans with the Boston Inspectional Services Department ("ISD") on September 10, 2013. **(Selected architectural and civil drawings are attached as Exhibit A).** Based upon discussions with ISD, the YMCA anticipates obtaining a building permit in January 2014.

The YMCA filed a Project Notification Form with the Massachusetts Historical Commission ("MHC") on February 24, 2012. On March 12, 2012, the Commission determined that the proposed project was not subject to further review by the MHC. **(See MHC's Determination Letter provided at Exhibit B).**

On February 28, 2012, the YMCA filed a request to determine the applicability of MEPA review with the Executive Office of Energy and Environmental Affairs (“EOEEA”). On March 9, 2012, EOEEA determined that “MEPA review is not required for the Project.” **(See MEPA Determination Letter provided at Exhibit C).**

In accordance with City of Boston Ordinance Section 7-4.11, the YMCA applied for permission from the Boston Parks and Recreation Department to construct the Project within 100 feet of a Boston City Park (Billings Field). On October 3, 2013, the Boston Parks and Recreation Department determined that the Project would have “no adverse impacts with regard to Billings Field.” **(See Boston Parks and Recreation Department’s Determination Letter provided at Exhibit D).** As part of the approval process, the YMCA agreed to install significant screening between the YMCA lot and Billings Field. The Project will include a landscape buffer across the full rear of the site to screen the YMCA’s parking area from the adjacent park. The plantings will include staggered groupings of Border Forsythia, Lilac and Inkberry Holly. **(See Proposed Site Plan C2.0 at Exhibit A).**

Project Team

Proponent:	YMCA of Greater Boston, Inc. 316 Huntington Avenue Boston, MA 02115 Tel: (617) 927-8125 Fax: (617) 536-0935 Kevin Washington, President & CEO kashington@ymcaboston.org Edward Dahlstedt, VP of Property Management edahlstedt@ymcaboston.org
Architect: Structural Engineer:	LINEA 5, Inc. 195 State Street Boston, MA 02109 Tel: (617)723-8808 Fax: (617) 723-8898 Holly S. Darzen, Principal hdarzen@linea5.com Robert Cotta, Structural Engineer rcotta@linea5.com
Project Manager:	Jones Lang LaSalle One Post Office Square Boston, MA 02109 Gen: 617-523-8000 Fax: 312-601-1783 Michael Connelly, Sr. Vice President Michael.Connelly@am.jll.com
Legal Counsel:	Shaevel & Krems, LLP 141 Tremont Street-3 rd Floor Boston, MA 02111 Tel: (617) 556-0244 Fax: (617) 556-0284 David R. Jackowitz, Esq, djackowitz@shaevelkrems.com William H. Shaevel, Esq. bshaevel@shaevelkrems.com

Transportation:	F. Giles Ham, P.E., Principal Vanasse & Associates, Inc. 10 New England Business Center Drive, Suite 314 Andover, MA 01810 Tel: (978) 474-8800
Civil Engineer:	Brassard Design & Engineering, Inc. 340 Main Street, Suite 864 Worcester, MA 01608 Tel: (508) 755-2100 Fax: (508) 755-1945 Matthew Brassard mbrassard@brassarddesign.com
MEP/Engineer: Fire Protection Plumbing:	VAV International Consulting Mechanical Engineers 400 West Cummings Park, suite 4760 Woburn, MA 01801 Tel: (781) 935-7223 Fax: (781) 935-1822 Semoon Oh, PE, Principal soh@vavint.com
Fire Protection Electrical:	Sam Zax Associates Consulting Electrical Engineers 14 Wood Road Braintree, MA 02184 Tel: (781) 303-1700 Fax: (781) 303-1705 Michael Zax max@zaxengineering.com
Geotechnical Consultant:	McPhail Associates, Inc. 2269 Massachusetts Avenue Cambridge, MA 02140 Tel: (617) 868-1420 Fax: (617) 868-1423 hjb@mcphailgeo.com

Zoning Information

The Project will conform to all dimensional and use categories of the Boston Zoning Code. The property lies in the West Roxbury Neighborhood Subdistrict under Article 56 of the Boston Zoning Code.

Zoning - Dimensional:

The following zoning table indicates the proposed Project fully complies with the applicable dimensional controls contained in Boston Zoning Code Article 56 Table F:

Code Provision	Required	Proposed YMCA Lot	Comply or Relief Needed
Max. FAR	2.0	.51 <u>gfa/lot</u> 36,000/70,000	Comply
Max. Building Height	35 ft.	<35 ft.	Comply*
Min. Lot Size	None	N/A	N/A
Min. Lot Area per Dwelling Unit	N/A	N/A	N/A
Min. Useable Open Space per dwelling unit	50 sf per 1,500 sf	1,200 sf (36,000/1,500=24) 24x50=1,200	Comply
Min. Lot Width	None	N/A	N/A
Min. Lot Frontage	None	N/A	N/A
Min. Front Yard	None	N/A	N/A
Min. Side Yard			
a) Generally	None	N/A	N/A
b) <i>The sides which directly abut a residential subdistrict require a 12 ft. setback (Table F, footnote 4)</i>	12 ft	23.6 ft. YMCA bldg. abut residential dist at Quinn Way	Comply
Min. Rear yard	40 ft Rear that abuts Billings Field	100 ft.	Comply
Street Continuity	Coextensive with building line of block	2.3 ft. to 0	Comply

Zoning – Use

The following use table indicates the Project’s proposed uses are all allowed under the Boston Zoning Code Article 66 Table D:

Use	Treatment under Article 56
Community Center <i>Community Center is defined in the zoning code as a facility providing educational, recreational, and social services to the community</i>	Allowed
Adult Education	Allowed
Day Care Center	Allowed
Fitness Center Gymnasium	Allowed
Pool	Allowed
Administrative Office	Allowed

Article 80 Small Project Review

SECTION 80E-2. Applicability of Small Project Review.

The Project is subject to the design component of Small Project Review pursuant to BZC Section 80E-2(1)(b)(i), which requires Small Project Review for “any Proposed Project for the erection or extension of one or more buildings that results in the addition of an aggregate gross floor area of twenty thousand (20,000).” In the instant case, the Project proposes to demolish approximately 16,000 gross square feet and construct approximately 24,000 gross square feet. Because the construction exceeds 20,000 square feet, Small Project Review is required.

Elements of Building Design

The proposed building was thoughtfully designed to integrate into both the contours of the site and the neighborhood as a whole. None of the new construction is higher than the existing structure. Because the lot significantly slopes down away from Centre Street, the visual impact of the Proposed Project is substantially reduced from Centre Street. The buildings was

specifically designed to indicate the YMCA's presence on Bellevue Street through YMCA signage and large fenestration. There are multiple windows on the Bellevue façade, which reinforce the YMCA's presence on Bellevue Street and its connection to the abutting neighborhood. The building's fenestration, lighting and signage, which were designed to connect the building to the neighborhood nevertheless have minimal visual impact on the neighbors. From the southeast, the building's design will bring in natural light from the south. The artificial light will be cast solely on the parking area and not into the adjacent Billings Field or onto the neighbors on Quinn Way.

The proposed addition was carefully designed to be compatible with the existing building but with enhanced architectural details including: tile accents, additional windows for increased natural light, and several colors of brick and other façade material. **(See Exterior Perspectives at Exhibit E).** The window type will vary in opacity from clear to frosted to spandrel glass. The new inviting entrance will consist of a two-story glass atrium to guide users to a clearly indicated main building entrance. It is critical for the YMCA's operations that all members, guests and other visitors use only the main entrance for safety and security purposes. As the leading provider of day care in the area, the YMCA must ensure that all persons present the necessary credentials prior to entering the facility. The YMCA accomplishes this through a staffed membership desk at the main entrance to act as a gatekeeper for the entire facility. Only those who belong in the building are permitted entry, which makes for a safe and secure facility that is typically packed with children, seniors and families.

The building was designed to follow the curve of Bellevue Street along the YMCA's lot line. This stepped-design increments the visual impact on pedestrians and vehicles to reduce the sense of bulk of the structure. The building contains a parapet around the areas with the highest concentration of rooftop mechanicals to substantially reduce the visibility of such mechanicals. The YMCA's architect's modeling of the worst case views reveals minimal visual impact from the proposed rooftop design. From the south and the southeast, there are virtually no visible mechanicals. From the north, from a small area on Bellevue Street, one rooftop unit is partially visible above the parapet, but a vast majority of the views from Bellevue Street will be fully screened by the parapet. From the northwest vantage point, which is inaccessible to both vehicles and pedestrians, there is minimal opportunity to view the rooftop. In any case, the rooftop mechanicals are only partially visible from this point. **(See Architect's Rooftop Models provided at Exhibit F).**

All of the building signage is located in areas which maximize visibility with the goal of directing traffic to the main entrance of the building. None of the signage is designed or located to obscure architectural elements or ornamental details of the façade. Rather, the signage is designed to be integrated into the façade design. The main entrance sign will be backlit and visible from the parking area to guide vehicular traffic to the main entrance, but will not be excessively bright so as to create a nuisance or hazard to vehicular traffic or the abutting residential neighborhood. **(See Building Elevations A3.01, included as part of Exhibit A).**

The Proposed Project has previously obtained approval of the project from the Boston Parks and Recreation Department as it is located within 100 feet of the Boston City Park, Billings Field. The YMCA has agreed to provide substantial landscape screening between the park and the YMCA lot. The plantings as shown on the plans will include Border Forsythia, Lilac and Inkberry Holly. These three plant species will be planted in a staggered triangular fashion which will create a continuous screening effect across the entire parking lot area between the park and the YMCA's property. In addition, the plantings will be planted in randomized groupings across the property line for a more pleasing view from Billings Field. **(See Proposed Site Plan C2.0 at Exhibit A).**

Transportation

YMCA's Proposed Project is located directly on a major roadway and has access to multiple types of public transportation and offers on-site parking. The vast majority of the YMCA's members are West Roxbury residents. As a result many members access the facility on foot, thereby reducing the traffic impacts of the Proposed Project. The YMCA's existing facility's only vehicular access and egress point is via Quinn Way. **(See Existing Conditions Plan C1.0 at Exhibit A).**

The fact that all traffic to and from the site must travel on Quinn Way has burdened the residential homes located on Quinn Way. In order to lessen the number of vehicle trips on Quinn Way, the YMCA has proposed several transportation modifications to the site:

- 1) The YMCA will modify the access way off the existing curb cut on Centre Street to permit vehicles to enter the YMCA facility. The current site configuration only allows vehicles to park in the upper lot (adjacent to the former post office), but does not permit vehicles to access the YMCA facility itself.
- 2) Once a vehicle is at the YMCA facility, it will be permitted to exit the site only via Quinn Way and not back onto Centre Street.
- 3) While on the YMCA site, cars will travel on a one way internal connector roadway through and around the parking lot.
- 4) The existing Quinn Way driveway will be modified to allow only exiting traffic. The YMCA will install signage at the appropriate locations on the site to direct the traffic as indicated.
- 5) The YMCA will create a campaign to educate its members regarding the new traffic configuration.

The site is located in close proximity to both the MBTA Commuter Rail and several MBTA bus lines. Both the West Roxbury and Highland Stations on the MBTA Needham Heights line are

within a few minutes walking distance to the facility. The site is also serviced by MBTA Bus #35, #36, #37 and #38.

According to the YMCA's traffic engineer, the Proposed Project will slightly increase vehicle trips on Centre Street, while also reducing vehicle trips on Quinn Way.

Parking

The existing YMCA facility contains 57 parking spaces. There are an additional 14 parking spaces at the former post office site for a total of 71 parking spaces available to the YMCA. The Proposed Project will increase the existing facility size by approximately 8,000 square feet. Pursuant to the Boston Zoning Code, the parking lot is required to have 37 parking spaces (1 per 1,000 square feet). In order to better serve the needs of its members, the YMCA proposes to provide 86 parking spaces, well in excess of the number required by the BZC.

Public Benefits

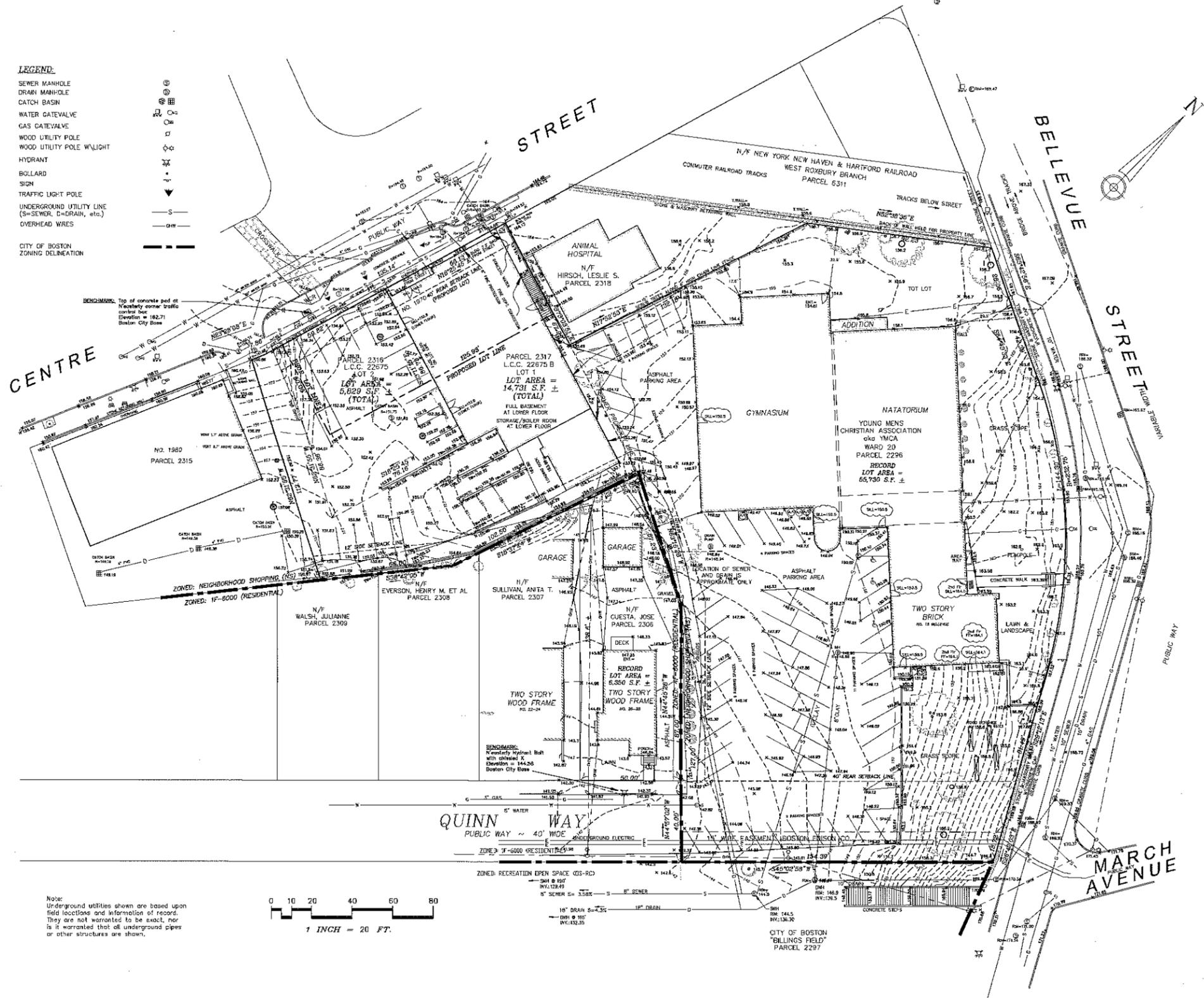
The YMCA believes that the Proposed Project will be a substantial benefit to the YMCA community, the West Roxbury neighborhood and the City of Boston as a whole. The anticipated benefits include the following:

1. Restore and substantially upgrade the YMCA facility to a premier community center;
2. Make the YMCA facility handicapped accessible;
3. Invest over \$10 million in construction dollars into an aging and outdated facility;
4. Bring the existing facility up to modern fire and safety codes;
5. Create a new teen fitness center;
6. Create a new state of the art aquatics center;
7. Expand child care, senior programs and water therapy;
8. Expand youth sports and programs for children with special needs;
9. Allow collaborative sharing with local schools for training, competitions and instruction.

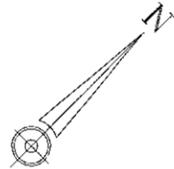
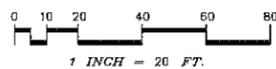
Exhibit A

Project Plans - Civil and Architectural Drawings

- LEGEND**
- SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH BASIN
 - WATER GATEVALVE
 - GAS GATEVALVE
 - WOOD UTILITY POLE
 - WOOD UTILITY POLE W/LIGHT
 - HYDRANT
 - BOLLARD
 - SIGN
 - TRAFFIC LIGHT POLE
 - UNDERGROUND UTILITY LINE
(S=SEWER, D=DRAIN, etc.)
 - OVERHEAD WRES
 - CITY OF BOSTON
ZONING DELINEATION



Note:
Underground utilities shown are based upon field locations and information of record. They are not warranted to be exact, nor is it warranted that all underground pipes or other structures are shown.



LINEAS, inc
195 Shaw Street
Boston, MA 02109
Tel: 617.723.8808
Fax: 617.723.8880
www.lineas.com

WEST ROXBURY YMCA

15 Bellevue Street
West Roxbury, MA 02132

Existing Conditions Plan



NO. ISSUE DATE

Job No	11170
DRAWN BY	SC
CHECKED BY	SC
DATE	08.21.13
SCALE	1" = 20'

SHEET No

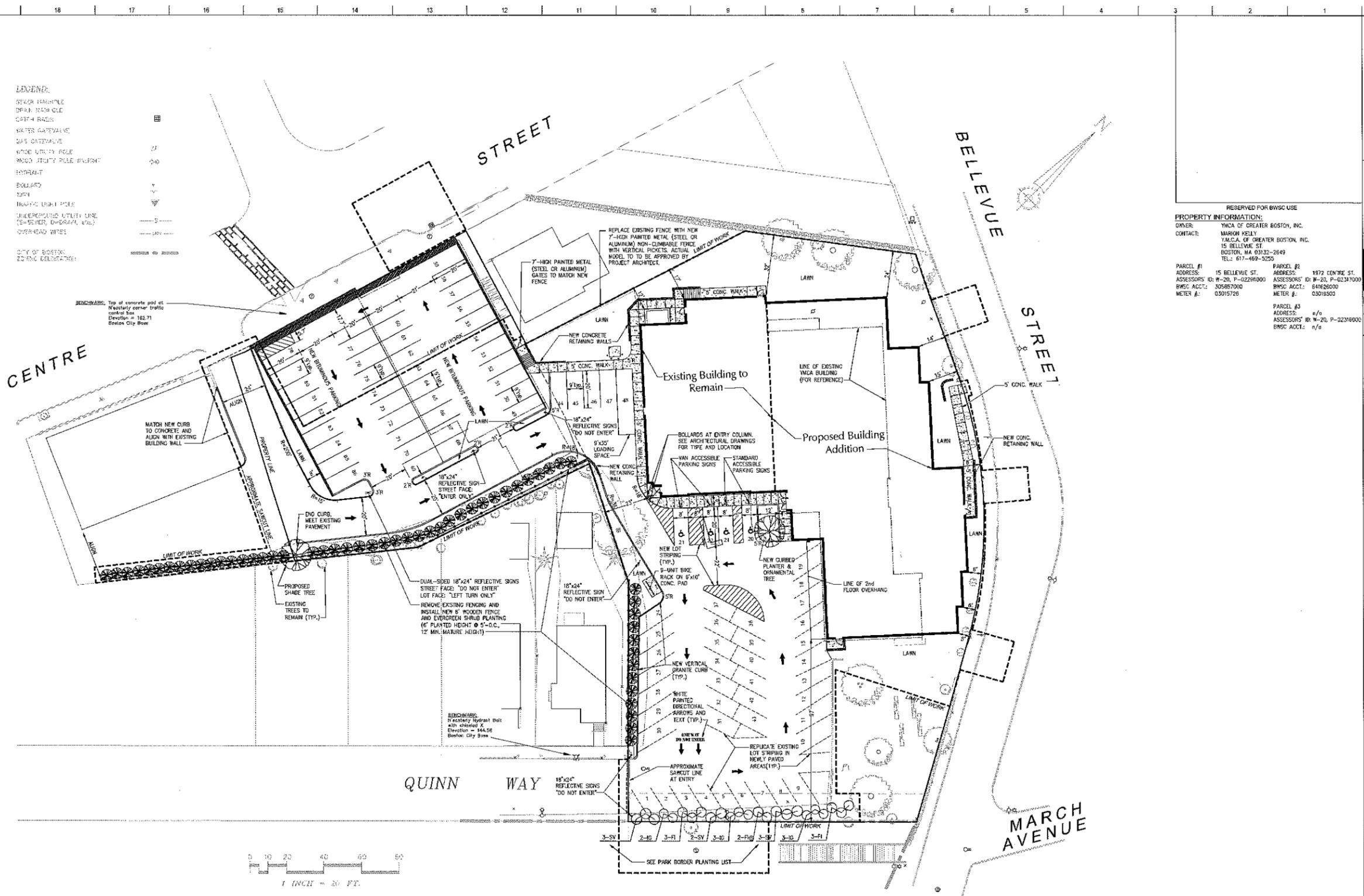
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08.21.13

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- LEGEND:**
- SEWER MAINLINE
 - SEWER MANHOLE
 - CUT-4 BASES
 - WATER CATERVALE
 - WATER CATERVALE
 - WOOD UTILITY POLE
 - WOOD UTILITY POLE W/HEIGHT
 - HYDRANT
 - BOLLARD
 - CONC
 - PAVING LIGHT POLE
 - UNDERGROUND UTILITY LINE (SCREENED, UNSEARCHED, ETC.)
 - OVER-HEAD WIRES
- CITY OF BOSTON:**
ENGINE REGISTRATION:

BENCHMARK: Top of concrete pad at Rectangular corner traffic control box
 Elevation = 102.71
 Boston City Box



- LAYOUT & MATERIALS NOTES:**
1. DIMENSIONS ARE FROM FACE OF BUILDING FOUNDATION, EDGE OF PAVEMENT / FACE OF CURB, FACE OF WALL, AND CENTERLINE OF PAVEMENT MARKING, UNLESS OTHERWISE SHOWN.
 2. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING BUT NOT LIMITED TO STAIRS, RAMPS, ENTRY AREAS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, LOADING DOCKS, COMPACTOR PADS, BOLLARDS, ETC.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING HORIZONTAL AND VERTICAL PLACEMENT OF ALL SITE AND UTILITY CONSTRUCTION ELEMENTS.
 4. REPLICATE EXISTING PAVEMENT MARKINGS IN ALL AREAS UNLESS NEW STRIPING IS INDICATED.
 5. "LAWN" AREAS SHALL INCLUDE A MINIMUM OF 4" SCREENED LOAM AND SEEDED TO PROVIDE DENSE LAWN GROWTH, OR PREPARED FOR OTHER PLANTINGS.
 6. ALL NEW RETAINING WALLS SHALL BE REINFORCED CONCRETE.
 7. ALL NEW CURBING SHALL CONSIST OF VERTICAL GRANITE CURB.
 8. ALL AREAS DISTURBED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONDITION UNLESS OTHERWISE NOTED.
 9. SEE ELECTRICAL SITE PLAN FOR LIGHTING LOCATIONS AND SPECIFICATIONS.
 10. SEE ARCHITECTURAL DRAWINGS FOR PROJECT PHASING INFORMATION.

PARKING SPACE SUMMARY

PARKING AREA	STANDARD	ACCESSIBLE	LOADING
Existing / Expanded Parking Lot	36	4	1
New At-Curb Parking	41		
TOTAL PARKING SPACES	81	4	1

PARK BORDER PLANTING LIST

KEY	NAME	COMMON NAME	QUANTITY	PLANTED HT.	MATURE HT.
FI	Forsythia x intermedia	Border Forsythia	8	3FT	6-7FT
SV	Syringa vulgaris	Lilac	8	4FT	8-9FT
IC	Ilex glabra	Inkberry Holly	8	3FT	7-8FT

RESERVED FOR BWSC USE

PROPERTY INFORMATION:
 OWNER: Y.M.C.A. OF GREATER BOSTON, INC.
 CONTACT: MARROW KELLY
 Y.M.C.A. OF GREATER BOSTON, INC.
 15 BELLEVUE ST.
 BOSTON, MA 02132-2849
 TEL: 617-469-3255

PARCEL #1 ADDRESS: 15 BELLEVUE ST. ASSESSORS' ID: W-20, P-02296000 BWSC ACCT: 305867000 METER #: 03015726

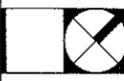
PARCEL #2 ADDRESS: 1972 CENTRE ST. ASSESSORS' ID: W-20, P-02347000 BWSC ACCT: 641626000 METER #: 03018503

PARCEL #3 ADDRESS: n/a ASSESSORS' ID: W-20, P-02319000 BWSC ACCT: n/a

LINEA5, inc
 195 South Street
 Boston, MA 02109
 Tel: 617.223.8888
 Fax: 617.223.8888
 www.linea5.com

WEST ROXBURY YMCA
 15 Bellevue Street
 West Roxbury, MA 02132

Proposed Site Plan



NO.	ISSUE	DATE

Job No. 11170

DRAWN BY	CHECKED BY
BCE	MTB

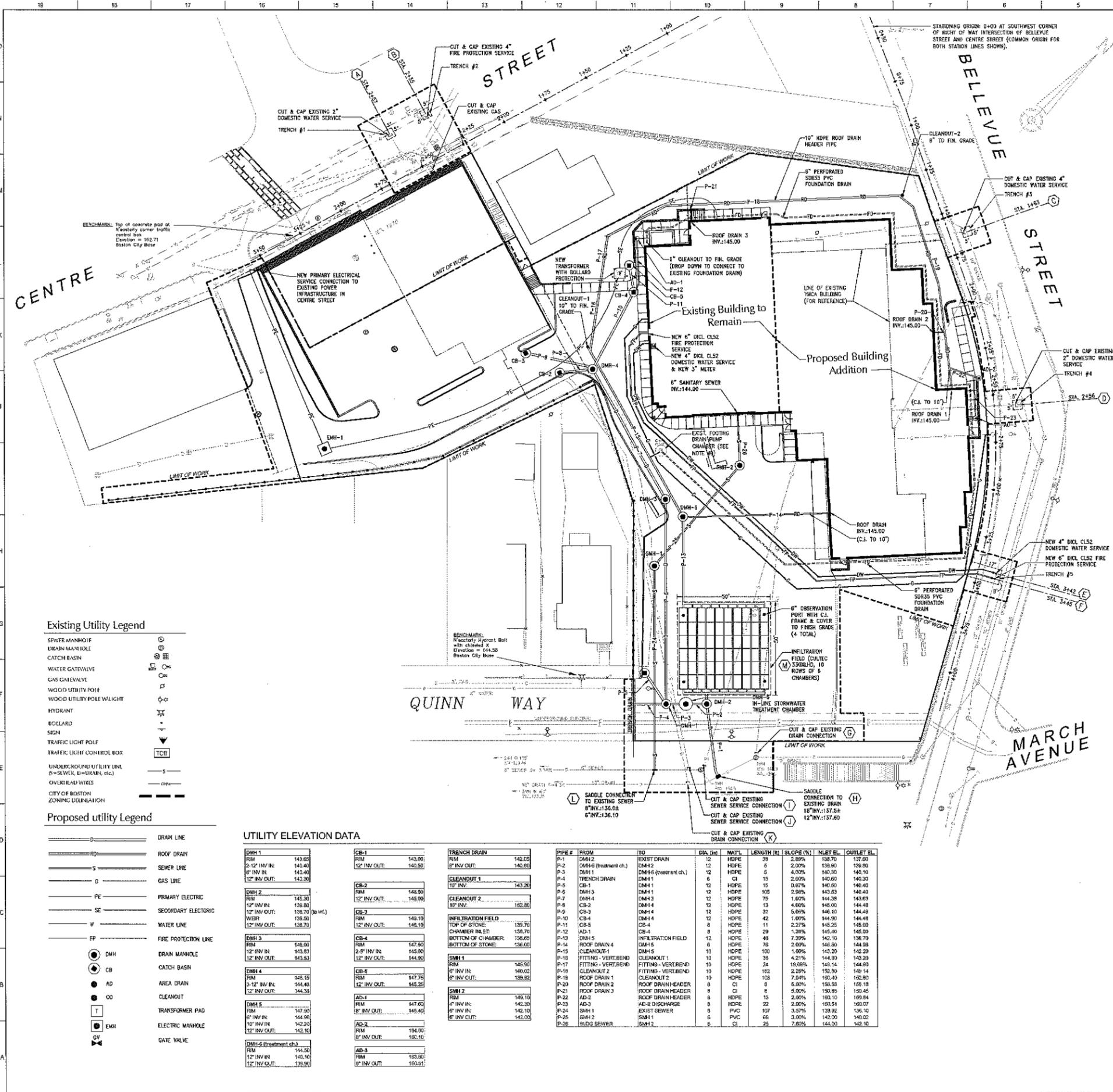
DATE 08.21.13 SCALE 1" = 20'

SHEET No. **C2.0**

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08.21.13

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RESERVED FOR BWSC USE

PROPERTY INFORMATION:
 OWNER: YMCA OF GREATER BOSTON, INC.
 CONTACT: MARION KELLY
 7 M.C.A. OF GREATER BOSTON, INC.
 15 BELLEVUE ST.
 BOSTON, MA 02132-2649
 TEL: 617-469-5225

PARCEL #1: 15 BELLEVUE ST. ADDRESS: 15 BELLEVUE ST. ASSESSORS' ID: W-20, P-02280000 BWSC ACCT: 305857000 METER #: 03015725
 PARCEL #2: 1972 CENTRE ST. ADDRESS: 1972 CENTRE ST. ASSESSORS' ID: W-20, P-02317000 BWSC ACCT: 641626000 METER #: 03019500
 PARCEL #3: n/a ADDRESS: n/a ASSESSORS' ID: W-20, P-02316000 BWSC ACCT: n/a

B.W.S.C. UTILITY INSPECTIONS

LOCATION	DESCRIPTION	INSPECTOR	DATE	COMMENTS
(A)	CUT & CAP EXIST. 2" DOMESTIC WATER SVC.			
(B)	CUT & CAP EXIST. 4" FIRE PROTECTION SVC.			
(C)	CUT & CAP EXIST. 4" DOMESTIC WATER SVC.			
(D)	CUT & CAP EXIST. 2" DOMESTIC WATER SVC.			
(E)	NEW 4" DOMESTIC WATER SERVICE			
(F)	NEW 6" FIRE PROTECTION SERVICE			
(G)	CUT & CAP EXISTING DRAIN			
(H)	NEW 12" DRAIN CONNECTION			
(I)	CUT & CAP EXISTING SEWER SERVICE			
(J)	CUT & CAP EXISTING SEWER SERVICE			
(K)	CUT & CAP EXISTING DRAIN			
(L)	NEW 6" SANITARY SEWER SERVICE			
(M)	NEW SUBSURFACE RESOURCE FIELD			
(N)	DYE TEST STORM DRAIN & SANITARY SEWER			
(O)	DO NOT DUMP PLAGE AT ALL NEW CATCH BASINS			
(P)	AS-BUILT PLAN			

UTILITY TRENCH AREAS

TRENCH #	DESCRIPTION	L x W	AREA
1	CUT & CAP DOMESTIC WATER	5' x 5'	25SF
2	CUT & CAP FIRE PROTECTION	5' x 5'	25SF
3	CUT & CAP DOMESTIC WATER	5' x 5'	25SF
4	CUT & CAP DOMESTIC WATER	5' x 5'	25SF
5	CUT & CAP WATER	5' x 17'	136SF
TOTAL AREA			236SF

- Existing Utility Legend**
- SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH BASIN
 - WATER GATEVALVE
 - GAS GATEVALVE
 - WOOD UTILITY POLE
 - WOOD UTILITY POLE W/ LIGHT
 - HYDRANT
 - BOLLARD
 - SIGN
 - TRAFFIC LIGHT POLE
 - TRAFFIC LIGHT CONTROL BOX
 - UNDERGROUND UTILITY LINE (S=SEWER, D=DRAIN, etc.)
 - OVERHEAD WIRE
 - CITY OF BOSTON ZONING DELINEATION

- Proposed utility Legend**
- DRAIN LINE
 - ROOF DRAIN
 - SEWER LINE
 - GAS LINE
 - PRIMARY ELECTRIC
 - SECONDARY ELECTRIC
 - WATER LINE
 - FIRE PROTECTION LINE
 - DRAIN MANHOLE
 - CATCH BASIN
 - AREA DRAIN
 - CLEANOUT
 - TRANSFORMER PAD
 - ELECTRIC MANHOLE
 - GATE VALVE

UTILITY ELEVATION DATA

ITEM	INVERT	OUTLET						
DMH-1	143.60							
RM	143.60							
2-12" INV IN	140.40							
6" INV IN	143.40							
12" INV OUT	143.30							
DMH-2	142.50							
RM	142.50							
12" INV IN	138.70							
12" INV OUT	138.70 (to inv.)							
WEIR	138.50							
12" INV OUT	138.70							
DMH-3	145.50							
RM	145.50							
12" INV IN	143.90							
12" INV OUT	143.53							
DMH-4	145.00							
RM	145.00							
3-12" INV IN	144.48							
12" INV OUT	144.38							
DMH-5	147.50							
RM	147.50							
6" INV IN	144.96							
10" INV IN	142.20							
12" INV OUT	142.10							
DMH-6 (treatment ch.)	144.50							
RM	144.50							
12" INV IN	140.10							
12" INV OUT	139.90							
CB-1	143.00							
12" INV OUT	142.90							
CB-2	145.00							
12" INV OUT	145.00							
CB-3	148.10							
12" INV OUT	148.10							
CB-4	147.50							
2-6" INV IN	145.00							
12" INV OUT	144.90							
CB-5	147.75							
12" INV OUT	145.25							
AD-1	147.60							
RM	147.60							
6" INV IN	145.45							
AD-2	144.80							
RM	144.80							
6" INV IN	142.10							
12" INV OUT	142.10							
AD-3	144.50							
RM	144.50							
12" INV IN	140.10							
12" INV OUT	139.90							
TRENCH DRAIN	142.00							
6" INV OUT	140.60							
CLEANOUT 1	143.30							
12" INV	143.30							
CLEANOUT 2	142.80							
12" INV	142.80							
INFILTRATION FIELD	139.70							
TOP OF STONE	139.70							
BOTTOM OF CHAMBER	136.60							
BOTTOM OF STONE	136.60							
SMM-1	145.50							
RM	145.50							
6" INV IN	140.60							
6" INV OUT	139.92							
SMM-2	149.10							
RM	149.10							
6" INV IN	142.10							
6" INV OUT	142.00							
P-1	12	HOPE	39	2.85%	138.70	137.60		
P-2	DMH-2	DMH-2	12	HOPE	6	2.00%	139.90	139.80
P-3	DMH-1	DMH-6 (treatment ch.)	12	HOPE	5	4.00%	140.30	140.10
P-4	TRENCH DRAIN	DMH-6 (treatment ch.)	8	CI	15	2.00%	140.60	140.30
P-5	CB-1	DMH-1	12	HOPE	15	0.87%	140.60	140.40
P-6	DMH-3	DMH-1	12	HOPE	105	2.98%	143.03	140.40
P-7	DMH-4	DMH-3	12	HOPE	79	1.60%	144.38	143.63
P-8	CB-2	DMH-4	12	HOPE	13	4.00%	144.90	144.48
P-9	CB-3	DMH-4	12	HOPE	32	5.69%	146.10	144.48
P-10	CB-4	DMH-4	12	HOPE	42	1.00%	144.90	144.48
P-11	CB-5	DMH-4	12	HOPE	11	2.27%	145.25	145.00
P-12	AD-1	DMH-4	8	HOPE	29	1.38%	145.40	145.00
P-13	DMH-5	INFILTRATION FIELD	12	HOPE	48	7.39%	142.10	138.70
P-14	ROOF DRAIN 4	DMH-5	8	HOPE	78	3.00%	146.80	144.96
P-15	CLEANOUT 1	DMH-5	10	HOPE	100	1.00%	145.20	142.00
P-16	FITTING - VERT.BEND	CLEANOUT 1	10	HOPE	38	4.21%	144.80	143.20
P-17	FITTING - VERT.BEND	FITTING - VERT.BEND	10	HOPE	24	19.06%	143.14	144.80
P-18	CLEANOUT 2	FITTING - VERT.BEND	10	HOPE	102	2.88%	145.14	146.14
P-19	ROOF DRAIN 1	CLEANOUT 2	10	HOPE	103	7.84%	146.40	142.80
P-20	ROOF DRAIN 2	ROOF DRAIN HEADER	8	CI	8	6.00%	158.58	159.18
P-21	ROOF DRAIN 3	ROOF DRAIN HEADER	8	CI	8	5.00%	150.85	150.45
P-22	AD-2	ROOF DRAIN HEADER	8	HOPE	15	2.00%	163.10	169.84
P-23	AD-3	AD-2 DISCHARGE	8	HOPE	22	2.00%	160.51	160.07
P-24	SMM-1	EXIST SEWER	6	PVC	207	3.57%	139.92	136.10
P-25	SMM-2	SMM-1	6	PVC	66	3.00%	142.00	143.02
P-26	BLDG SEWER	SMM-2	6	CI	85	7.83%	144.00	142.10

- UTILITY CONSTRUCTION NOTES:**
- THE LOCATIONS OF SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION, AND CONDITION OF ANY AND ALL UTILITIES SHOWN OR NOT SHOWN HEREON THAT MAY BE AFFECTED BY THE WORK. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AND ALL UTILITIES THAT ARE DAMAGED AS A RESULT OF THE WORK.
 - ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE PROJECT SPECIFICATIONS, TO THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND TO ALL APPLICABLE CONSTRUCTION SPECIFICATIONS ISSUED BY THE BOSTON WATER & SEWER COMMISSION, WHERE A CONFLICT OCCURS BETWEEN DIFFERENT SPECIFICATION SOURCES, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
 - ALL STRUCTURES SHALL BE CAPABLE OF WITHSTANDING H-20 WHEEL LOADS.
 - PAVEMENT SAWCUTS SHALL BE MADE IN A NEAT LINE. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM COMPACTED NEW PAVED SURFACES TO EXISTING PAVEMENT. UTILITY TRENCH BACKFILL, COMPACTED, PAYMENT BASE, & PAYMENT SURFACING SHALL CONFORM TO ALL APPLICABLE BOSTON DEPT. OF PUBLIC WORKS STANDARDS.
 - ALL PIPING SHALL BE LAID ON UNIFORM, CONTINUOUS GRADE OVER COMPACTED OR UNDISTURBED SUBGRADE.
 - THE SITE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR FOR FURNISHING AND INSTALLING REQUIRED SITE ELECTRICAL ITEMS SUCH AS PULL BOXES, HAND HOLES, CONDUITS, DUCTBANKS, LIGHT POLE BASES, CONCRETE PADS, ETC., AND SHALL COORDINATE LOCATION OF AND PROVIDE EXCAVATION AND BACKFILL FOR THESE ITEMS AS REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM.
 - THE SITE CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL SERVICES RELATED TO INSTALLATION OF GAS PIPING IN ACCORDANCE WITH THE GAS COMPANY'S REQUIREMENTS.
 - THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES (GAS, & TELECOMMUNICATIONS) SHALL BE AS REQUIRED BY THE CONTROLLING COMPANY. FINAL LOCATIONS AND DEPTH LOCATIONS SHALL BE COORDINATED WITH ENGINEER PRIOR TO INSTALLATION.
 - PROTECT EXISTING FOOTING DRAIN PUMP CHAMBER AND EXISTING CONNECTIONS. CONNECT NEW FOOTING DRAIN TO PUMP CHAMBER AT ELEVATION OF EXISTING INLET. CONNECT EXISTING PUMP CHAMBER DISCHARGE TO NEW STORM DRAIN PIPE.
 - ESTIMATED SEWER FLOW IS BASED ON A TOTAL LOCKER COUNT OF 589 LOCKERS x 200P/L LOCKER (STOCHM 15,000 COUNTRY CLUB WITH LOCKERS & SHOWERS) = 117,800 GPD.
 - ESTIMATED PEAK DOMESTIC WATER USAGE OF 1250 GPM IS BASED ON A TOTAL FUTURE UNIT COUNT OF 350 PLUS CONTRIBUTING RECREO USAGE FOR THE POOL AND STEAM ROOM FACILITIES (PER PROJECT PLUMBING ENGINEER). THE DOMESTIC WATER SERVICE SHALL BE EQUIPPED WITH A 2" WATER METER.
 - A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS OBTAINING A ROUGH CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTION SERVICES DEPARTMENT.
 - FOLLOWING COMPLETION OF STORM DRAIN & SEWER CONSTRUCTION, A DYE TEST SHALL BE CONDUCTED IN ACCORDANCE WITH B.W.S.C. REQUIREMENTS FOR STORM DRAIN AND SEWER.

08.21.13

BRASSARD

RESERVED FOR BWSC USE

PROPERTY INFORMATION:
 OWNER: YMCA OF GREATER BOSTON, INC.
 CONTACT: MARION KELLY
 7 M.C.A. OF GREATER BOSTON, INC.
 15 BELLEVUE ST.
 BOSTON, MA 02132-2649
 TEL: 617-469-5225

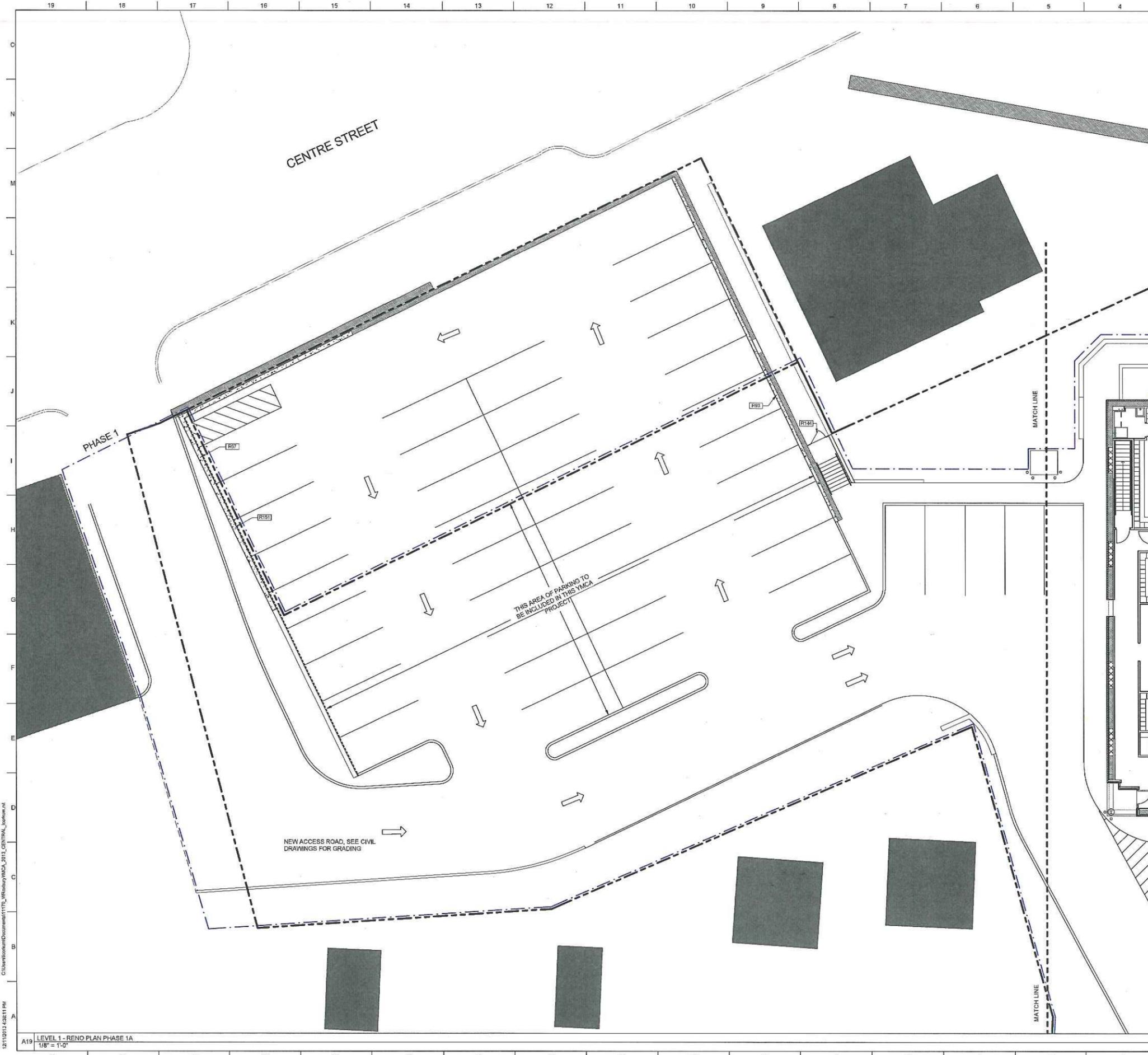
PARCEL #1: 15 BELLEVUE ST. ADDRESS: 15 BELLEVUE ST. ASSESSORS' ID: W-20, P-02280000 BWSC ACCT: 305857000 METER #: 03015725
 PARCEL #2: 1972 CENTRE ST. ADDRESS: 1972 CENTRE ST. ASSESSORS' ID: W-20, P-02317000 BWSC ACCT: 641626000 METER #: 03019500
 PARCEL #3: n/a ADDRESS: n/a ASSESSORS' ID: W-20, P-02316000 BWSC ACCT: n/a

LINEAS, inc
 169 State Street
 Boston, MA 02109
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 www.lineas.com

WEST ROXBURY YMCA
 15 Bellevue Street
 West Roxbury, MA 02132

Site Utility Plan

Job No: 11170
 DRAWN BY: [Signature] CHECKED BY: [Signature]
 DATE: 08/21/13 SCALE: 1" = 20'
 SHEET No: C4.0
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RENOVATION NOTES AND SYMBOL LEGEND

ROOM NAME	DENOTES ROOM NAME	1	DENOTES DETAIL CALLOUT
101	DENOTES GRID LINE	1	DENOTES BUILDING SECTION
0	DENOTES DOOR NUMBER	1	DENOTES WALL SECTION
101	DENOTES PARTITION TYPE	1	DENOTES ELEVATION TAG
B124	DENOTES COUNTER TYPE & DEPTH IN INCHES. SEE CASEWORK DTL'S	1	DENOTES CENTERLINE
FEC	DENOTES FIRE EXTINGUISHER CABINET, SEMI-RECESSED UNO	2'-6"	DENOTES TOP OF FIN FLOOR ELEV.
1	DENOTES KEYED NOTE	---	DENOTES PROPERTY LINES
△	DENOTES REVISION TAG	---	DENOTES LIMIT OF PHASE
---	DENOTES ETR WALL	---	DENOTES MATCH LINE
---	DENOTES NEW WALL	---	2" ISOLATION JOINT SEPARATING STRUCT. PROVIDED BY CS
---	DENOTES NEW CMU WALL	---	DENOTES NEW CONCRETE WALL
---	DENOTES NEW CONCRETE WALL	---	DENOTES DIRECTION OF ROOF SLOPE
---	DENOTES INFILLED OPENING IN EXISTING WALL	---	DENOTES DEPRESSED SLAB AREA. SEE S-DWG'S

- ### RENOVATION GENERAL NOTES
- SHIM & FUR OR FRAME AS REQ'D FOR ALL FINISHES OVER EXIST WALLS FOR PLUMB SURFACES. ALL EXIST WALLS TO REMAIN TO RECEIVE NEW FIN U.N.O.
 - FOR ALL EXIST OPNGS TO BE INFILLED, INSTALL MATERIALS TO MATCH ADJACENT WALL CONSTRUCTION & ALIGN FACE OF WALLS U.N.O.
 - SEE STRUCT FOR ALL TOP OF SLAB/STL INFORMATION
 - ALL DOORS & FRAMES TO BE NEW U.N.O
 - ALL NEW & EXIST PARTITIONS SHALL EXTEND TO STRUCT DECK U.N.O. FRAME & FIN AS NEEDED
 - PATCH, REPAIR, & LEVEL ALL EXIST CONCRETE SLABS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES
 - SEPARATE ALL PT BLKG FROM INSUL W/ SELF ADHERED FLASHING
 - REFER TO STRUCT DWGS FOR LOGS OF ISOLATION JOINTS. INSTALL APPROPRIATE JOINT COVERS AT FLOORS, WALLS, & CLG FINISHES AS REQ'D
 - TILE IN POOL, SHOWERS, FAMILY CHANGING, STEAM, SAUNA, ETC TO BE MUDSET TILE
 - BLDG MUST REMAIN FULLY OPERATIONAL EXCEPT FOR PHASE AREAS UNDER CONSTRUCTION. HALF OF GYMNASIUM TO BE OCCUPIED DURING PHASE I WORK. PROVIDE TEMP SEPARATION AS REQ'D & MAINTAIN EGRESS PATH TO SOUTHWEST STAIR THROUGHOUT PHASE I.
 - ALL BLKG TO BE FIRE RETARDANT TREATED
 - POOL DECK SHALL HAVE 4'-0" MIN. UNOBSTRUCTED WIDTH PER HEALTH DEPARTMENT REQUIREMENTS.
 - PROVIDE R25 MIN TAPERED POLYISO. INSUL ABOVE ALL ROOF DECK AREAS U.N.O.
 - USE EPDM THROUGHOUT (FULLY ADHERED) ON ALL NEW & ETR ROOF AREAS
 - BUILD UP CURB AS REQ AT ALL MECH. UNITS & SKYLIGHTS

- ### KEYED RENOVATION NOTES
- R87 NEW 12" REINFORCED CONCRETE RETAINING WALL, SEE STRUCT FOR FOOTING
 - R89 8" FACING WALL, REINF W/ 2 LAYERS #6 @ 12" EACH WAY
 - R144 NEW 7" GATE, STAIRS & RAILINGS, SEE CIVIL DWGS
 - R151 42" HIGH PTD STL RAIL W/ 34" SQUARE MTL SUPPORTS @ 4' OC. SEE S-DWG'S FOR ANCHORING

WEST ROXBURY YMCA

15 Bellevue Street
West Roxbury, MA 02132

POST OFFICE & ACCESS ROAD - RENO

NO | ISSUE | DATE

Job No	11271
DRAWN BY	LC
CHECKED BY	H-D
DATE	12.02.13
SCALE	As indicated

SHEET No

A1.01

KEY PLAN LEVEL 1A - RENO PHASE 1
1" = 80'-0"

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A19 LEVEL 1 - RENO PLAN PHASE 1A
1/8" = 1'-0"

12.02.13

WEST ROXBURY YMCA

POST OFFICE & ACCESS ROAD - RENO

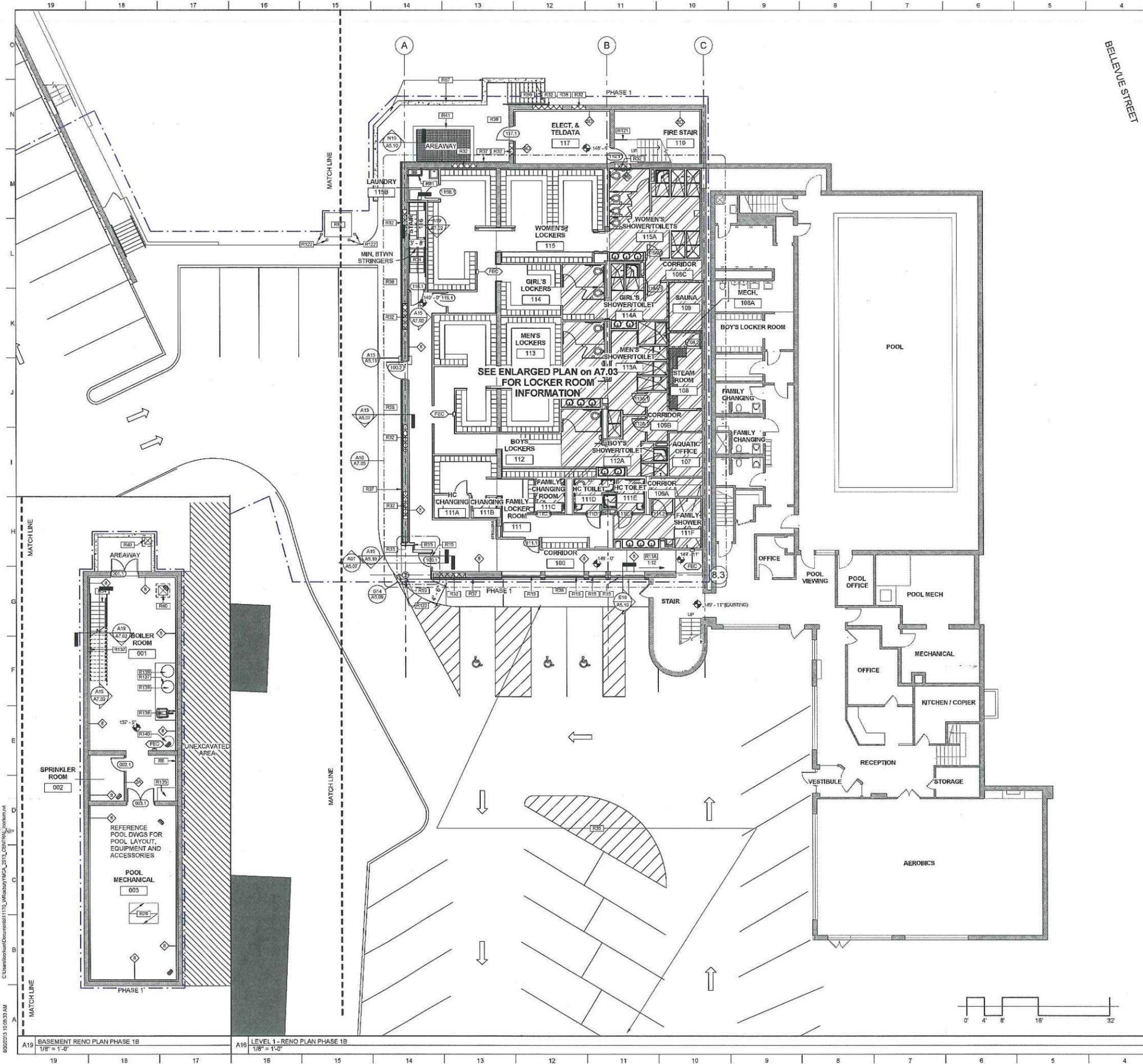


Job No	11271
DRAWN BY	LC
CHECKED BY	H-D
DATE	12.02.13
SCALE	As indicated

SHEET No

A1.01

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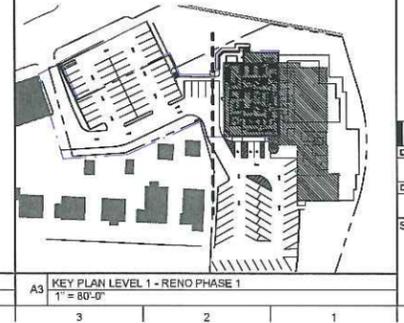


RENOVATION NOTES AND SYMBOL LEGEND

ROOM NAME	DENOTES ROOM NAME		DENOTES DETAIL CALLOUT	
0	DENOTES GRID LINE		DENOTES BUILDING SECTION	
101	DENOTES DOOR NUMBER		DENOTES WALL SECTION	
101	DENOTES PARTITION TYPE		DENOTES ELEVATION TAG	
FEC	DENOTES FIRE EXTINGUISHER CABINET, SEMI-RECESSED UNO		DENOTES CENTERLINE	
	DENOTES KEYED NOTE		DENOTES TOP OF FIN FLOOR ELEV	
	DENOTES REVISION TAG		DENOTES PROPERTY LINES	
	DENOTES ETR WALL		DENOTES LIMIT OF PHASE	
	DENOTES NEW WALL		DENOTES MATCH LINE	
	DENOTES NEW CMU WALL		DENOTES 2' ISOLATION JOINT SEPARATING STRUCTURE PROVIDED BY CONSTRUCTION SPECIALTIES	
	DENOTES NEW CONCRETE WALL		DENOTES DEPRESSED SLAB AREA, SEE STRUCTURAL	
	DENOTES INFILLED OPENING IN EXISTING WALL			

- ### RENOVATION GENERAL NOTES
- SHIM AND FUR OR FRAME AS NEEDED FOR ALL FINISHES OVER EXISTING WALLS FOR PLUMBING SURFACES. ALL EXISTING WALLS TO REMAIN TO RECEIVE NEW FINISH. N.O. FOR ALL EXISTING OPENINGS TO BE INFILLED, INSTALL MATERIALS TO MATCH ADJACENT WALL CONSTRUCTION AND ALIGN FACE OF WALLS U.N.O.
 - SEE STRUCTURAL FOR ALL TOP OF SLAB/STEEL INFORMATION
 - ALL DOORS AND FRAMES TO BE NEW U.N.O
 - ALL NEW AND EXISTING PARTITIONS SHALL EXTEND TO STRUCTURAL DECK U.N.O. FRAME AND FINISH AS NEEDED PATCH, REPAIR, AND LEVEL ALL EXISTING CONCRETE SLABS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES
 - SEPARATE ALL PT BLOCKING FROM ALUMINUM W/ SELF ADHERED FLASHING
 - REFER TO STRUCTURAL DWGS FOR LOCATIONS OF ISOLATION JOINTS. INSTALL APPROPRIATE JOINT COVERS AT FLOORS, WALLS, AND CEILING FINISHES AS REQ'D
 - TILE IN POOL, SHOWERS, FAMILY CHANGING, STEAM, SAUNA, ETC TO BE MUSET TILE
 - BUILDING MUST REMAIN FULLY OPERATIONAL EXCEPT FOR PHASE AREAS UNDER CONSTRUCTION. HALF OF GYMNASIUM TO BE OCCUPIED DURING PHASE I WORK. PROVIDE TEMP SEPARATION AS REQ'D & MAINTAIN EGRESS PATH TO SOUTHWEST STAIR THROUGHOUT PHASE I.
 - ALL BLOCKING TO BE FIRE RETARDANT TREATED
 - POOL DECK SHALL HAVE 4'-0" MIN. UNOBSTRUCTED WIDTH PER HEALTH DEPARTMENT REQUIREMENTS.
 - PROVIDE R25 MIN TAPERED POLYISO. INSULATION UNDER ALL ROOF AREAS U.N.O.
 - USE EPDM THROUGHOUT (FULLY ADHERED) ON ALL NEW & ETR ROOF AREAS
 - BUILD UP CURB AS REQ AT ALL MECH. UNITS & SKYLIGHTS

- ### KEYED RENOVATION NOTES
- R09 WALLS FRAMED OUT WITH 3 5/8" METAL STUDS, CLOSED-CELL SPRAY INSULATION AND 5/8" GWB OR MR BOARD, SEE PARTITION TYPES.
- R11A TEMP 1:12 RAMP TO ACCESS EGRESS STAIR DURING PHASE I
- R15 NEW OLDCASTLE SERIES 3000 INSUL STOREFRONT SYSTEM
- R19 ALUMINUM COLUMN COVERS ON NEW STEEL COLUMN
- R32 INFILL EXISTING OPENING WITH CMU, ALIGN CMU & WALL @ EXPOSED FACE, PAINT CMU TO MATCH WALL
- R33 TILE @ WALL JOGS, PROVIDE SOLID SHEATHING ON GALV. METAL STUDS W/ FT POSTS @ WINDOW/DOOR FRAMES AS REQ. INSULATE CAVITY.
- R34 NEW STAIR AND PTD STL RAILING, WALL MOUNTED AND GUARDRAIL, SEE DETAILS
- R35 NEW PARKING, SEE CIVIL DWGS.
- R37 NEW EIFS, SEE ELEVATIONS & WALL SECTION
- R38 NEW 5" REINF CONC SLAB SLOPED AWAY FROM WALL / DOOR
- R40 NEW SUMP PUMP, SEE STRUCT. DWGS
- R41 NEW AREAWAY WITH STL GRATE FOR BASEMENT ACCESS
- R07 NEW 12" REINFORCED CONCRETE RETAINING WALL, SEE STRUCTURAL FOR FOOTING
- R76 FILTER DRAIN FIT, SEE POOL DRAWINGS FOR LOCATION AND EQUIPMENT LAYOUT
- R81 ONE-HOUR-RATED MECHANICAL SHAFT, SEE MECHANICAL
- R87 TRANSFORMER PAD, SEE CIVIL AND ELEC. DWGS
- R99 CONCRETE SITE STAIR WITH GALV. STEEL HANDRAIL/GUARDRAILS BOTH SIDES
- R121 NEW HINGED PTD STEEL GATE TO DIRECT EGRESS
- R122 NEW BOLLARDS, SEE CIVIL DRAWINGS
- R130 PATCH EXISTING SLAB WHERE DAMAGED FROM SUMP DEMOLITION
- R135 EXISTING SUMP PUMPS TO REMAIN
- R137 NEW 4" H CONC PAD
- R138 NEW HYDRONIC BOILER, SEE MECH DWGS
- R139 NEW HOT WATER HEATER, SEE PLUMBING DWGS.
- R140 NEW SEWAGE EJECTOR, SEE PLUMBING DRAWINGS



08.21.13

WEST ROXBURY YMCA

15 Bellevue Street
West Roxbury, MA 02132

PHASE 1 - BASEMENT & FIRST FLOOR RENOVATION PLAN

NO ISSUE DATE

Job No 1170

DRAWN BY LCF/HD CHECKED BY HD

DATE 08.21.13 SCALE As Indicated

SHEET No **A1.11**

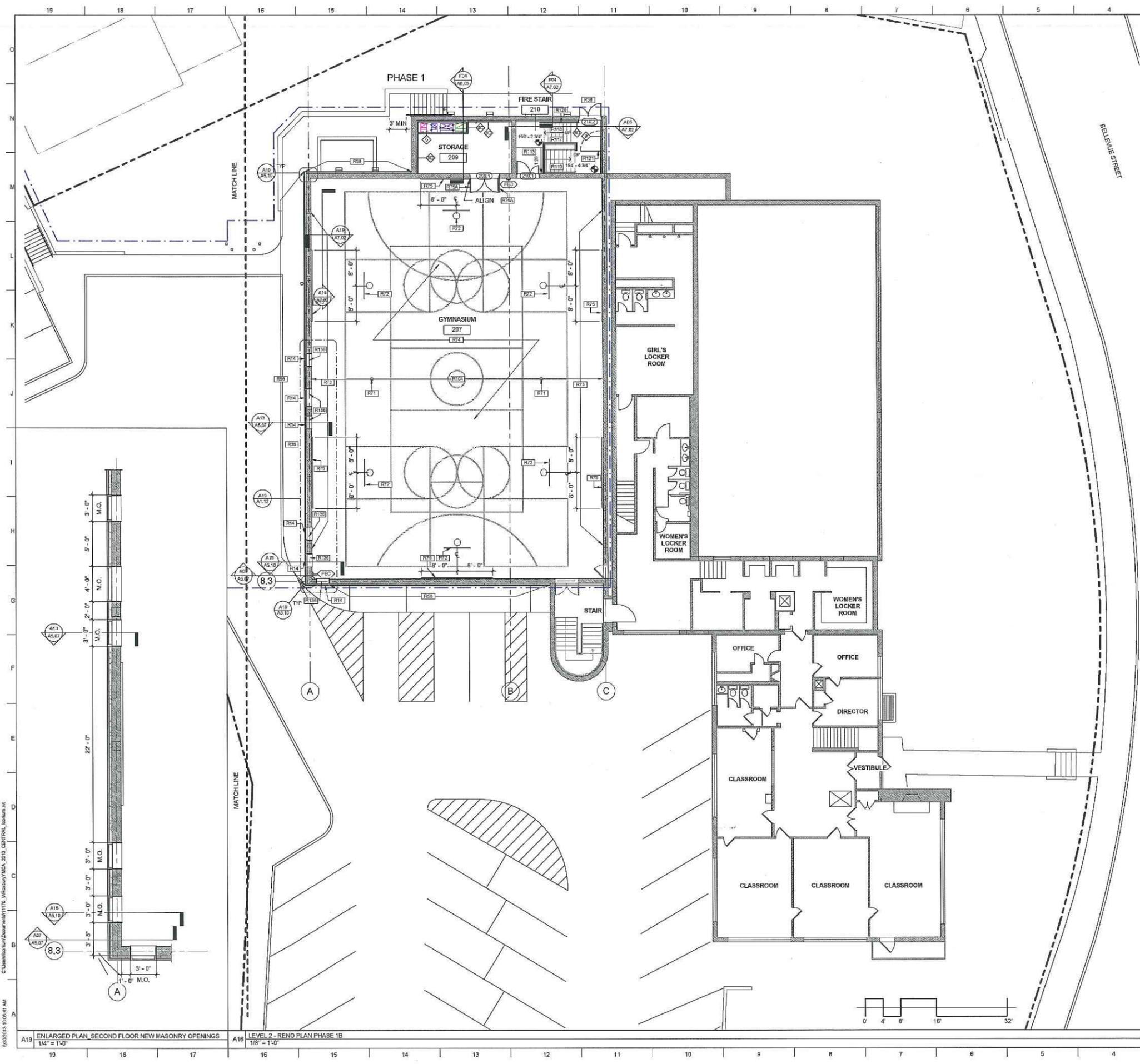
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A19 BASEMENT RENO PLAN PHASE 1B
1/8" = 1'-0"

A16 LEVEL 1 - RENO PLAN PHASE 1B
1/8" = 1'-0"

A3 KEY PLAN LEVEL 1 - RENO PHASE 1
1" = 80'-0"



RENOVATION NOTES AND SYMBOL LEGEND

ROOM NAME	101	DENOTES ROOM NAME	1	DENOTES DETAIL CALLOUT
0	DENOTES GRID LINE	1	DENOTES BUILDING SECTION	
101	DENOTES DOOR NUMBER	1	DENOTES WALL SECTION	
◇	DENOTES PARTITION TYPE	1	DENOTES ELEVATION TAG	
FEC	DENOTES FIRE EXTINGUISHER CABINET, SEMI-RECESSED UNO	1	DENOTES CENTERLINE	
1	DENOTES KEYED NOTE	1	DENOTES TOP OF FIN FLOOR ELEV	
△	DENOTES REVISION TAG	1	DENOTES PROPERTY LINES	
---	DENOTES ETR WALL	---	DENOTES LIMIT OF PHASE	
---	DENOTES NEW WALL	---	DENOTES MATCH LINE	
XXX	DENOTES NEW CMU WALL	---	2" ISOLATION JOINT SEPARATING STRUCTURE PROVIDED BY CONSTRUCTION SPECIALTIES	
---	DENOTES NEW CONCRETE WALL	---	DENOTES DEPRESSED SLAB AREA SEE STRUCTURAL	
---	DENOTES INFILLED OPENING IN EXISTING WALL			

- ### RENOVATION GENERAL NOTES
- SHIM AND FUR OR FRAME AS NEEDED FOR ALL FINISHES OVER EXISTING WALLS FOR PLUMB SURFACES. ALL EXISTING WALLS TO REMAIN TO RECEIVE NEW FINISH U.O.
 - FOR ALL EXISTING OPENINGS TO BE INFILLED, INSTALL MATERIALS TO MATCH ADJACENT WALL CONSTRUCTION AND ALIGN FACE OF WALLS U.O.
 - SEE STRUCTURAL FOR ALL TOP OF SLAB/STEEL INFORMATION
 - ALL DOORS AND FRAMES TO BE NEW U.O.
 - ALL NEW AND EXISTING PARTITIONS SHALL EXTEND TO STRUCTURAL DECK U.O. FRAME AND FINISH AS NEEDED PATCH, REPAIR, AND LEVEL ALL EXISTING CONCRETE SLABS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES
 - SEPARATE ALL PT BLOCKING FROM ALUMINUM VV SELF ADHERED FLASHING
 - REFER TO STRUCTURAL DWGS FOR LOCATIONS OF ISOLATION JOINTS. INSTALL APPROPRIATE JOINT COVERS AT FLOORS, WALLS, AND CEILING FINISHES AS REQ'D TILE IN POOL, SHOWERS, FAMILY CHANGING, STEAM, SAUNA, ETC TO BE MUDSET TILE
 - BUILDING MUST REMAIN FULLY OPERATIONAL EXCEPT FOR PHASE AREAS UNDER CONSTRUCTION. HALF OF GYMNASIUM TO BE OCCUPIED DURING PHASE I WORK. PROVIDE TEMP SEPARATION AS REQ'D & MAINTAIN EGRESS PATH TO SOUTHWEST STAIR THROUGHOUT PHASE I
 - ALL BLOCKING TO BE FIRE RETARDANT TREATED
 - POOL DECK SHALL HAVE 4" MIN. UNOBSTRUCTED WIDTH PER HEALTH DEPARTMENT REQUIREMENTS. PROVIDE R25 MIN TAPERED POLYISO. INSULATION UNDER ALL ROOF AREAS U.O.
 - USE EPDM THROUGHOUT (FULLY ADHERED) ON ALL NEW & ETR ROOF AREAS
 - BUILD UP CURB AS REQ AT ALL MECH. UNITS & SKYLIGHTS

- ### KEYED RENOVATION NOTES
- R14 NEW EXT CURTAIN WALL OLDCASTLE RELIANCE TO WINSUL LOW-E GLAZ, 1/2 FT INNER LITE @ GYM
 - R38 NEW 5" REINF CONC SLAB SLOPED AWAY FROM WALL / DOOR
 - R58 NEW EXTERIOR CLADDING SYSTEM SEE ELEVATIONS AND DETAILS
 - R71 NEW VOLLEYBALL STANCHION
 - R72 NEW MOTORIZED ADJUSTABLE WALL-MTD BACKBOARD
 - R73 INFILL NEW METAL STUD AND ABUSE RESISTANT GWB WALL ABOVE CMU BETWEEN TRUSSES
 - R74 NEW CUSHIONED WOOD SPORTS FLOORING, EXPANSION JT & VENTED BASE @ EDGE PER FLOOR MFRGR, NEW STRIPING BY GC PER OWNER LAYOUT
 - R75 NEW 6" HIGH 16" WIDE ATHLETIC PADS
 - R75A 6" H PADS AT DOOR TO COMPLETE 16" PAD WIDTH
 - R104 NEW MOTORIZED CURTAIN
 - R113 1:20 RAMP TO CUSHIONED WOOD SPORTS FLOORING
 - R117 NEW 42" GUARDRAIL WELDED TO EXISTING STRINGERS
 - R118 NEW RUBBER TREADS, RISERS AND LANDINGS ON THIS EXISTING STAIR RUN
 - R119 EXISTING GUARDRAIL AND STAIR TO REMAIN
 - R120 NEW WALL MOUNTAIN HANDRAIL
 - R121 NEW HINGED PTD STEEL GATE TO DIRECT EGRESS
 - R136 NEW 1/2" PTD MDO INT FINISH OVER ETR CMU @ WINDOW HEAD, SILL & JAMBS.

WEST ROXBURY YMCA
16 Bellevue Street
West Roxbury, MA 02132

PHASE 1 - SECOND FLOOR RENOVATION PLAN

NO. ISSUE DATE

Job No 11170
DRAWN BY LCM/HD
CHECKED BY HD
DATE 08.21.13
SCALE As indicated
SHEET No

A1.12

KEY PLAN LEVEL 2 - RENO PHASE 1
1" = 80'-0"

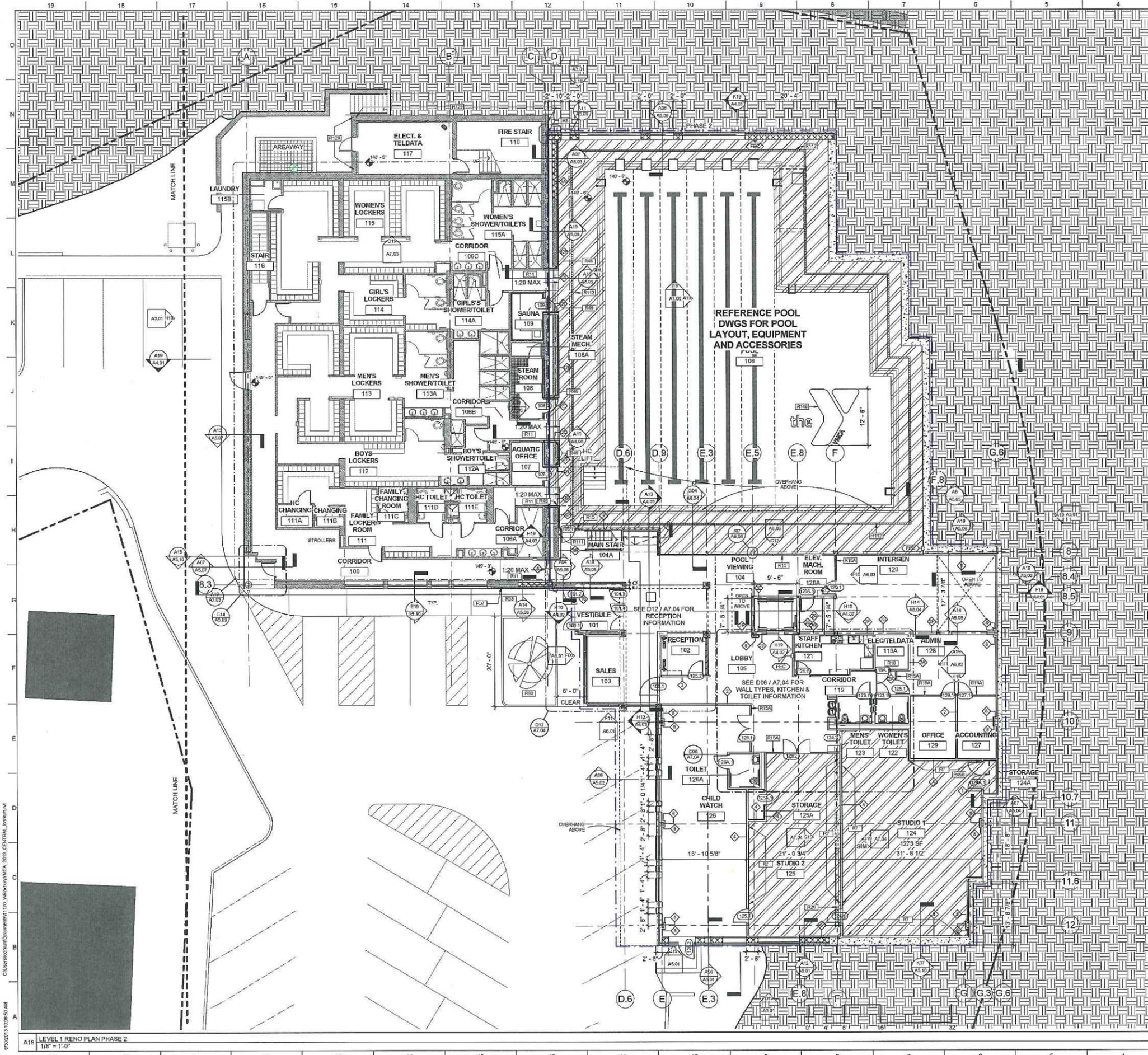
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08/20/13 10:08:41 AM
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A19 ENLARGED PLAN, SECOND FLOOR NEW MASONRY OPENINGS
1/4" = 1'-0"

A16 LEVEL 2 - RENO PLAN PHASE 1B
1/8" = 1'-0"

A3 KEY PLAN LEVEL 2 - RENO PHASE 1
1" = 80'-0"



RENOVATION NOTES AND SYMBOL LEGEND

ROOM NAME	1	SM	DENOTES DETAIL CALLOUT
101	DENOTES ROOM NAME	1	DENOTES BUILDING SECTION
0	DENOTES GRID LINE	1	DENOTES WALL SECTION
101	DENOTES DOOR NUMBER	1	DENOTES ELEVATION TAG
◇	DENOTES PARTITION TYPE	Ref	DENOTES CENTERLINE
FEC	DENOTES FIRE EXTINGUISHER CABINET, SEMI-RECESSED UNO	2'-5"	DENOTES TOP OF FIN FLOOR ELEV
1	DENOTES KEYED NOTE	---	DENOTES PROPERTY LINES
△	DENOTES REVISION TAG	---	DENOTES LIMIT OF PHASE
---	DENOTES ETR WALL	---	DENOTES MATCH LINE
---	DENOTES NEW WALL	---	2" ISOLATION JOINT SEPARATING STRUCTURE PROVIDED BY CONSTRUCTION SPECIALTIES
XXX	DENOTES NEW CMU WALL	---	DENOTES DEPRESSED SLAB AREA SEE STRUCTURAL
---	DENOTES NEW CONCRETE WALL		
---	DENOTES INFILLED OPENING IN EXISTING WALL		

- ### RENOVATION GENERAL NOTES
- SHIM AND FUR OR FRAME AS NEEDED FOR ALL FINISHES OVER EXISTING WALLS FOR PLUMB SURFACES. ALL EXISTING WALLS TO REMAIN TO RECEIVE NEW FINISH U.N.O.
 - FOR ALL EXISTING OPENINGS TO BE INFILLED, INSTALL MATERIALS TO MATCH ADJACENT WALL CONSTRUCTION AND ALIGN FACE OF WALLS U.N.O.
 - SEE STRUCTURAL FOR ALL TOP OF SLAB/STEEL INFORMATION
 - ALL DOORS AND FRAMES TO BE NEW U.N.O.
 - ALL NEW AND EXISTING PARTITIONS SHALL EXTEND TO STRUCTURAL DECK U.N.O., FRAME AND FINISH AS NEEDED PATCH, REPAIR, AND LEVEL ALL EXISTING CONCRETE SLABS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES
 - SEPARATE ALL PT BLOCKING FROM ALUMINUM W/ SELF ADHERED FLASHING
 - REFER TO STRUCTURAL DWGS FOR LOCATIONS OF ISOLATION JOINTS. INSTALL APPROPRIATE JOINT COVERS AT FLOORS, WALLS, AND CEILING FINISHES AS REQ'D
 - TILE IN POOL, SHOWERS, FAMILY CHANGING, STEAM, SAUNA, ETC TO BE MUDSET TILE
 - BUILDING MUST REMAIN FULLY OPERATIONAL EXCEPT FOR PHASE AREAS UNDER CONSTRUCTION. HALF OF GYMNASIUM TO BE OCCUPIED DURING PHASE 1 WORK. PROVIDE TEMP SEPARATION AS REQ'D & MAINTAIN EGRESS PATH TO SOUTHWEST STAIR THROUGHOUT PHASE I
 - ALL BLOCKING TO BE FIRE RETARDANT TREATED
 - POOL DECK SHALL HAVE 4'-0" MIN. UNOBSTRUCTED WIDTH PER HEALTH DEPARTMENT REQUIREMENTS.
 - PROVIDE R25 MIN TAPERED POLYISO. INSULATION UNDER ALL ROOF AREAS U.N.O.
 - USE EPDM THROUGHOUT (FULLY ADHERED) ON ALL NEW & ETR ROOF AREAS
 - BUILD UP CURB AS REQ AT ALL MECH. UNITS & SKYLIGHTS

- ### KEYED RENOVATION NOTES
- R7 NEW FRAMELESS MIRRORS, TOP OF MIRROR AT 7' - 2" AFFL U.N.O. EDGE OF MIRROR 1' - 0" FROM NEAREST OBSTRUCTION U.N.O.
 - R8 2" ISOLATION JOINT BETWEEN NEW AND EXISTING STRUCTURE; FLOOR/WALL/CEILING W/ JOINT COVERS PER SPEC., ADJUST FOR IRREGULARITIES
 - R10 PROVIDE BACK BOARDS FOR ELECT/TELEDATA PANELS
 - R11 NEW 1:20 MAX SLOPE RAMP
 - R15 NEW OLDCASTLE SERIES 3000 INSUL STOREFRONT SYSTEM
 - R15A NEW OLDCASTLE FG-3000 NON-INSUL STOREFRONT SYSTEM
 - R20 PTD STEEL BRACING, SEE STRUCTURAL
 - R37 NEW EIFS, SEE ELEVATIONS & WALL SECTION
 - R38 NEW 5" REINF CONC SLAB SLOPED AWAY FROM WALL / DOOR
 - R455 (6) 18" ADJ. P-LAM SHELVES
 - R46 NEW FRAMING AND TILE FINISH ON CUT WALL END
 - R60 NEW GRASS AND TREE WITH FLUSH GRANITE CURB, SEE CIVIL DWGS FOR PLANTINGS
 - R111 MEP CONDUIT. PROVIDE 6" STUD WALL OR AS REQ'D FOR CONDUIT.
 - R112 TRENCH DRAIN, PITCH PER PLUMBING DWGS
 - R129 REPAIR ETR CMU AS NEEDED & CLEAN ALL EXPOSED CMU
 - R146 YMCA LOGO IN POOL TANK TILE BY POOL CONTRACTOR

WEST ROXBURY YMCA

15 Bellevue Street
West Roxbury, MA 02132

PHASE 2 - FIRST FLOOR RENOVATION PLAN

NO. ISSUE DATE

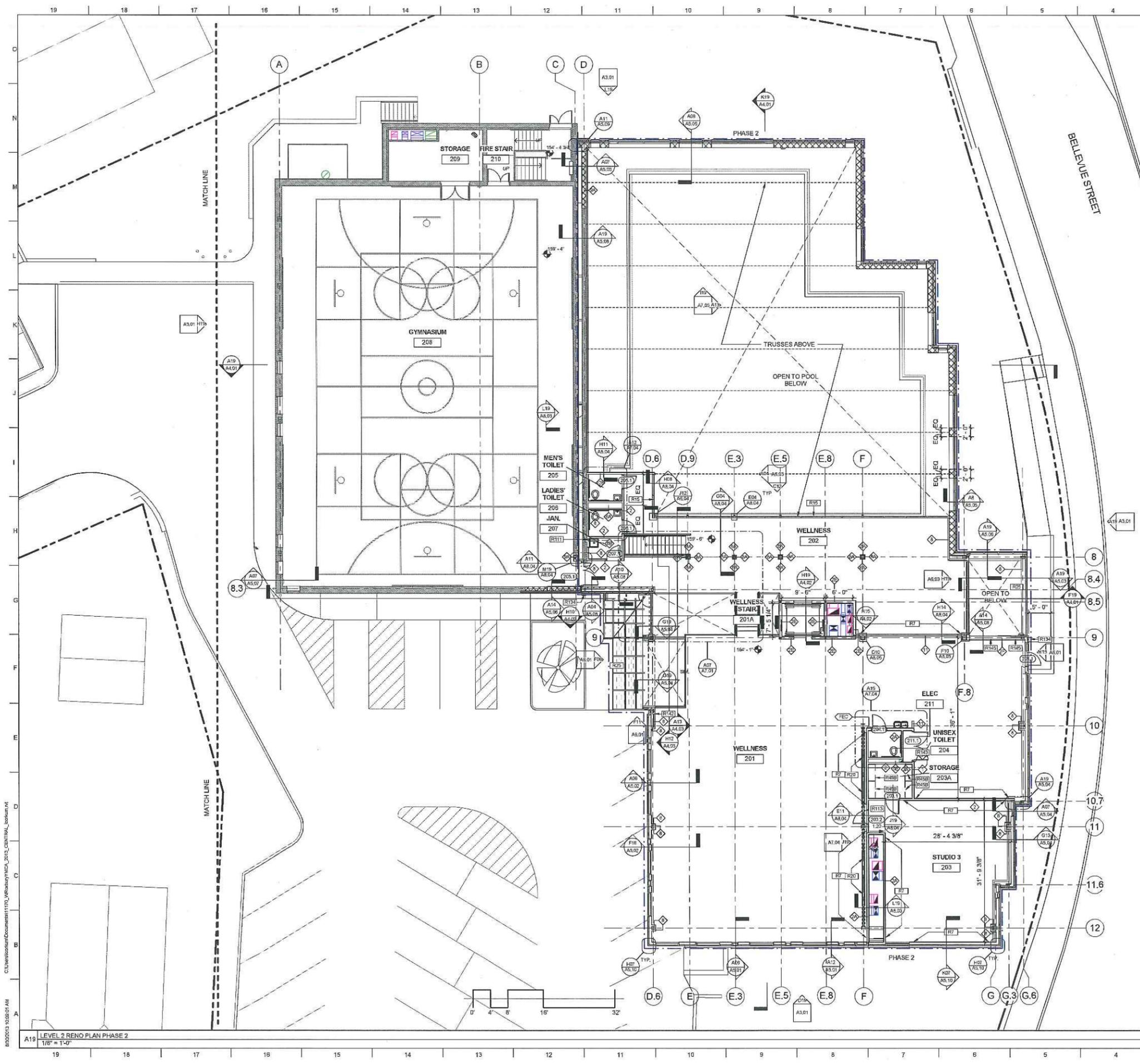
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DRAWN BY	LOJAF
CHECKED BY	HD
DATE	08.21.13
SCALE	As indicated
SHEET No	A1.21

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8/20/2013 10:28:55 AM

A19 LEVEL 1 RENO PLAN PHASE 2
1/8" = 1'-0"

A3 KEY PLAN LEVEL 1 - RENO PHASE 2
1" = 80'-0"



RENOVATION NOTES AND SYMBOL LEGEND

ROOM NAME	1 SIM	DENOTES DETAIL CALLOUT
101	1 SIM	DENOTES BUILDING SECTION
0	1 SIM	DENOTES WALL SECTION
101	1 SIM	DENOTES ELEVATION TAG
101	1 SIM	DENOTES CENTERLINE
FEC	1 SIM	DENOTES TOP OF FIN FLOOR ELEV
1	1 SIM	DENOTES PROPERTY LINES
1	1 SIM	DENOTES LIMIT OF PHASE
1	1 SIM	DENOTES MATCH LINE
1	1 SIM	DENOTES NEW WALL
1	1 SIM	DENOTES NEW CMU WALL
1	1 SIM	DENOTES NEW CONCRETE WALL
1	1 SIM	DENOTES INFILLED OPENING IN EXISTING WALL
1	1 SIM	DENOTES DEPRESSIONED SLAB AREA SEE STRUCTURAL

- ### RENOVATION GENERAL NOTES
- SHIM AND FUR OR FRAME AS NEEDED FOR ALL FINISHES OVER EXISTING WALLS FOR PLUMB SURFACES. ALL EXISTING WALLS TO REMAIN TO RECEIVE NEW FINISH. N.O.
 - FOR ALL EXISTING OPENINGS TO BE INFILLED, INSTALL MATERIALS TO MATCH ADJACENT WALL CONSTRUCTION AND ALIGN FACE OF WALLS U.N.O.
 - SEE STRUCTURAL FOR ALL TOP OF SLAB/STEEL INFORMATION
 - ALL DOORS AND FRAMES TO BE NEW U.N.O
 - ALL NEW AND EXISTING PARTITIONS SHALL EXTEND TO STRUCTURAL DECK U.N.O. FRAME AND FINISH AS NEEDED
 - PATCH, REPAIR, AND LEVEL ALL EXISTING CONCRETE SLABS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES
 - SEPARATE ALL PT BLOCKING FROM ALUMINUM W SELF ADHERED FLASHING
 - REFER TO STRUCTURAL DWGS FOR LOCATIONS OF ISOLATION JOINTS, INSTALL APPROPRIATE JOINT COVERS AT FLOORS, WALLS, AND CEILING FINISHES AS REQ'D
 - TILE IN POOL, SHOWERS, FAMILY CHANGING, STEAM, SAUNA, ETC TO BE MUDSET TILE
 - BUILDING MUST REMAIN FULLY OPERATIONAL EXCEPT FOR PHASE AREAS UNDER CONSTRUCTION. HALF OF GYMNASIUM TO BE OCCUPIED DURING PHASE I WORK. PROVIDE TEMP SEPARATION AS REQ'D & MAINTAIN EGRESS PATH TO SOUTHWEST STAIR THROUGHOUT PHASE I.
 - ALL BLOCKING TO BE FIRE RETARDANT TREATED
 - POOL DECK SHALL HAVE 4'-0" MIN. UNOBSTRUCTED WIDTH PER HEALTH DEPARTMENT REQUIREMENTS.
 - PROVIDE R25 MIN TAPERED POLYISO. INSULATION UNDER ALL ROOF AREAS U.N.O.
 - USE EPDM THROUGHOUT (FULLY ADHERED) ON ALL NEW & ETR ROOF AREAS
 - BUILD UP CURB AS REQ AT ALL MECH. UNITS & SKYLIGHTS

- ### KEYED RENOVATION NOTES
- R7 NEW FRAMELESS MIRRORS. TOP OF MIRROR AT 7'-2" AFFL U.N.O. EDGE OF MIRROR 1'-0" FROM NEAREST OBSTRUCTION U.N.O.
 - R15 NEW OLDCASTLE SERIES 3000 INSUL STOREFRONT SYSTEM
 - R20 PTD STEEL BRACING, SEE STRUCTURAL
 - R25 NEW EXT SLOPED INSUL GLAZ OLDCASTLE BMS-3000 W/ LAMINATED INSUL GLAZ
 - R45B (6) 18" ADJ. P-LAM SHELVES
 - R111 MEP CONDUIT. PROVIDE 6" STUD WALL OR AS REQ'D FOR CONDUIT.
 - R113 1/2" RAMP TO CUSHIONED WOOD SPORTS FLOORING
 - R134 KNOX BOX RAPID ENTRY SYSTEM
 - R142 CONT. PTD 3/4" DRYWALL REVEAL BTWN GWB & BRICK VENEER
 - R145 SHIM WALL AS REQ'D TO ALIGN INTERIOR FACE W/GWB SOFFIT ABOVE. SEE REFLECTED CEILING PLAN.

WEST ROXBURY YMCA

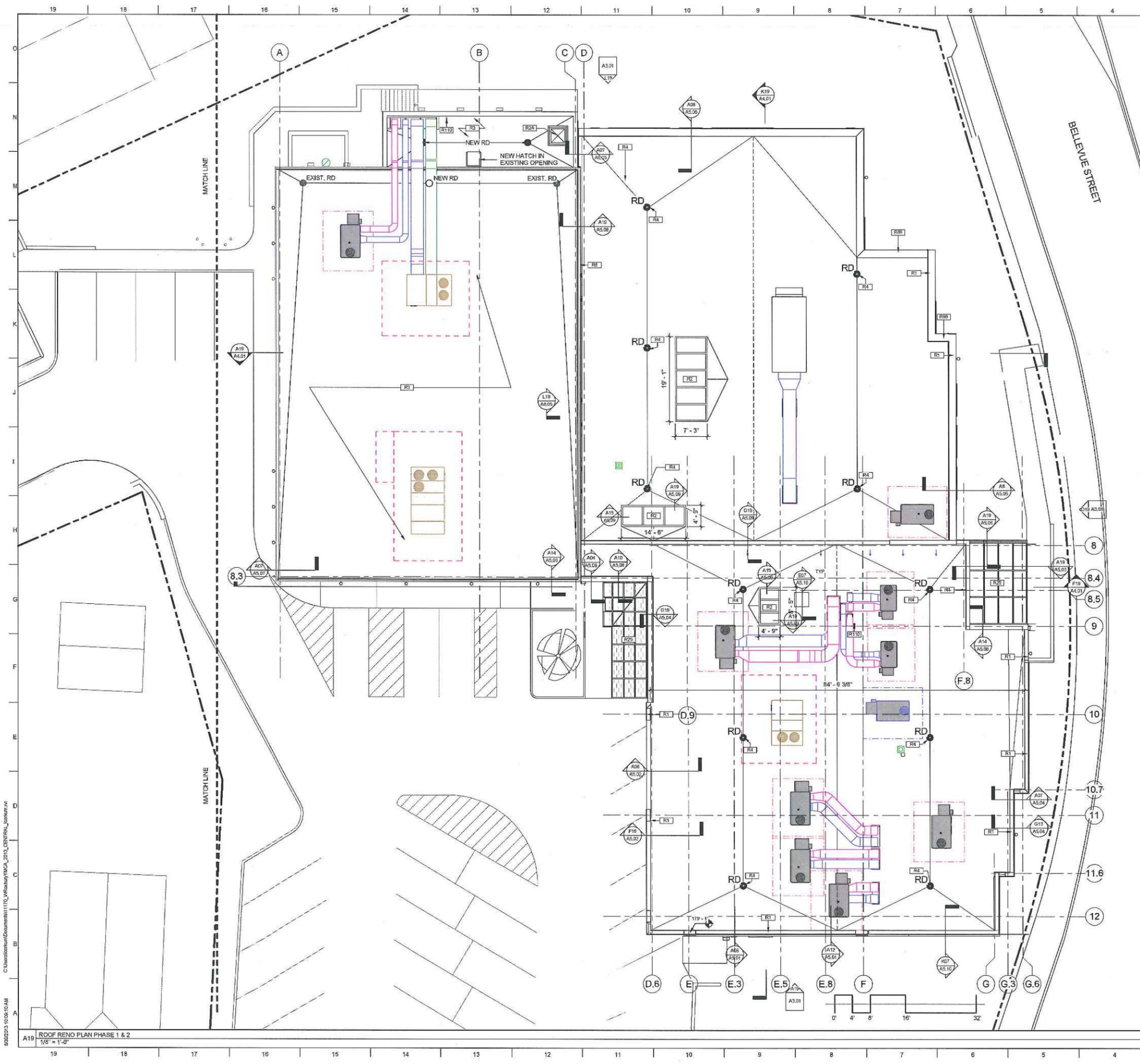
15 Bellevue Street
West Roxbury, MA 02132

PHASE 2 - SECOND FLOOR RENOVATION PLAN

Job No: 1117C
 DRAWN BY: LCJF
 CHECKED BY: HO
 DATE: 08.21.13
 SCALE: As Indicated
 SHEET No: A1.22

KEY PLAN LEVEL 2 - RENO PHASE 2
1" = 80'-0"

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RENOVATION NOTES AND SYMBOL LEGEND

ROOM NAME	DENOTES ROOM NAME	1 A101	DENOTES DETAIL CALLOUT
0	DENOTES GRID LINE	1 A101	DENOTES BUILDING SECTION
101	DENOTES DOOR NUMBER	1 A101	DENOTES WALL SECTION
◇	DENOTES PARTITION TYPE	1 A101	DENOTES ELEVATION TAG
FEC	DENOTES FIRE EXTINGUISHER CABINET, SEMI-RECESSED UNO	Ref	DENOTES CENTERLINE
1	DENOTES KEYED NOTE	2'-6"	DENOTES TOP OF FIN FLOOR ELEV
△	DENOTES REVISION TAG	---	DENOTES PROPERTY LINES
---	DENOTES ETR WALL	---	DENOTES LIMIT OF PHASE
---	DENOTES NEW WALL	---	DENOTES MATCH LINE
XXX	DENOTES NEW CMU WALL	---	2" ISOLATION JOINT SEPARATING STRUCTURE PROVIDED BY CONSTRUCTION SPECIALTIES
---	DENOTES NEW CONCRETE WALL	---	DENOTES DEPRESSED SLAB AREA SEE STRUCTURAL
---	DENOTES INFILLED EXISTING WALL		

- ### RENOVATION GENERAL NOTES
- SHIM AND FUR OR FRAME AS NEEDED FOR ALL FINISHES OVER EXISTING WALLS FOR PLUMB SURFACES. ALL EXISTING WALLS TO REMAIN TO RECEIVE NEW FINISH. N.O. FOR ALL EXISTING OPENINGS TO BE INFILLED, INSTALL MATERIALS TO MATCH ADJACENT WALL CONSTRUCTION AND ALIGN FACE OF WALLS U.N.O.
 - SEE STRUCTURAL FOR ALL TOP OF SLAB/STEEL INFORMATION
 - ALL DOORS AND FRAMES TO BE NEW U.N.O
 - ALL NEW AND EXISTING PARTITIONS SHALL EXTEND TO STRUCTURAL DECK U.N.O. FRAME AND FINISH AS NEEDED PATCH, REPAIR, AND LEVEL ALL EXISTING CONCRETESLABS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES
 - SEPARATE ALL PT BLOCKING FROM ALUMINUM W/ SELF ADHERED FLASHINGS
 - REFER TO STRUCTURAL DWGS FOR LOCATIONS OF ISOLATION JOINTS. INSTALL APPROPRIATE JOINT COVERS AT FLOORS, WALLS, AND CEILING FINISHES AS REQ'D
 - TILE IN POOL, SHOWERS, FAMILY CHANGING, STEAM, SAUNA, ETC TO BE MUDSET TILE
 - BUILDING MUST REMAIN FULLY OPERATIONAL EXCEPT FOR PHASE AREAS UNDER CONSTRUCTION. HALF OF GYMNASIUM TO BE OCCUPIED DURING PHASE I WORK. PROVIDE TEMP SEPARATION AS REQ'D & MAINTAIN EGRESS PATH TO SOUTHWEST STAIR THROUGHOUT PHASE I.
 - ALL BLOCKING TO BE FIRE RETARDANT TREATED
 - POOL DECK SHALL HAVE 4'-0" MIN. UNOBSTRUCTED WIDTH PER HEALTH DEPARTMENT REQUIREMENTS.
 - PROVIDE R25 MIN TAPERED POLYISO. INSULATION UNDER ALL ROOF AREAS U.N.O.
 - USE EPDM THROUGHOUT (FULLY ADHERED) ON ALL NEW & ETR ROOF AREAS
 - BUILD UP CURB AS REQ AT ALL MECH. UNITS & SKYLIGHTS

- ### KEYED RENOVATION NOTES
- R1 EXTRUDED PARAPET CAP BY METAL PANEL MANUFACTURER 36" ABOVE ROOF DECK
 - R2 WASCOS DOUBLE DOME BARREL VAULT SKYLIGHT
 - R2A NEW WASCOS DOUBLE DOME SKYLIGHT W/ CURBS
 - R3 REPLACE EXISTING ROOF. ADD INSULATION AS NEEDED FOR POSITIVE SLOPE TO DRAINS & TO PROVIDE MIN. R 30
 - R4 TAPERED INSULATION TO DRAIN
 - R8 2" ISOLATION JOINT BETWEEN NEW AND EXISTING STRUCTURE. FLOOR/WALL/CEILING W/ JOINT COVERS PER SPEC., ADJUST FOR IRREGULARITIES
 - R25 NEW EXT SLOPED INSUL GLAZ OLDCASTLE BMS-3000 W/LAMINATED INSUL GLAZ
 - R89 PARAPET UP TO EDGE OF INSULATION
 - R11 SEAL ROOF MEMBRANE @ PENETRATION FOR 4" TELDATA CONDUIT

WEST ROXBURY YMCA

16 Bellevue Street
West Roxbury, MA 02132

PHASES 1 & 2 - ROOF RENOVATION PLAN

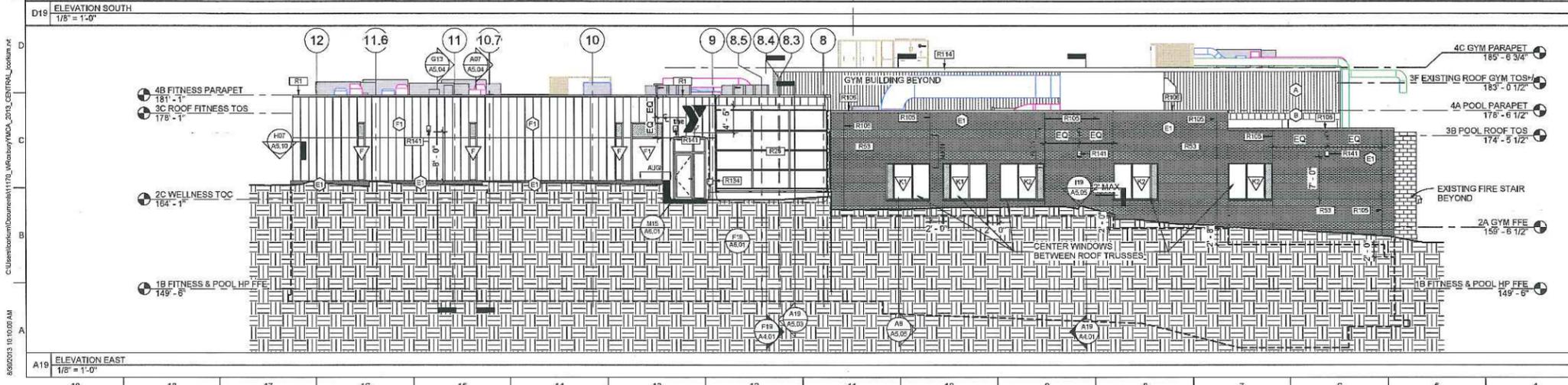
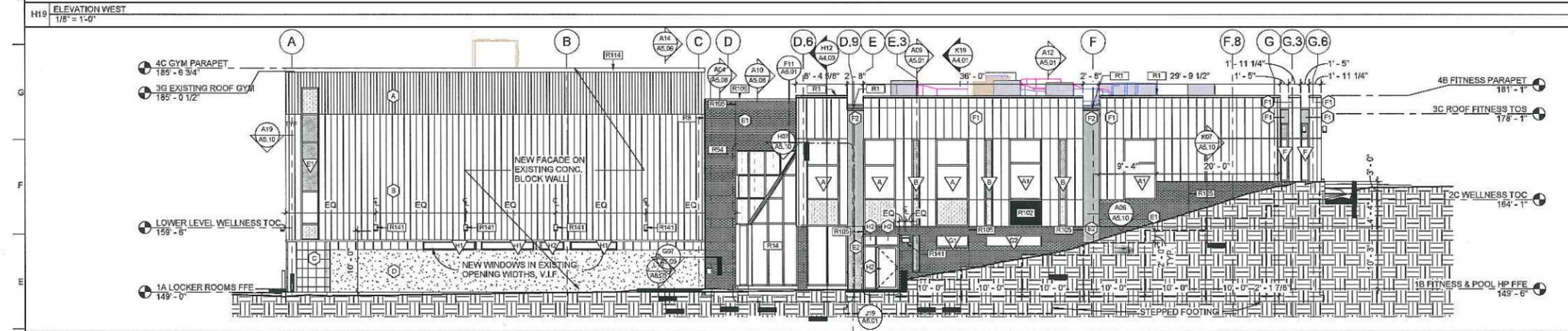
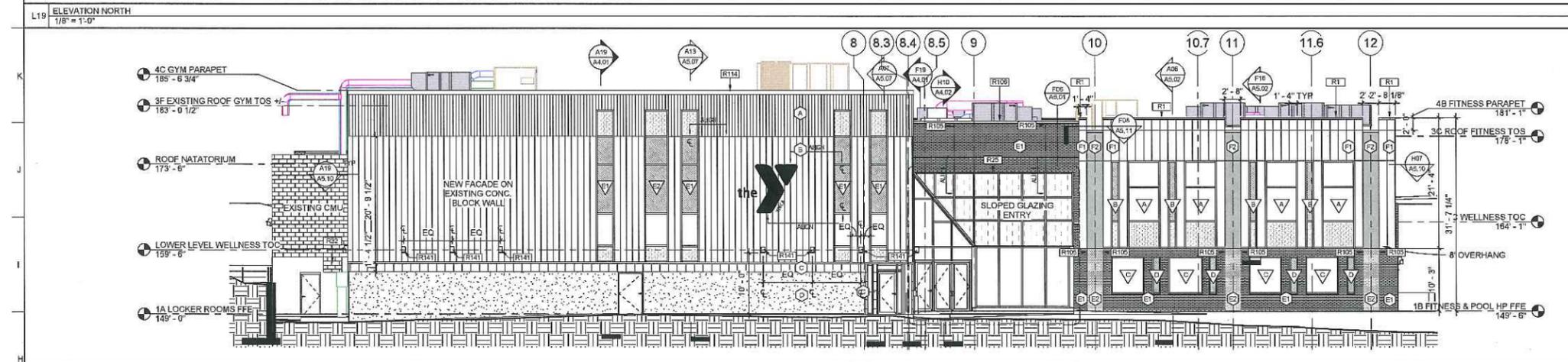
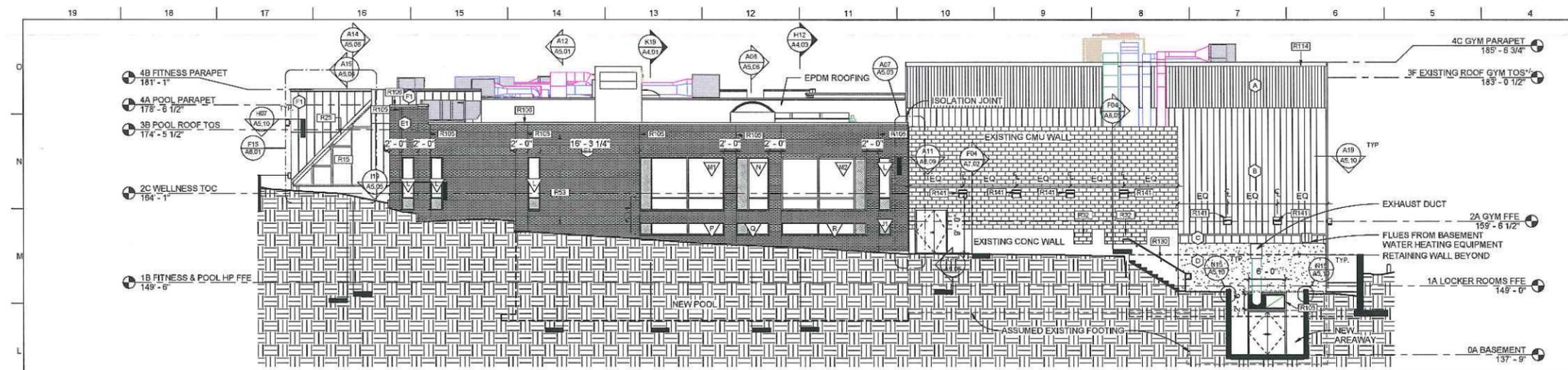
NO.	ISSUE	DATE

Job No: 11170
 DRAWN BY: LOU.F
 CHECKED BY: HD
 DATE: 08.21.13
 SCALE: As indicated
 SHEET No: **A1.23**

KEY PLAN ROOF RENO PLAN PHASE 2
1" = 80'-0"

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08/20/13 10:56:10 AM

A10 ROOF RENO PLAN PHASE 1 & 2
1/8" = 1'-0"



ELEVATION NOTES AND SYMBOL LEGEND

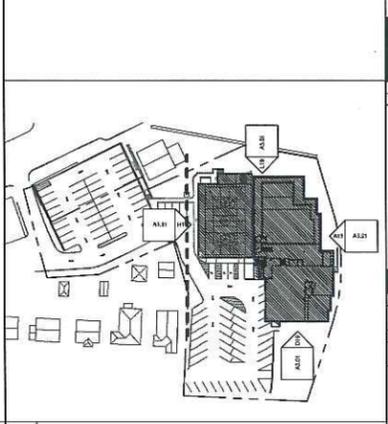
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101 DENOTES ROOM NAME	1 A101	1 A101	1 A101
0 DENOTES GRID LINE	1 A101	1 A101	1 A101
1 DENOTES KEYED NOTE	1 A101	1 A101	1 A101
℄ DENOTES CENTERLINE	1 A101	1 A101	1 A101
1 DENOTES CONTROL JOINT	1 A101	1 A101	1 A101
1 A101	1 A101	1 A101	1 A101

MATERIAL LEGEND

(A)	NEW PROFILE IW20A 12" METAL SIDING W/ METAL WRAPPED INSULATED BACKUP WALLS
(B)	NEW PROFILE IW10A 12" METAL SIDING W/ METAL WRAPPED INSULATED BACKUP WALLS
(C)	NEW 12" PORCELAIN TILE
(D)	NEW STUCCO AND INSULATION (EFS) OVER EXISTING CONCRETE
(E)	NEW BRICK WALL, ACME ONYX MATT, MODULAR
(F)	NEW BRICK WALL, ACME ONYX VELOUR, MODULAR
(F1)	FORMAWALL DIMENSION SERIES 2 1/2" VERTICAL FLAT INSULATED METAL PANELS, COLOR 1
(F2)	FORMAWALL DIMENSION SERIES 2 1/2" VERTICAL FLAT INSULATED METAL PANELS, COLOR 2
(G)	FROSTED GLASS
(H)	TRANSPARENT GLASS
(I)	SPANDREL GLASS
(J)	FRITTED GLASS
(K)	CERAMIC TILE
(L)	PTD CMU
(M)	PTD MDO

ELEVATION KEYED NOTES

R1	EXTRUDED PARAPET CAP BY METAL PANEL MANUFACTURER 36" ABOVE ROOF DECK
R8	2" ISOLATION JOINT BETWEEN NEW AND EXISTING STRUCTURE. FLOORWALL/CEILING W/ JOINT COVERS PER SPEC. ADJUST FOR IRREGULARITIES
R14	NEW EXT CURTAIN WALL OLDCASTLE RELIANCE TC WINSUL LOW-E GLAZ, 1/2" INNER LITE @ GYM.
R15	NEW OLDCASTLE SERIES 3000 INSUL STOREFRONT SYSTEM
R25	NEW EXT SLOPED INSUL GLAZ OLDCASTLE BMS-3000 W/ LAMINATED INSUL GLAZ
R32	INFILL EXISTING OPENING WITH CMU, ALIGN CMU & WALL @ EXPOSED FACE. PAINT CMU TO MATCH WALL
R53	NEW 2" CMU BRICK VENEER CAVITY WALL
R54	NEW 1" BRICK VENEER STUD WALL
R102	NEW LOUVER W/ TRIM, FLASH TO BRICK BELOW
R103	NEW LOUVER INSTALLED IN STOREFRONT FRAMING
R105	CONTROL JOINT
R106	ALUMINUM EXTRUDED PARAPET CAP, TERMINEDGE BY HICKMAN
R14	PREFORMED ALUM FASCIA COVER
R130	PATCH EXISTING SLAB WHERE DAMAGED FROM SUMP DEMOLITION
R134	KNOX BOX RAPID ENTRY SYSTEM
R141	EXTERIOR LIGHTING, SEE ELECTRICAL PLANS



08.21.13

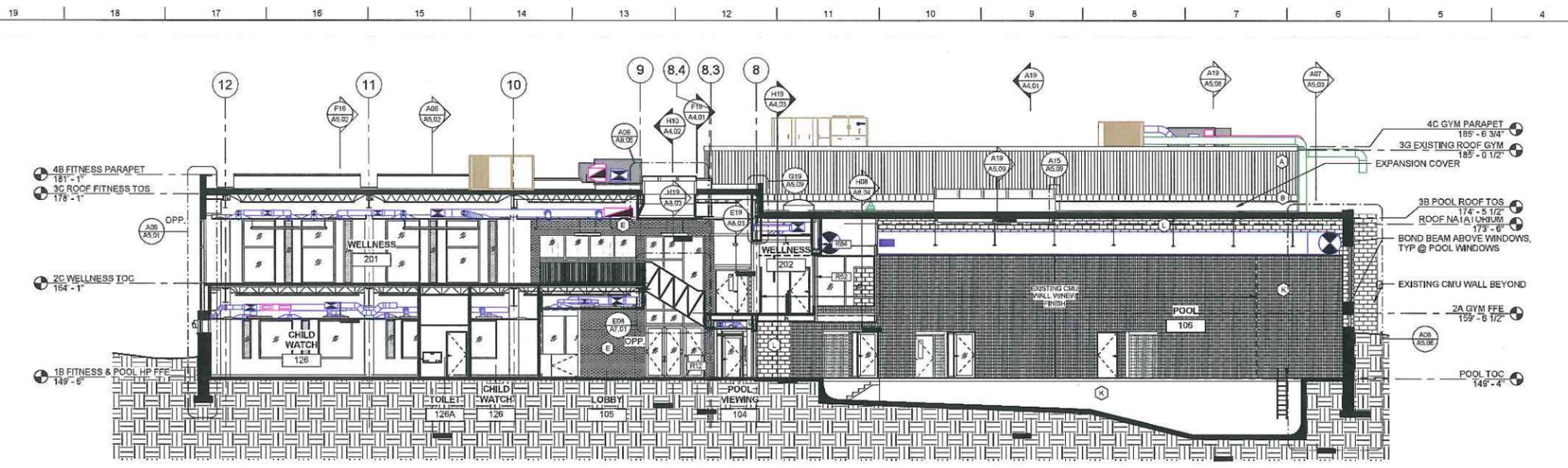
WEST ROXBURY YMCA

15 Bellevue Street
West Roxbury, MA 02132

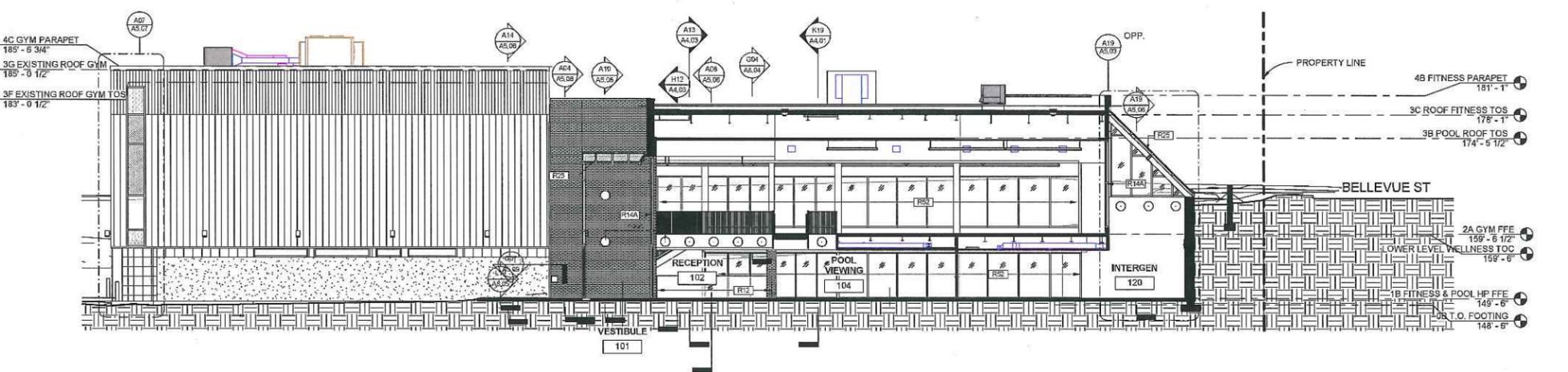
BUILDING ELEVATIONS

Job No	11170
DRAWN BY	LC
CHECKED BY	HD
DATE	08.21.13
SCALE	As Indicated
SHEET No	A3.01

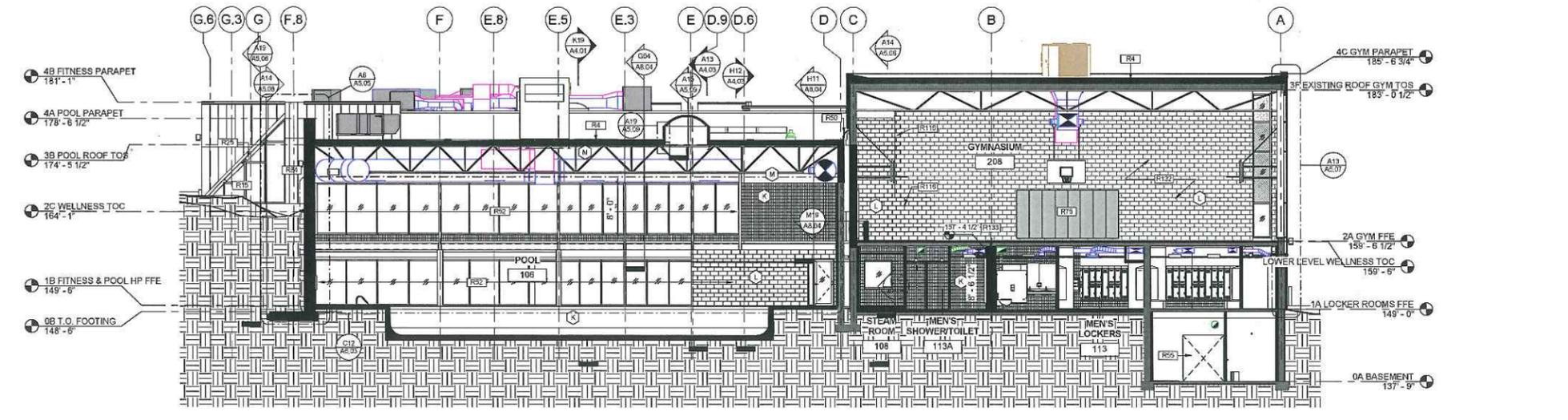
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K19 LONGITUDINAL SECTION_POOL
1/8" = 1'-0"



F19 CROSS SECTION_LOBBY
1/8" = 1'-0"



A19 CROSS SECTION_GYM
1/8" = 1'-0"

SECTION NOTES AND SYMBOL LEGEND

- ROOM NAME
101 DENOTES ROOM NAME
- 0 DENOTES GRID LINE
- KEYED NOTE DENOTES KEYED NOTE
- CEN DENOTES CENTERLINE
- 1 DENOTES DETAIL CALLOUT
- SECTION DENOTES SECTION
- 2'-6" DENOTES SPOT ELEVATION
- REVISION TAG DENOTES REVISION TAG

MATERIAL LEGEND

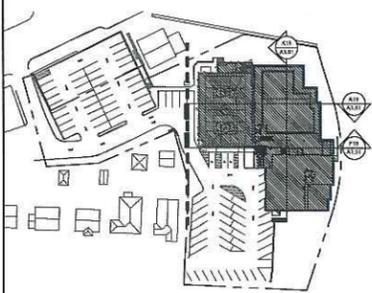
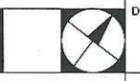
- A NEW PROFILE W20A 12" METAL SIDING W/ METAL WRAPPED INSULATED BACKUP WALLS
- B NEW PROFILE W10A 12" METAL SIDING W/ METAL WRAPPED INSULATED BACKUP WALLS
- C NEW 12" PORCELAIN TILE
- D NEW STUCCO AND INSULATION (EIFS) OVER EXISTING CONCRETE
- E NEW BRICK WALL, ACME GNYX MATT, MODULAR
- F NEW BRICK WALL, ACME GNYX VELOUR, MODULAR
- F1 FORMAWALL DIMENSION SERIES 2 1/2" VERTICAL FLAT INSULATED METAL PANELS, COLOR 1
- F2 FORMAWALL DIMENSION SERIES 2 1/2" VERTICAL FLAT INSULATED METAL PANELS, COLOR 2
- G FROSTED GLASS
- H TRANSPARENT GLASS
- I SPANDREL GLASS
- J FRITTED GLASS
- K CERAMIC TILE
- L PTD CMU
- M PTD MDO

SECTION KEYED NOTES

- R4 TAPERED INSULATION TO DRAIN
- R12 NEW GLASS RAILING, BLUMCRRAFT BASE SHOE RECESSED IN SLAB W/3/4" FT GLASS.
- R14A NEW INT CURTAIN WALL OLDCASTLE RELIANCE W/CLEAR GLAZ
- R15 NEW OLDCASTLE SERIES 3000 INSUL STOREFRONT SYSTEM
- R25 NEW EXT SLOPED INSUL GLAZ OLDCASTLE BMS-3000 W/LAMINATED INSUL GLAZ
- R50 12" ISOLATION COVER BY CONSTRUCTION SPECIALTIES
- R52 TYP @ POOL: INSUL STOREFRONT W/CLEAR SAFETY GLAZ
- R55 OPENING RAISED AND WIDENED
- R75 NEW 6" HIGH 16" WIDE ATHLETIC PADS
- R84 PTD MDO PANELS UP TO DECK
- R116 INFILL OPENING W/ CMU, TOOTH INTO EXISTING
- R132 PAINT EXISTING CMU
- R133 EXISTING BEAM TO REMAIN

WEST ROXBURY YMCA

BUILDING SECTIONS



Job No	11170
DRAWN BY	LC
CHECKED BY	HD
DATE	08.21.13
SCALE	As indicated
SHEET No	A4.01

A4.01

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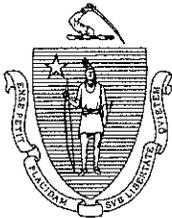
08.21.13

15 Bellevue Street
West Roxbury, MA 02132

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EXHIBIT B

MHC Determination Letter



The Commonwealth of Massachusetts
William Francis Galvin, Secretary of the Commonwealth
Massachusetts Historical Commission

March 12, 2012

David R. Jackowitz
Shaevel & Krems, LLP
Attorneys at Law
141 Tremont Street
Boston, MA 02111-1209

RE: YMCA Demolition; 1970-1979 Centre Street, 15 Bellevue Street; Boston (West Roxbury), MA;
MHC# RC.41698

Dear Mr. Jackowitz:

The Massachusetts Historical Commission (MHC) has reviewed the information you submitted, received February 24, 2012, concerning the proposed project referenced above. After a review of the information submitted, MHC staff have the following comments.

The proposed project involving partial destructions of, additions to, and complete substantial rehabilitations to both West Roxbury Branch YMCA buildings—the building at 1970-1979 Centre Street, which was constructed in 1955, and the building at 15 Bellevue Street, which was constructed in 1955 and 1957—is described in the Project Notification that was submitted to this office, received February 24, 2012.

Neither 1970-1979 Centre Street nor 15 Bellevue Street is included in MHC's Inventory of Historic and Archaeological Assets of the Commonwealth nor the State Register of Historic Places. No further review by this office is required.

These comments are offered to assist in compliance with Massachusetts General Laws, Chapter 9, Section 26-27C, as amended by Chapter 254 of the Acts of 1988 (950 CMR 71.00). Please do not hesitate to contact Ryan Maciej of my staff if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Brona Simon".

Brona Simon
State Historic Preservation Officer
Executive Director
Massachusetts Historical Commission

xc: Kevin Washington and Wendy Zinn, YMCA of Greater Boston, Inc.
Steve Chilton, MassDevelopment
Ellen Lipsey, Boston Landmarks Commission
Sarah Kelley, Boston Preservation Alliance

EXHIBIT C

MEPA Determination Letter



The Commonwealth of Massachusetts
Executive Office of Energy and Environmental Affairs
100 Cambridge Street, Suite 900
Boston, MA 02114

Deval L. Patrick
GOVERNOR

Timothy P. Murray
LIEUTENANT GOVERNOR

Richard K. Sullivan Jr.
SECRETARY

Tel: (617) 626-1000
Fax: (617) 626-1181
<http://www.mass.gov/envir>

March 9, 2012

David R. Jackowitz
Shaevel & Krems, LLP
141 Tremont Street
Boston, MA 02111-1209

Re: Request for Advisory Opinion
West Roxbury YMCA - BOSTON

Dear Mr. Jackowitz:

I am writing in response to your letter of February 28, 2012, in which you requested an Advisory Opinion pursuant to 301 CMR 11.01(6) which concurs that the proposed project does not require review in accordance with the Massachusetts Environmental Policy Act (MEPA).

According to your Request, the proposed project consists of renovations and additions to the West Roxbury Young Mens Christian Association (YMCA), located at 1972 Centre Street and 15 Bellevue Street in the West Roxbury neighborhood of Boston. Currently, the 1972 Centre Street building is used for storage purposes by the YMCA. This building was built in 1955 and historically contained a United States Post Office and an upholstery shop. The building located at 15 Bellevue Street currently houses the YMCA which contains a pool, gymnasium, child care facilities, administrative offices, and classrooms. Access to parking at the 15 Bellevue Street building is provided via Quinn Way.

The project proposes to demolish one building and a portion of the other building, construct additions, and complete substantial rehabilitation to the existing YMCA building to upgrade and expand facilities to meet the family and accessibility needs of its members. The building located at 1972 Centre Street will be demolished in its entirety and replaced with a parking area and outdoor/recreation area. Additionally, site circulation will be modified to provide "through" access from the Centre Street entrance and parking area and the parking area behind 15 Bellevue Street. The Bellevue Street parking area will remain accessible via Quinn Way. The Request for Advisory Opinion includes civil engineering and architectural plans that depict existing and proposed

conditions on the project site.

While your Request indicates that the project is subject to MEPA jurisdiction because it will be receiving Commonwealth Financial Assistance in the form of bonds from MassDevelopment, the project does not appear to exceed any MEPA thresholds as defined in 301 CMR 11.03. As the project consists of a redevelopment within an urbanized area, potential increases in environmental impacts such as wastewater flow or traffic are expected to be insignificant. Furthermore, the project will not require any State permits, nor result in a Land Transfer. Therefore, I hereby determine that MEPA review is not required for the project. Please contact Holly Johnson of the MEPA Office, at (617) 626-1023 if you have any additional questions concerning this matter.

Sincerely,

A handwritten signature in cursive script, reading "Maëve Vallely Bartlett".

Maëve Vallely Bartlett
Assistant Secretary

EXHIBIT D

Boston Parks and Recreation Department Determination Letter

BOSTON

Thomas M. Menino, Mayor

October 2, 2013

David R. Jackowitz, Partner
Shaevel & Krems, LLP
141 Tremont Street
Boston, MA 02111

**RE: 1972 Centre Street/15 Bellevue Street - YMCA
West Roxbury, MA
PARKS COMMISSION DESIGN REVIEW**

Dear Mr. Jackowitz,

The Parks and Recreation Department has reviewed the updated plans for a renovations and expansion of the YMCA at the above referenced address. This project was previously reviewed and approved by the Parks Commission in October 2010, with the provision that a landscaped planting buffer be incorporated along the southern edge of the YMCA parking area.

The current plans for these improvements (dated August 2013) include the requested buffer and are approved to proceed as illustrated, as this Department has determined that your proposed work will create no adverse impacts with regards to Billings Field.

Please contact this Department if you have any questions.

Sincerely,



Antonia M. Pollak
Commissioner

Cc: Carrie Marsh, Executive Secretary, Boston Parks Commission



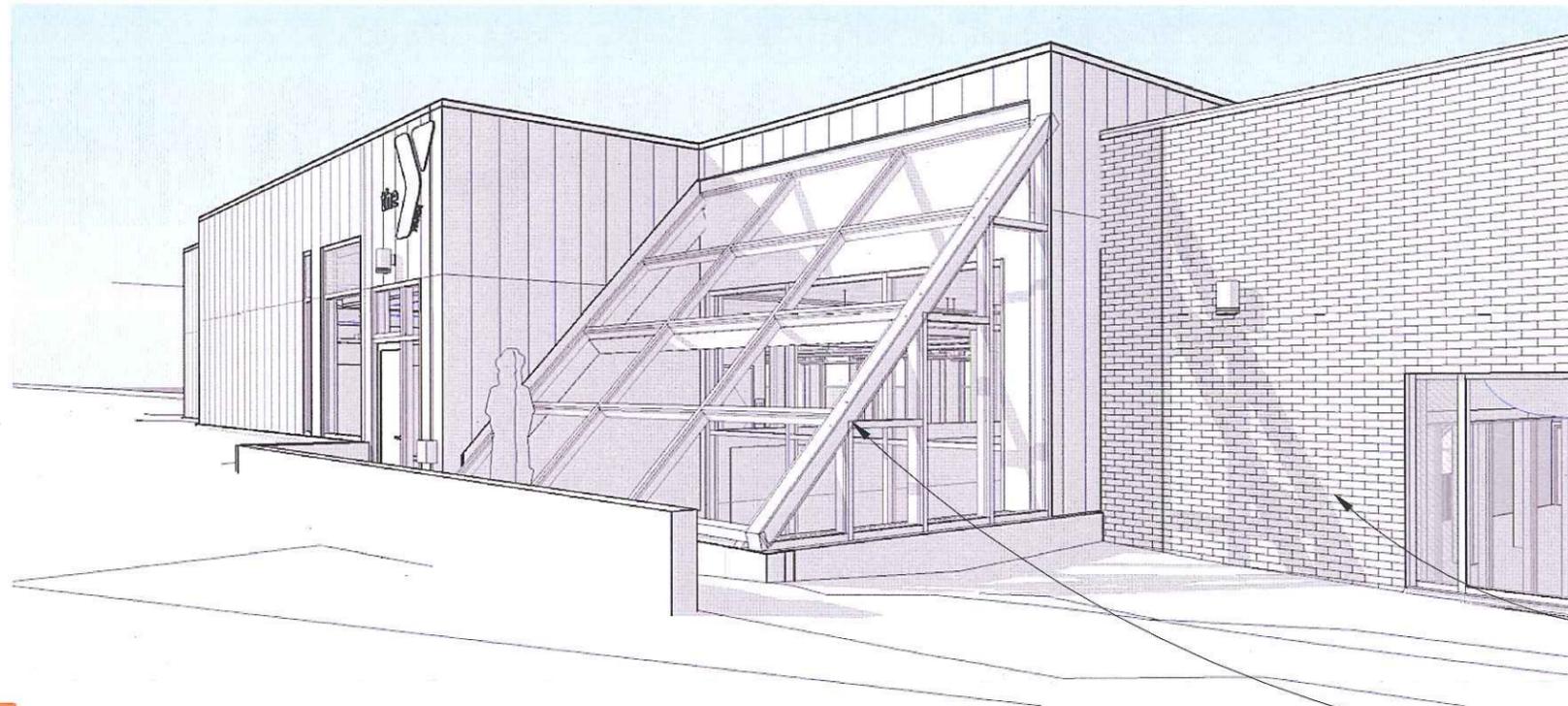
Boston Parks and Recreation Department

Antonia M. Pollak, Commissioner

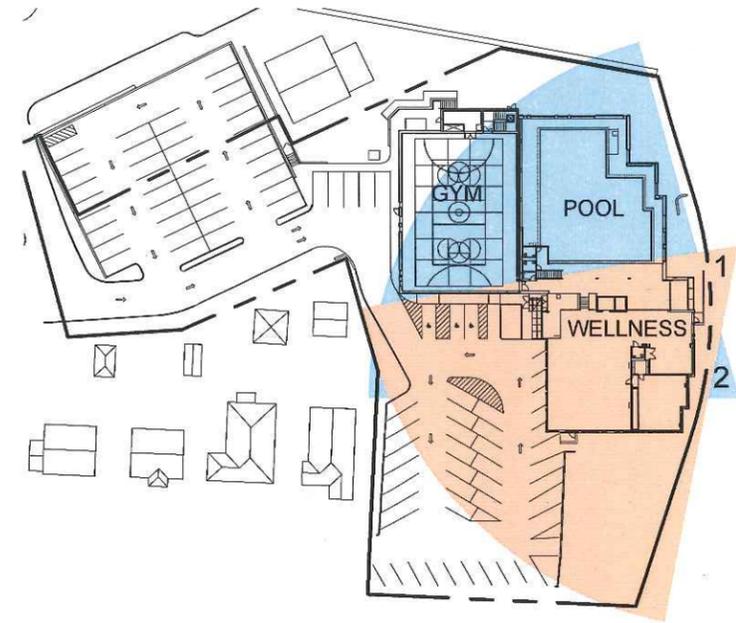
1010 Massachusetts Ave., Boston, MA 02118 / Tel.: (617) 635-4505 / Fax: 635-3173

EXHIBIT E

Exterior Perspectives

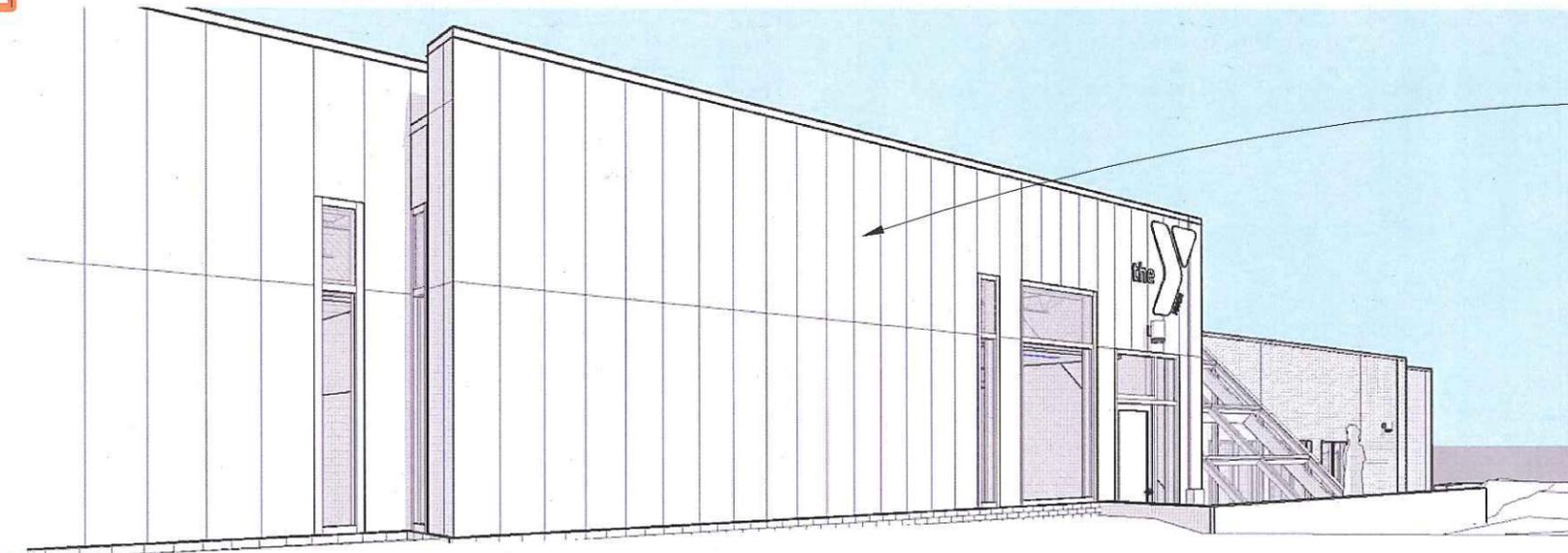


1 EXTERIOR - VIEW FROM BELLEVUE STREET - ENTRY



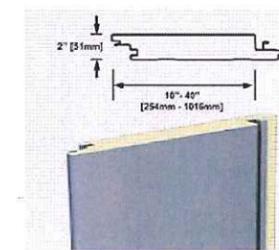
MODULAR BRICK
PRODUCT: ACME BRICK ONYX MATT, SEE DSK-23

SLOPED GLAZING OVER COMMUNITY SPACE BELOW

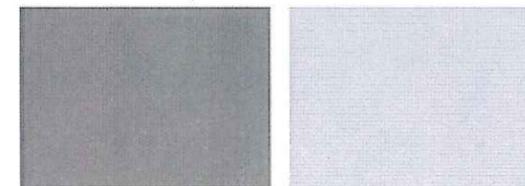


2 EXTERIOR - VIEW FROM BELLEVUE ST - WELLNESS WING

INSULATED METAL PANELS
PRODUCT: CENTRIA FORMAWALL 2 1/2" VERTICAL PANELS



FINISH - PRISMATIC SERIES, TWO TONES



181 Slate Gray

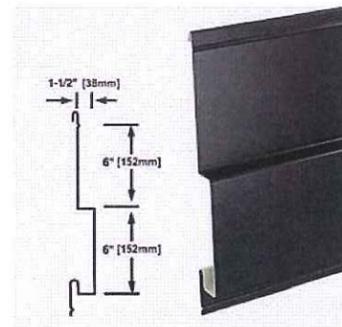
971 Chromium Gray



METAL PANELS W/ CONCEALED FASTENERS

PRODUCT: CENTRIA IW-10A

FINISH: REGAL WHITE

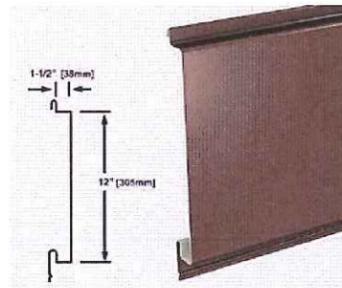


179 Regal White

METAL PANELS W/ CONCEALED FASTENERS

PRODUCT: CENTRIA IW-20A

FINISH: REGAL WHITE



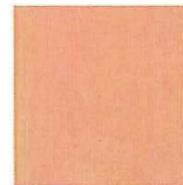
179 Regal White

CURTAIN WALL W/ CLEAR, ACID ETCHED AND SPANDREL GLASS

PORCELAIN TILE

PRODUCT: CASALGRANDE PADANA

FINISH: GRANITOGRES UNICOLOR
GIALLO OCRA

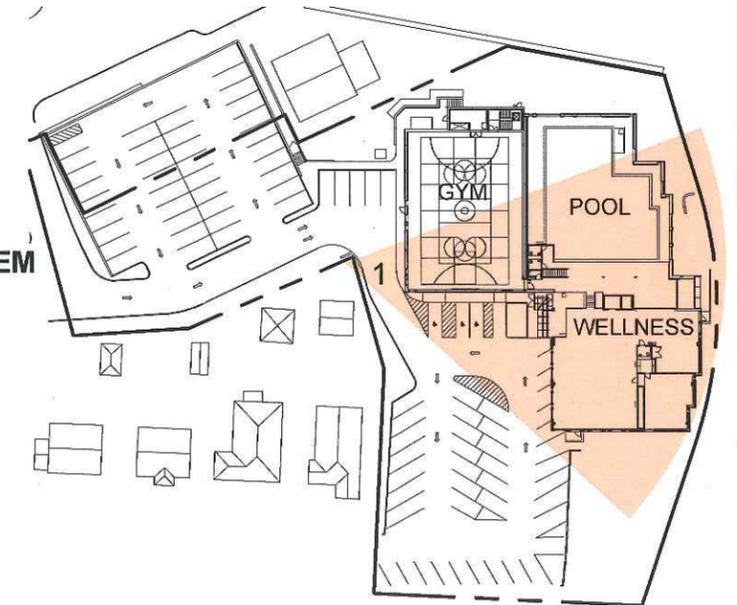


EXTERIOR INSULATION AND FINISH SYSTEM

PRODUCT: STOTHERM LOTUSAN NEXT



33130 13



EXTERIOR - EXISTING GYM BLOCK EXIT / PHASE ONE ENTRY

LINEA 5, inc.
Architecture, Facilities Assessments,
Planning, Interior Design
Boston, MA Miami, FL

EXTERIOR PERSPECTIVE - EXISTING GYM EXIT / PHASE ONE ENTRY

DATE 10/11/13

DSK-22

SCALE 1" = 100'-0"

W ROXBURY YMCA



1 EXTERIOR - VIEW OF MAIN ENTRY

INSULATED METAL PANELS
SEE DSK-21 FOR PRODUCT AND COLOR INFO

MODULAR BRICK
PRODUCT: ACME BRICK ONYX MATT

CURTAIN WALL WINDOW W/ SPANDREL
GLASS AT BASE

MODULAR BRICK
PRODUCT: ACME BRICK, ONYX VELOUR

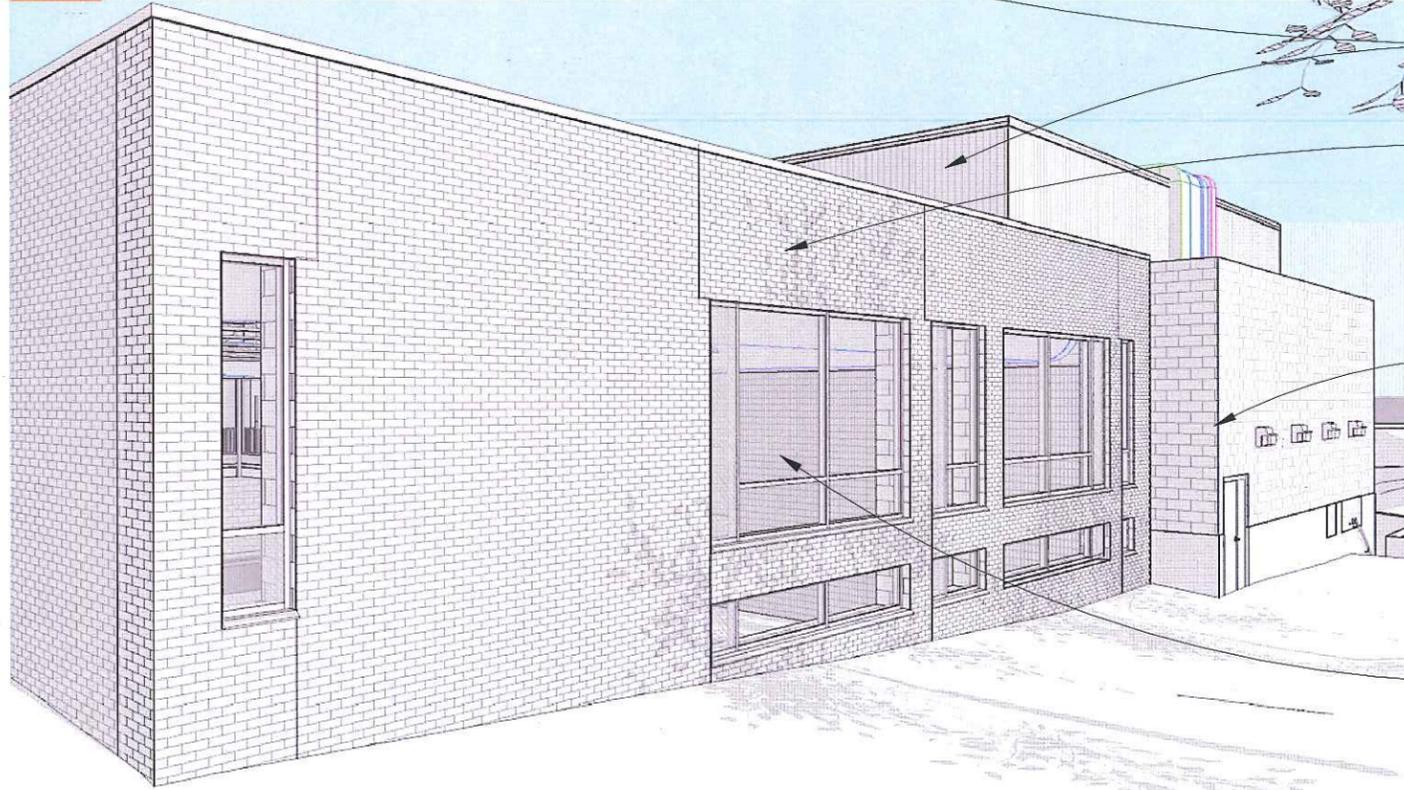
SLOPED GLAZING AT MAIN ENTRY

SEE DSK-22 FOR NEW FINISHES ON EXISTING
BUILDING

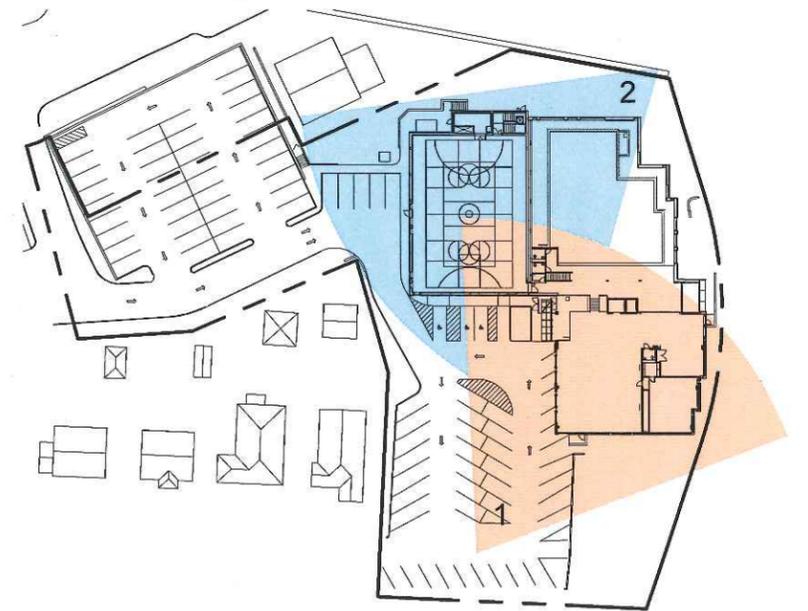
MODULAR BRICK
PRODUCT: ACME BRICK ONYX MATT

EXISTING CMU AND
CONC WALLS AT FIRE
STAIR TO REMAIN

STOREFRONT WINDOWS &
CAST STONE SILLS



2 EXTERIOR- VIEW OF POOL AND EXISTING FIRESTAIR - NORTHEAST WALL



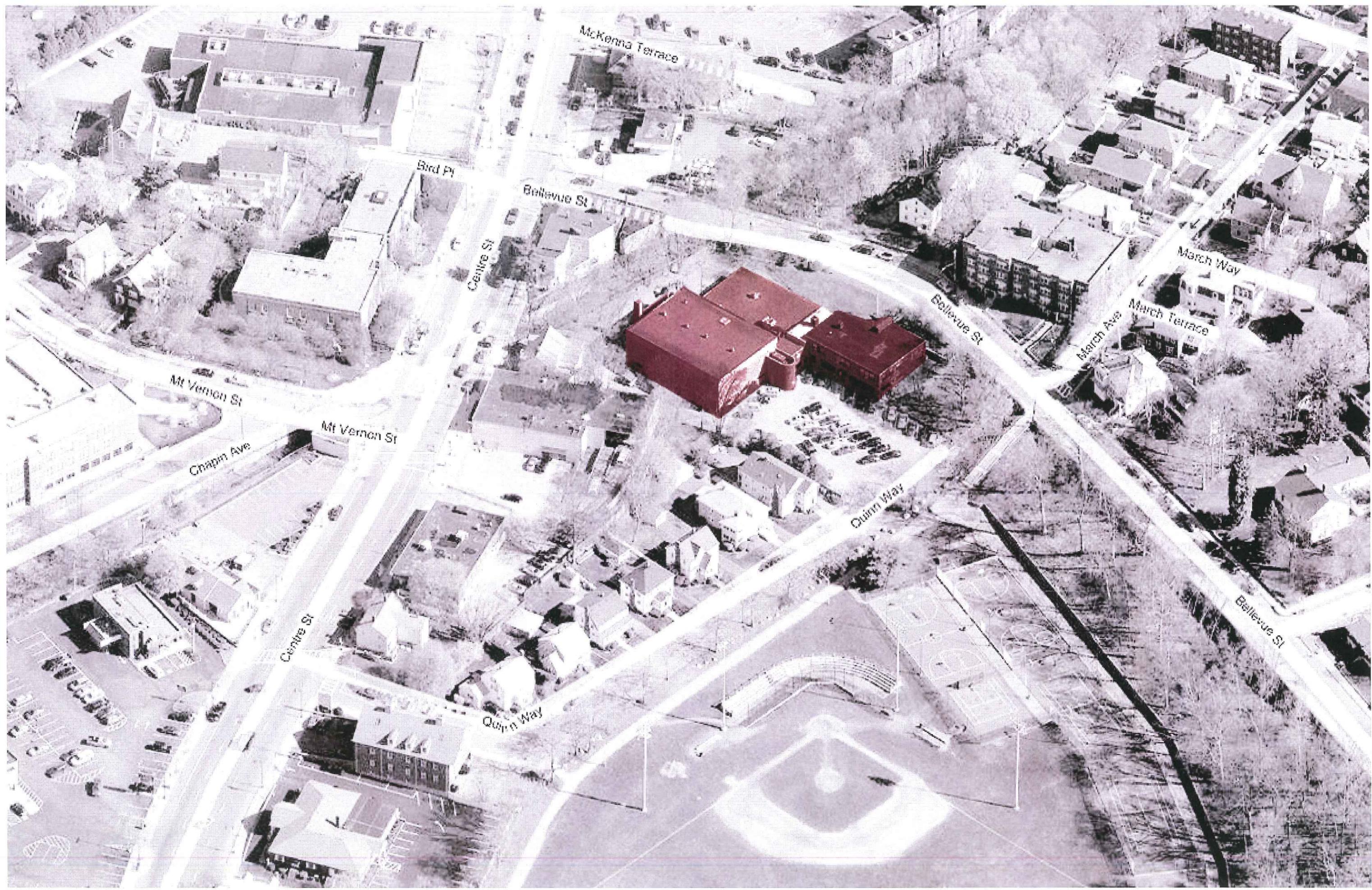
LINEA 5, inc.
Architecture, Facilities Assessments,
Planning, Interior Design
Boston, MA Miami, FL

EXTERIOR PERSPECTIVES - VIEW FROM NORTH, VIEW OF MAIN ENTRY
W ROXBURY YMCA

DATE 10/11/13

DSK-23

SCALE 1" = 100'-0"



McKenna Terrace

Bird Pt

Bellevue St

Centre St

Bellevue St

March Way

March Terrace

March Ave

Mt Vernon St

Mt Vernon St

Chapin Ave

Quim Way

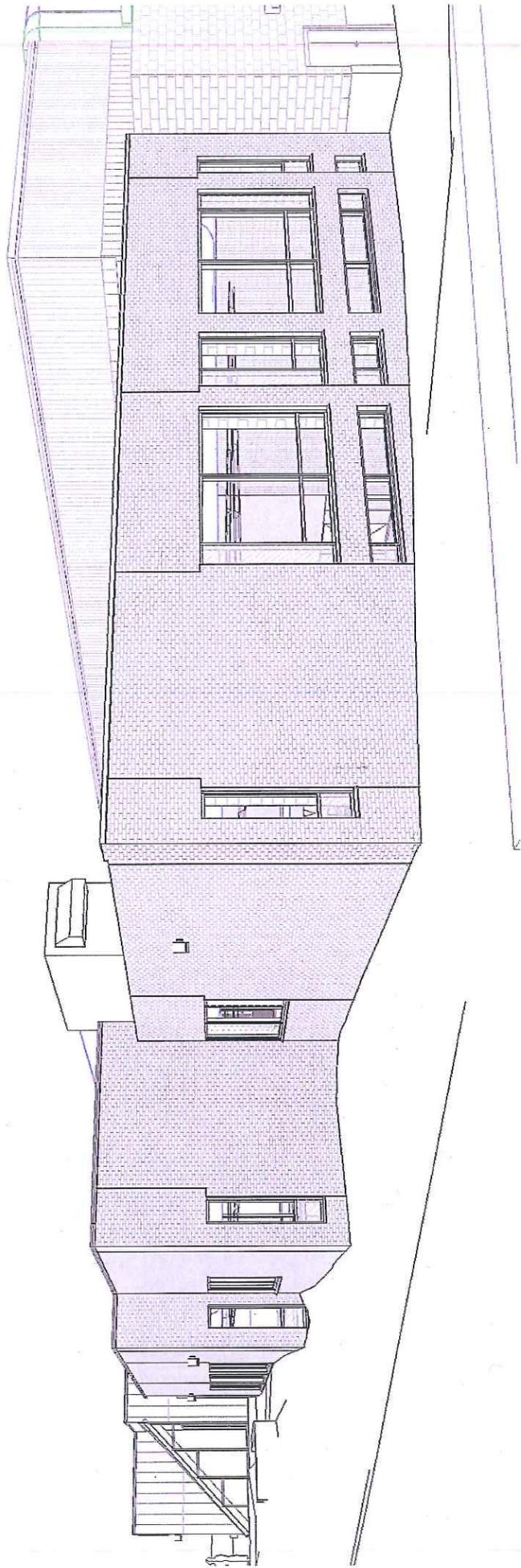
Centre St

Quim Way

Bellevue St

EXHIBIT F

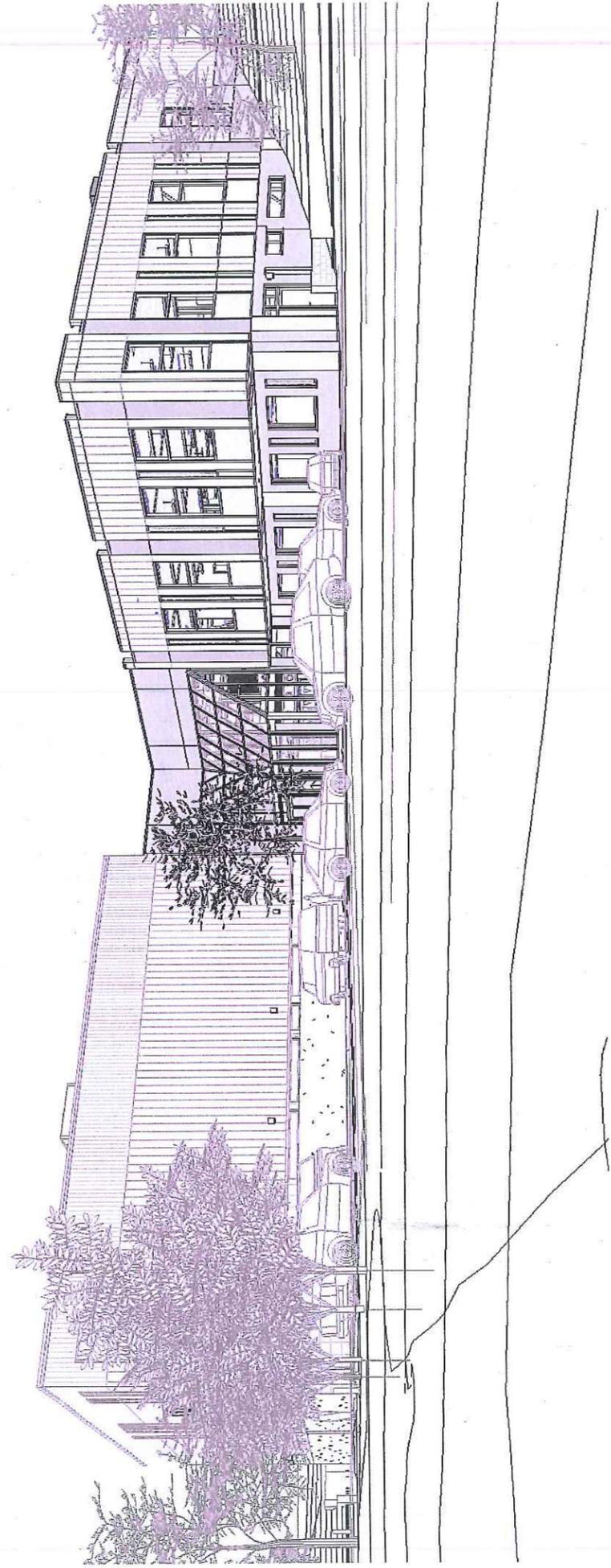
Architect's Rooftop Models



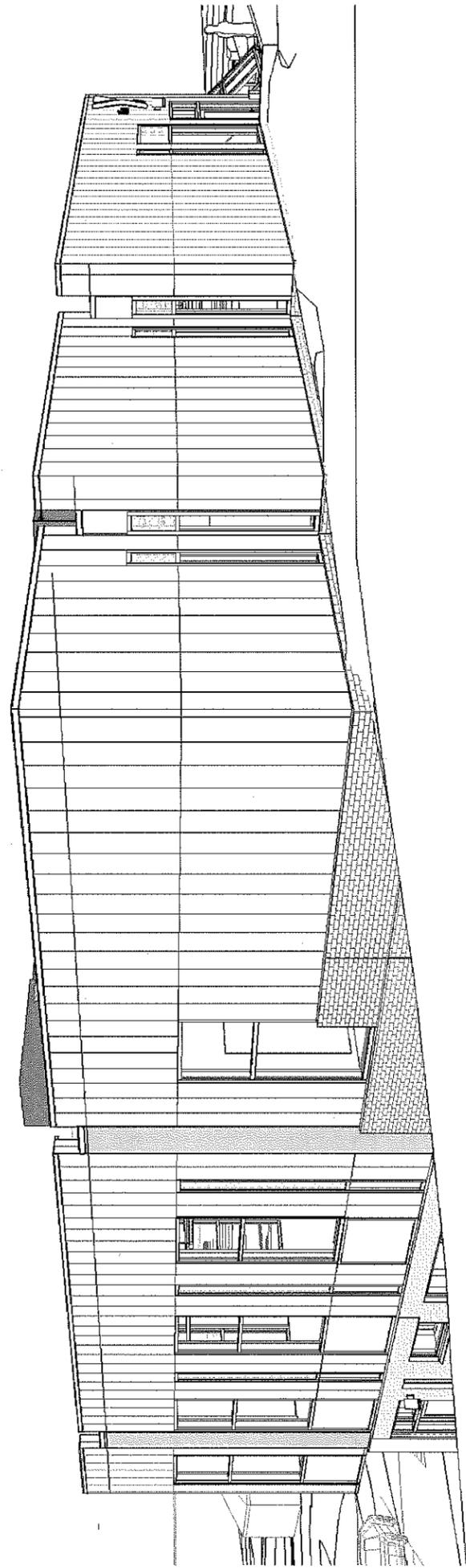
FROM NORTH



FROM NORTHWEST



FROM SOUTH



FROM SOUTHEAST