

Application for Article 80 Small Project Review

New England Heritage Homes



New England Avenue, Colonial Avenue, Mallard Avenue,
and Southern Avenue, Dorchester, MA

December 9, 2015

Submitted to:
Boston Redevelopment Authority

Submitted by:
Codman Square NDC

Muammar Hermanstyne,
Director of Real Estate
617-825-4224 x145
muammar@csndc.com

Annie Wong
Project Manager
617-825-4224 x137
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December 9, 2015

Brian P. Golden, Director
Boston Redevelopment Authority
Boston City Hall, 9th floor
Boston, MA 02201-1007
Attn: Phil Cohen

Re: Article 80 Small Project Review Application
New England Heritage Homes, Dorchester, MA

Dear Director Golden:

On behalf of Codman Square Neighborhood Development Corporation, I am pleased to submit the enclosed application for Article 80 Small Project Review for New England Heritage Homes.

The New England Heritage Homes (NEHH) is a proposed affordable homeownership project of 16 mixed-income fee-simple units located in the Talbot Norfolk Triangle neighborhood of Codman Square in Dorchester. The proposed development is within 1/4 mile of the new Talbot Ave Station on the Fairmount Line, which provides an opportunity to achieve transit access and walkability, while creating new affordable opportunities for moderate income homebuyers in Codman Square Neighborhood Development Corporation's (CSNDC) service area. The parcels include two City-owned vacant lots and are located within Dorchester's Eco-Innovation District (EID).

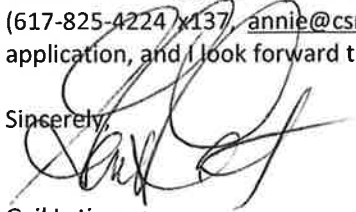
CSNDC and the Codman Square community are excited about this project for many reasons, among them:

- Transit oriented development in support of the MBTA Fairmount Line Talbot Station;
- A mixture of affordable units, ranging from 80-100% area median income or below;
- Green design and construction that meets LEED standards;
- Revitalization of underutilized property;
- Affordable homeownership and asset development; and
- Construction-related local jobs and workforce diversity.

We have engaged in extensive discussions with the City of Boston's Department of Neighborhood Development (DND) concerning project design, conducted outreach with local elected and appointed officials, and also worked with neighborhood groups and businesses. These groups include the Talbot Norfolk Triangle Neighbors United and Codman Square Neighborhood Council. This project will address a vital need in the community to produce more workforce and middle income housing while revitalizing an otherwise abandoned site.

Please see the content of this application for details about the project. Please contact Project Manager Annie Wong (617-825-4224 x137, annie@csndc.com) with any questions or comments. Thank you for your consideration of this application, and I look forward to the Article 80 process.

Sincerely,


Gail Latimore
President

Project Notification Form/Application for Small Project Review

Required Information for Document Preparation

For projects undergoing review and consideration under Article 80 of the Boston Zoning Code, applicants are requested to ensure that the following information is included in its Project Notification Form or Application for Small Project review, as the case may be:

Applicant/Project Proponent: "New England Heritage Homes" Codman Square Neighborhood Development Corporation d/b/a Codman Community Development, Inc.

Developer: same
Contact: Annie Wong, Project Manager
Mailing Address: 587 Washington St., Dorchester MA 02124
Phone #: 617-825-4224 x137
Email: annie@csndc.com

Brief Project Description: 17 affordable homeownership units in ten new buildings; all affordable, (100% AMI or below); 17 parking spaces

Anticipated Submission Date: 12/9/15
Anticipated Advertisement Date (if applicable) _____

Proposed Project Name: New England Heritage Homes
Project Address:

1. 28 Mallard Avenue,
2. 30 Mallard Avenue,
3. 32 Mallard Avenue,
4. 34 Mallard Avenue,
5. 36 Mallard Avenue,
6. 63 Colonial Avenue,
7. 68 Colonial Avenue,
8. 70 Colonial Avenue,
9. 72 Colonial Avenue,
10. 30 New England Avenue,
11. 42 New England Avenue,
12. 60 New England Avenue,
13. 70 New England Avenue,
14. 129 Southern Avenue,
15. 131 Southern Avenue,
16. 133 Southern Avenue,

All of the above addresses are in Dorchester, MA 02124

Assessor Parcel Numbers: 30 New England (Parcel #17-01569000), Colonial Ave (#17-01535000), Colonial Ave (Parcel #17-01536000), 63 Colonial Ave (Parcel #17-01568000), Mallard Ave (Parcel #17-

CSNDC: New England Heritage Homes
BRA Article 80, Small Project Review Application

01570000), 131 Southern Ave. (Parcel #1701534000) and 133 Southern Ave. (Parcel #1701534001),
Dorchester, MA 02124

Neighborhood: Dorchester

Sub-Neighborhood (if applicable) _____
Zoning District 3F-6000

Does Project Require Modification to URA?(Y/N): NO

Inst. Master Plan (Y/N) No Planned Development Area (Y/N) No 121A (Y/N) No

Zoning Relief Required -- Zoning Board of Appeal (Y/N) Yes Boston Zoning Commission (Y/N) No

Development Program

Parcel Area (Sq. Ft.): 41,294sq. ft.

Proposed Building Area (Gross Sq. Ft.): 26,763 sq. ft.

Proposed Building Height (Feet): 35' (68 Colonial Avenue, 30 New England Avenue, and 133 Southern Avenue)
Number of Floors: 2

Proposed Building Height (Feet): 35' (28 Mallard Avenue, 30 Mallard Avenue, 32 Mallard Avenue, 34 Mallard Avenue, 63 Colonial Avenue, 70 Colonial Avenue, 72 Colonial Avenue, 42 New England Avenue, 60 New England Avenue, 70 New England Avenue, 129 Southern Avenue, and 131 Southern Avenue)
Number of Floors: 3

Proposed Building Height (Feet): 35' (36 Mallard Avenue) Number of Floors: 3

Ground Floor Use: Residential Upper Floor Use: Residential

Retail Sq. Ft.: N/A Office Sq. Ft.: N/A Hotel Sq. Ft.: N/A

Industrial Sq. Ft.: N/A Institutional Sq. Ft.: N/A R&D Sq. Ft. N/A

Residential Gross Sq. Ft.: 26,763 SF sq. ft. Total Units: 17 Condo: 0 Rental: 1

Market Units: 0 Affordable Units: 17 Studios: 0 1bdrms: 0 2bdrms: 1

3bdrms: 16 4bdrms: Artist Live/Work : 0 SRO N/A Elderly N/A

Total Parking Spaces: 17 Surface: 17 Structured ____ Below Grade _____

CSNDC: New England Heritage Homes
BRA Article 80, Small Project Review Application

Total Development Cost (soft/hard costs): +/- \$6.9 Million
Construction Cost (hard cost): +/- \$4.3 Million

Public Benefits

Number of Permanent Jobs Created (full-time equivalent): none
Number of Permanent Jobs Retained (full-time equivalent): none
Number of Construction Jobs Created (full-time equivalent): 25

Estimated Development Impact Project Payments (if applicable): none

Estimated Construction Start: August 2016 Estimated Construction Completion: August 2017

Disclosure of Beneficial Interest in the Project

Name	Address	Percentage Interest
Codman Community Development, Inc.	CSNDC @ 587 Washington St., Dorchester MA, 02124	100%

CSNDC: New England Heritage Homes
BRA Article 80, Small Project Review Application

Project Team

Developer / Sponsor:

Codman Square Neighborhood Development Corporation
587 Washington Street
Dorchester, MA 02124

Annie Wong, Project Manager
617-825-4224 x137
annie@csndc.com

Muammar Hermanstynne, Director of Real Estate Development
617-825-4224 x145
muammar@csndc.com

Legal Counsel:

Goulston & Storrs
400 Atlantic Avenue
Boston, MA 02110-3333

Architect:

Michael Washington Architects, Inc.
891 Centre St #402
Jamaica Plain, MA 02130

Michael Washington (Principal in Charge)
(617) 390-5515
mwainc1@hotmail.com

Jason R. Beaudoin (Project Manager)
(617) 390-5515
jasonrbeaudoin@gmail.com

Surveyor

Antoni Szerszunowicz P.L.S.
c/o AGH Engineering
166 Water Street
Stoughton, MA 02072
office (781)344-2386
szerszun@comcast.net

Project Description

Overview

The New England Heritage Homes (NEHH) is a proposed affordable homeownership project of 17 mixed-income fee-simple units on an assembly of seven parcels of land totaling approximately 40,000 square feet. The parcels are located near the intersection of New England Avenue, Mallard Avenue, Colonial Avenue, and Southern Avenue in the Talbot Norfolk Triangle neighborhood of Codman Square in Dorchester, and are within 1/4 mile of the new Talbot Ave Station on the Fairmount Line. The parcels include two City-owned vacant lots and are located within Dorchester's Eco-Innovation District (EID). The proposed development will provide an opportunity to achieve transit access and walkability, while creating new affordable opportunities for moderate income homebuyers in Codman Square Neighborhood Development Corporation's (CSNDC) service area.

The project, developed by Codman Community Development, Inc. (a subsidiary of CSNDC), is a part of a larger effort of the Fairmount Collaborative, in which CSNDC, Dorchester Bay EDC (DBEDC), and Southwest Boston CDC (SWBCDC) have targeted development opportunities near existing and planned stops on the Fairmount commuter rail line.

Highlights of the project include:

- Transit oriented, sustainable development in support of the MBTA Fairmount Line Talbot Station (down the street from the site), and in support of the Fairmount Collaborative¹;
- A mixture of affordable units, including 8 units affordable to residents earning 80% AMI or below, and 8 units affordable to residents earning 100% AMI or below;
- "Green" design and construction that meets LEED standards and compliments the work being completed in the Dorchester Eco Innovation District;
- Revitalization of underutilized property;
- Affordable homeownership and asset development; and
- Construction-related local jobs and workforce diversity.

Project Location & Neighborhood Context

As illustrated in the maps below, the site is located in the Talbot Norfolk Triangle (TNT) area of Dorchester's Codman Square and falls within Dorchester's Eco Innovation District. The TNT is bounded on the north by Talbot Avenue, on the west by New England Avenue and on the South by Norfolk Street. The neighborhood consists of a mix of 1, 2 and 3 family residential buildings midblock; multifamily housing primarily on Talbot Avenue and Norfolk Street; commercial and retail enterprises on Talbot Avenue and Norfolk Street, and scattered industrial properties. In the general vicinity of the

¹ The Fairmount Line, running from Readville to South Station, is the only MBTA commuter rail line lying entirely within Boston city limits. For years since the 2nd World War, it has run through communities of color in Mattapan, Dorchester and Roxbury, while offering little or no service to these communities. A combination of factors (community-led demands for environmental equity; court-mandated mitigation for the Big Dig; and renewed concern for cost-effective alternatives to auto transportation) have led to binding commitments by the MBTA to upgrade the line and service, and to open four new stops in formerly underserved areas, by the close of 2011. Two of the stops lie in CSNDC's service area (Four Corners, and Talbot Avenue). In 2004, CSNDC joined with three other CDC's (Dorchester Bay, Mattapan, and South-west Boston) in the Fairmount Collaborative, to plan for and carry out the physical and social redevelopment needed to support expansion of the Line. The Collaborative has sponsored a nationally recognized planning study by Goody-Clancy (copies of which are available upon request), won several grants to support its work (from Surdna, Hyams, Boston Foundation and others), and sponsored extensive community planning around each of the new stops.

development site there are commercial/industrial uses, including several auto repair and body shops, a junk yard, and numerous restaurants and retail convenience stores.

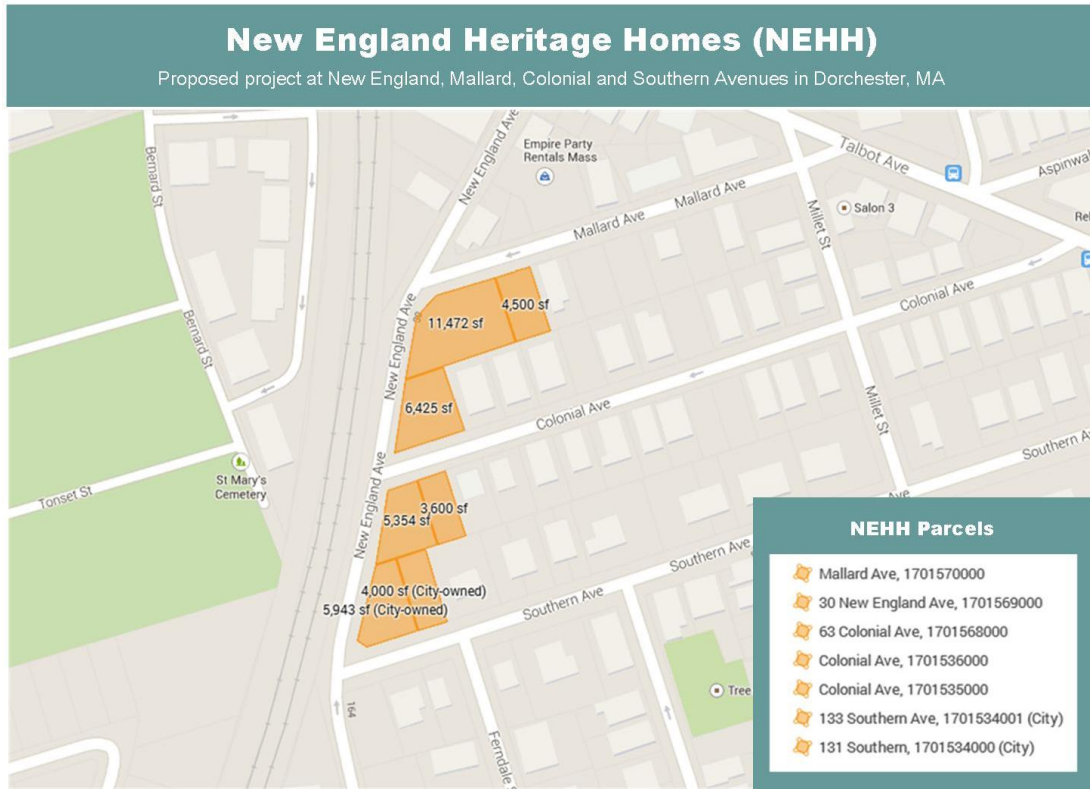


Figure 1 - NEHH Site Map

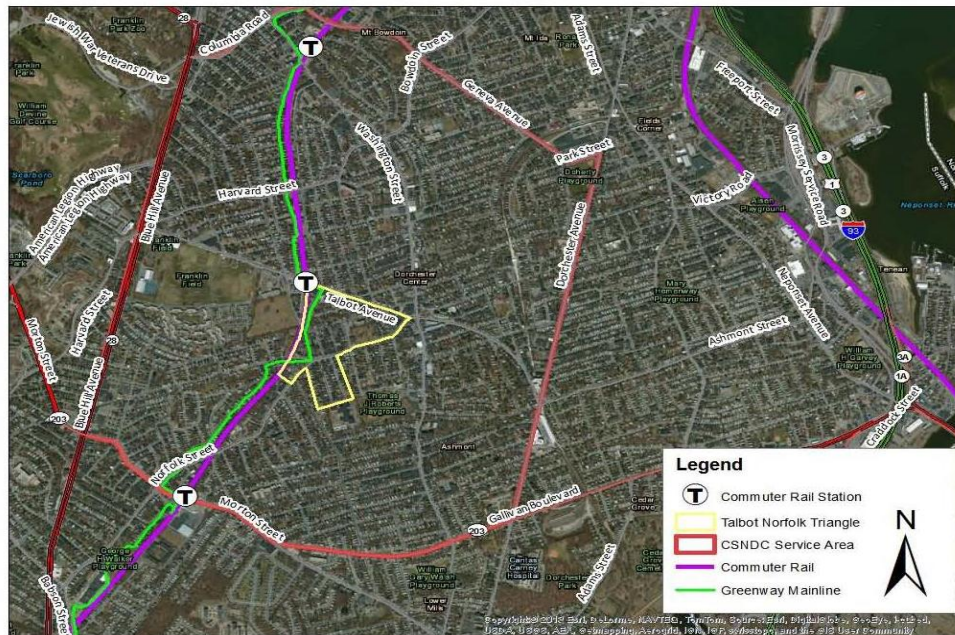


Figure 2 Map of Talbot Norfolk Triangle

Site Area

	Property Address	Parcel #	Square Feet
1.	30 New England Avenue	1701569000	11,472
2.	Colonial Avenue	1701535000	5,354
3.	Colonial Avenue	1701536000	3,600
4.	63 Colonial Avenue	1701568000	6,425
5.	Mallard Avenue	1701570000	4,500
6.	131 Southern Avenue	1701534000	4,000
7.	133 Southern Avenue	1701534001	5,943
	TOTAL:		41,294

Acquisition

CSNDC purchased the first five parcels of the site area in April 2015. CSNDC anticipates acquiring the last two parcels on Southern Avenue from the City of Boston through Tentative Designation in December 16, 2015.

Existing Conditions

All site parcels are vacant land. The combined square footage of the site is approximately **41,294** square feet, and the parcels are all in Dorchester's 3F-6000 zoning district.

Phase I and Phase II Environmental Site Assessments have been completed on the New England Avenue, Colonial Avenue, and Mallard Avenue parcels. The Phase II indicated a need for Limited Removal Action (LRA), which was completed in July 2015.

Proposed Use

The proposed project involves the new construction of 10 two to three story buildings, yielding 17 units of fee simple housing, one of which will be an income restricted rental unit available to the homebuyer to lease for rental income. Three of the new buildings will be constructed as unattached structures for single family homes, six will be constructed as attached duplexes (each to be sold separately as single family homes) and one will be constructed as a stacked two-family home.

Unit Type	Number of New Buildings	Number of Units	Gross Square Feet per Unit	Net Square Feet per Unit
Single family: 3BR	3	3	1566	1397
Duplexes sold as single family: 3 BR	6	12	3219	1280
Two-Family <i>1st Floor: 2BR</i> <i>2nd & 3rd Floor: 3BR</i>	1	1	1048	850
		1	1703	1420
Totals	10	17		

Design Narrative

The design concept for New England Heritage Homes was developed to accomplish a number of very important program goals. The goals included developing the site plan, building types and units so that they would be compatible with those in the Talbot Norfolk Triangle Neighborhood, and enhance the environment, living conditions, and property values throughout the Triangle. The site design concept also attempt to create and finalize the neighborhood edge at the end to Mallard Avenue, Colonial Avenue and Southern Avenue at New England Avenue.

The site concept design uses the placement of four types of fee simple houses, including single family, attached single family, and stacked and flat two family houses to complete the urban design character of the neighborhood, at New England Avenue. The development will have address and front doors on all the streets. The landscape treatment along the length of the project at New England Avenue will serve as a connector between Norfolk Street and Talbot Avenue. The plan encourages use and circulation along New England Avenue and will assist in spurring activity and redevelopment at both ends of the street.

The four proposed unit types address the compatibility issues of size, shape, scale, architectural character and elements in the neighborhood. They are single and two family structures, 2 and three stories high with sloped roofs, individual entrances with front and rear facing yard areas, and parking. The structure have poured concrete foundations with wood frame construction, asphalt shingle roofing and hardi plank siding.

The Architectural elements include bay windows, entry porches with canopies, wood clad double hung windows and picket fencing.

The material products and components proposed were selected for their energy conservation characteristics, durability and aesthetic quality.

The type of structures, materials and components provided are consistent with the existing character of the housing in the neighborhood. The consistence of height, scale, size and architectural character and elements will create continuity and enhance the character of the environment, help maintain neighborhood property values and support current and future marketability.

The buildings are designed to stretch code requirements. Following are the special feature included in the design and construction:

Foundations:

The structures have 10" reinforced poured concrete foundation wall sitting on 10" x 24" continuous concrete footing. Four inch slabs on grade are used in basements. Dampproofing will be provided on the exterior foundation wall and 3" R-20 foam insulation will be provided at the interior of the foundation walls. 3½" 100 PSI R-20 expanded polystyrene insulation will be installed under the basement slabs.

Exterior Wood Frame Wall Construction:

Wall construction will provide a single 2" x 6" wood stud wall with the standard interior finish wall material and a layer of exterior sheathing covered by a 3" hunter insulation panel with sheathing board applied and final exterior siding. The 5½" of insulation in the stud cavity will provide a minimum R-21 and a 2" Hunter Insulation panel will provide an additional R-10 to the exterior wall construction for a total R-30. Construction provides for Tyvek, zip, or other building wrap system plus exterior siding.

Wood Frame Roof Construction:

The project provides for two situations for the wood frame roof construction.

The First Situation: the first situation provided for is when habitable space is not present above the Attic floor framing joist and under the sloped roof. When habitable space is not provided between the attic joist and the roof rafter, the insulation will all be installed at the attic joist level in two perpendicular layers. One layer being installed between the ceiling joist and one layer being installed perpendicular to the joist direction, combining for a total of 15" minimum thickness and a R=50 rating.

The Second Situation: the second situation provides for a condition when there is habitable space in the attic. In this case, the insulation is provided at the sloped roof framing in a construction component made up of the rafter framing and plywood sheathing and R-50 netted cellulose, fiberglass batt, or low density foam insulation between the rafter.

Other building components used to help achieve energy efficiency are listed below:

Windows: Double hung, double glazed, U-30 windows are specified for the project to further minimize energy consumption.

Solar Ready Roof Systems: The buildings are all designed as solar ready. All components needed for installation of solar panel will be included in the base design. A disconnect switch and all necessary conduit from roof to basement will be included.

Landscaping will be provided to enhance each home and the adjacent community. The design and construction for the New England Heritage Homes project will make use of all currently available technology to ensure energy efficiency.

Green Design / LEED

NEHH represents the latest effort by CSNDC to produce "green" sustainable real estate developments. The project will also compliment the sustainability work already underway in the Eco Innovation District. The project will conform to LEED and City of Boston green standards. Since the project is within the boundaries of the Dorchester Eco Innovation District, we also hope to be able to raise energy and resource use standards on some or all of these homes while still producing quality, affordable homeownership opportunities for local residents.

Proposed For Sale Units

The proposed unit mix includes 8 units affordable to residents earning 80% AMI or below, and 8 units affordable to residents earning 100% AMI or below.

Proposed For Sale Units					
Unit Type	80% AMI		100% AMI		Total
	Number of Units	Sales Price	Number of Units	Sales Price	
Unattached Single Family: 3BR	2	\$275,000	1	\$330,000	3
Attached Single Family: 3 BR	6	\$275,000	6	\$330,000	12
2 Family: 3BR and 2 BR units	-	-	1	\$415,000	1
Totals	8		8		16

Funding and Financing

CSNDC has received acquisition and predevelopment financing from the Local Initiatives Support Corporation and The City of Boston's Department of Neighborhood Development (through the Fairmount Corridor Acquisition Loan Fund "FCALF"). CSNDC has also been awarded grant awards from MassDevelopment's Brownfields Site Assessment Grant, and the Massachusetts Pathway to Zero Grant program. In addition, the project proponent is in the process of applying for \$1.67MM of City of Boston funding.

Permitting & Zoning

Initial NEHH drawing sets were submitted to Boston ISD on January 23, 2015. The most recent ISD rejection letters were issued on May 7, 2015. Amended drawing sets were submitted on December 8, 2015 and we expect that ISD will issue rejection letters within 30 days to address zoning violations. An application to the Zoning Board of Appeal is now being prepared.

NEHH is subject to Boston Redevelopment Authority Article 80 Small Project Review. An introductory meeting with BRA was held on Wednesday, December 9, 2015. An application was submitted to the BRA on December 9, 2015.

Zoning Map

As shown (below) zoning for the new construction site are all 3F-6000.

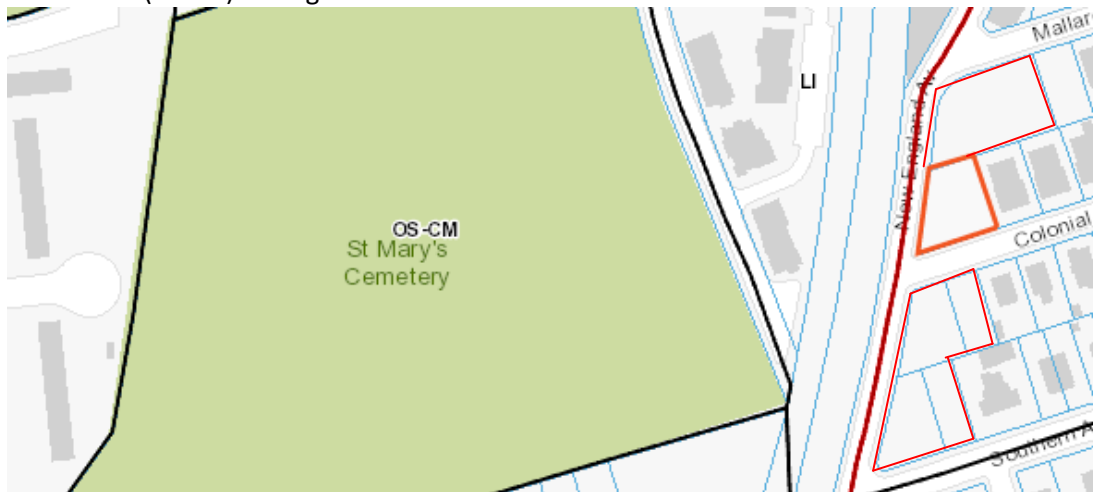


Figure 3 Zoning Map

Marketing and Lease Up

CSNDC has commissioned a market study which has concluded that the project is appropriate for the site, that there is significant demand for it, and that market absorption will be satisfactory. CSNDC has a successful history with affordable homeownership projects, including our Franklin Field and Norwell Whitfield Homes projects. More recently, CSNDC has completed the renovation and successful sale of four multi-family homes through the Neighborhood Stabilization Program.

Community and Elected Official Support

CSNDC has engaged in extensive discussions with neighborhood groups and businesses, including the Talbot Norfolk Triangle Neighbors United and Codman Square Neighborhood Council. We have also been working in partnership with the City of Boston's Department of Neighborhood Development (DND) concerning project design, and conducted outreach with local elected and appointed officials.

Construction

Construction is projected to begin in August 2016 and will follow a 12 month schedule. Projected completion is August 2017.

Project Team

- Sponsor / Developer: CSNDC
- Architect: Michael Washington Architects, Inc.
- Green Design: Conservation Services Group
- Environmental Engineering: McPhail Associates, LLC
- Project Attorney: Goulston and Storrs
- Zoning Attorney: McKenzie and Associates
- Marketing and Sale: Robert Nichols, Boston Trust Realty Group

Public Benefits: Affordable Housing and Job Creation

New England Heritage Homes will provide a range of community benefits, including:

- Homeownership & Neighborhood Stabilization - Dorchester has seen an influx of new residents and rising real estate costs in recent years because of its proximity to public transportation and access to downtown Boston. NEHH addresses a significant need in the community to provide homeownership opportunities that will help stabilize the neighborhood through community asset building.
- New Construction - All of the units will be new construction and built to at least LEED Silver certification.
- Affordable Housing - As Dorchester prices continue to rise there is a strong need to keep longtime residents, and new families from being out priced. NEHH consists entirely of affordable units and strongly aligns with the affordability goals outlined in the Mayor Walsh's "Housing a Changing City 2030" housing plan.
- Transit Oriented Development - NEHH is within walking distance to public transportation, which will encourage less need for vehicular travel.
- Job Creation - NEHH will also be an agent for economic development by providing approximately 30-40 construction jobs over a 12 month construction period.
- Revitalization Of Site - The project will revitalize abandoned and vacant lots and provide new infrastructure and landscaping.

Traffic, Parking and Access

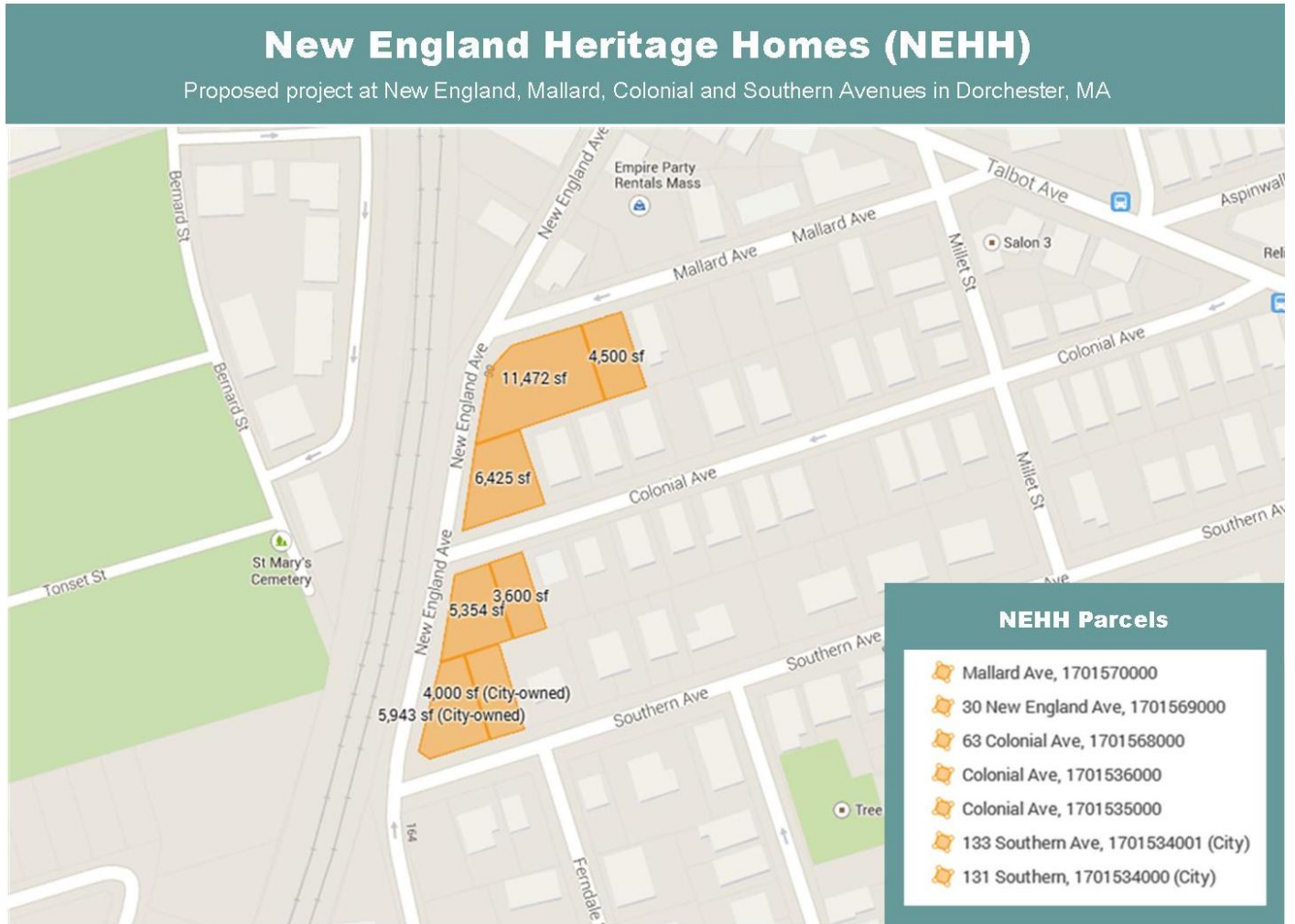
The current design calls for 17 parking spaces. The ratio of 1 space per unit should be sufficient, especially considering the sites proximity to the Fairmount Line's Talbot train station. We do not anticipate a significant traffic impact and accordingly we have not commissioned a traffic study at this time.

Pedestrians will have ease of access to the site and the construction plan will include rehabilitation of the City of Boston sidewalks along the entire perimeter of the site, per Boston Public Works requirements.

NEHH will also have access to a range of public transportation options. The MBTA #22 bus line (.1 miles from the site, with frequent service) provides access to the Red Line Ashmont Station and the Orange Line Jackson Square Station. The site is within 1 mile of Shawmut Station as well. Additionally, the Talbot Avenue Stop on the Fairmount commuter line is currently open.

Map and Photos

1) Locus Map Showing parcels



2) Site Photos

a) View from New England Avenue onto Mallard Avenue



b) View from Colonial Avenue onto Mallard Avenue



c) View from New England Avenue



d) View from Colonial Avenue onto New England Avenue



e) View of Colonial Avenue parcel facing south



f) View of New England Avenue from Southern Avenue



g) View of Southern Avenue Parcels



Zoning Analysis

Note: This analysis is based on drawings submitted to Boston ISD on December 8, 2015. Sponsor anticipates that the ISD will issue rejection letters and plans to file appeals with the Boston Zoning Board of Appeal.

129 SOUTHERN AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	1,708 SF
MIN. LOT WIDTH:	40 FT	27.41' FT
MIN. LOT FRONTAGE:	40 FT	27.41' FT
MAX. F.A.R.:	0.4	0.94
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35FT
MIN. OPEN SPACE:	750 SF PER UNIT	1,087 SF
MIN. FRONT YARD DEPTH:	15 FT/MOD.	15.3 FT
MIN. SIDE YARD DEPTH:	10FT	10.9 FT
MIN. REAR YARD DEPTH:	20FT	10.1 FT
MIN. PARKING:	1/UNIT	1

70 NEW ENGLAND AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2,343 SF
MIN. LOT WIDTH:	40 FT	34.27 FT
MIN. LOT FRONTAGE:	40 FT	34.27 FT
MAX. F.A.R.:	0.4	0.68
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35FT
MIN. OPEN SPACE:	750 SF PER UNIT	958 SF
MIN. FRONT YARD DEPTH:	15 FT/MOD.	16.4 FT
MIN. SIDE YARD DEPTH:	10FT	10.1 FT
MIN. REAR YARD DEPTH:	20FT	19.9 FT
MIN. PARKING:	1/UNIT	1

63 COLONIAL AVENUE (BUILDING E)		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2305 SF
MIN. LOT WIDTH:	40 FT	29.67 FT
MIN. LOT FRONTAGE:	40 FT	29.67 FT
MAX. F.A.R:	0.4	0.67
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1733 SF
MIN. FRONT YARD DEPTH:	15 FT/MOD.	8 FT
MIN. SIDE YARD DEPTH:	10FT 10 FT	22.1 FT 18.1 FT
MIN. REAR YARD DEPTH:	20FT	N/A
MIN. PARKING:	1/UNIT	1

42 NEW ENGLAND AVENUE (BUILDING E)		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2067
MIN. LOT WIDTH:	40 FT	33.77
MIN. LOT FRONTAGE:	40 FT	33.77
MAX. F.A.R:	0.4	0.69
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1568
MIN. FRONT YARD DEPTH:	15 FT/MOD.	11.9
MIN. SIDE YARD DEPTH:	10 FT	13.8
MIN. REAR YARD DEPTH:	20FT	22.1
MIN. PARKING:	1/UNIT	1

30 NEW ENGLAND AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2686
MIN. LOT WIDTH:	40 FT	55.61
MIN. LOT FRONTAGE:	40 FT	55.61
MAX. F.A.R:	0.4	0.58
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1924
MIN. FRONT YARD DEPTH:	15 FT/MOD.	6.8
MIN. SIDE YARD DEPTH:	10FT 10 FT	10.9 15.1
MIN. REAR YARD DEPTH:	20FT	14.3
MIN. PARKING:	1/UNIT	1

72 COLONIAL AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2067
MIN. LOT WIDTH:	40 FT	8.81
MIN. LOT FRONTAGE:	40 FT	8.81
MAX. F.A.R:	0.4	0.77
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1495
MIN. FRONT YARD DEPTH:	15 FT/MOD.	25.5
MIN. SIDE YARD DEPTH:	10FT 10 FT	8.8
MIN. REAR YARD DEPTH:	20FT	19.9
MIN. PARKING:	1/UNIT	1

70 COLONIAL AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2387
MIN. LOT WIDTH:	40 FT	26.52
MIN. LOT FRONTAGE:	40 FT	26.52
MAX. F.A.R:	0.4	0.67
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1747
MIN. FRONT YARD DEPTH:	15 FT/MOD.	25.5
MIN. SIDE YARD DEPTH:	10FT 10 FT	10
MIN. REAR YARD DEPTH:	20FT	27.6
MIN. PARKING:	1/UNIT	1

131 SOUTHERN AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	1715
MIN. LOT WIDTH:	40 FT	27.52
MIN. LOT FRONTAGE:	40 FT	27.52
MAX. F.A.R:	0.4	0.94
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35FT
MIN. OPEN SPACE:	750 SF PER UNIT	1106
MIN. FRONT YARD DEPTH:	15 FT/MOD.	15.3
MIN. SIDE YARD DEPTH:	10FT	11
MIN. REAR YARD DEPTH:	20FT	10.1 FT
MIN. PARKING:	1/UNIT	1

133 SOUTHERN AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	3303
MIN. LOT WIDTH:	40 FT	57.17
MIN. LOT FRONTAGE:	40 FT	57.17
MAX. F.A.R:	0.4	0.47
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	2591
MIN. FRONT YARD DEPTH:	15 FT/MOD.	15.3
MIN. SIDE YARD DEPTH:	10FT 10 FT	11.8 8
MIN. REAR YARD DEPTH:	20FT	11.8
MIN. PARKING:	1/UNIT	1

131 SOUTHERN AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	1749
MIN. LOT WIDTH:	40 FT	33.05
MIN. LOT FRONTAGE:	40 FT	33.05
MAX. F.A.R:	0.4	0.91
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35FT
MIN. OPEN SPACE:	750 SF PER UNIT	1026
MIN. FRONT YARD DEPTH:	15 FT/MOD.	13
MIN. SIDE YARD DEPTH:	10FT	10.1
MIN. REAR YARD DEPTH:	20FT	9.1
MIN. PARKING:	1/UNIT	1

68 COLONIAL AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	3555
MIN. LOT WIDTH:	40 FT	39.5
MIN. LOT FRONTAGE:	40 FT	39.5
MAX. F.A.R:	0.4	0.44
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	2793
MIN. FRONT YARD DEPTH:	15 FT/MOD.	15
MIN. SIDE YARD DEPTH:	10FT 10 FT	3 12
MIN. REAR YARD DEPTH:	20FT	42.6
MIN. PARKING:	1/UNIT	1

36 MALLARD AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	3555
MIN. LOT WIDTH:	40 FT	40
MIN. LOT FRONTAGE:	40 FT	40
MAX. F.A.R:	0.4	0.49
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	4498
MIN. FRONT YARD DEPTH:	15 FT/MOD.	17.5
MIN. SIDE YARD DEPTH:	10FT 10 FT	13.5 11.5
MIN. REAR YARD DEPTH:	20FT	27
MIN. PARKING:	1/UNIT	1

34 MALLARD AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2390
MIN. LOT WIDTH:	40 FT	26.55
MIN. LOT FRONTAGE:	40 FT	26.55
MAX. F.A.R:	0.4	0.67
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1769
MIN. FRONT YARD DEPTH:	15 FT/MOD.	16.8
MIN. SIDE YARD DEPTH:	10FT 10 FT	10
MIN. REAR YARD DEPTH:	20FT	36.3
MIN. PARKING:	1/UNIT	1

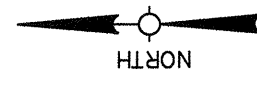
32 MALLARD AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2429
MIN. LOT WIDTH:	40 FT	26.99
MIN. LOT FRONTAGE:	40 FT	26.99
MAX. F.A.R:	0.4	0.66
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35FT
MIN. OPEN SPACE:	750 SF PER UNIT	1820
MIN. FRONT YARD DEPTH:	15 FT/MOD.	16.8
MIN. SIDE YARD DEPTH:	10FT	10.5
MIN. REAR YARD DEPTH:	20FT	36.3
MIN. PARKING:	1/UNIT	1

30 MALLARD AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2390
MIN. LOT WIDTH:	40 FT	26.55
MIN. LOT FRONTAGE:	40 FT	26.55
MAX. F.A.R:	0.4	0.67
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1769
MIN. FRONT YARD DEPTH:	15 FT/MOD.	16.8
MIN. SIDE YARD DEPTH:	10FT 10 FT	10
MIN. REAR YARD DEPTH:	20FT	36.3
MIN. PARKING:	1/UNIT	1

28 MALLARD AVENUE		
ZONING INFORMATION		
ZONING: 3F 6000 WARD 14 1 Family ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6,000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	2390
MIN. LOT WIDTH:	40 FT	26.55
MIN. LOT FRONTAGE:	40 FT	26.55
MAX. F.A.R:	0.4	0.67
MAX. BLDG. HEIGHT:	2 ½ STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1769
MIN. FRONT YARD DEPTH:	15 FT/MOD.	16.8
MIN. SIDE YARD DEPTH:	10FT 10 FT	10
MIN. REAR YARD DEPTH:	20FT	36.3
MIN. PARKING:	1/UNIT	1

CSNDC: New England Heritage Homes
BRA Article 80, Small Project Review Application

Appendix A: Architectural Drawings



AVENUE

(PUBLIC-40' WIDE)

No. 24

MALLARD

N/F
BINNIS, VINOY



AVENUE

AVENUE

(PUBLIC-40' WIDE)

COLONIAL

(PUBLIC-40' WIDE)

N/F
BARNES, LOLETA P.



NEW
ENGLAND

AVENUE

(PUBLIC-50' WIDE)

SOUTHERN

SUBDIVISION PLAN OF LAND

MALLARD AVENUE
NEW ENGLAND AVENUE
COLONIAL AVENUE
SOUTHERN AVENUE

BOSTON, MASS.

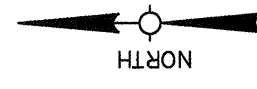
SCALE : 1" = 20'
DECEMBER 7, 2015
AGH ENGINEERING
166 WATER STREET
STOUGHTON, MA 02072
PHONE: (781)344-2386



I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

Anton Zersznowicz

20 0 10 20 40 80
GRAPHIC SCALE



AVENUE

(PUBLIC-40' WIDE)

No. 24

MALLARD

N/F
BINNS, VINOY



AVENUE

N/F
HARDY, CINDY TS

No. 61

AVENUE

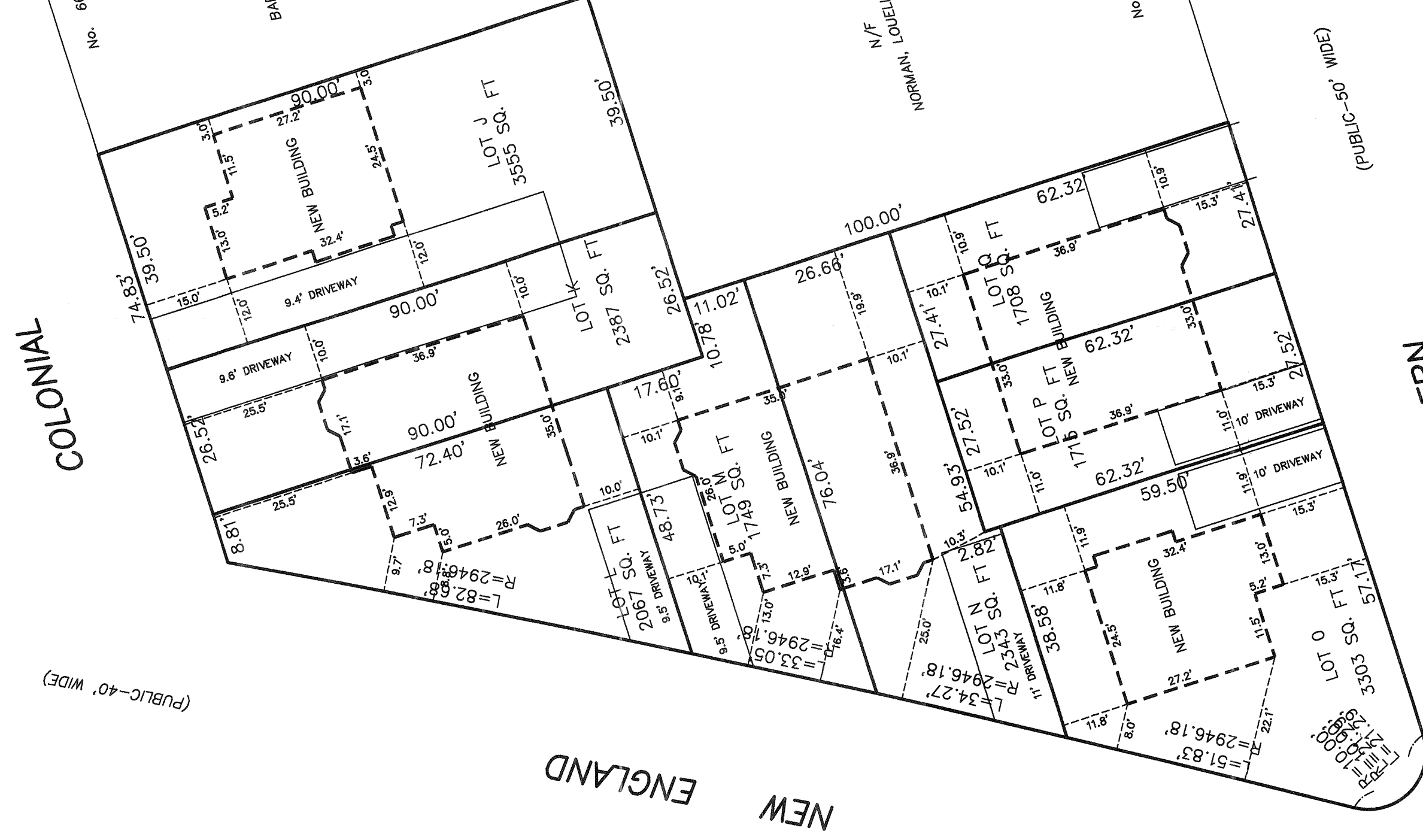
(PUBLIC-40' WIDE)

COLONIAL

(PUBLIC-40' WIDE)

No. 66

N/F
BARNES, LOLETA P.



NEW
ENGLAND

N/F
NORMAN, LOLETA

No. 125-127

AVENUE

(PUBLIC-50' WIDE)

SOUTHERN

PLOT PLAN

MALLARD AVENUE
NEW ENGLAND AVENUE
COLONIAL AVENUE
SOUTHERN AVENUE

BOSTON, MASS.

SCALE : 1" = 20' DECEMBER 7, 2015

AGH ENGINEERING

166 WATER STREET SToughton, MA 02072

PHONE: (781)344-2386

20 0 10 20 40 80
GRAPHIC SCALE



Anton Szerszunowicz



Micheal Washington Architects Inc.

891 Centre Street
Jamaica Plain, MA 02130
Phone: 617-390-5515
E-MAIL: MWAINC1@HOTMAIL.COM

PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

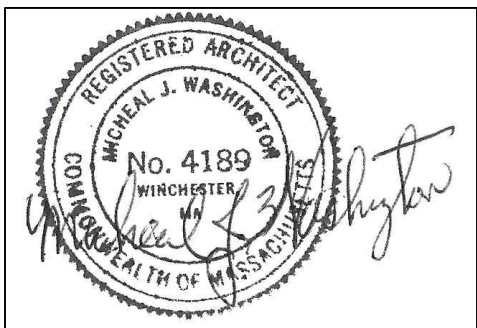
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

- 3 - A TYPES = 3 UNITS
3 - E TYPES = 6 UNITS
3 - EM TYPES = 6 UNITS
1 - H TYPES(2F)= 1 UNIT

TOTAL 16 UNITS



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SHEET TITLE

SITE PLAN

16 UNITS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1" = 20'

DATE: 12/01/2015

DRAWN BY:

CHECKED BY: MW

FILE:NEHH.dwg

DRAWING NO.

L-1

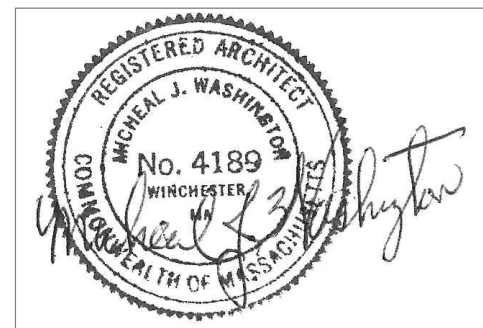
133 SOUTHERN AVENUE (BUILDING A)
”NEW ENGLAND HERITAGE HOMES” AFFORDABLE
HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:
MICHEAL WASHINGTON ARCHITECTS, INC.

891 CENTRE ST.
JAMAICA PLAIN, MA 02130
TEL: (617) 390-5515
EMAIL: mwainc1@hotmail.com



- 1. ALL DRAWINGS WILL BE UPDATED AND MODIFIED
- 2. ALL GENERAL DRAWINGS TO BE UPDATED INCLUDING REMOVAL OF HUNTER PANELS AND DOWNGRADING R VALUES TO CURRENT CODE.
- 3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

- 1. ALL WORK AND PERMITS AND APPROVALS WILL BE OBTAINED BY THE TRADE AND COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE MASSACHUSETTS STATE BUILDING CODE, CURRENT EDITION, AND LOCAL CITY AND TOWN PROVISIONS.
- 2. ALL CONSTRUCTION IS TO COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE, EIGHTH EDITION AND WITH ALL SUPPLEMENTS, AMENDMENTS, AND OTHER APPLICABLE CODES AND REGULATIONS.
- 3. ALL ROOF INSULATION SHALL BE R-49; ALL WALLS SHALL BE R-21 AND IN COMPLIANCE WITH THE IECC REQUIREMENTS. ALL FIRST FLOOR AREAS R-30, IN COMPLIANCE WITH IBC REQUIREMENTS.
- 4. CONTRACTOR IS TO VERIFY ALL DIMENSION IN THE FIELD , NOTIFY ARCHITECT IF THERE ARE ANY VARIATIONS.

133 SOUTHERN AVENUE (BUILDING A)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
		G-4	FINISH SCHEDULE & PARTITION TYPES
		G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
		G-6.1	GENERAL TYPICAL DETAILS
		G-6.2	GENERAL TYPICAL DETAILS
ARCHITECTURAL A UNIT			
A-A.1	BASEMENT & FIRST FLOOR PLAN		
A-A.2	SECOND & ROOF FLOOR PLANS		
A-A.3	EXTERIOR ELEVATIONS		
A-A.4	EXTERIOR ELEVATIONS		
STRUCTURAL A UNIT			
S-A.1	FOUNDATION & FIRST FRAMING PLAN		
S-A.2	SECOND & ATTIC FRAMING PLAN		
S-A.3	ROOF FRAMING PLAN		
ELECTRICAL A UNIT			
E-1.0	BASEMENT		
E-1.1	FIRST & SECOND FLOOR PLAN		

133 SOUTHERN AVENUE		
ZONING INFORMATION		
ZONING: 3F-6000 WARD 14 SINGLE FAMILY	REQUIRED	ACTUAL
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDTL UNIT	3,303 SF
LOT WIDTH:	40 FT	57.17' FT
LOT FRONTAGE:	40 FT	57.17' FT
F.A.R:	0.4	0.47
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	2,591 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	15.3 FT
SIDE YARD DEPTH:	10 FT	11.8 FT
	10 FT	8 FT
REAR YARD DEPTH:	20 FT	11.8 FT
PARKING:	1/UNIT	1



30 NEW ENGLAND AVENUE (BUILDING A)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE
HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

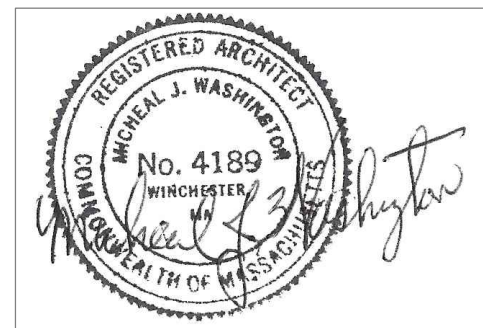
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:

MICHEAL WASHINGTON ARCHITECTS, INC.

891 CENTRE ST.
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30 NEW ENGLAND AVENUE (BUILDING A)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
G-1	EXISTING CONDITIONS	G-4	FINISH SCHEDULE & PARTITION TYPES
BPP	BUILDING PLOT PLAN	G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
ARCHITECTURAL A UNIT			
A-A.1	BASEMENT & FIRST FLOOR PLAN	G-6.1	GENERAL TYPICAL DETAILS
A-A.2	SECOND & ROOF FLOOR PLANS	G-6.2	GENERAL TYPICAL DETAILS
A-A.3	EXTERIOR ELEVATIONS		
A-A.4	EXTERIOR ELEVATIONS		
STRUCTURAL A UNIT			
S-A.1	FOUNDATION & FIRST FRAMING PLAN		
S-A.2	SECOND & ATTIC FRAMING PLAN		
S-A.3	ROOF FRAMING PLAN		
ELECTRICAL A UNIT			
E-1.0	BASEMENT		
E-1.1	FIRST & SECOND FLOOR PLAN		

30 NEW ENGLAND AVENUE		
ZONING INFORMATION	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14 SINGLE FAMILY		
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADD'L UNIT	2,686 SF
LOT WIDTH:	40 FT	55.61' FT
LOT FRONTAGE:	40 FT	55.61' FT
F.A.R:	0.4	0.58
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	1,924 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	6.8 FT
SIDE YARD DEPTH:	10 FT 10 FT	10.9 FT 15.1 FT
REAR YARD DEPTH:	20 FT	14.3 FT
PARKING:	1/UNIT	1



68 COLONIAL AVENUE (BUILDING A)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

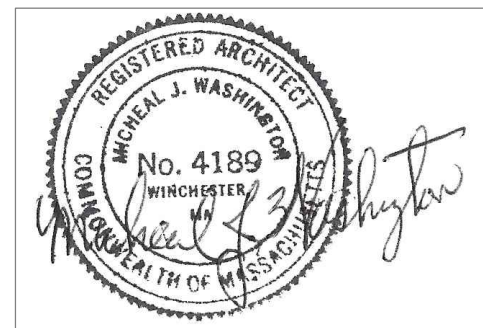
CODMAN SQUARE NEIGHBORHOOD
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- 3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

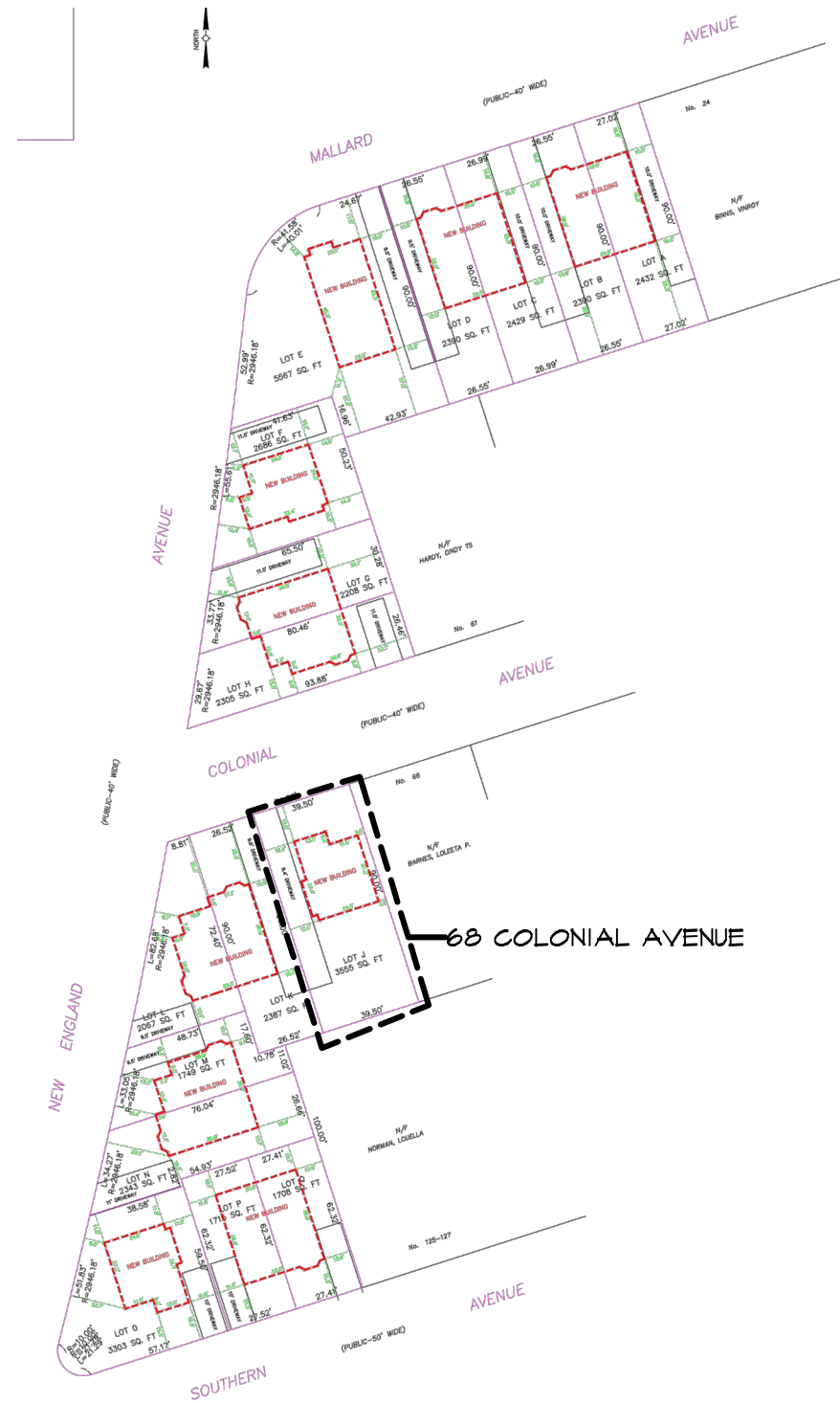
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68 COLONIAL AVENUE (BUILDING A)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
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		G-3	WINDOWS & DOORS SCHEDULE
		G-4	FINISH SCHEDULE & PARTITION TYPES
		G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
		G-6.1	GENERAL TYPICAL DETAILS
		G-6.2	GENERAL TYPICAL DETAILS
ARCHITECTURAL A UNIT			
A-A.1	BASEMENT & FIRST FLOOR PLAN		
A-A.2	SECOND & ROOF FLOOR PLANS		
A-A.3	EXTERIOR ELEVATIONS		
A-A.4	EXTERIOR ELEVATIONS		
STRUCTURAL A UNIT			
S-A.1	FOUNDATION & FIRST FRAMING PLAN		
S-A.2	SECOND & ATTIC FRAMING PLAN		
S-A.3	ROOF FRAMING PLAN		
ELECTRICAL A UNIT			
E-1.0	BASEMENT		
E-1.1	FIRST & SECOND FLOOR PLAN		

68 COLONIAL AVENUE		
ZONING INFORMATION		
ZONING: 3F-6000 WARD 14	REQUIRED	ACTUAL
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADD'L UNIT	3,555 SF
LOT WIDTH:	40 FT	39.50' FT
LOT FRONTAGE:	40 FT	39.50' FT
F.A.R:	0.4	0.44
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	2,793 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	15.0 FT
SIDE YARD DEPTH:	10 FT 10 FT	3.0 FT 12.0 FT
REAR YARD DEPTH:	20 FT	42.6 FT
PARKING:	1/UNIT	1



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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

NOTES

1. SEE 6-4 FOR PARTITION TYPES.
2. SEE 6A-I FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
3. DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR STUD WALL AND EXTERIOR FACE OF FOUNDATION WALL.
4. DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.



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SHEET TITLE

TYPE A- SINGLE FAMILY BASEMENT & FIRST PLANS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

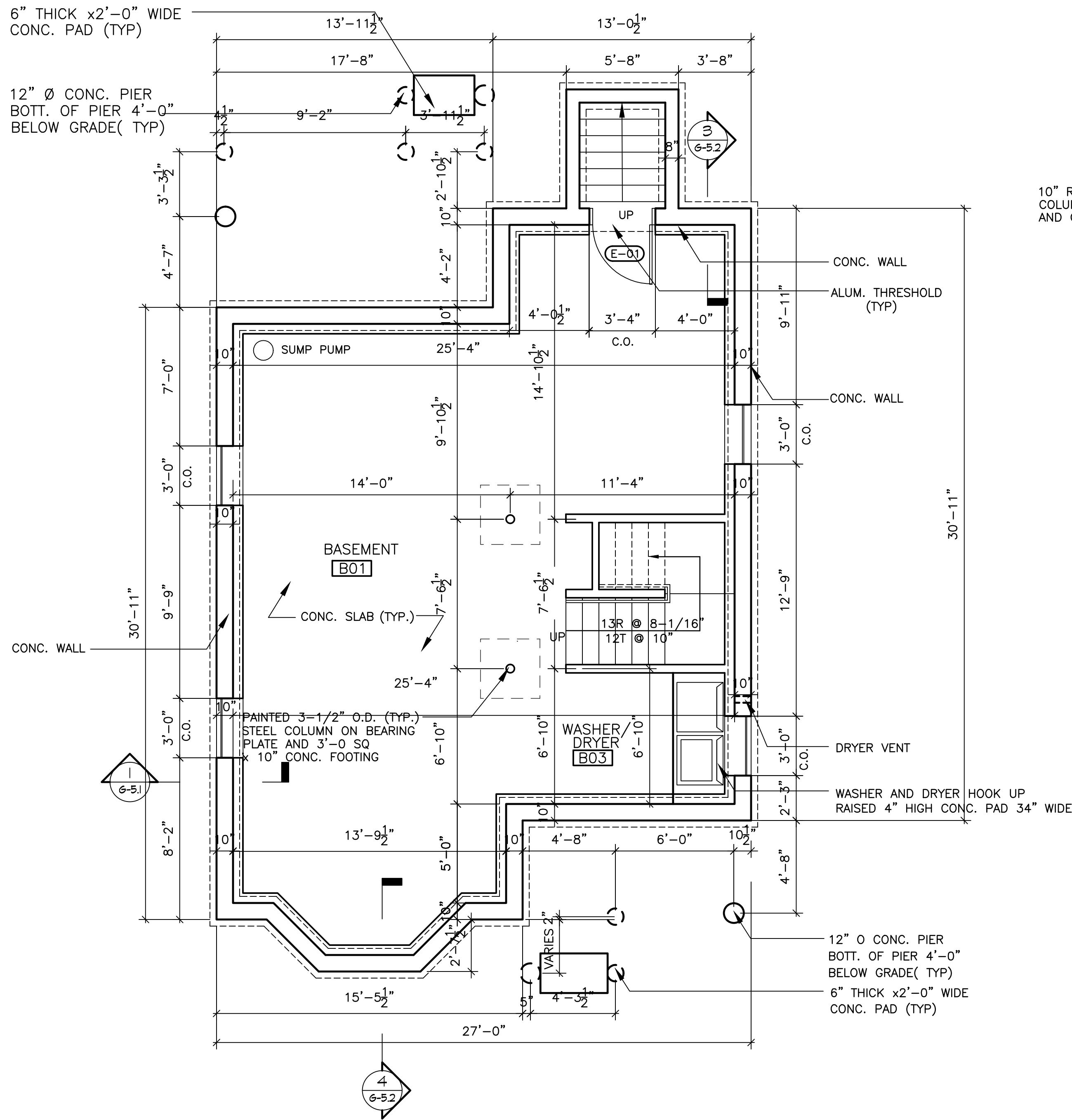
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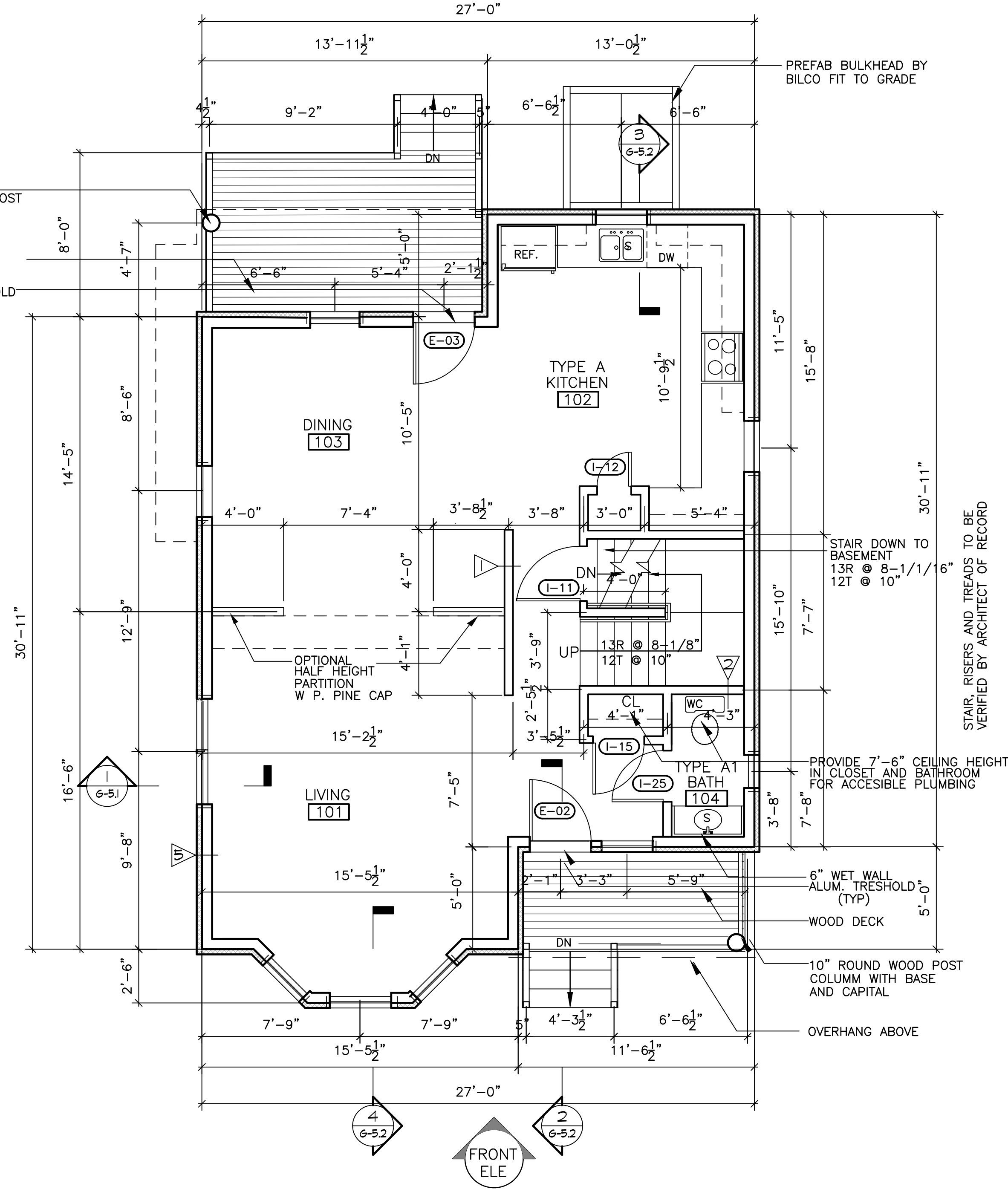
UNIT TYPE A
BASEMENT FLOOR PLAN

SCALE: 1/4"= 1'-0"

10" ROUND WOOD POST
COLUMN WITH BASE
AND CAPITAL

WOOD DECK

ALUM. TRESHOLD



UNIT TYPE A
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

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PROJECT

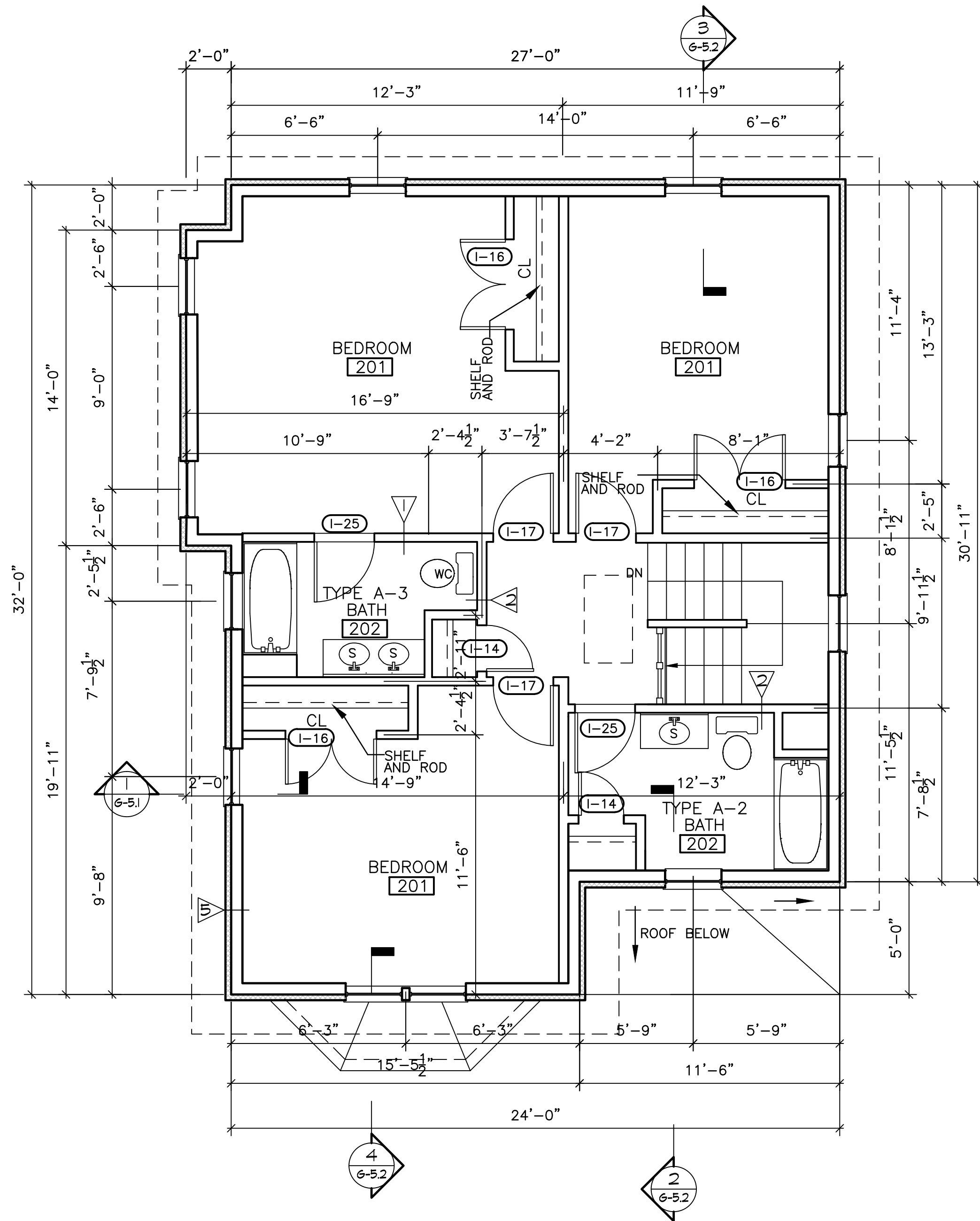
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

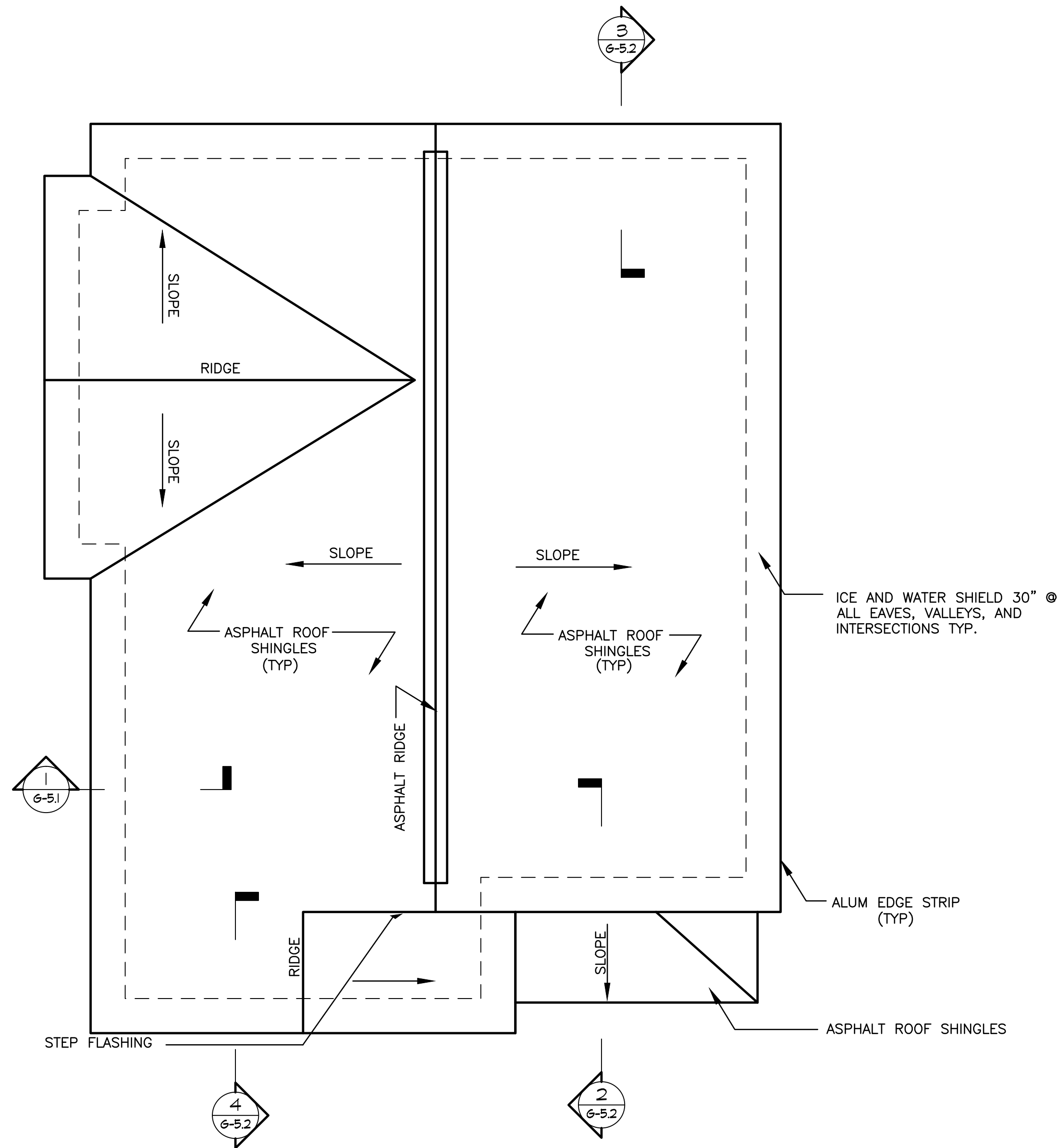
CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



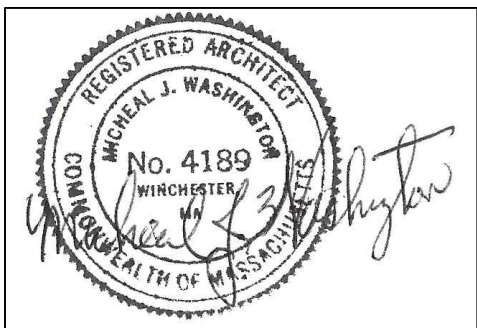
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



UNIT TYPE A ROOF PLAN

SCALE: 1/4"=1'-0"



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SHEET TITLE

TYPE A- SINGLE FAMILY 2ND FLOOR & ROOF PLANS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

DRAWN BY:

CHECKED BY: MW

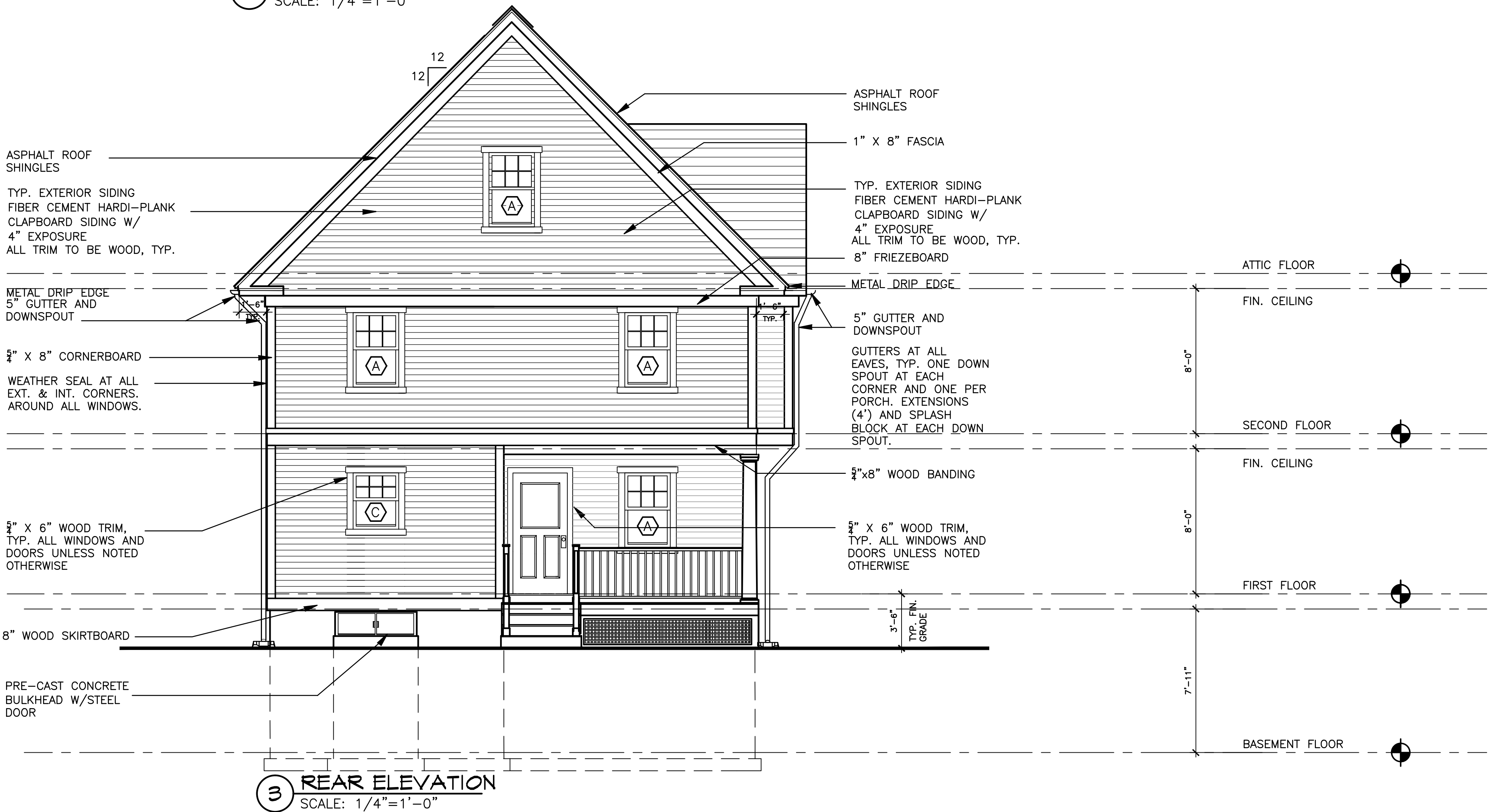
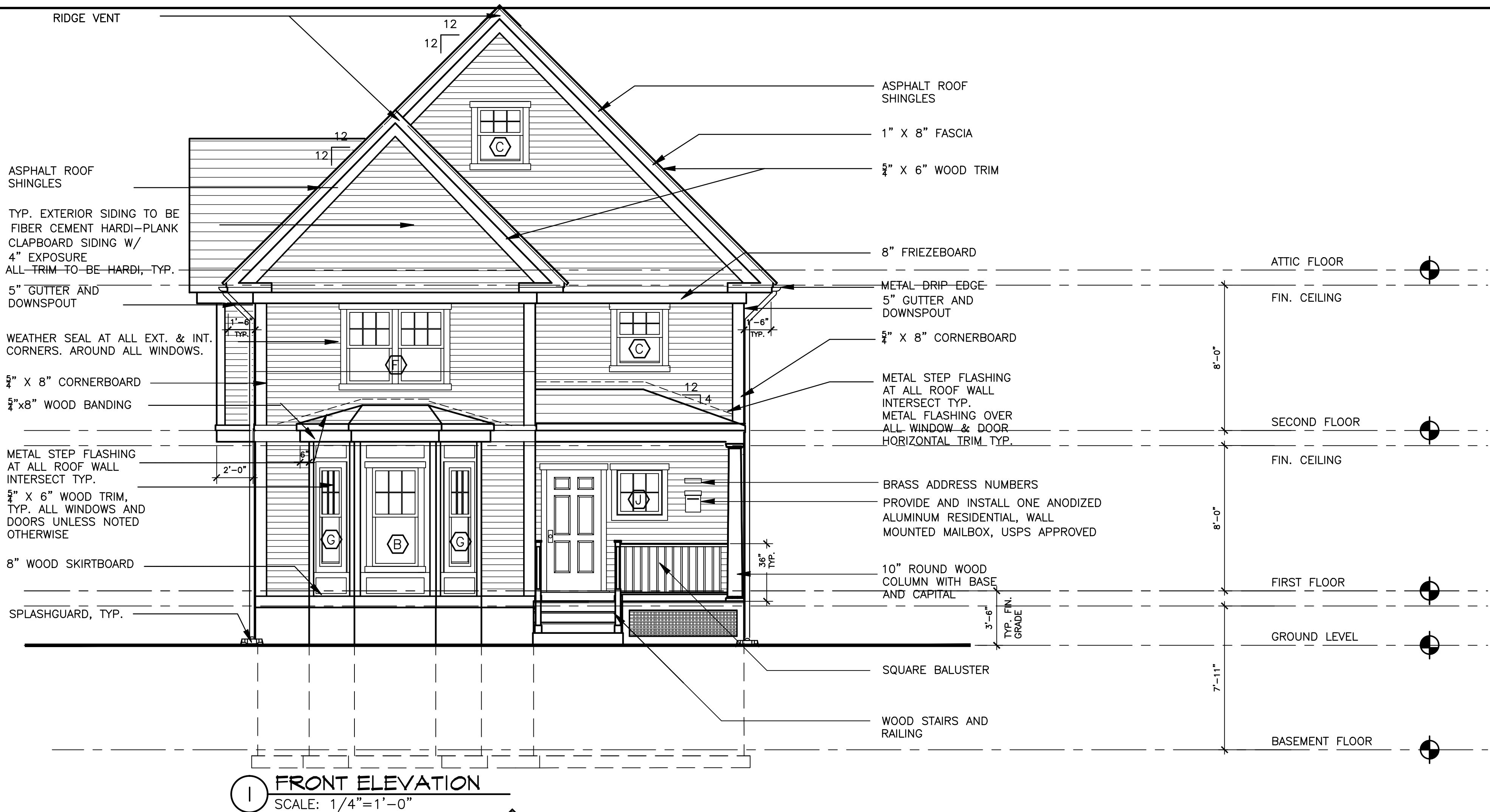
FILE:NEHH.dwg

DRAWING NO.

A-A.2

NOTES:

1. N/A
2. CAULKING
- A. CAULK AND SEAL ALL JOINTS IN EXTERIOR CONSTRUCTION.
- B. CAULK AND SEAL ALL JOINTS BETWEEN PERIMETER OF EXTERIOR DOOR FRAMES, WINDOWS FRAMES, VENTS, LOUVERS, AND OTHER ITEMS OCCURRING IN OPENINGS IN EXTERIOR WALLS, AND THE SURROUNDING CONSTRUCTION.
- C. CAULK AND SEAL ALL INTERIOR PERIMETER JOINTS AT DOORS FRAMES, WINDOWS FRAMES, VENTS, LOUVERS, AND OTHER WALL OPENINGS.
- D. PROVIDE ALL OTHER EXT. AND INT. SEALING CALLED FOR, OR REASONABLY INFERRED FROM DRAWINGS, AND AS REQUIRED TO PROVIDE WEATHERTIGHT CONDITIONS IN EXTERIOR ASSEMBLIES.
- E. COMPLY WITH ALL REQUIREMENTS BY ALL MANUFACTURES/AND PRODUCTS AND GOOD ENGINEERING PRACTICE.
3. SEE GA-6 FOR TYPICAL DETAILS.
4. COORDINATE EXTERIOR FINISH WORK WITH PLUMBING, HVAC AND ELECTRICAL PENETRATIONS.
5. ALL WALL CAPS TO BE ANODIZED ALUMINUM COLOR TO MATCH EXTERIOR.
6. EXPOSED METAL FLASHING COLOR TO MATCH ADJACENT SERVICES.
7. COORDINATE NUMBER OF EXT. STAIR TREADS AND RISERS TO MATCH GRADES AT EACH LOCATION.



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PROJECT

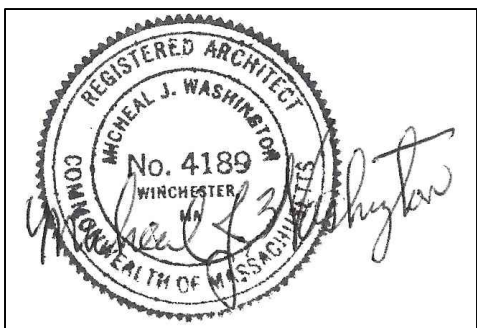
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

TYPE A- SINGLE FAMILY EXTERIOR ELEVATIONS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

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FILE:NEHH.dwg

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A-A.3

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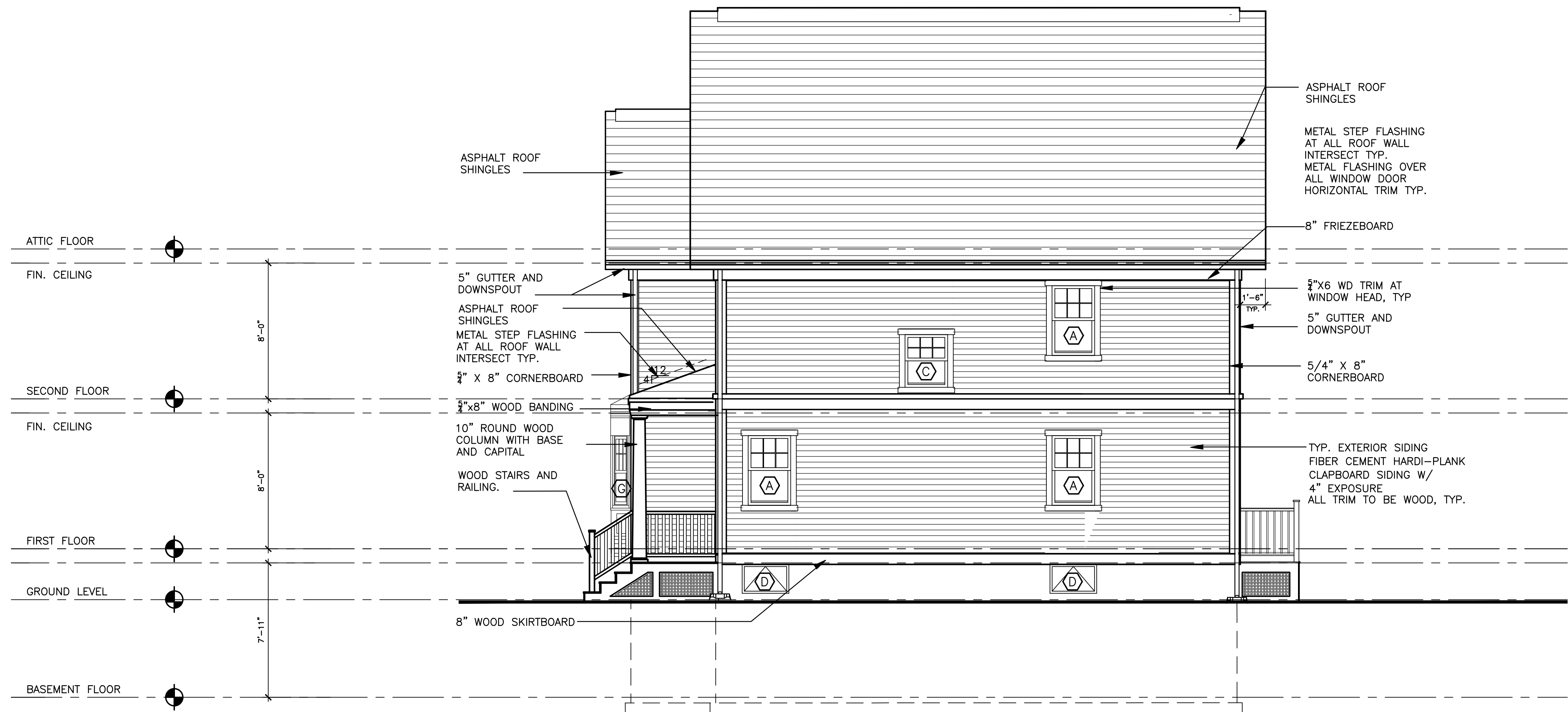
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

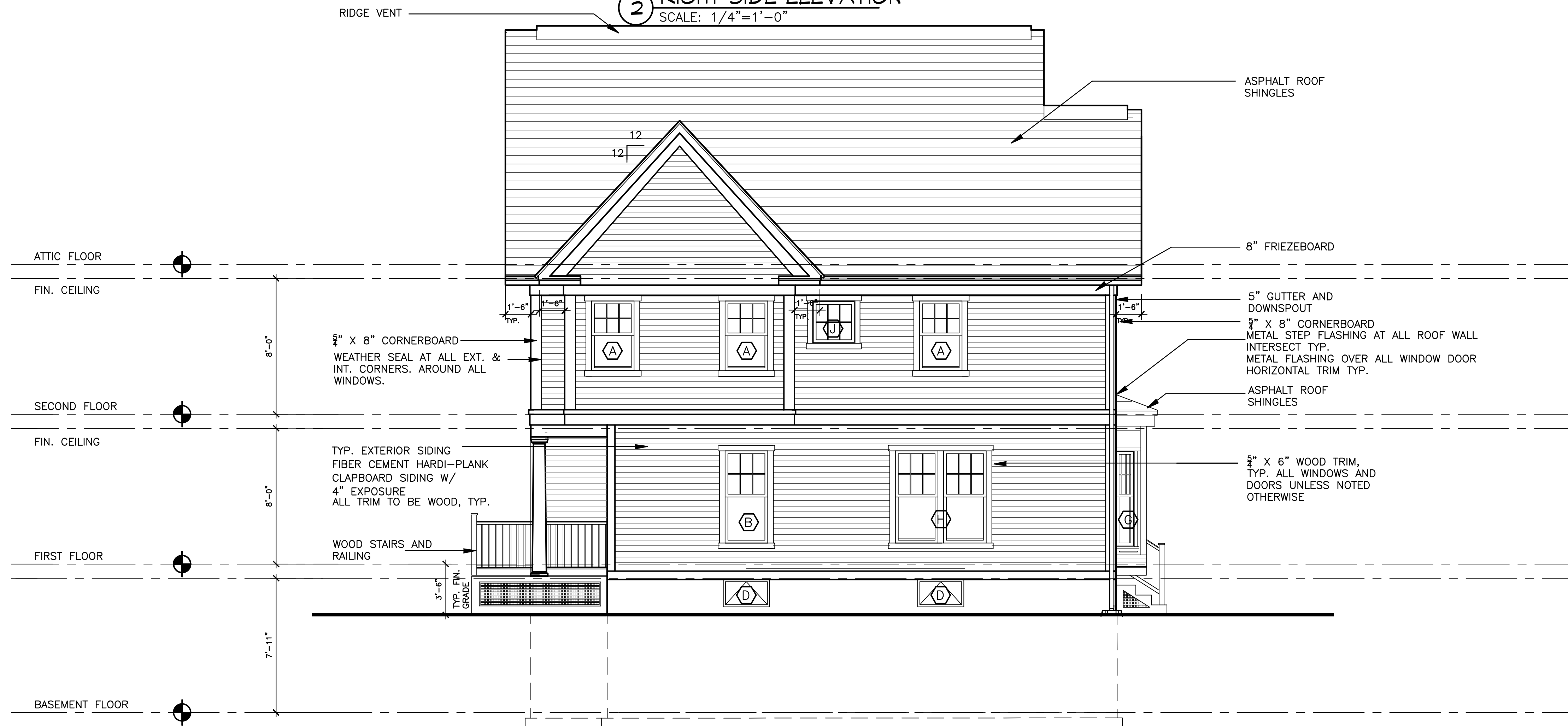
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

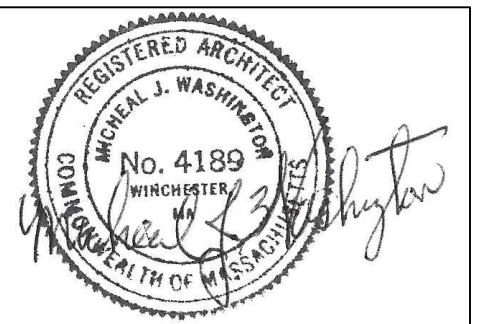
DORCHESTER, MASSACHUSETTS



2 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



4 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



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SHEET TITLE

TYPE A- SINGLE FAMILY EXTERIOR ELEVATIONS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"
DATE: 12/01/2015

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FILE:NEHH.dwg

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A-A.4

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PROJECT

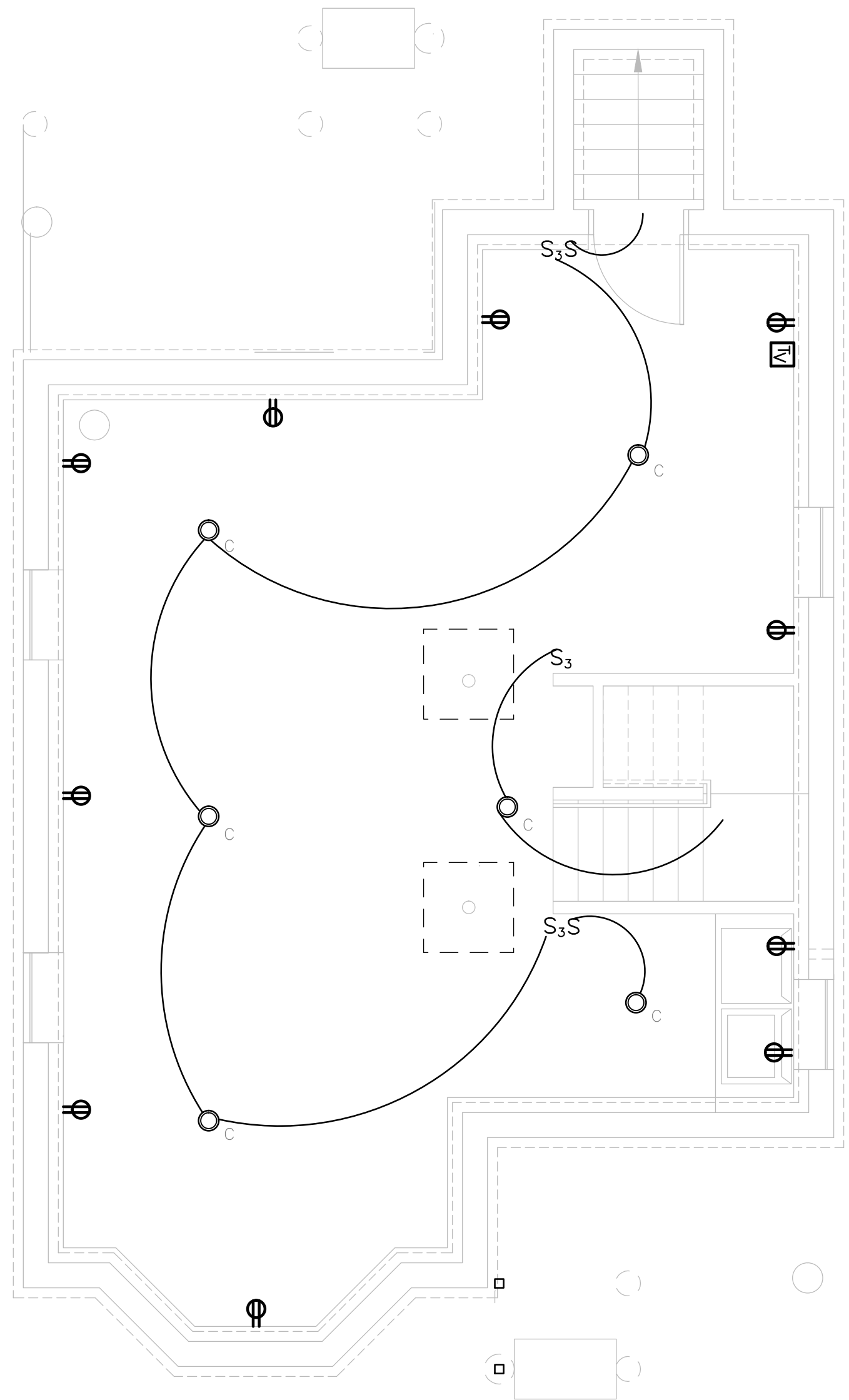
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



BASEMENT ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

ELECTRICAL SYMBOLS

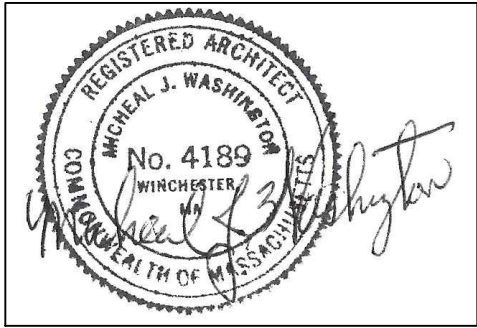
- CEILING MOUNTED LIGHT FIXTURE.
- WALL MOUNTED LIGHT FIXTURE.
- 2'X2' OR 2'X4' FLUORESCENT LIGHT FIXTURE.
- 1'x4' FLUORESCENT WALL/CEILING MOUNTED LIGHT FIXTURE.
- S SINGLE POLE LIGHT SWITCH
- S₃ THREE-WAY LIGHT SWITCHES
- S_D DIMMER SWITCH MINIMUM 1000W OR AS REQUIRED PER CIRCUIT
- Φ DUPLEX RECEPTACLE, 120V,18" AFF.
- Φ^{GF} DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 8" ABOVE COUNTER TO G
- Φ DUPLEX RECEPTACLE, 120V,18" AFF., ONE OUTLET SWITCHED
- Φ 120V DOUBLE DUPLEX CONVENIENCE RECEPTACLE
- Φ DUPLEX RECEPTACLE ABOVE COUNTER, 8" ABOVE COUNTER TO G
- ▼ TELEPHONE JACK COMPLETE W/JACK AND COVER, WALL MOUNTED @ 4'-0" A.F.F.)
- ⊙ MOTOR
- ⊙ SYSTEM TYPE SMOKE DETECTOR - DBEC
- ⊙ DUCT SMOKE DETECTOR W/REMOTE TEST SWITCH - DBEC
- ⊙ HEAT DETECTOR - DBEC
- ▽ ∇^F FIRE ALARM AUDIO/VISUAL UNIT. MTD. @ 6'-8" AFF - DBEC
- ⊠ FIRE ALARM MINI HORN - DBEC
- ⊙ JUNCTION BOX - DBEC
- ⊠ LIGHTING & POWER PANEL, RECESSED - DBEC
- ⊠ FACP FIRE ALARM CONTROL PANEL - DBEC
- ⊠ ANN FIRE ALARM ANNUNCIATOR - DBEC
- TV CABLE
- DBEC - DESIGN AND INSTALLED BY ELECTRICAL CONTRACTOR

FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP	DESCRIPTION
U1	PROGRESS	P2851-09	120	(2)23WCFL MINI-TWIST	KITCHEN
U2	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	ENTRANCE/LIVING RM/ HALLWAY & STAIR
U3	PROGRESS	P6163-09WB	120	(4)50W MR16	DINING ROOM
U4	PROGRESS	P3408-09	120	(1)13 CFL MINI-TWIST	CLOSET LIGHT
U5	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	BEDROOM LIGHT
U6	PROGRESS	P3223-09WB	120	(3)60W HALOGEN G9	BATHROOM VANITY ABOVE SINK
U7	PROGRESS	P3410-09	120	(2)13 CFL MINI-TWIST	BATHROOM CEILING LIGHT
A	PROGRESS	P6017-84	120	(2)18W CFL	EXTERIOR CEILING MOUNTED
B	PROGRESS	P5749-84	120	(1)18W CFL	EXTERIOR WALL MOUNTED
C	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	BASEMENT LIGHT
D	PROGRESS	P2501-04			CEILING FAN

MECHANICAL SYSTEMS

- HEATING/COOLING SYSTEM: 1. Fujitsu, mitsubishi, or equal mini split heat pump system
2. Compressor sized
3. 4 Heads.
4. No ducts shall be installed
5. HSPF of 12 or greater
6. SEER of 20 or greater
- HOT WATER SYSTEM: Gas domestic hot water system - instantaneous gas dhw system EF of .95 or higher
or
If gas is not available use Electric heat pump water heater
Locate Unit as Desired.
- ERV SYSTEM: Provide energy recovery system (ERV) by Panasonic FV04VE1, Venmar or equivalent.
Capable of meeting ventilation code 50-80 CFM that meets the 2012 IECC standards for efficacy
- PASSIVE RADON SYSTEM: Provide a radon resistant construction techniques including a passive system which from the perforated pipe under the slab, up through slab, and house, terminating above the roof with an electrical outlet in the attic for installing a fan, making it an active system, if there is a high reading measured.
ASTM E1465 Practice for Radon Control Options
- TO BE SOLAR PV READY: Install Conduit from roof to area in basement
In basement room for a solar meter, an inverter and a switch box
On exterior of basement room following the local electric company guidelines, an accessible safety off switch box
- PLUMBING: Water Sense (EPA) for all interior plumbing devices;
Showerhead
Toilet
Lavatory Faucet
- APPLIANCES: Use Energy Star Appliances
Use Electric Range and exhaust range to exterior
- Power Requirement, Panel Location, Fire Alarm, CO2, Security and Final Design by the Architect and Engineers of Record.



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SHEET TITLE

TYPE A- SINGLE FAMILY BASEMENT ELECTRICAL PLAN SCHEDULES AND MECHANICAL NOTE

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

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DRAWING NO.

E-A.1

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PROJECT

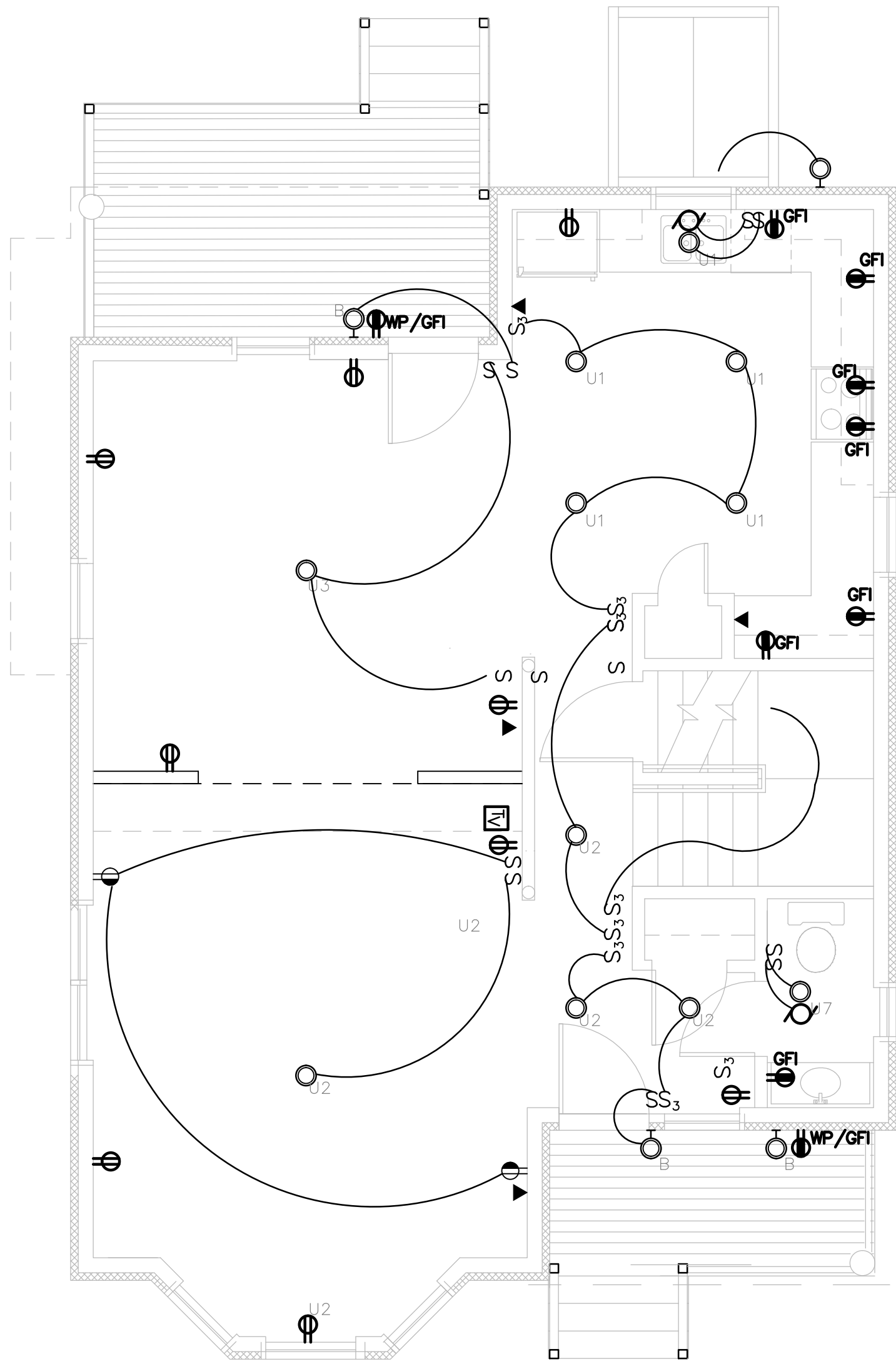
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

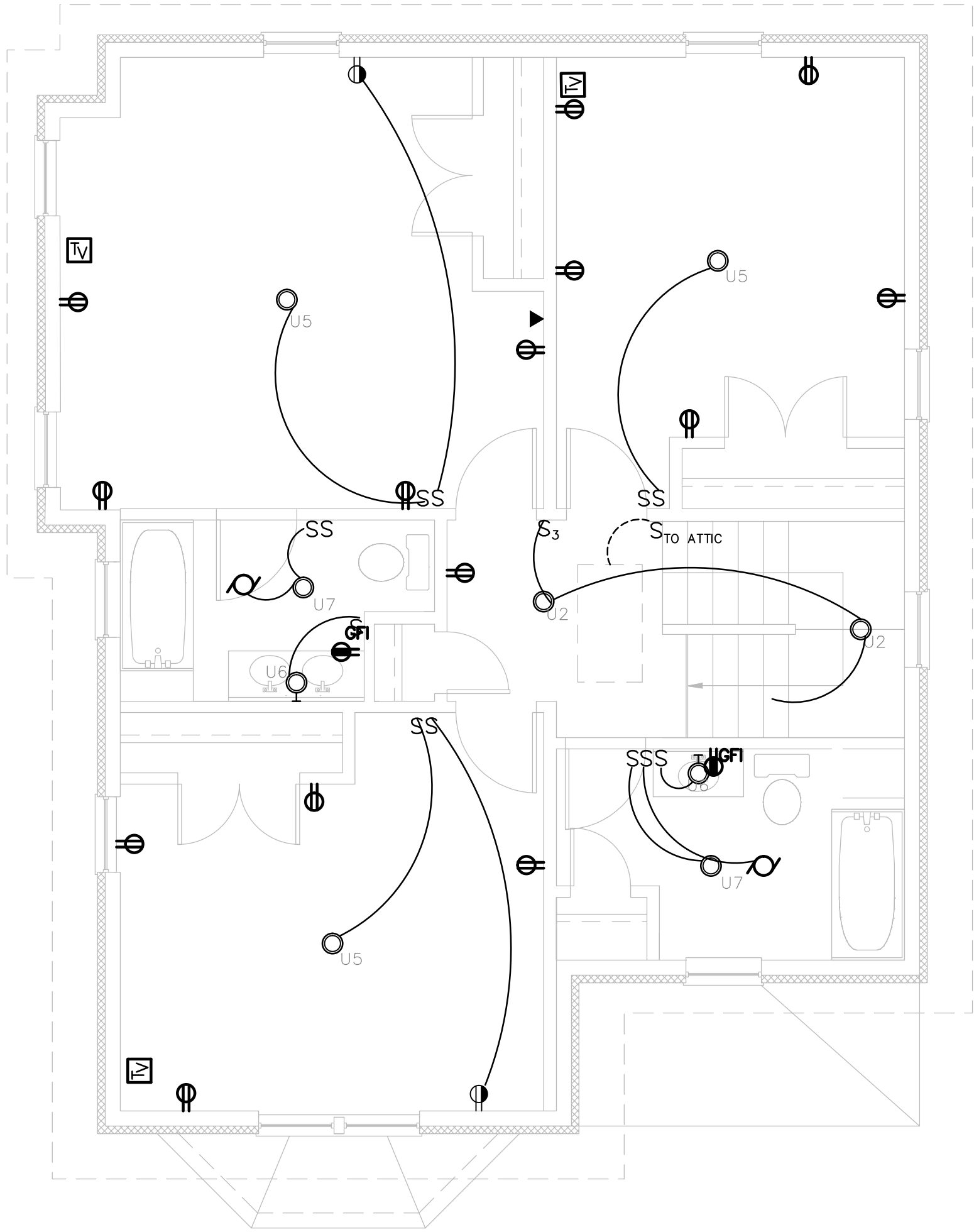
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

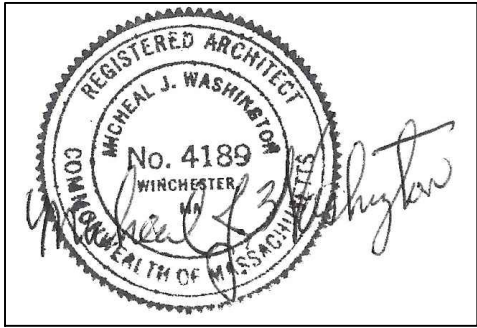
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1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



2ND FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



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SHEET TITLE

TYPE A- SINGLE FAMILY
1ST & 2ND FLOOR
ELECTRICAL PLANS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"
DATE: 12/01/2015
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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

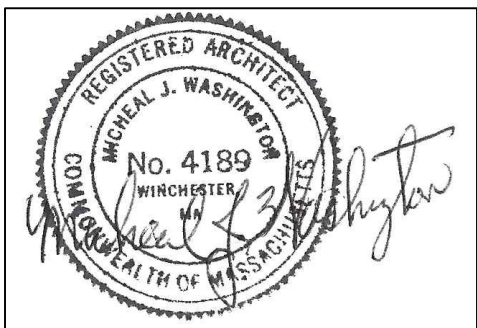
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

NOTE:

1. ALL FRAMING AND STRUCTURAL DESIGN MEMBER, SIZES AND ELEMENTS TO BE CONFIRMED BY FINAL ARCHITECT AND ENGINEER OF RECORD.



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SHEET TITLE

TYPE A- SINGLE FAMILY FOUNDATION & 1ST FLOOR FRAMING PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

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DRAWING NO.

S-A.1

NOTE:

AT BUILDING CORNERS & AT ALL EXTERIOR DOOR OPENING PROVIDE DOUBLE 2"x6" STUD IN SHEAR WALLS WITH SIMPSON HOLDOWN HDAH22 CAST IN CONCRETE WALL & SCREW TO DOUBLE STUD

NO. OF RISERS NEED TO BE COORDINATED W/GRADING PLAN (TYP. FOR ALL EXTR. STAIR)

2x12 ROUGH STRINGERS

2 x8 LEDGER ATTACHED TO CONC. WALL

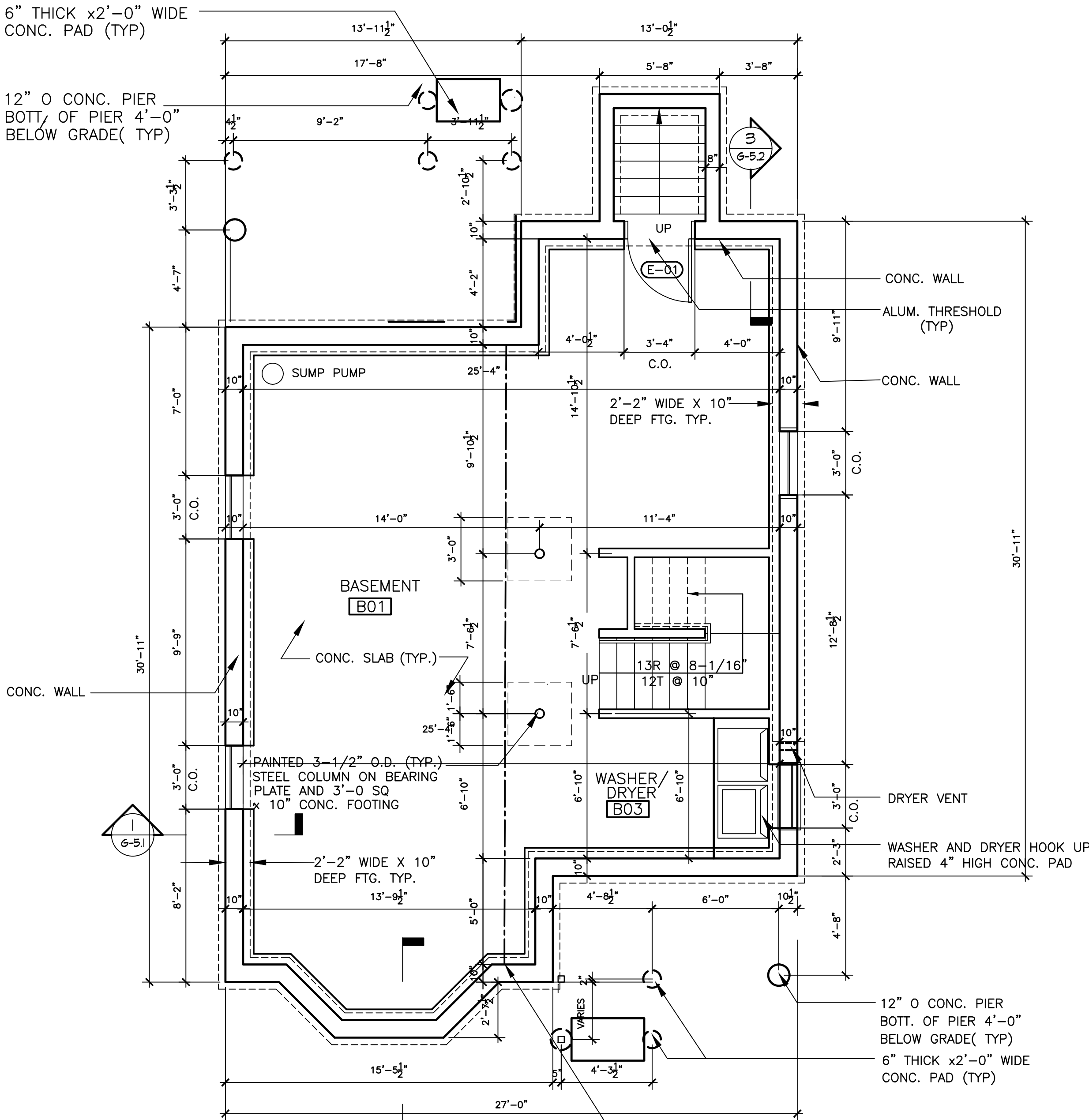
2 x8 LEDGER ATTACHED TO CONC. WALL

NO. OF RISERS NEED TO BE COORDINATED W/GRADING PLAN (TYP. FOR ALL EXTR. STAIR)

1ST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

G.C. SHALL INSTALL ALL REQUIRED FLU STOPPINGS AND BLOCKINGS ACCORDING TO CURRENT EDITION OF MASSACHUSETTS STATE BUILDING CODE



UNIT TYPE A FOUNDATION

SCALE: 1/4"= 1'-0"

UNDER SLAB 6" PIPE DRAIN AT APPROXIMATE MID SPAN OF ALL UNIT BASEMENTS. TIE TO THE MUNICIPAL STORM DRAINAGE SYSTEM IN THE STREET OR ON THE SITE RETENTION STRUCTURE WHERE INDICATED. SLOPE FOR POSITIVE DRAINAGE FLOW. 1/4" IN/FOOT. EPS 100 PSI R-10 2" EXPANDED POLYSTYRENE

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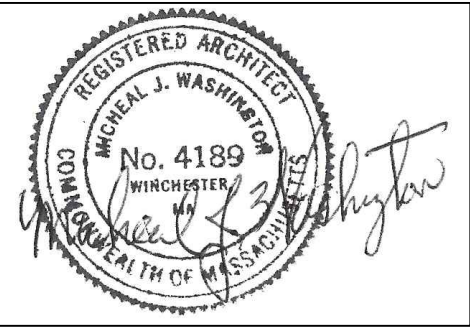
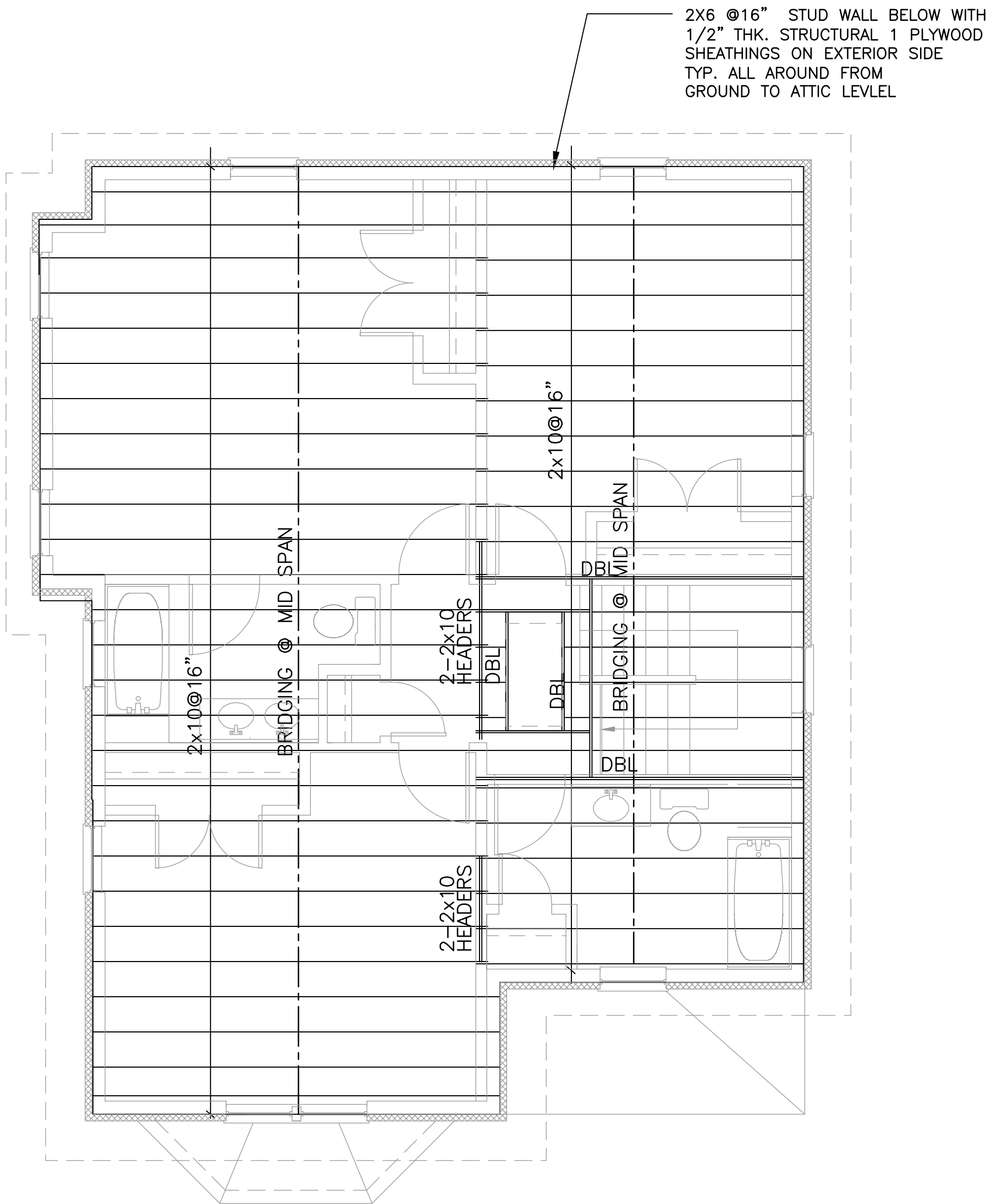
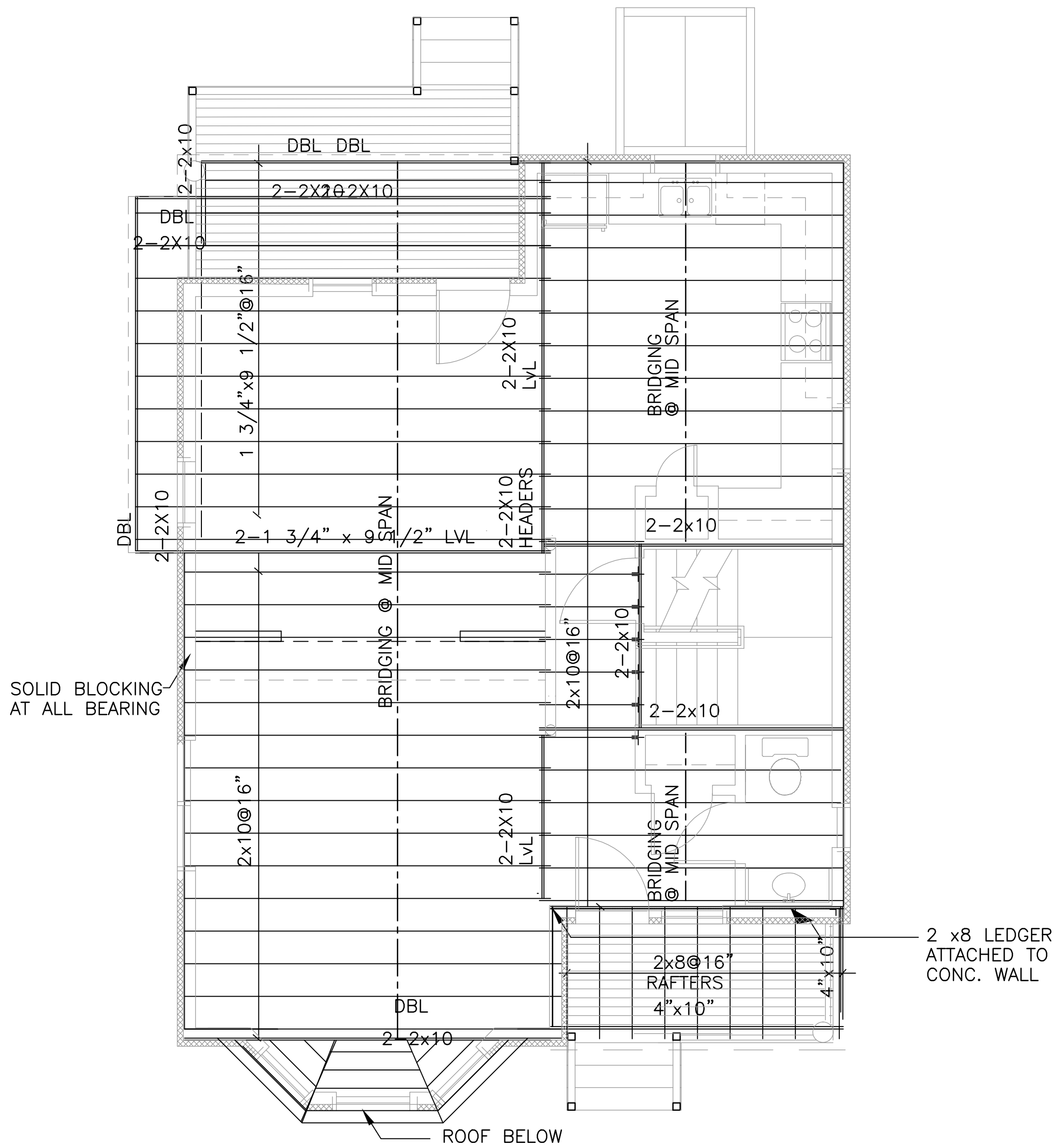
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

TYPE A- SINGLE FAMILY
2ND & ATTIC FLOOR
FRAMING PLANS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

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FILE:NEHH.dwg

DRAWING NO.

S-A.2

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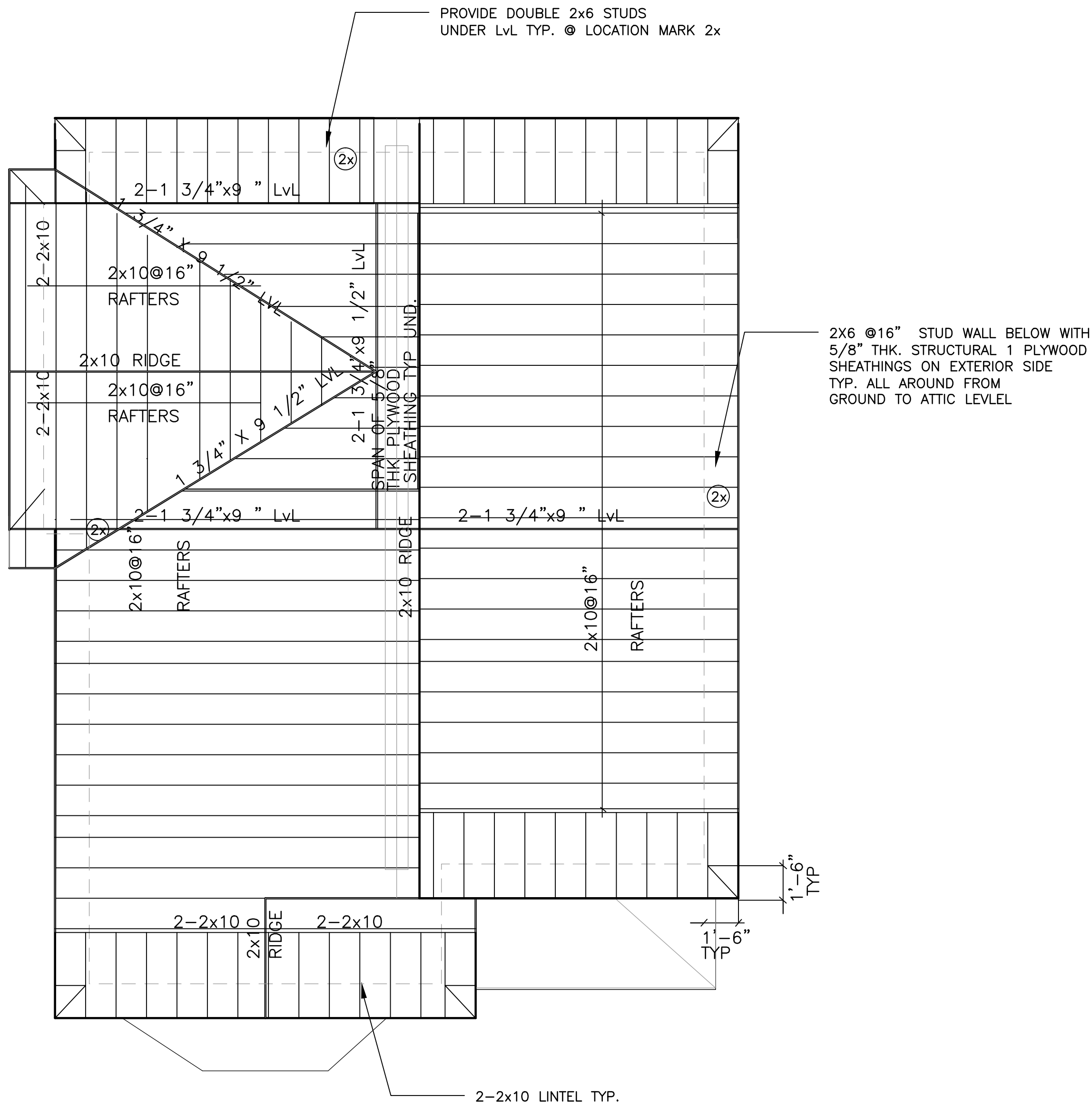
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

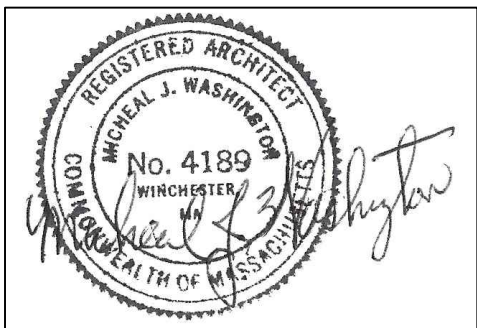
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DORCHESTER, MASSACHUSETTS



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



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SHEET TITLE

TYPE A- SINGLE FAMILY ROOF FRAMING PLAN

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DATE: 12/01/2015
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DRAWING NO.

S-A.3

70 NEW ENGLAND AVENUE (BUILDING E)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

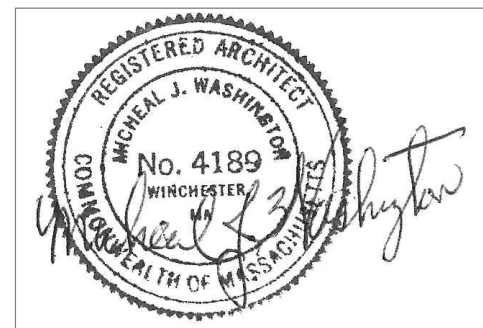
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:

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JAMAICA PLAIN, MA 02130
TEL: (617) 390-5515
EMAIL: mwainc1@hotmail.com



1. ALL DRAWINGS WILL BE UPDATED AND MODIFIED
2. ALL GENERAL DRAWINGS TO BE UPDATED INCLUDING REMOVAL OF HUNTER PANELS AND DOWNGRADING R VALUES TO CURRENT CODE.
3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

1. ALL WORK AND PERMITS AND APPROVALS WILL BE OBTAINED BY THE TRADE AND COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE MASSACHUSETTS STATE BUILDING CODE, CURRENT EDITION, AND LOCAL CITY AND TOWN PROVISIONS.
2. ALL CONSTRUCTION IS TO COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE, EIGHTH EDITION AND WITH ALL SUPPLEMENTS, AMENDMENTS, AND OTHER APPLICABLE CODES AND REGULATIONS.
3. ALL ROOF INSULATION SHALL BE R-49; ALL WALLS SHALL BE R-21 AND IN COMPLIANCE WITH THE IECC REQUIREMENTS.ALLFIRST FLOOR AREAS R-30, IN COMPLIANCE WITH IBC REQUIREMENTS.
4. CONTRACTOR IS TO VERIFY ALL DIMENSION IN THE FIELD , NOTIFY ARCHITECT IF THERE ARE ANY VARIATIONS.

70 NEW ENGLAND AVENUE (BUILDING E)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
C-1	EXISTING CONDITIONS	G-4	FINISH SCHEDULE & PARTITION TYPES
BPP	BUILDING PLOT PLAN	G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
ARCHITECTURAL E UNIT			
A-1.0	BASEMENT & FIRST FLOOR PLAN	G-6.1	GENERAL TYPICAL DETAILS
A-1.1	SECOND & THIRD FLOOR PLANS	G-6.2	GENERAL TYPICAL DETAILS
A-1.2	ROOF FLOOR PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-2.1	EXTERIOR ELEVATIONS		

70 NEW ENGLAND AVENUE		
ZONING INFORMATION		
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADD'L UNIT	2,343 SF
MIN. LOT WIDTH:	40 FT	34.27 FT
MIN. LOT FRONTAGE:	40 FT	34.27 FT
MAX. F.A.R:	0.4	0.68
MAX. BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	958 SQ. FT.
MIN. FRONT YARD DEPTH:	15FT/MOD.	16.4 FT
MIN. SIDE YARD DEPTH:	10 FT	10.1 FT
MIN. REAR YARD DEPTH:	20 FT	19.9 FT
MIN. PARKING:	1/UNIT	1



60 NEW ENGLAND AVENUE (BUILDING E)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

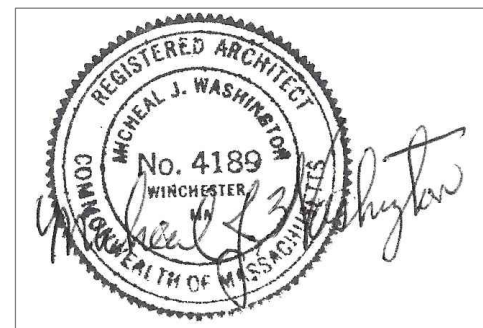
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3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

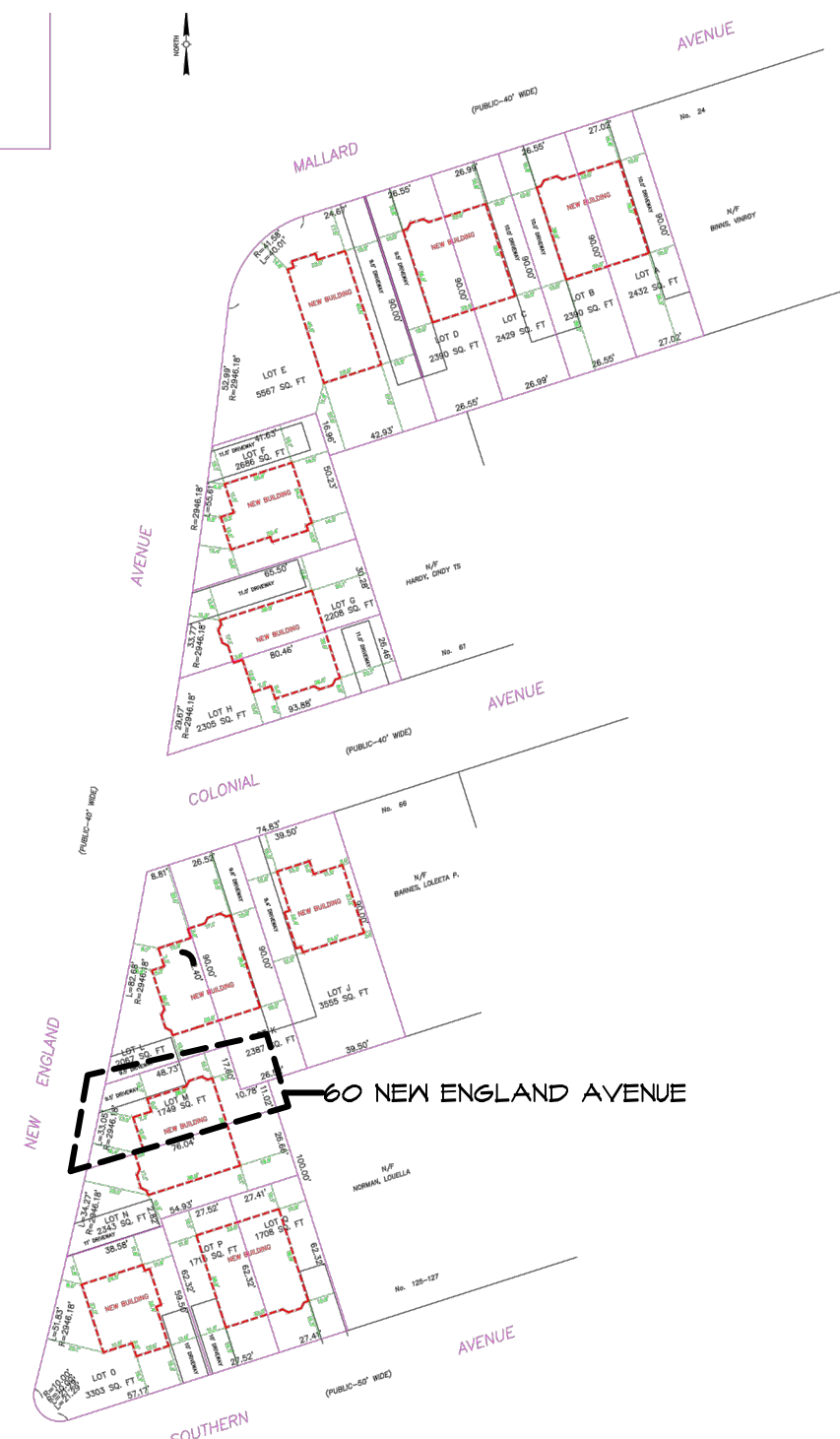
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4. CONTRACTOR IS TO VERIFY ALL DIMENSION IN THE FIELD , NOTIFY ARCHITECT IF THERE ARE ANY VARIATIONS.

60 NEW ENGLAND AVENUE (BUILDING E)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
		G-4	FINISH SCHEDULE & PARTITION TYPES
		G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
C-1	EXISTING CONDITIONS	G-6.1	GENERAL TYPICAL DETAILS
BPP	BUILDING PLOT PLAN	G-6.2	GENERAL TYPICAL DETAILS
ARCHITECTURAL E UNIT			
A-1.0	BASEMENT & FIRST FLOOR PLAN		
A-1.1	SECOND & THIRD FLOOR PLANS		
A-1.2	ROOF FLOOR PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-2.1	EXTERIOR ELEVATIONS		

60 NEW ENGLAND AVENUE		
ZONING INFORMATION	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14		
1 FAMILY ATTACHED		
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDTL UNIT	1,749 SF
LOT WIDTH:	40 FT	33.05 FT
LOT FRONTAGE:	40 FT	33.05 FT
F.A.R:	0.4	0.91
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	1026 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	13.0 FT
SIDE YARD DEPTH:	10 FT	10.1 FT
REAR YARD DEPTH:	20 FT	9.1 FT
PARKING:	1/UNIT	1



63 COLONIAL AVENUE (BUILDING E)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

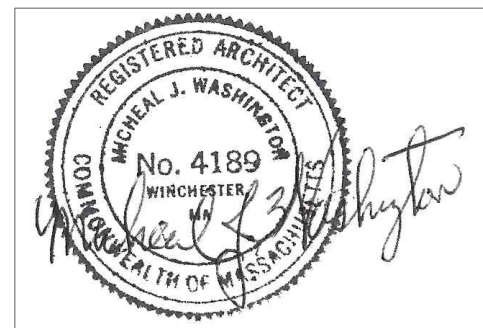
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DEVELOPMENT CORPORATION

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2. ALL GENERAL DRAWINGS TO BE UPDATED INCLUDING REMOVAL OF HUNTER PANELS AND DOWNGRADING R VALUES TO CURRENT CODE.
3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

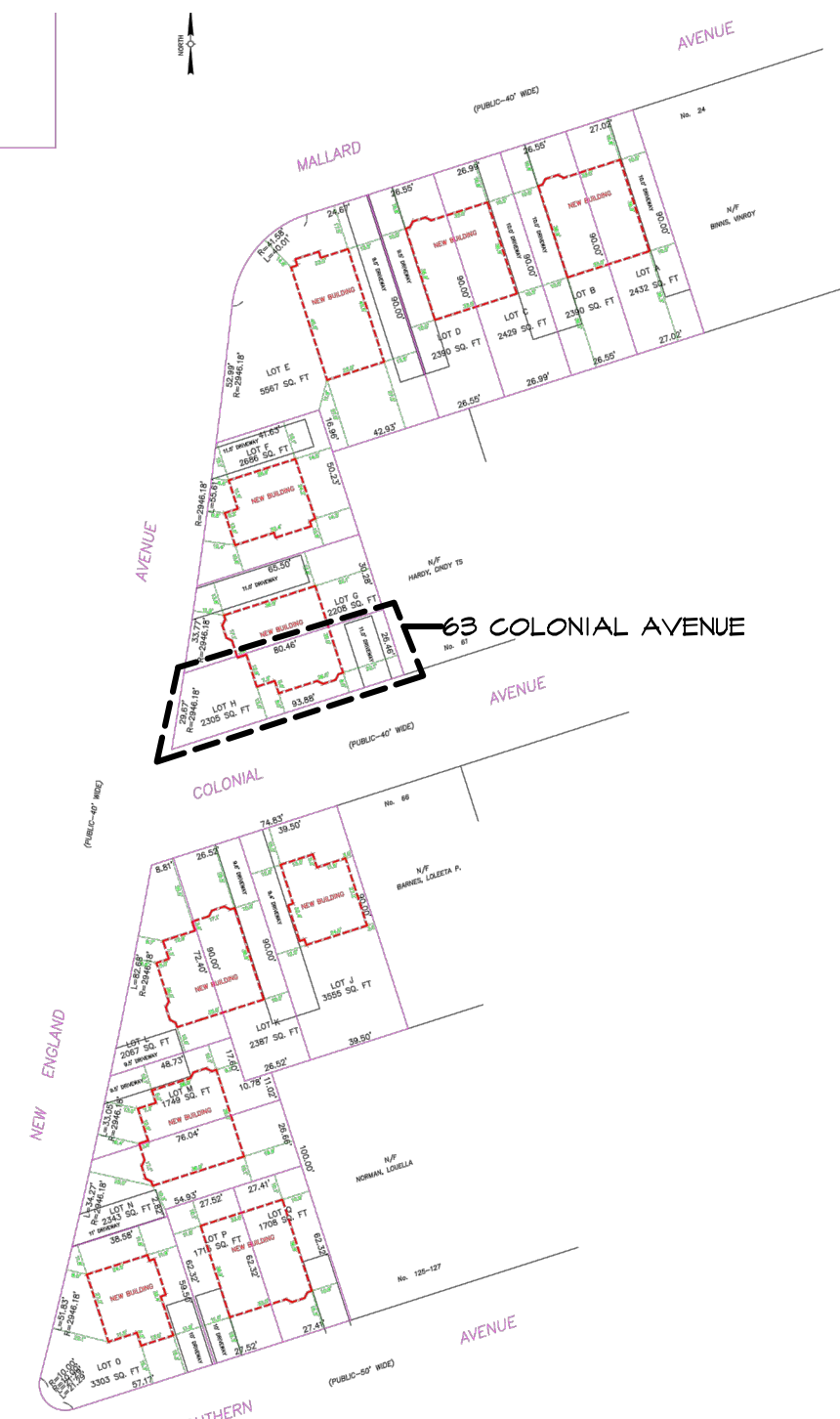
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4. CONTRACTOR IS TO VERIFY ALL DIMENSION IN THE FIELD , NOTIFY ARCHITECT IF THERE ARE ANY VARIATIONS.

63 COLONIAL AVENUE (BUILDING E)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
		G-4	FINISH SCHEDULE & PARTITION TYPES
		G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
		G-6.1	GENERAL TYPICAL DETAILS
		G-6.2	GENERAL TYPICAL DETAILS
ARCHITECTURAL E UNIT			
A-E.1	BASEMENT & FIRST FLOOR PLAN		
A-E.2	SECOND & THIRD FLOOR PLAN		
A-E.3	ROOF FLOOR PLANS		
A-E.4	EXTERIOR ELEVATIONS		
A-E.5	EXTERIOR ELEVATIONS		
STRUCTURAL E UNIT			
S-E.1	FOUNDATION & FIRST FRAMING PLAN		
S-E.2	SECOND & ATTIC FRAMING PLAN		
S-E.3	ROOF FRAMING PLAN		
ELECTRICAL E UNIT			
E-E.1	BASEMENT ELECTRICAL FLOOR PLAN		
E-E.2	FIRST & SECOND ELECTRICAL FLOOR PLAN		
E-E.3	THIRD ELECTRICAL FLOOR PLAN		

63 COLONIAL AVENUE (BUILDING E)		
ZONING INFORMATION	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED		
MIN. LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADD'T'L UNIT	2,305 SF
MIN. LOT WIDTH:	40 FT	29.67 FT
MIN. LOT FRONTAGE:	40 FT	29.67 FT
MAX. F.A.R:	0.4	0.67
MAX. BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1733 SQ. FT.
MIN. FRONT YARD DEPTH:	15FT/MOD.	8.0 FT
MIN. SIDE YARD DEPTH:	10 FT 10 FT	22.1 FT 18.1 FT
MIN. REAR YARD DEPTH:	20 FT	N/A
MIN. PARKING:	1/UNIT	1



42 NEW ENGLAND AVENUE (BUILDING E)
”NEW ENGLAND HERITAGE HOMES” AFFORDABLE
HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

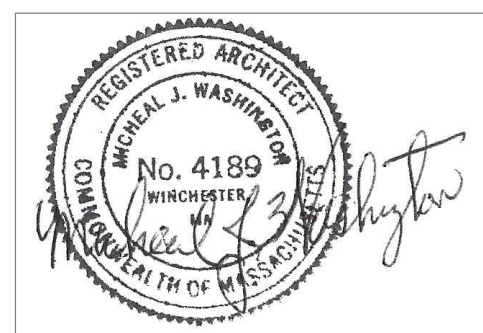
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:

MICHEAL WASHINGTON ARCHITECTS, INC.

891 CENTRE ST.
JAMAICA PLAIN, MA 02130
TEL: (617) 390-5515
EMAIL: mwainc1@hotmail.com



1. ALL DRAWINGS WILL BE UPDATED AND MODIFIED
2. ALL GENERAL DRAWINGS TO BE UPDATED
INCLUDING REMOVAL OF HUNTER PANELS AND
DOWNGRADING R VALUES TO CURRENT CODE.
3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

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42 NEW ENGLAND AVENUE (BUILDING E)

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ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
G-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
G-2.1		G-2.1	BATH PLANS & ELEVATIONS
G-3		G-3	WINDOWS & DOORS SCHEDULE
G-4		G-4	FINISH SCHEDULE & PARTITION TYPES
G-5.1		G-5.1	WALL SECTIONS
G-5.2		G-5.2	WALL SECTIONS
G-6.1		G-6.1	GENERAL TYPICAL DETAILS
G-6.2		G-6.2	GENERAL TYPICAL DETAILS
ARCHITECTURAL E UNIT			
A-E.1	BASEMENT & FIRST FLOOR PLAN		
A-E.2	SECOND & THIRD FLOOR PLAN		
A-E.3	ROOF FLOOR PLANS		
A-E.4	EXTERIOR ELEVATIONS		
A-E.5	EXTERIOR ELEVATIONS		
STRUCTURAL E UNIT			
S-E.1	FOUNDATION & FIRST FRAMING PLAN		
S-E.2	SECOND & ATTIC FRAMING PLAN		
S-E.3	ROOF FRAMING PLAN		
ELECTRICAL E UNIT			
E-E.1	BASEMENT ELECTRICAL FLOOR PLAN		
E-E.2	FIRST & SECOND ELECTRICAL FLOOR PLAN		
E-E.3	THIRD ELECTRICAL FLOOR PLAN		

42 NEW ENGLAND AVENUE (BUILDING E)

ZONING INFORMATION		
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED	REQUIRED	ACTUAL
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDTL UNIT	2,067 SF
LOT WIDTH:	40 FT	33.77 FT
LOT FRONTAGE:	40 FT	33.77 FT
F.A.R:	0.4	0.69
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	1568 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	11.9 FT
SIDE YARD DEPTH:	10 FT	13.8 FT
REAR YARD DEPTH:	20 FT	22.1 FT
PARKING:	1/UNIT	1



72 COLONIAL AVENUE (BUILDING E)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

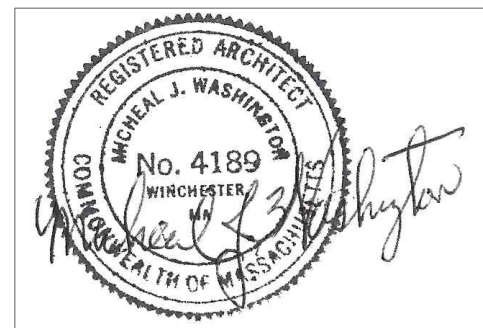
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

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DORCHESTER, MA 02124

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72 COLONIAL AVENUE (BUILDING E)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
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GENERAL DRAWINGS			
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A-E.5	EXTERIOR ELEVATIONS		
STRUCTURAL E UNIT			
S-E.1	FOUNDATION & FIRST FRAMING PLAN		
S-E.2	SECOND & ATTIC FRAMING PLAN		
S-E.3	ROOF FRAMING PLAN		
ELECTRICAL E UNIT			
E-E.1	BASEMENT ELECTRICAL FLOOR PLAN		
E-E.2	FIRST & SECOND ELECTRICAL FLOOR PLAN		
E-E.3	THIRD ELECTRICAL FLOOR PLAN		

72 COLONIAL AVENUE		
ZONING INFORMATION		
	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED		
MIN. LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDTL UNIT	2,067 SF
MIN. LOT WIDTH:	40 FT	8.81 FT
MIN. LOT FRONTAGE:	40 FT	8.81 FT
MAX. F.A.R:	0.4	0.77
MAX. BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1495 SQ. FT.
MIN. FRONT YARD DEPTH:	15FT/MOD.	25.5 FT
MIN. SIDE YARD DEPTH:	10 FT 10 FT	8.8 FT
MIN. REAR YARD DEPTH:	20 FT	19.9 FT
MIN. PARKING:	1/UNIT	1



70 COLONIAL AVENUE (BUILDING E)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

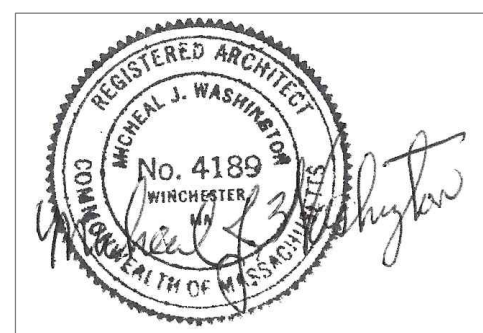
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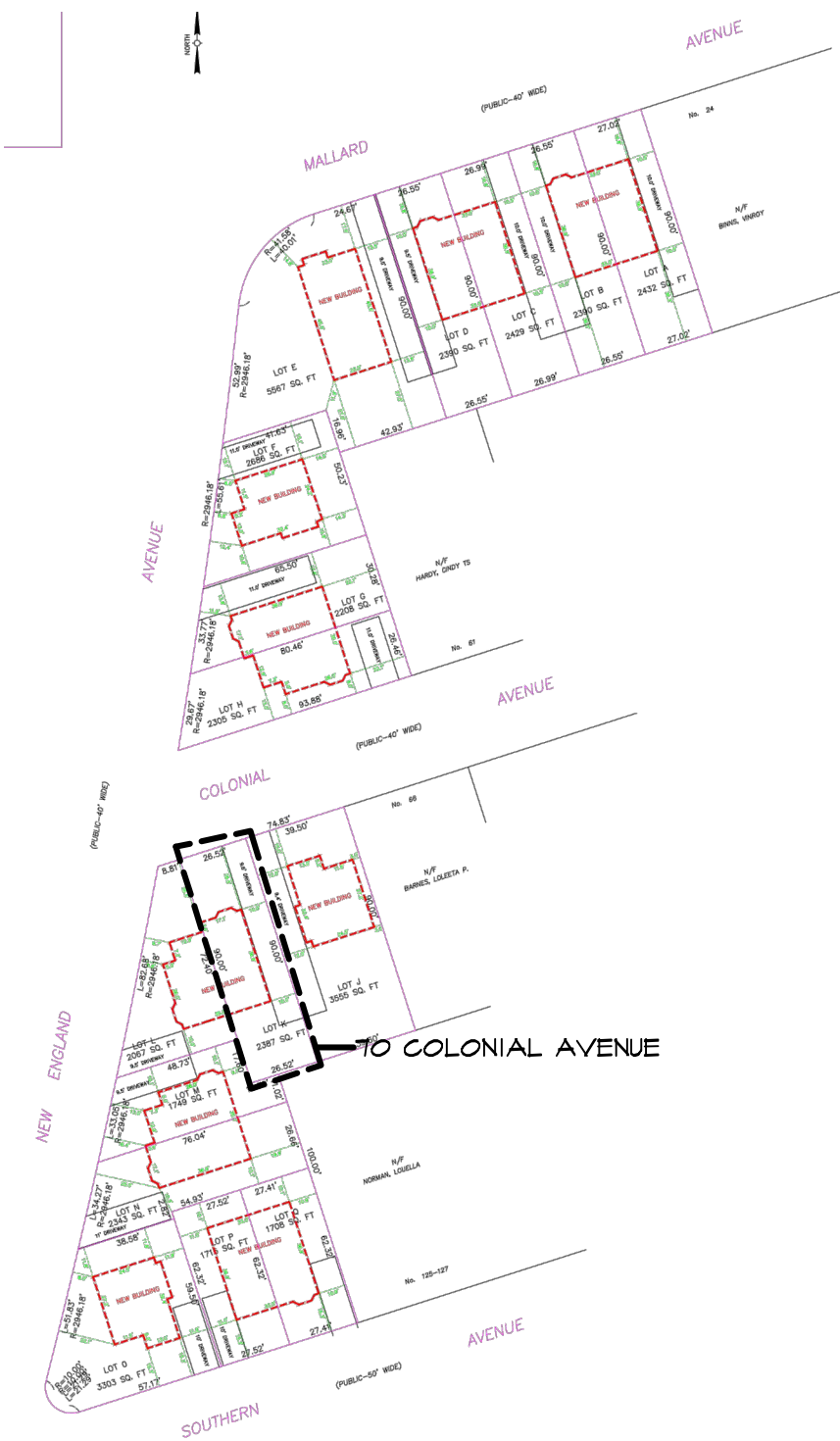
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70 COLONIAL AVENUE (BUILDING E)

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S-E.3	ROOF FRAMING PLAN		
ELECTRICAL E UNIT			
E-E.1	BASEMENT ELECTRICAL FLOOR PLAN		
E-E.2	FIRST & SECOND ELECTRICAL FLOOR PLAN		
E-E.3	THIRD ELECTRICAL FLOOR PLAN		

70 COLONIAL AVENUE		
ZONING INFORMATION		
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED	REQUIRED	ACTUAL
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDTL UNIT	2,387 SF
LOT WIDTH:	40 FT	26.52 FT
LOT FRONTAGE:	40 FT	26.52 FT
F.A.R:	0.4	0.67
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	1747 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	25.5 FT
SIDE YARD DEPTH:	10 FT 10 FT	10 FT
REAR YARD DEPTH:	20 FT	27.6 FT
PARKING:	1/UNIT	1



Micheal Washington Architects Inc.

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Jamaica Plain, MA 02130

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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

LEGEND:

TWO HOUR RATED PARTITION

ONE HOUR RATED PARTITION

NOTES

1. SEE 6-4 FOR PARTITION TYPES.
2. SEE 6A-1 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
3. DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR STUD WALL AND EXTERIOR FACE OF FOUNDATION WALL.
4. DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.



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SHEET TITLE

TYPE E- CORNER DUPLEX BASEMENT & FIRST FLOOR PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

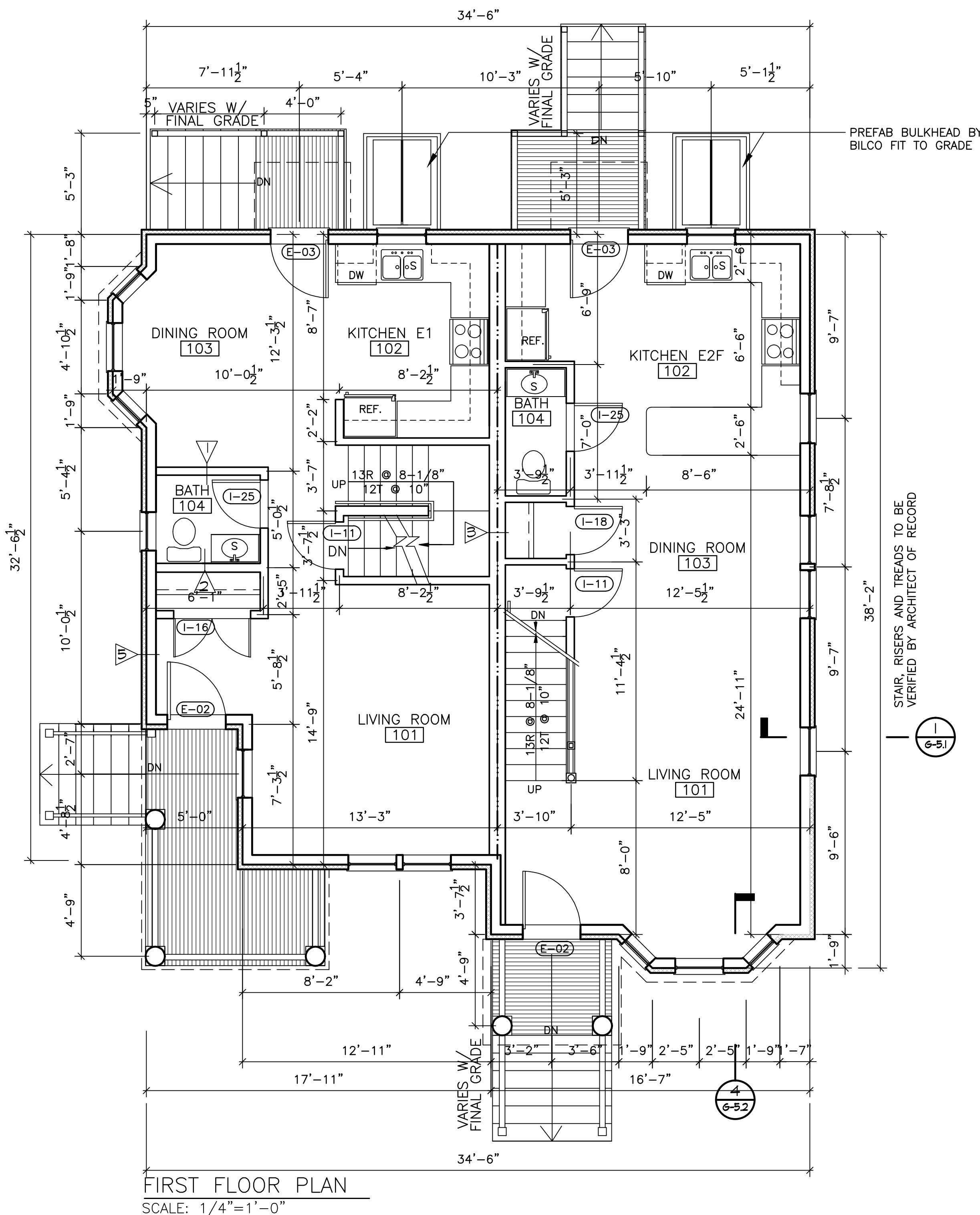
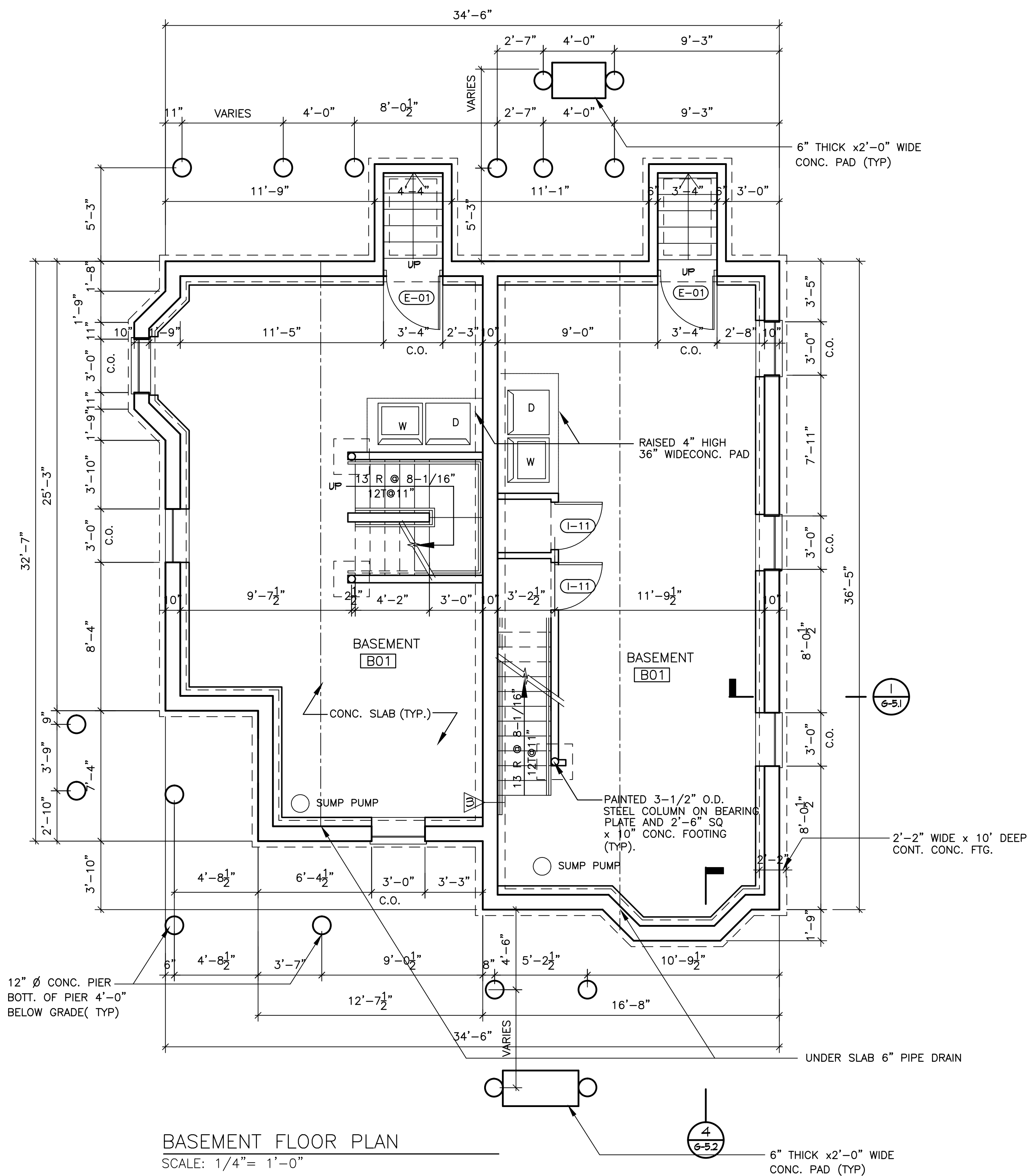
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FILE:NEHH.dwg

DRAWING NO.

A-E.1



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Phone: 617-390-5515
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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

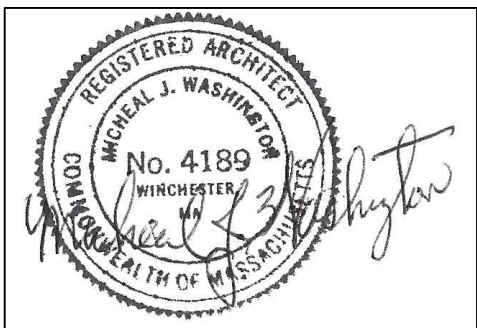
LEGEND:

TWO HOUR RATED PARTITION

ONE HOUR RATED PARTITION

NOTES

- SEE G-4 FOR PARTITION TYPES.
- SEE GA-1 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
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- DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.



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SHEET TITLE

TYPE E- CORNER DUPLEX
SECOND &
THIRD FLOOR PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

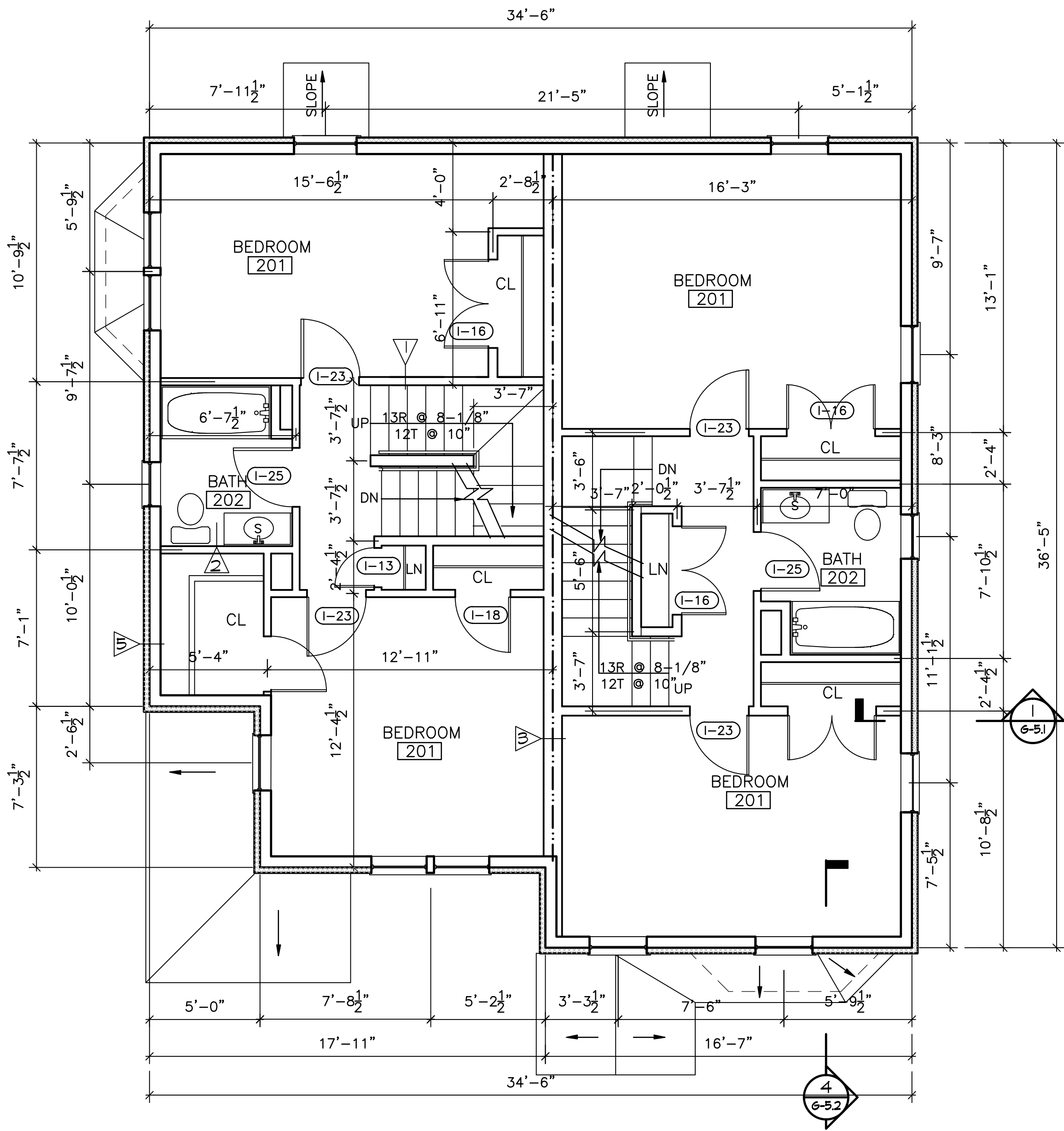
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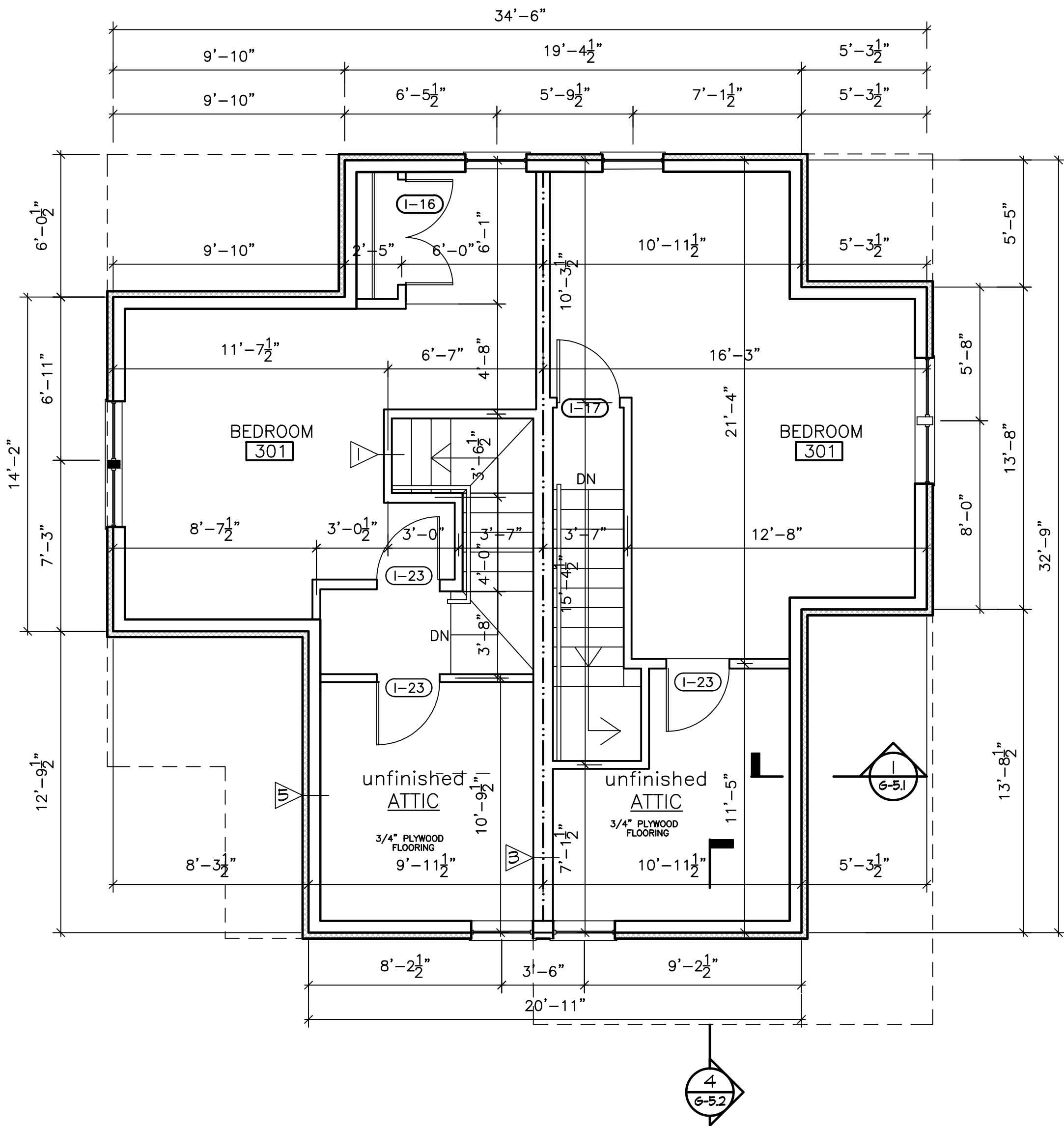
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A-E.2



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN

SCALE: 1/4"= 1'-0"

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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

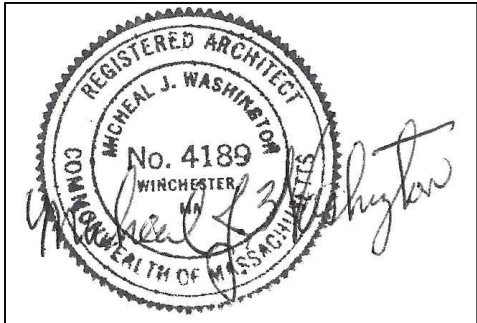
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

- LEGEND:
- TWO HOUR RATED PARTITION
- ONE HOUR RATED PARTITION

- NOTES
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2. SEE 6A-1 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
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4. DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.



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SHEET TITLE

TYPE E- CORNER DUPLEX
ROOF PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

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DATE: 12/01/2015

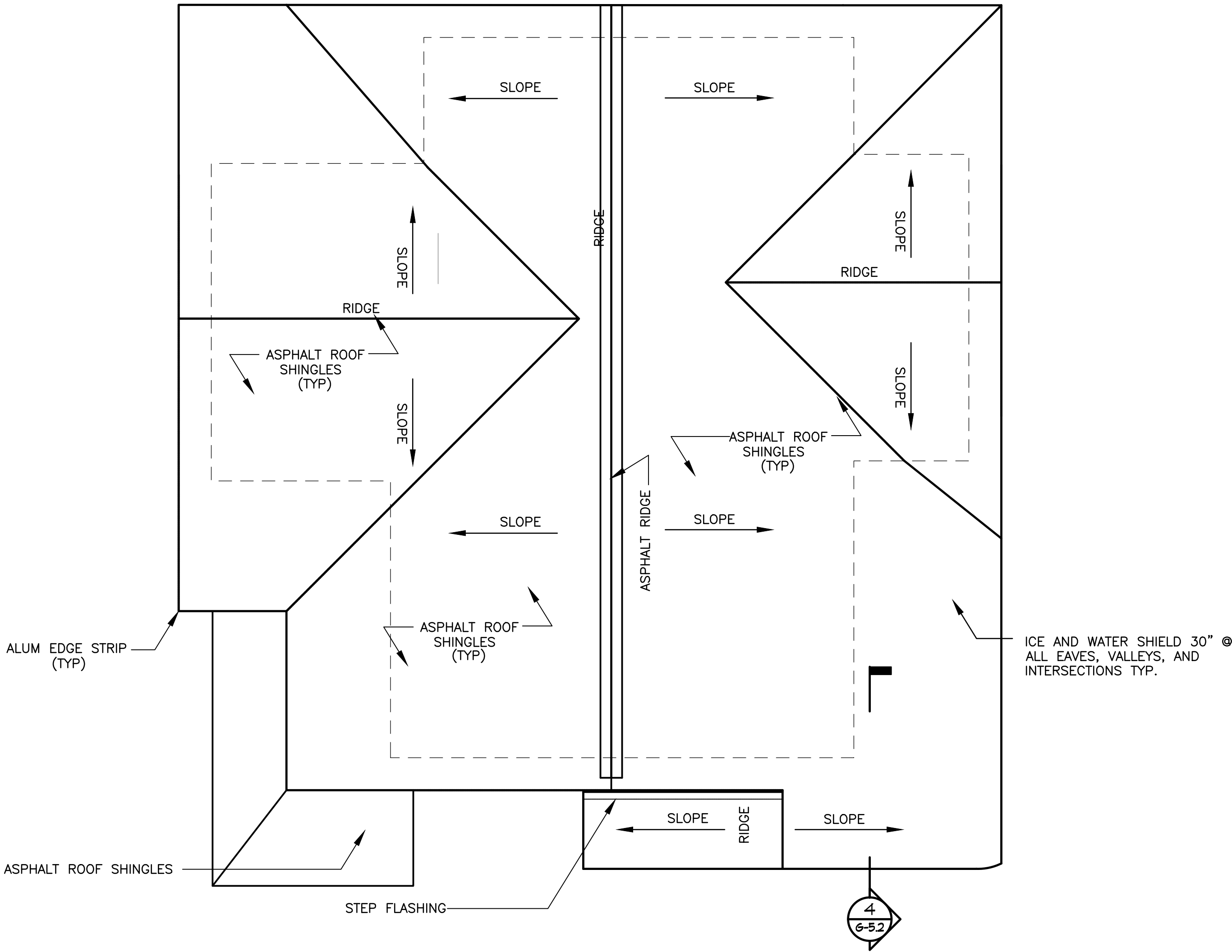
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CHECKED BY: MW

FILE:NEHH.dwg

DRAWING NO.

A-E.3



ROOF PLAN

SCALE: 1/4"=1'-0"

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PROJECT

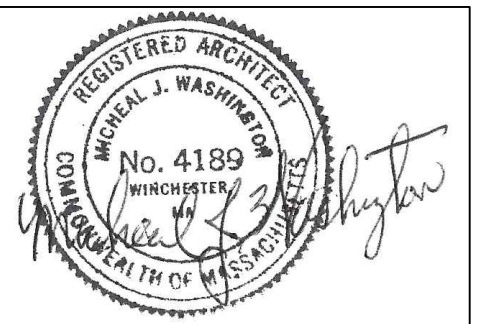
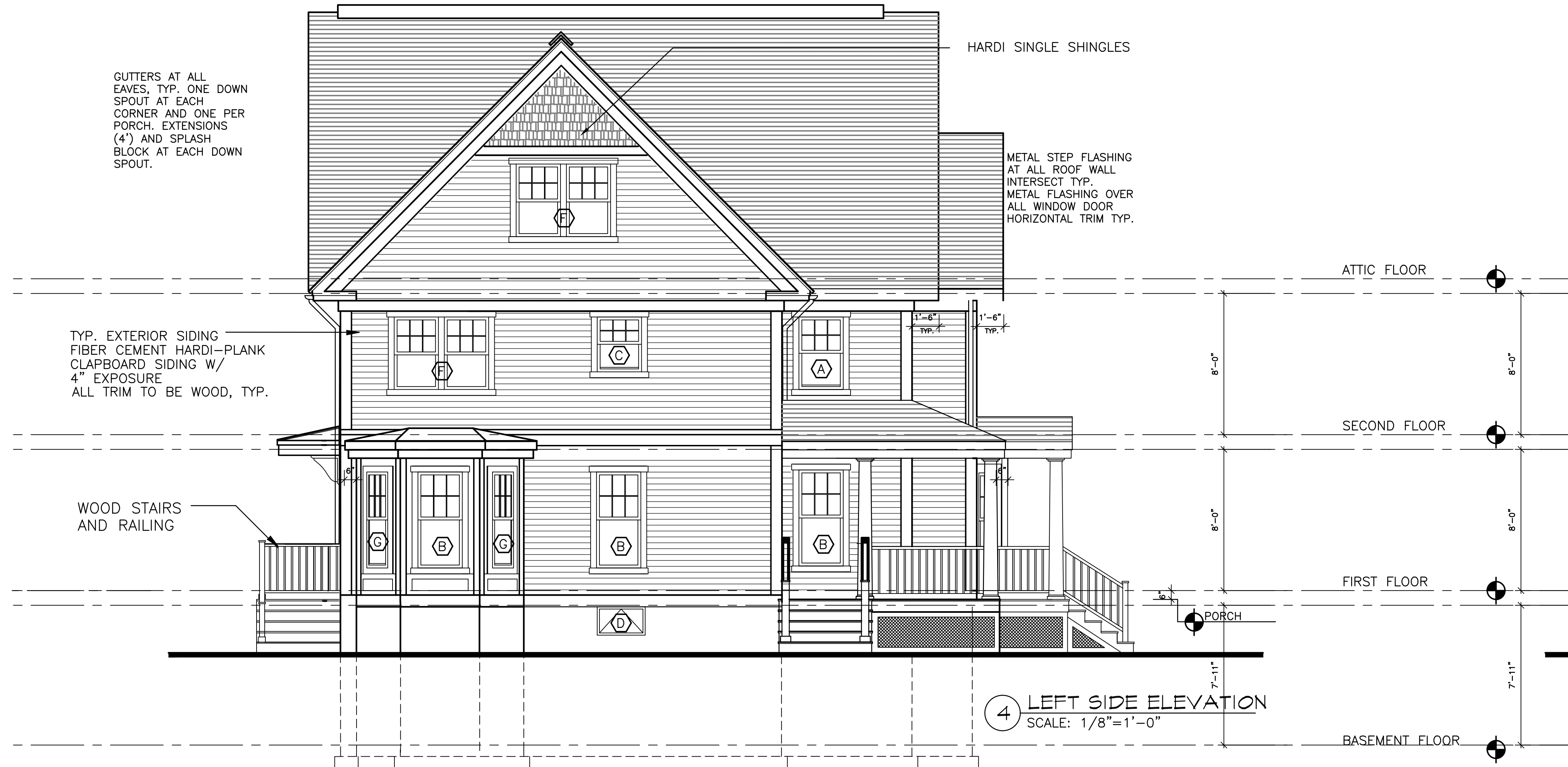
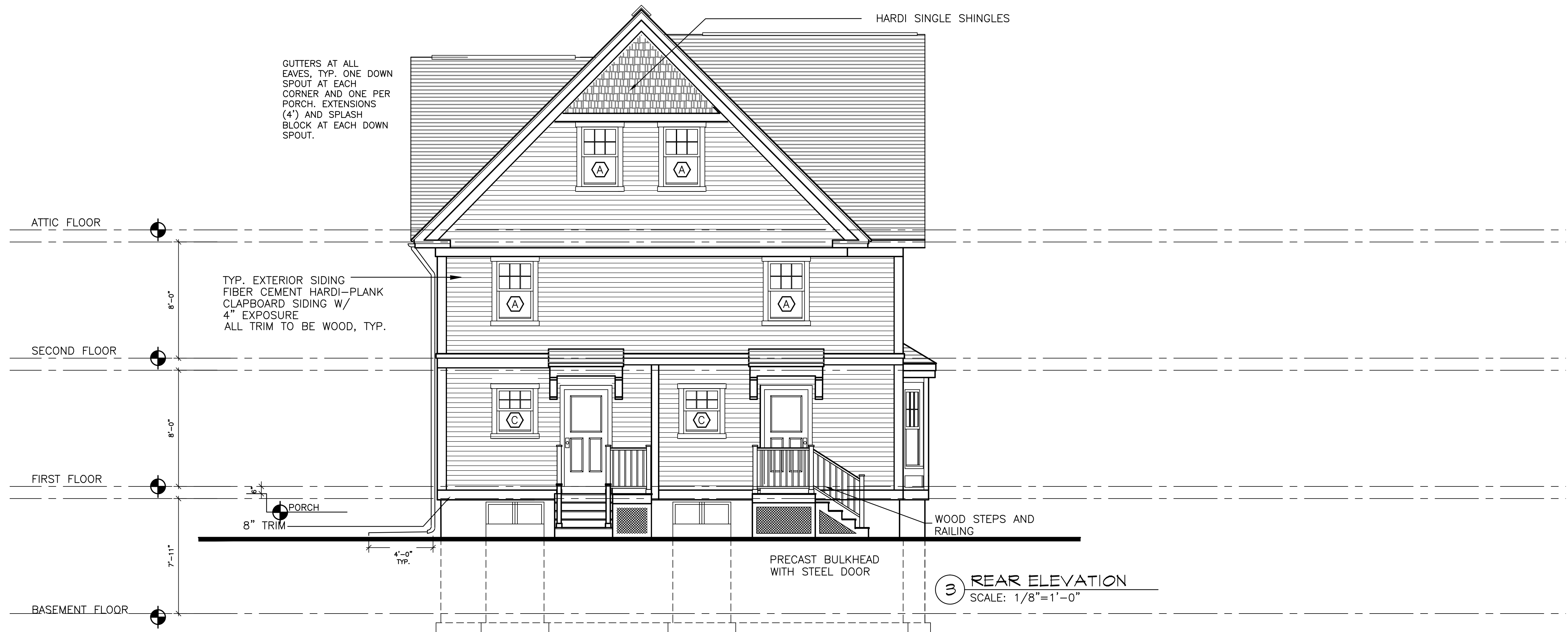
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

TYPE E- CORNER DUPLEX
EXTERIOR ELEVATIONS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

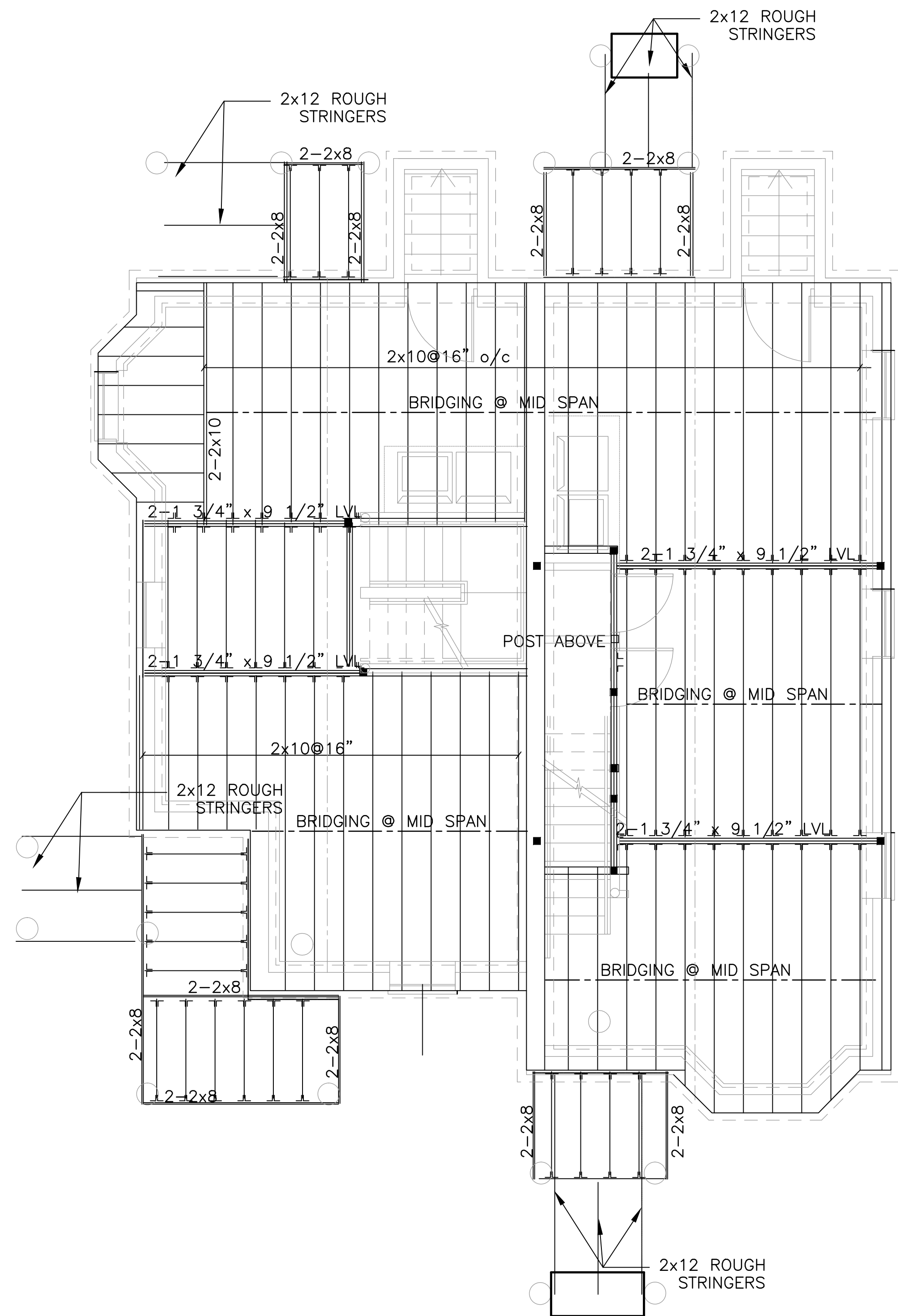
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DATE: 12/01/2015
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FILE:NEHH.dwg

DRAWING NO.

A-E.5

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Jamaica Plain, MA 02130
Phone: 617-390-5515
E-MAIL: MWAINC1@HOTMAIL.COM

S-E.1



G.C. SHALL INSTALL ALL REQUIRED FLU STOPPINGS

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PROJECT

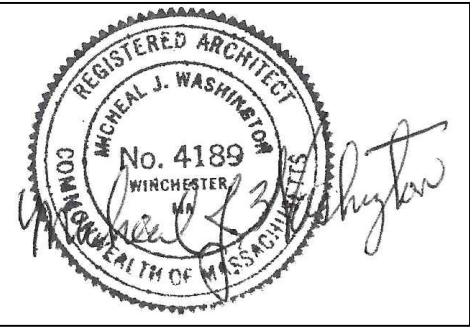
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

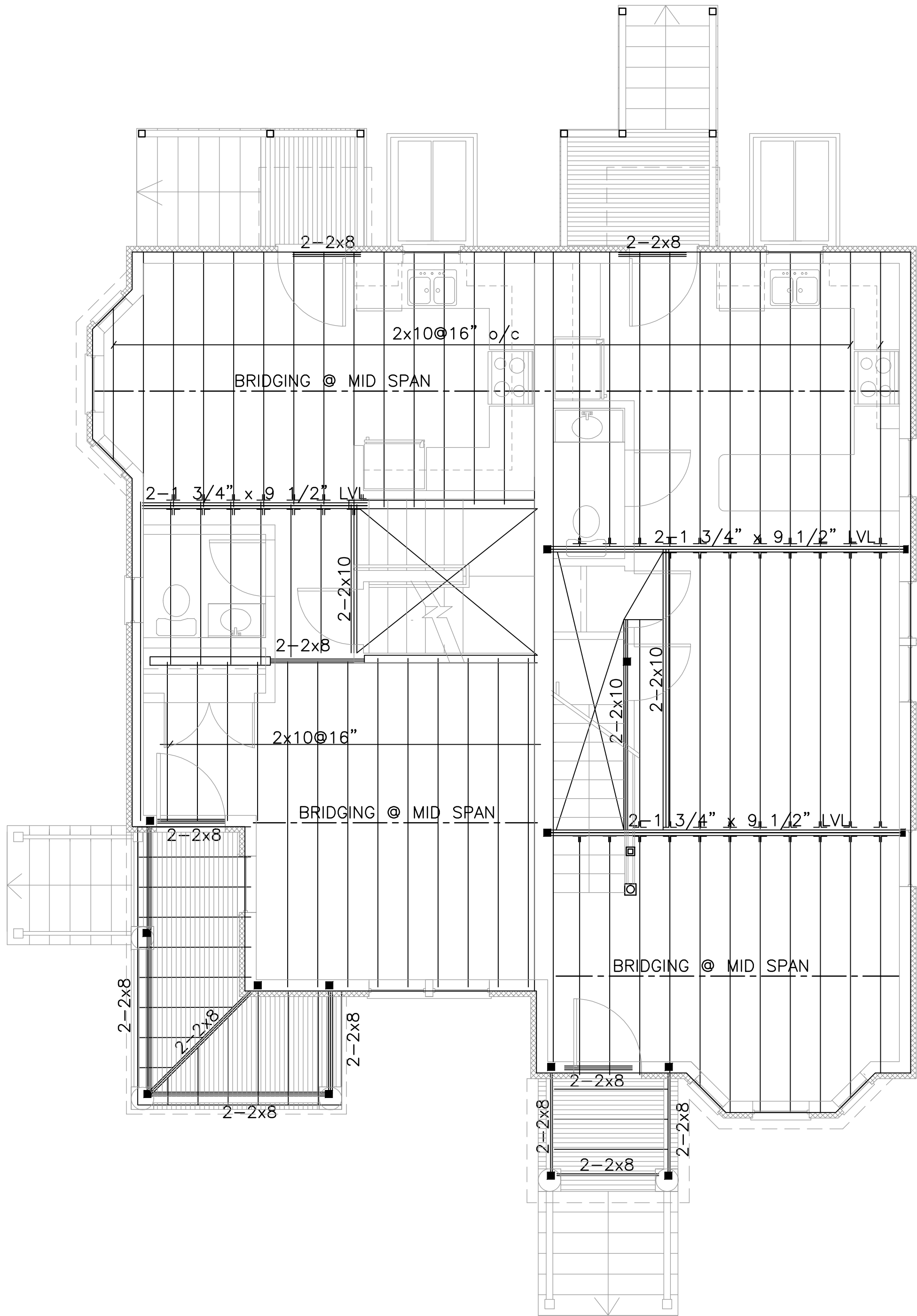
2ND & ATTIC FLOOR FRAMING PLANS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

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DATE: 12/01/2015
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CHECKED BY: MW
FILE:NEHH.dwg

DRAWING NO.

S-E.2

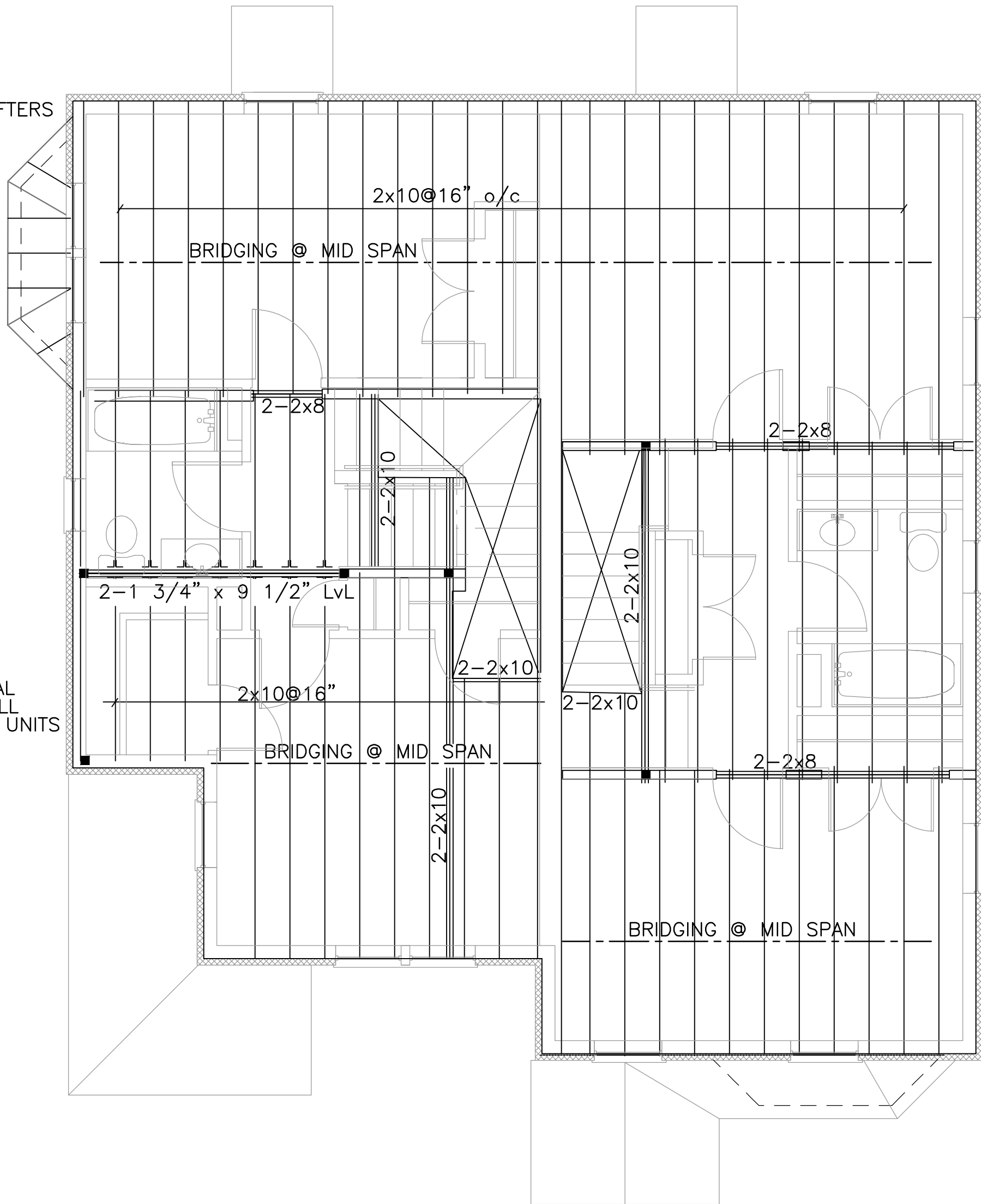


2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

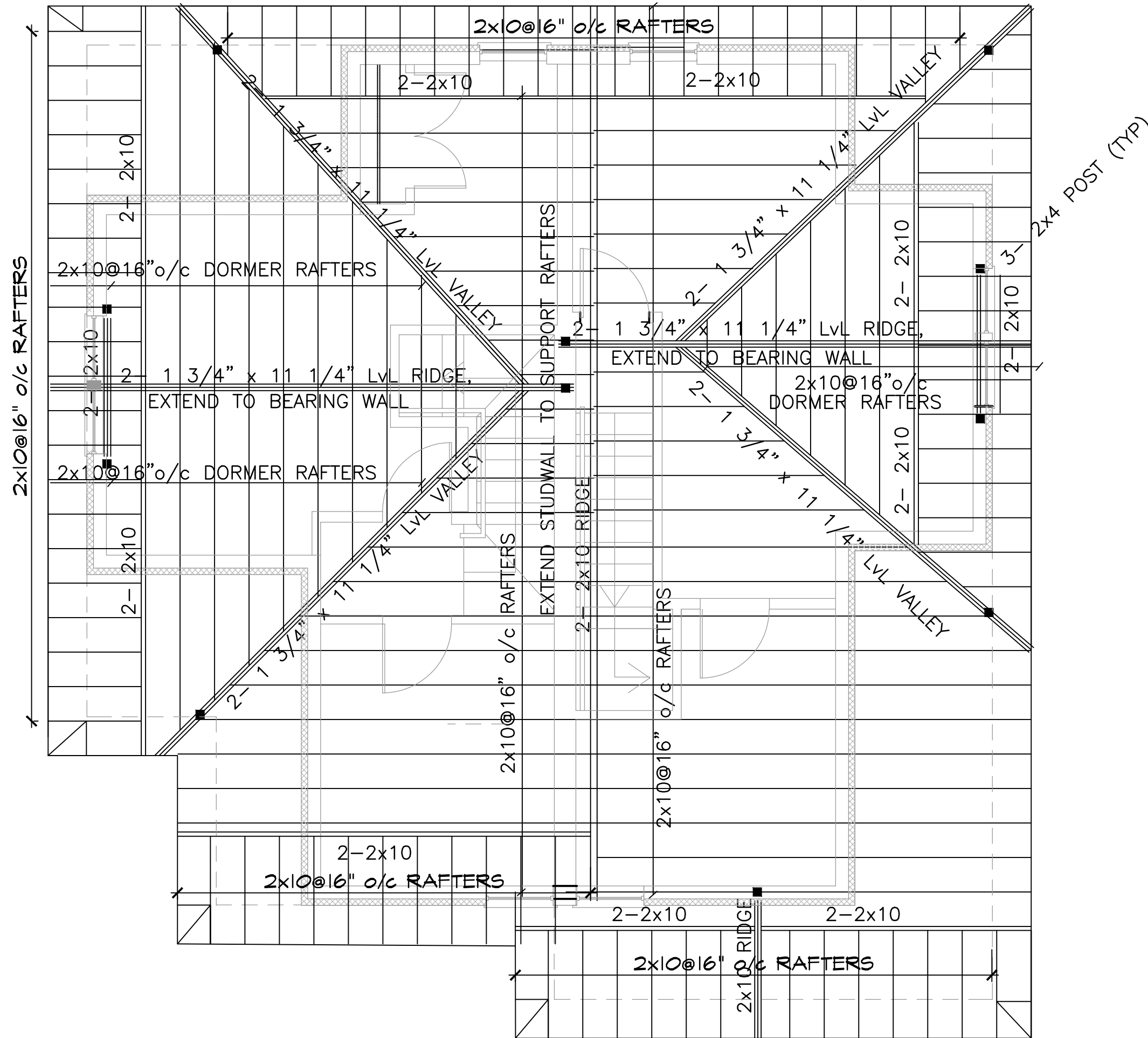
2x10@16" BAY RAFTERS

4x4 STRUCTURAL POST UNDER ALL LVL'S TYP. ALL UNITS



ATTIC FRAMING PLAN

SCALE: 1/4"=1'-0"



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

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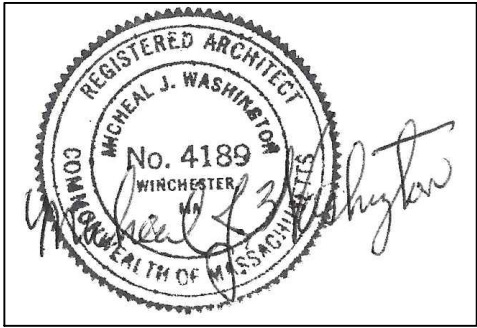
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

ROOF FRAMING PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"
DATE: 12/01/2015
DRAWN BY:
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FILE:NEHH.dwg

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S-E.3

Micheal Washington Architects Inc.

891 Centre Street
Jamaica Plain, MA 02130
Phone: 617-390-5515
E-MAIL: MWAINC1@HOTMAIL.COM

PROJECT

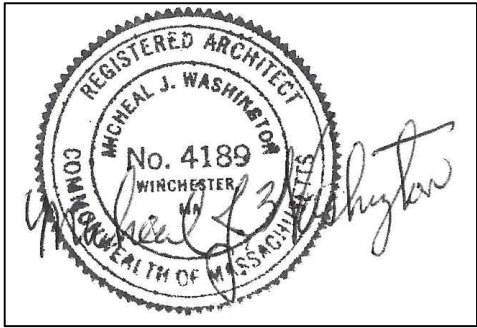
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

BASEMENT ELECTRICAL PLAN SCHEDULES AND MECHANICAL NOTE

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

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E-E.1

FIXTURE SCHEDULE					
TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP	DESCRIPTION
U1	PROGRESS	P2851-09	120	(2)23WCFL MINI-TWIST	KITCHEN
U2	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	ENTRANCE/LIVING RM/ HALLWAY & STAIR
U3	PROGRESS	P6163-09WB	120	(4)50W MR16	DINING ROOM
U4	PROGRESS	P3408-09	120	(1)13 CFL MINI-TWIST	CLOSET LIGHT
U5	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	BEDROOM LIGHT
U6	PROGRESS	P3223-09WB	120	(3)60W HALOGEN G9	BATHROOM VANITY ABOVE SINK
U7	PROGRESS	P3410-09	120	(2)13 CFL MINI-TWIST	BATHROOM CEILING LIGHT
A	PROGRESS	P6017-84	120	(2)18W CFL	EXTERIOR CEILING MOUNTED
B	PROGRESS	P5749-84	120	(1)18W CFL	EXTERIOR WALL MOUNTED
C	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	BASEMENT LIGHT
D	PROGRESS	P2501-04			CEILING FAN

ELECTRICAL SYMBOLS

- 

CEILING MOUNTED LIGHT FIXTURE.
- 

WALL MOUNTED LIGHT FIXTURE.
- 

2'X2' OR 2'X4' FLUORESCENT LIGHT FIXTURE.
- 

1'X4' FLUORESCENT WALL/CEILING MOUNTED LIGHT FIXTURE.
- 

SINGLE POLE LIGHT SWITCH
- 

THREE-WAY LIGHT SWITCHES
- 

DIMMER SWITCH MINIMUM 1000W OR AS REQUIRED PER CIRCUIT
- 

DUPLEX RECEPTACLE, 120V,18" AFF.
- 

DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 8" ABOVE COUNTER TO Q.
- 

DUPLEX RECEPTACLE, 120V,18" AFF., ONE OUTLET SWITCHED
- 

120V DOUBLE DUPLEX CONVENIENCE RECEPTACLE
- 

DUPLEX RECEPTACLE ABOVE COUNTER, 8" ABOVE COUNTER TO Q.
- 

TELEPHONE JACK COMPLETE W/JACK AND COVER, WALL MOUNTED @ 4'-0" A.F.F.)
- 

MOTOR
- 

SYSTEM TYPE SMOKE DETECTOR - DBEC
- 

DUCT SMOKE DETECTOR W/REMOTE TEST SWITCH - DBEC
- 

HEAT DETECTOR - DBEC
- 

FIRE ALARM AUDIO/VISUAL UNIT. MTD. @ 6'-8" AFF - DBEC
- 

FIRE ALARM MINI HORN - DBEC
- 

JUNCTION BOX - DBEC
- 

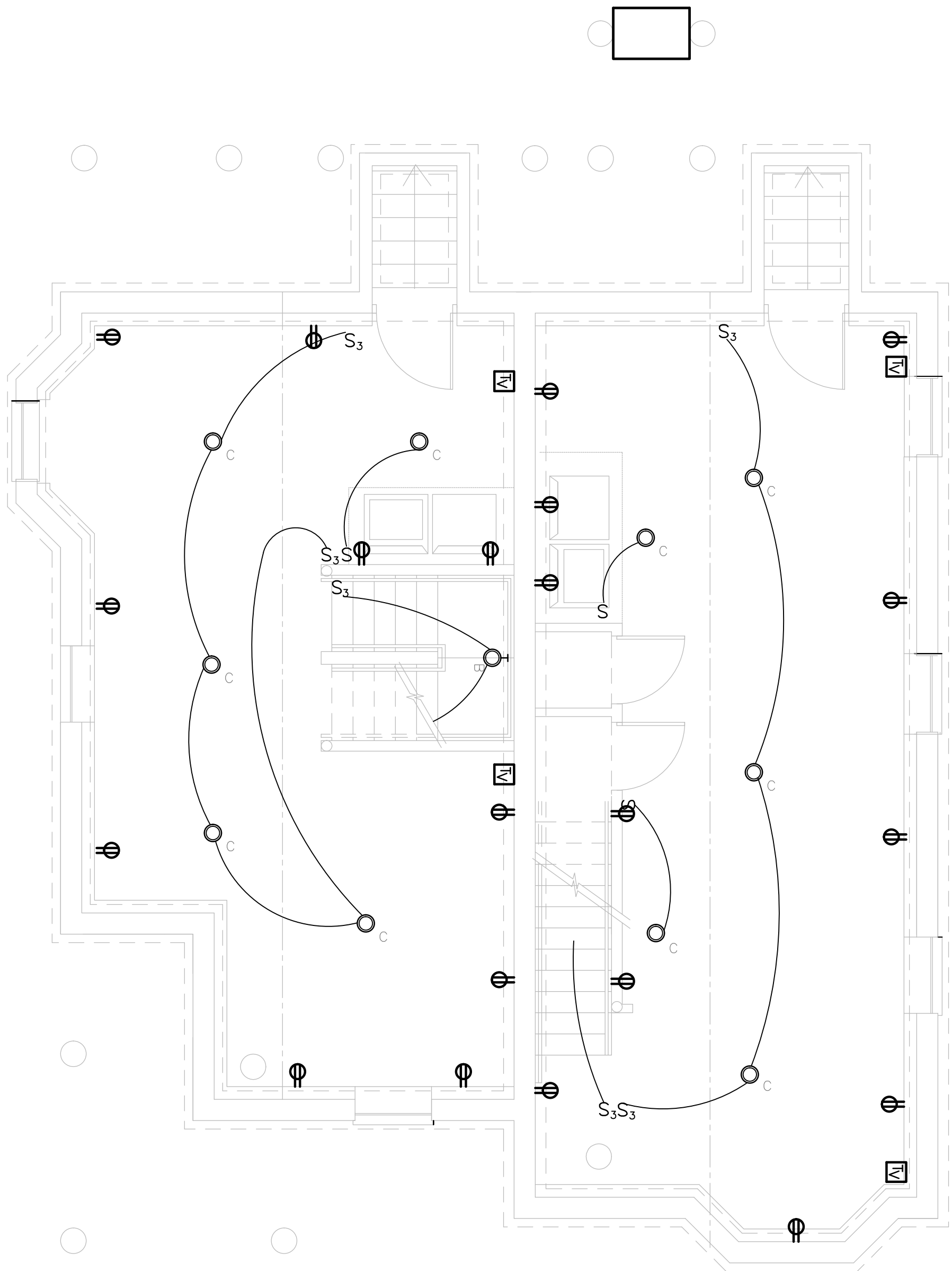
LIGHTING & POWER PANEL, RECESSED - DBEC
- 

FIRE ALARM CONTROL PANEL - DBEC
- 

FIRE ALARM ANNUNCIATOR - DBEC
- 

CABLE
- 

DBEC - DESIGN AND INSTALLED BY ELECTRICAL CONTRACTOR



BASEMENT ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

MECHANICAL SYSTEMS

- HEATING/COOLING SYSTEM:

 1. Fujitsu, mitsubishi, or equal mini split heat pump system
 2. Compressor sized
 3. 4 Heads.
 4. No ducts shall be installed
 5. HSPF of 12 or greater
 6. SEER of 20 or greater
- HOT WATER SYSTEM:

Gas domestic hot water system - instantaneous gas dhw system EF of .95 or higher
or
If gas is not available use Electric heat pump water heater
Locate Unit as Desired.
- ERV SYSTEM:

Provide energy recovery system (ERV) by Panasonic FV04VE1, Venmar or equivalent
Capable of meeting ventilation code 50-80 CFM that meets the 2012 IECC standards for efficacy
- PASSIVE RADON SYSTEM:

Provide a radon resistant construction techniques including a passive system which from the perforated pipe under the slab, up through slab, and house, terminating above the roof with an electrical outlet in the attic for installing a fan, making it an active system, if there is a high reading measured.
ASTM E1465 Practice for Radon Control Options
- TO BE SOLAR PV READY:

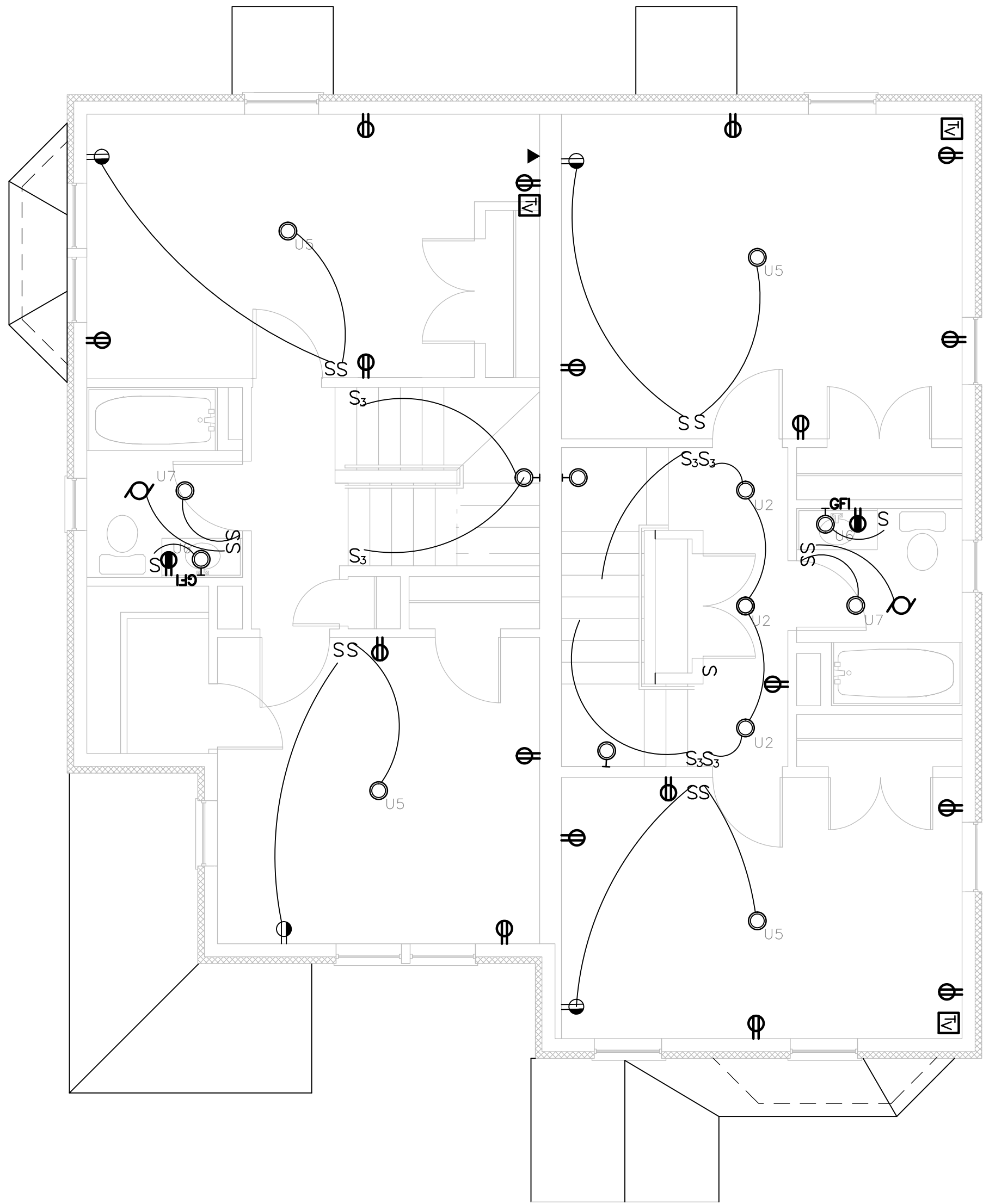
Install Conduit from roof to area in basement
In basement room for a solar meter, an inverter and a switch box
On exterior of basement room following the local electric company guidelines, an accessible safety off switch box
- PLUMBING:

Water Sense (EPA) for all interior plumbing devices;
Showerhead
Toilet
Lavatory Faucet
- APPLIANCES:

Use Energy Star Appliances
Use Electric Range and exhaust range to exterior
- Power Requirement, Panel Location, Fire Alarm, CO2, Security and Final Design by the Architect and Engineers of Record.



1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

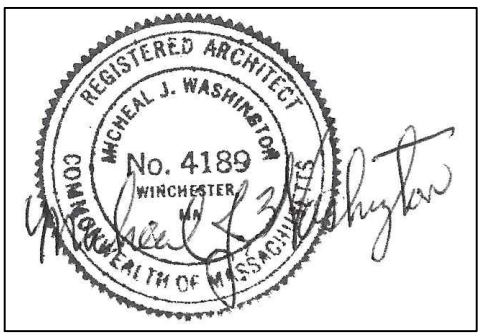


2ND FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

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Jamaica Plain, MA 02130
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E-MAIL: MWAINC1@HOTMAIL.COM

PROJECT
NEW ENGLAND HERITAGE HOMES
DORCHESTER, MASSACHUSETTS

DEVELOPER
CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION
DORCHESTER, MASSACHUSETTS



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SHEET TITLE

1ST & 2ND FLOOR ELECTRICAL PLANS
SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION
SCALE: 1/4"=1'-0"
DATE: 12/01/2015
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E-E.2

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PROJECT

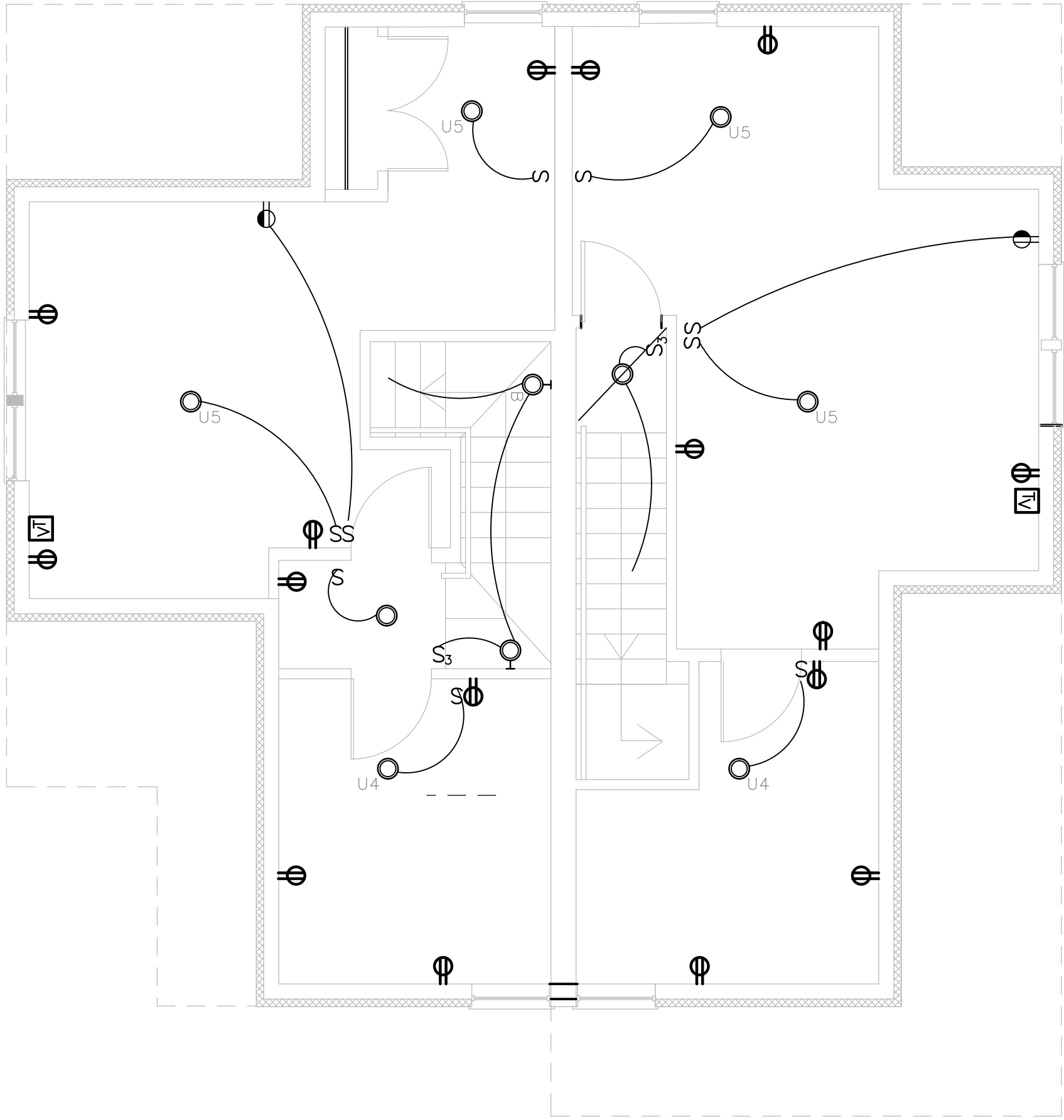
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

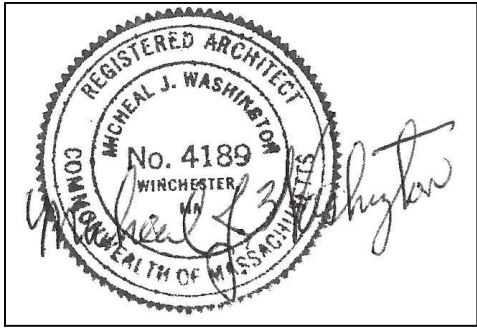
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DORCHESTER, MASSACHUSETTS



3RD FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



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SHEET TITLE

3RD FLOOR ELECTRICAL PLAN

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DATE: 12/01/2015	
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FILE:NEHH.dwg	

E-E.3

36 MALLARD AVENUE (BUILDING H)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE
HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

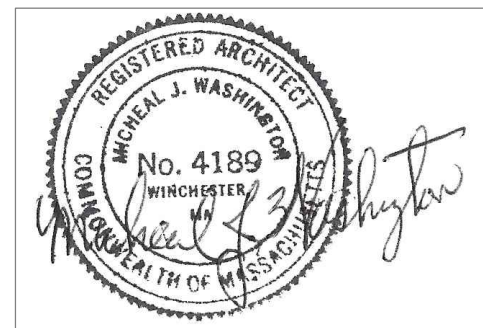
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:

MICHEAL WASHINGTON ARCHITECTS, INC.

891 CENTRE ST.
JAMAICA PLAIN, MA 02130
TEL: (617) 390-5515
EMAIL: mwainc1@hotmail.com



- 1. ALL DRAWINGS WILL BE UPDATED AND MODIFIED
- 2. ALL GENERAL DRAWINGS TO BE UPDATED INCLUDING REMOVAL OF HUNTER PANELS AND DOWNGRADING R VALUES TO CURRENT CODE.
- 3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

- 1. ALL WORK AND PERMITS AND APPROVALS WILL BE OBTAINED BY THE TRADE AND COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE MASSACHUSETTS STATE BUILDING CODE, CURRENT EDITION, AND LOCAL CITY AND TOWN PROVISIONS.
- 2. ALL CONSTRUCTION IS TO COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE, EIGHTH EDITION AND WITH ALL SUPPLEMENTS, AMENDMENTS, AND OTHER APPLICABLE CODES AND REGULATIONS.
- 3. ALL ROOF INSULATION SHALL BE R-49; ALL WALLS SHALL BE R-21 AND IN COMPLIANCE WITH THE IECC REQUIREMENTS.ALLFIRST FLOOR AREAS R-30, IN COMPLIANCE WITH IBC REQUIREMENTS.
- 4. CONTRACTOR IS TO VERIFY ALL DIMENSION IN THE FIELD , NOTIFY ARCHITECT IF THERE ARE ANY VARIATIONS.

36 MALLARD AVENUE (BUILDING H)

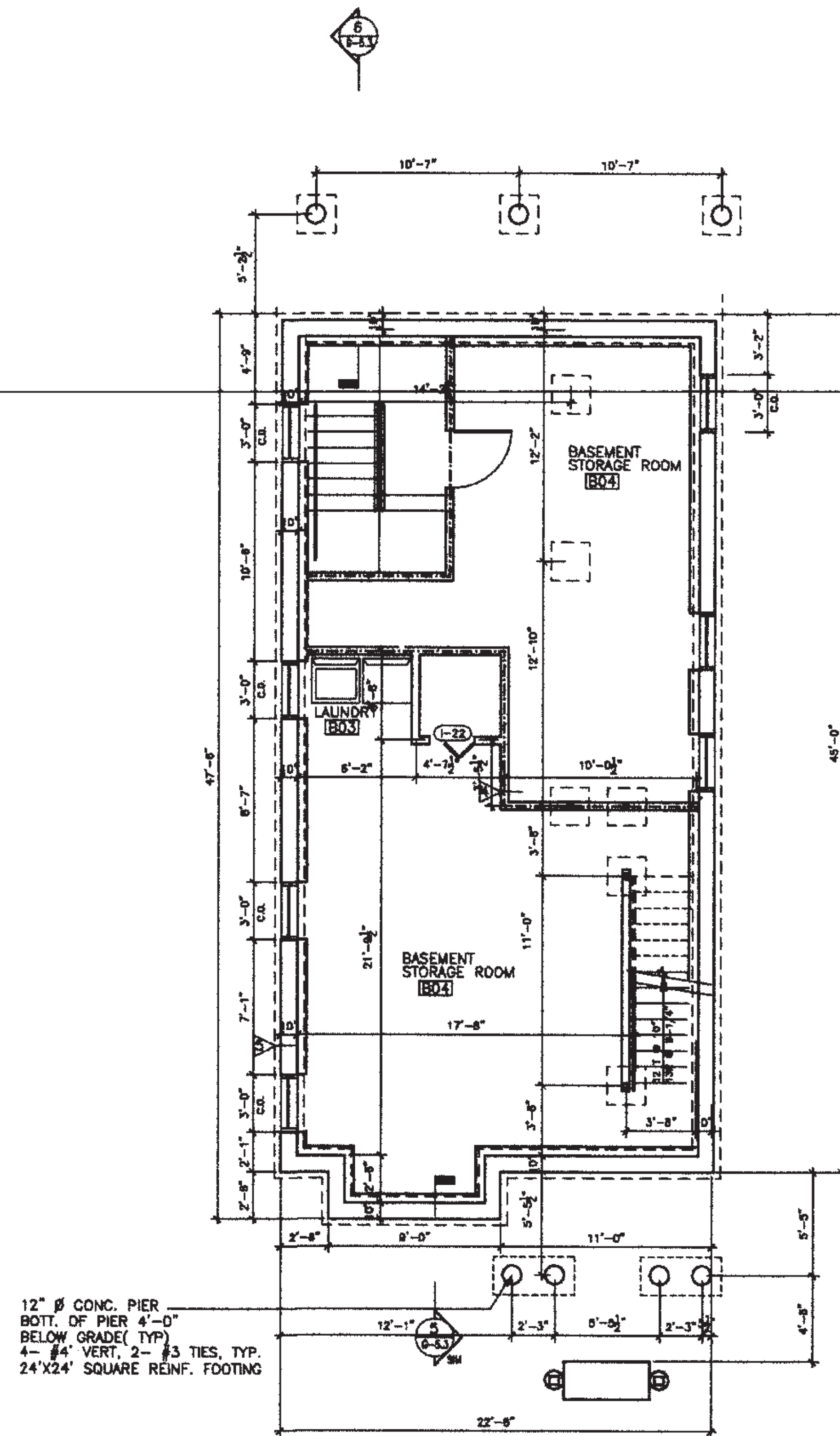
LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
C-1	EXISTING CONDITIONS	G-4	FINISH SCHEDULE & PARTITION TYPES
BPP	BUILDING PLOT PLAN		
ARCHITECTURAL H UNIT			
A-H.1	BASEMENT & FIRST FLOOR PLAN	G-5.3	WALL SECTIONS
A-H.2	SECOND & THIRD FLOOR PLAN	G-6.1	GENERAL TYPICAL DETAILS
A-H.3	ROOF FLOOR PLANS	G-6.2	GENERAL TYPICAL DETAILS
A-H.4	EXTERIOR ELEVATIONS		
A-H.5	EXTERIOR ELEVATIONS		
STRUCTURAL H UNIT SIMILAR DRAWINGS TO BE ADJUSTED TO PLANS			
S-H.1	FOUNDATION & FIRST FRAMING PLAN		
S-H.2	SECOND & ATTIC FRAMING PLAN		
S-H.3	ROOF FRAMING PLAN		
ELECTRICAL H UNIT SIMILAR DRAWINGS TO BE ADJUSTED TO PLANS			
E-H.1	BASEMENT ELECTRICAL FLOOR PLAN		
E-H.2	FIRST & SECOND ELECTRICAL FLOOR PLAN		
E-H.3	THIRD ELECTRICAL FLOOR PLAN		

36 MALLARD AVENUE

ZONING INFORMATION	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14 2 FAMILY		
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	3,555 SF
LOT WIDTH:	40 FT	40.0' FT
LOT FRONTAGE:	40 FT	40.0' FT
F.A.R:	0.4	0.49
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	4,498 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	17.5 FT
SIDE YARD DEPTH:	10 FT 10 FT	13.5 FT 11.5 FT
REAR YARD DEPTH:	20 FT	27.0 FT
PARKING:	1/UNIT	1





UNIT TYPE H
BASEMENT PLAN
SCALE 1/4"=1'-0"

Architectural
Firm
Name

00 Street Address
City, MA 00000

PROJECT

Project
Name

00 Street Address
City, MA 00000

DEVELOPER / OWNER

Developer
Name

00 Street Address
City, MA 00000

CONSULTANT

Consultant
Name

00 Street Address
City, MA 00000

SNMP



REVISIONS

No.	Date	Description

SHEET TITLE

TYPE H-FLAT STACK
BASEMENT PLAN

SCALE: 1/4"=1'-0"

DATED: 00/00/2000

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CHECKED BY:

FILE:

DRAWING NO.

A-H.1

THESE DRAWINGS ARE INTENDED TO DEFINE SCOPE AND WILL REQUIRE REVIEW AND STAMP BY THE ARCHITECT AND ENGINEERS (STRUCTURAL,MECHANICAL,ELECTRICAL, PLUMBING AND FIRE PROTECTION) OF RECORD.

Architectural
Firm
Name

00 Street Address
City, MA 00000

PROJECT

Project
Name

00 Street Address
City, MA 00000

DEVELOPER / OWNER

Developer
Name

00 Street Address
City, MA 00000

CONSULTANT

Consultant
Name

00 Street Address
City, MA 00000

LEGEND:

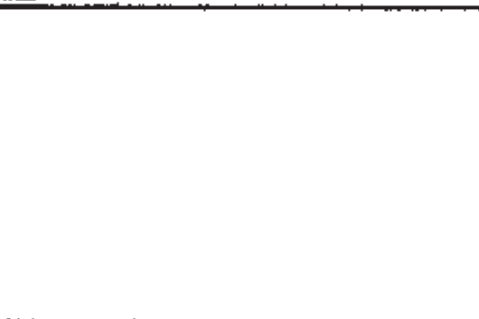
TWO HOUR RATED PARTITION

ONE HOUR RATED PARTITION

NOTES

1. SEE D-4 FOR PARTITION TYPES.
2. SEE GA-1 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
3. DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR STUD WALL AND EXTERIOR FACE OF FOUNDATION WALL.
4. DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.

STAMP



REVISIONS

No.	Date	Description

SHEET TITLE

TYPE H- FLAT STACK
FIRST & SECOND
FLOOR PLANS

SCALE 1/4"=1'-0"

DATE 00/00/2000

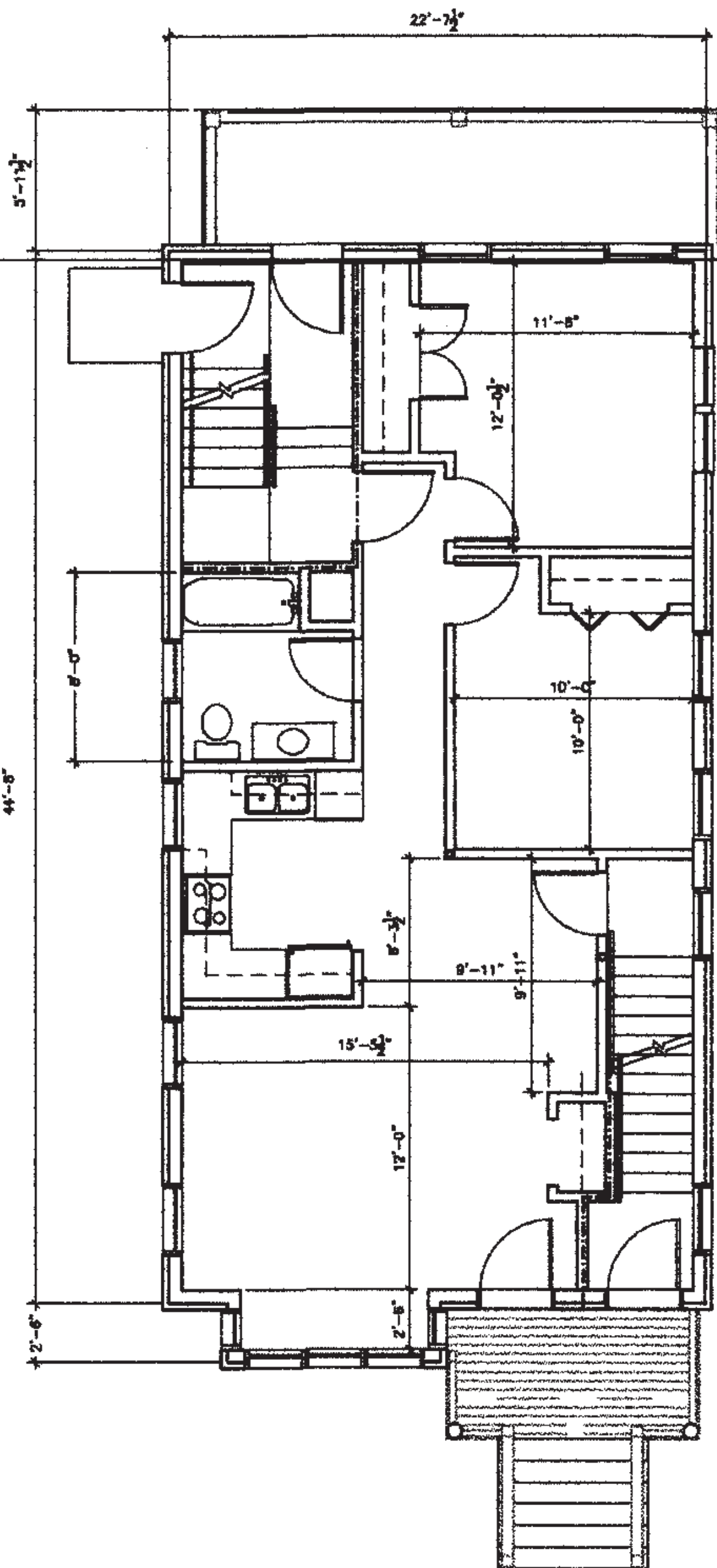
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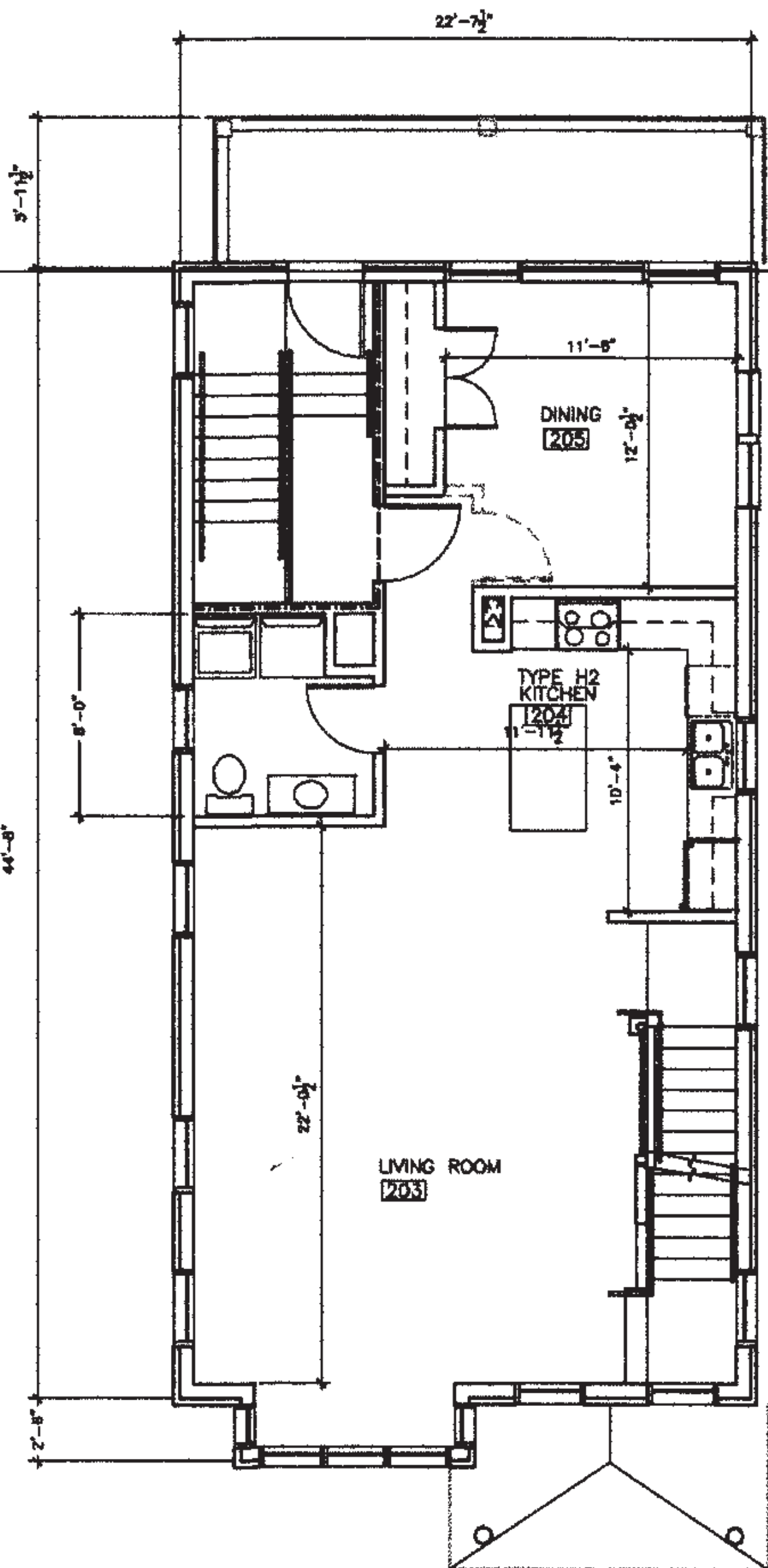
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A-H.2



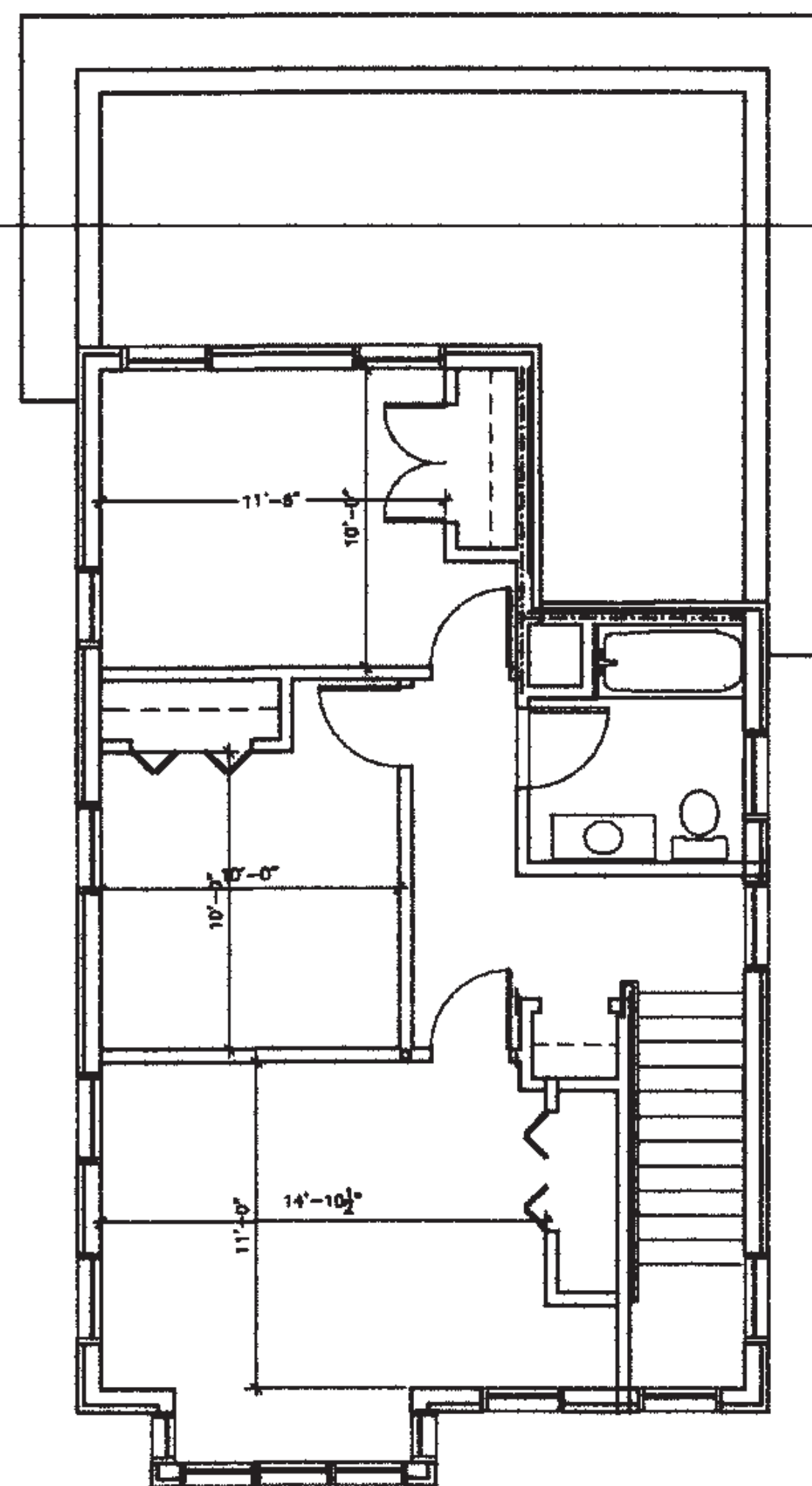
UNIT TYPE H
FIRST FLOOR PLAN

SCALE 1/4"=1'-0"

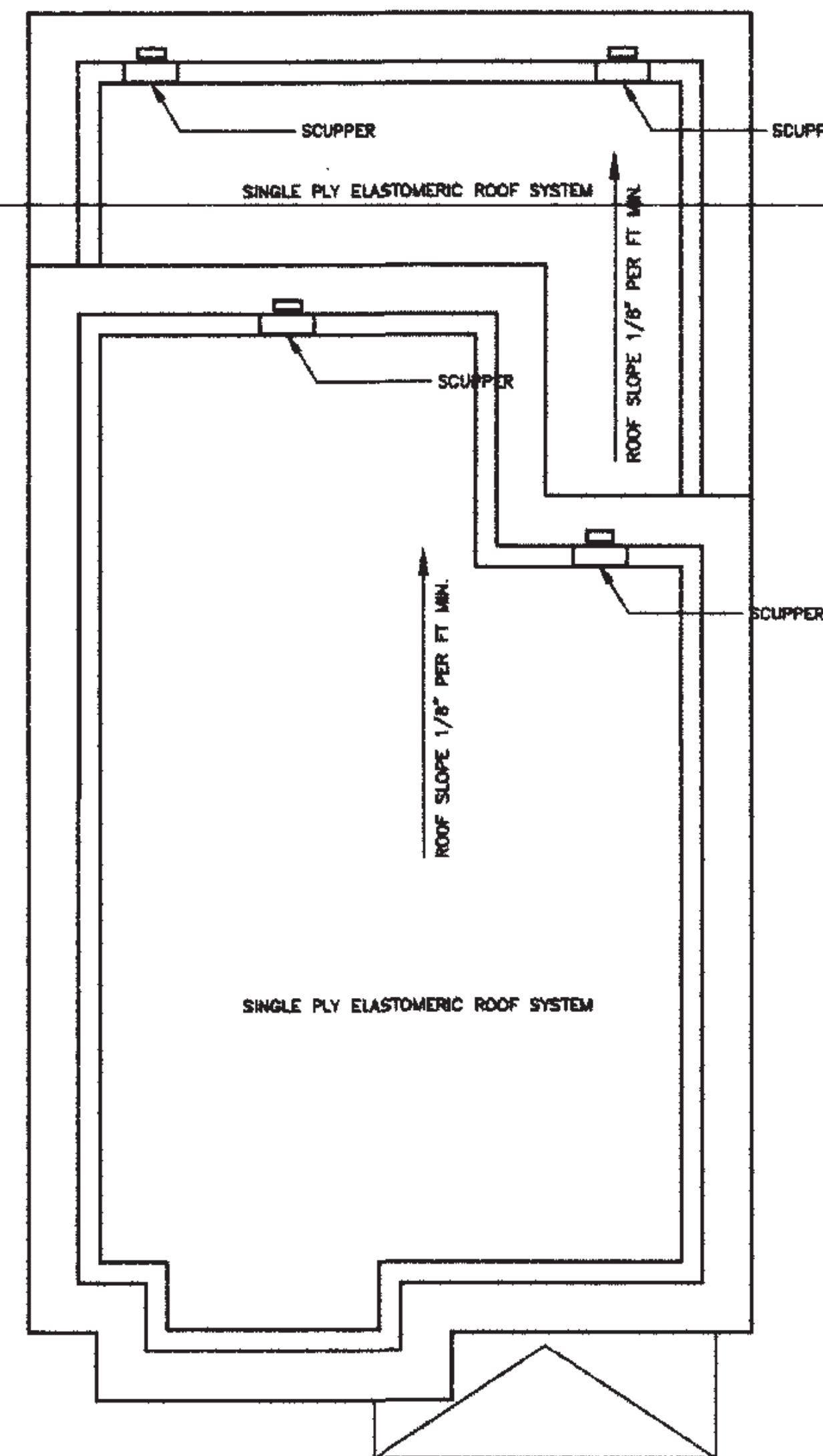


UNIT TYPE H
SECOND FLOOR PLAN

THREE DRAWINGS ARE INTERDEPENDENT AND REQUIRE REVIEW AND STAMP BY THE ARCHITECT AND ENGINEER (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION) OF RECORD.



UNIT TYPE H
THIRD FLOOR PLAN
SCALE 1/4"=1'-0"



ROOF PLAN
SCALE 1/4"=1'-0"

Architectural Firm Name

00 Street Address
City, MA 00000

PROJECT

Project Name

00 Street Address
City, MA 00000

DEVELOPER / OWNER

Developer Name

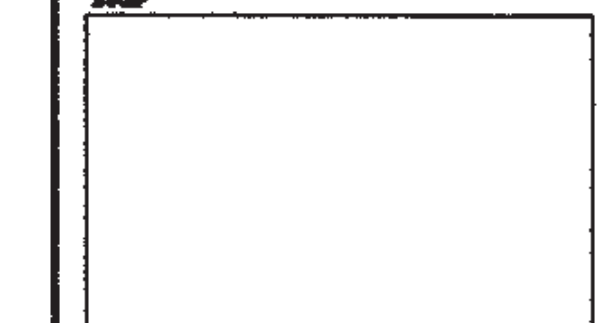
00 Street Address
City, MA 00000

CONSULTANT

Consultant Name

00 Street Address
City, MA 00000

STAMP



REVISIONS

No.	Date	Description

SHEET TITLE

TYPE H- FLAT STACK THIRD FLOOR & ROOF PLANS

SCALE: 1/4"=1'-0"
DATE: 00/00/00
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PLD

DRAWING NO.

A-H.3

THESE DRAWINGS ARE INTENDED TO DEFINE SCOPE AND WILL REQUIRE REVIEW AND STAMP BY THE ARCHITECT AND ENGINEERS (STRUCTURAL,MECHANICAL,ELECTRICAL, PLUMBING AND FIRE PROTECTION) OF RECORD.

NOTES:

1. N/A

2. CAULKING

A. CAULK AND SEAL ALL JOINTS IN EXTERIOR CONSTRUCTION.
B. CAULK AND SEAL ALL JOINTS BETWEEN PERIMETER OF EXTERIOR DOOR FRAMES, WINDOW FRAMES, VENTS, LOUVERS, AND OTHER ITEMS OCCURRING IN OPENINGS IN EXTERIOR WALLS, AND THE SURROUNDING CONSTRUCTION.

C. CAULK AND SEAL ALL INTERIOR PERIMETER JOINTS AT DOORS FRAMES, WINDOW FRAMES, VENTS, LOUVERS, AND OTHER WALL OPENINGS.

D. PROVIDE ALL OTHER EXT. AND INT. SEALING CALLED FOR, OR REASONABLY INFERRED FROM DRAWINGS, AND AS REQUIRED TO PROVIDE WEATHERTIGHT CONDITIONS IN EXTERIOR ASSEMBLIES.

E. COMPLY WITH ALL REQUIREMENTS BY ALL MANUFACTURERS/AND PRODUCTS AND GOOD ENGINEERING PRACTICE.

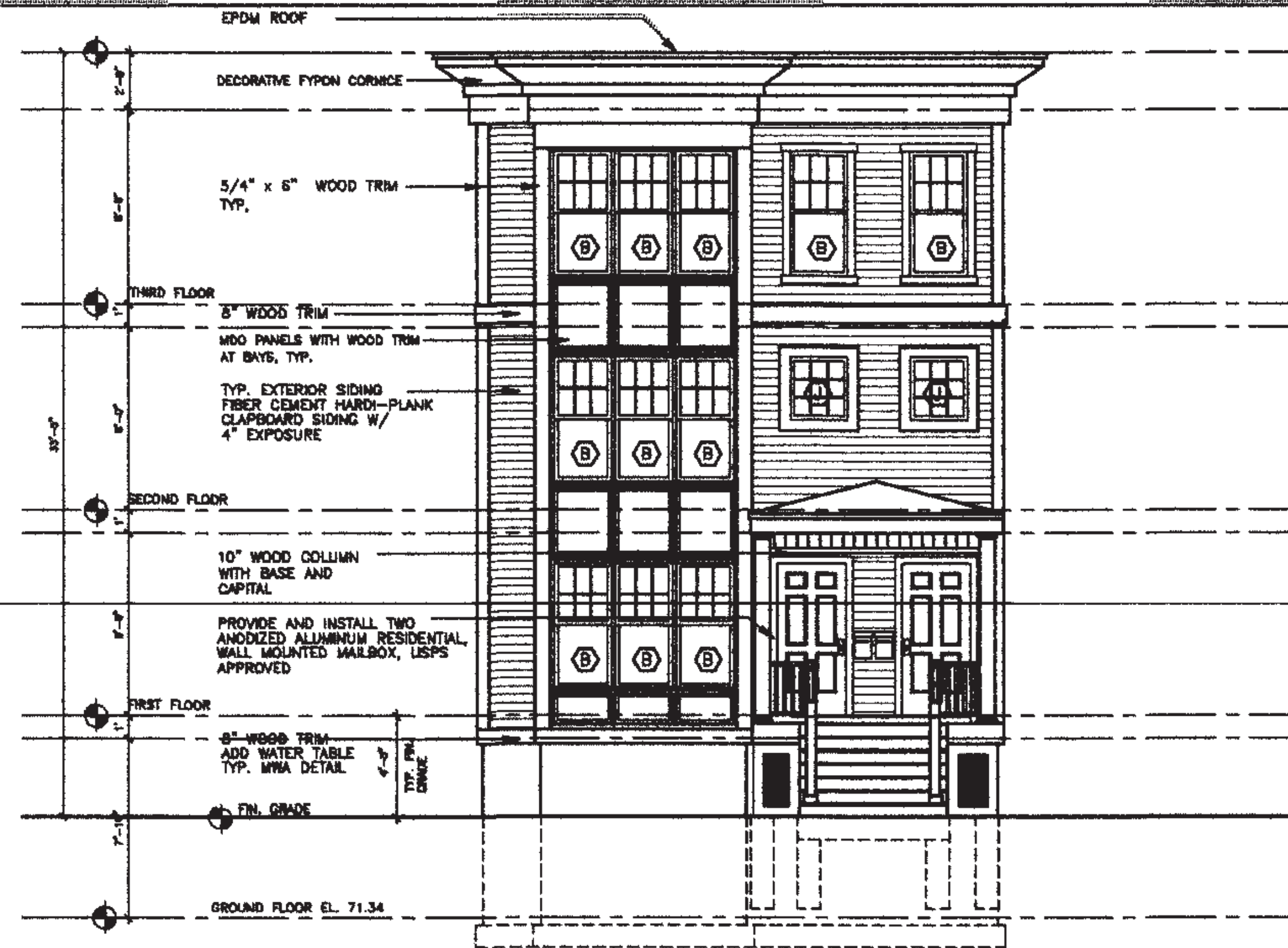
3. SEE GA-6 FOR TYPICAL DETAILS.

4. COORDINATE EXTERIOR FINISH WORK WITH PLUMBING, HVAC AND ELECTRICAL PENETRATIONS.

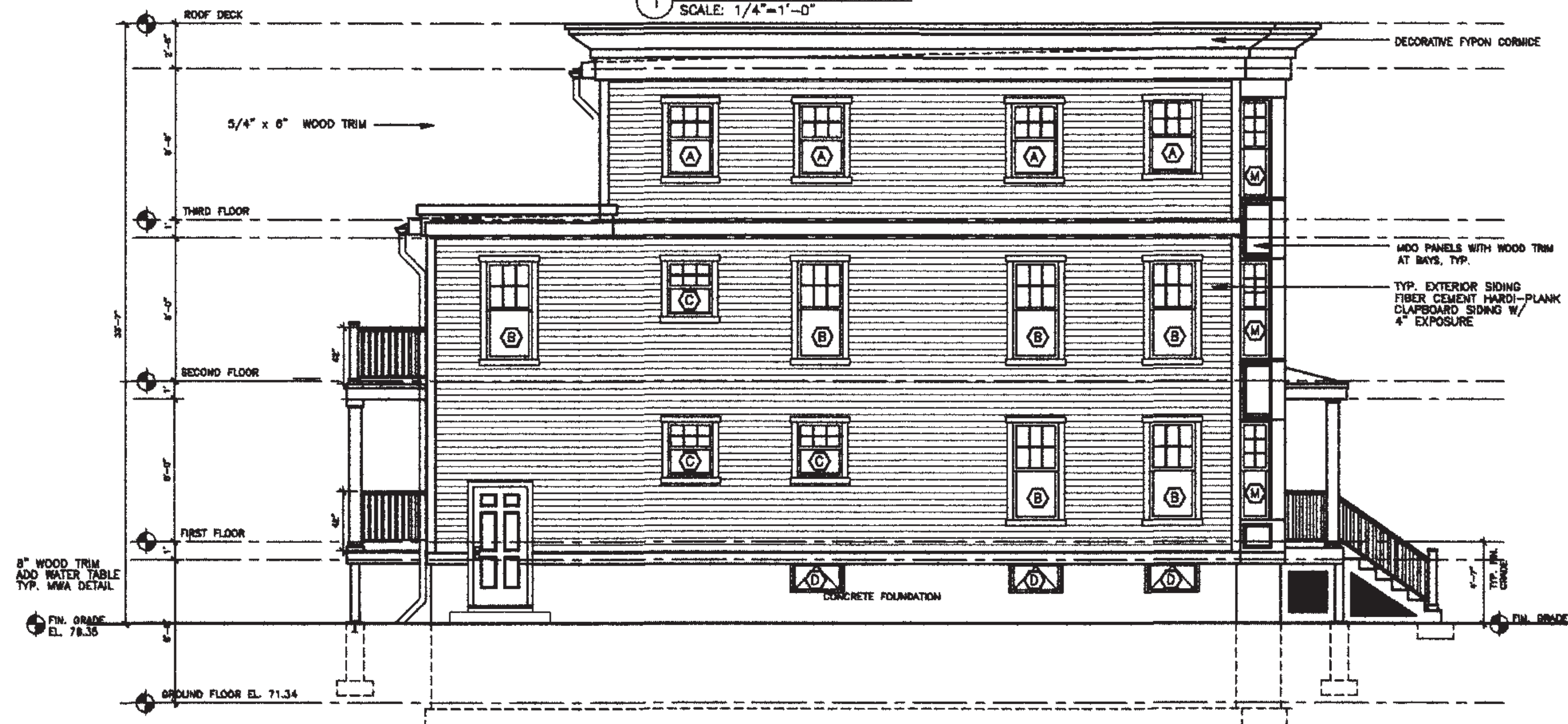
5. ALL WALL CAPS TO BE ANODIZED ALUMINUM COLOR TO MATCH EXTERIOR.

6. EXPOSED METAL FLASHING COLOR TO MATCH ADJACENT SERVICES.

7. COORDINATE NUMBER OF EXT. STAIR TREADS AND RISERS TO MATCH GRADES AT EACH LOCATION.



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

Architectural Firm Name

00 Street Address
City, MA 00000

PROJECT

Project Name

00 Street Address
City, MA 00000

DEVELOPER / OWNER

Developer Name

00 Street Address
City, MA 00000

CONSULTANT

Consultant Name

00 Street Address
City, MA 00000

STAMP



REVISIONS

No.	Date	Description

SHEET TITLE

TYPE H- FLAT STACK EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

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CHECKED BY:

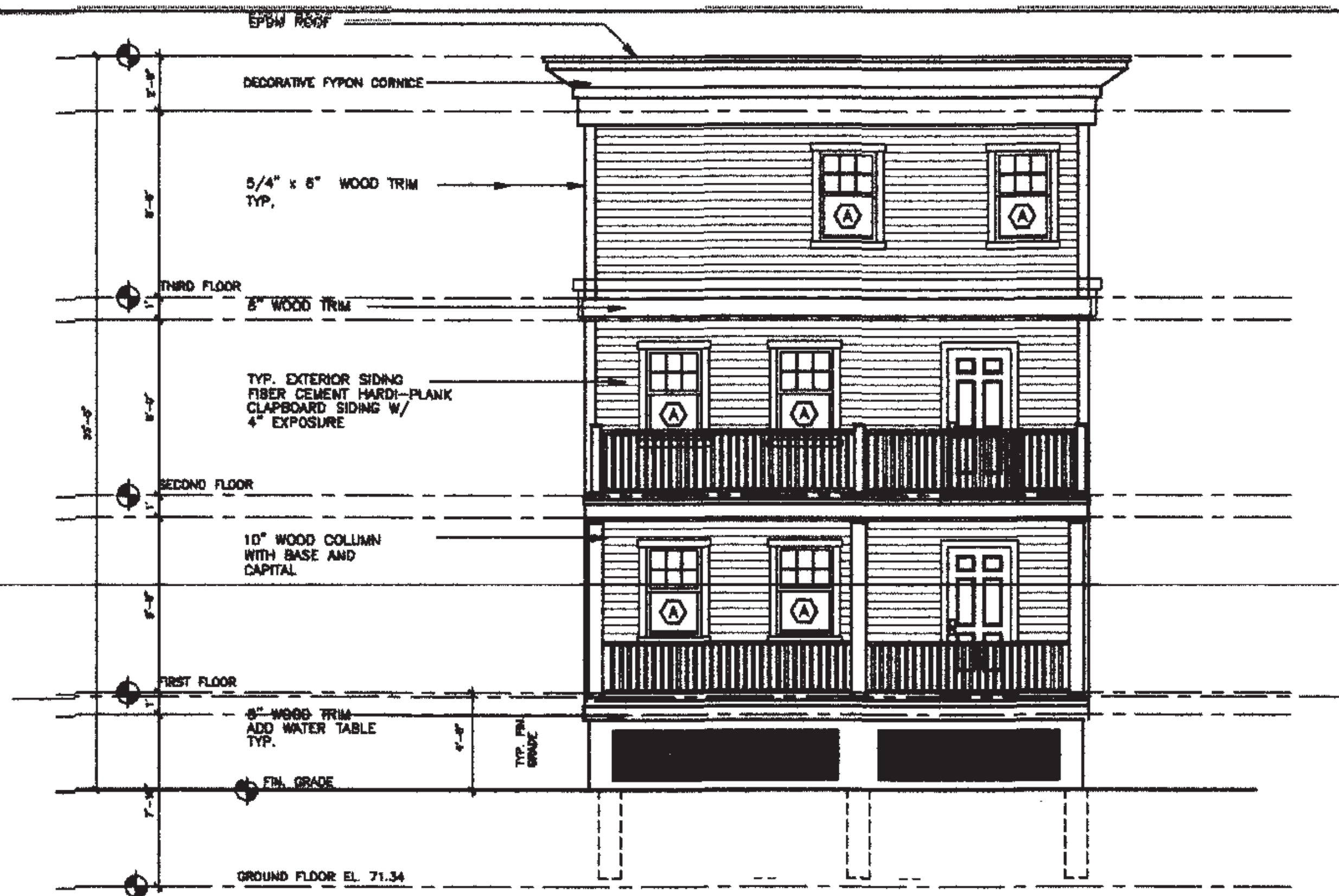
DATE:

FILE:

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A-H.4

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**Architectural
Firm
Name**

00 Street Address
City, MA 00000

PROJECT

**Project
Name**

00 Street Address
City, MA 00000

DEVELOPER / OWNER

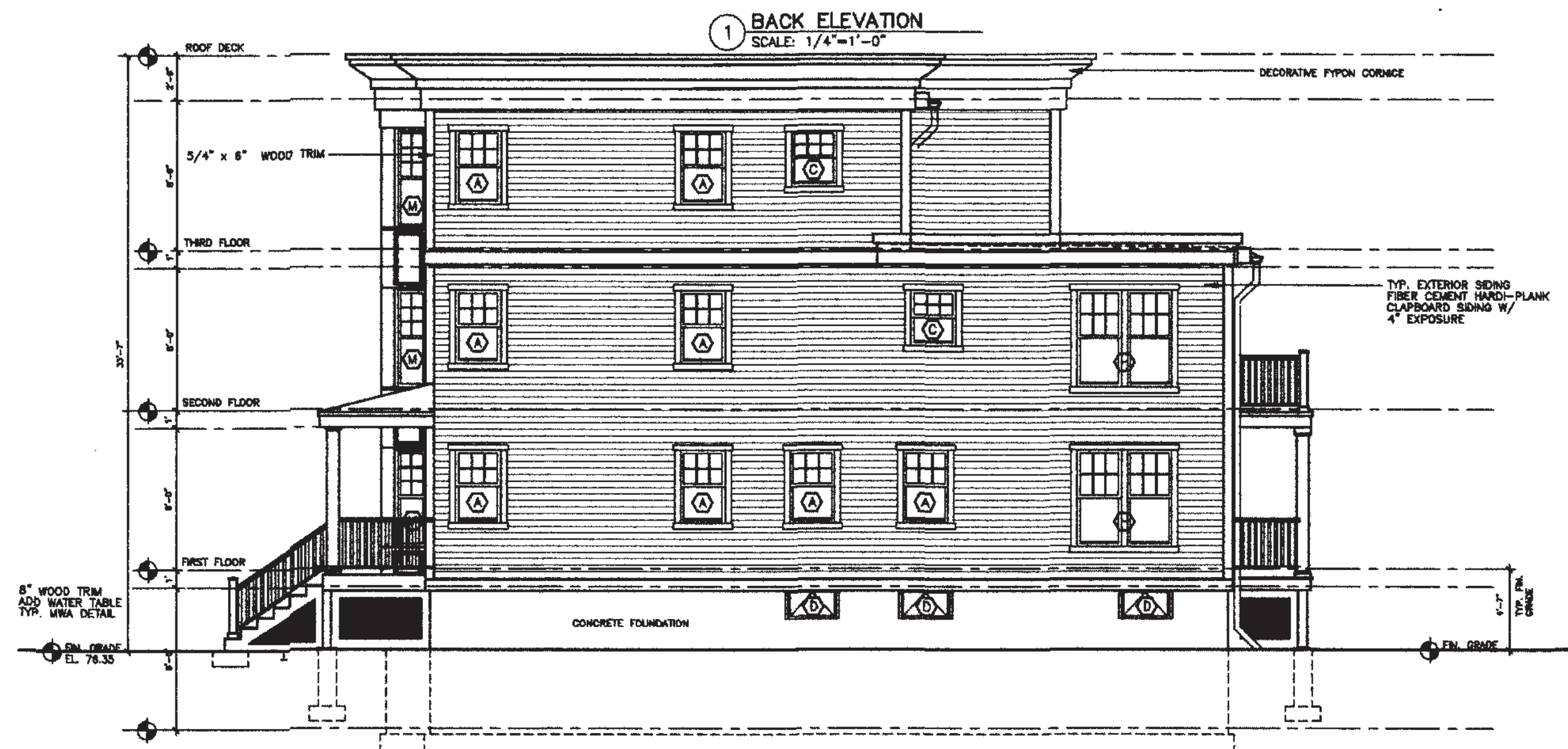
**Developer
Name**

00 Street Address
City, MA 00000

CONSULTANT

**Consultant
Name**

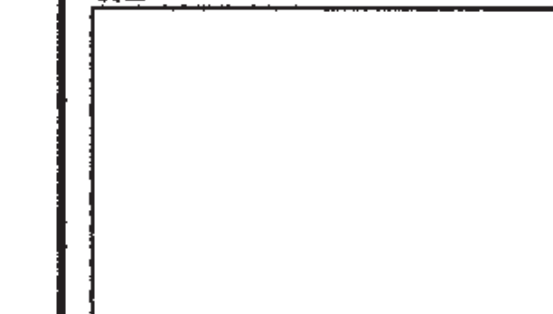
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1 BACK ELEVATION
SCALE: 1/4"=1'-0"

2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

STAMP



REVISIONS

No.	Date	Description

SHEET TITLE

**TYPE H- FLAT STACK
EXTERIOR ELEVATIONS**

SCALE: 1/4"=1'-0"
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DRAWING NO.

A-H.5

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FOUNDATION PLAN

SCALE 1/4"=1'-0'

1ST FLOOR FRAMING PLAN

SCALE: $1/4" = 1' - 0"$

Micheal Washington Architects Inc.

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PROJECT

**NEW ENGLAND
HERITAGE HOMES**

DORCHESTER, MASSACHUSETTS

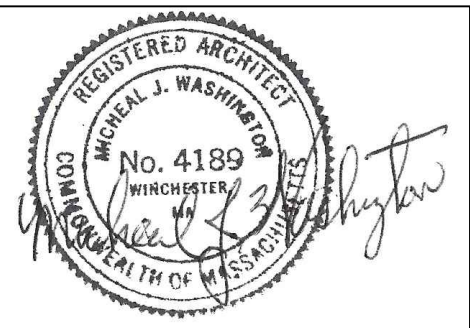
DEVELOPER

**CODMAN SQUARE
NEIGHBORHOOD
DEVELOPMENT
CORPORATION**

DORCHESTER, MASSACHUSETTS

NOTE:

1. ALL FRAMING AND STRUCTURAL DESIGN MEMBER, SIZES AND ELEMENTS TO BE CONFIRMED BY FINAL ARCHITECT AND ENGINEER OF RECORD.



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SHEET TITLE

FOUNDATION & 1ST FLOOR FRAMING PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

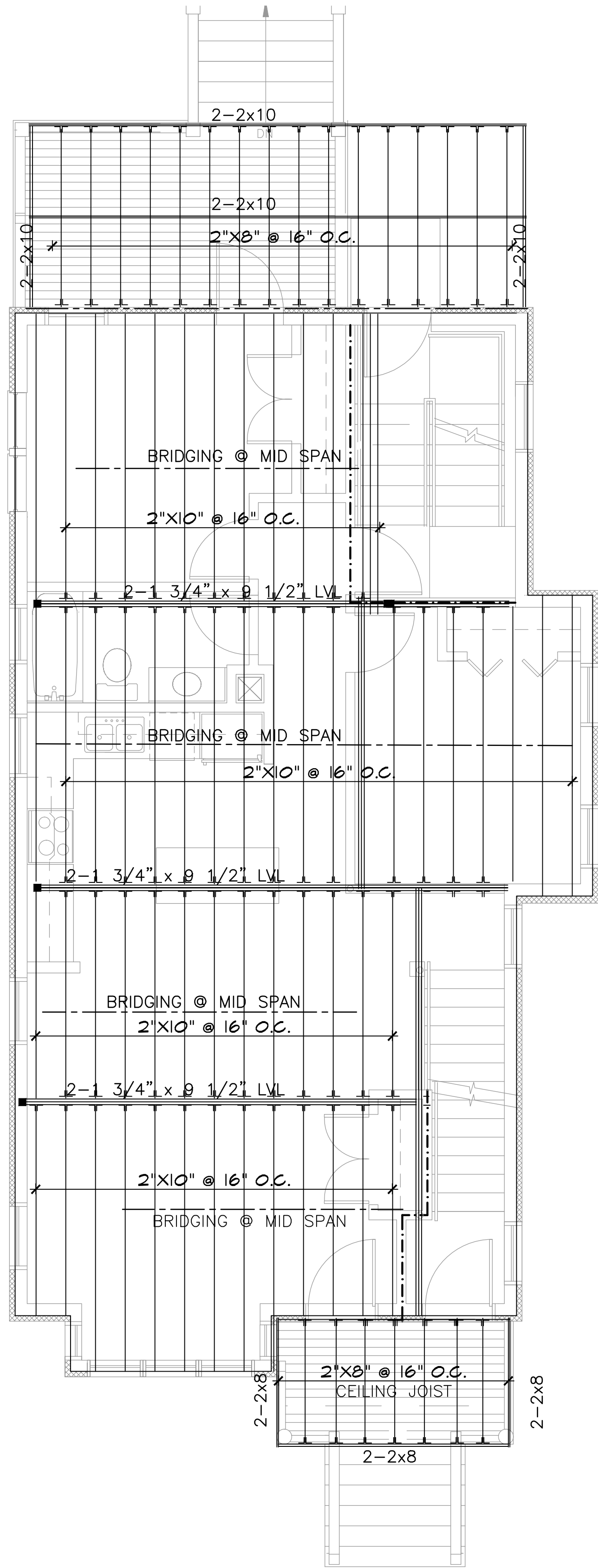
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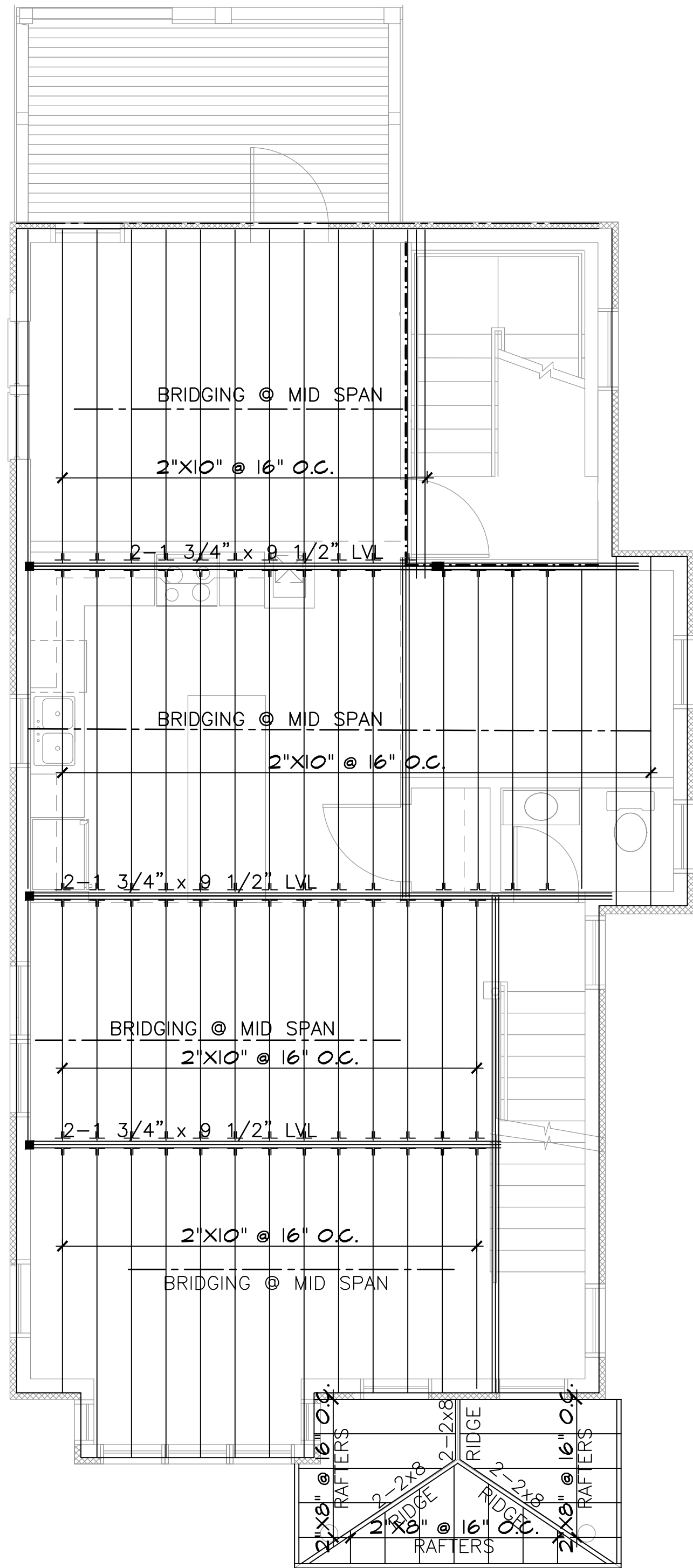
STAIR, RISERS AND TREADS TO BE
VERIFIED BY ARCHITECT OF RECORD

STAIR, RISERS AND TREADS TO BE
VERIFIED BY ARCHITECT OF RECORD

2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

4x4 STRUCTURAL
POST UNDER ALL
LVL'S TYP. ALL UNITS



THIRD FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

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PROJECT

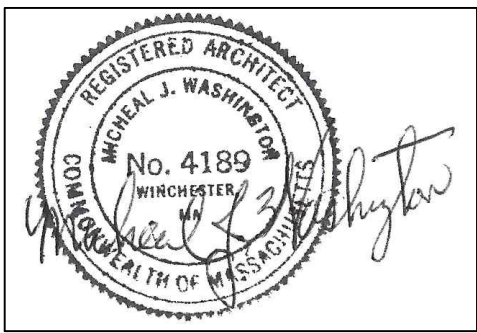
NEW ENGLAND
HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE
NEIGHBORHOOD
DEVELOPMENT
CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

2ND & ATTIC FLOOR
FRAMING PLANS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

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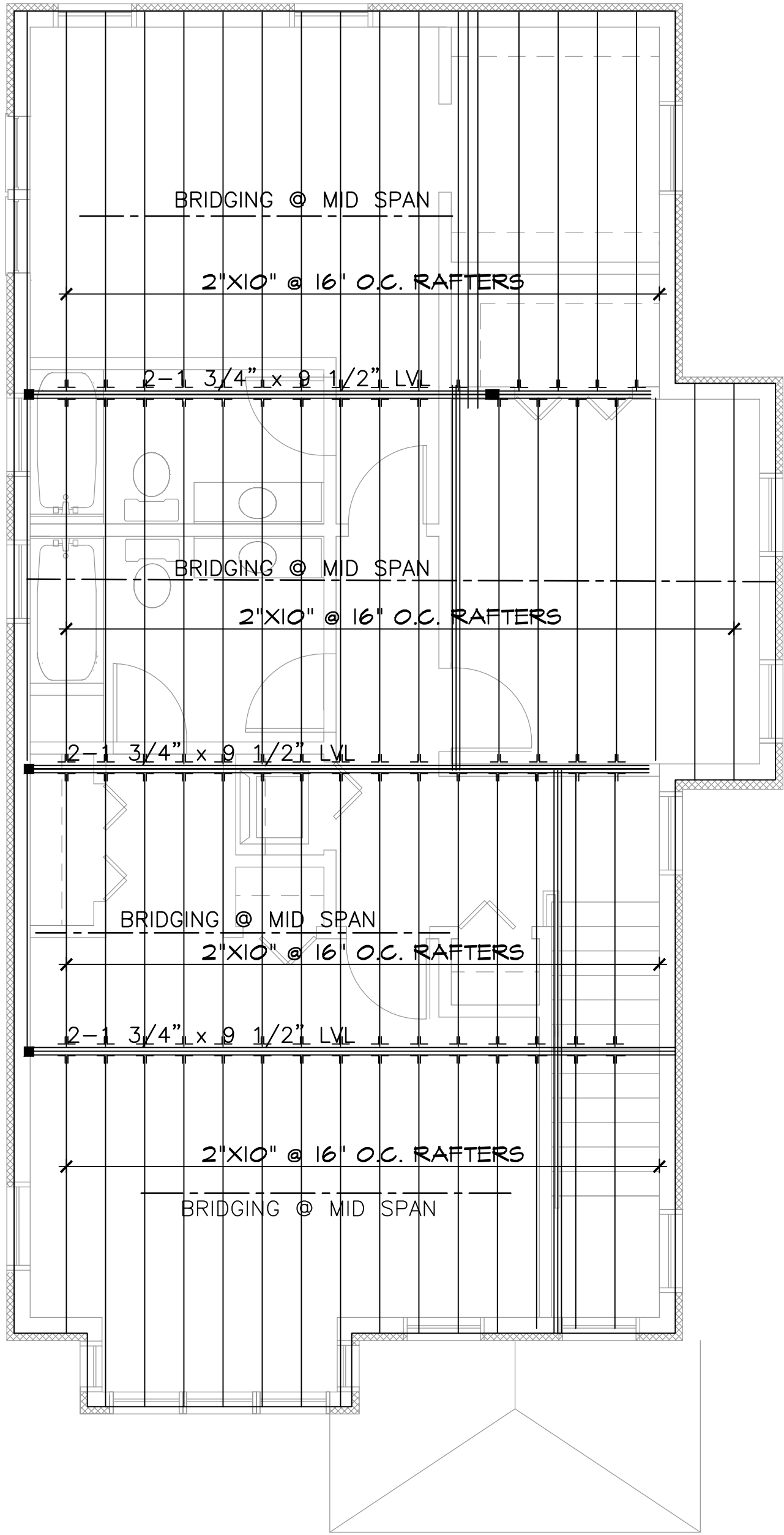
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FILE:NEHH.dwg

DRAWING NO.

S-H.2

SEE SECTION FOR SLOPE



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

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E-MAIL: MWAINC1@HOTMAIL.COM

PROJECT

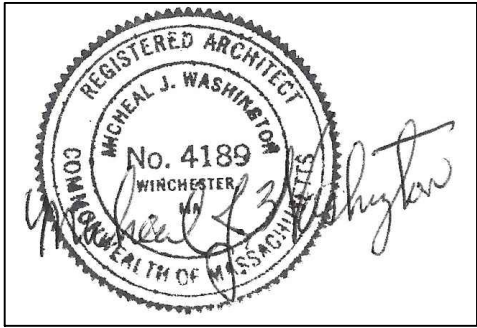
**NEW ENGLAND
HERITAGE HOMES**

DORCHESTER, MASSACHUSETTS

DEVELOPER

**CODMAN SQUARE
NEIGHBORHOOD
DEVELOPMENT
CORPORATION**

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

ROOF FRAMING PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"
DATE: 12/01/2015
DRAWN BY:
CHECKED BY: MW
FILE:NEHH.dwg

DRAWING NO.

S-H.3

Micheal Washington Architects Inc.

891 Centre Street
Jamaica Plain, MA 02130

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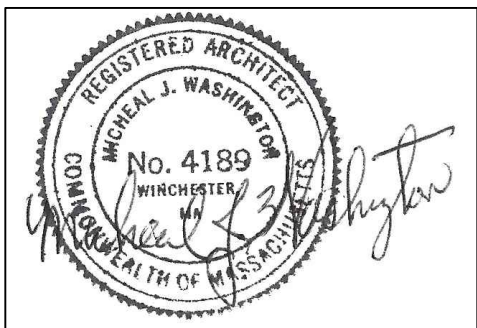
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

TYPE H TWO FAMILY BASEMENT ELECTRICAL PLAN SCHEDULES AND MECHANICAL NOTE

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

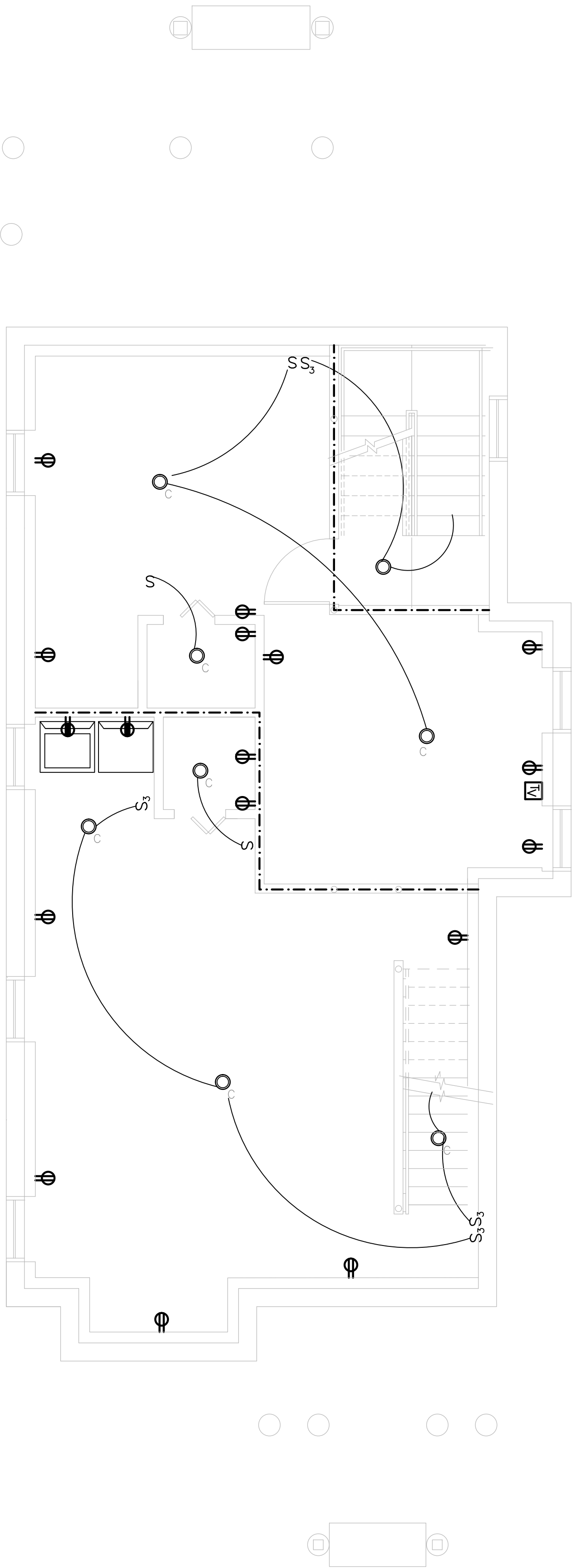
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FILE:NEHH.dwg

DRAWING NO.

E-H.1



BASEMENT ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

ELECTRICAL SYMBOLS

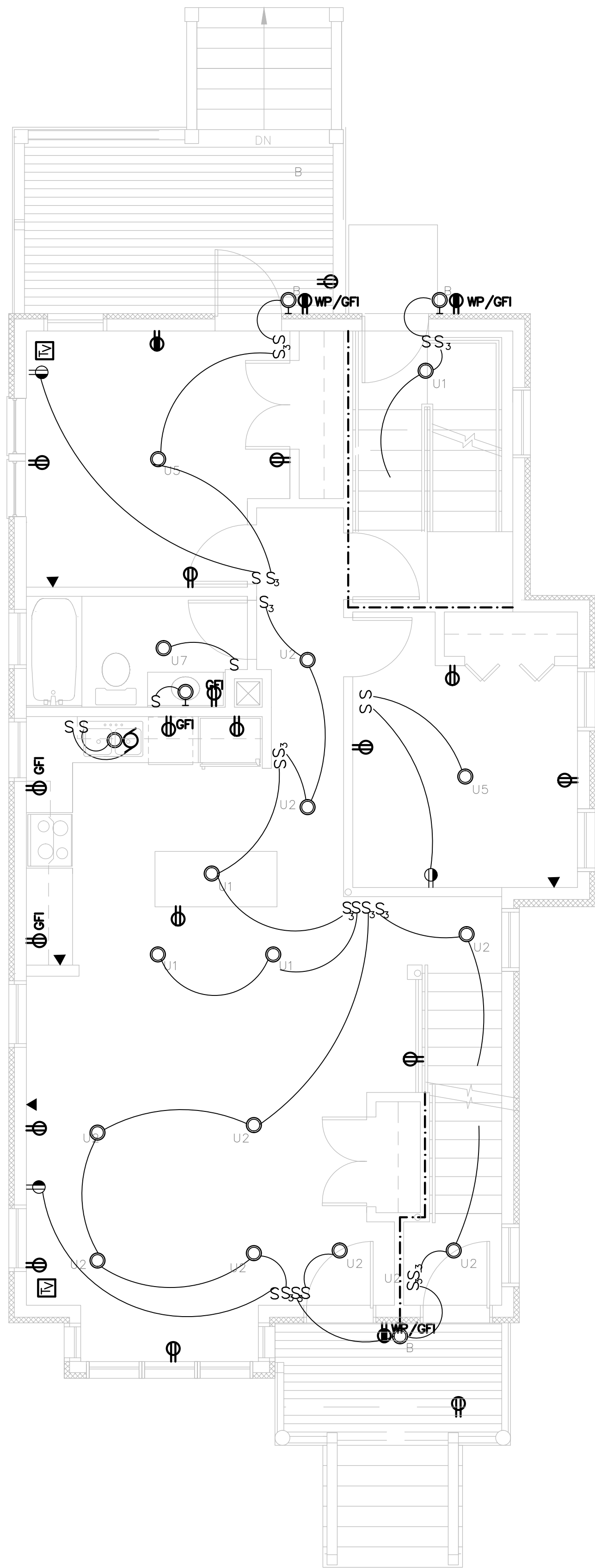
- CEILING MOUNTED LIGHT FIXTURE.
- WALL MOUNTED LIGHT FIXTURE.
- 2'X2' OR 2'X4' FLUORESCENT LIGHT FIXTURE.
- 1'X4' FLUORESCENT WALL/CEILING MOUNTED LIGHT FIXTURE.
- S SINGLE POLE LIGHT SWITCH
- S₃ THREE-WAY LIGHT SWITCHES
- S_D DIMMER SWITCH MINIMUM 1000W OR AS REQUIRED PER CIRCUIT
- ⊕ DUPLEX RECEPTACLE, 120V,18" AFF.
- ⊕^{GFI} DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 8" ABOVE COUNTER TO Q.
- ⊕ DUPLEX RECEPTACLE, 120V,18" AFF., ONE OUTLET SWITCHED
- ⊕ 120V DOUBLE DUPLEX CONVENIENCE RECEPTACLE
- ⊕ DUPLEX RECEPTACLE ABOVE COUNTER, 8" ABOVE COUNTER TO Q.
- ▼ TELEPHONE JACK COMPLETE W/JACK AND COVER, WALL MOUNTED @ 4'-0" A.F.F)
- ⊕ MOTOR
- S SYSTEM TYPE SMOKE DETECTOR - DBEC
- S_D DUCT SMOKE DETECTOR W/REMOTE TEST SWITCH - DBEC
- H HEAT DETECTOR - DBEC
- ▽^F FIRE ALARM AUDIO/VISUAL UNIT. MTD. @ 6'-8" AFF - DBEC
- H FIRE ALARM MINI HORN - DBEC
- ⊕ JUNCTION BOX - DBEC
- ⊕ LIGHTING & POWER PANEL, RECESSED - DBEC
- FACP FIRE ALARM CONTROL PANEL - DBEC
- ANN FIRE ALARM ANNUNCIATOR - DBEC
- TV CABLE
- DBEC - DESIGN AND INSTALLED BY ELECTRICAL CONTRACTOR

FIXTURE SCHEDULE

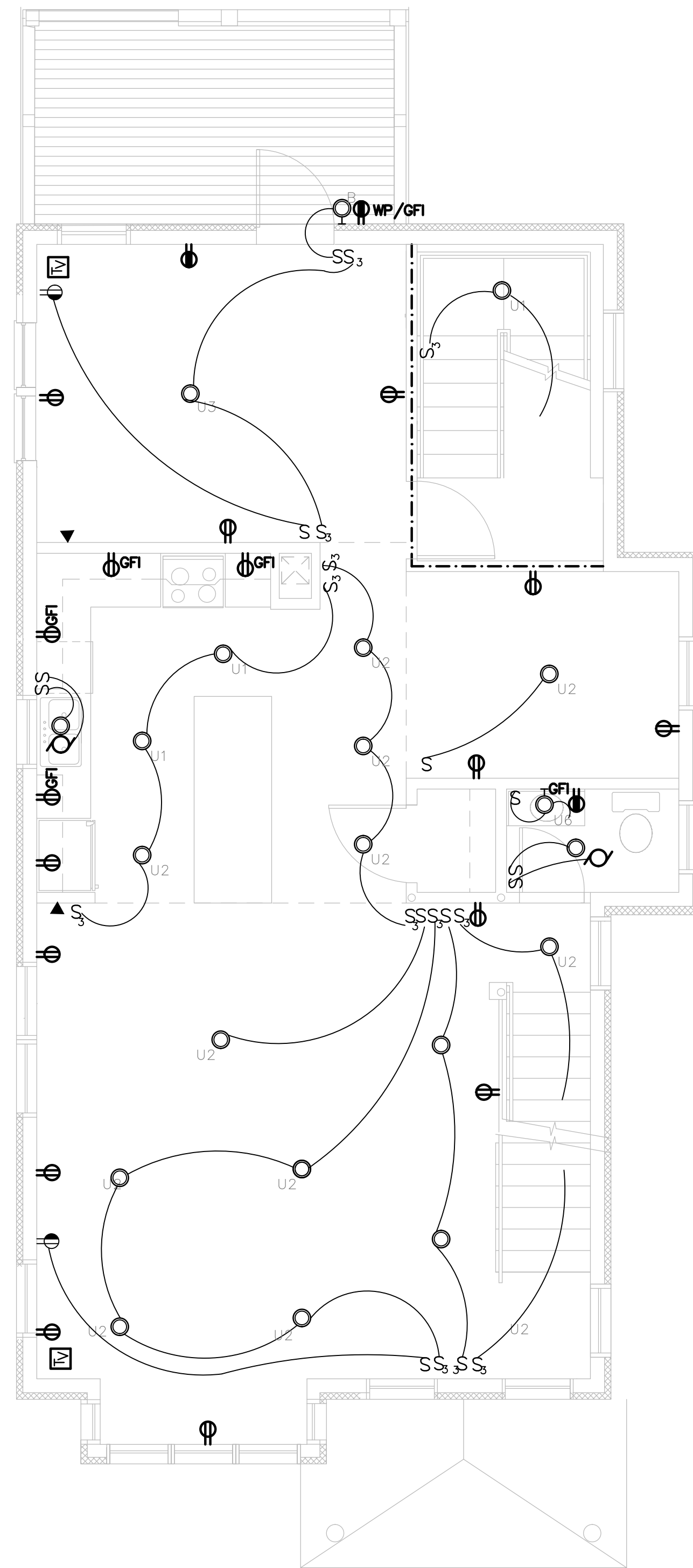
TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP	DESCRIPTION
U1	PROGRESS	P2851-09	120	(2)23WCFL MINI-TWIST	KITCHEN
U2	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	ENTRANCE/LIVING RM/ HALLWAY & STAIR
U3	PROGRESS	P6163-09WB	120	(4)50W MR16	DINING ROOM
U4	PROGRESS	P3408-09	120	(1)13 CFL MINI-TWIST	CLOSET LIGHT
U5	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	BEDROOM LIGHT
U6	PROGRESS	P3223-09WB	120	(3)60W HALOGEN G9	BATHROOM VANITY ABOVE SINK
U7	PROGRESS	P3410-09	120	(2)13 CFL MINI-TWIST	BATHROOM CEILING LIGHT
A	PROGRESS	P6017-84	120	(2)18W CFL	EXTERIOR CEILING MOUNTED
B	PROGRESS	P5749-84	120	(1)18W CFL	EXTERIOR WALL MOUNTED
C	PROGRESS	P3688-09	120	(1)13 CFL MINI-TWIST	BASEMENT LIGHT
D	PROGRESS	P2501-04			CEILING FAN

MECHANICAL SYSTEMS

- HEATING/COOLING SYSTEM: 1. Fujitsu, mitsubishi, or equal mini split heat pump system
2. Compressor sized
3. 4 Heads.
4. No ducts shall be installed
5. HSPF of 12 or greater
6. SEER of 20 or greater
- HOT WATER SYSTEM: Gas domestic hot water system - instantaneous gas dhw system EF of .95 or higher
or
If gas is not available use Electric heat pump water heater
Locate Unit as Desired.
- ERV SYSTEM: Provide energy recovery system (ERV) by Panasonic FV04VE1, Venmar or equivalent
Capable of meeting ventilation code 50-80 CFM that meets the 2012 IECC standards for efficacy
- PASSIVE RADON SYSTEM: Provide a radon resistant construction techniques including a passive system which from the perforated pipe under the slab, up through slab, and house, terminating above the roof with an electrical outlet in the attic for installing a fan, making it an active system, if there is a high reading measured.
ASTM E1465 Practice for Radon Control Options
- TO BE SOLAR PV READY: Install Conduit from roof to area in basement
In basement room for a solar meter, an inverter and a switch box
On exterior of basement room following the local electric company guidelines, an accessible safety off switch box
- PLUMBING: Water Sense (EPA) for all interior plumbing devices;
Showerhead
Toilet
Lavatory Faucet
- APPLIANCES: Use Energy Star Appliances
Use Electric Range and exhaust range to exterior
- Power Requirement, Panel Location, Fire Alarm, CO2, Security and Final Design by the Architect and Engineers of Record.



1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

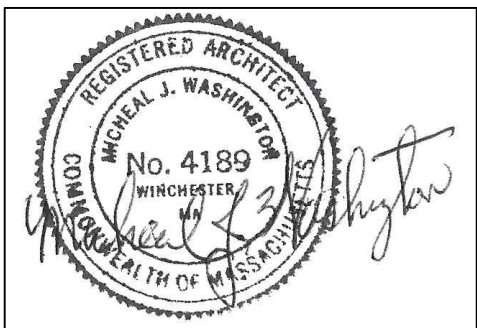


2ND FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

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PROJECT
NEW ENGLAND HERITAGE HOMES
DORCHESTER, MASSACHUSETTS

DEVELOPER
CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION
DORCHESTER, MASSACHUSETTS



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SHEET TITLE
**TYPE H TWO FAMILY
1ST & 2ND FLOOR
ELECTRICAL PLANS**

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION	
SCALE:	DRAWING NO. E-H.2
DATE: 12/01/2015	
DRAWN BY:	
CHECKED BY: MW	
FILE:NEHH.dwg	

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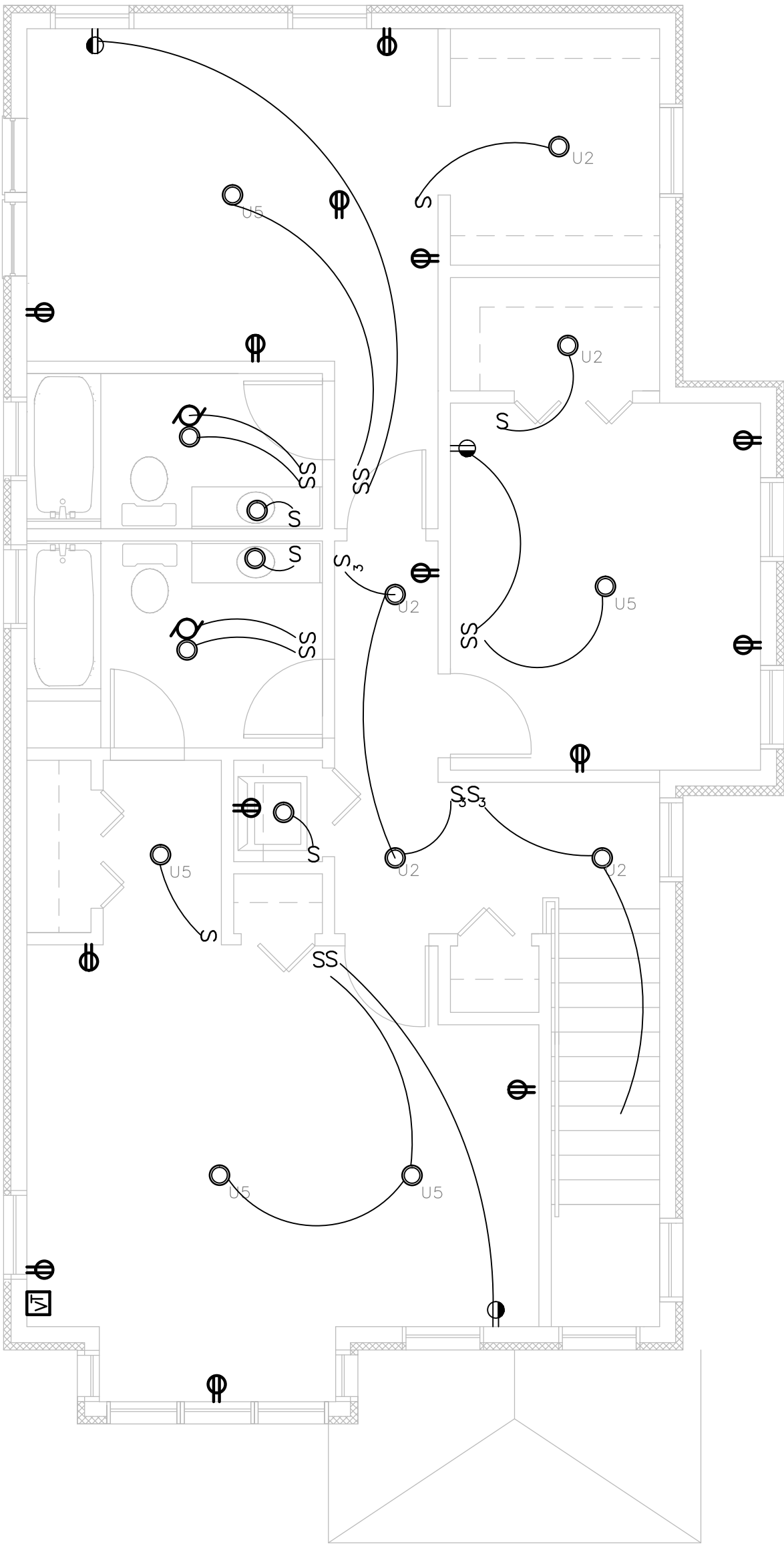
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

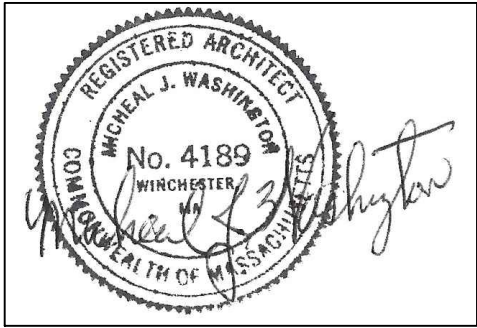
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



3RD FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



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SHEET TITLE

H-UNITS
ATTIC ELECTRICAL

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE:
DATE: 12/01/2015
DRAWN BY:
CHECKED BY: MW
FILE:NEHH.dwg

DRAWING NO.

E-H.3

34 MALLARD AVENUE (BUILDING EM)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

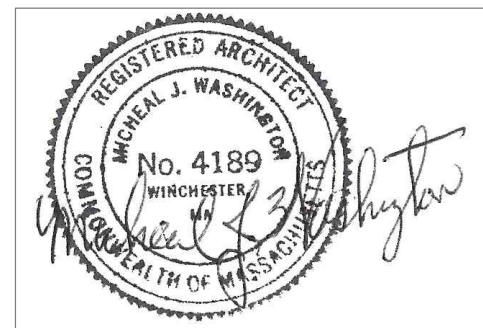
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:

MICHEAL WASHINGTON ARCHITECTS, INC.

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EMAIL: mwainc1@hotmail.com



1. ALL DRAWINGS WILL BE UPDATED AND MODIFIED
2. ALL GENERAL DRAWINGS TO BE UPDATED INCLUDING REMOVAL OF HUNTER PANELS AND DOWNGRADING R VALUES TO CURRENT CODE.
3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

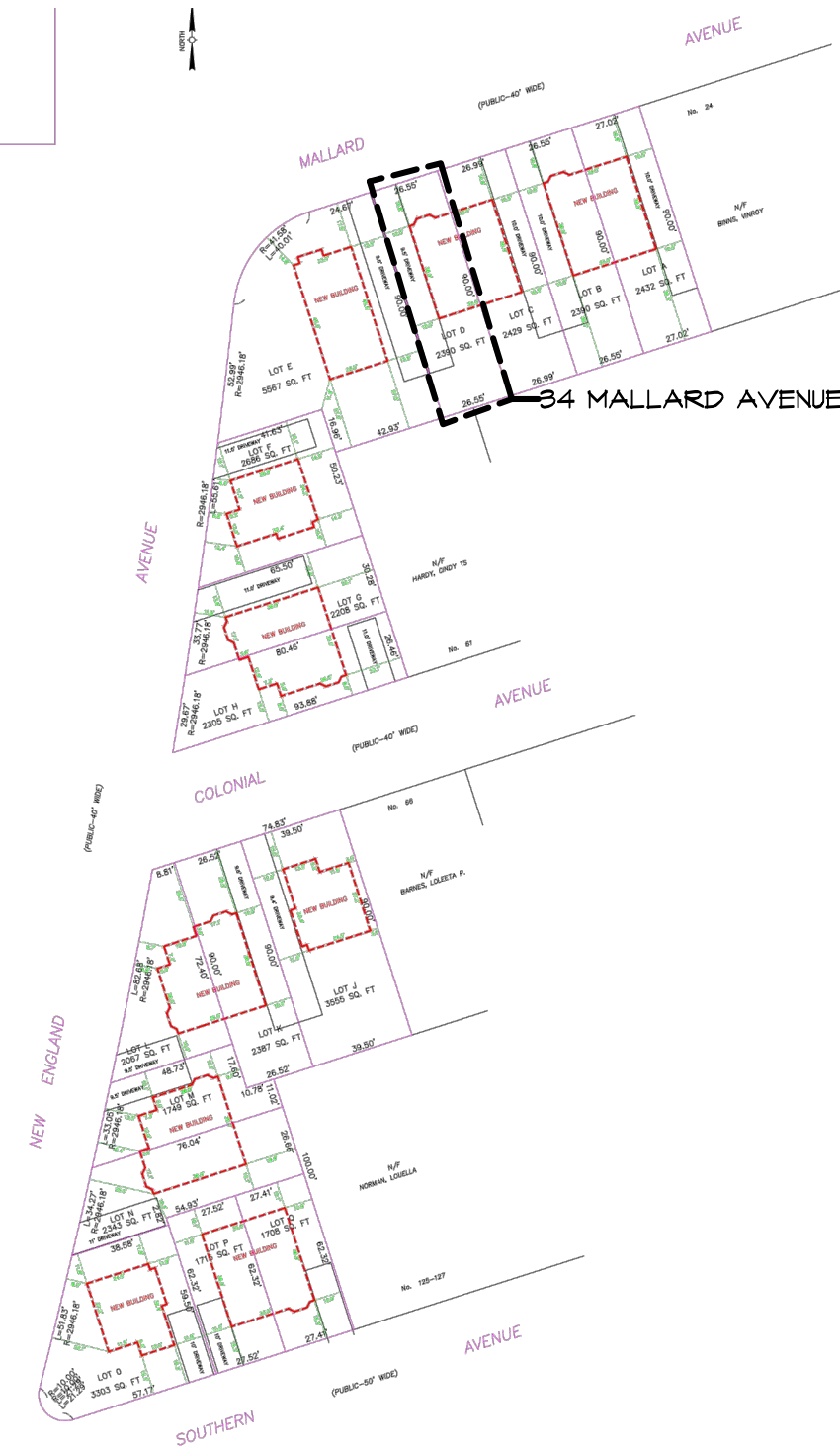
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4. CONTRACTOR IS TO VERIFY ALL DIMENSION IN THE FIELD , NOTIFY ARCHITECT IF THERE ARE ANY VARIATIONS.

34 MALLARD AVENUE (BUILDING EM)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
		G-4	FINISH SCHEDULE & PARTITION TYPES
		G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
		G-6.1	GENERAL TYPICAL DETAILS
		G-6.2	GENERAL TYPICAL DETAILS
ARCHITECTURAL EM UNIT			
A-1.0	BASEMENT & FIRST FLOOR PLAN		
A-1.1	SECOND & THIRD FLOOR PLANS		
A-1.2	ROOF FLOOR PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-2.1	EXTERIOR ELEVATIONS		

34 MALLARD AVENUE		
ZONING INFORMATION		
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADD'L UNIT	2,390 SF
MIN. LOT WIDTH:	40 FT	26.55' FT
MIN. LOT FRONTAGE:	40 FT	26.55' FT
MAX. F.A.R:	0.4	0.67
MAX. BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1,769 SQ. FT.
MIN. FRONT YARD DEPTH:	15FT/MOD.	16.8 FT
MIN. SIDE YARD DEPTH:	10 FT 10 FT	10.0 FT
MIN. REAR YARD DEPTH:	20 FT	36.3 FT
MIN. PARKING:	1/UNIT	1



32 MALLARD AVENUE(BUILDING EM)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:

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32 MALLARD AVENUE(BUILDING EM)

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ARCHITECTURAL EM UNIT			
A-1.0	BASEMENT & FIRST FLOOR PLAN		
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A-1.2	ROOF FLOOR PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-2.1	EXTERIOR ELEVATIONS		

32 MALLARD AVENUE		
ZONING INFORMATION	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED		
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDTL UNIT	2,429 SF
LOT WIDTH:	40 FT	26.99' FT
LOT FRONTAGE:	40 FT	26.99' FT
F.A.R:	0.4	0.66
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	1,820 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	16.8 FT
SIDE YARD DEPTH:	10 FT	10.5 FT
REAR YARD DEPTH:	20 FT	36.3 FT
PARKING:	1/UNIT	1



30 MALLARD AVENUE (BUILDING EM)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

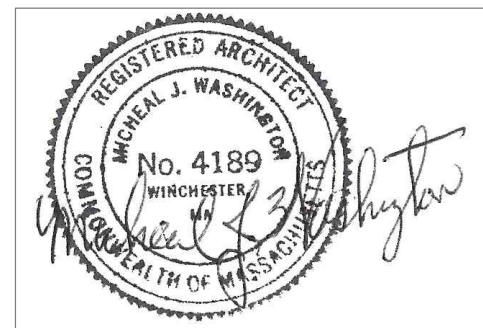
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30 MALLARD AVENUE (BUILDING EM)

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A-2.1	EXTERIOR ELEVATIONS		

30 MALLARD AVENUE

ZONING INFORMATION	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED		
MIN. LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADD'L UNIT	2,390 SF
MIN. LOT WIDTH:	40 FT	26.55' FT
MIN. LOT FRONTAGE:	40 FT	26.55' FT
MAX. F.A.R:	0.4	0.67
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MIN. OPEN SPACE:	750 SF PER UNIT	1,769 SQ. FT.
MIN. FRONT YARD DEPTH:	15FT/MOD.	16.8 FT
MIN. SIDE YARD DEPTH:	10 FT 10 FT	10.0 FT
MIN. REAR YARD DEPTH:	20 FT	36.3 FT
MIN. PARKING:	1/UNIT	1



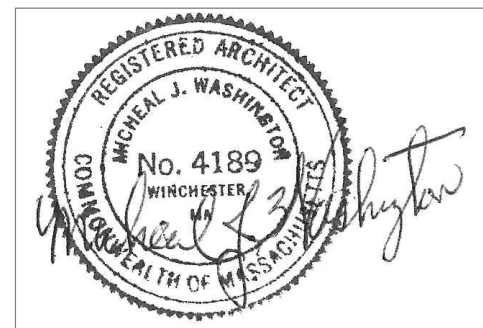
28 MALLARD AVENUE(BUILDING EM)
”NEW ENGLAND HERITAGE HOMES” AFFORDABLE
HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:
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28 MALLARD AVENUE(BUILDING EM)

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28 MALLARD AVENUE

ZONING INFORMATION		
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED	REQUIRED	ACTUAL
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADD'L UNIT	2,432 SF
LOT WIDTH:	40 FT	27.02' FT
LOT FRONTAGE:	40 FT	27.02' FT
F.A.R:	0.4	0.66
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	1,823 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	16.8 FT
SIDE YARD DEPTH:	10 FT 10 FT	10.5 FT
REAR YARD DEPTH:	20 FT	36.3 FT
PARKING:	1/UNIT	1



129 SOUTHERN AVENUE (BUILDING EM)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

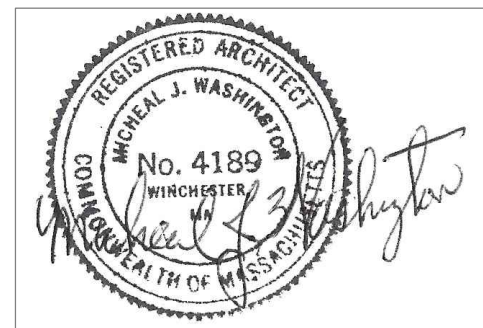
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129 SOUTHERN AVENUE (BUILDING EM)

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		G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
C-1	EXISTING CONDITIONS	G-6.1	GENERAL TYPICAL DETAILS
BPP	BUILDING PLOT PLAN	G-6.2	GENERAL TYPICAL DETAILS
ARCHITECTURAL EM UNIT			
A-1.0	BASEMENT & FIRST FLOOR PLAN		
A-1.1	SECOND & THIRD FLOOR PLANS		
A-1.2	ROOF FLOOR PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-2.1	EXTERIOR ELEVATIONS		

129 SOUTHERN AVENUE

ZONING INFORMATION		
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED	REQUIRED	ACTUAL
MIN. LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDTL UNIT	1,708 SF
MIN. LOT WIDTH:	40 FT	27.41' FT
MIN. LOT FRONTAGE:	40 FT	27.41' FT
MAX. F.A.R:	0.4	0.94
MAX. BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
MIN. OPEN SPACE:	750 SF PER UNIT	1,087 SQ. FT.
MIN. FRONT YARD DEPTH:	15FT/MOD.	15.3 FT
MIN. SIDE YARD DEPTH:	10 FT	10.9 FT
MIN. REAR YARD DEPTH:	20 FT	10.1 FT
MIN. PARKING:	1/UNIT	1



131 SOUTHERN AVENUE (BUILDING EM)

”NEW ENGLAND HERITAGE HOMES” AFFORDABLE

HOMEOWNERSHIP DEVELOPMENT

PREPARED FOR:

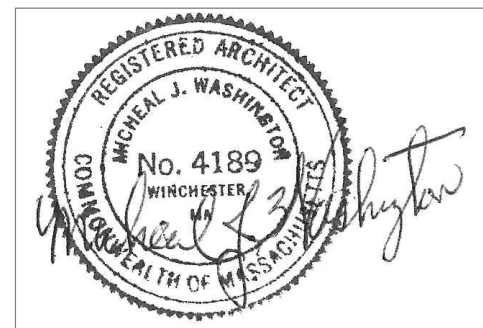
CODMAN SQUARE NEIGHBORHOOD
DEVELOPMENT CORPORATION

587 WASHINGTON STREET
DORCHESTER, MA 02124

PREPARED BY:

MICHEAL WASHINGTON ARCHITECTS, INC.

891 CENTRE ST.
JAMAICA PLAIN, MA 02130
TEL: (617) 390-5515
EMAIL: mwainc1@hotmail.com



- 1. ALL DRAWINGS WILL BE UPDATED AND MODIFIED
- 2. ALL GENERAL DRAWINGS TO BE UPDATED INCLUDING REMOVAL OF HUNTER PANELS AND DOWNGRADING R VALUES TO CURRENT CODE.
- 3. WINDOW REQUIREMENTS TO BE DETERMINED LATER.

NOTES:

- 1. ALL WORK AND PERMITS AND APPROVALS WILL BE OBTAINED BY THE TRADE AND COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE MASSACHUSETTS STATE BUILDING CODE, CURRENT EDITION, AND LOCAL CITY AND TOWN PROVISIONS.
- 2. ALL CONSTRUCTION IS TO COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE, EIGHTH EDITION AND WITH ALL SUPPLEMENTS, AMENDMENTS, AND OTHER APPLICABLE CODES AND REGULATIONS.
- 3. ALL ROOF INSULATION SHALL BE R-49; ALL WALLS SHALL BE R-21 AND IN COMPLIANCE WITH THE IECC REQUIREMENTS.ALLFIRST FLOOR AREAS R-30, IN COMPLIANCE WITH IBC REQUIREMENTS.
- 4. CONTRACTOR IS TO VERIFY ALL DIMENSION IN THE FIELD , NOTIFY ARCHITECT IF THERE ARE ANY VARIATIONS.

131 SOUTHERN AVENUE (BUILDING EM)

LIST OF DRAWINGS

ARCHITECTURAL INDEX OF DRAWINGS		ARCHITECTURAL INDEX OF DRAWINGS	
NUMBER	DRAWING NAME	NUMBER	DRAWING NAME
GENERAL DRAWINGS			
T-1	TITLE SHEET	G-1	KITCHEN PLANS & ELEVATIONS
		G-2.1	BATH PLANS & ELEVATIONS
		G-3	WINDOWS & DOORS SCHEDULE
		G-4	FINISH SCHEDULE & PARTITION TYPES
		G-5.1	WALL SECTIONS
		G-5.2	WALL SECTIONS
ARCHITECTURAL EM UNIT			
A-1.0	BASEMENT & FIRST FLOOR PLAN	G-6.1	GENERAL TYPICAL DETAILS
A-1.1	SECOND & THIRD FLOOR PLANS	G-6.2	GENERAL TYPICAL DETAILS
A-1.2	ROOF FLOOR PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-2.1	EXTERIOR ELEVATIONS		

131 SOUTHERN AVENUE		
ZONING INFORMATION	REQUIRED	ACTUAL
ZONING: 3F-6000 WARD 14 1 FAMILY ATTACHED		
LOT SIZE:	6000 SF FOR 2 UNITS + 2500 PER ADDT'L UNIT	1,715 SF
LOT WIDTH:	40 FT	27.52' FT
LOT FRONTAGE:	40 FT	27.52' FT
F.A.R:	0.4	0.94
BLDG. HEIGHT:	2 1/2 STORY 35	35 FT
OPEN SPACE:	750 SF PER UNIT	1,106 SQ. FT.
FRONT YARD DEPTH:	15FT/MOD.	15.3 FT
SIDE YARD DEPTH:	10 FT	11.0 FT
REAR YARD DEPTH:	20 FT	10.1 FT
PARKING:	1/UNIT	1



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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

LEGEND:

TWO HOUR RATED PARTITION

ONE HOUR RATED PARTITION

NOTES

1. SEE 6-4 FOR PARTITION TYPES.
2. SEE 6A-1 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
3. DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR STUD WALL AND EXTERIOR FACE OF FOUNDATION WALL.
4. DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.



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SHEET TITLE

TYPE EM BASEMENT & FIRST FLOOR PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

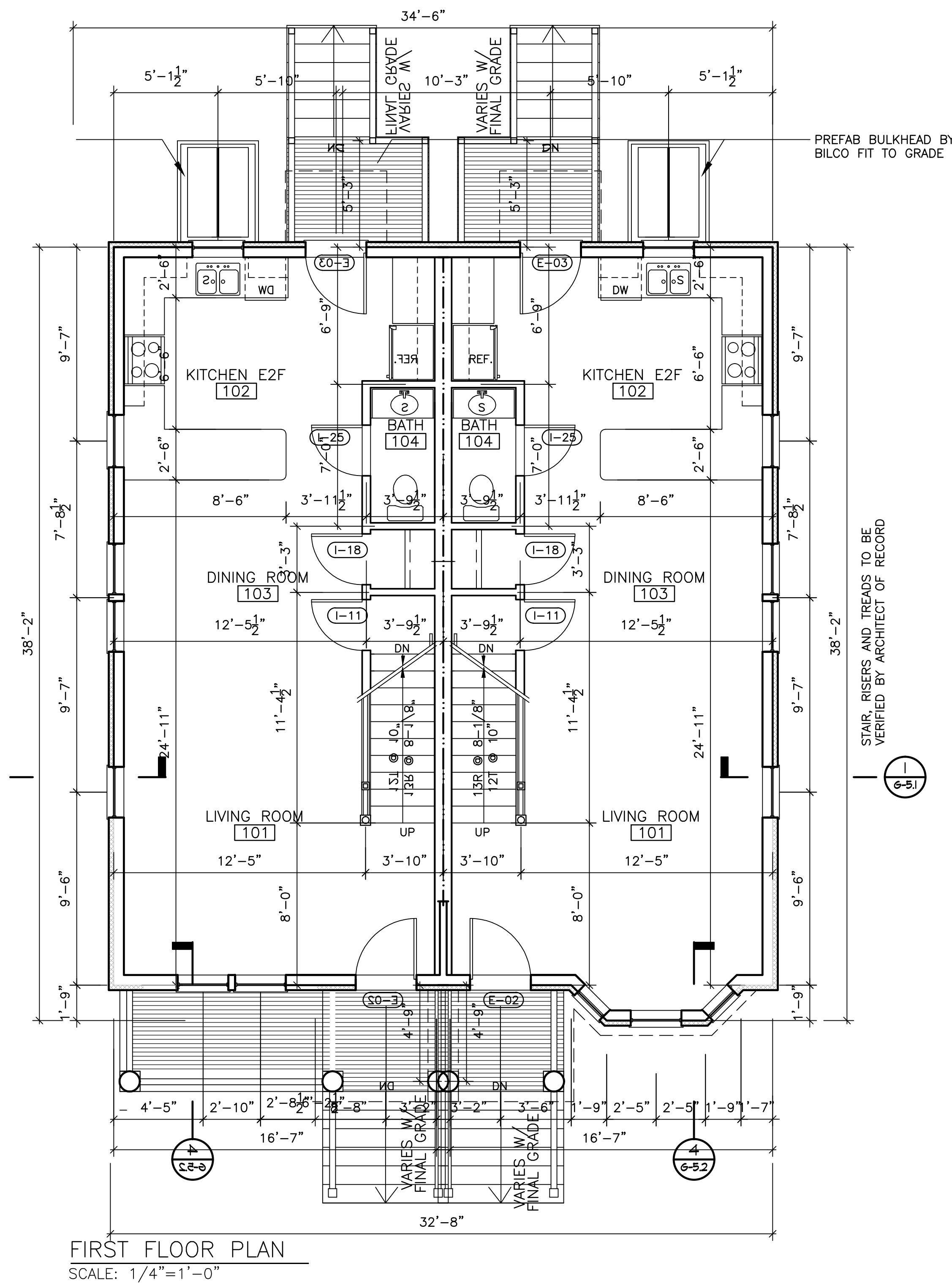
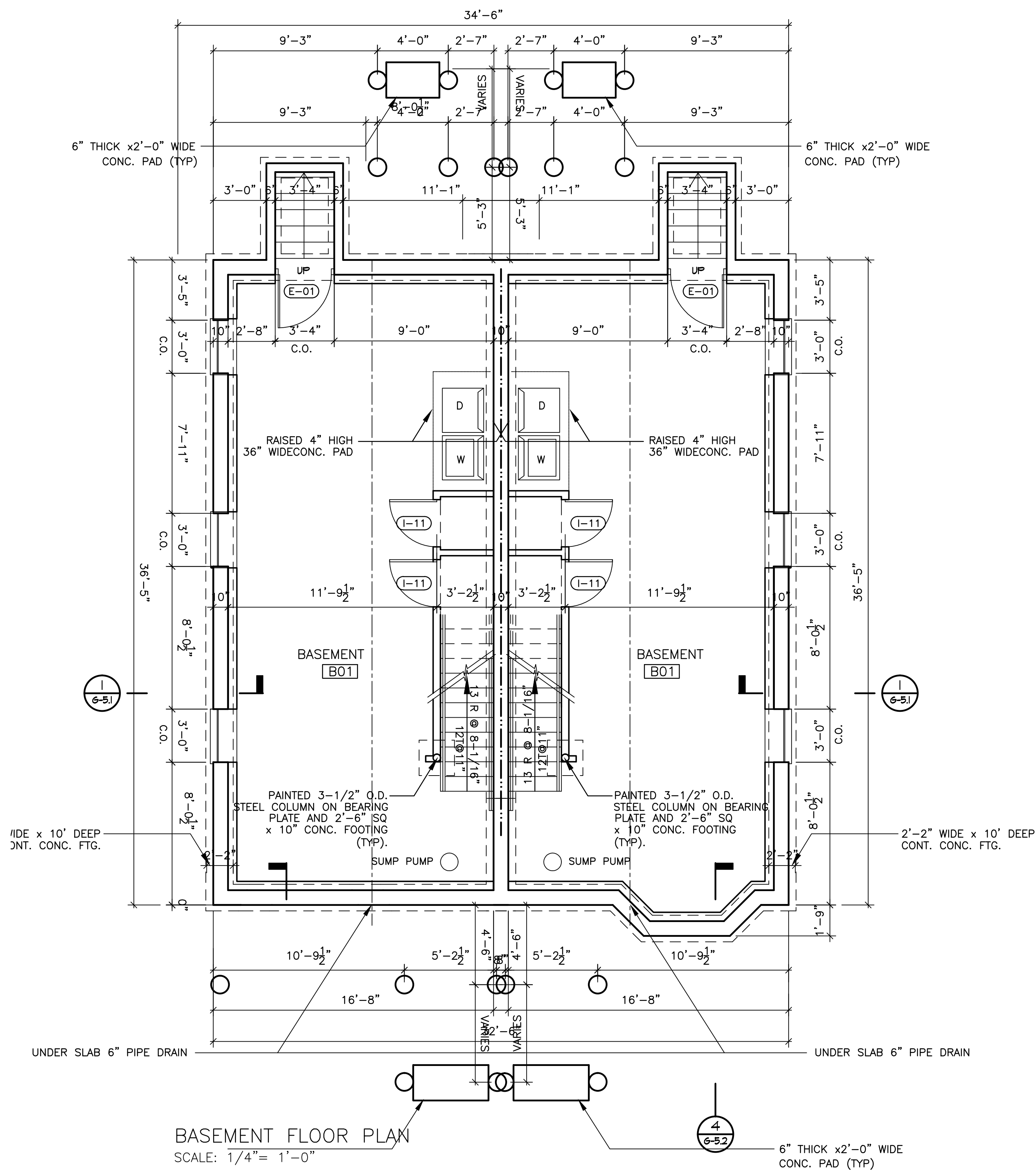
DRAWN BY:

CHECKED BY: MW

FILE:NEHH.dwg

DRAWING NO.

A-EM.1



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Phone: 617-390-5515
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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

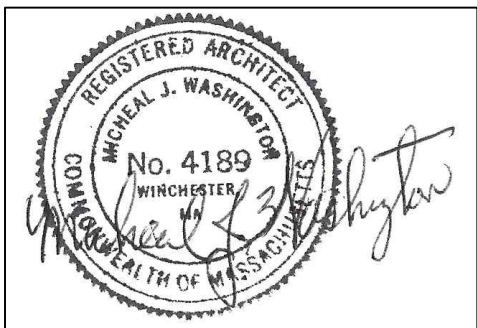
LEGEND:

TWO HOUR RATED PARTITION

ONE HOUR RATED PARTITION

NOTES

1. SEE G-4 FOR PARTITION TYPES.
2. SEE GA-1 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
3. DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR STUD WALL AND EXTERIOR FACE OF FOUNDATION WALL.
4. DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.



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SHEET TITLE

TYPE EM
SECOND &
THIRD FLOOR PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"

DATE: 12/01/2015

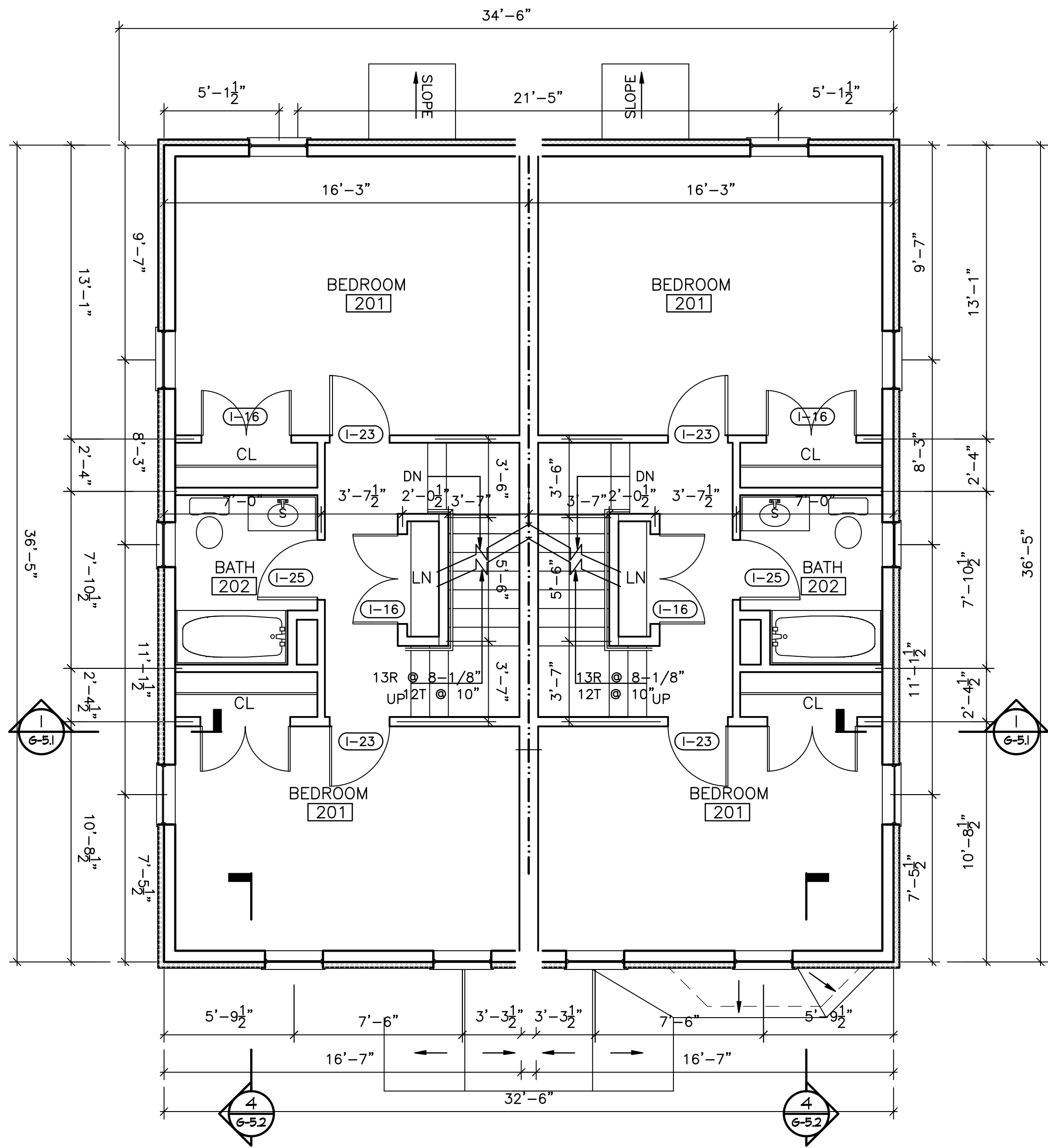
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CHECKED BY: MW

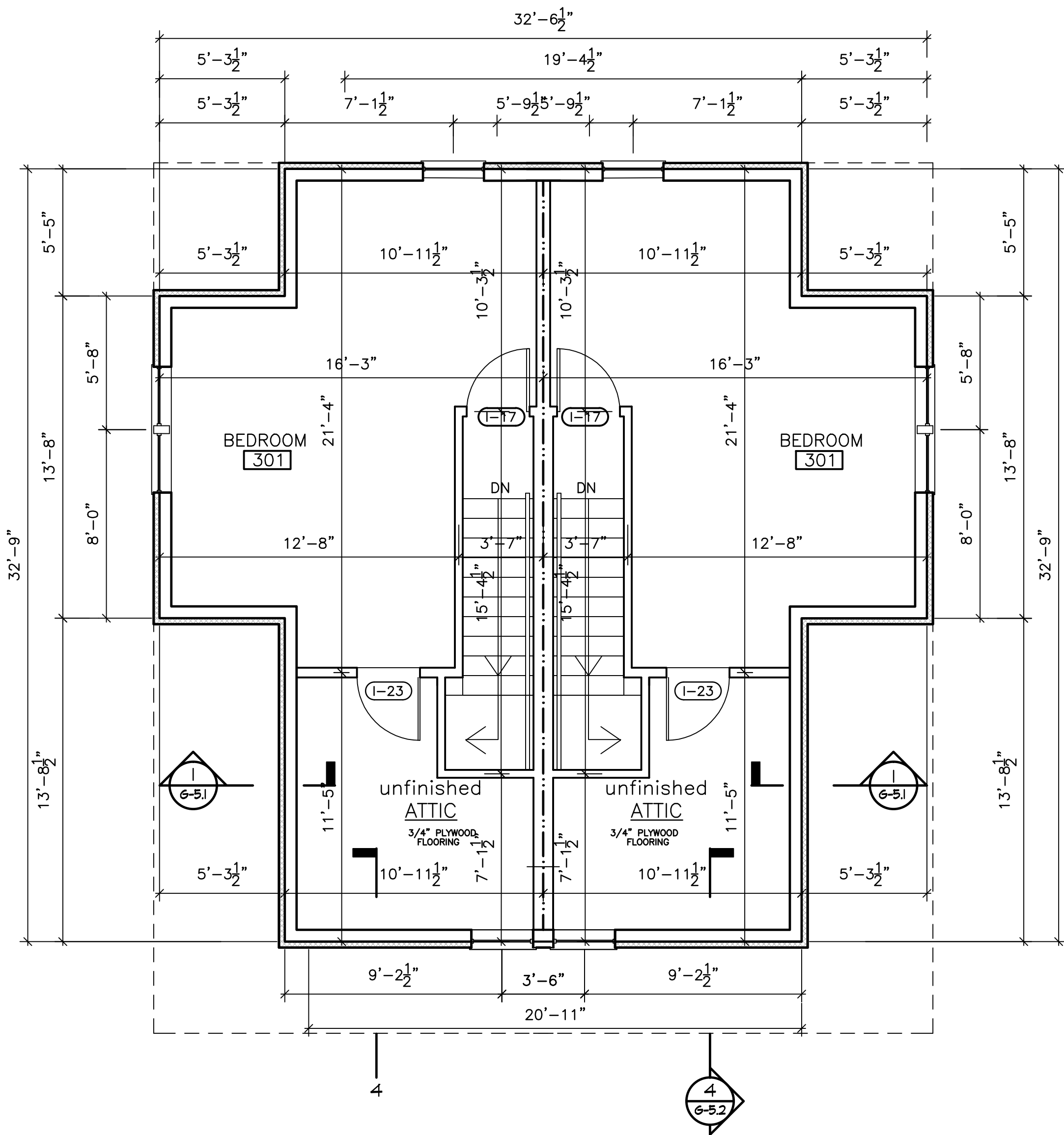
FILE:NEHH.dwg

DRAWING NO.

A-EM.2



SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN

SCALE: 1/4"= 1'-0"

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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

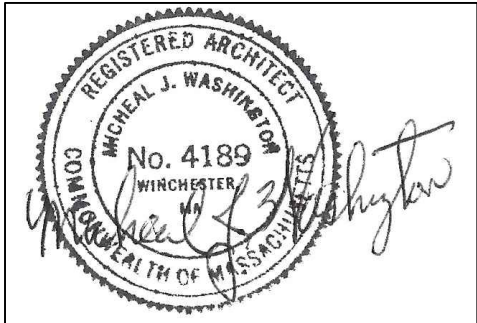
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

- LEGEND:
- TWO HOUR RATED PARTITION
- ONE HOUR RATED PARTITION

- NOTES
1. SEE 6-4 FOR PARTITION TYPES.
2. SEE 6A-1 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.
3. DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR STUD WALL AND EXTERIOR FACE OF FOUNDATION WALL.
4. DIMENSIONS ARE TO CENTERLINE OF STUDS ON INTERIOR WALLS UNLESS OTHERWISE NOTED.



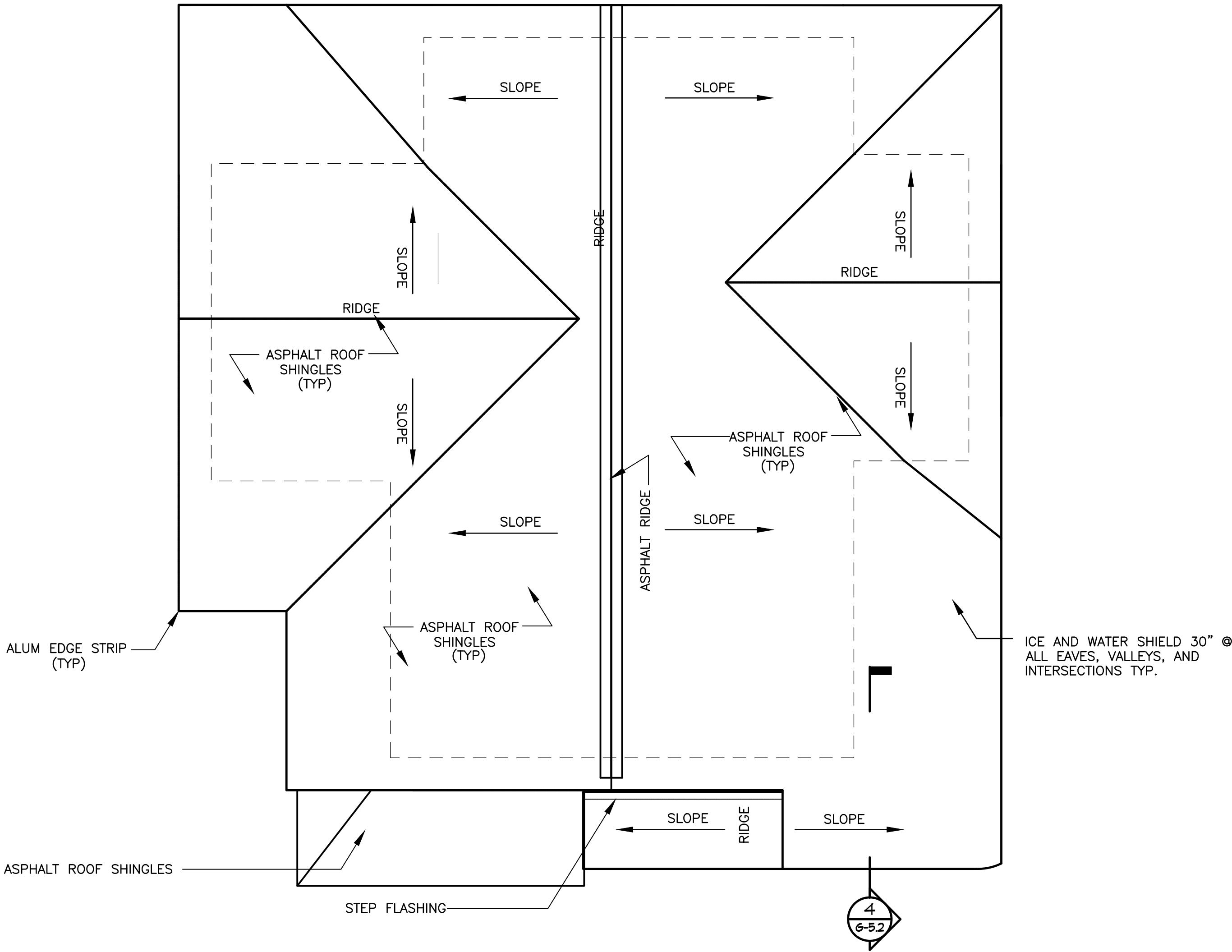
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SHEET TITLE

TYPE EM
ROOF PLAN

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: 1/4"=1'-0"	DRAWING NO. A-EM.3
DATE: 12/01/2015	
DRAWN BY:	
CHECKED BY: MW	
FILE:NEHH.dwg	



ROOF PLAN
SCALE: 1/4"=1'-0"

Architectural Firm Name

00 Street Address
City, MA 00000

PROJECT

Project Name

00 Street Address
City, MA 00000

DEVELOPER / OWNER

Developer Name

00 Street Address
City, MA 00000

CONSULTANT

Consultant Name

00 Street Address
City, MA 00000

THESE DRAWINGS ARE INTENDED TO DEFINE SCOPE & WILL REQUIRE REVIEW & STAMP BY THE ARCHITECT & ENGINEERS (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION) OF RECORD.

STAMP:

REVISIONS:

NO.	DATE:	DESCRIPTION:
01	-	-

PROGRESS PRINT NOT FOR CONSTRUCTION

ROOF PLAN

SCALE: 1/4" = 1'-0"

DATE: 10/30/2015

DRAWN BY: My.K.

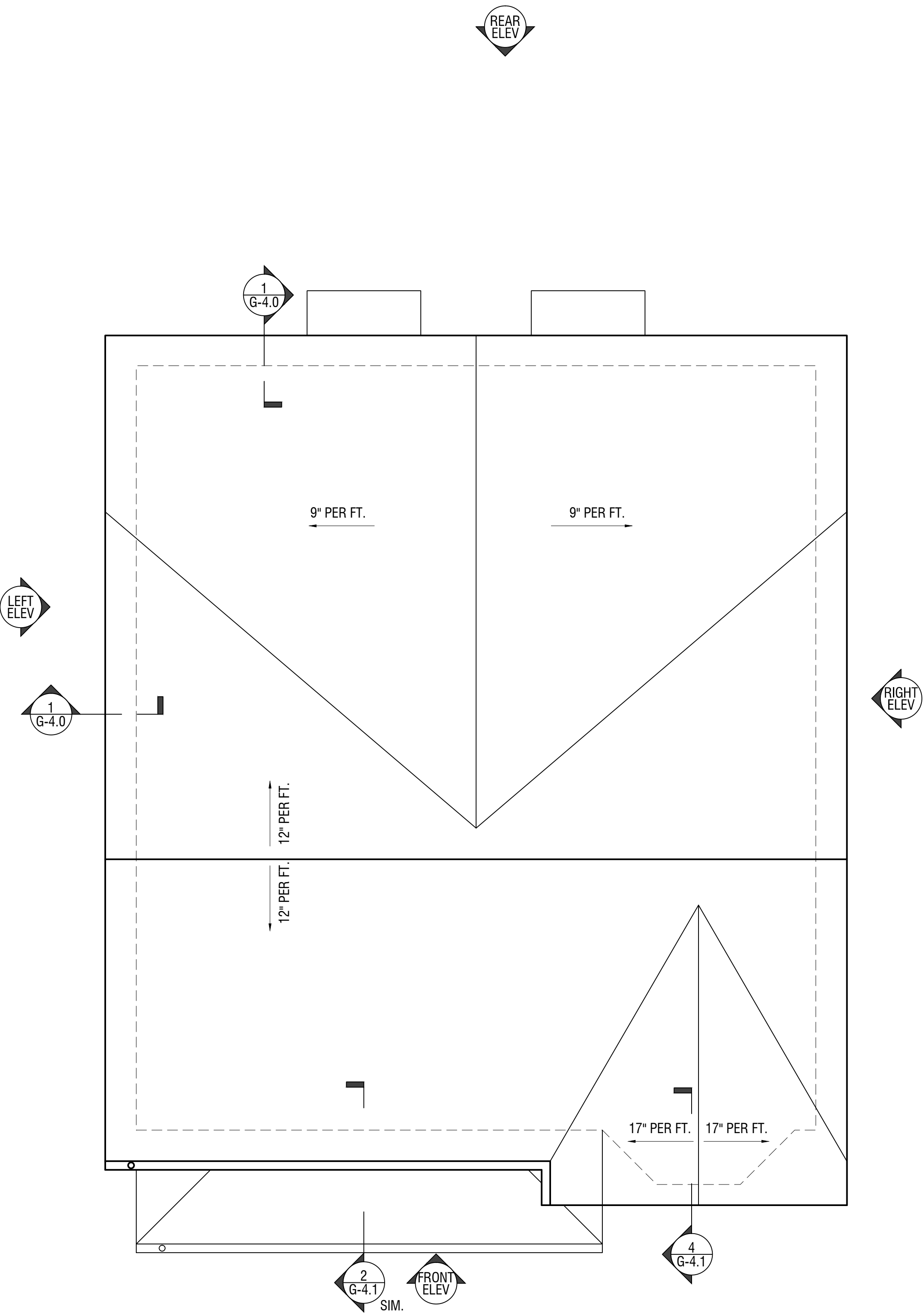
CHECKED BY: M.k.

FILE: -

DRAWING NO.

A-1.2

TYPE E - TWO-FAMILY



UNIT TYPE MB
ROOF PLAN

SCALE: 1/4" = 1'-0"

Architectural Firm Name

00 Street Address
City, MA 00000

PROJECT

Project Name

00 Street Address
City, MA 00000

DEVELOPER / OWNER

Developer Name

00 Street Address
City, MA 00000

CONSULTANT

Consultant Name

00 Street Address
City, MA 00000

THESE DRAWINGS ARE INTENDED TO DEFINE SCOPE & WILL REQUIRE REVIEW & STAMP BY THE ARCHITECT & ENGINEERS (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION) OF RECORD.

STAMP:

REVISIONS:

NO.	DATE:	DESCRIPTION:
01	-	-

PROGRESS PRINT NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS:
FRONT & RIGHT

SCALE: 1/4" = 1'-0"

DATE: 10/30/2015

DRAWN BY: My.K.

CHECKED BY: M.k.

FILE: -

DRAWING NO.

A-2.0

TYPE E - TWO-FAMILY



1 EXTERIOR ELEVATION - FRONT
1/4" = 1'-0"

2 EXTERIOR ELEVATION - RIGHT
1/4" = 1'-0"

Architectural Firm Name

00 Street Address
City, MA 00000

PROJECT

Project Name

00 Street Address
City, MA 00000

DEVELOPER / OWNER

Developer Name

00 Street Address
City, MA 00000

CONSULTANT

Consultant Name

00 Street Address
City, MA 00000

THESE DRAWINGS ARE INTENDED TO DEFINE SCOPE & WILL REQUIRE REVIEW & STAMP BY THE ARCHITECT & ENGINEERS (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION) OF RECORD.

STAMP:

REVISIONS:

NO.	DATE:	DESCRIPTION:
01	-	-

PROGRESS PRINT NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS
REAR & LEFT

SCALE: 1/4" = 1'-0"

DATE: 10/30/2015

DRAWN BY: My.K.

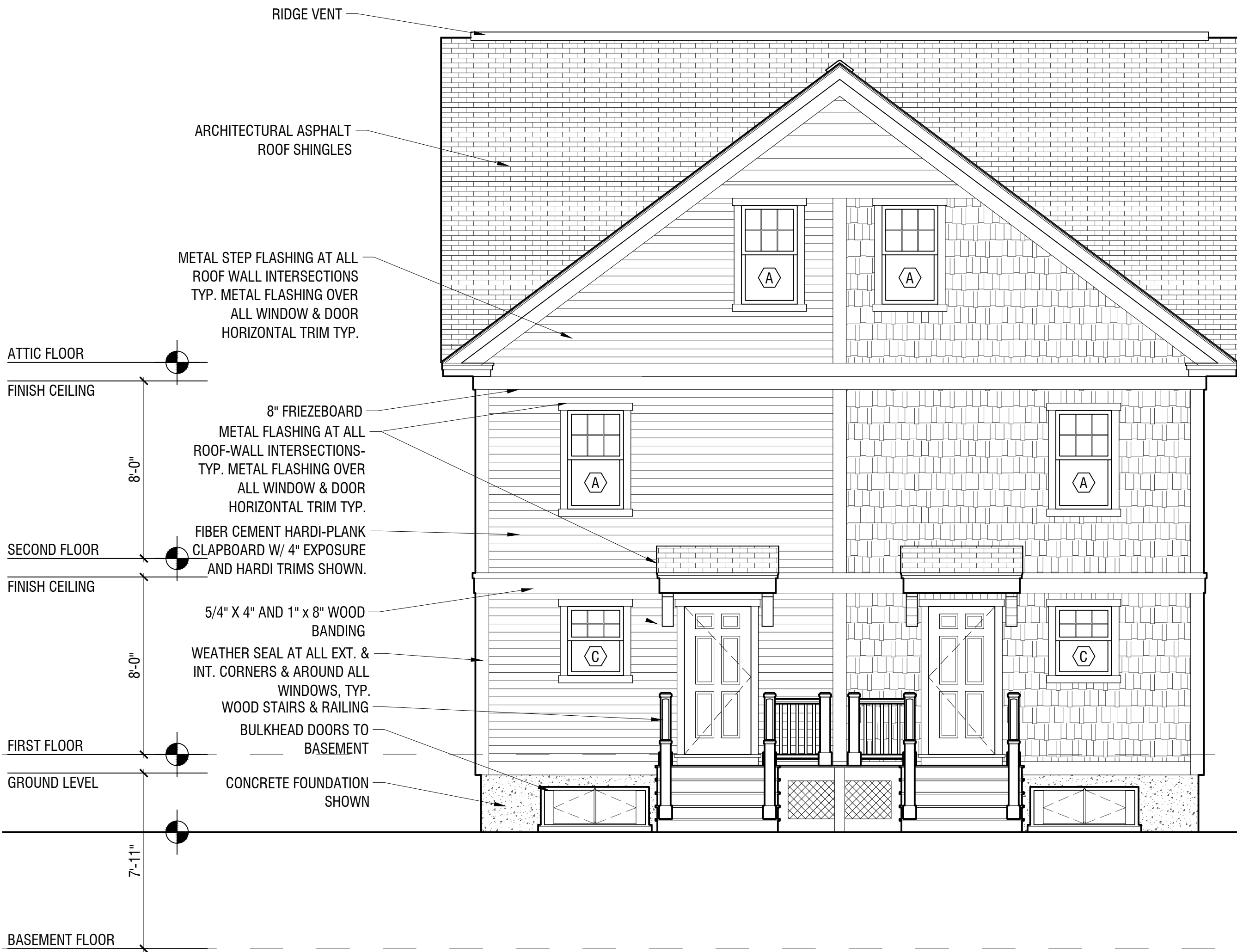
CHECKED BY: M.K.

FILE: -

DRAWING NO.

A-2.1

TYPE E - TWO-FAMILY



3 EXTERIOR ELEVATION - REAR
1/4" = 1'-0"



4 EXTERIOR ELEVATION - LEFT
1/4" = 1'-0"

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PROJECT

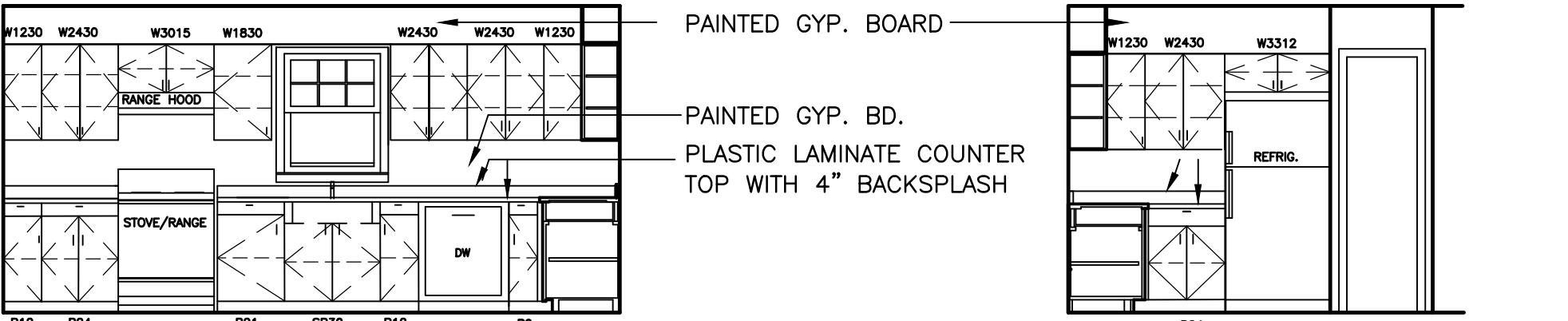
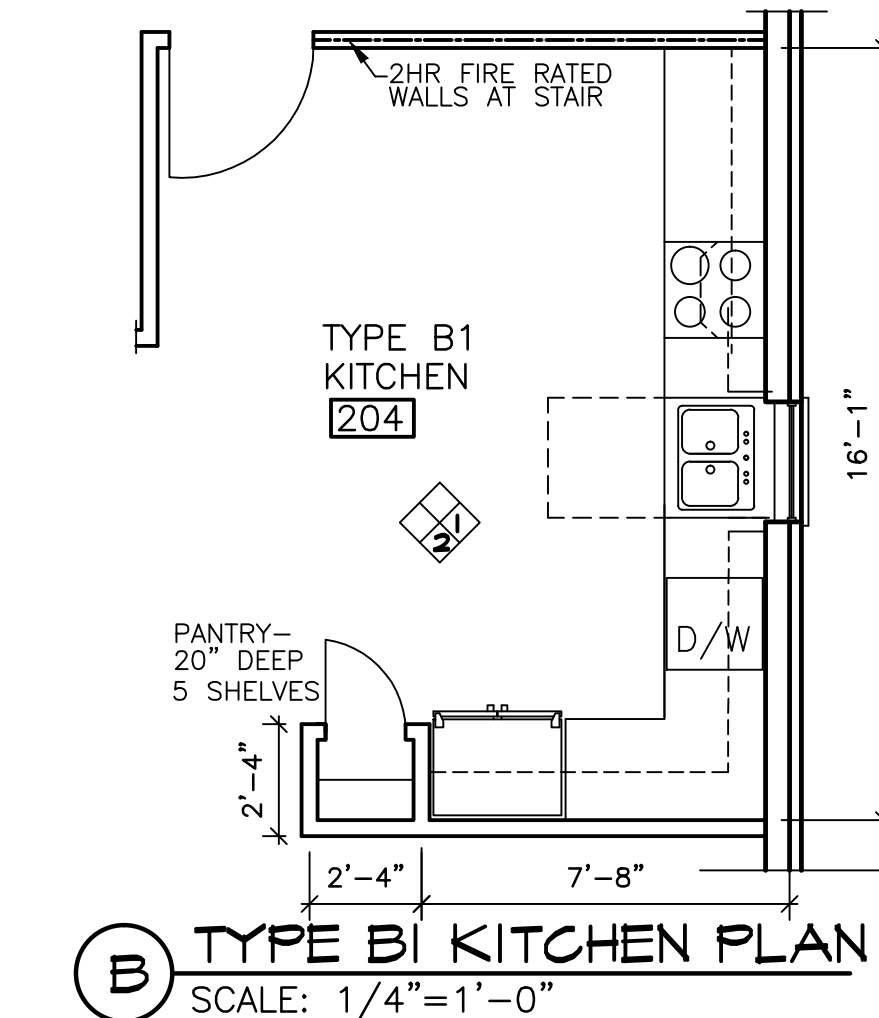
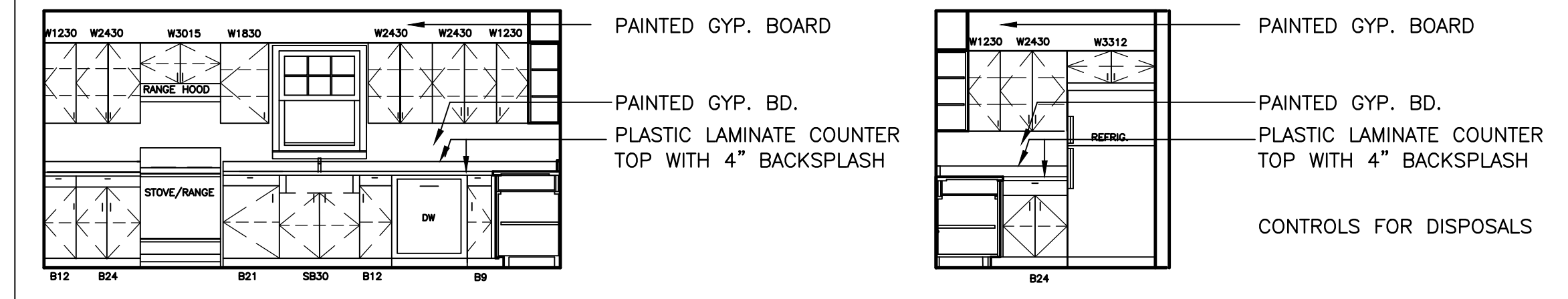
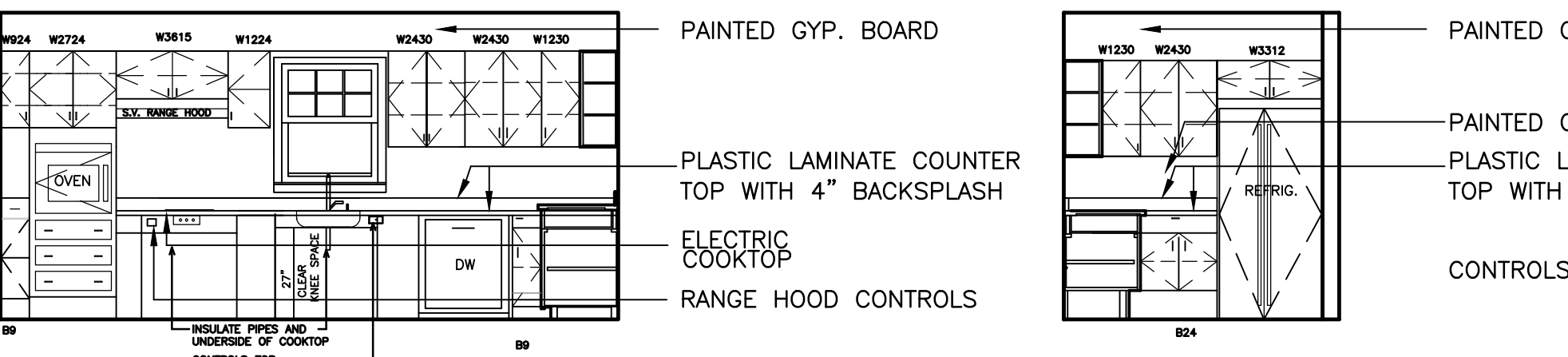
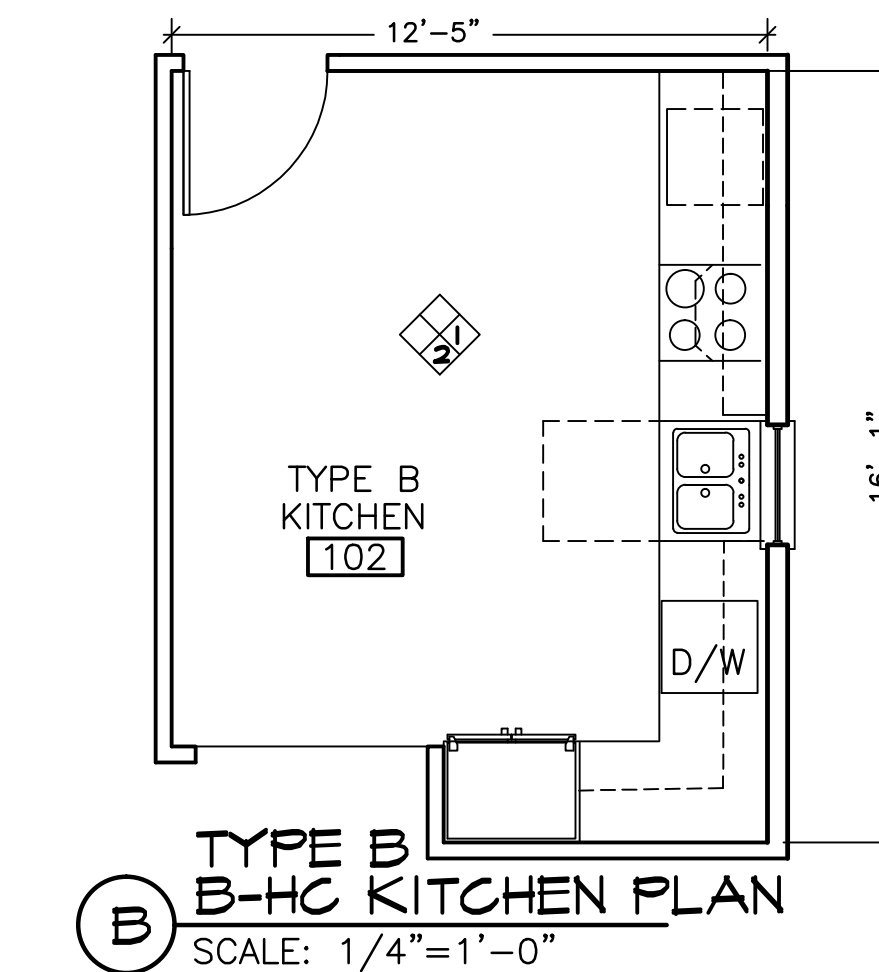
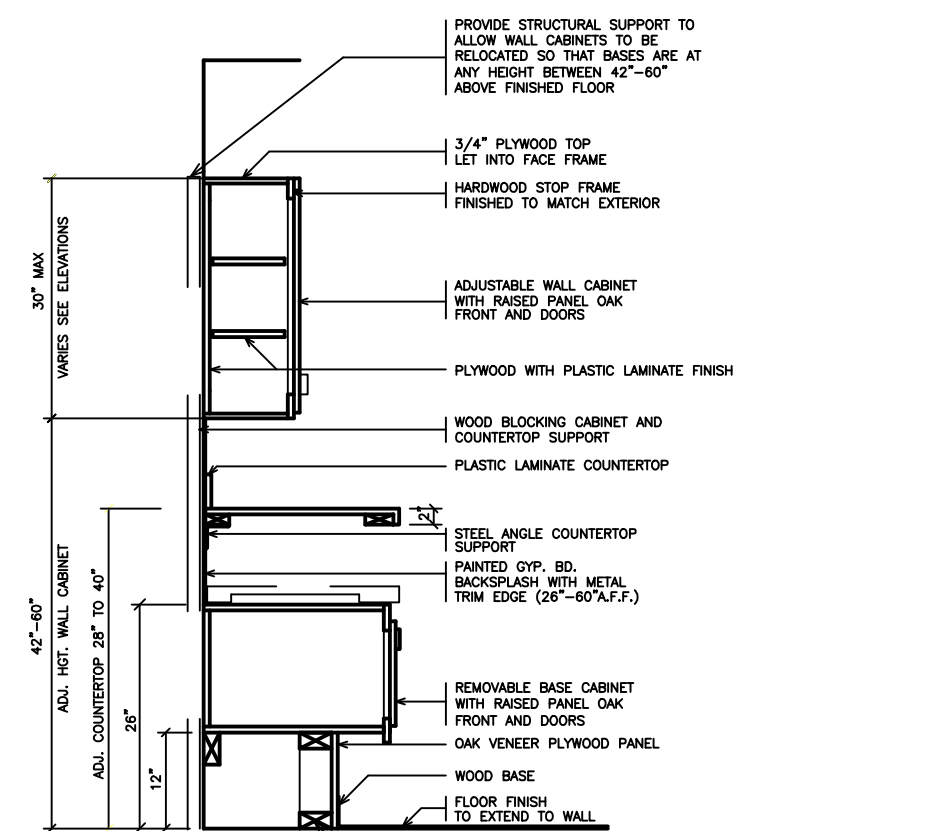
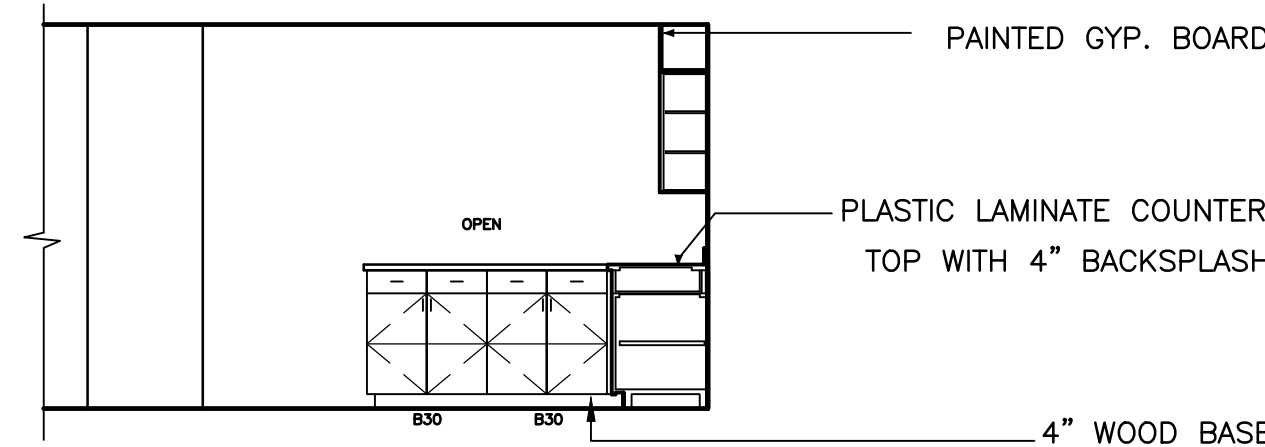
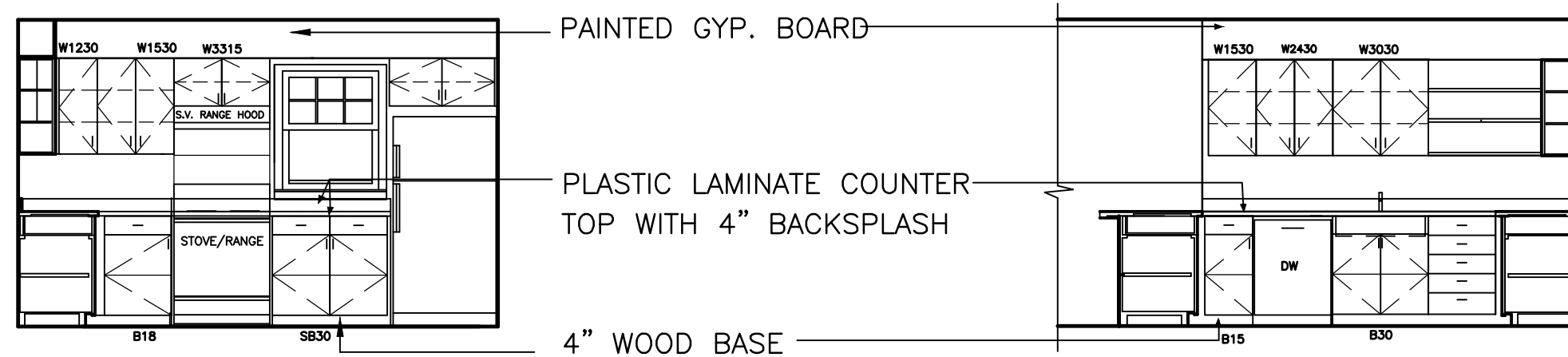
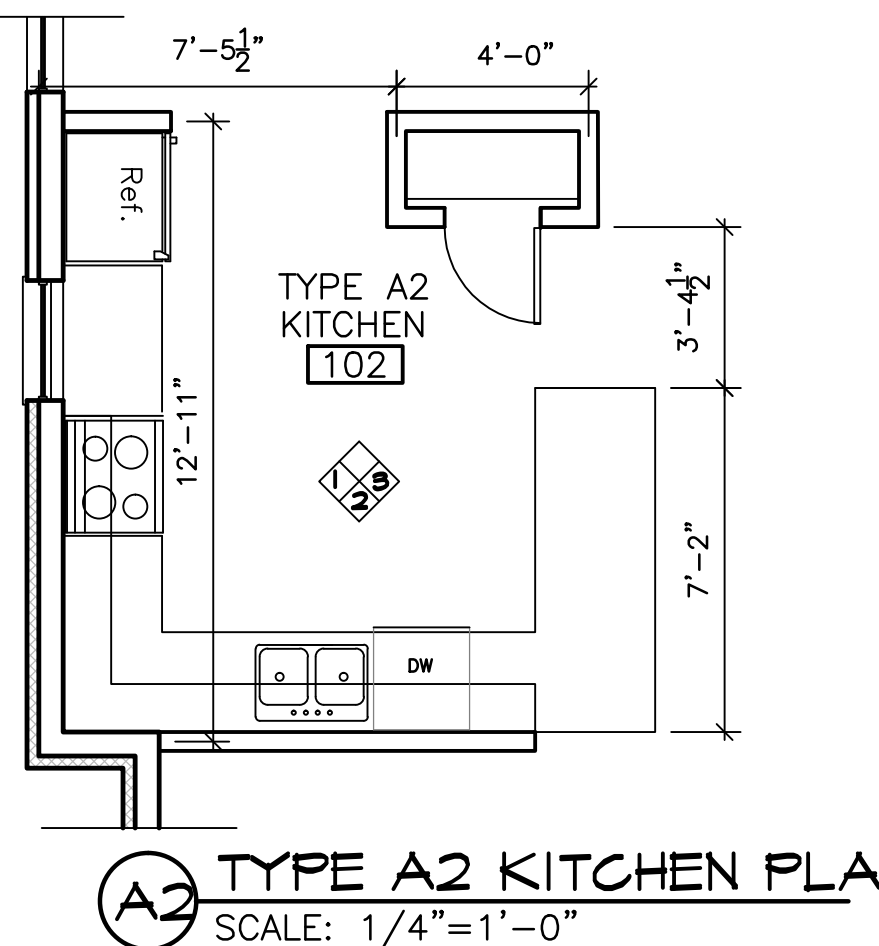
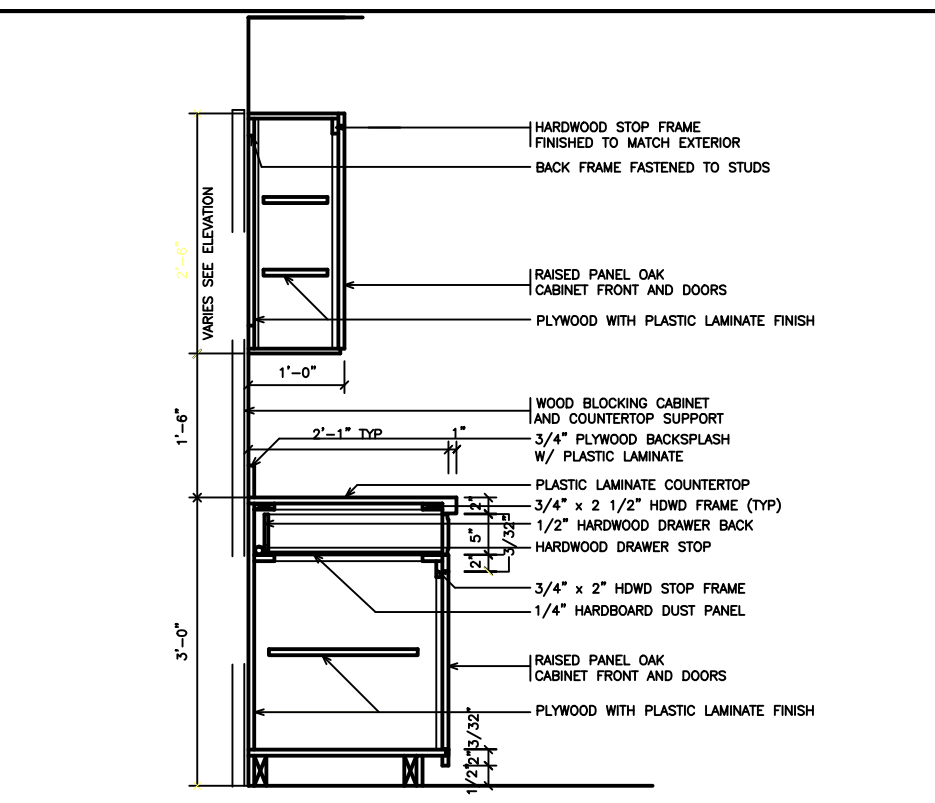
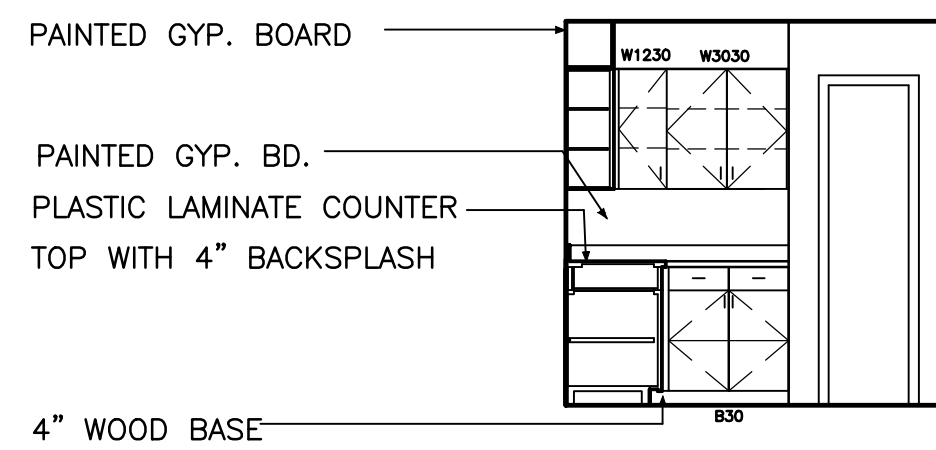
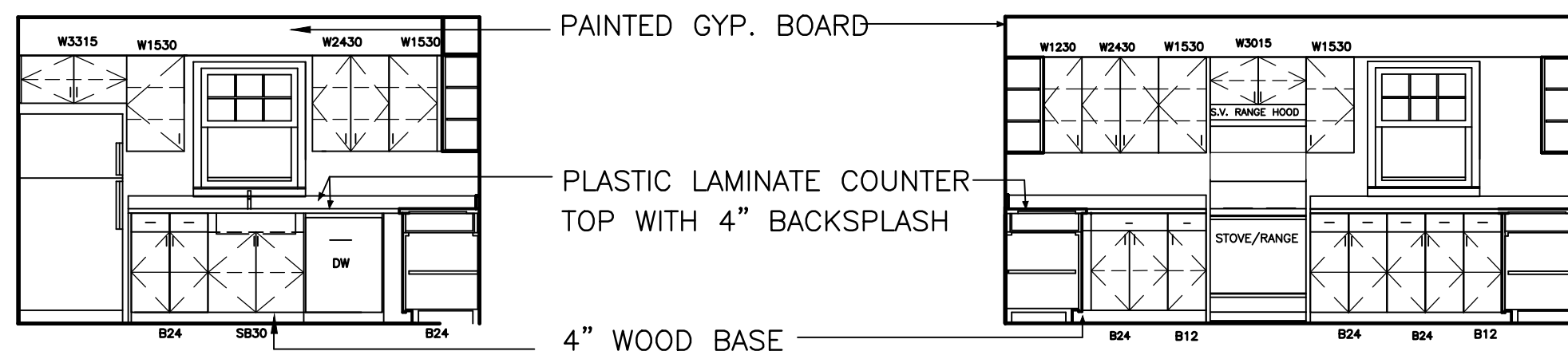
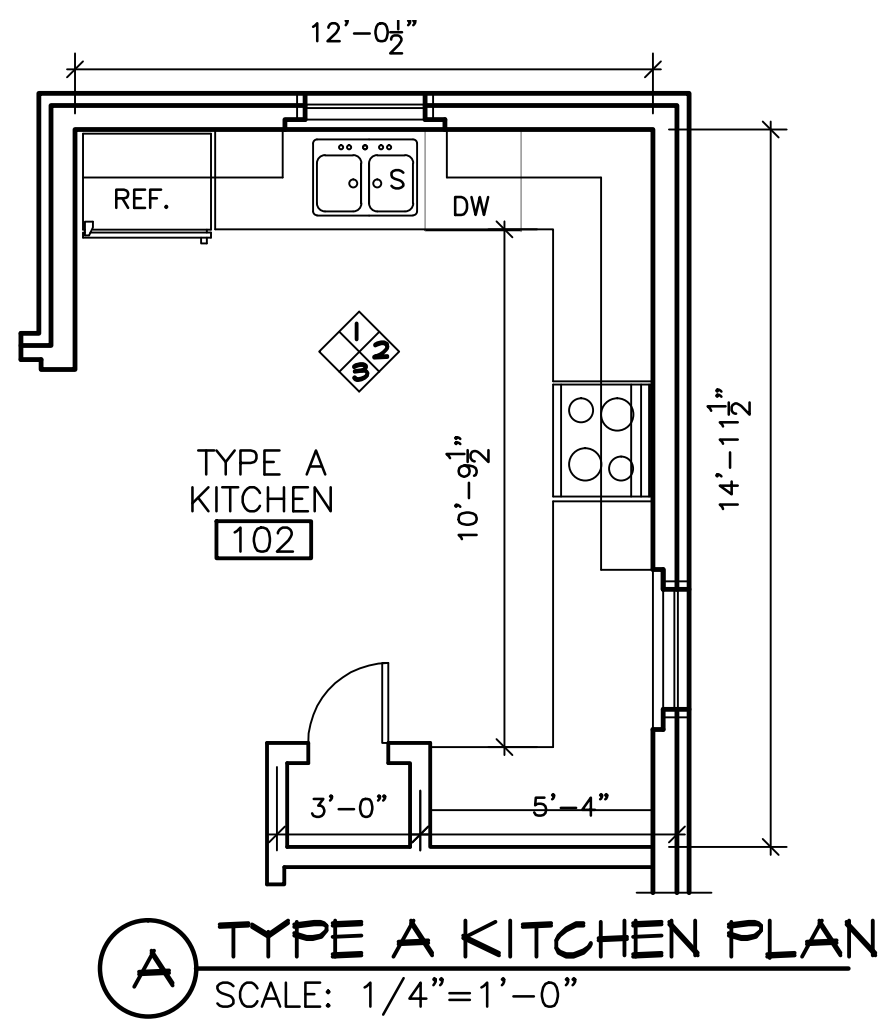
NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

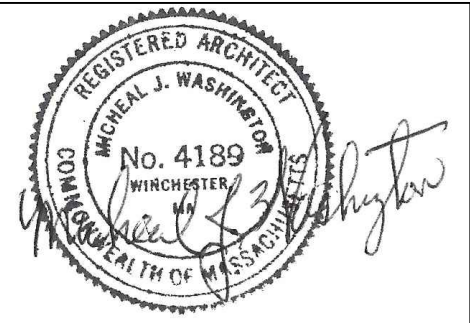
DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS



- KITCHEN CABINETS
GENERAL NOTES
1. PLASTIC TRIM EDGE ON ALL EXPOSED PLASTIC LAMINATE WALL COVER EDGES.
 2. N/A.
 3. INSTALL DUPLEX OUTLET AT 6" ABOVE THE TOP OF THE COUNTERTOP TYP. SEE ELECTRICAL DWGS.
 4. ALL EXPOSED END PANELS SHALL BE FINISHED INSTALL WOOD BASE & BASE UNIT END PANELS
 5. INSTALL WOOD BASE ON WALLS BEHIND ALL APPLIANCES.
 6. VERIFY ALL DIMENSIONS AT SITE PRIOR TO SUBMISSION OF SHOP DRAWINGS.
 7. INSTALL FILLER STRIPS TO MAKE UP VARIATIONS IN DIMENSIONS 3" MAXIMUM.
 8. PROVIDE DOUBLE BOWL SINKS IN ALL UNITS.
 9. FIELD MEASURE ROUGH FRAMING FOR, AND PROVIDE SHOP DRAWING FOR REVIEW
 10. PROVIDE FILLER PANELS FOR SPACES UP TO 3". IF OVER 3" PROVIDE NEXT CABINET SIZES.



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SHEET TITLE

KITCHEN DETAILS & ELEVATIONS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

SCALE: AS NOTED
DATE: 12/01/2015
DRAWN BY: JRB
CHECKED BY: MW
FILE:NEHH.dwg

DRAWING NO.

G-1

891 Centre Street
Jamaica Plain, MA 02130
Phone: 617-390-5515
E-MAIL: MWAINC1@HOTMAIL.COM

NEW ENGLAND HERITAGE HOMES

**CODMAN SQUARE
NEIGHBORHOOD
DEVELOPMENT
CORPORATION**

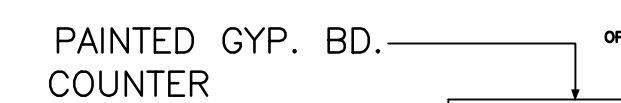
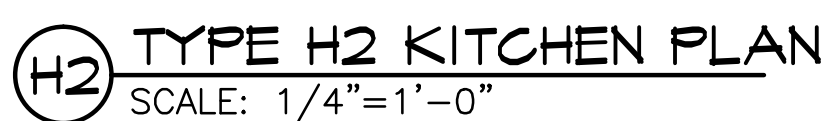
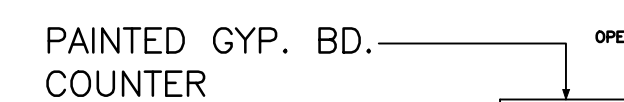
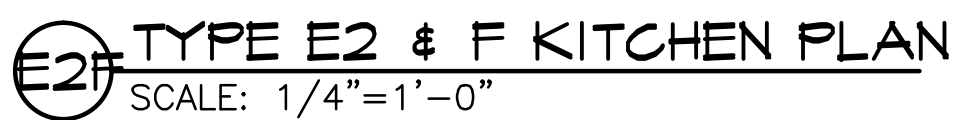
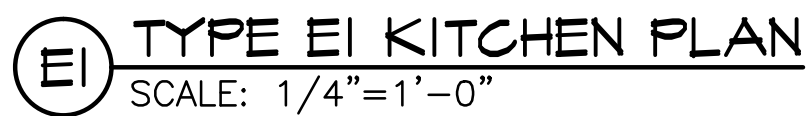
KITCHEN CABINETS
GENERAL NOTES

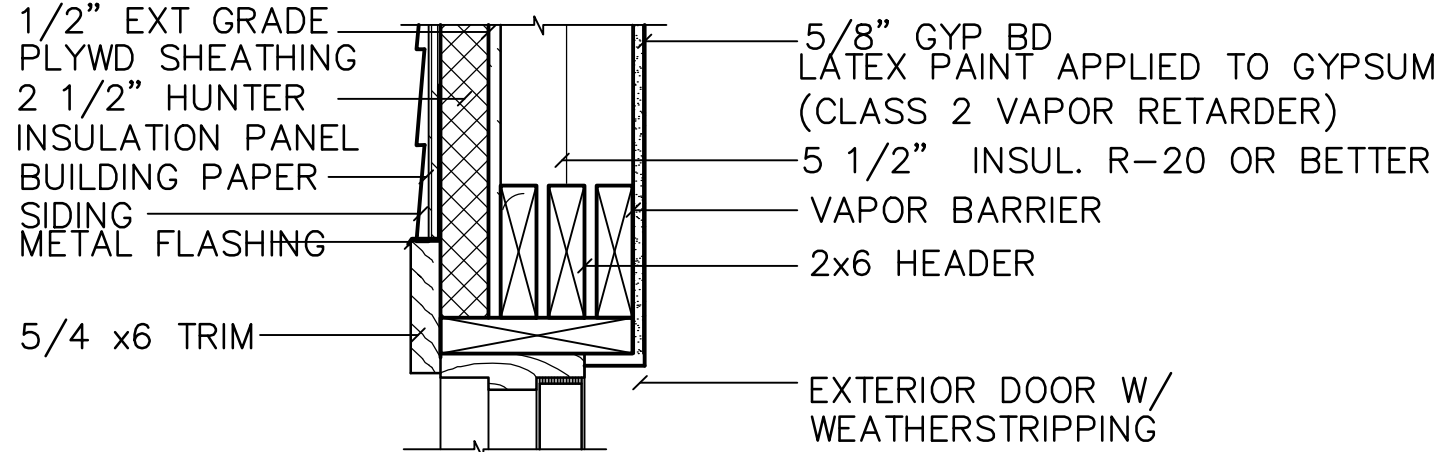
1. PLASTIC TRIM EDGE ON ALL EXPOSED PLASTIC LAMINATE WALL COVER EDGES.
2. N/A.
3. INSTALL DUPLEX OUTLET AT 6" ABOVE THE TOP OF THE COUNTERTOP TYP. SEE ELECTRICAL DWGS.
4. ALL EXPOSED END PANELS SHALL BE FINISHED INSTALL WOOD BASE & BASE UNIT END PANELS
5. INSTALL WOOD BASE ON WALLS BEHIND ALL APPLIANCES.
6. VERIFY ALL DIMENSIONS AT SITE PRIOR TO SUBMISSION OF SHOP DRAWINGS.
7. INSTALL FILLER STRIPS TO MAKE UP VARIATIONS IN DIMENSIONS 3" MAXIMUM.
8. PROVIDE DOUBLE BOWL SINKS IN ALL UNITS.
9. FIELD MEASURE ROUGH FRAMING FOR, AND PROVIDE SHOP DRAWING FOR REVIEW
10. PROVIDE FILLER PANELS FOR SPACES UP TO 3". IF OVER 3" PROVIDE NEXT CABINET SIZES.



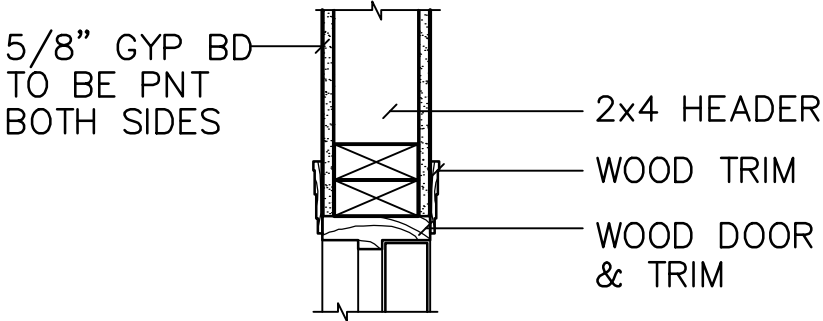
KITCHEN DETAILS & ELEVATIONS

G-1.2

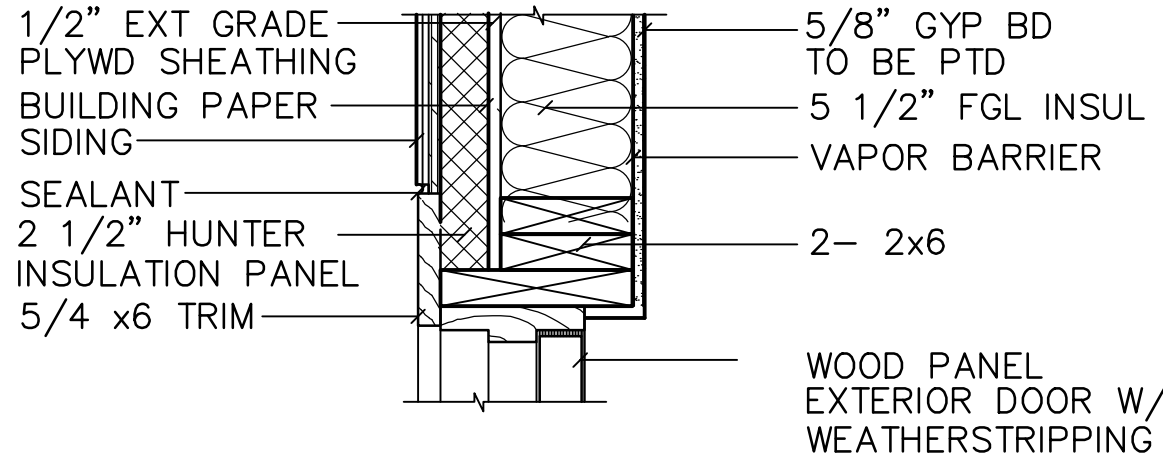




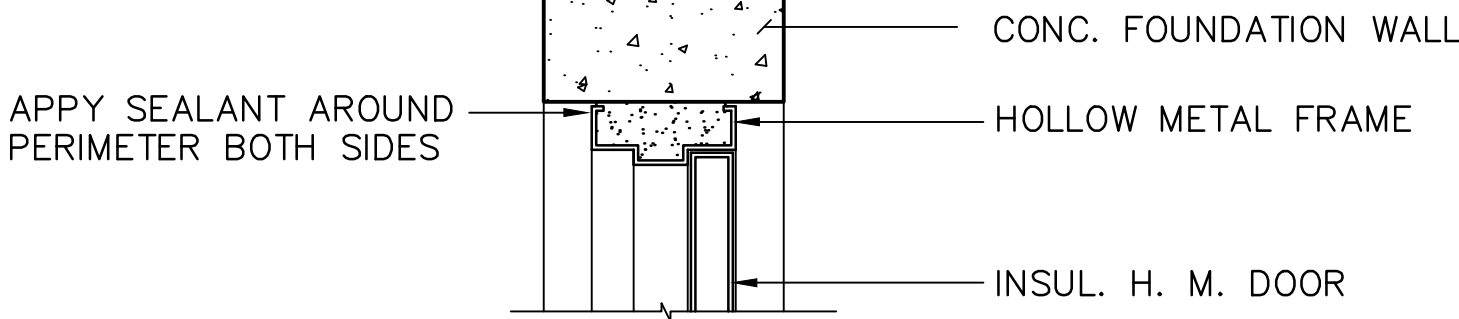
1 EXTERIOR DOOR HEAD
SCALE: 1 1/2"=1'-0"



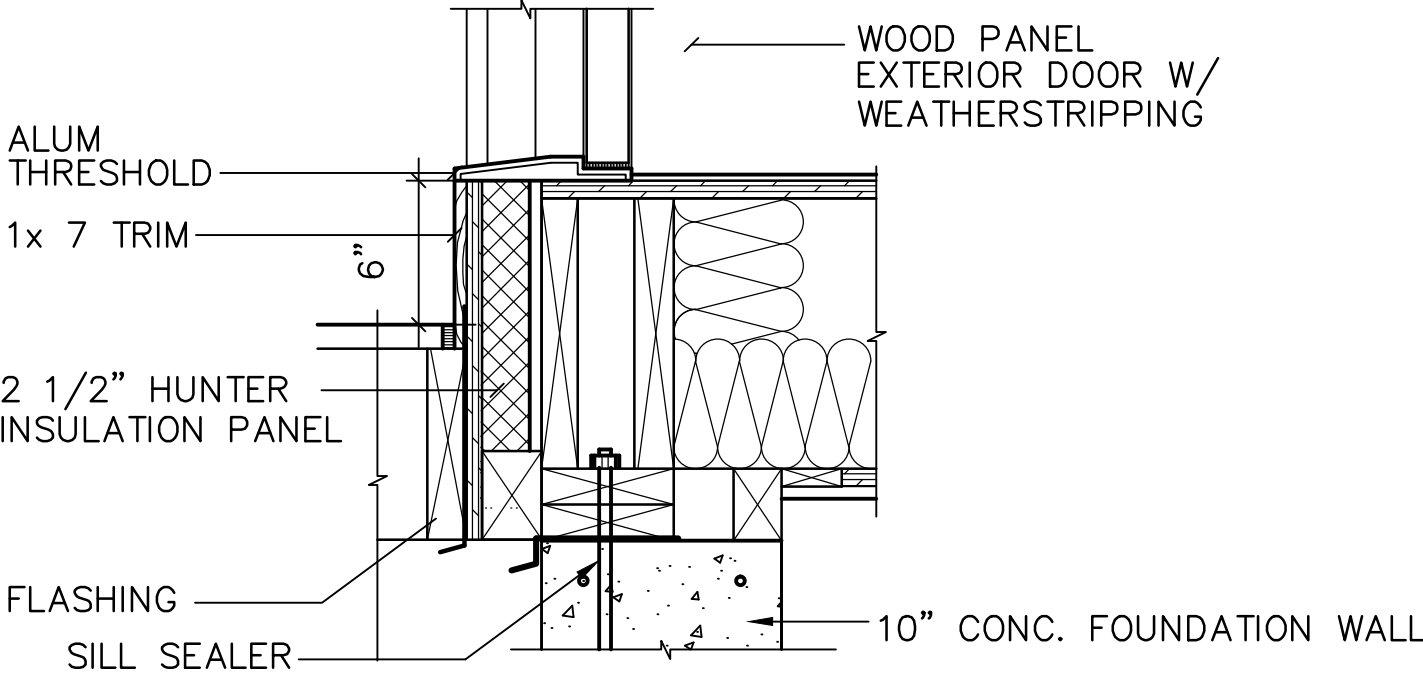
5 DOOR JAMB
SCALE: 1 1/2"=1'-0"



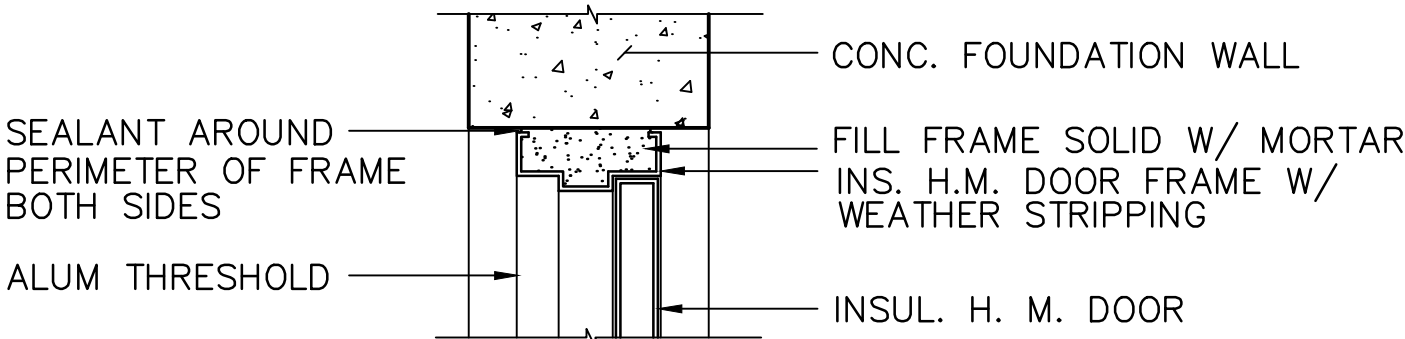
2 EXTERIOR DOOR JAMB
SCALE: 1 1/2"=1'-0"



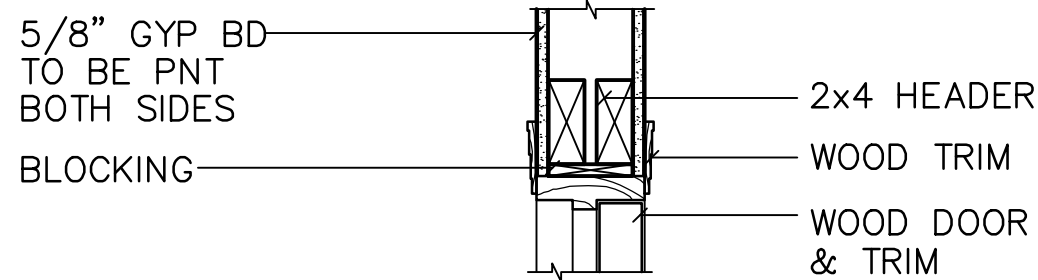
6 DOOR HEAD
SCALE: 1 1/2"=1'-0"



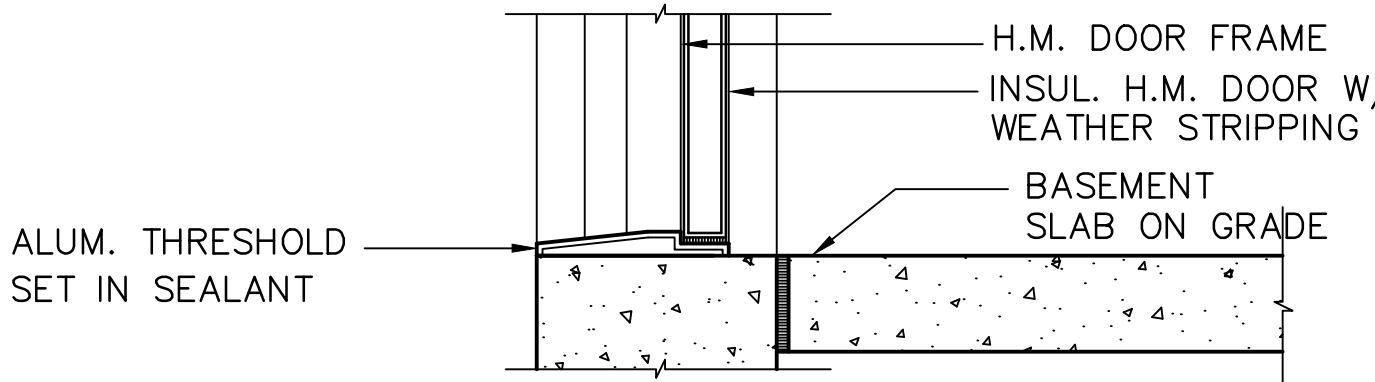
3 EXTERIOR DOOR SILL
SCALE: 1 1/2"=1'-0"



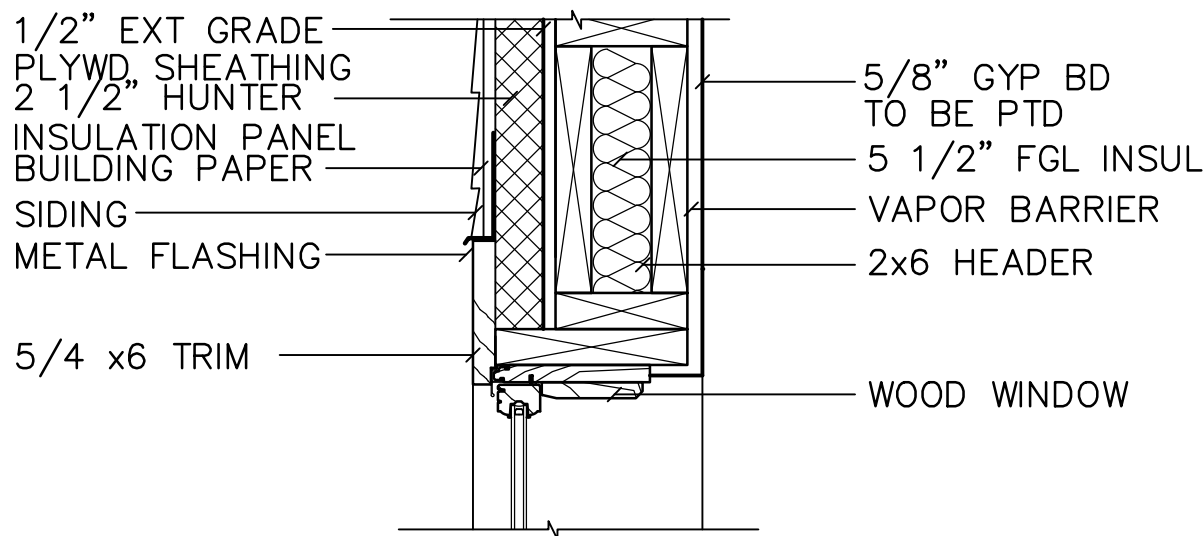
7 DOOR JAMB
SCALE: 1 1/2"=1'-0"



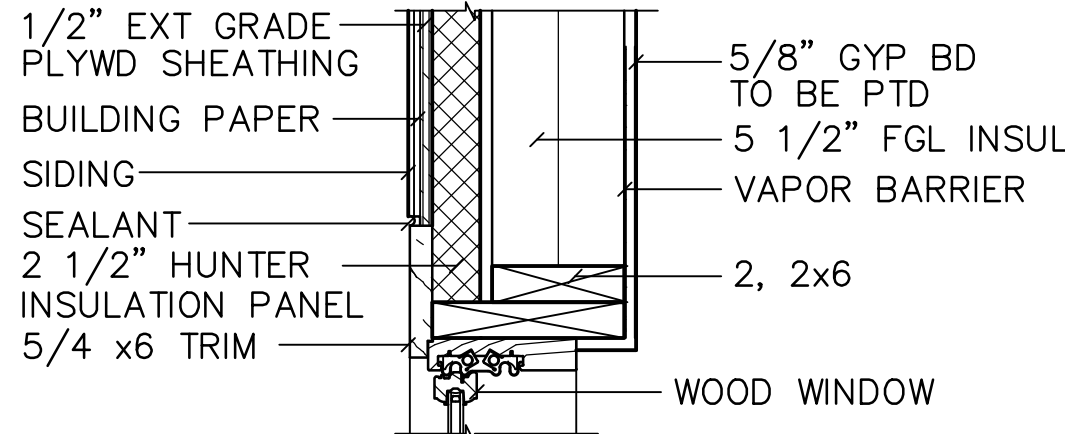
4 INTERIOR DOOR HEAD
SCALE: 1 1/2"=1'-0"



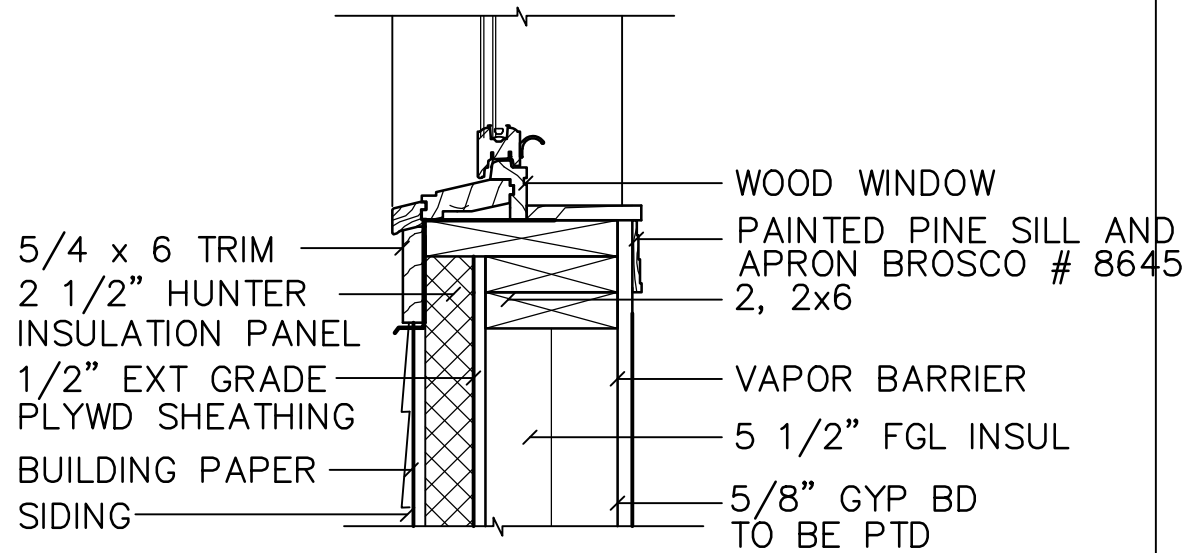
8 DOOR SILL
SCALE: 1 1/2"=1'-0"



1 WINDOW HEAD
SCALE: 1 1/2"=1'-0"



2 WINDOW JAMB
SCALE: 1 1/2"=1'-0"

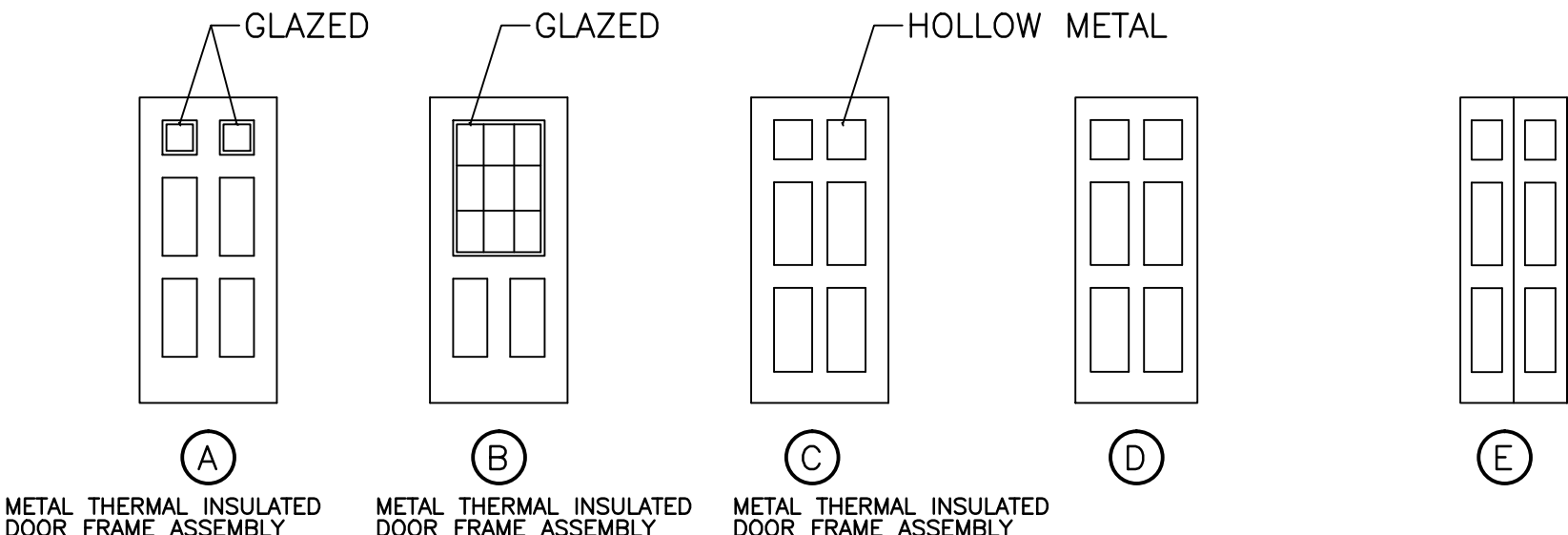


3 WINDOW SILL
SCALE: 1 1/2"=1'-0"

DOOR SCHEDULE											
DOOR NO.	LOCATION	SIZE	TYPE	MATERIAL	GLASS	FRAME	HEAD	JAMB	SILL	HARDWARE	MISC
E-01	BASEMENT	3'-0"x6'-8"x1 3/4"	C	ST/INSUL	INSUL/TP	MTL	6	7	8		ALUM THRESHOLD
E-02	FRONT ENTRY	3'-0"x6'-8"x1 3/4"	A	ST/INSUL	INSUL/TP	MTL					ALUM THRESHOLD
E-03	BACK ENTRY	3'-0"x6'-8"x1 3/4"	B	ST/INSUL	INSUL/TP	MTL					ALUM THRESHOLD
I-11	1st FLOOR TO BASEMENT	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-12	LINEN/KITCHEN	1'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-13	LINEN/BATH	1'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-14	LINEN/BATH	2'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-15	CLOSET	2'-8"x6'-8"x1 3/8"	E	WD	-	WD	4	5	-		-
I-16	CLOSET	PR 2'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-17	BEDROOM	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-18	CLOSET	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-19	CLOSET	2'-0"x6'-8"x1 3/8"	E	WD	-	WD	4	5	-		-
I-21	WASHER/DRYER	3'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		MARBLE THRESHOLD
I-22	BEDROOM	3'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-23	BEDROOM	2'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-24	REAR STAIR TYPE B	3'-0"x6'-8"x1 3/8"	C	MTL	-	MTL			-		2HR FIRE RATED
I-25	BATH	2'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-26	WASHER/DRYER	PR 2'-6"x6'-8"x1 3/8"	E	WD	-	WD	4	5	-		-
I-27	ATTIC	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		-
I-28	HC BATH	3'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-		MARBLE THRESHOLD
I-29	CLOSET	PR 2'-0"x6'-8"x1 3/8"	E	WD	-	WD	4	5	-		-
I-30	CLOSET	2'-0"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-		36" OFF FLOOR

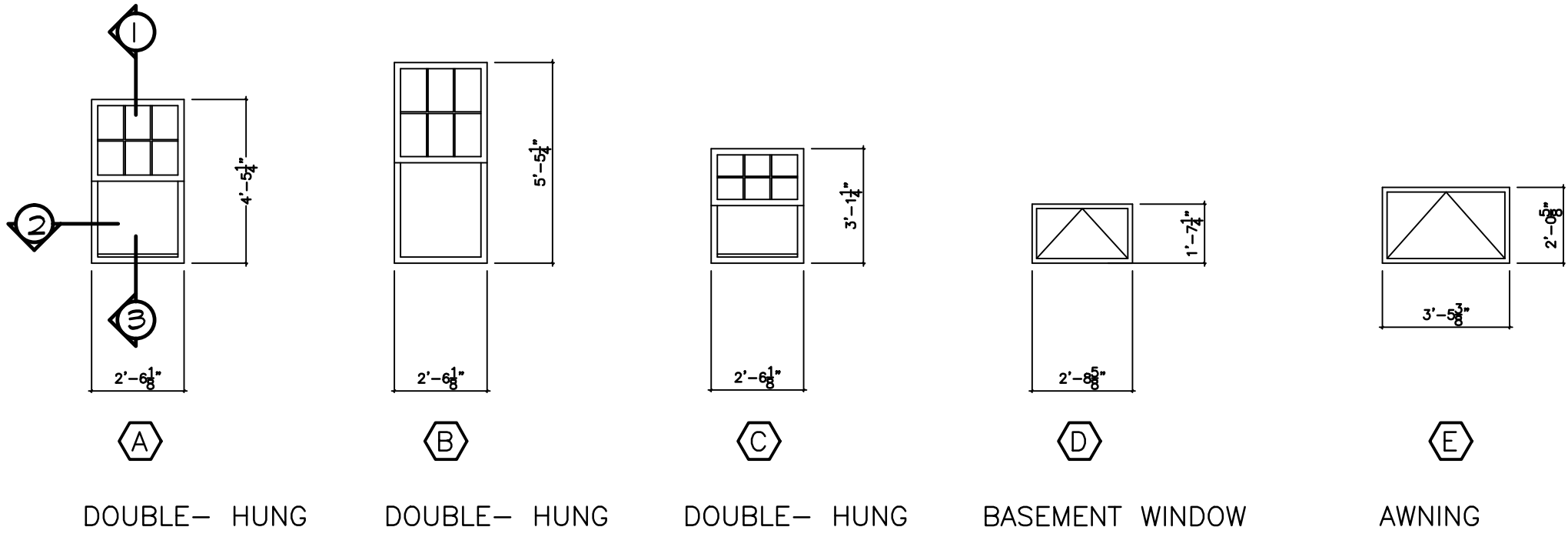
DOOR SCHEDULE ABBREVIATIONS

AL= ALUMINUM HM= HOLLOW METAL TP= TEMPERED IN= INSULATED E-00= EXTERIOR DOORS MTL= METAL
HC= HOLLOW CORE WD= WOOD VL= VINYL ST= STEEL I-00= INTERIOR DOORS PR= PAIR

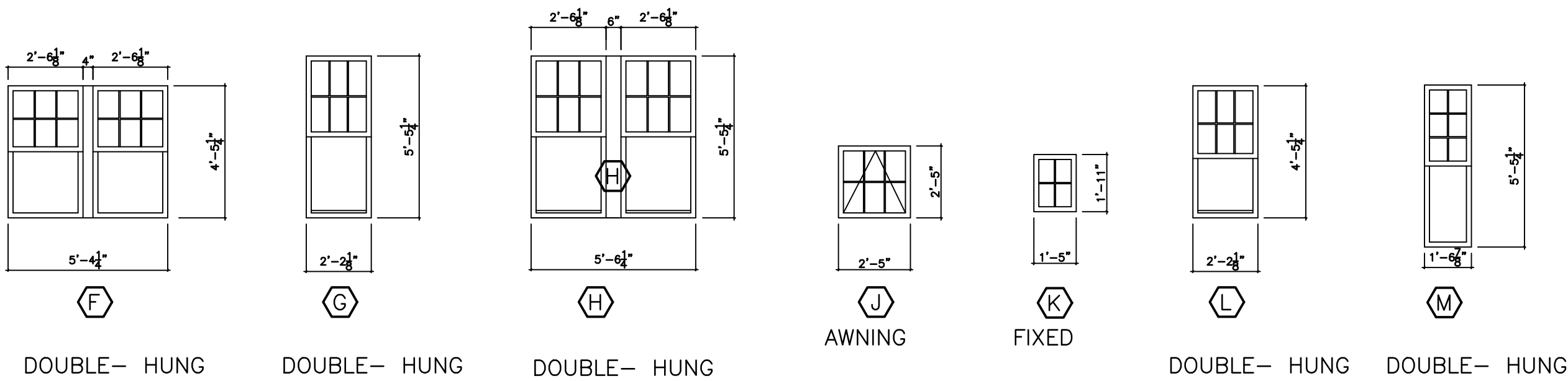


DOOR TYPES

SCALE: 1/4"=1'-0"



DOUBLE- HUNG DOUBLE- HUNG DOUBLE- HUNG BASEMENT WINDOW AWNING



DOUBLE- HUNG DOUBLE- HUNG DOUBLE- HUNG AWNING FIXED DOUBLE- HUNG DOUBLE- HUNG

WINDOW TYPES

SCALE: 1/4"=1'-0"

ALL WINDOWS ARE INDICATED BY ROUGH OPENING
ADJUST TO MANUFACTURES CLOSEST CURRENT SIZE

WINDOWS:
1. PELLA PROLINE ALUM. CLAD WOOD DBL HUNG WINDOWS, WITH
ADVANCED COMFORT LOW-E W/ ARGON (DUAL GLAZED UNITS) WITH
SIMULATED DIVIDED LITE. U- VALUE .26; SHGC .27.

2. OR EQUAL

3. INSTALL ICE AND WATER SHIELD AROUND ALL WINDOW OPENING
AS PER MANUFACTURER RECOMMENDATION.

4. ONLY USE DIVIDED LIGHT IF IN CONTEXT

5. FOR WINDOW SIZES THE CLOSEST WINDOW SIZE AVAILABLE
SIZES INDICATED OR THE NEXT LARGER SIZE. DIVIDED LITES
A REQUIREMENT USE IF CONTEXTUALLY APPROPRIATE.

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PROJECT

NEW ENGLAND
HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE
NEIGHBORHOOD
DEVELOPMENT
CORPORATION

DORCHESTER, MASSACHUSETTS



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SHEET TITLE

GENERAL SHEETS
DOOR SCHEDULE
DOOR & WINDOW TYPES

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

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G-3



Diagram illustrating the floor assembly construction details, showing the relationship between the existing floor and the new construction layers:

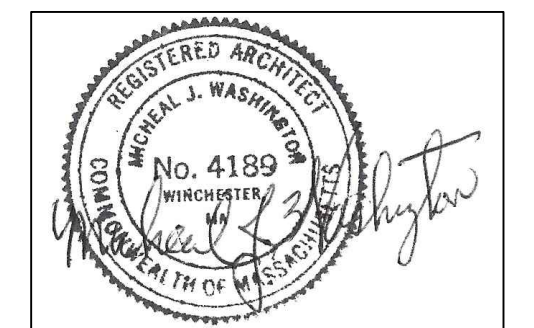
- REFER TO FINISH SCHEDULE FOR NEW FINISHES
- NEW 3/8" UNDERLAYMENT, TYP.
- NEW 3/4" PLYWOOD SUBFLOOR, TYP.
MATCH EXISTING FLOOR LEVEL
- NEW SOUND INSULATION TYP.
- NEW JOISTS REFER TO STRUCTURAL DWGS.
- NEW 5/8" GYP. BD. OVER RESILIENT CHANNELS AT 16" O.C.
(1 HR. RATED)
MINIMUM STC 50

UL 513

ROOM FINISH SCHEDULE ABBREVIATIONS

CRPT= CARPET
DS= DUST SHIELD
CONC= CONCRETE
CMU= CONCRETE MASONRY UNIT
EXP= EXPOSED
GNB= GYPSUM WALL BOARD
PNT= PAINTED
VB= VINYL BASE
VNL= SHEET VINYL
MR BD= MOISTURE RESISTANT GYPSUM WALL BOARD
WD= WOOD

1. TYP. FIRST FLOOR/ BASEMENT CEILING ASSEMBLY - PROVIDE BATT,SPRAY FOAM OR NETTED LOOSE INSULATION R-30 W/ STRAPPING FIRE RATED GYP BD AT BOILER AREA (TYP.)
2. AT TOP HABITABLE (SECOND OR ATTIC) FLOOR/CEILING ASSEMBLY PROVIDE FIBERGLASS BATT INSULATION R-60 OR BETTER TYP.
3. CLOSET FINISHES AND LAUNDRY CLOSET TO MATCH ROOM CLOSET OPENS INTO.
4. PROVIDE OAK CAP AT STAR HANDRAIL.
5. STAIR TREAD AND LANDING FINISHES -
BASEMENT TREADS - PROVIDE UNPAINTED HARD PINE
FIRST FLOOR LANDING - PROVIDE WOOD FLOORING
6. ALL WASHING MACHINES IN LIVING AREA TO HAVE CONNECTED METAL PAN TO DRAIN.
7. PROVIDE MIN. ONE HAND HANDRAIL AT ALL STAIRS. TWO WHEN SHOWN IN THE DRAWINGS.
8. STAIR HANDRAILS WITH OPEN BALUSTER B-720 BEECH NATURAL FINISH HANDRAIL
1-1/4" SQUARE PAINTED BALUSTER AND 3-1/4" SQUARE PAINTED NEWELL: BY BROSCO
OR ARCHITECT APPROVED EQUAL.
9. INTERIOR STAIR RAIL BRACKET: C- 3002 BROSCO BRASS FINISH OR ARCHITECT APPROVED EQUAL.
10. WALL HANG RAILINGS BROSCO 1-1/2" x 1-11/16" NO. 75 ROUND AT BASEMENT STAIRS
ONLY. NO. 66 TAPERED PROFILE PINE WITH INTERIOR STAIR HANDRAIL BRACKETS AT STAIRS
WITHIN UNITS MITERED RETURNS.



G-4

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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

CODMAN SQUARE NEIGHBORHOOD DEVELOPMENT CORPORATION

DORCHESTER, MASSACHUSETTS

TYPICAL THERMAL RATING

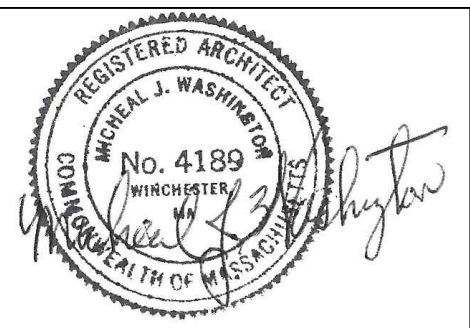
PROVIDE R-60 INSULATION AT THE ATTIC FLOOR LEVEL.

ATTIC HATCH TO HAVE SAME R VALUE AS SURROUNDING CONSTRUCTION

EXTERNAL WALL R-32
BASEMENT CEILING R-34
WINDOW GLAZING U-VALUE 0.26

NOTE:

INCLUDE ADHESIVE SEAM TAPE ON ALL SHEATHING INSTALLATION



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SHEET TITLE

WALL SECTIONS

SEE SITE ON COVER PAGE FOR ADDRESS AND UNIT LOCATION

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G-5.1

TYPICAL ROOF
ARCHITECTURAL GRADE ASPHALT SHINGLES
#30 BUILDING PAPER
ICE AND WATER SHIELD TO 30" ABOVE EAVE
5/8" PLYWOOD SHEATHING
WOOD FRAMING SEE FRAMING PLANS
METAL STEP FLASHING AT ALL WALL/ROOF INTERSECTIONS (TYP.)
METAL EDGE DRIP AT ALL EAVES

R-60 OR BETTER

CEILING 5/8" CEILING GYPSUM BD
AIR BARRIER/VAPOR RETARDER
2x10 JOIST FRAMING @ 16" OC
17" R-60 CELLULOSE
OR
2 LAYERS OF BATT INSULATION
4.5" R-30 INSTALLED IN FRAMING
SECOND R-30 LAYER INSTALLED PERPENDICULAR
ANY FRAMING SPACES ENCLOSED PRIOR TO INSULATION SHOULD BE FILLED WITH FOAM DURING FRAMING

ATTIC
(TOP OF SUB FLOOR)

TYPICAL EXTERIOR WALL R-32 OR BETTER

5/8" GYP BD TO BE PTD
TYPICAL AT TUB SURROUND AREA 1/2" CEMENTITIOUS BD WITH CT
TYPICAL AT KITCHENS AND BATHROOMS 5/8" MOISTURE RESISTANT GYP BD
LATEX PAINT APPLIED TO GYPSUM BD
5 1/2" INSUL. R-20 OR BETTER
2x6 WD STUD @ 16" OC
1/2" PLYWOOD SHEATHING
TYVEK BUILDING WRAP
FLASHING, ICE AND WATER SHIELD AT WINDOWS
CEMENTITIOUS CLAPBOARD SIDING 4" EXPOSURE
HARDI TRIM AS INDICATED
2 1/2" HUNTER INSULATION PANEL WITH SHEATHING BOARD APPLIED. R-12 OR BETTER

SECOND FLOOR
(TOP OF SUB FLOOR)

TYPICAL FIRST FLOOR

WOOD AT LIVING ROOMS
WOOD FRAMING SEE FRAMING PLANS
3/4" T&G PLYWOOD SUBFLOOR
BATT INSULATION R-34 OR BETTER
RESILIENT FURRING STRIP
5/8" TYPE X GYPSUM BOARD
AT RATED AREA. ALL OTHER AREAS PROVIDE TYVEK DUST BARRIER.

FIRST FLOOR
(TOP OF SUB FLOOR)

TYPICAL FOUNDATION WALL
DAMP-PROOFING
10" CONC. FOUNDATION WALL
REINFORCING: 2 #5 CONT
TOP AND BOTTOM

BASEMENT
(TOP OF CONC. SLAB)

TYPICAL CONC. SLAB
4" CONC. SLAB 6 x 6 - W1.4x W1.4 WWF
6" MILL. POLY. VAPOR BARRIER
EPS 100 PSI R-10 2" EXPANDED POLYSTYRENE
6" COMPACTED GRAVEL OVER UNDISTURBED SOIL

PERIMETER DRAINAGE, TYP.
6" PERFORATED PIPE LOCATED 4" ABOVE THE BOTTOM OF FOOTING
ELEVATION AND 6" OUTWARD FROM EDGE OF FOOTING
MARAFI 140N OVER PIPE

CONT. CONC. FOOTING
(SEE STRUCT. GS.1)(TYP.)

1 TYPICAL WALL SECTION

SCALE: 1/2"=1'-0"

TYPICAL EXTERIOR WALL R-32 OR BETTER

5/8" TYPE X GYP BD TO BE PTD
W/ VAPOR BARRIER
2x4 WD STUD @ 16" OC
4" INSUL. R-32 OR BETTER
2x4 WD STUD @ 16" OC
1/2" PLYWOOD SHEATHING
TYVEK BUILDING WRAP
FLASHING, ICE AND WATER SHIELD AT WINDOWS
CEMENTITIOUS CLAPBOARD SIDING
EXPOSURE AND PATTERN VARIES
HARDI TRIM AS INDICATED

R-60 OR BETTER

CEILING 5/8" CEILING GYPSUM BD
AIR BARRIER/VAPOR RETARDER
2x10 JOIST FRAMING
17" R-60 CELLULOSE
OR
2 LAYERS OF BATT INSULATION
4.5" R-30 INSTALLED IN FRAMING
SECOND R-30 LAYER INSTALLED PERPENDICULAR
ANY FRAMING SPACES ENCLOSED PRIOR TO INSULATION SHOULD BE FILLED WITH FOAM DURING FRAMING

10'-0"

8'-0"

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1A ALTERNATE TYPICAL WALL SECTION

SCALE: 1/2"=1'-0"

ALTERNATE ROOF R-60 OR BETTER

ARCHITECTURAL GRADE ASPHALT SHINGLES
#30 BUILDING PAPER
5/8" PLYWOOD SHEATHING
2x4" SLEEPERS LAYED FLAT PARALLEL TO RAFTERS 16" OC
AT LEAST 2 LAYERS OF RIGID INSULATION TOTALING 5" MINIMUM
TAPED AT EACH SEAM (R-30) (ALTERNATE SIPS PANEL)
5/8" PLYWOOD SHEATHING, RAFTER CAVITY FILLED WITH INSULATION: NETTED CELLULOSE, BATTS, OR LOW DENSITY FOAM EQUALING (R-30)
WOOD FRAMING SEE FRAMING PLANS
GYPSUM BD
METAL STEP FLASHING AT ALL WALL/ROOF INTERSECTIONS (TYP.)
METAL EDGE DRIP AT ALL EAVES PRE-FORMED

1 ALTERNATE ROOF DETAIL

SCALE: 1/2"=1'-0"

ALTERNATE ROOF R-60 OR BETTER

ARCHITECTURAL GRADE ASPHALT SHINGLES
#30 BUILDING PAPER
5/8" PLYWOOD SHEATHING
2x4" SLEEPERS LAYED FLAT PARALLEL TO RAFTERS 16" OC
AT LEAST 2 LAYERS OF RIGID INSULATION TOTALING 5" MINIMUM
TAPED AT EACH SEAM (R-30) (ALTERNATE SIPS PANEL)
5/8" PLYWOOD SHEATHING, RAFTER CAVITY FILLED WITH INSULATION: NETTED CELLULOSE, BATTS, OR LOW DENSITY FOAM EQUALING (R-30)
WOOD FRAMING SEE FRAMING PLANS
GYPSUM BD
METAL STEP FLASHING AT ALL WALL/ROOF INTERSECTIONS (TYP.)
METAL EDGE DRIP AT ALL EAVES PRE-FORMED

1A ALTERNATE ROOF DETAIL

SCALE: 1/2"=1'-0"
FOR DOUBLE WALL ALTERNATE

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PROJECT

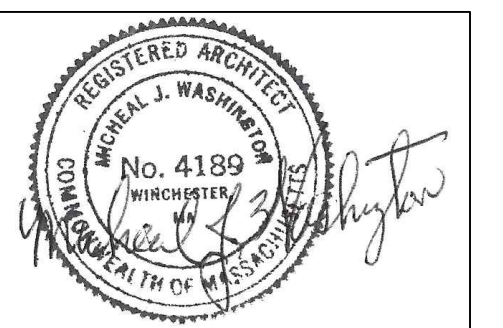
**NEW ENGLAND
HERITAGE HOMES**

DORCHESTER, MASSACHUSETTS

DEVELOPER

**CODMAN SQUARE
NEIGHBORHOOD
DEVELOPMENT
CORPORATION**

DORCHESTER, MASSACHUSETTS



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WALL SECTIONS

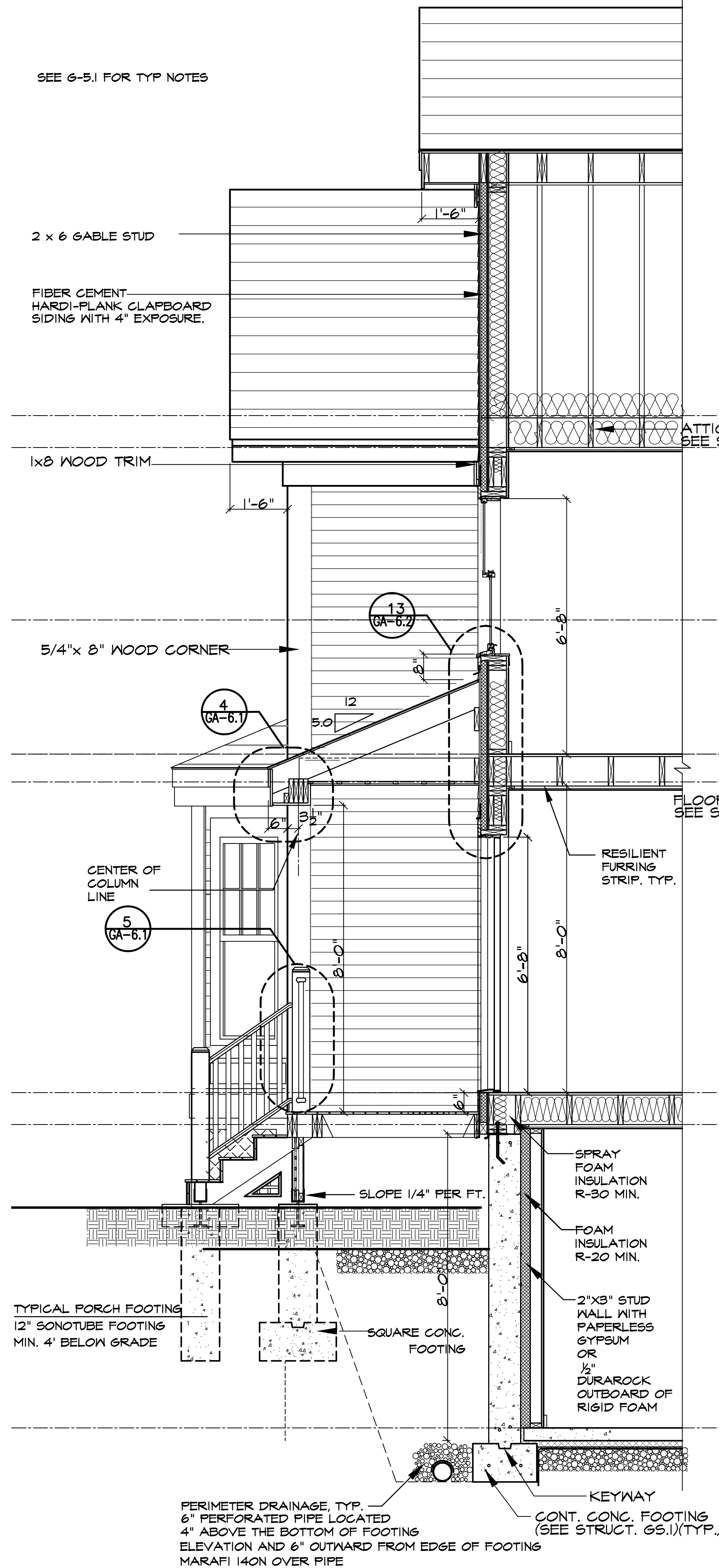
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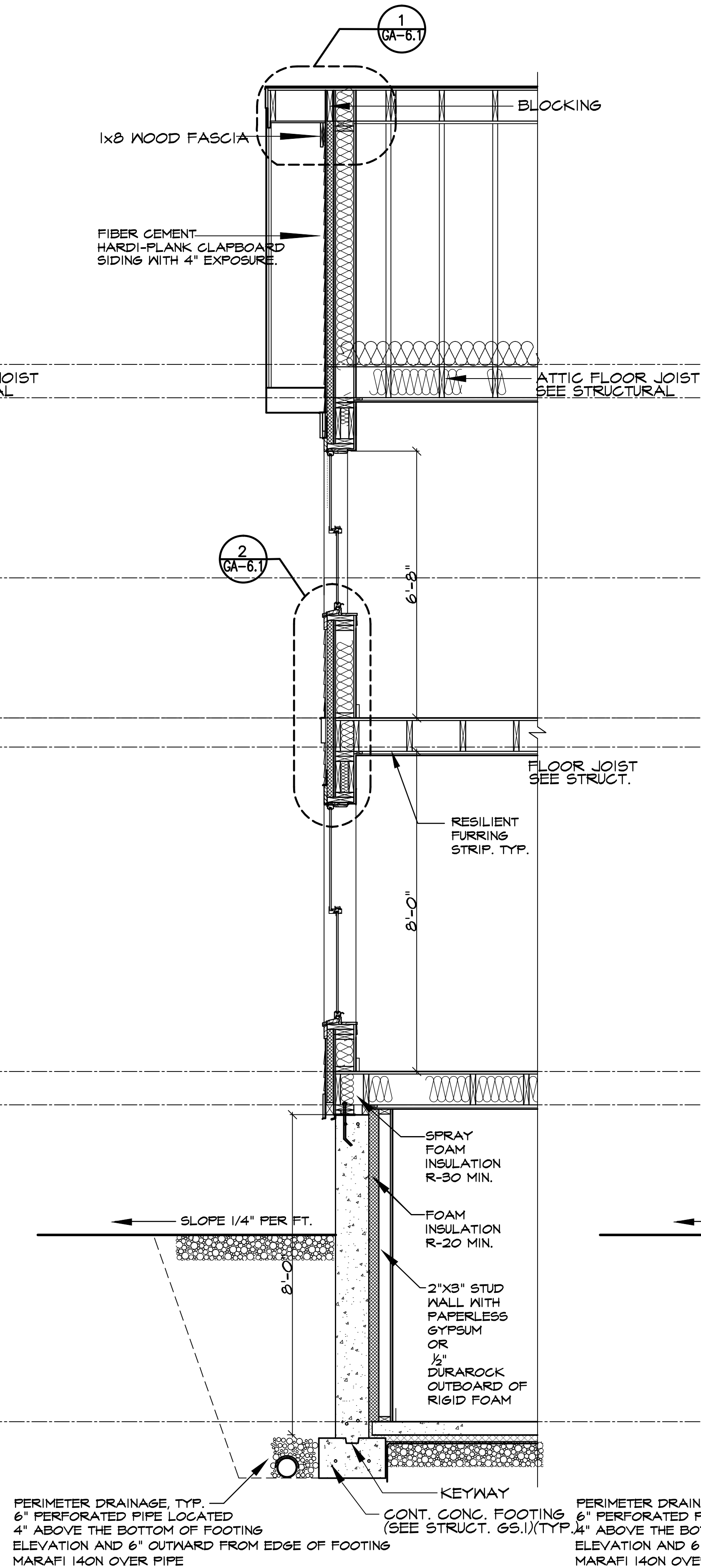
G-5.2

SEE G-5.1 FOR TYP NOTES



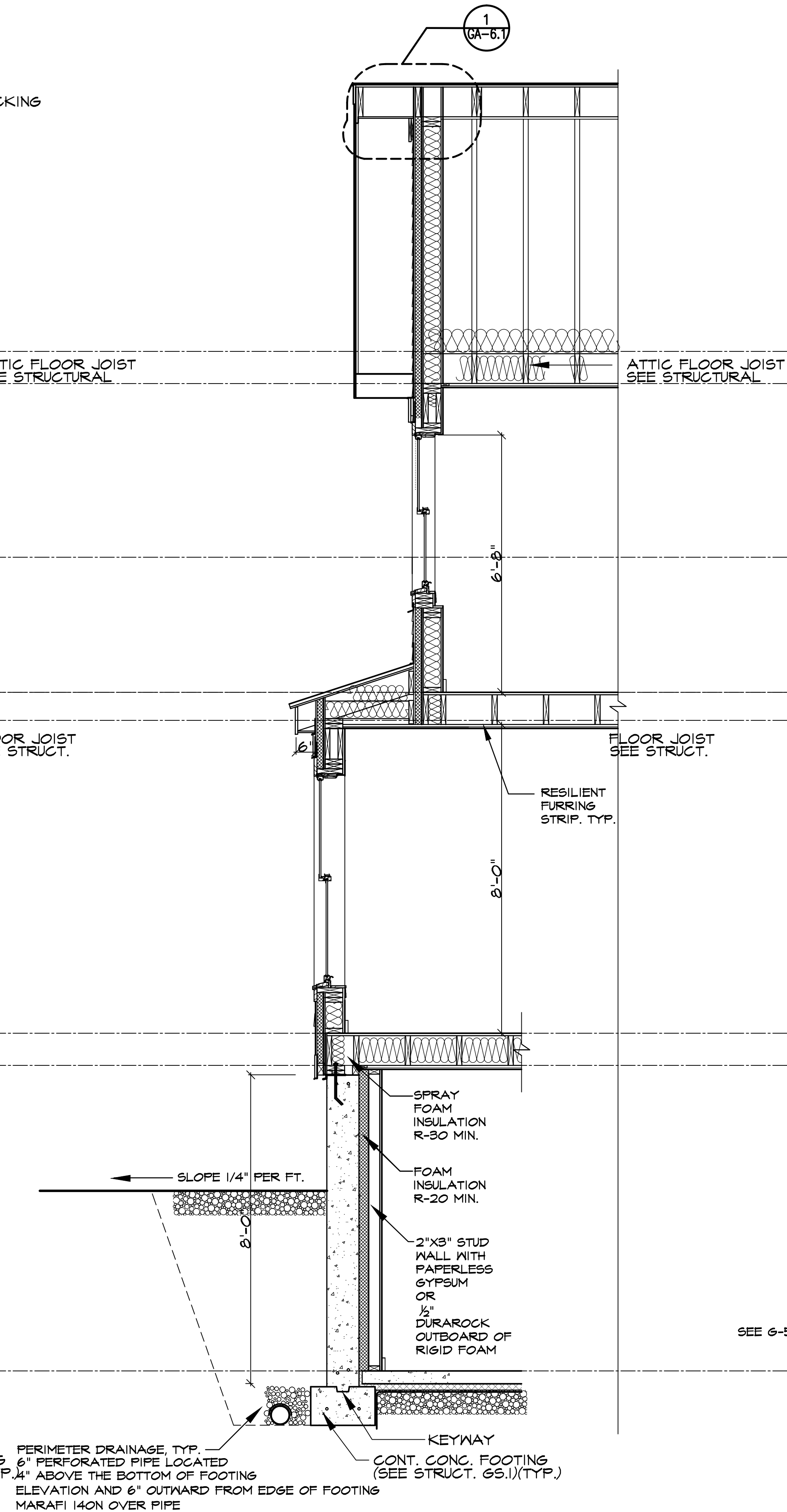
2 TYPICAL WALL SECTION

SCALE: 1/2"=1'-0" SEE G-5.1 FOR TYP NOTES



3 TYPICAL WALL SECTION

SCALE: 1/2"=1'-0"



4 TYPICAL WALL SECTION AT BAY

SCALE: 1/2"=1'-0"

SEE G-5.1 FOR TYP NOTES

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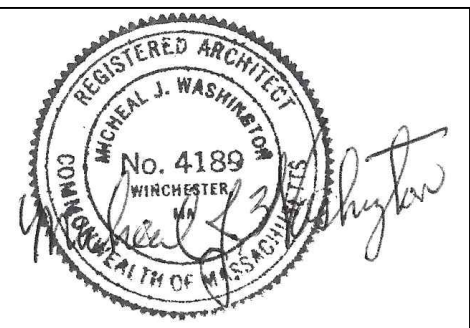
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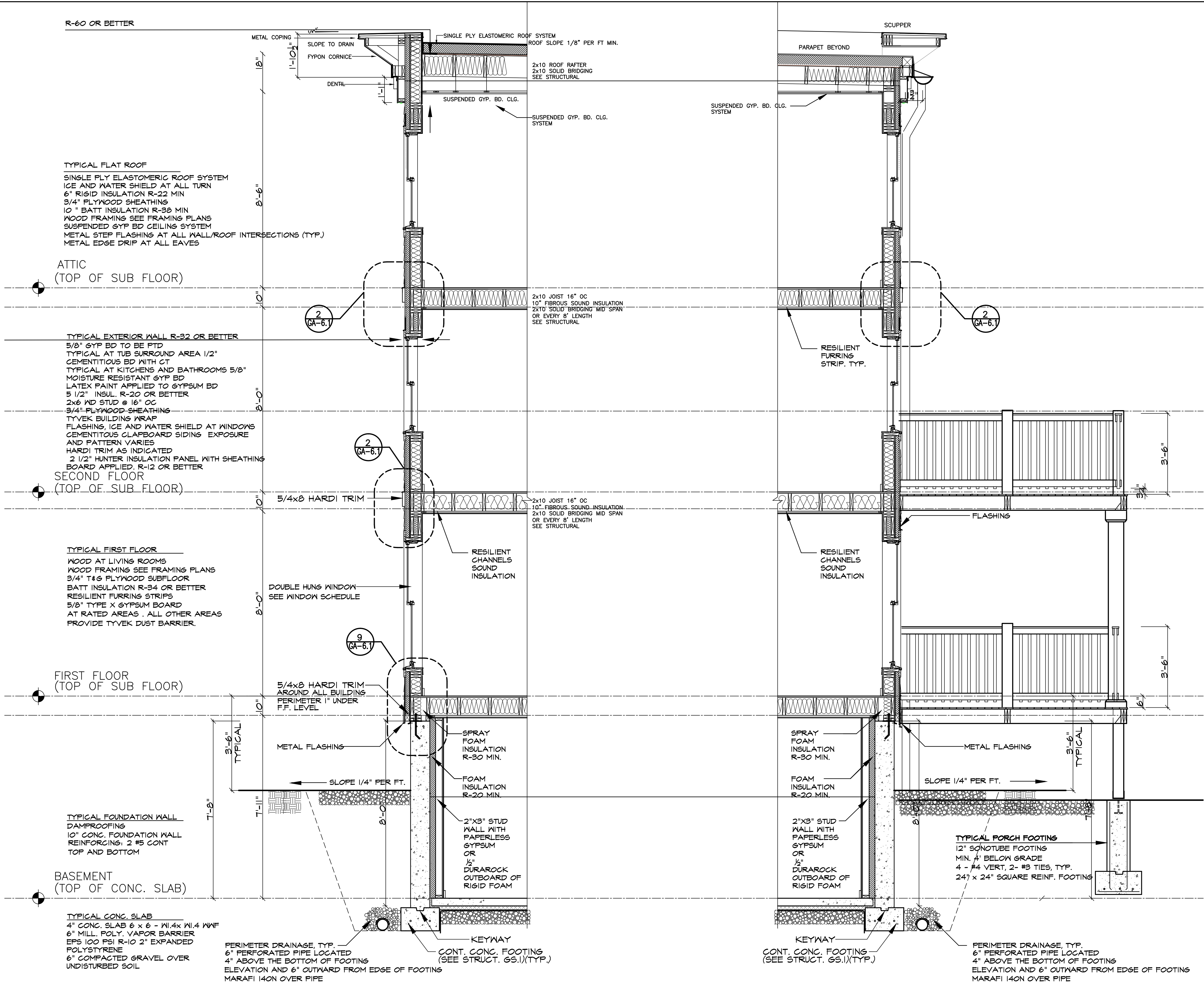
WALL SECTIONS

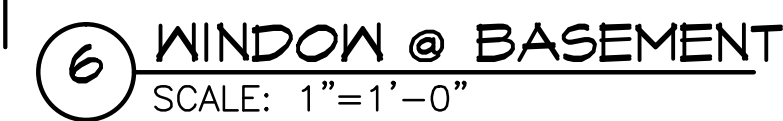
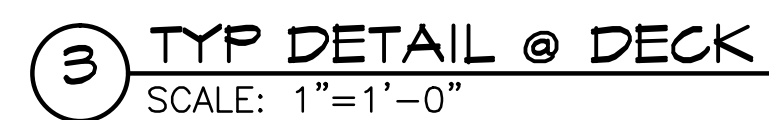
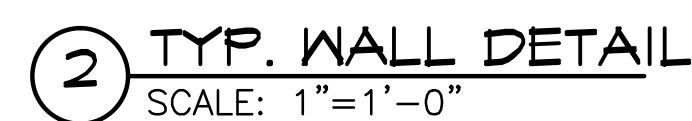
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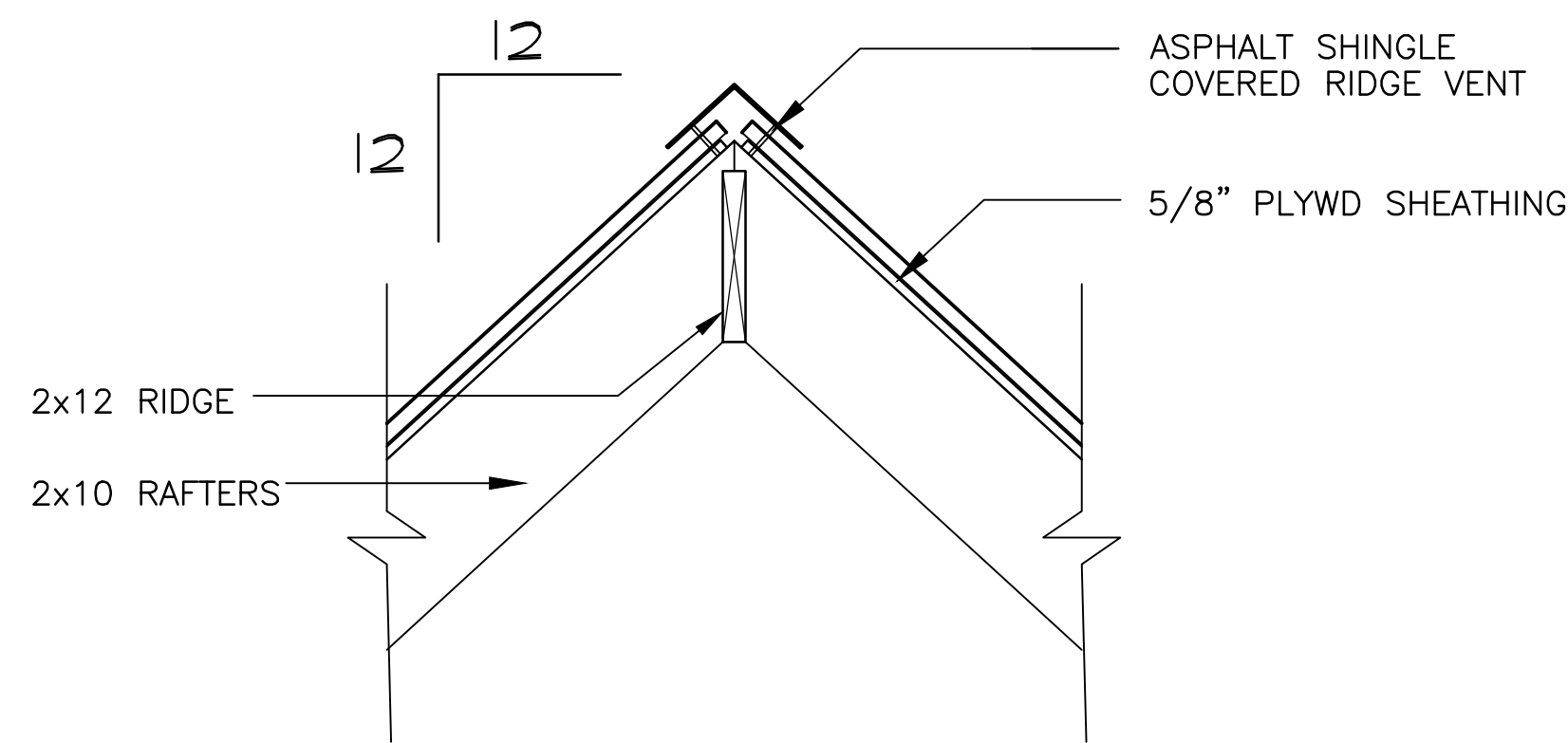
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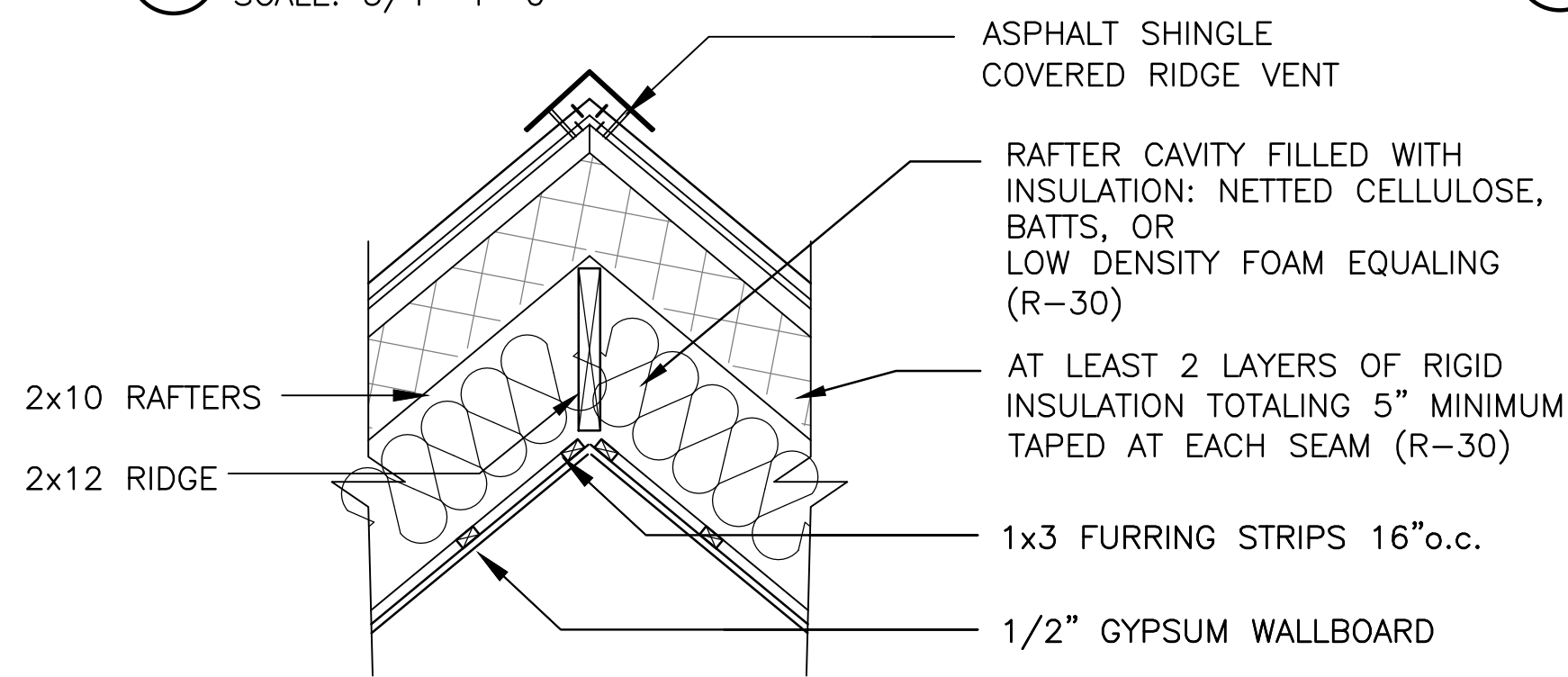




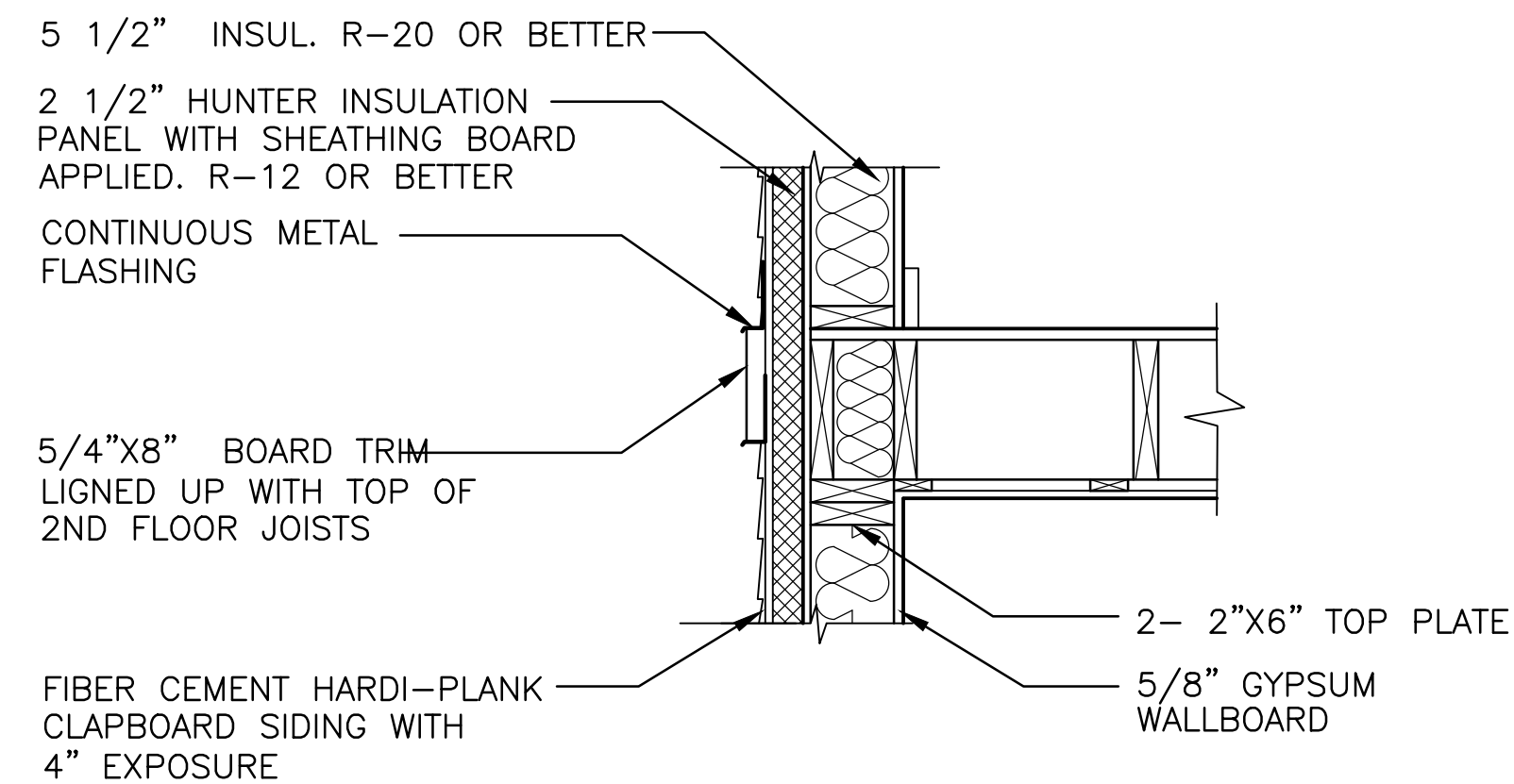
GA-6.1



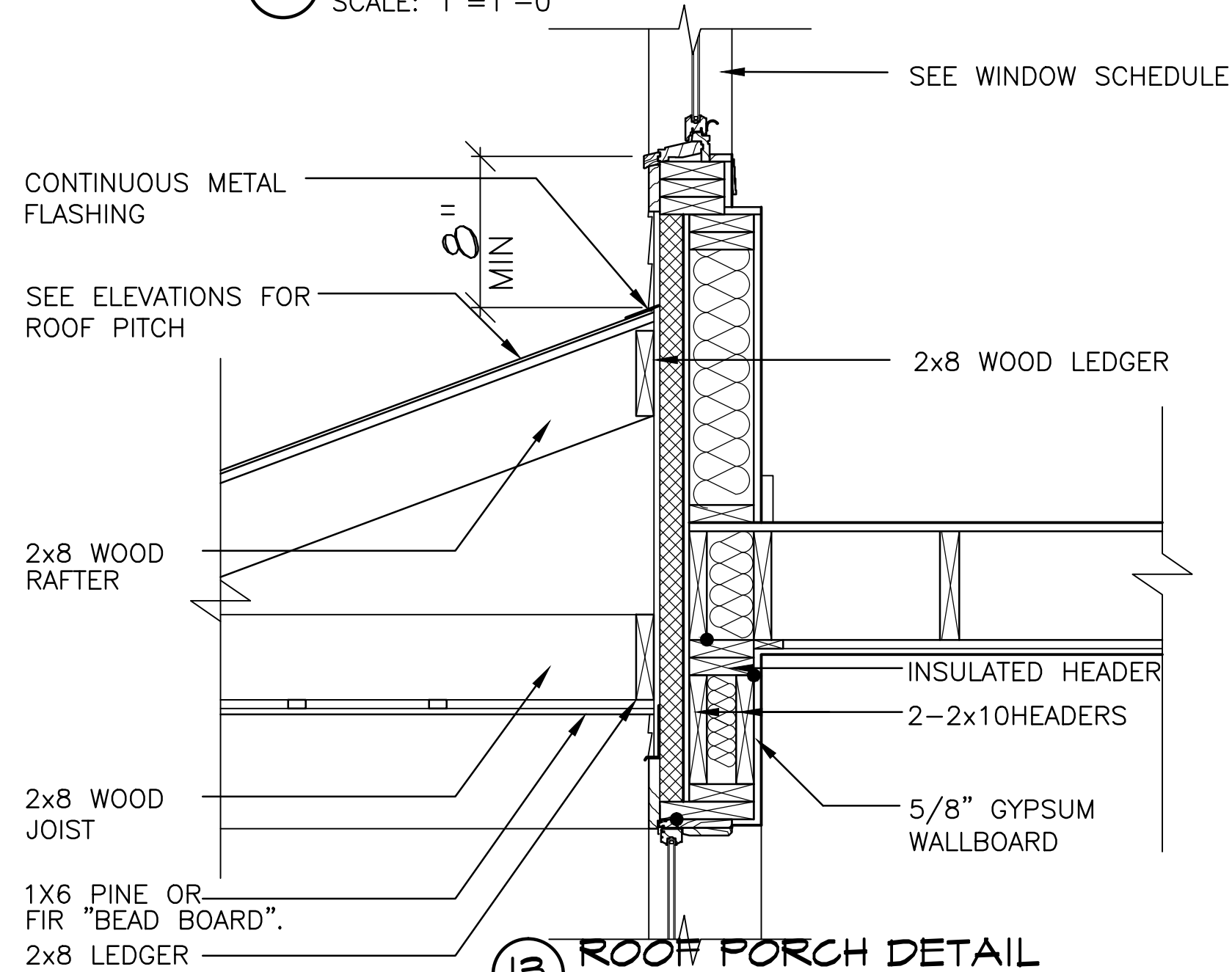
10 RIDGE DETAIL
SCALE: 3/4"=1'-0"



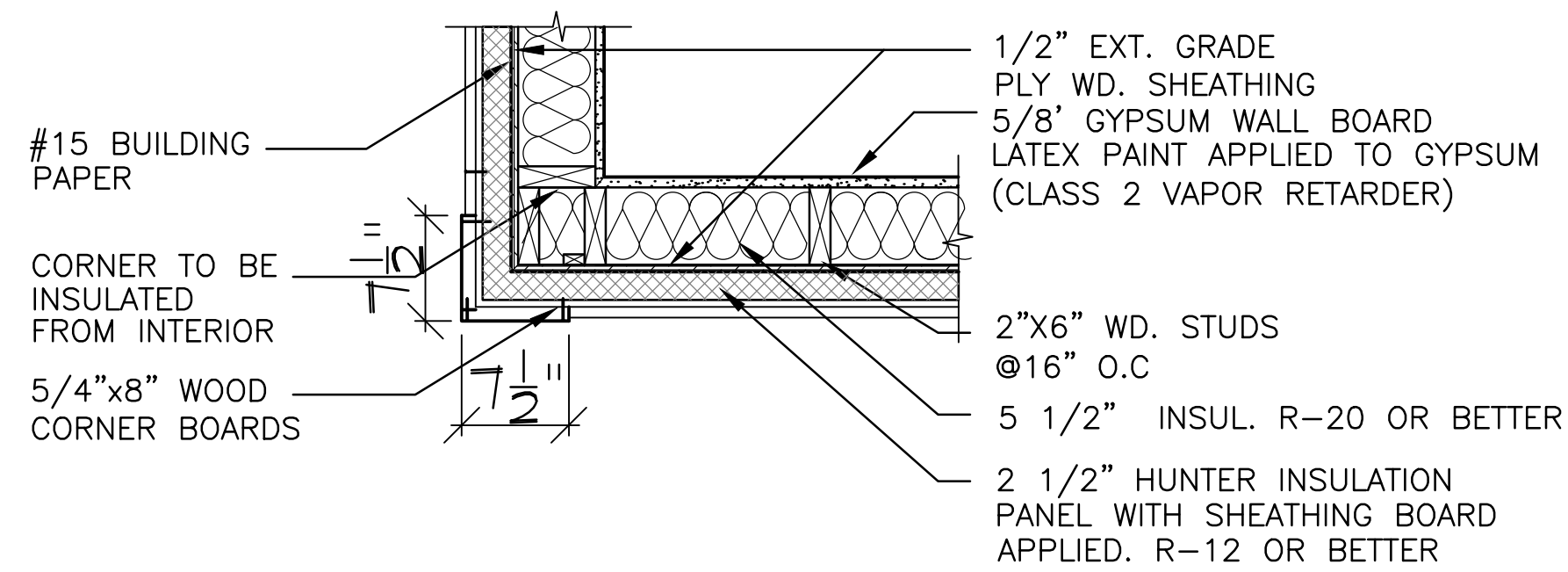
11 RIDGE DETAIL
SCALE: 1"=1'-0"



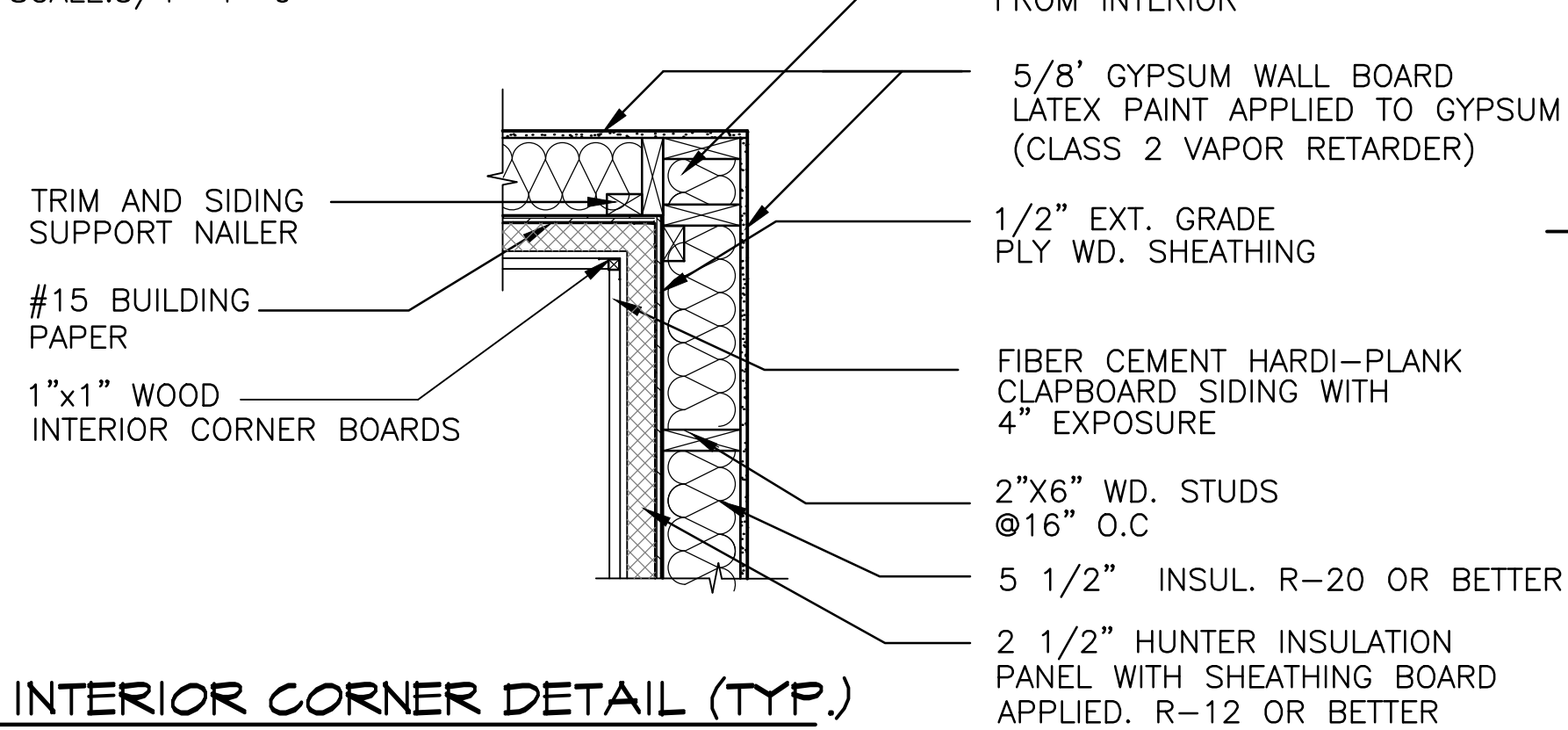
12 TRIM DETAIL
SCALE: 1"=1'-0"



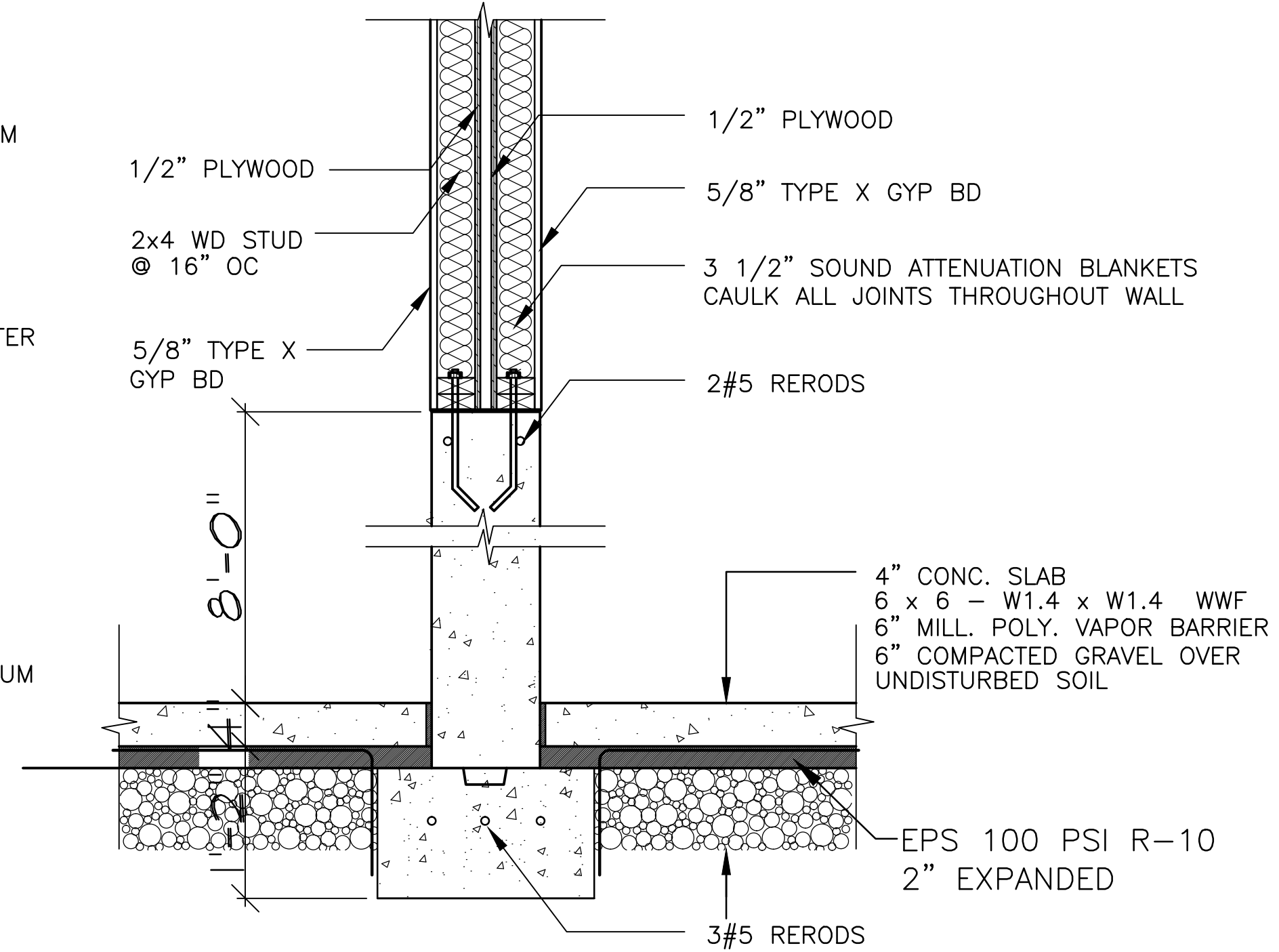
13 ROOF PORCH DETAIL
SCALE: 1"=1'-0"



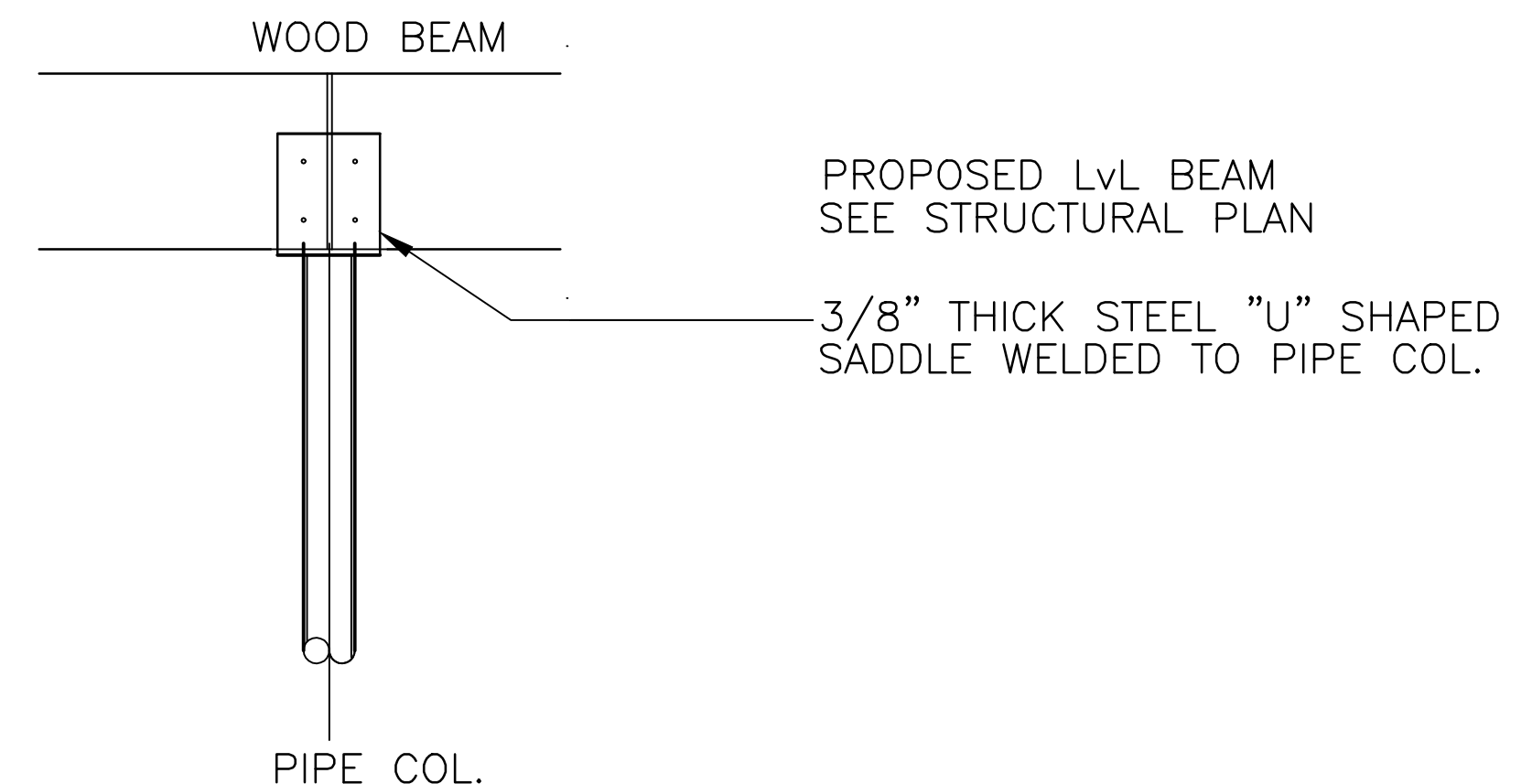
14 EXTERIOR CORNER DETAIL (TYP.)
SCALE: 3/4"=1'-0"



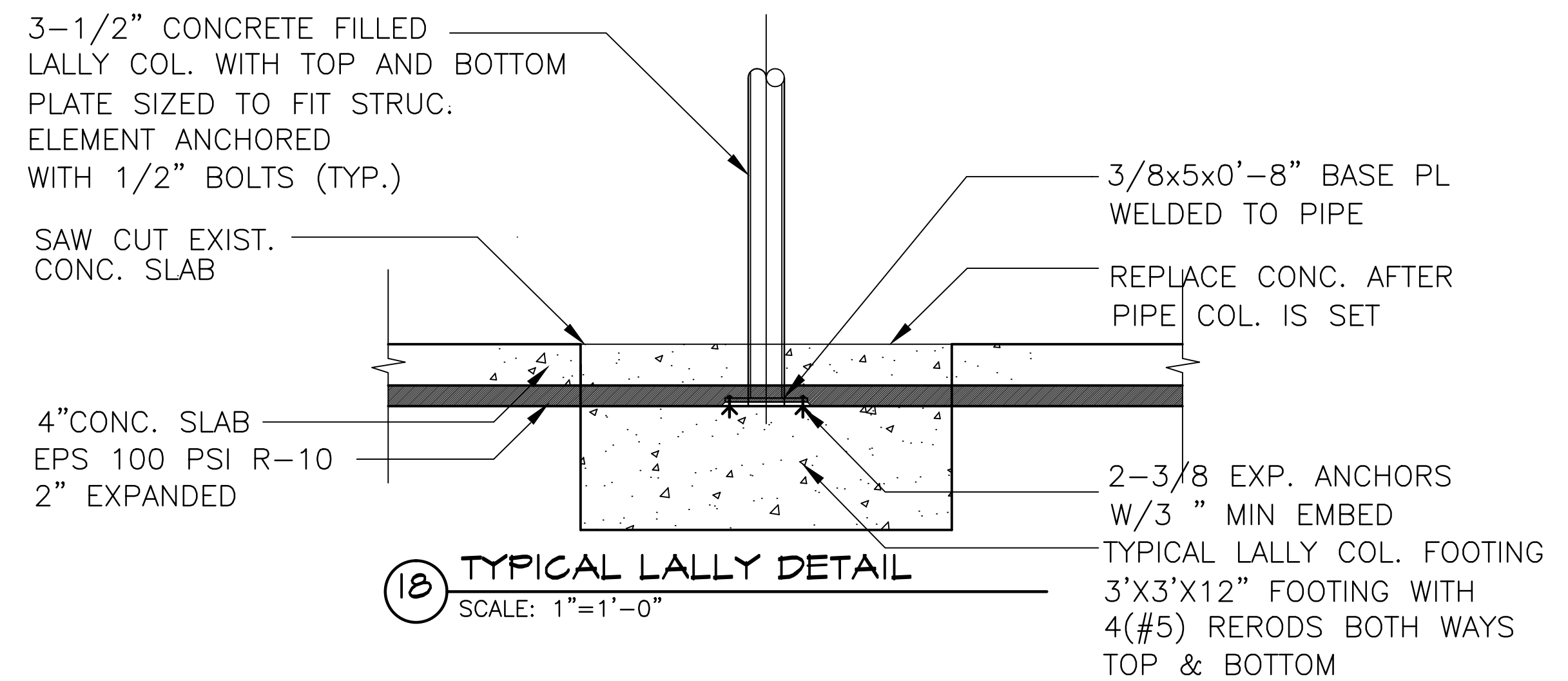
15 INTERIOR CORNER DETAIL (TYP.)
SCALE: 1"=1'-0"



16 TYPICAL UNIT SEPARATION WALL
SCALE: 1"=1'-0"
UL DESIGN No U341 / 1 HR RATING



17 TYPICAL LALLY DETAIL
SCALE: 1"=1'-0"



18 TYPICAL LALLY DETAIL
SCALE: 1"=1'-0"

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PROJECT

NEW ENGLAND HERITAGE HOMES

DORCHESTER, MASSACHUSETTS

DEVELOPER

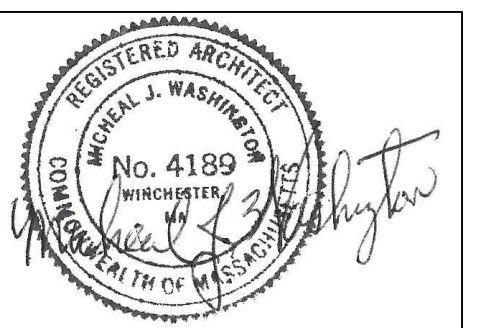
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- DOT REPRESENTS POINTS WHERE CAUKING IS REQUIRED. THIS IS TYPICAL OF ALL DETAILS.

NOTE:

INCLUDE ADHESIVE SEAM TAPE ON ALL SHEATHING INSTALLATION



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SHEET TITLE

GENERAL SHEET TYPICAL DETAILS

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CSNDC: New England Heritage Homes
BRA Article 80, Small Project Review Application

Appendix B: Permit Applications and Responses



Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

ZONING CODE REFUSAL

MAY 07 2015

Gary P. Moccia
Inspector of Buildings

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 63 COLONIAL AV DORCHESTER, MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441535
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	3 structures on parcel consisting of 12 total units- (MFR- forbidden)
Article 65, Section 9	Dimensional Regulations	Height/#of stories has been exceeded
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Article 65, Section 9	Dimensional Regulations	Insufficient lot area per unit
Notes		Pending a favorable ZBA decision, a full set of construction documents shall be required.

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 63 COLONIAL AV DORCHESTER, MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441535
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.

 (LA)

Francesco D'Amato

for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.



Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

ZONING CODE REFUSAL

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

MAY 07 2015

Gary P. Moccia
Inspector of Buildings

March 27, 2015

(Handwritten signature)

Location: 28 MALLARD AV DORCHESTER, MA 02124 *u*
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441543
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:


<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	Three structures on one lot consisting of 12 units MFR/Forbidden
Article 65, Section 9	Dimensional Regulations	Insufficient lot area per unit
Article 65, Section 9	Dimensional Regulations	Insufficient lot size
Article 65, Section 9	Dimensional Regulations	Number of stories/height has been exceeded
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Article 65, Section 9	Dimensional Regulations	Rear yard setback is insufficient
Notes		Pending a favorable ZBA decison, a full set of code compliant stamped construction drawings shall be required, to include, DPW/BWSC departmental approvals. *Note: 521 CMR compliance

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 28 MALLARD AV DORCHESTER, MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441543
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.



Francesco D'Amato

for the Commissioner

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Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

ZONING CODE REFUSAL

Gary P. Moccia
Inspector of Buildings

MAY 07 2015

March 27, 2015

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

Location: 32-34 MALLARD AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441549
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:


<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	Three structures on one lot consisting of 12 units MFR/Forbidden
Article 65, Section 9	Dimensional Regulations	Insufficient lot size
Article 65, Section 9	Dimensional Regulations	Insufficient additionally required lot area per unit
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Article 65, Section 9	Dimensional Regulations	Number of stories/height exceeded
Article 65, Section 9	Dimensional Regulations	Rear yard setback is insufficient
Notes		Pending a favorable ZBA decision, a full set of code compliant stamped construction drawings shall be required, to include, DPW/BWSC departmental approvals. *521 CMR

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 32-34 MALLARD AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441549
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.

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Francesco D'Amato

for the Commissioner

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Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

ZONING CODE REFUSAL

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

Gary P. Moccia
Inspector of Buildings

MAY 07 2015

March 27, 2015

Location: 36-38 MALLARD AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441550
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	Three structures on one lot MFR/Forbidden
Article 65, Section 9	Dimensional Regulations	Additional lot area required per unit is insufficient
Article 65, Section 9	Dimensional Regulations	Rear yard setback is insufficient
Article 65, Section 9	Dimensional Regulations	Number of stories/height has been exceeded
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Notes		Pending a favorable ZBA decision, a full set of code compliant stamped drawings shall be required, to include, DPW/BWSC departmental approvals

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 36-38 MALLARD AV DORCHESTER MA 02124

Ward: 17

Zoning District: Dorchester

Zoning Subdistrict: 3F-6000

Appl. # : ERT441550

Date Filed: January 14, 2015

Purpose: The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.

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 (A)

Francesco D'Amato

for the Commissioner

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Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Martin J. Walsh
Mayor

ZONING CODE REFUSAL

MAY 07 2015

Gary P. Moccia
Inspector of Buildings

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 40-42 MALLARD AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441554
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	Three structures on one lot MFR/Forbidden
Article 65, Section 9	Dimensional Regulations	Additional lot are required per unit is insufficient
Article 65, Section 9	Dimensional Regulations	Rear yard setback is insufficient
Article 65, Section 9	Dimensional Regulations	Number of stories/height has been exceeded
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Notes		Pending a favorable ZBA decision, a full set of construction documents shall be required, to include, DPW/BWSC departmental approvals

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 40-42 MALLARD AV DORCHESTER MA 02124
Ward: 17
Zoning District: 3F-6000
Zoning Subdistrict: 3F-6000
Appl. # : ERT441554
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.



Francesco D'Amato

for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.



Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

ZONING CODE REFUSAL

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

MAY 07 2015

Gary P. Moccia
Inspector of Buildings

March 27, 2015

Location: 67-69 COLONIAL AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441540
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	Three structures on one lot consisting of 12 units MFR/forbidden
Article 65, Section 9	Dimensional Regulations	Insufficient lot area/unit
Article 65, Section 9	Dimensional Regulations	Number of stories/height has been exceeded
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Article 65, Section 9	Dimensional Regulations	Insufficient lot size
Notes		Pending a favorable ZBA decison, a full set of code compliant stamped drawings shall be required, to include, DPW/BWSC departmental approvals. * Consult architect with respects to 521 CMR compliance for future building code review

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 67-69 COLONIAL AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441540
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new two family wood framed structure. This will be one of six buildings that will be built on three parcels that will be consolidated into one. Parcels ID 1701568000 (6,425 SF), Parcel ID 1701569000 (11,472 SF) & Parcel ID 1701570000 (4,500 SF). Consolidated Lot area = 22,397 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.

 (LA)

Francesco D'Amato

for the Commissioner

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Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

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ZONING CODE REFUSAL

Gary P. Moccia
Inspector of Buildings

MAY 07 2015

March 27, 2015

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

Location: 68-70 COLONIAL AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441522
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new two family wood framed structure. This will be one of three buildings that will be built on four parcels that will be **consolidated into one**. Parcels ID 1701534000 (4,000 SF), Parcel ID 1701534001 (5,943 SF), Parcel ID 1701535000 (5,354 SF) & Parcel ID 1701536000 (3,600 SF). Consolidated Lot area = 18,897 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.
* (3F+(2F+2F))

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	Multifamily structures are forbidden within this subdistrict (Total Structures on combined parcel (detached 3F) and (an attached 2F+2F = 4 unit structure)
Article 65, Section 9	Dimensional Regulations	Insufficient lot size
Article 65, Section 9	Dimensional Regulations	Additional lot area required is insufficient
Article 65, Section 9	Dimensional Regulations	Rear yard setback is insufficient due to 2nd story decks
Article 65, Section 9	Dimensional Regulations	Number of stories/height has been exceeded
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Notes		Pending a favorable ZBA decision, a full set of code compliant drawings with schedules shall be required consisting of stamped: Structural, foundation, mechanicals, electrical, civil, etc., with BWSC/DPW approvals

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 68-70 COLONIAL AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441522
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new two family wood framed structure. This will be one of three buildings that will be built on four parcels that will be consolidated into one. Parcels ID 1701534000 (4,000 SF), Parcel ID 1701534001 (5,943 SF), Parcel ID 1701535000 (5,354 SF) & Parcel ID 1701536000 (3,600 SF). Consolidated Lot area = 18,897 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. There will be one parking space per unit on the ground level, plus two parking spaces deeded to the two attached adjacent units. Green spaces will be developed for home owners and the adjacent community.
* (3F+(2F+2F))

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Francesco D'Amato

for the Commissioner

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Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

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ZONING CODE REFUSAL

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

Gary P. Moccia
Inspector of Buildings

MAY 07 2015

March 27, 2015



Location: 72-74 COLONIAL AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441527
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of three buildings that will be built on four parcels that will be consolidated into one. Parcels ID 1701534000 (4,000 SF), Parcel ID 1701534001 (5,943 SF), Parcel ID 1701535000 (5,354 SF) & Parcel ID 1701536000 (3,600 SF). Consolidated Lot area = 18,897 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 8	Use Regulations	Three structures on one lot/MFR
Article 65, Section 9	Dimensional Regulations	Insufficient lot size
Article 65, Section 9	Dimensional Regulations	Additional lot are required per unit is insufficient
Article 65, Section 9	Dimensional Regulations	Rear yard setback is insufficient
Article 65, Section 9	Dimensional Regulations	Number of stories/height has been exceeded
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Notes		Pending a favorable ZBA decision, a full set of code compliant stamped drawings shall be required, to include DPW/BWSC departmental approvals


JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015

Location: 72-74 COLONIAL AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441527
Date Filed: January 14, 2015
Purpose:

The work consists of construction of a new two family wood framed structure. This will be one of three buildings that will be built on four parcels that will be consolidated into one. Parcels ID 1701534000 (4,000 SF), Parcel ID 1701534001 (5,943 SF), Parcel ID 1701535000 (5,354 SF) & Parcel ID 1701536000 (3,600 SF). Consolidated Lot area = 18,897 SF. This structure will be attached to a similar structure and separated by a fire separation wall. The units are for sale housing. The foundation is a concrete foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-.24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. There will be one parking space per unit deeded from the attached adjacent building. Green spaces will be developed for home owners and the adjacent community.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.



Francesco D'Amato

for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.



Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Martin J. Walsh
Mayor

ZONING CODE REFUSAL

MAY 07 2015

Gary P. Moccia
Inspector of Buildings

JIRAIR OSTAYAN
587 WASHINGTON ST.
DORCHESTER, MA 02124

March 27, 2015



Location: 131-133 SOUTHERN AV DORCHESTER MA 02124
Ward: 17
Zoning District: Dorchester
Zoning Subdistrict: 3F-6000
Appl. # : ERT441519
Date Filed: January 14, 2015
Purpose: The work consists of construction of a new three family wood framed structure. This will be one of three buildings that will be built on four parcels that will be consolidated into one. Parcels ID 1701534000 (4,000 SF), Parcel ID 1701534001 (5,943 SF), Parcel ID 1701535000 (5,354 SF) & Parcel ID 1701536000 (3,600 SF). Consolidated Lot area = 18,897 SF. There are two duplex townhouse units over a single story H.C. accessible unit. The foundation is a concrete slab on grade foundation with a wood framed superstructure and a sloped roof. The walls and roof are wood framed composite construction with insulation that exceeds the current energy code. Walls are R-32 and roofs are R-60, and windows are U-24. Exterior finishes will include Hardi plank siding and asphalt shingled roofs. The building will have an automatic sprinkler system. The building will have one parking space per unit. Green spaces will be developed for home owners and the adjacent community.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 65, Section 9	Dimensional Regulations	Excessive F.A.R.
Article 65, Section 9	Dimensional Regulations	Number of stories/height has been exceeded
Notes		Pending a favorable ZBA decision, a full set of code compliant construction documents shall be required.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.

 Francesco D'Amato

for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.

