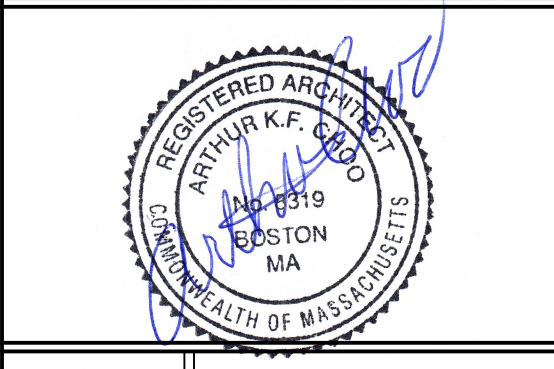


# PROPOSED MULTIFAMILY 476 WARREN STREET ROXBURY, MASSACHUSETTS

PROPOSED MULTIFAMILY  
 476 WARREN STREET  
 ROXBURY, MASS

  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715



No.	Revision Date
	10-12-2021

Project No: 2020172  
 Scale: AS NOTED  
 Date: 07-16-2020  
 Drawn By: SL

Drawing Name  
**COVER SHEET**

Sheet No.  
A-0

### ZONING CODE ANALYSIS 476 warren

Governing Article: 50

Subdistrict: mfr

Use Regulations: Section Table	
Existing	Proposed
	MULTIFAMILY

### Dimensional Regulations: Table

	Code Requirement		Existing Condition	Proposed Project	Notes
	1 or 2 det or semi att	Any Other Use			
Lot Area Minimum	3000 per bldg 1 or 2	<b>4000 3 units</b>	12074	4000 FOR 3	
Min Lot Area for Additional Units	3000 per bldg 1 or 2	<b>1000 a unit</b>		8000 FOR 8	
Total Required Lot Size		<b>12000 FOR 11 UNITS</b>	12074	12074	
Min Required Lot Width and Frontage	40	<b>40</b>	109.25	109.25	
Max FAR	1	<b>1</b>		11983/12074=.99	
Max Building Height / Stories	3s / 35	<b>4 st/ 45</b>		4 ST/ 43'	
Usable Open Space	400	<b>200</b>		5201/11 = 473 sf per unit	
Min Front Yard	20	<b>29' MODAL</b>		29'	
Min Side Yard	10&5for 15 0 att	<b>10</b>		10'-1"	
Min Rear Yard	30	<b>20</b>		21'-1"	
Max Use of Rear Yard					

<b>Overlays:</b>
NDOD
Boulevard Planning

<b>Parking:</b>
1.0 per unit
11 REQUIRED
11 PROPOSED

### Other Non-Dimensional Zoning Issues:

50% open space can be on decks

### Existing Building Alignment Calculation For Warren Street between Holborn and Carlisle

Warren Address	Lot Width	Existing set back in feet
470	45	7
472	45	7
476	70	20
486	lot 39.25	na
504	93.31	29
	73.19	18

7' depth lots = 90'
18' depth lots = 73'
20' depth lots = 70'
29' depth lots = 93'

**Thus as per Article 50, Table F, Section 50-44.2 the required front yard of a residential development on this block shall be 29'**

**Article 2A Existing Building Alignment.** The distance between the street line and the face of the building which, as measured by lot widths along said street line, occurs most frequently. The method for making this calculation shall be as follows:

- For each developed lot on the same side of the same street the distance between the street line and the nearest building is measured. The measurement is rounded off to the nearest half foot if the said buildings are attached and to the nearest foot if the said buildings are detached. The width of each lot is then measured. These measurements may be scaled off from a reliable plan or map.
- The widths of all lots with the same front yard depth are added up.
- The front yard depth with the largest total width is the minimum front yard depth for the block. If two or more front yard depths have equal lot widths, the one closest to the required front yard shall be the minimum front yard depth. The existing building alignment may also be referred to as the modal front yard depth.


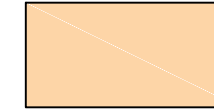
In a block in which there is a uniform or dominant building line at the upper story level which differs from the modal front yard depth because of ground floor projections, no structure in excess of one story shall be built between the minimum front yard depth and the faces of abutting buildings at the upper story levels.

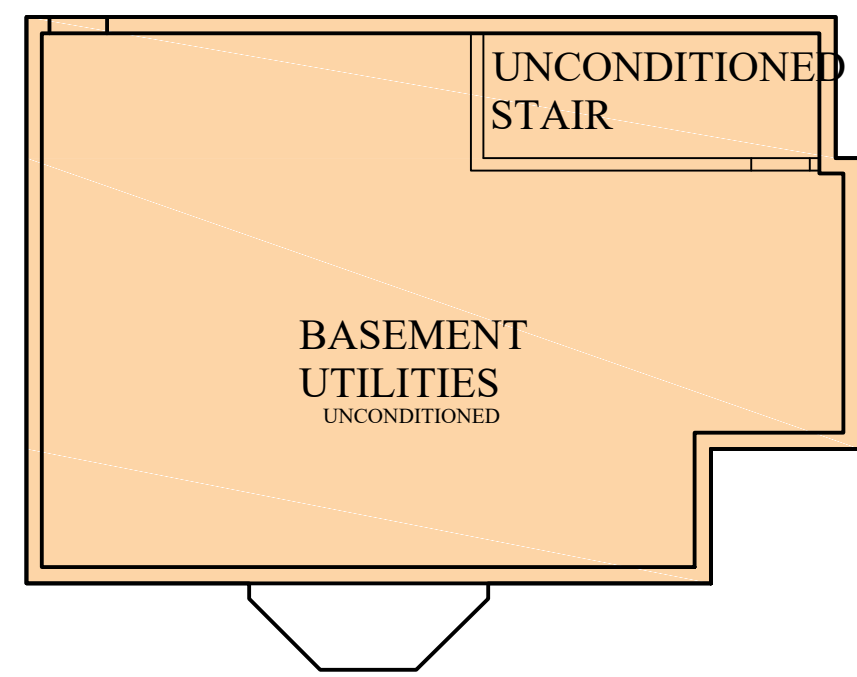
Setback and lot information was taken from Assessing and registry maps and plans.

KEY	
	SMOKE DETECTOR
	HEAT DETECTOR
	CARBON MONOXIDE DETECTOR
	EMERGENCY LIGHT
	HORN/ STROBE/ PULL STATION
	HORN/ STROBE
	1 HOUR WALL(SEE W.T.1/A-3.1)
	2 HOUR WALL(SEE W.T.2/A-3.1)
	3 HOUR WALL(SEE W.T.3/A-3.1)
	FAN
	45 MIN. DOOR
	1-1/2 HOUR DOOR
	FIRE ALARM CONTROL PANEL
	WINDOW TYPE
	1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
	2 HOUR CLG. WALL(SEE C.T.2/A-3.1)
	3 HOUR CLG. WALL(SEE C.T.2/A-3.1)
	FIRE EXTINGUISHER

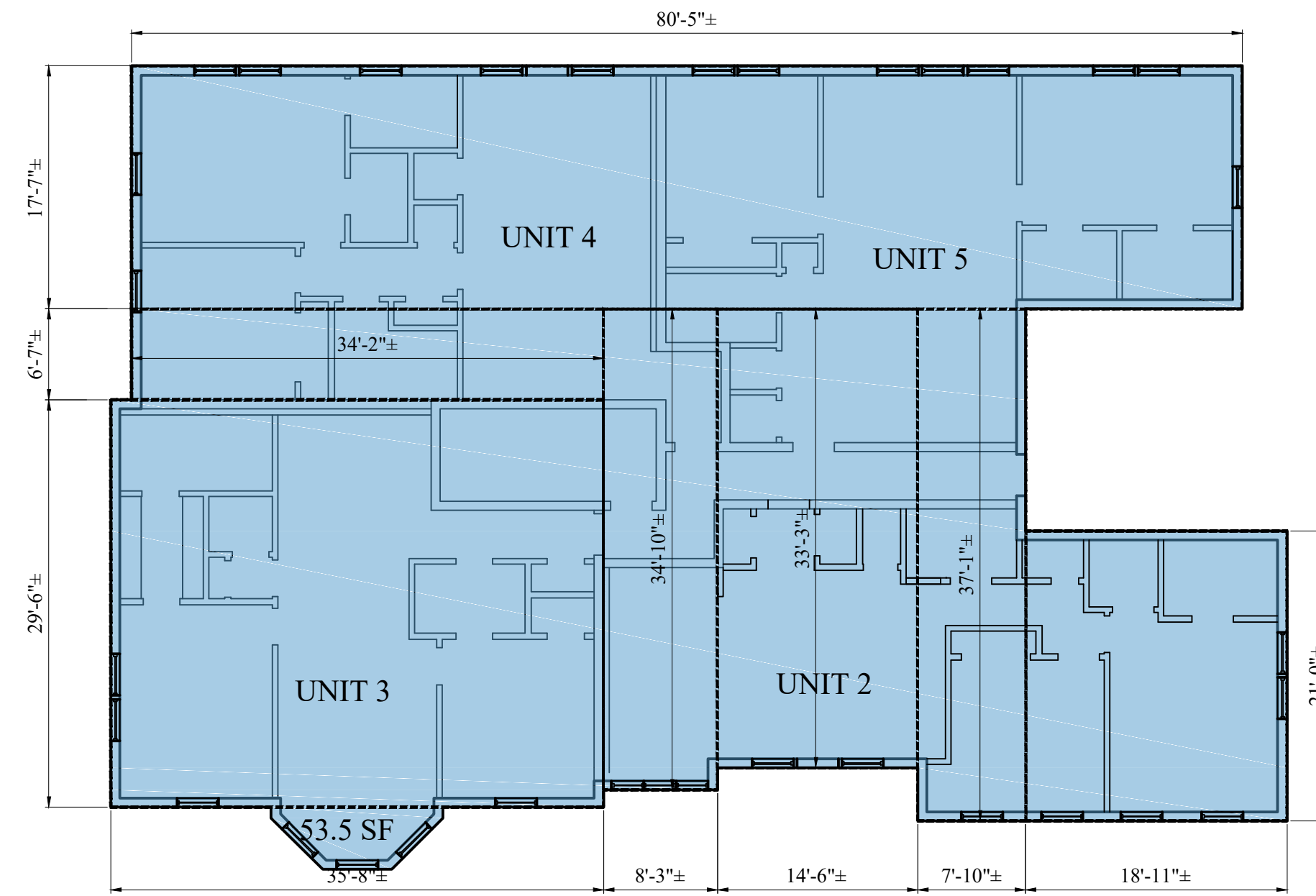
**CODE SUMMARY**  
 NEW TYPE 5A CONSTRUCTION  
 4 STORIES  
 R-2 11 RES UNITS  
 FULLY SPRINKLED  
 FULLY ALARMED

GROSS SF 11983  
 LOT AREA 12055  
 11983/12055=.994 FAR

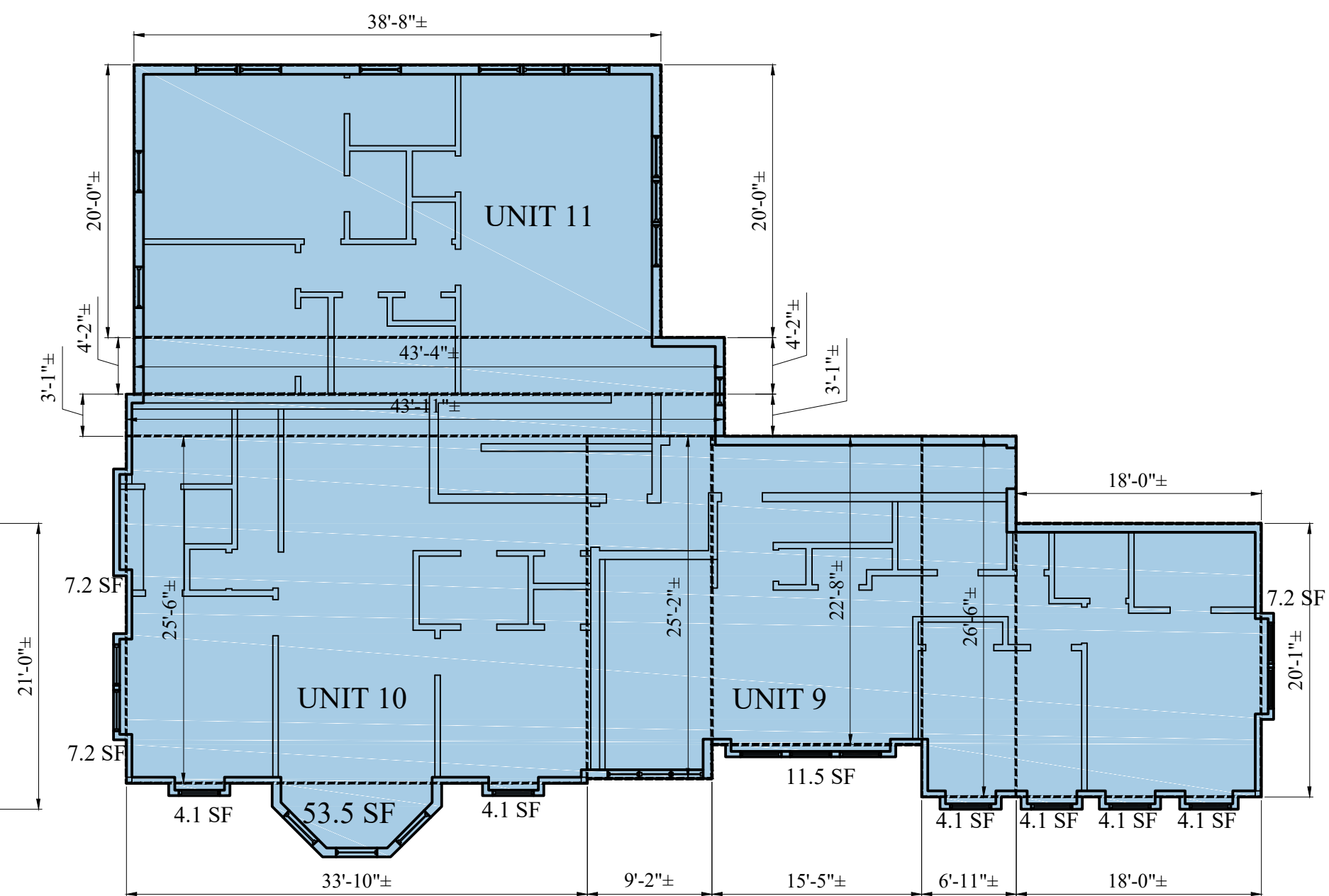
 GROSS SQ FT AREA  
 NON GROSS SF AREA



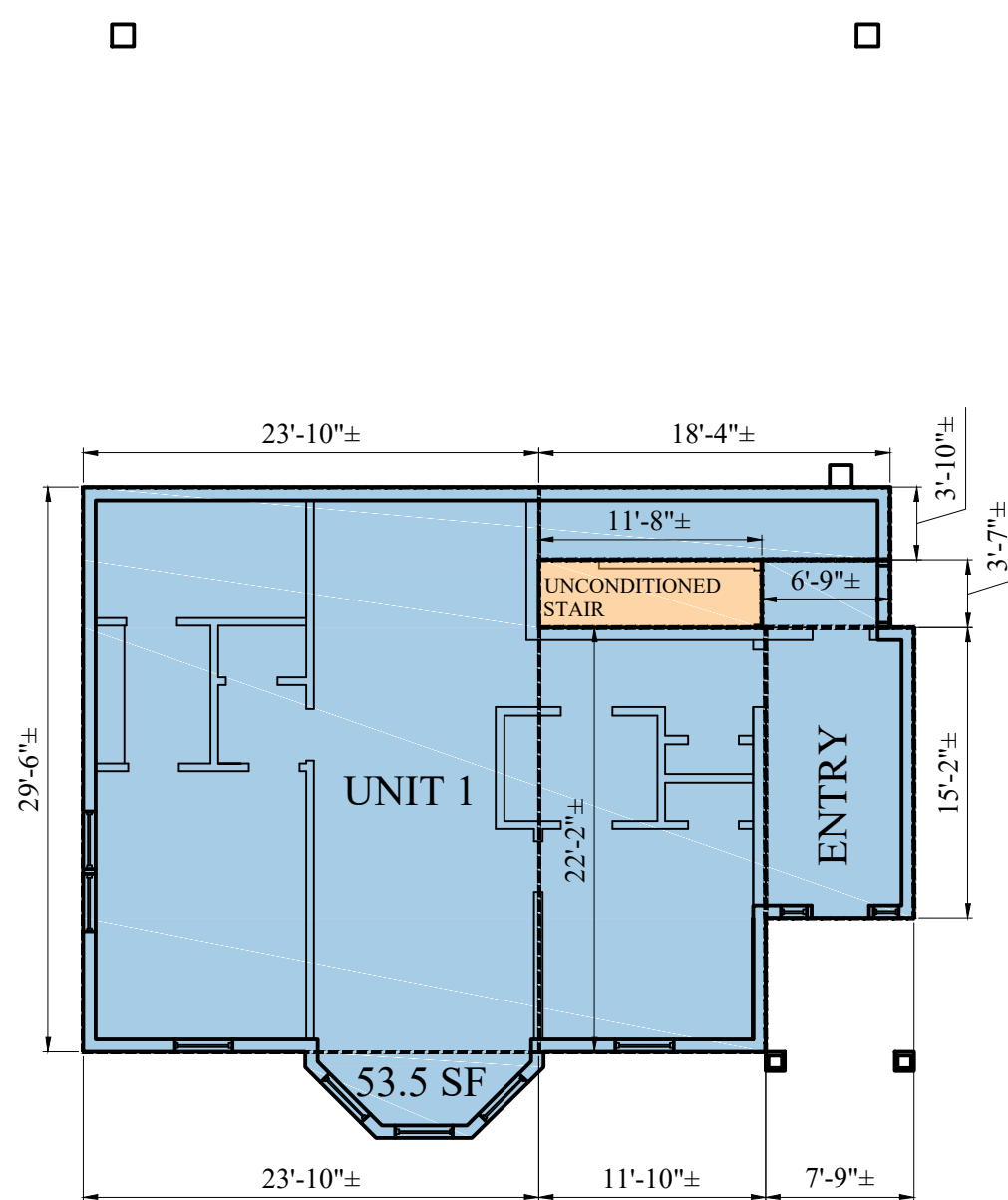
BASEMENT PLAN/ 0 GSF



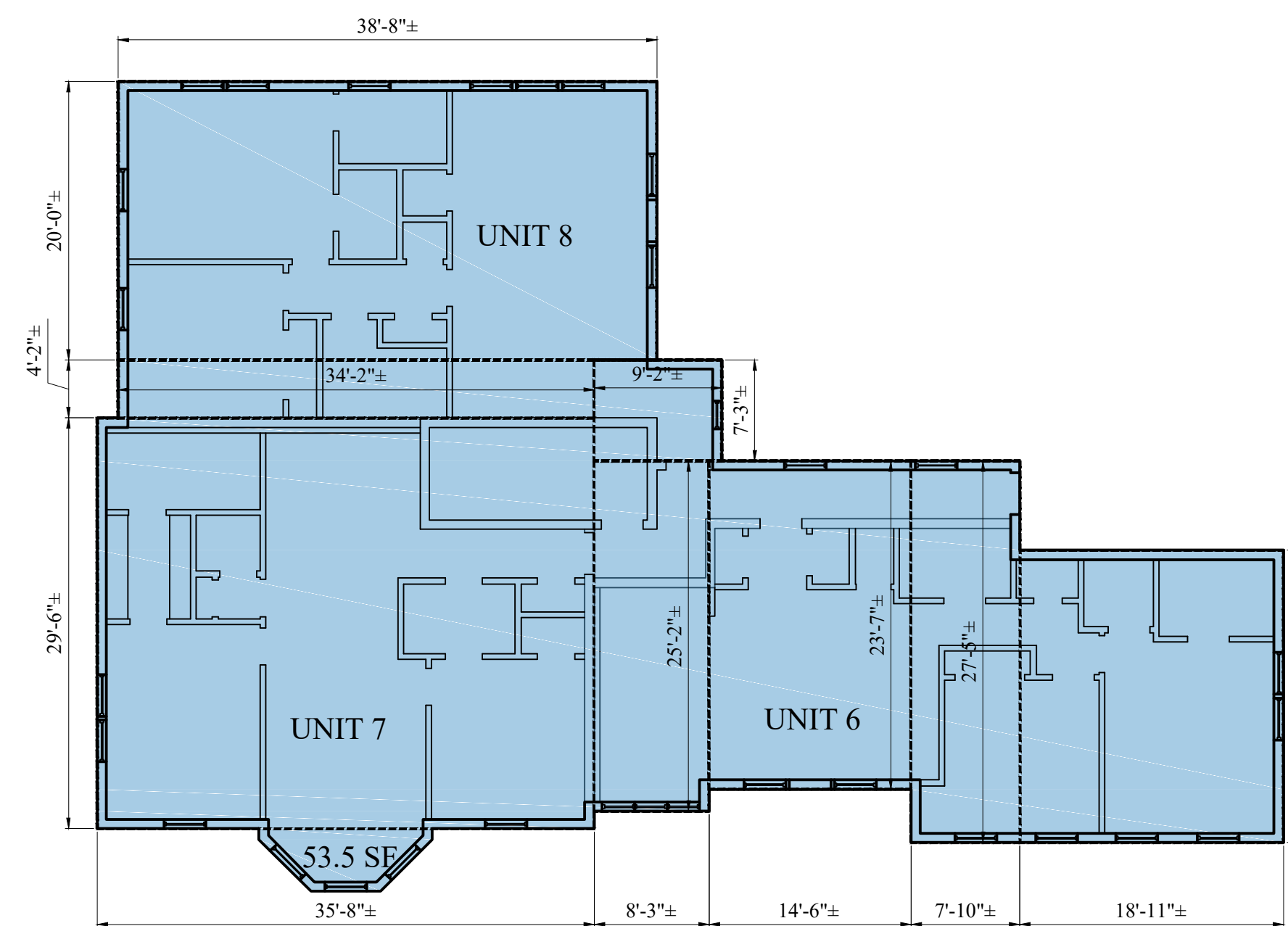
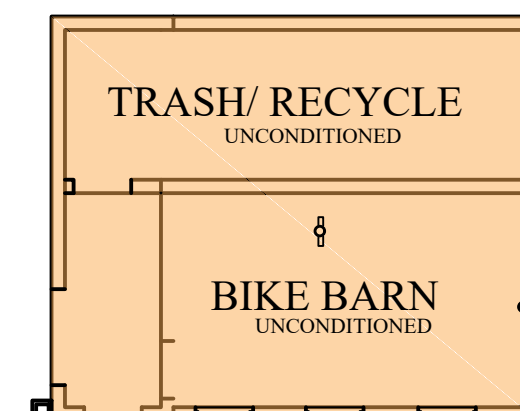
2ND FLOOR PLAN/ 4190 GSF



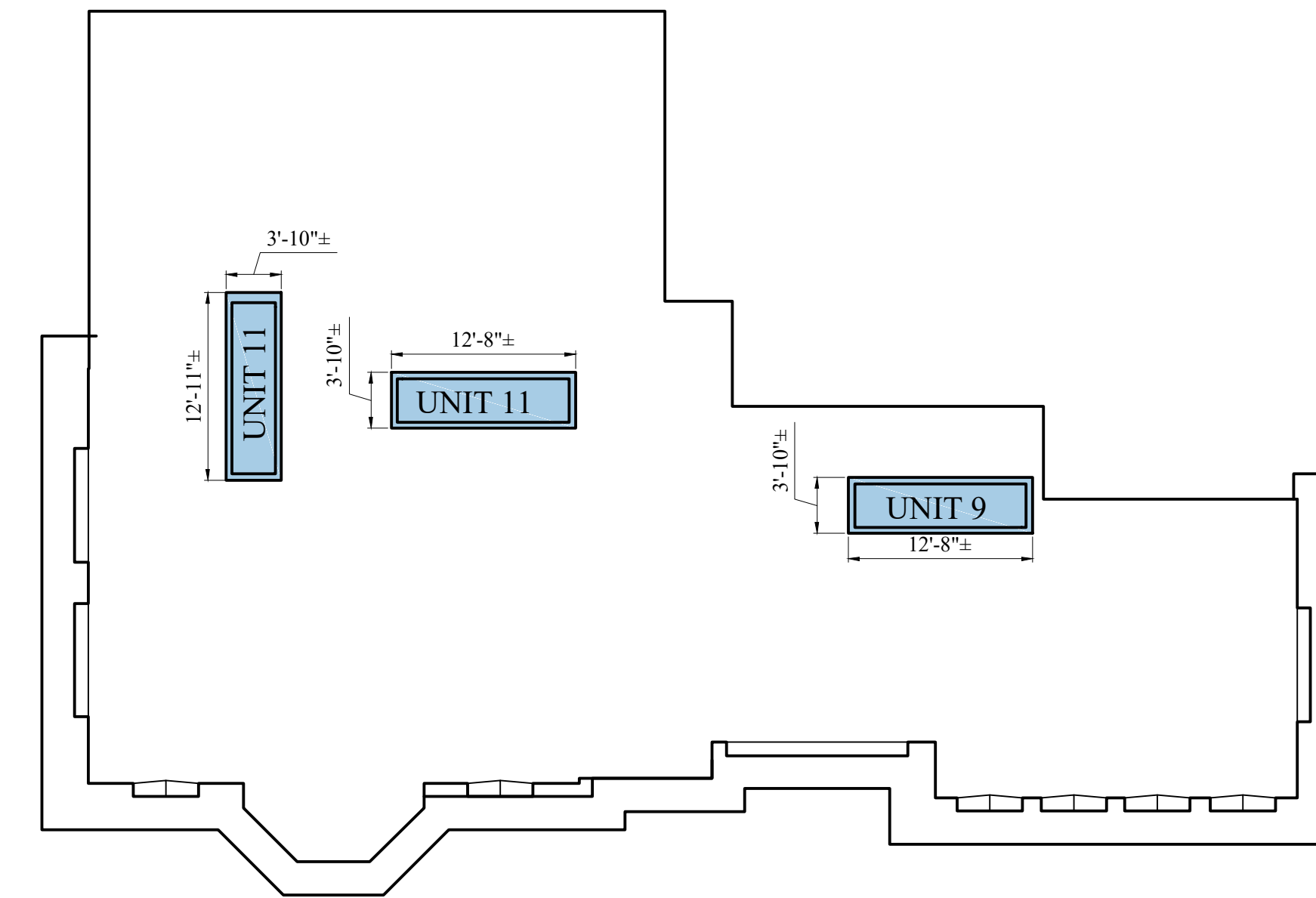
4TH FLOOR PLAN/ 3188 GSF



GROUND FLOOR PLAN/ 1218 GSF



3RD FLOOR PLAN/ 3238 GSF

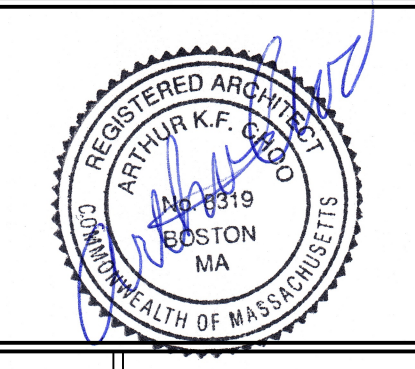


ROOF / 147 GSF

Location

**PROPOSED MULTIFAMILY**  
**476 WARREN STREET**  
**ROXBURY, MASS**

**Choo & Company, Inc.**  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

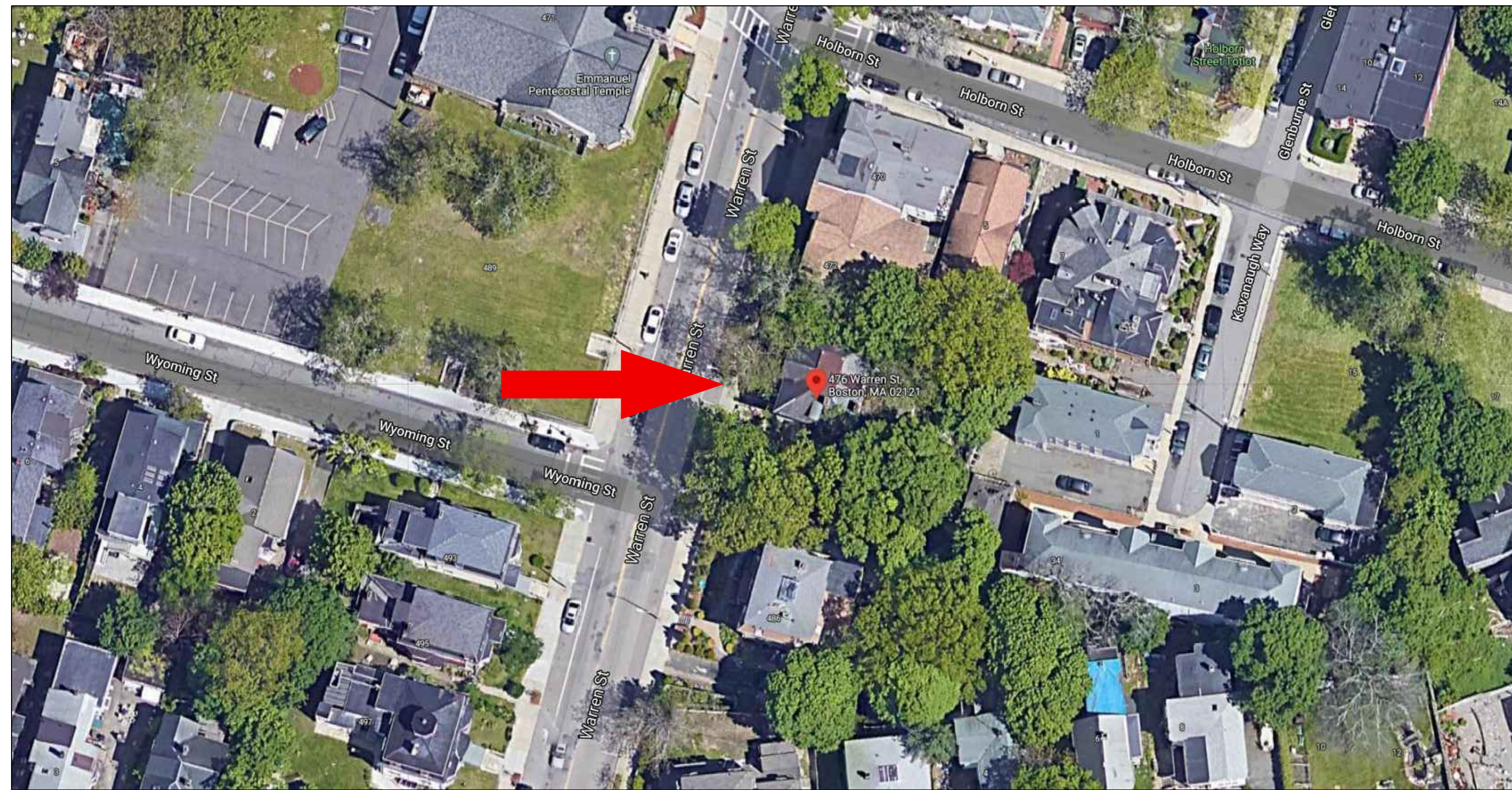


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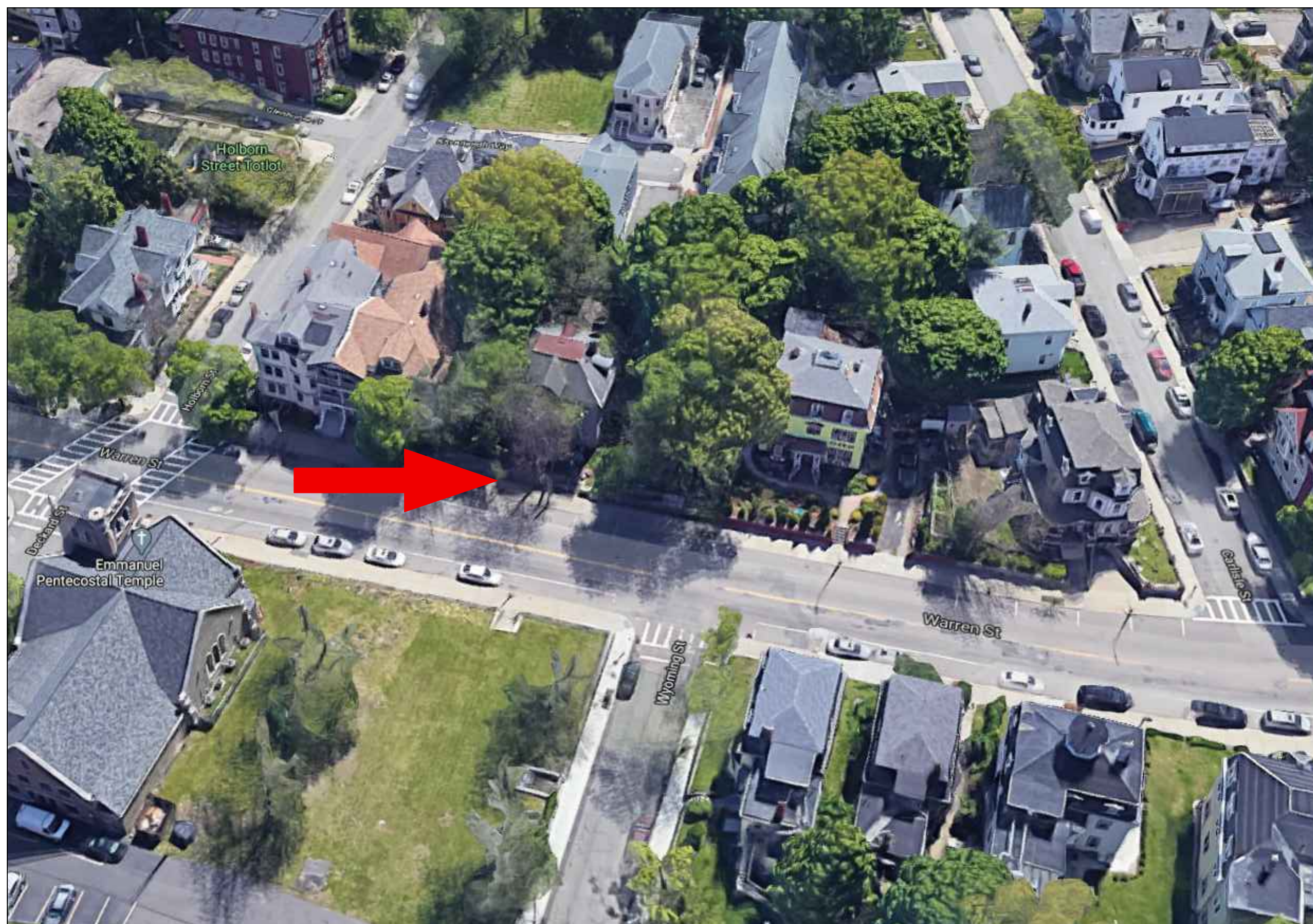
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 Date: 07-16-2020  
 Drawn By: SL

Drawing Name  
**FAR ANALYSIS**

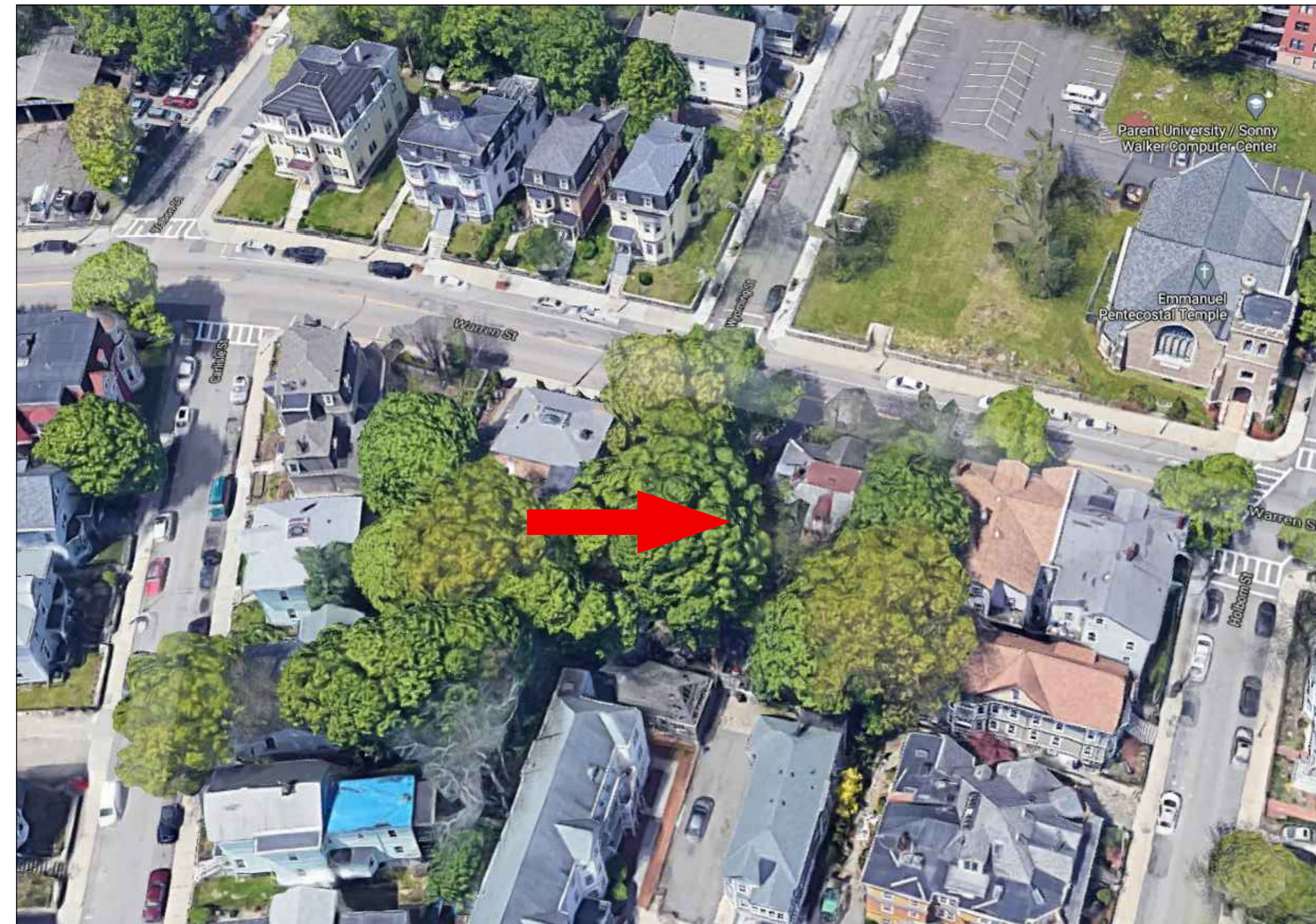
Sheet No.  
**A-0.1**



SATELLITE VIEW



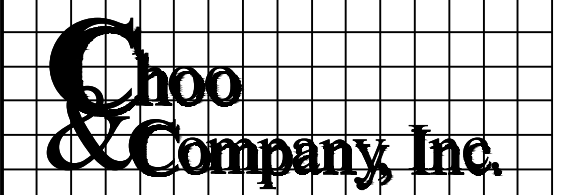
VIEW FROM THE WEST



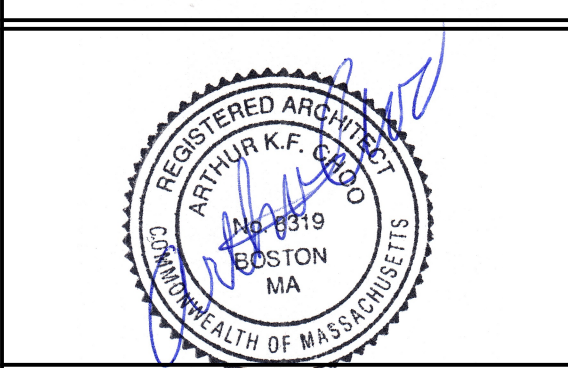
VIEW FROM THE EAST

Location

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**476 WARREN STREET**  
**ROXBURY, MASS**



One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715



No.	Revision Date

Project No: 2020172  
 Scale: 1"=120'  
 Date: 07-16-2020  
 Drawn By: SL

Drawing Name  
**SITE INFO**

Sheet No.  
**A-0.2**



FRONT FACADE EXISTING



REAR GARAGE EXISTING



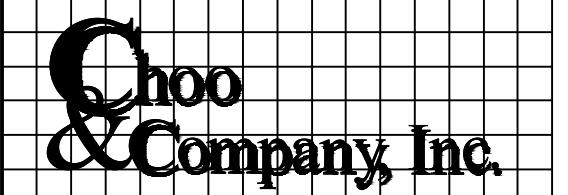
VIEW DOWN WARREN FROM THE NORTH



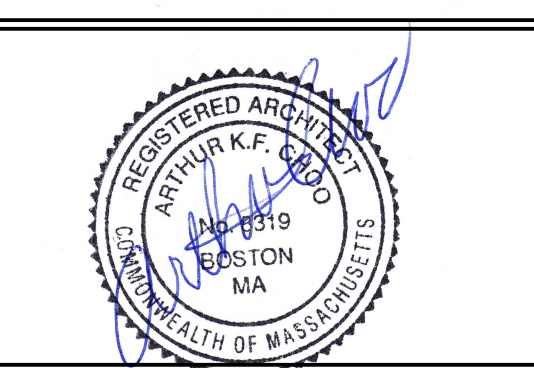
VIEW DOWN WARREN FROM THE SOUTH

Location

PROPOSED MULTIFAMILY  
476 WARREN STREET  
ROXBURY, MASS



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

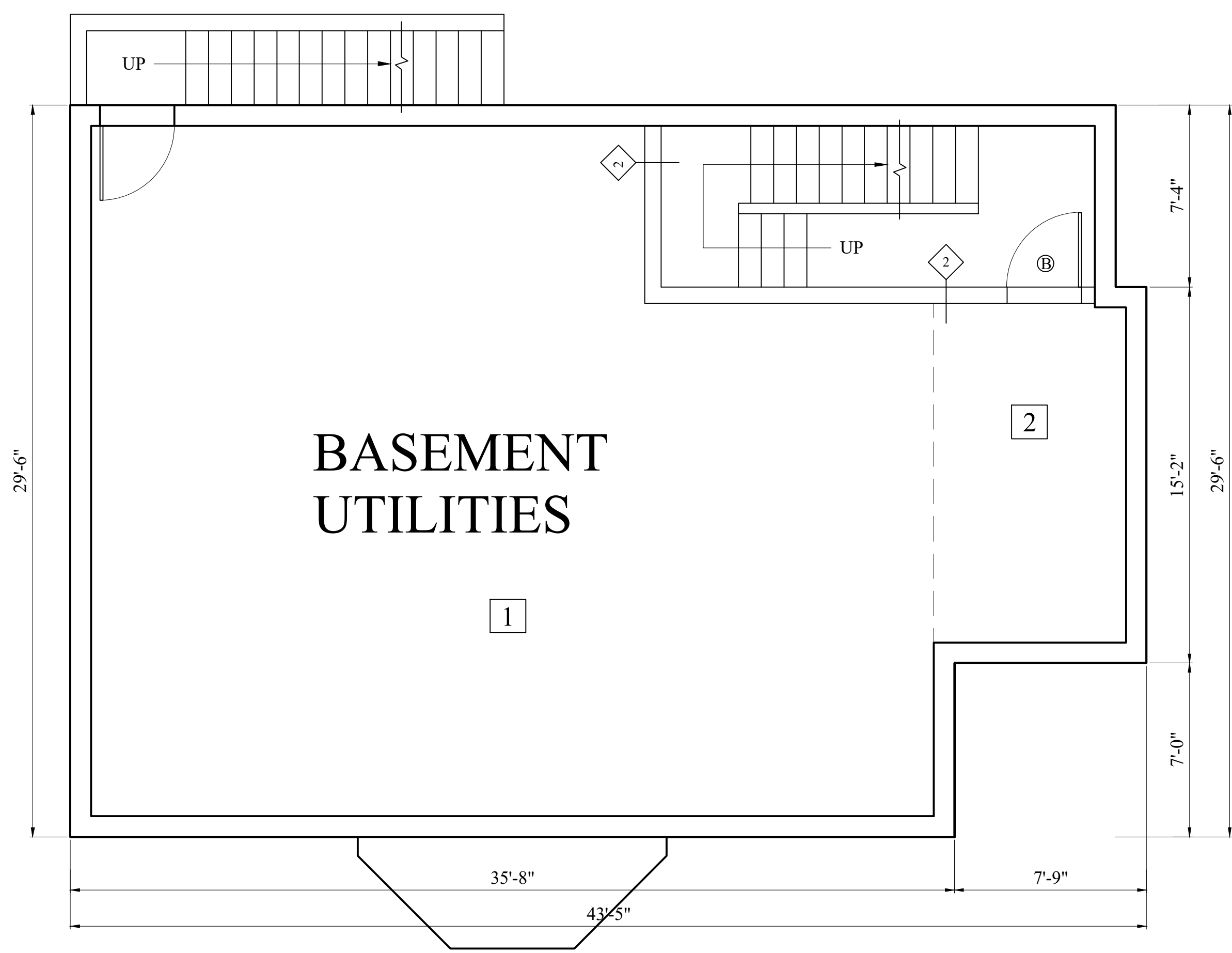


No.	Revision Date

Project No: 2020172  
Scale: 1"=120'  
Date: 07-16-2020  
Drawn By: SL

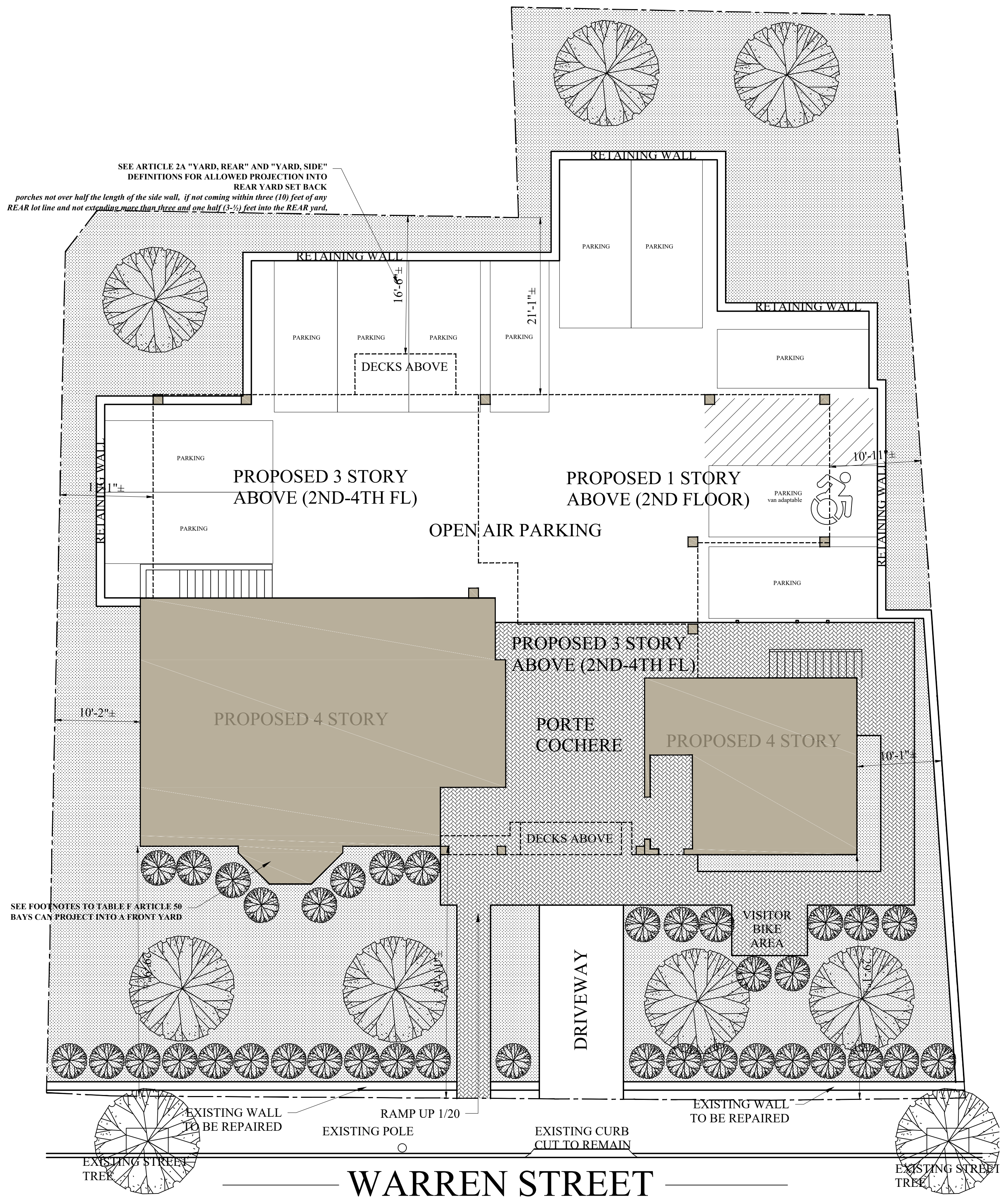
Drawing Name  
**SITE INFO**

Sheet No.  
A-0.3



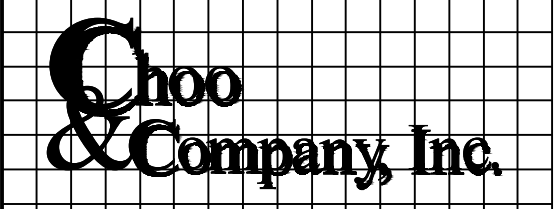
1 BASEMENT FLOOR PLAN  
1/4" = 1'-0"

SEE ARTICLE 2A "YARD, REAR" AND "YARD, SIDE" DEFINITIONS FOR ALLOWED PROJECTION INTO REAR YARD SET BACK  
porches not over half the length of the side wall, if not coming within three (3) feet of any REAR lot line and not extending more than three and one half (3 1/2) feet into the REAR yard.

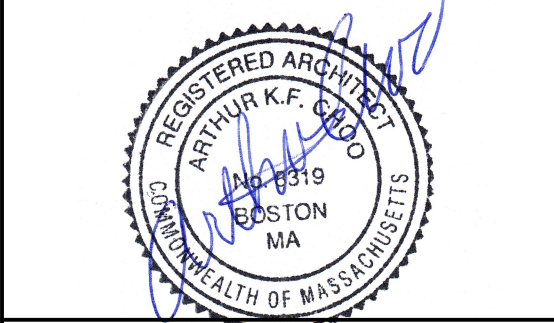


0 SITE PLAN (ARCH)  
1/8" = 1'-0"

Location  
**PROPOSED MULTIFAMILY**  
**476 WARREN STREET**  
**ROXBURY, MASS**



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date

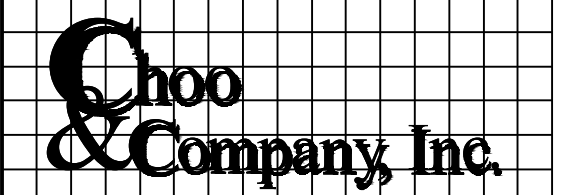
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Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

PROPOSED PLANS

Sheet No.  
**A-1.0**

Location

PROPOSED MULTIFAMILY  
476 WARREN STREET  
ROXBURY, MASS



One Billings Road Quincy, MA 02171  
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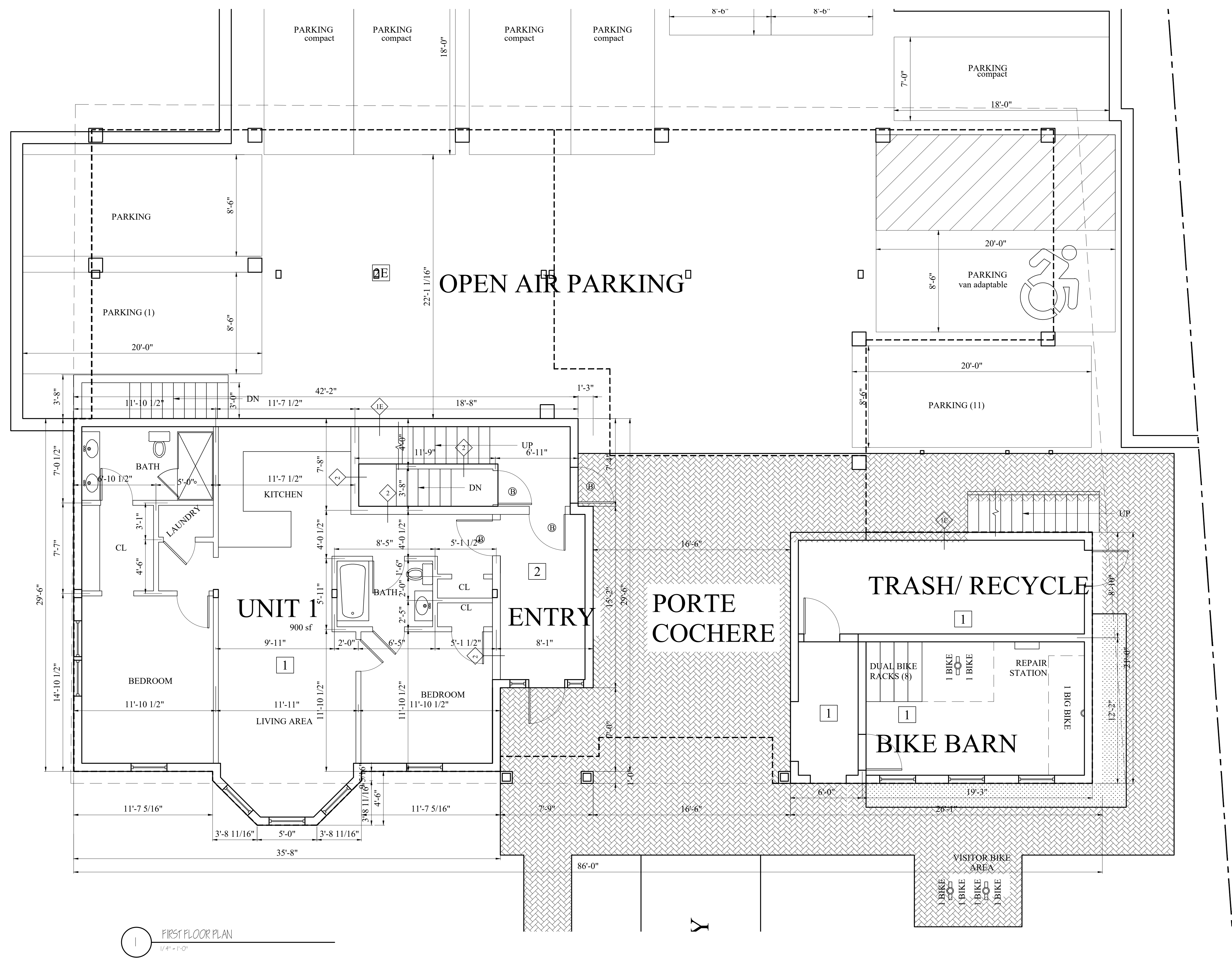
No.	Revision Date

Project No: 2020172  
Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

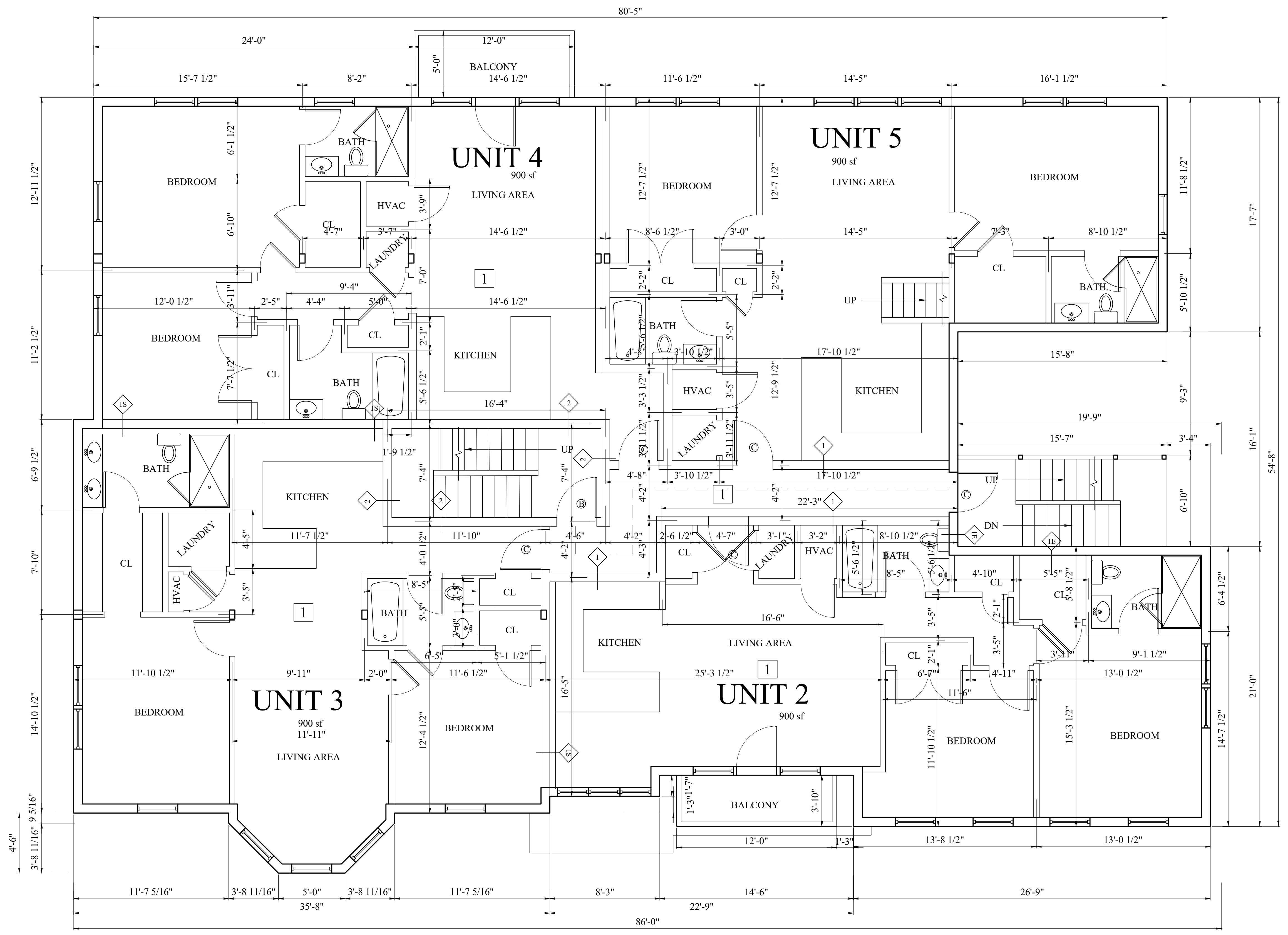
Drawing Name  
**PROPOSED PLANS**

Sheet No.

A-1.1



1 FIRST FLOOR PLAN  
1/4" = 1'-0"



2 SECOND FLOOR PLAN  
1/4" = 1'-0"

WARREN STREET

Location

**PROPOSED MULTIFAMILY**

**476 WARREN STREET  
ROXBURY, MASS**

**Choo & Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT  
ARTHUR K.F. CHOO  
JULY 1999  
BOSTON  
MA  
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

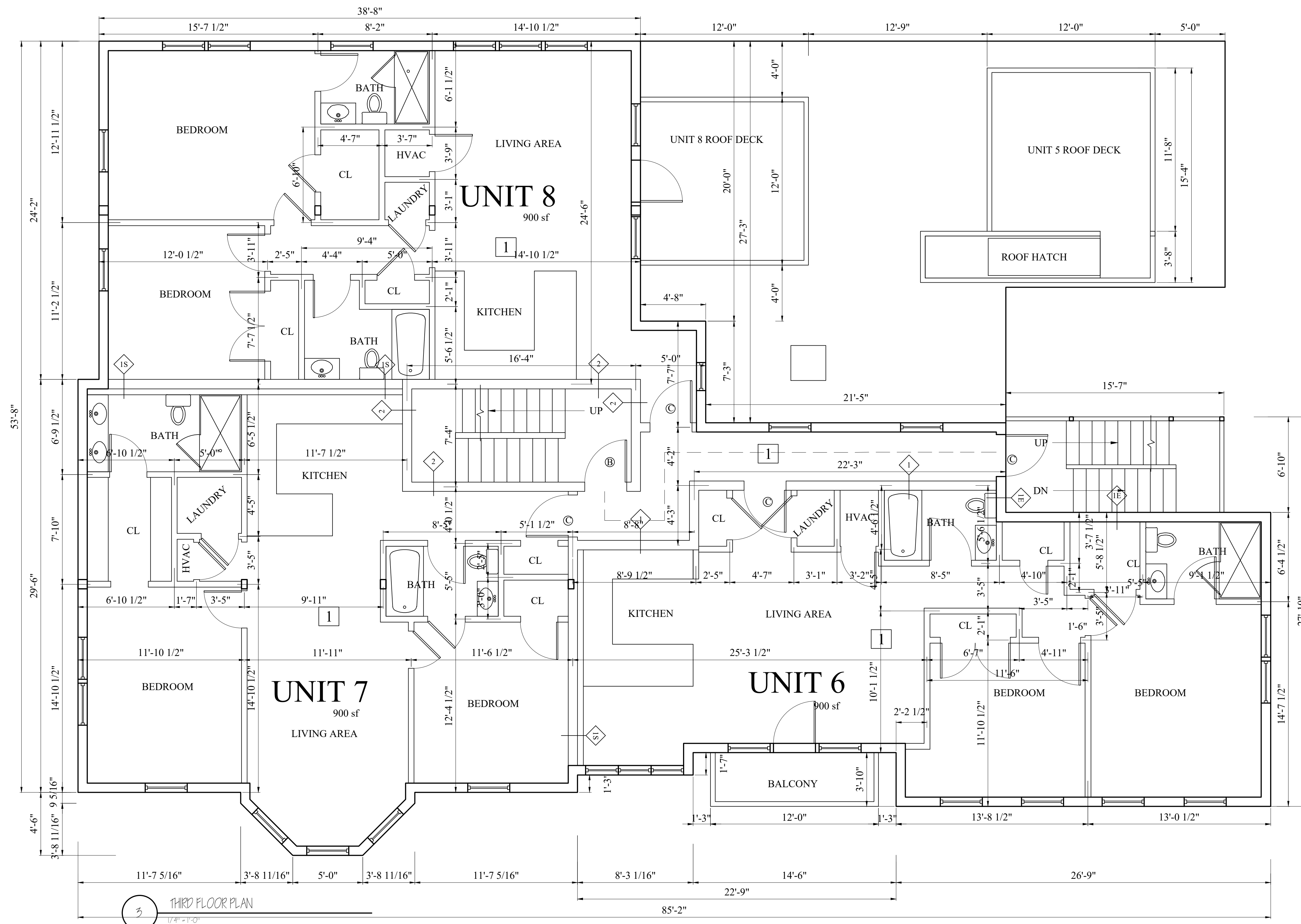
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Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

Drawing Name

**PROPOSED PLANS**

Sheet No.

A-1.2

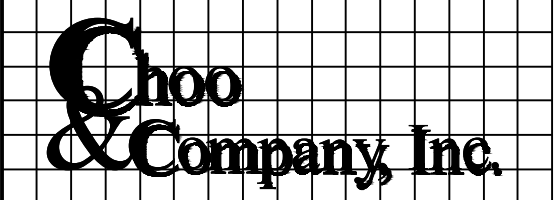


3 THIRD FLOOR PLAN  
1/4" = 1'-0"

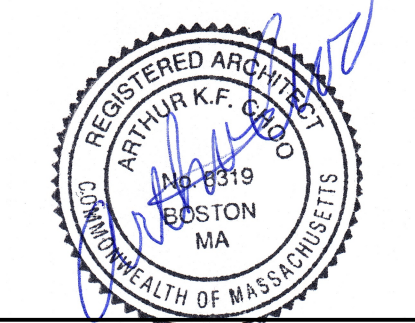
WARREN STREET

Location

**PROPOSED MULTIFAMILY**  
**476 WARREN STREET**  
**ROXBURY, MASS**



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



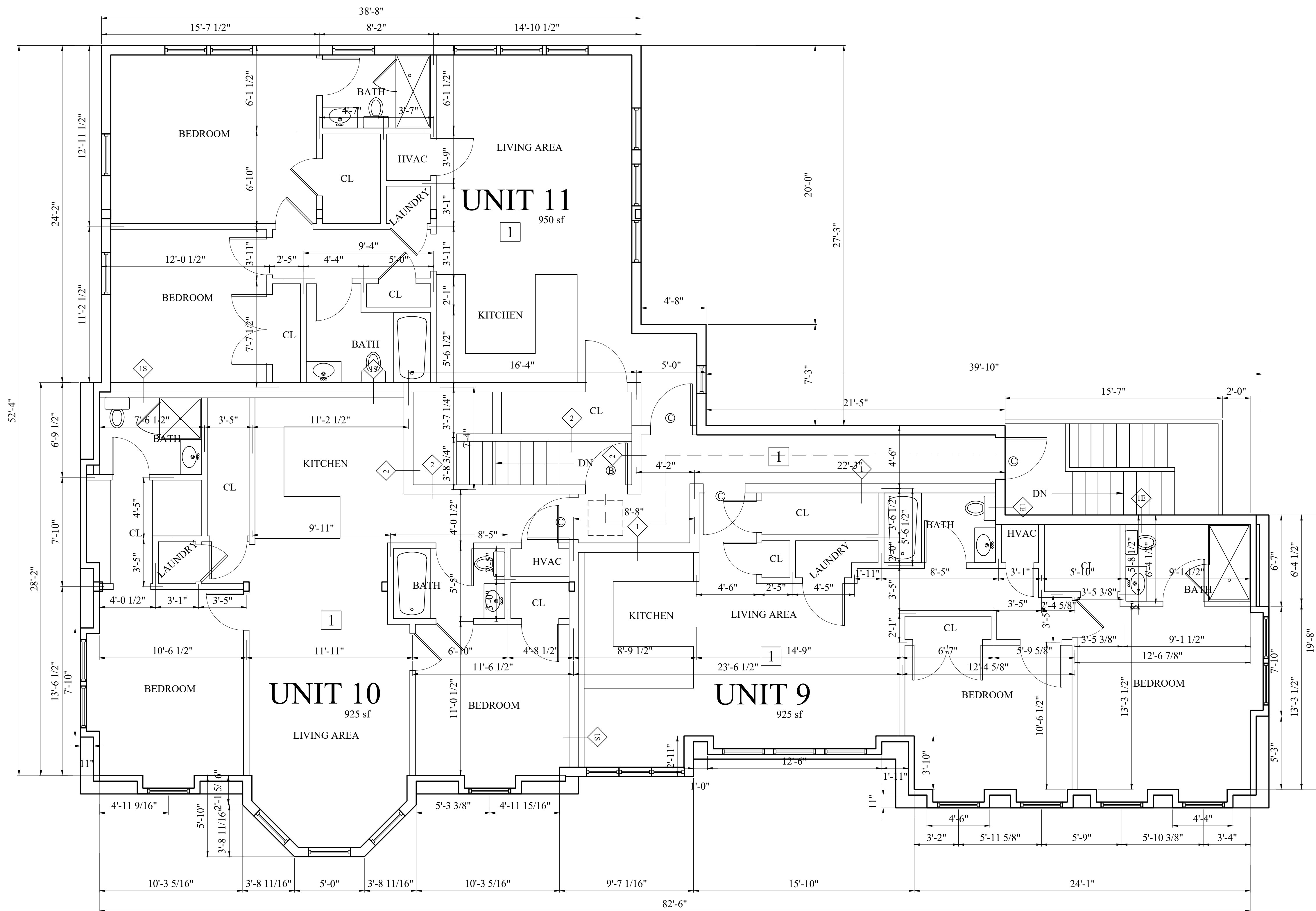
No.	Revision Date

Project No: 2020172  
Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

Drawing Name  
**PROPOSED PLANS**

Sheet No.  
**A-1.3**





WARREN STREET

4 FOURTH FLOOR PLAN  
1/4" = 1'-0"

Location

**PROPOSED MULTIFAMILY**

**476 WARREN STREET  
ROXBURY, MASS**

**Choo & Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT  
ARTHUR K.F. CHOO  
No. 9319  
BOSTON  
MA  
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date
	1-12-2021

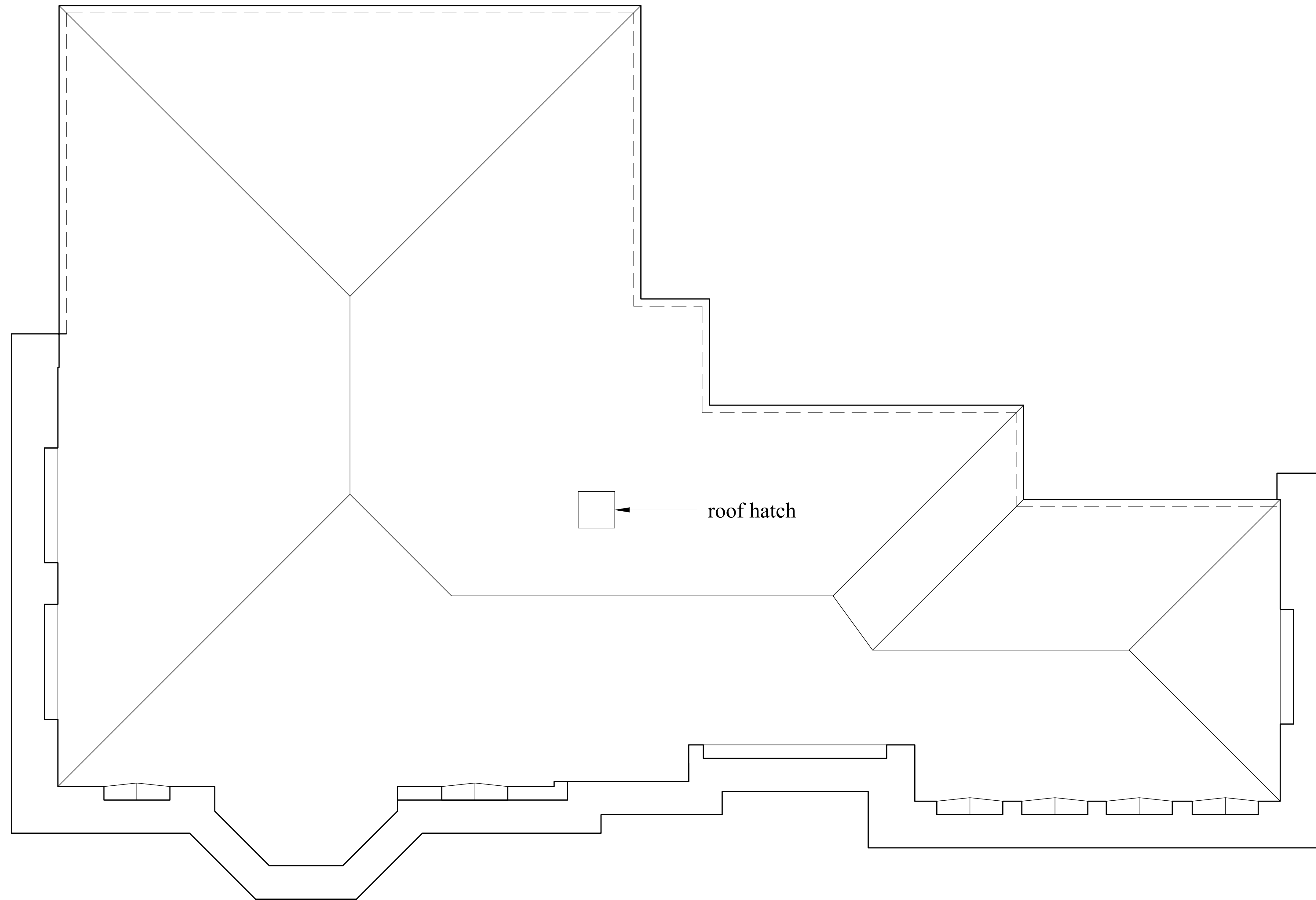
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Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

Drawing Name

**PROPOSED PLANS**

Sheet No.

A-1.4

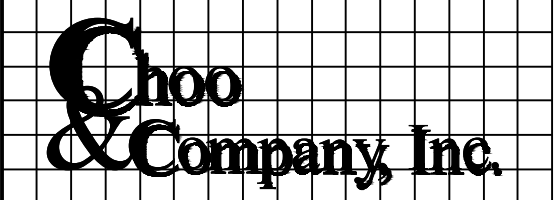


3 ROOF PLAN  
1/4" = 1'-0"

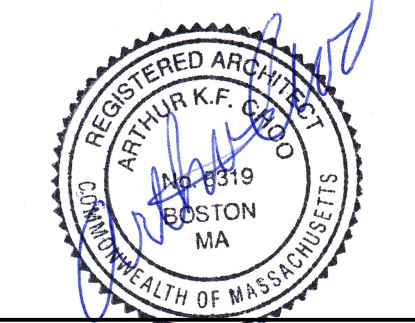
WARREN STREET

Location

PROPOSED MULTIFAMILY  
476 WARREN STREET  
ROXBURY, MASS



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	01-08-2021
	1-12-2021

Project No: 2020172  
Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

Drawing Name  
**PROPOSED PLANS**

Sheet No.  
A-1.5



Location

**PROPOSED MULTIFAMILY**  
**476 WARREN STREET**  
**ROXBURY, MASS**

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**Choo & Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

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No.	Revision Date
	01-08-2021
	1-12-2021

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Project No: 2020172  
Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

---

Drawing Name

**PROPOSED ELEVATIONS**

---

Sheet No.

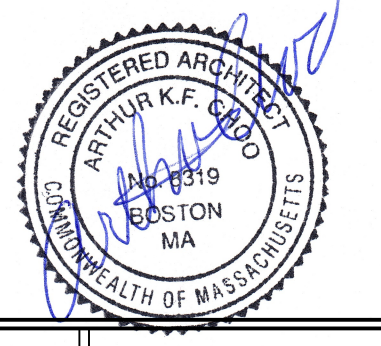
A-2.1

1 FRONT ELEVATION  
1/4" = 1'-0"

Location

**PROPOSED MULTIFAMILY**  
**476 WARREN STREET**  
**ROXBURY, MASS**

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One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	01-08-2021

Project No: 2020172  
Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

Drawing Name  
**PROPOSED ELEVATIONS**

Sheet No.  
**A-2.2**

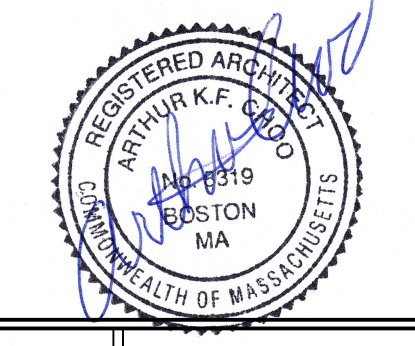


1 RIGHT ELEVATION  
1/4" = 1'-0"

Location

**PROPOSED MULTIFAMILY**  
**476 WARREN STREET**  
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One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	01-08-2021

Project No: 2020172  
Scale: AS NOTED  
Date: 07-16-2020  
Drawn By: SL

Drawing Name  
**PROPOSED ELEVATIONS**

Sheet No.  
**A-2.3**

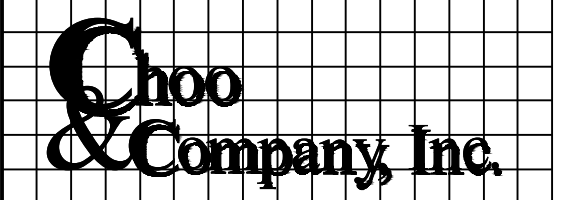


1 LEFT ELEVATION  
1/4" = 1'-0"

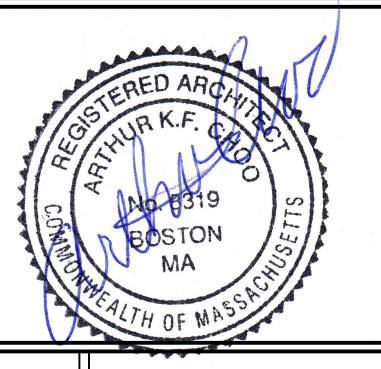
Location

PROPOSED MULTIFAMILY

476 WARREN STREET  
ROXBURY, MASS



One Billings Road Quincy, MA 02171  
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No.	Revision Date
	01-08-2021

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 Drawn By: SL

Drawing Name  
**PROPOSED ELEVATIONS**

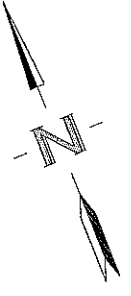
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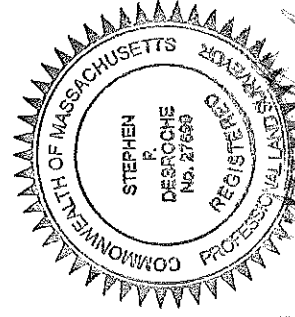
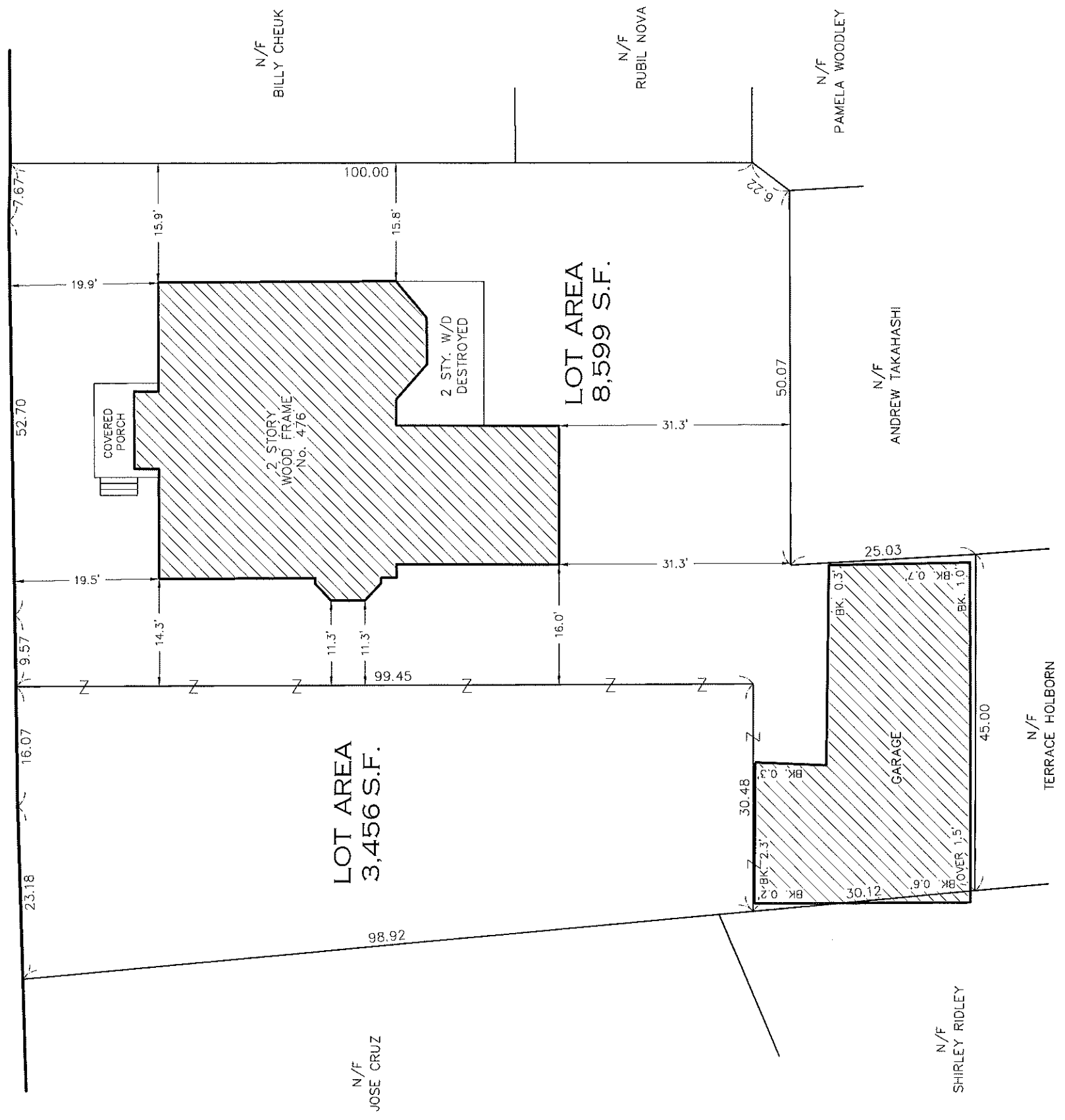
- COMPOSITE SLATE SHINGLES
- FIBER CEMENT VERT SIDING
- METAL GUTTER
- FIBER CEMENT SIDING SMOOTH
- 6" REVEAL
- FIBER CEMENT TRIM 1x8 (TYP CORNER)

- COMPOSITE RAILINGS
- FIBER CEMENT PANEL

1 REAR ELEVATION  
 1/4" = 1'-0"



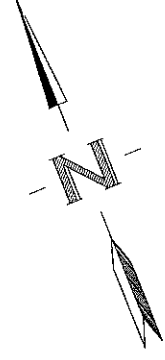
WARREN STREET (PUBLIC ~ VARIABLE WIDTH) STREET



*Stephen P. Desroche*  
STEPHEN P. DESROCHE PLS No. 27699

PLOT PLAN IN 476 WARREN STREET AT BOSTON (DOR.), MASS.	
PREPARED BY: NEPONSET VALLEY SURVEY ASSOC., INC. 95 WHITE STREET QUINCY, MA 02169	
SCALE: 1"=10'	DATE: JUNE 22, 2020
	SHEET 1 OF 1

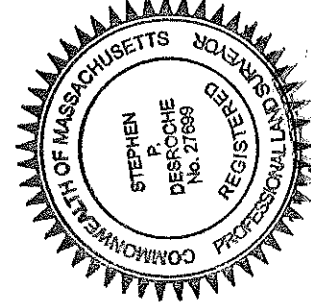
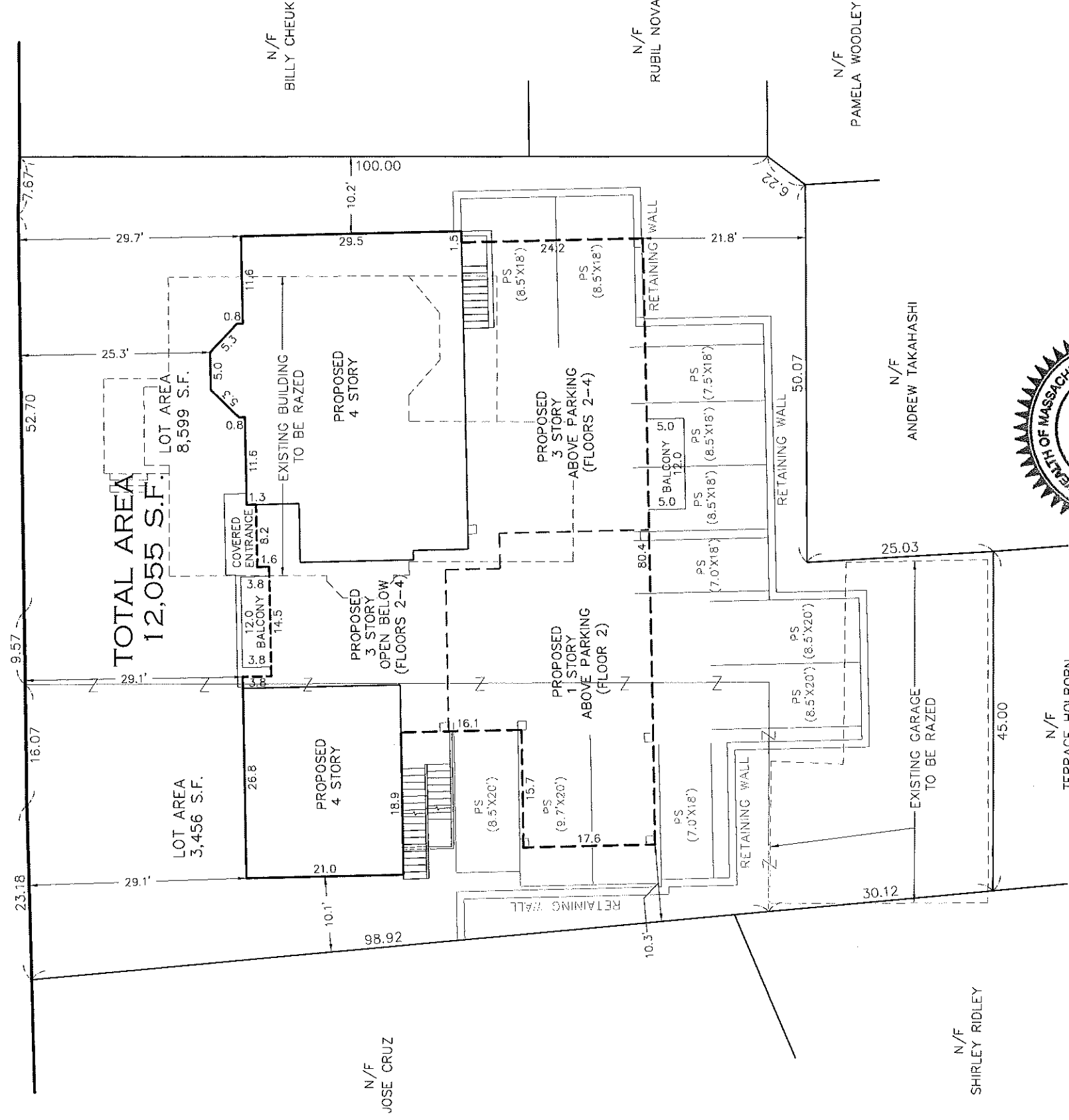




WARREN

(PUBLIC ~ VARIABLE WIDTH)

STREET



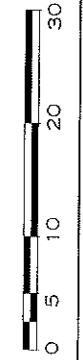
*Stephen P. Desroche*  
 STEPHEN P. DESROCHE  
 PLS No. 27699

PLOT PLAN  
 AT  
 476 WARREN STREET  
 IN  
 BOSTON (DOR.), MASS.

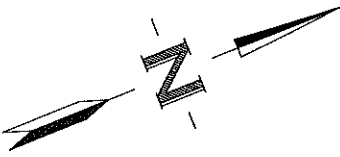
PREPARED BY:  
 NEPONSET VALLEY SURVEY ASSOC., INC.  
 95 WHITE STREET  
 QUINCY, MA 02169

SCALE: 1"=10'  
 DATE: JULY 26, 2020  
 AUGUST 10, 2020

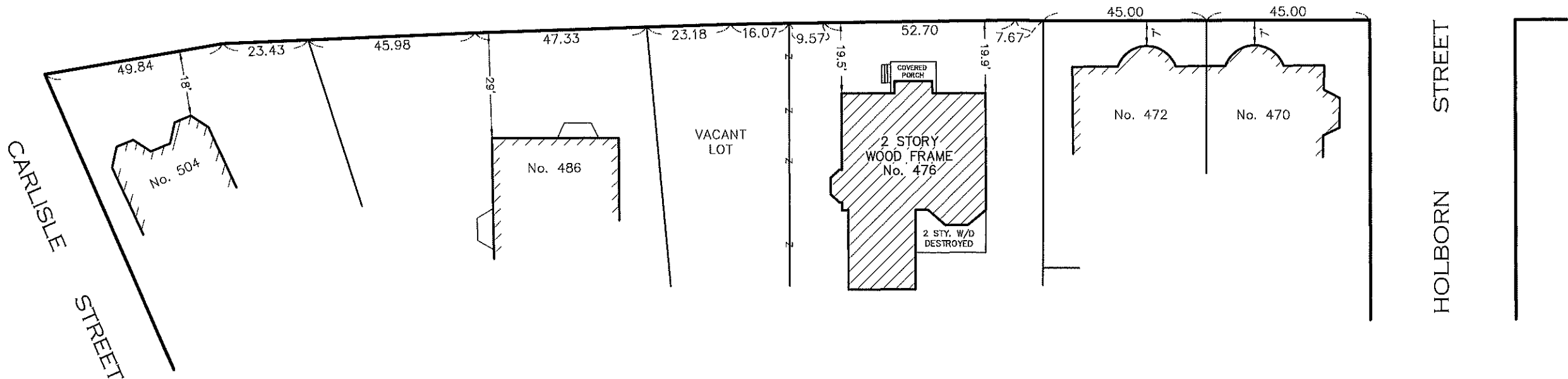
SHEET 1 OF 1







WARREN STREET (PUBLIC ~ VARIABLE WIDTH)



MODAL SETBACK = 29.0'



*Stephen P. Desroche*  
STEPHEN P. DESROCHE PLS No. 27699

MODAL SETBACK PLAN AT 476 WARREN STREET IN BOSTON (DOR.), MASS.		
PREPARED BY: NEPONSET VALLEY SURVEY ASSOC., INC. 95 WHITE STREET QUINCY, MA 02169		
SCALE: 1"=20'	DATE: DECEMBER 3, 2020	SHEET 1 OF 1

3/11 (20-0396)