

ZONING ANALYSIS

100 A Street - 9 Condominium Dwelling Units + 1 Commercial Space (Retail Business - 475 GSF)
South Boston, MA

Zoning: M-2 Type Of Use: "Any other dwelling" + "Any other use" (for Commercial Space)
Lot Area: 4,169 s.f.

ZONING ITEM	REQUIRED	PROVIDED	MEETS REQUIREMENT: YES/NO
1. LOT AREA, MIN. FOR DWELLING UNITS	2,000 S.F. FOR 1 OR 2 UNITS	4,169 S.F.	YES
2. LOT AREA MINIMUM SQ. FT. FOR EACH ADDITIONAL DWELLING UNIT - 1,000 SQ. FT.	1,000 S.F./D.U. 7 D.U. X 1,000 S.F. = 7,000 S.F.	2,169 S.F.	NO
3. LOT WIDTH MIN. (FT)	NONE	--	YES
4. LOT FRONTAGE MIN.	NONE	--	YES
5. F.A.R. MAXIMUM	2.0 F.A.R. 2.0 X 4,169 S.F. = 8,338 S.F.	2.55 F.A.R. 21,265 GSF / 8,338 S.F.	NO
6. BLDG HEIGHT (STORIES)	STORIES: NONE FEET: NONE	N/A	YES
7. USABLE OPEN SPACE	300 S.F. PER UNIT x9 DU = 2,700 S.F.	875 S.F.	NO
8. FRONT YARD SETBACK	5 FT	0 FT	NO
9. SIDE YARD SETBACK	2'-1/2 FT	0 FT	NO
10. REAR YARD SETBACK	30 FT	2'-0"	NO
11. REAR YARD MAX. OCCUPANCY BY ACCESSORY BUILDINGS (PERCENT)	25%	N/A	YES
13. OFF STREET PARKING REQUIREMENTS (SPACES PER DWELLING UNIT)	1.0 PER D.U. = 9 SPACES	5	NO

ZONING COMPLIANCE NOTES:

"Any Other Dwelling" in an M-2 District requires zoning compliance for "Lot Area", "Usable Open Space", and Yard Requirement for nearest residential zone which is 3F - 2000 in the St. Vincent's Neighborhood District.

NOTE: 1. Project is more than 20,000 SF, therefore project will be subject to Chapter 80 BRA "Small Project" Review and Approval by the BRA.

BUILDING CODE ANALYSIS

1. Subject Building is 6 stories.

2. Use Group:

R-2: Residential, Multi-family
S-2: Parking
B: Commercial

3. Construction Type: Type III - Entire building

4. Entire building will be fully sprinklered; Each dwelling unit is separated by a min. 2-hr rated assembly wall or floor.

5. All exterior walls are min. 1-hr fire rated.

6. Each Dwelling Unit has 2 independent means of egress.

7. The building is served by a 3500# elevator to meet MAAB requirements

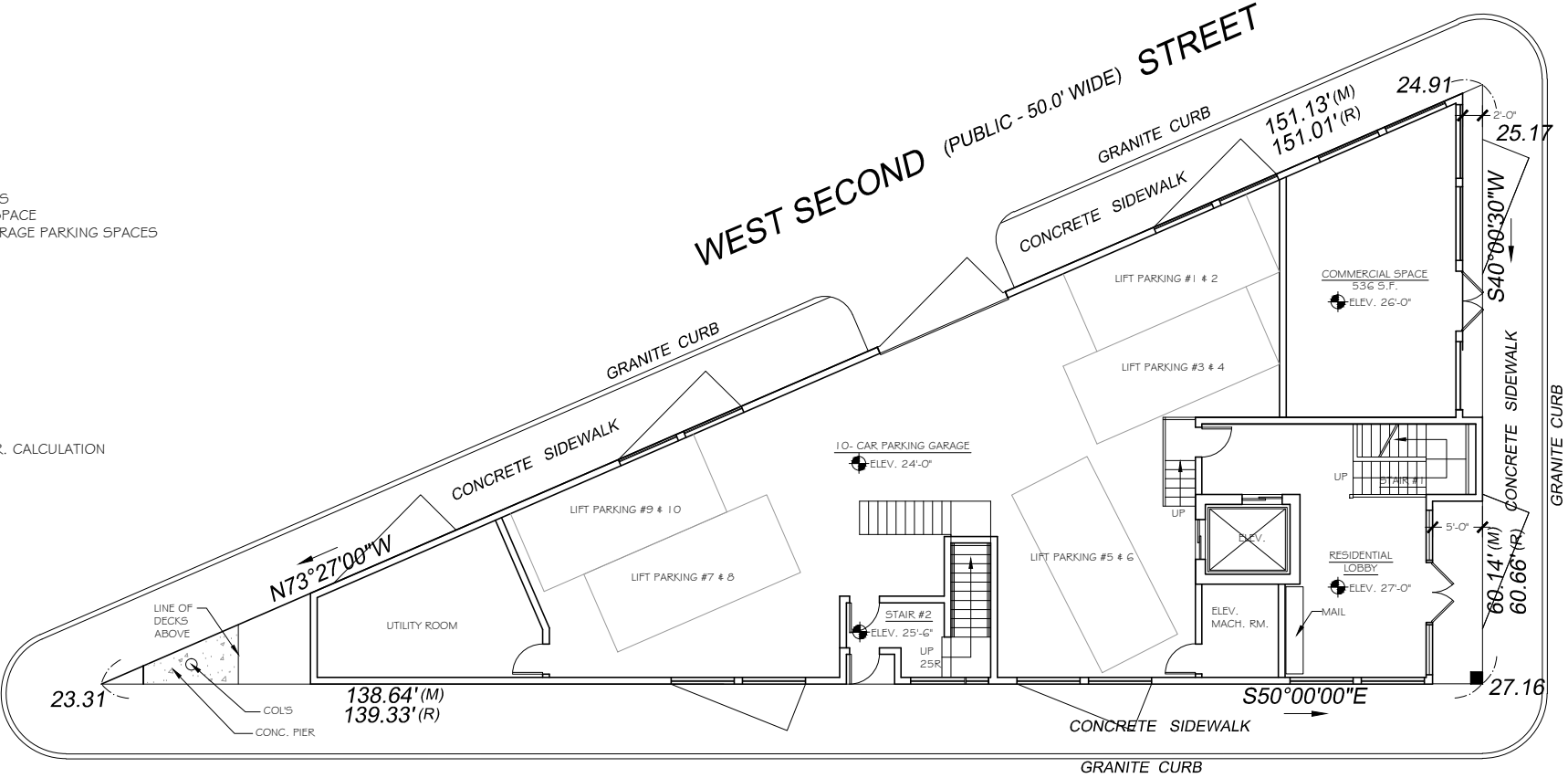
8. The building will meet all MAAB Code Requirements

BUILDING SUMMARY: 9 DWELLING UNITS
1 COMMERCIAL SPACE
5 ON-GRADE, GARAGE PARKING SPACES

1. RESIDENTIAL:

GROUND FLOOR: 1,077 GSF
1ST FLOOR: 3,975 GSF
2ND FLOOR: 3,975 GSF
3RD FLOOR: 3,975 GSF
4TH FLOOR: 4,008 GSF
5TH FLOOR: 4,018 GSF
ROOF: 649 GSF
TOTAL: 21,677 GSF

* GARAGE SPACE NOT COUNTED IN F.A.R. CALCULATION



WEST THIRD (PUBLIC - 50.0' WIDE) STREET

GROUND FLOOR PLAN - 1,077 GSF
SCALE: 1/8" = 1'-0"

PERMIT DRAWINGS 12-28-2015



SUTPHIN ARCHITECTS

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Project 9-UNIT CONDOMINIUM
100 A STREET
SOUTH BOSTON, MA

Date 12-28-2015
Scale AS SHOWN
Project No

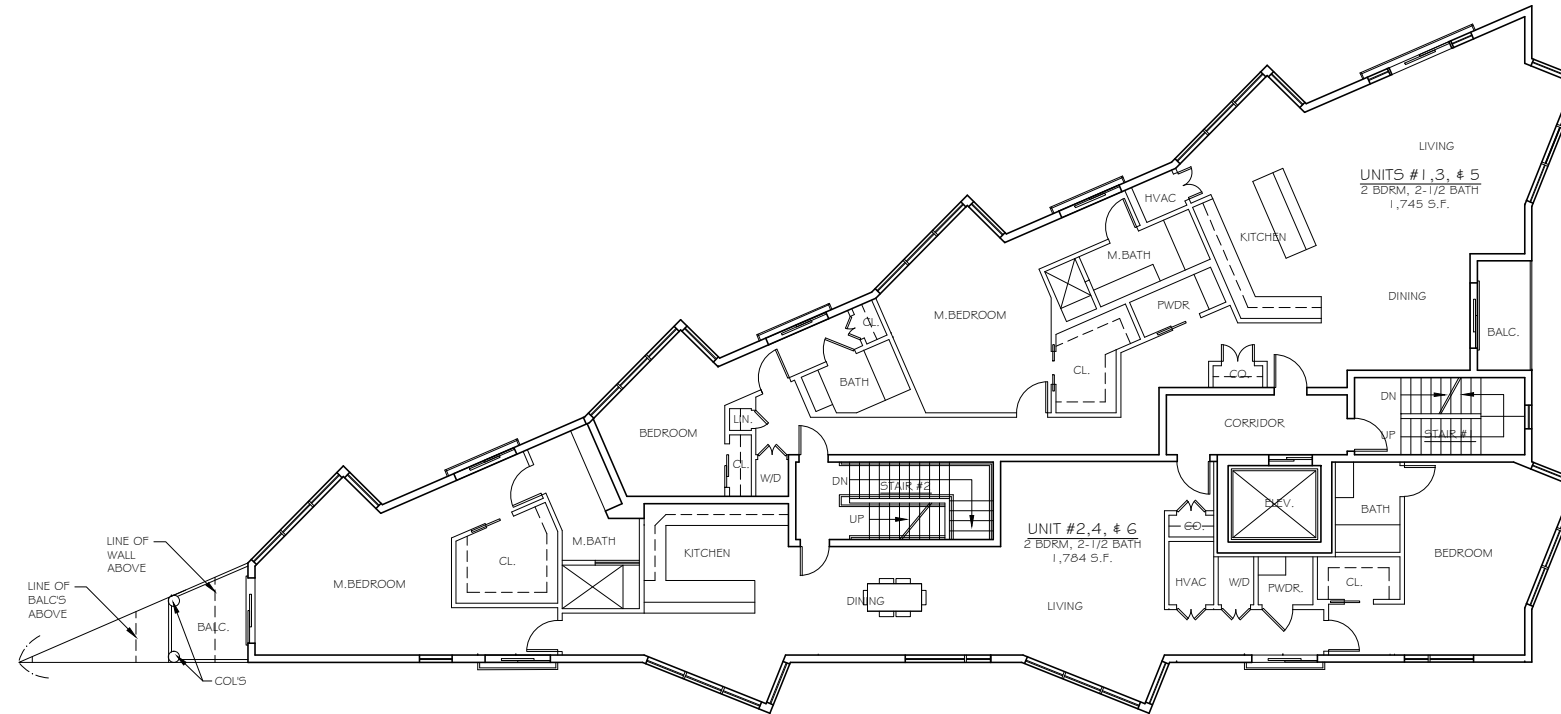


Revisions

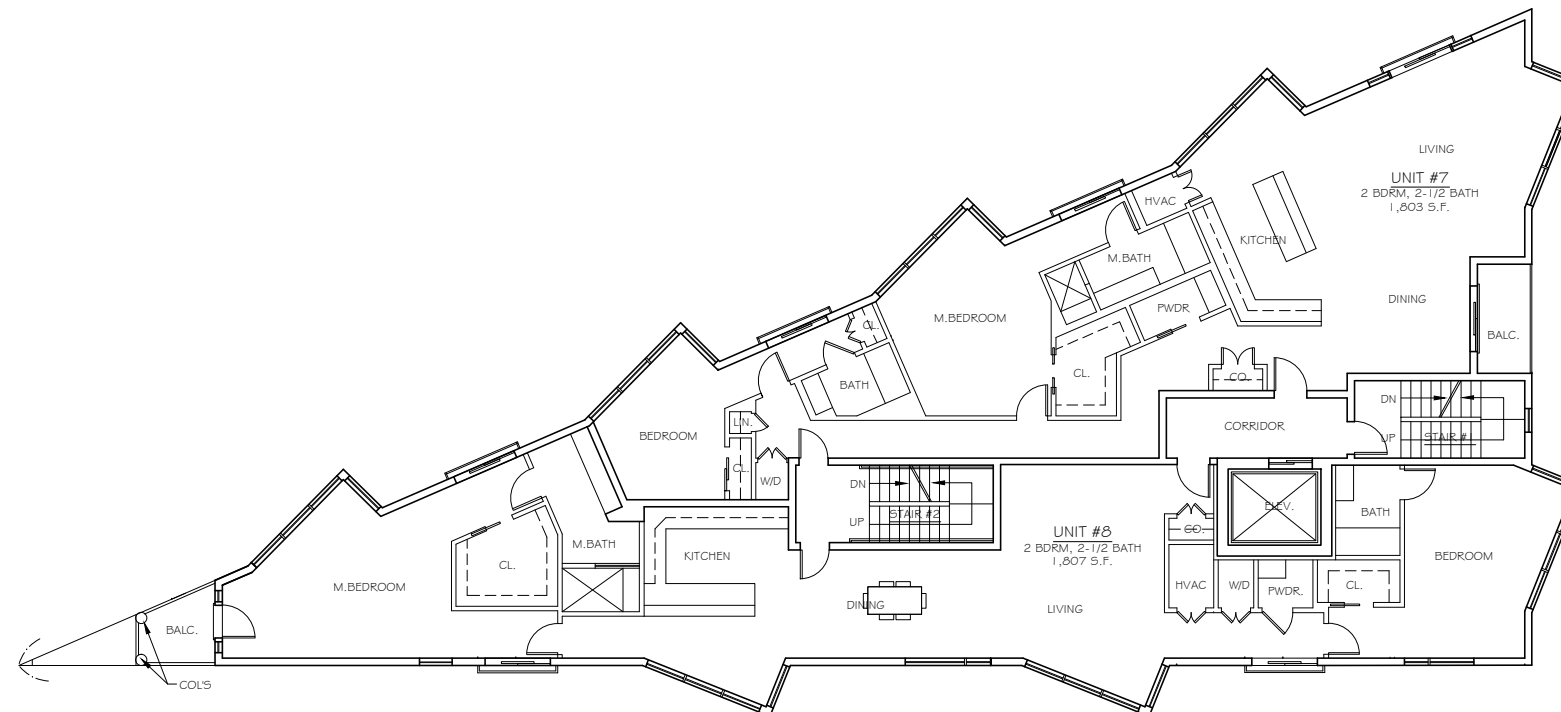
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GROUND FLOOR PLAN

Drawing No

A-1.1



TYPICAL FLOOR PLAN - FLOORS 1-3 - 3,975 GSF
SCALE: 1/8" = 1'-0"



FOURTH FLOOR PLAN - 4,008 GSF
SCALE: 1/8" = 1'-0"

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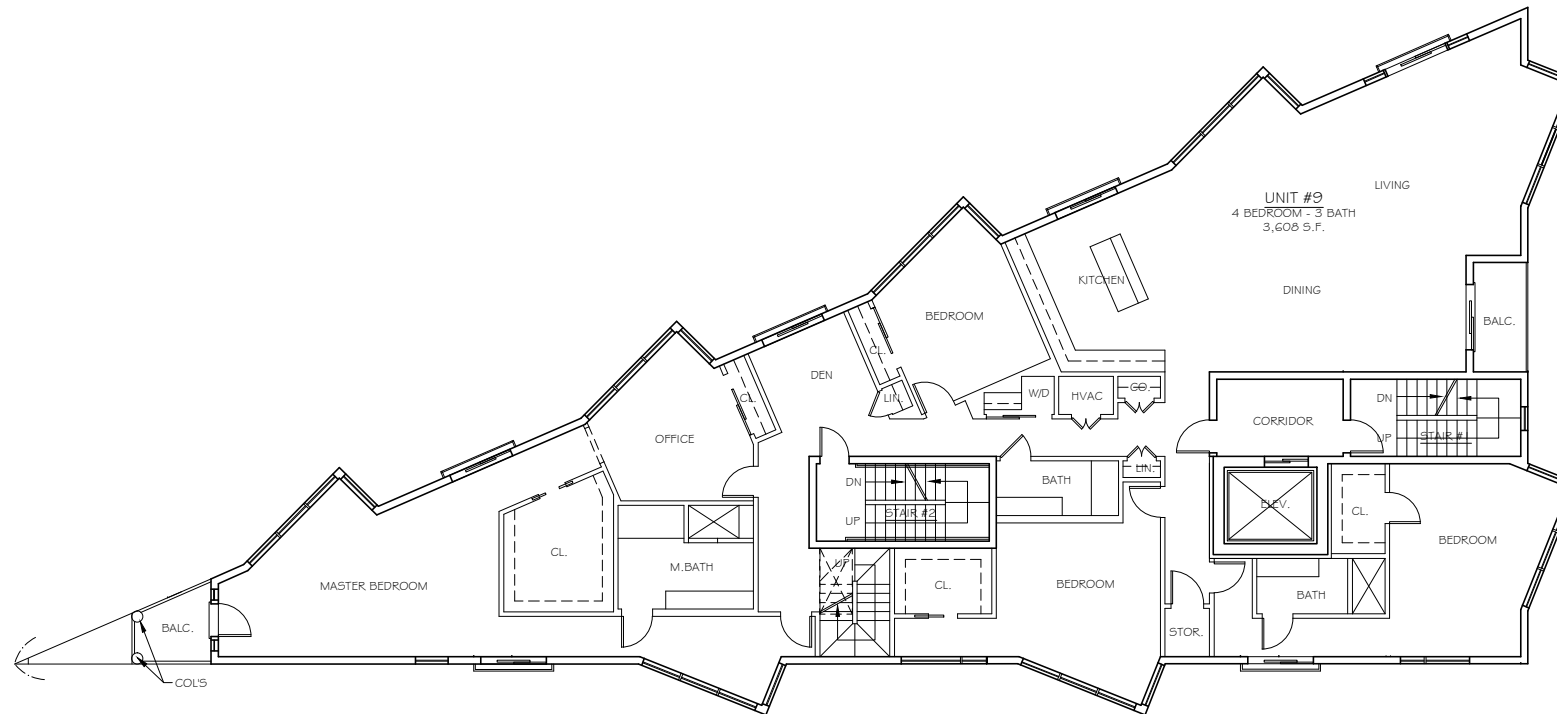


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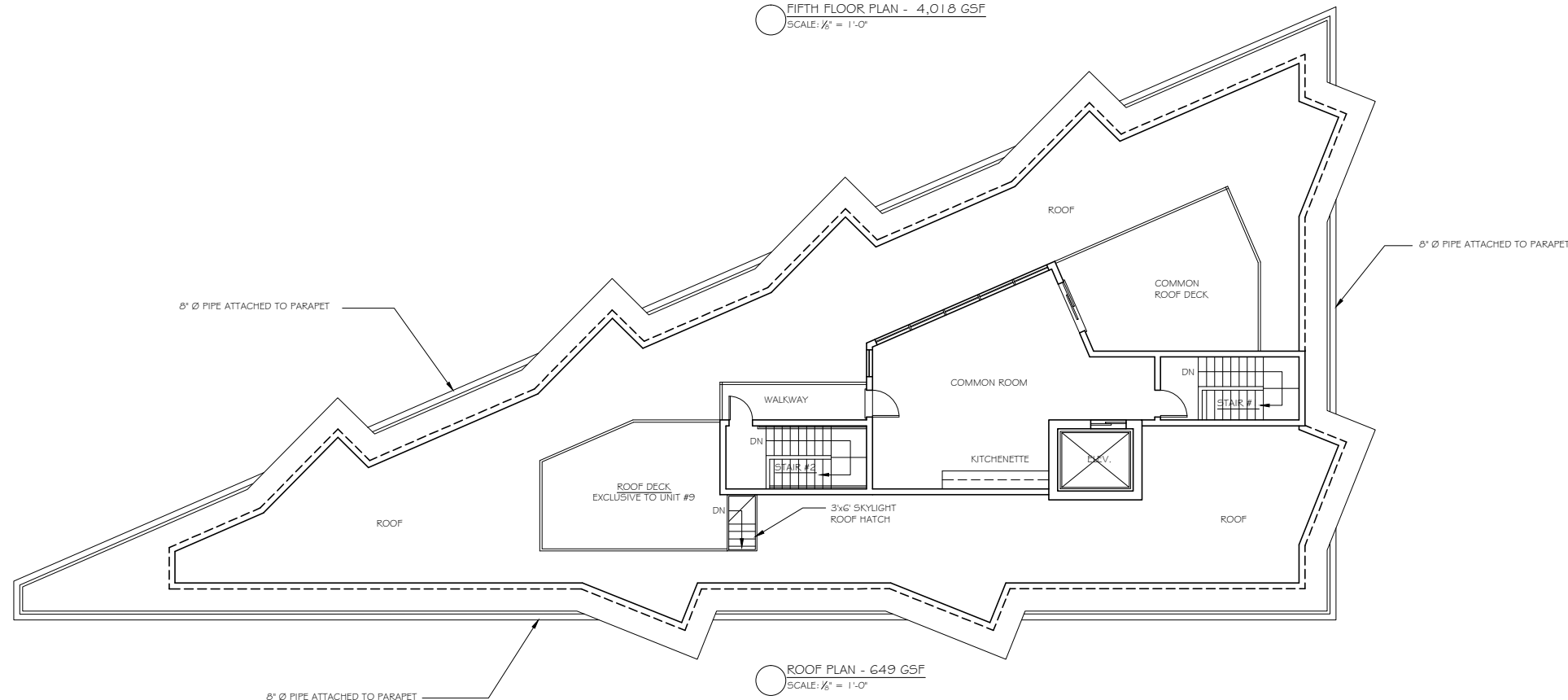
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FLOOR PLANS

Drawing No

A-1.2



FIFTH FLOOR PLAN - 4,018 GSF
SCALE: 1/8" = 1'-0"



ROOF PLAN - 649 GSF
SCALE: 1/8" = 1'-0"

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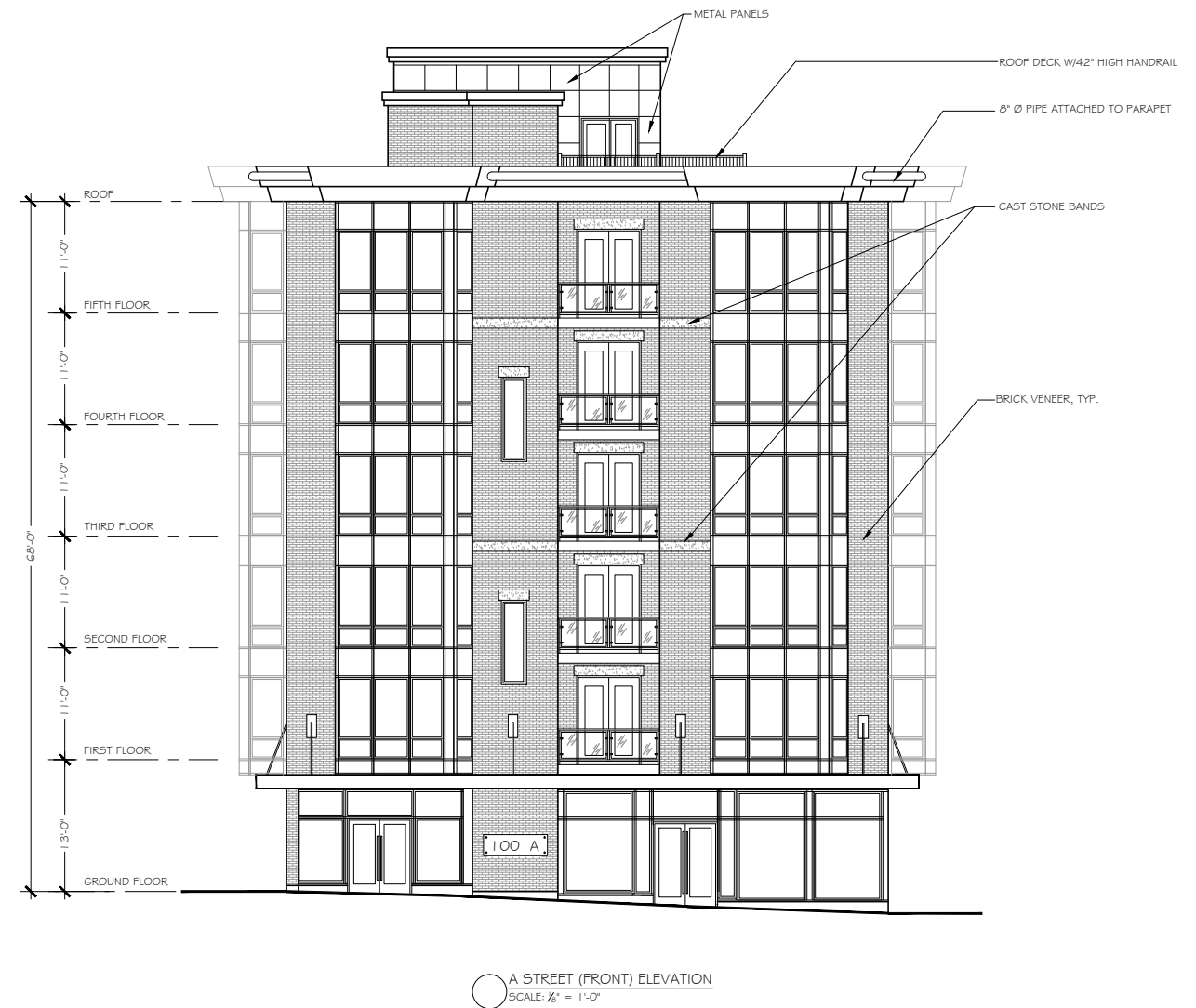
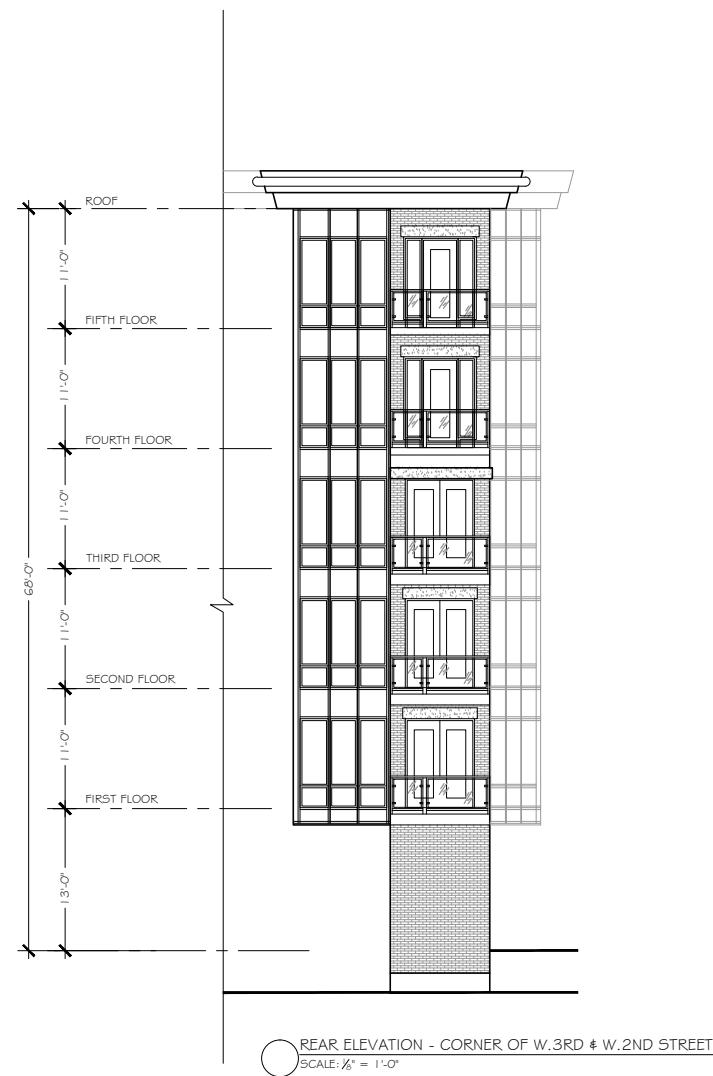


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Title
FIFTH FLOOR PLAN
ROOF PLAN

Drawing No

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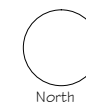
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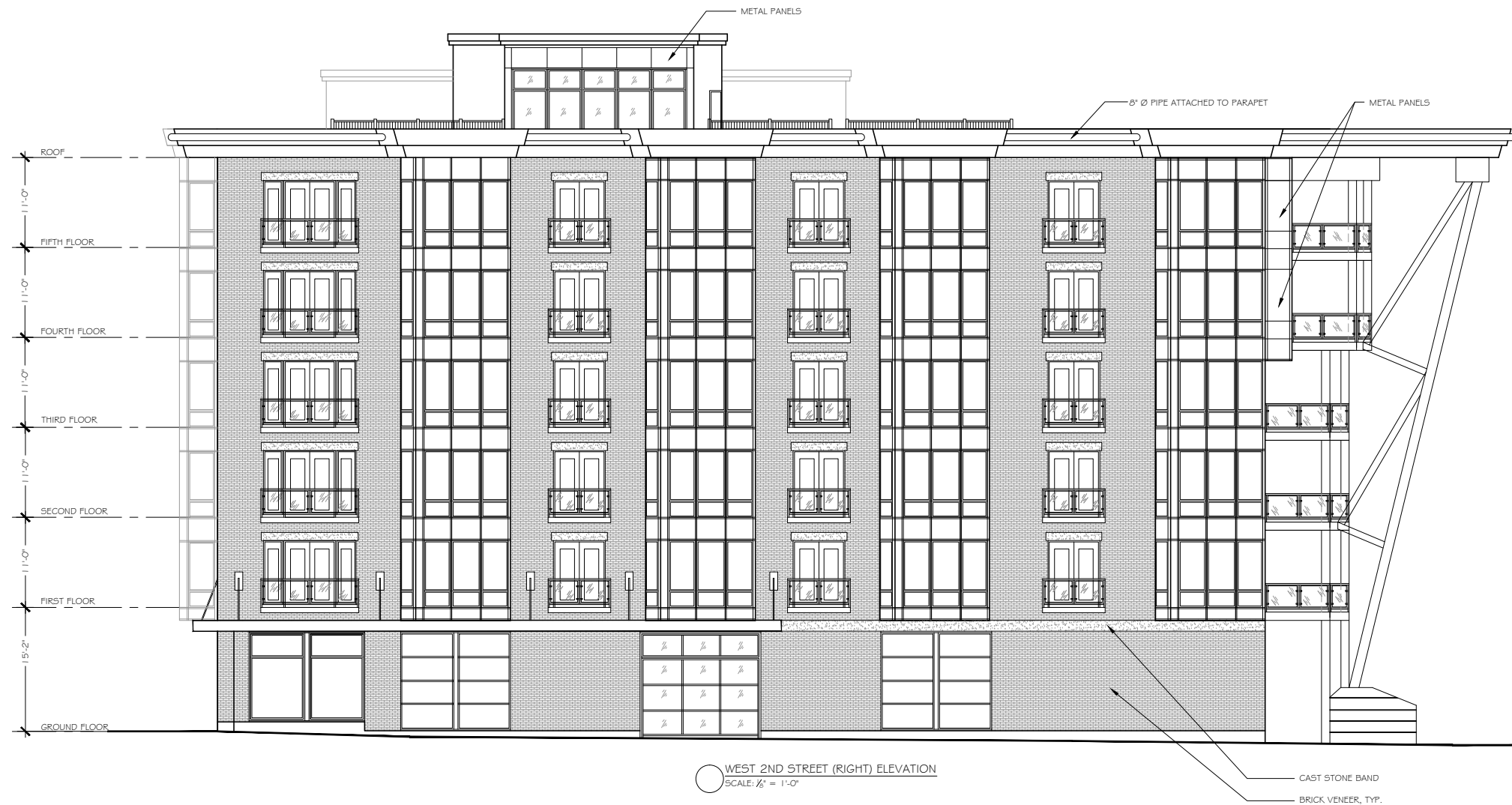


Revisions

Title
ELEVATIONS

Drawing No

A-2.1



PERMIT DRAWINGS 12-28-2015



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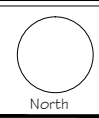


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