RENOVATION TO

WESTMINSTER COURT APARTMENTS

30-108 WESTMINSTER AVENUE

ROXBURY, MA

DRAWING LIST

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UNIT MATRIX

				Floor								
Unit Type		Baths	SF	L-W	1-E	1-W	2-E	2-W	3-E	3-W	4-E	TOTAL
A	One-Bedroom (with balcony)	1	570	2	2	4	4	4	4			20
B	Two-Bedroom Typical	1	830	2	1	8	8	8	8	4	4	43
C	One-Bedroom (without balcony)	1	655	2	1							3
D	One-Bedroom Accessible	1	700	2								2
E	Two-Bedroom Accessible	1	830	1	1							2
			TOTAL	9	5	12	12	12	12	4	4	**70**

Owner:
URBAN EDGE & WCA TENANTS ASSOCIATION
1542 Columbus Ave., Roxbury, MA 02119
617-989-9352
Stephen Donovan

Owner's Project Manger:
CS2C/ NE
427 Pearl Street, Winters Corner, MA 02301
508-125-0001
Nathaniel Hailey

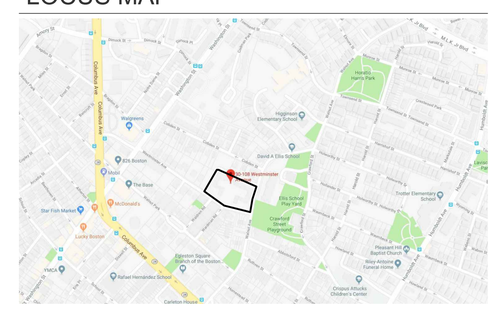
Architect:
JOY STREET DESIGN
69 Joy St., Boston, MA 02114
617-372-7784
Trea LaRaia and Sharon Gentges

Exterior Envelope/ Structural Engineer:
SIMPSON GUMPERTZ & HEGER
41 Seyon Street, Suite 599, Waltham, MA 02453
617-907-9000
Eric Olsen

Civil Engineer
Design Consultants, Inc.
1495 Hancock Street, Suite 205, Quincy, MA 02169
617-776-3350
Michael Clark

Mechanical Engineer:
Wozny/Barbar & Associates, Inc.
1076 Washington Street, Hanover, MA 02339
781-826-4144
Greg Wozny

LOCUS MAP



JUNE 15, 2018

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PROJECT NO.
15002.00

CODE SUMMARY:

- EXISTING BUILDINGS, RENOVATIONS SUBJECT TO IEBC (2015) WITH MASSACHUSETTS AMENDMENTS
- USE IS R-2, WITH 70 RESIDENTIAL UNITS
- THE RENOVATION INCLUDES REPLACEMENT OF EXISTING MATERIALS, FIXTURES, EQUIPMENT, AND FINISHES WITH NEW ELEMENTS THAT SERVE THE SAME PURPOSE. THE WORK IS THEREFORE CLASSIFIED AS "**LEVEL 1**" WORK UNDER THE IEBC.
- THE BUILDING HAS A PARTIAL FIRE PROTECTION SYSTEM. PER IEBC 703.1, THE EXISTING LEVEL OF PROTECTION WILL BE MAINTAINED.
- PER MSBC 780 CMR 34.302.10, THE HEAT AND SMOKE DETECTION SYSTEMS WILL BE UPGRADED IN COMMON AREAS AND UNITS.
- PER IEBC 704.1, ALL EXISTING MEANS OF EGRESS WILL BE MAINTAINED.

ACCESSIBILITY:

- THE WORK IS SUBJECT TO THE REQUIREMENTS OF 521 CMR, MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS.
- PER MAAB 9.2.1, EXISTING BUILDINGS UNDERGOING RENOVATION ARE EXEMPT FROM THE REQUIREMENT FOR GROUP 1 DWELLING UNITS.
- PER 521 CMR 9.2.2, BECAUSE THE PROJECT IS PARTIALLY FINANCED BY THE COMMONWEALTH, APPLICABILITY OF THIS SECTION IS BASED ON THE RATIO OF THE COST OF THE WORK COMPARED TO THE "REPLACEMENT COST" OF THE BUILDING. THE REPLACEMENT COST IS DEFINED AS $73.72/SF. AT 72,000 SF, THE REPLACEMENT COST IS $5.2M. THE COST OF THE WORK EXCEEDS 30% OF THIS VALUE, SO THE FOLLOWING WORK MUST COMPLY: 1. ALL GROUP 2 UNITS MUST BE BROUGHT UP TO THE CURRENT CODE. 2. ALL WORK IN PUBLIC USE AND COMMON AREAS MUST COMPLY WITH THE CODE.
- PER 10.1, THE PUBLIC AND COMMON USE SPACES IN EXISTING BUILDINGS WITH 12 OR MORE UNITS IN A BUILDING MUST BE ACCESSIBLE.
- THE PROJECT IS DIVIDED INTO 10 DIFFERENT BUILDINGS, EACH OF WHICH HAS AN INDEPENDENT PAIR OF ENTRIES AND EGRESSES. NONE OF THE BUILDINGS HAS MORE THAN 8 UNITS. THEREFORE IT IS OUR INTERPRETATION THAT THE ENTRY VESTIBULES FOR EACH BUILDING DO NOT NEED TO BE MADE ACCESSIBLE.
- PER 10.1 THE COMMUNITY ROOM AND COMMON GYM WILL BE UPGRADED TO MEET THE CURRENT CODE.
- PER 10.2 AN ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN THE ACCESSIBLE PARKING, ACESSIBLE ENTRANCES, AND PUBLIC AND COMMON USE SPACES. THIS INCLUDES THE COMMUNITY ROOM, THE COMMON GYM, THE ENTRIES WHERE THERE ARE ACCESSIBLE UNITS, AND THE COURTYARD.
- PER 10.3 ACCESSIBLE PARKING SPACES WILL BE PROVIDED AND WILL BE RELOCATED SO AS TO BE IN CLOSE PROXIMITY TO THE ACCESSIBLE UNITS AND COMMUNITY ROOM.
- HANDRAILS WILL BE PROVIDED AT ALL STAIRWAYS TO COMPLY WITH THE REQUIREMENTS OF 521 CMR.

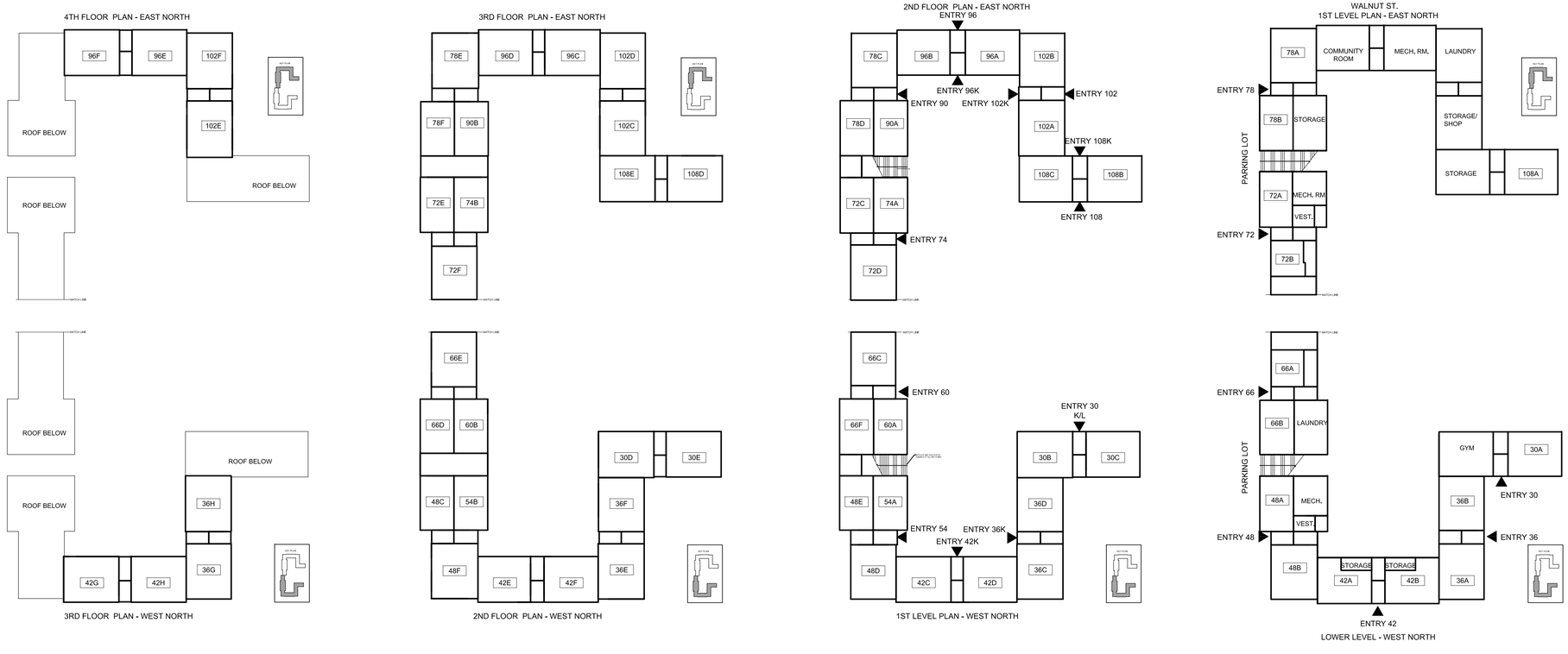
ENERGY CODE:

- THE WORK IS SUBJECT TO THE REQUIREMENTS OF THE MASSACHUSETTS STRETCH ENERGY CODE, WHICH IS COMPRISED OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2009 WITH MASSACHUSETTS AMENDMENTS (780 CMR 115.AA)
- PER IECC 202, THE BUILDINGS QUALIFY AS RESIDENTIAL BUILDINGS, SINCE THEY ARE USE R-2 AND HAVE THREE-STORIES OR FEWER ABOVE GRADE. THE PROJECT IS THEREFORE SUBJECT TO THE REQUIREMENTS OF CHAPTER 4 OF THE IECC.
- PER IECC 101.4.1, ONLY THOSE ELEMENTS WHICH ARE BEING REPLACED OR RENOVATED MUST COMPLY WITH THE NEW CODE REQUIREMENTS. THE CODE DOES NOT REQUIRE "THE REMOVAL, ALTERATION, OR ABANDONMENT OF, NOR PREVENT THE CONTINUED USE AND MAINTENANCE OF ANY EXISTING BUILDING OR BUILDING SYSTEM..."
- THE ELEMENTS THAT ARE BEING RENOVATED ARE SUBJECT TO THE REQUIREMENTS OF THE IECC AS FOLLOWS:
- EXISTING WALL, CEILING, OR FLOOR CAVITIES OF THE BUILDING ENVELOPE THAT ARE EXPOSED DURING CONSTRUCTION WILL BE FILLED WITH INSULATION THAT MEETS OR EXCEEDS AN R VALUE OF R-3.5 PER INCH (REF 780 CMR 115.AA 115.00.3)
- WHERE EXPOSED, EXTERIOR WALLS WILL HAVE AIR SEALING DONE FROM THE INSIDE IN ORDER TO REDUCE AIR INFILTRATION (PER IECC 402.4.1)
- LOW EXPANSION SPRAY-FOAM INSULATION WILL BE INSTALLED AROUND THE FRAMES OF WINDOWS AND DOORS IN EXTERIOR WALLS.
- NEW THERMOSTATS SHALL BE PROGRAMMABLE TYPE, COMPLYING WITH IECC 403.1.1
- NEW LUMINARIES WILL COMPLY WITH THE IECC 404.1, SUCH THAT A MINIMUM OF 50% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PROPER PERMITS BEFORE COMMENCING ALL WORK.
- THIS PROJECT INCLUDES DESIGN-BUILD CONTRACTS FOR ALL ELECTRICAL, MECHANICAL, PLUMBING AND FIRE-PROTECTION MODIFICATIONS. ALL WORK ON THESE SYSTEMS SHALL BE DONE BY A LICENSED CONTRACTOR AFTER OBTAINING NECESSARY PERMITS.
- CONTRACTOR TO COORDINATE ALL STRUCTURAL WORK FOR FOR SPECIFIC SCOPE OF WORK.
- EXISTING OR NEW MECHANICAL, ELECTRIC, PLUMBING, & FIRE PROTECTION COMPONENTS NOT SHOWN. FINAL DESIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. FINAL COMPONENT LOCATIONS SHALL BE APPROVED BY THE OWNER.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CEILING FIXTURES AND IS TO INSTALL THEM IN A WAY THAT IS ORDERLY AND UNIFORM WHERE POSSIBLE.
- STAGGER ALL JOINTS IN GYPSUM WALL BOARD ASSEMBLIES. TAPE & CORNERBEAD ALL INTERSECTIONS & JOINTS.
- WHETHER INDICATED IN ARCHITECTURAL PLANS OR NOT, PROVIDE A 2-HR FIRE-RATED ENCLOSURE AROUND ALL DUCTS AND GROUPS OF PIPES GREATER THAN 1 SQ. FT. WHICH PENETRATE ANY FLOOR LEVEL.
- PROVIDE WOOD BLOCKING WHERE REQUIRED OR WHERE SHOWN FOR SECURE ATTACHMENT OF ALL TRIM, RAILING, GRAB-BARS, CABINETS, DOOR/WINDOW FRAMES, TOILET ACCESSORIES, ETC
- PROVIDE MOISTURE-RESISTANT GWB AT ALL BATHROOM WALLS AND OTHER DAMP LOCATIONS.

H-1 | CODE SUMMARY - 9TH EDITION



A-1 | LOCATION MAP, ADDRESSES & UNIT KEY

NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

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JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title CODE SUMMARY,
LOCATION MAP & UNIT KEYS

Designed	SGM/TPL
Checked	
Project No.	15002
Scale	1/8"=1'-0"
Date	06/15/18
Drawing No.	G000

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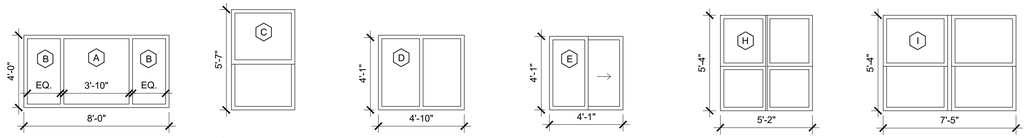


A MARVIN ULTREX PICTURE WINDOW AND SLIDERS
B

C MARVIN ULTREX DOUBLE-HUNG

D MARVIN ULTREX CASEMENT

E MARVIN ULTREX HORIZONTAL SLIDER

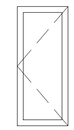
H MARVIN ULTREX SINGLE-HUNG

I MARVIN ULTREX DOUBLE HUNG

WINDOW NOTES:

- ALL EXISTING WINDOWS SHALL BE REMOVED AND REPLACED WITH NEW WINDOWS IN ACCORDANCE WITH DETAILS AND SPECS.
- TYPICAL WINDOW EXTERIOR COLOR TBD, WHITE INTERIOR.
- DIMENSIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED BY G.C.
- LIMITERS SHALL BE INSTALLED PER SPEC.
- ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090.

J-1 WINDOW SCHEDULE



J PROVIA INSWING STORM DOOR

DOOR NOTES:

- ALL UNITS WITH ACCESS TO BALCONIES SHALL BE PROVIDED WITH IN-SWINGING STORM/ SCREEN DOOR.
- TYPICAL DOOR COLOR TBD, WHITE INTERIOR.
- DIMENSIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED BY G.C.
- CLOSERS SHALL BE INSTALLED PER SPEC.

J-8 DOOR SCHEDULE

FINISH SCHEDULE

ROOM	WALLS	FLOORS	CEILING	WALL BASE	TRIM	NOTES
UNITS						
LIVING ROOM	PT-1	ETR	PT-3	ETR	PT-1	**PAINT ALL WALLS, DOOR AND TRIM IN UNITS EXCEPT INTERIOR OF CLOSETS**
KITCHEN	PT-1	ETR	PT-3	ETR	PT-1	
BEDROOMS	PT-1	ETR	PT-3	ETR	PT-1	
BATHROOM	PT-3	SHEET VINYL	PT-4	ETR TILE	ETR	
COMMON AREA						
STAIRS	PT-5	ETR OR ALT				
RAILINGS						PT-6; SEE NOTE 6/ A601
STRINGERS/TREADS						PT-6; SEE NOTE 6/A601

FINISH SPECIFICATIONS

TYPE	LOCATION	MANUFACTURER	NAME	REMARKS/FINISH
PAINT				
PT-1	WALLS	TBD		EGGSHELL FINISH
PT-2	CEILINGS	TBD		FLAT FINISH
PT-3	WET LOCATION WALLS	TBD		SATIN FINISH
PT-4	WET LOCATION CEILING	TBD		FLAT FINISH
PT-5	COMMON AREA INTERIOR WALLS	TBD		EGGSHELL FINISH
PT-6	EXTERIOR STEEL RAILINGS	TBD		ELECTROSTATIC
PT-7	EXTERIOR STEEL DOORS	TBD		ELECTROSTATIC
PT-8	EXTERIOR STEEL PANELING	TBD		ELECTROSTATIC
TILE				
T-1	FLOORS	TBD		MATCH EXISTING
SHEET VINYL				
V-1	BATHROOM FLOOR	TBD		

F-1 FINISH SCHEDULE AND SPECIFICATIONS

NOTES

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JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
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ROXBURY, MA

Title SCHEDULES

Designed SGM/TPL
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Project No. 15002
Scale 1/8"=1'-0"
Date 06/15/18

Drawing No. G001

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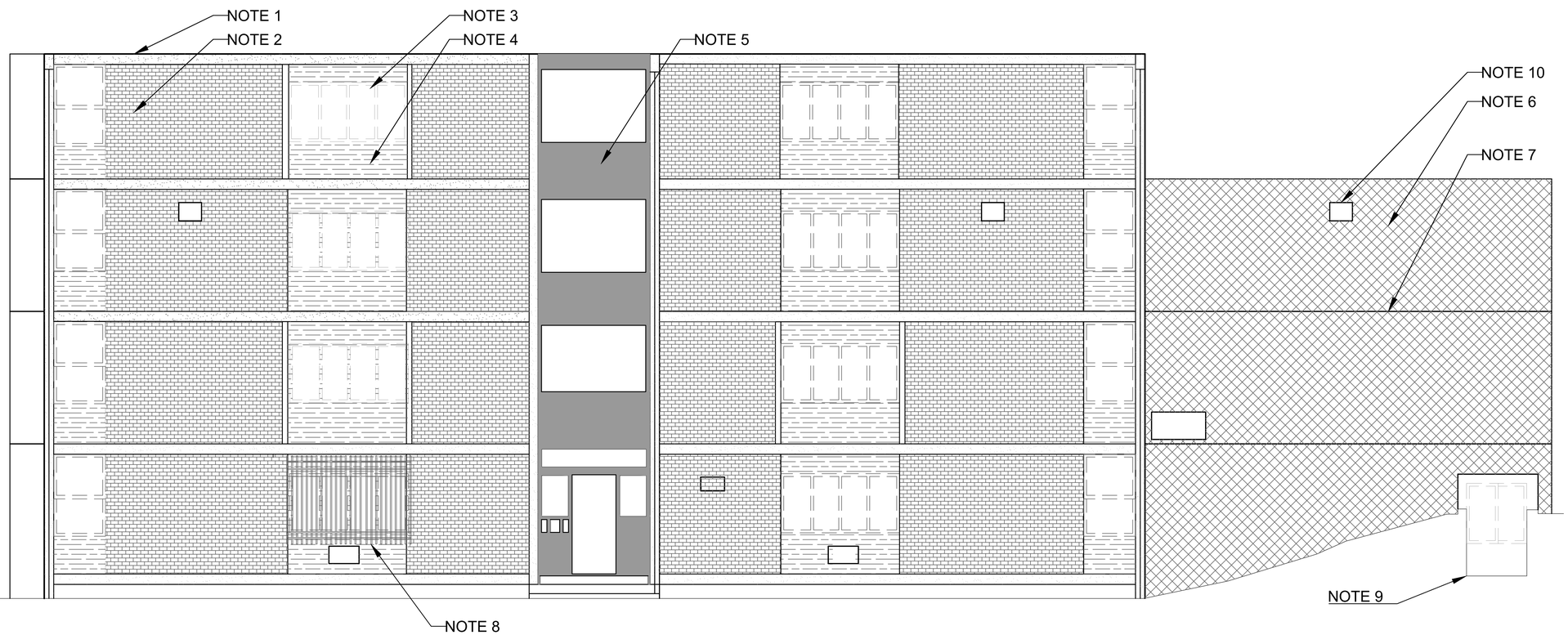

A-1	TYPICAL ELEVATION
1/4"=1'-0"	

NOTES

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DEMOLITION GENERAL NOTES:

- CONTRACTOR SHALL TAKE NOTE OF PRESENCE OF HAZARDOUS MATERIALS IN TRANSITE PANELS AND OTHER LOCATIONS ON SITE AS DESCRIBED IN REPORT ISSUED BY OWNER. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROPERLY CONTAIN AND/OR DISPOSE OF SUCH MATERIALS AS NEEDED WITHIN SCOPE OF WORK.
- UNITS WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE PROTECTION FOR OCCUPIED UNITS DURING ALL PHASES OF WORK. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT RESIDENTS BELONGINGS AND TO RETURN THE UNIT TO A HABITABLE, CLEAN STATE AT THE END OF EACH WORK DAY.
- FOR BUILDING ELEMENTS NOT SHOWN, CONSULT WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVING.

DEMOLITION KEY NOTES:

1. EXISTING ROOF AND EDGE METAL TO REMAIN. COORDINATE NEW WORK TO MINIMIZE DISRUPTION OF EXISTING MATERIALS AND TO PROVIDE A CONTINUOUS WEATHER BARRIER.
2. DEMO EXISTING INFILL BRICK MASONRY, SHEATHING, AND INSULATION, TYPICAL. PROTECT EXISTING STUDS, TRACK AND WALLBOARD.
3. DEMO EXISTING WINDOWS, TYPICAL.
4. DEMO EXISTING TRANSITE INFILL PANELS, TYPICAL. REFER TO HAZ-MAT REMOVAL PROTOCOLS IN SPECIFICATION.
5. EXISTING STOREFRONTS TO REMAIN. SEE CLEANING AND REPAIRING SCOPE OF WORK IN A602.
6. PROTECT EXISTING AGGREGATE WALL.
7. REMOVE EXISTING SEALANT PER SPEC, TYPICAL. CLEAN JOINT AND PREPARE FOR NEW SEALANT.
8. REMOVE, STORE AND PROTECT ALL SECURITY GRATES.
9. REFER TO CIVIL ENGINEERING DRAWINGS FOR AREAWAY SCOPE OF WORK.
10. REMOVE STORE AND PROTECT ALL LIGHT FIXTURES.

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617-943-5750

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Title BUILDING ELEVATION
DEMOLITION

Designed	SGM/MW
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Project No.	15002
Scale	1/8"=1'-0"
Date	06/15/18
Drawing No.	D200

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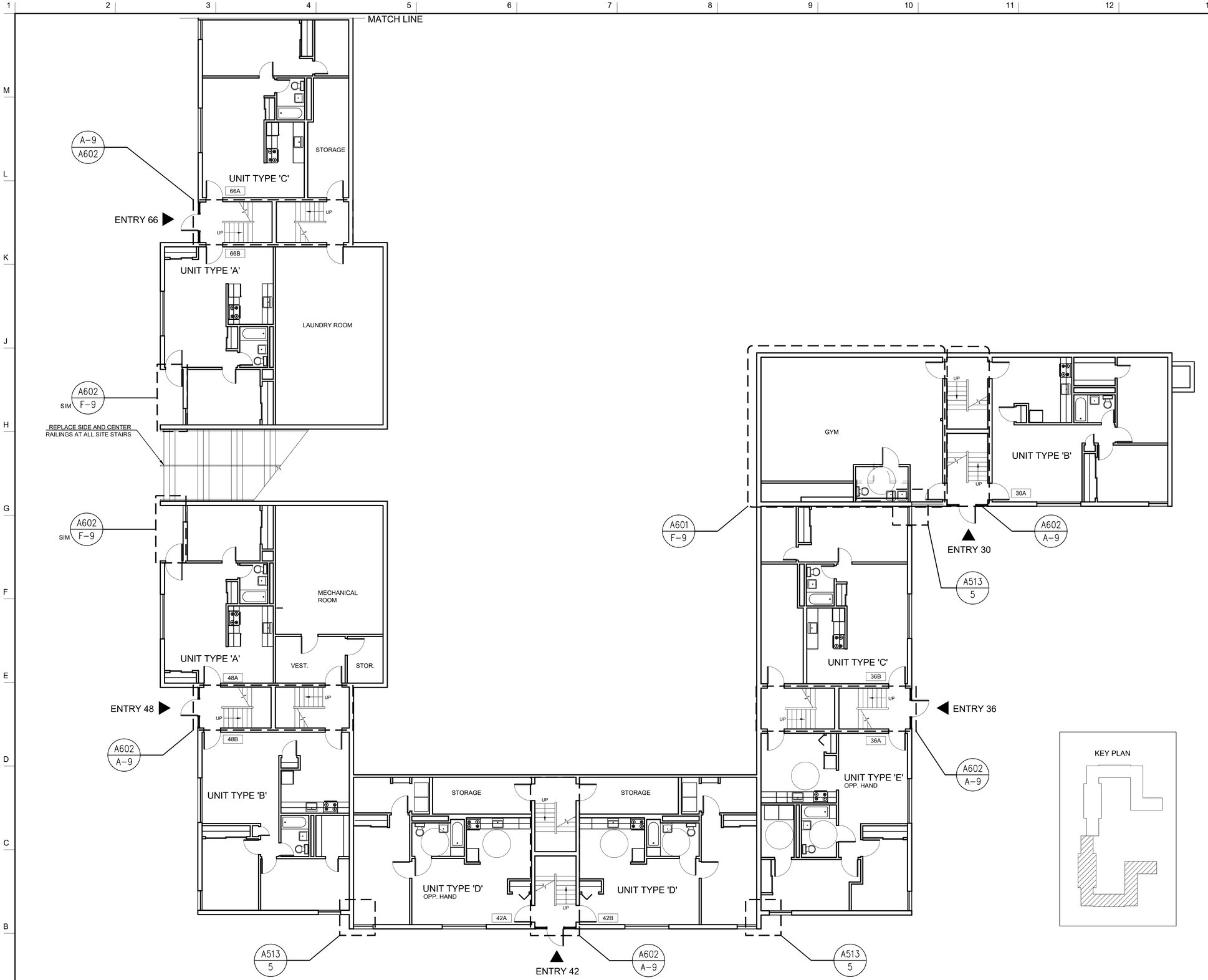

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Project RENOVATIONS TO
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ROXBURY, MA

Title BUILDING FLOOR PLANS

Designed	SGM/TPL
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Project No.	15002
Scale	1/8"=1'-0"
Date	06/15/18
Drawing No.	A100

A-1 | LOWER LEVEL PLAN - WEST NORTH

1/8"=1'-0"

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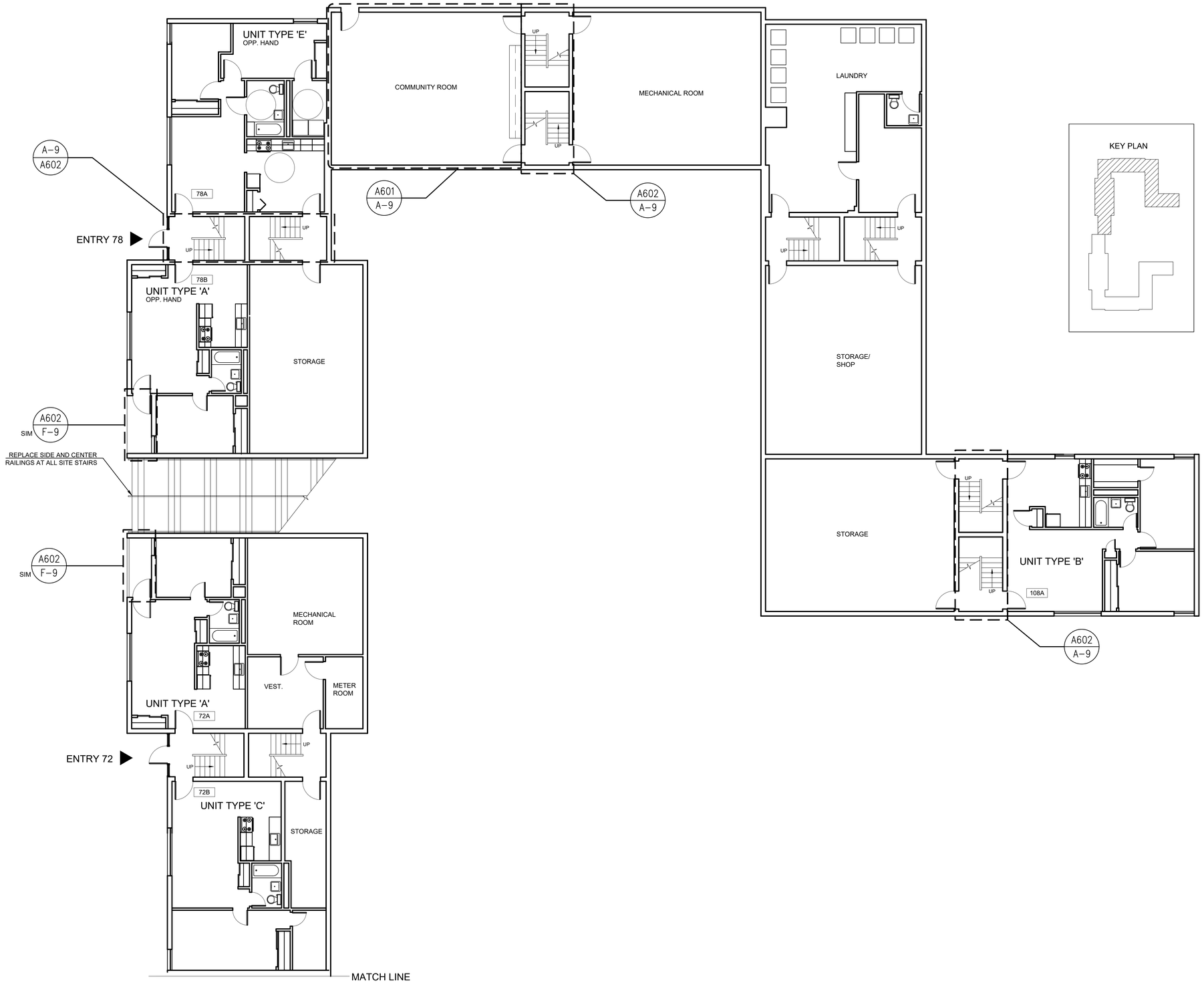

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Title BUILDING FLOOR PLANS

Designed SGM/TPL
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Project No. 15002
Scale 1/8"=1'-0"
Date 06/15/18
Drawing No. A101

A-1 FIRST LEVEL PLAN - EAST NORTH
1/8"=1'-0"

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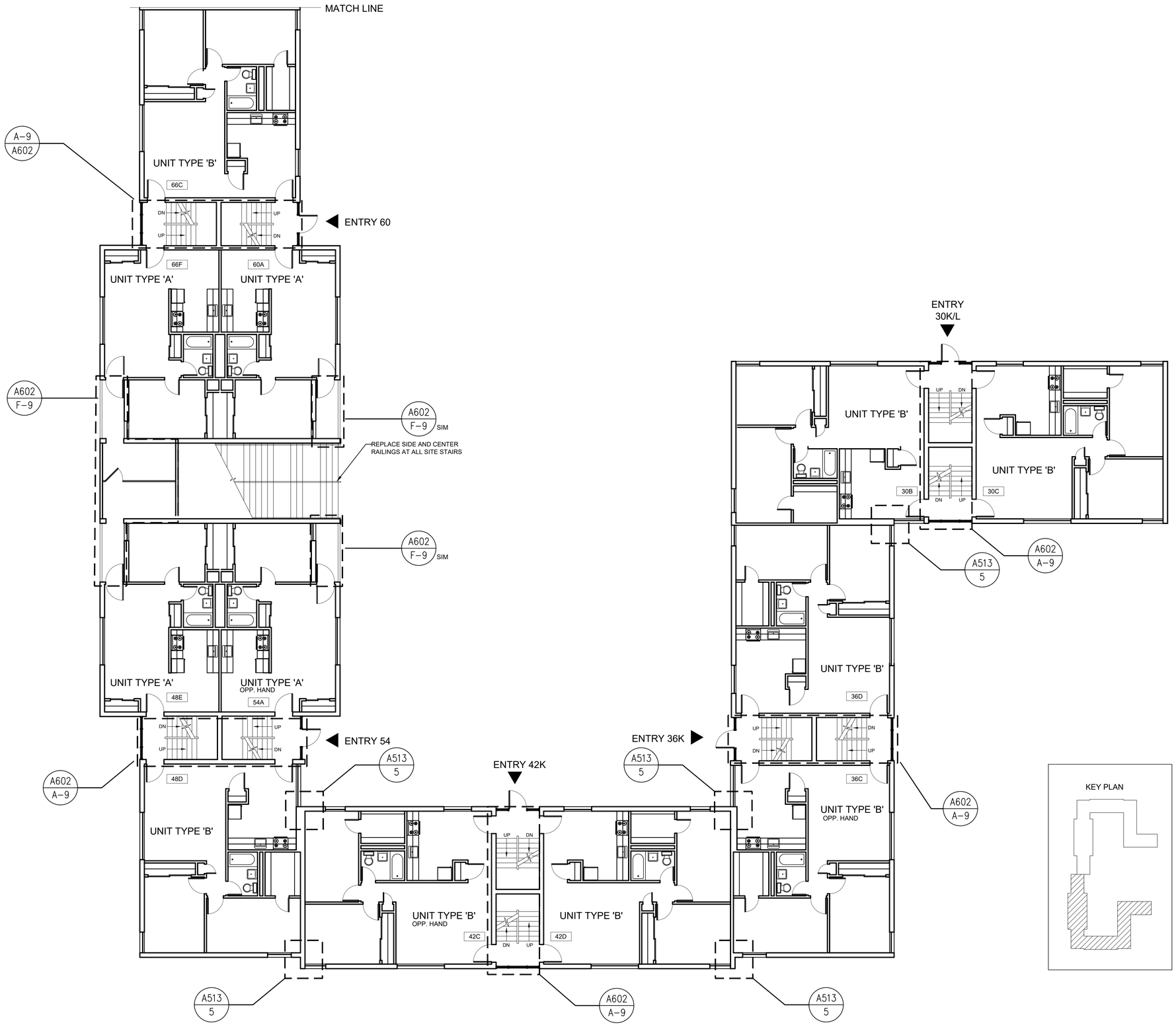

A-1	FIRST LEVEL PLAN - WEST NORTH
1/8"=1'-0"	

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Designed	SGM/TPL
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Project No.	15002
Scale	1/8"=1'-0"
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Drawing No.	A102

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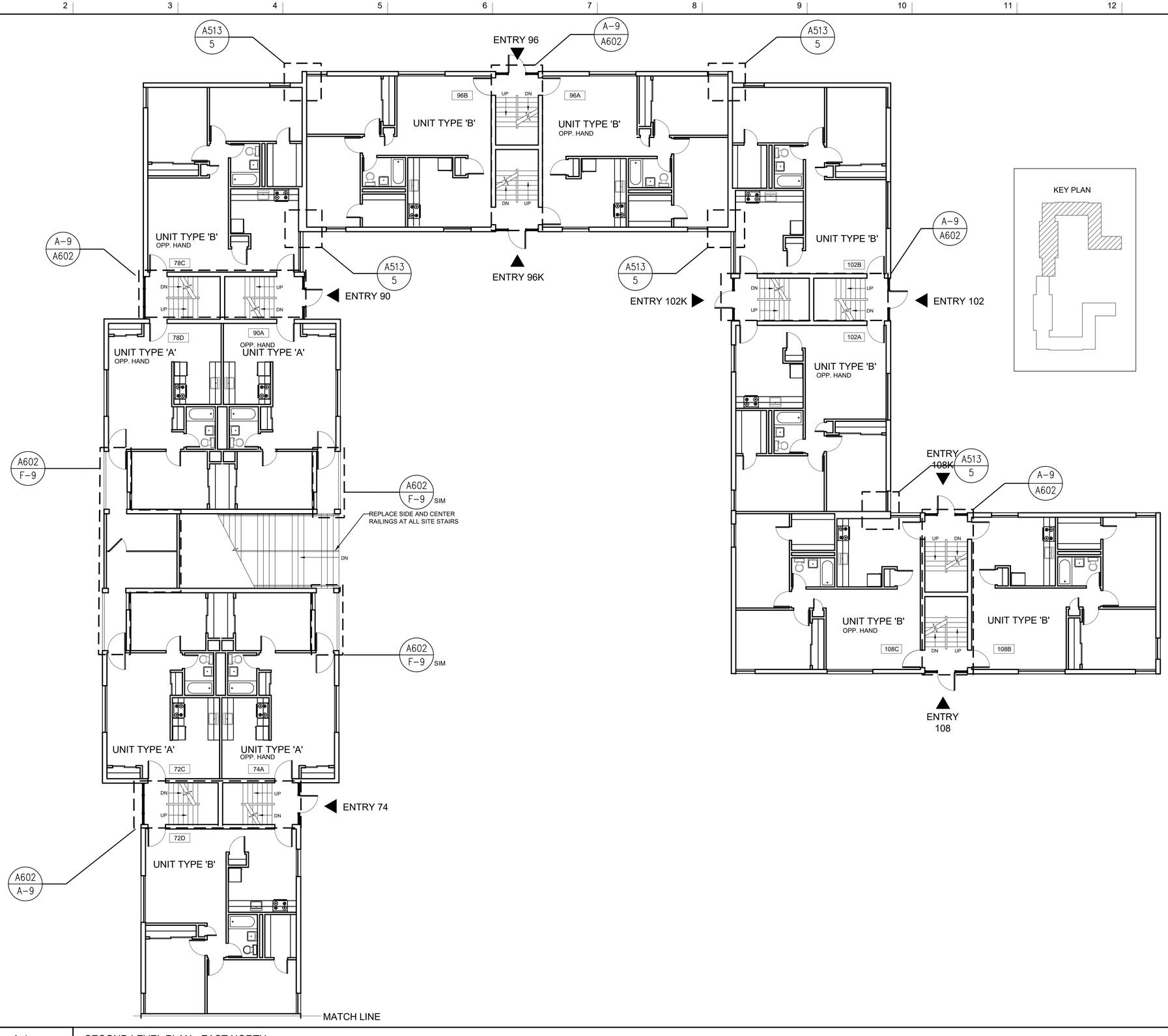

A-1	SECOND LEVEL PLAN - EAST NORTH
1/8"=1'-0"	

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Designed	SGM/TPL
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Project No.	15002
Scale	1/8"=1'-0"
Date	06/15/18
Drawing No.	A103

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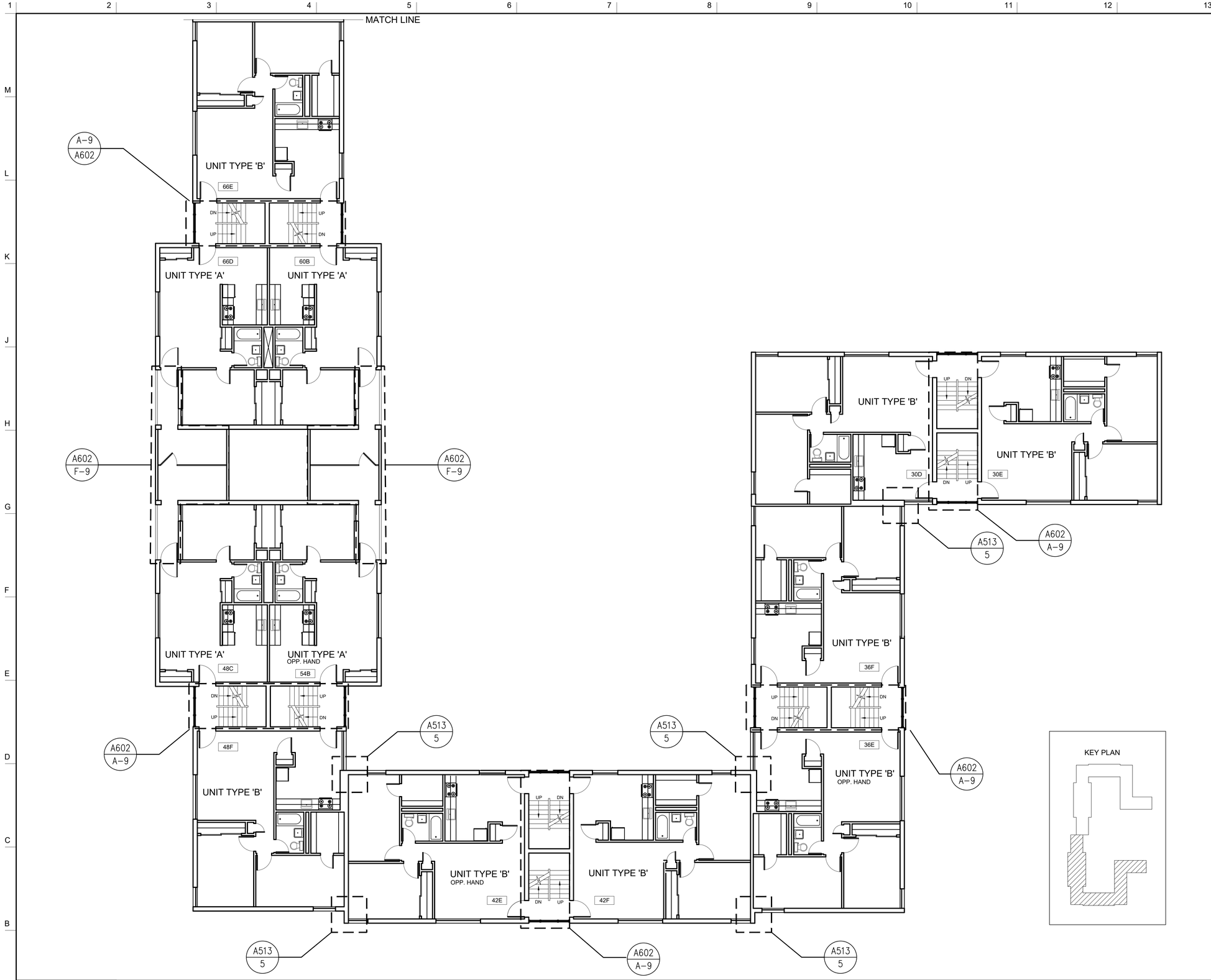

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Title BUILDING FLOOR PLANS

Designed	SGM/TPL
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Project No.	15002
Scale	1/8"=1'-0"
Date	06/15/18
Drawing No.	A104

A-1 SECOND LEVEL PLAN - WEST NORTH

1/8"=1'-0"

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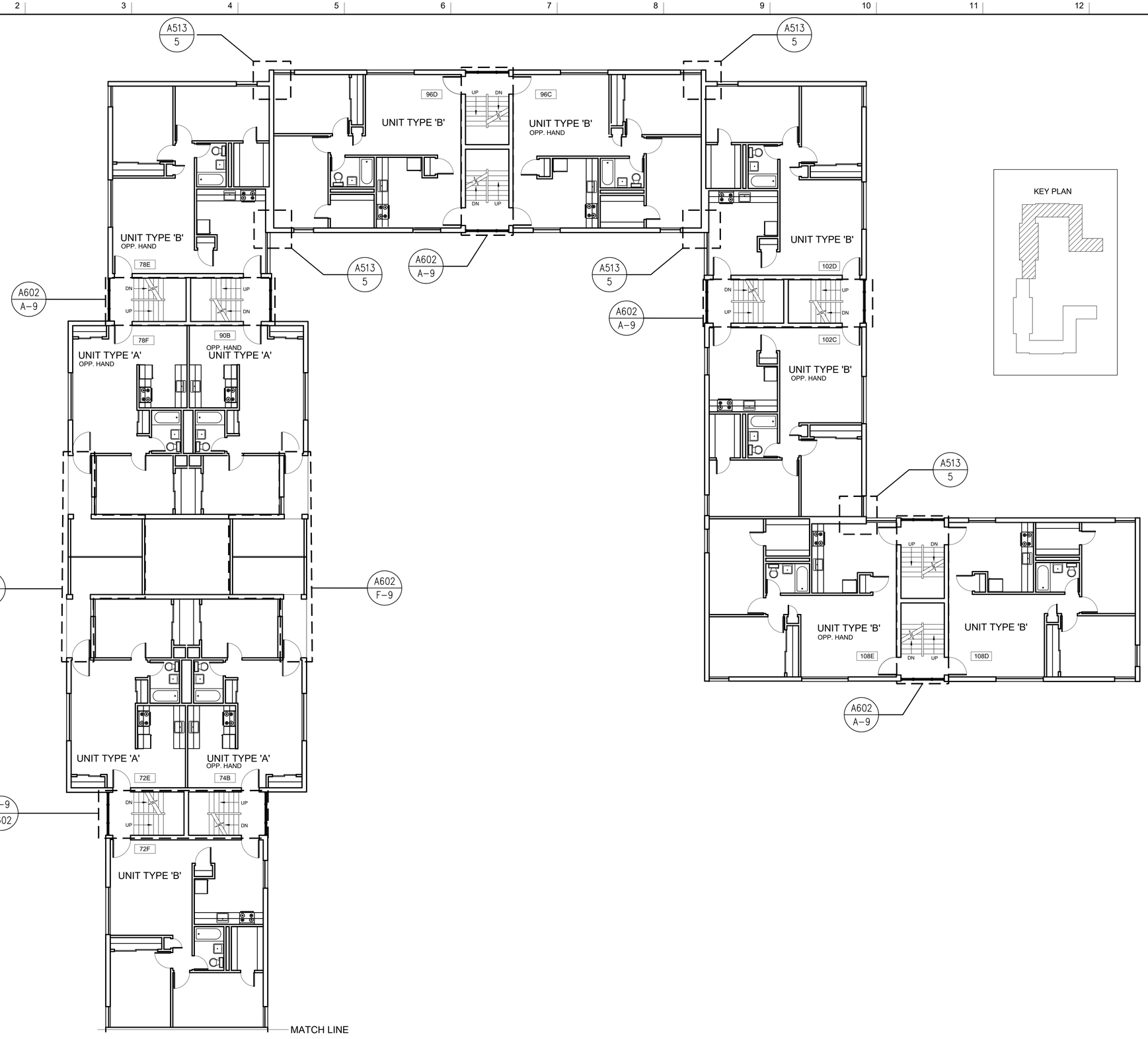

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Project No. 15002
Scale 1/8"=1'-0"
Date 06/15/18
Drawing No. A105

A-1 THIRD LEVEL PLAN - EAST NORTH
1/8"=1'-0"

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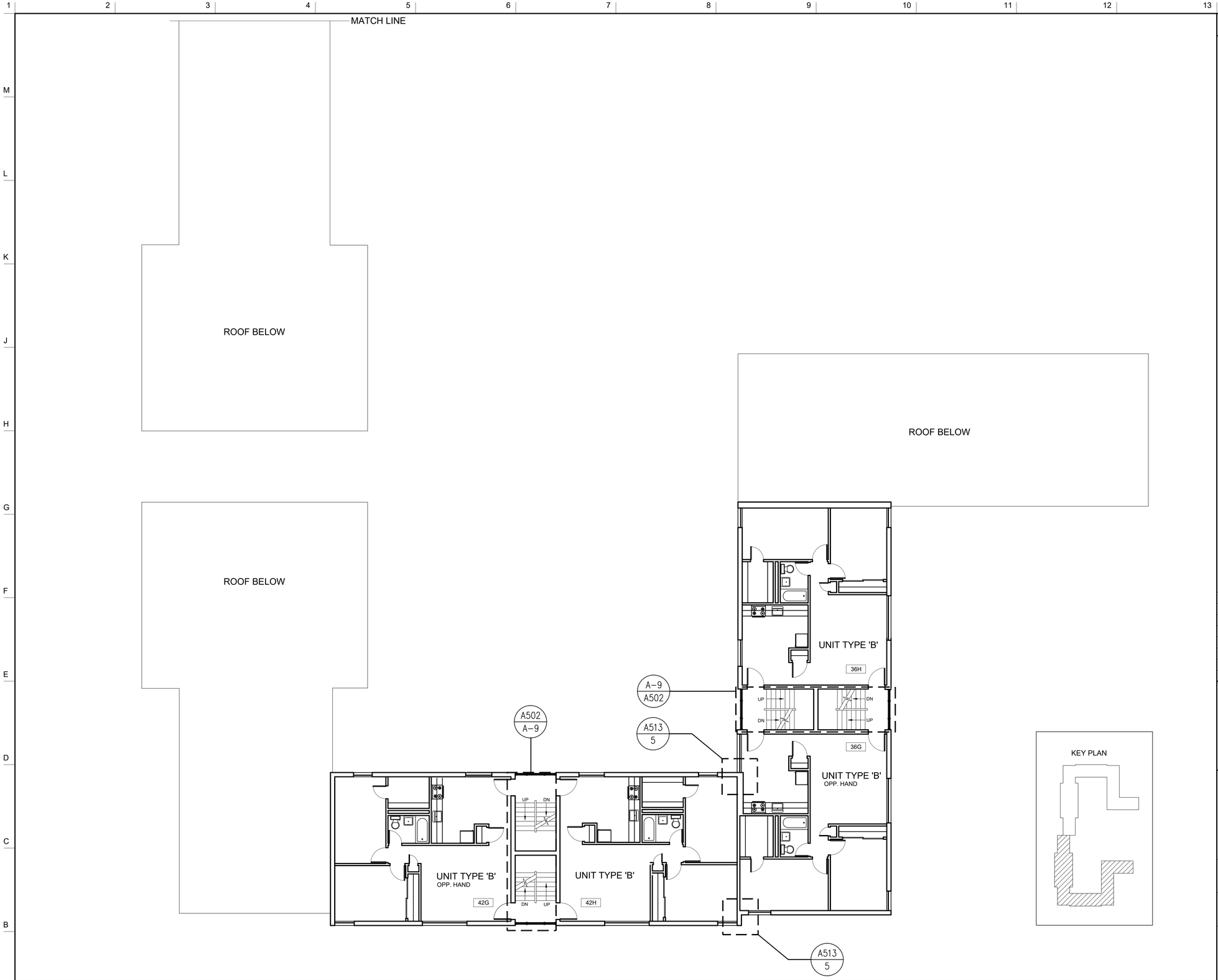

A-1	THIRD LEVEL PLAN - WEST NORTH
1/8"=1'-0"	

NOTES

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617-943-5750

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Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title BUILDING FLOOR PLANS

Designed	SGM/TPL
Checked	
Project No.	15002
Scale	1/8"=1'-0"
Date	06/15/18
Drawing No.	A106

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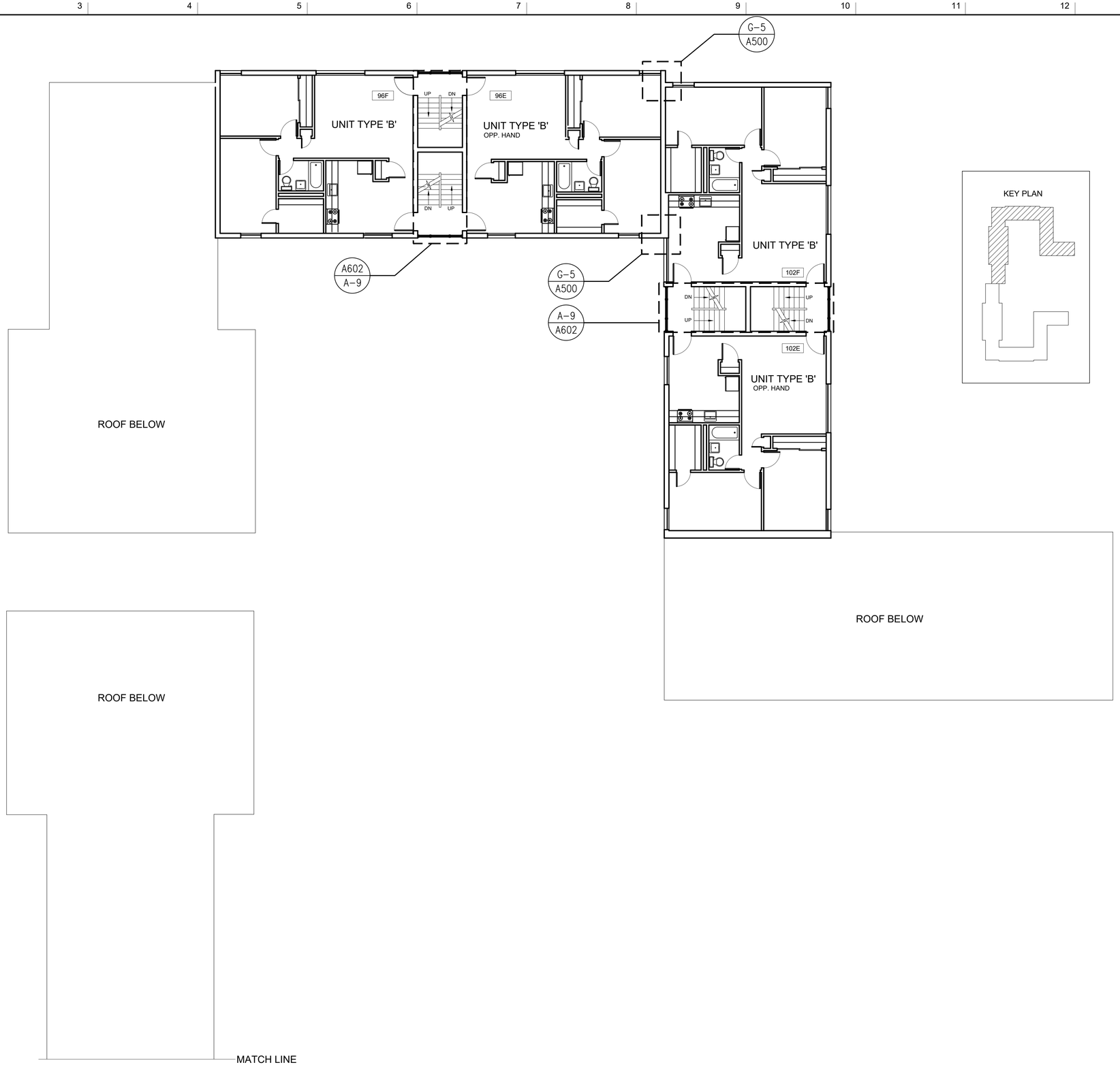

NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title BUILDING FLOOR PLANS

Designed SGM/TPL
Checked
Project No. 15002
Scale 1/8"=1'-0"
Date 06/15/18
Drawing No. A107

A-1 FOURTH LEVEL PLAN - EAST NORTH
1/8"=1'-0"

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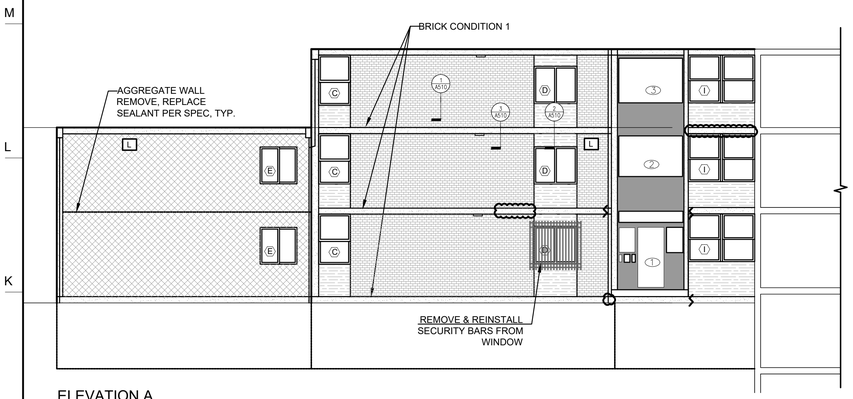
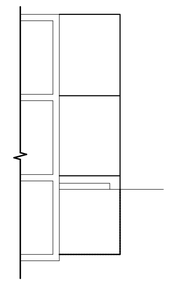
LEGEND:

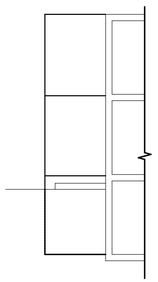
⚡ LOCATION OF CRACK TO BE REPAIRED
○ LOCATION OF SPALL TO BE REPAIRED (SEE SHEET D–5)



ELEVATION A



PARTIAL
ELEVATION D



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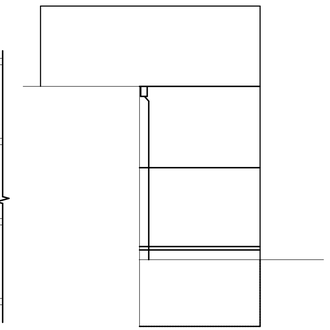

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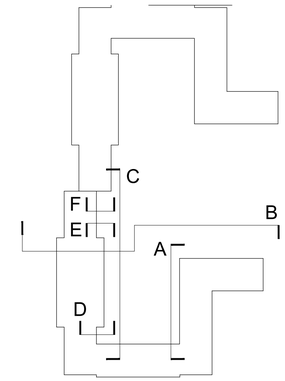
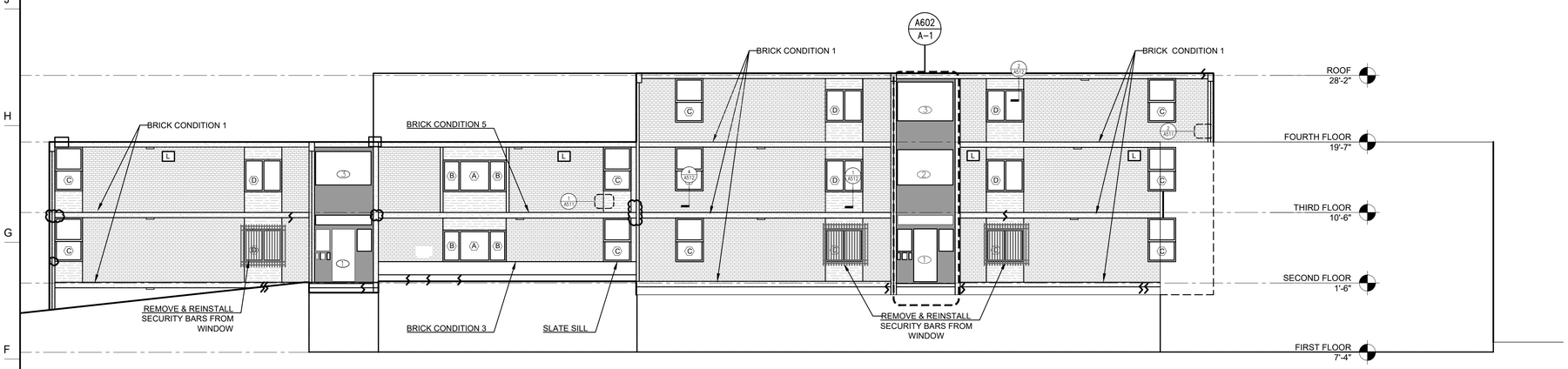
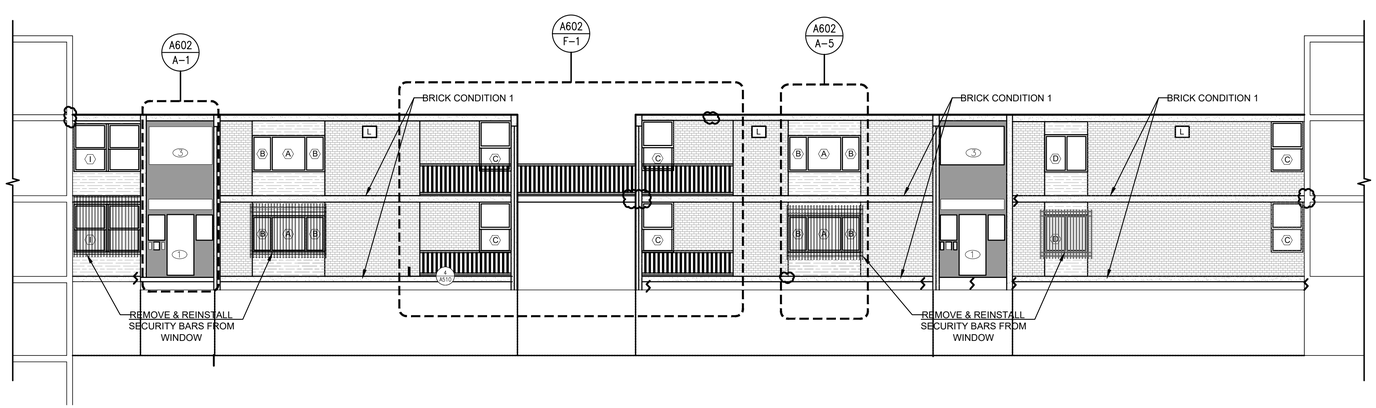
ELEVATION F





ELEVATION B



ELEVATION C

BRICK CONDITION KEY:

- CONDITION 1: BRICK FLUSH TO PLANK
- CONDITION 2: BRICK 1/2" BACK FROM PLANK
- CONDITION 3: BRICK +/- 1" BACK FROM PLANK
- CONDITION 4: BRICK 2" BACK FROM PLANK
- CONDITION 5: BRICK 4" BACK FROM PLANK

LEGEND

- BRICK
- FIBERCEMENT PANEL
- EXPOSED AGGREGATE CONCRETE
- SMOOTH CONCRETE
- INSULATED PANEL
- EXISTING LIGHT FIXTURE
- NEW BRICK VENT FOR EXHAUST

NOTES

DO NOT SCALE DRAWINGS.

CONSTRUCTION GENERAL NOTES:

- CONTRACTOR SHALL TAKE NOTE OF PRESENCE OF HAZARDOUS MATERIALS IN TRANSITE PANELS AND OTHER LOCATIONS ON SITE AS DESCRIBED IN REPORT ISSUED BY OWNER. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROPERLY CONTAIN AND/OR DISPOSE OF SUCH MATERIALS AS NEEDED WITHIN SCOPE OF WORK.
- UNITS WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE PROTECTION FOR OCCUPIED UNITS DURING ALL PHASES OF WORK. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT RESIDENTS BELONGINGS AND TO RETURN THE UNIT TO A HABITABLE, CLEAN STATE AT THE END OF EACH WORK DAY.

CONSTRUCTION KEY NOTES:

BRICK/ WALL ASSEMBLIES:

- REPLACE CORRODED AREAS OF STUDS. ASSUME 30%
- PROVIDE NEW SHEATHING, WEATHER BARRIER, DRAINAGE MAT, MINERAL WOOL AND FLASHING SYSTEM. SEE DETAILS. AT INFILL PANELS, PROVIDE NEW FIBERCEMENT PANEL SYSTEMS.
- PROVIDE BRICK VENTS AT LOCATIONS OF NEW KITCHEN EXHAUSTS.

CONCRETE:

- REPAIR EXPOSED EDGES OF CONCRETE SLABS.

METALWORK:

- REPAIR, SCRAPE, PAINT AND REINSTALL SECURITY GRATES AND BALCONY RAILINGS.
- AT ALL DOWNSPOUTS, REPLACE PVC OR CAST IRON BOOT AND REPLACE WITH NEW 6" CAST IRON PIPE AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON CIVIL DRAWINGS.

WINDOWS:

- PROVIDE NEW FIBERGLASS WINDOWS AS SCHEDULED.

PAINT:

- SCRAPE, PREP AND PAINT ALL PAINTED SURFACES, EXTERIOR DOORS, PANELS, ETC.
- PAINT ALL EXTERIOR MOUNTED MECHANICAL VENTS.
- RECAULK/ RESEAL ALL STOREFRONTS.
- REPLACE SEALANT AT ALL AGGREGATE WALL JOINTS PER SPEC.

BALCONIES:

- TOP AND RECOAT BALCONIES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AS SHOWN.
- SCRAPE, REPAIR, AND PAINT ALL BALCONY RAILINGS AS SHOWN.

SITE:

- REGRADE SOIL AND PAVING AWAY IN SELECT LOCATIONS TO PROVIDE POSITIVE DRAINAGE FROM BUILDING. SEE CIVIL DRAWINGS.
- REPLACE SITE AND STAIR RAILS AS INDICATED ON CIVIL DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

joy st design

JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title BUILDING ELEVATIONS

Designed SGM/MW
Checked
Project No. 15002
Scale 1/8"=1'-0"
Date 06/15/18
Drawing No. A200

A-1 | EXTERIOR ELEVATIONS
1/8"=1'-0"

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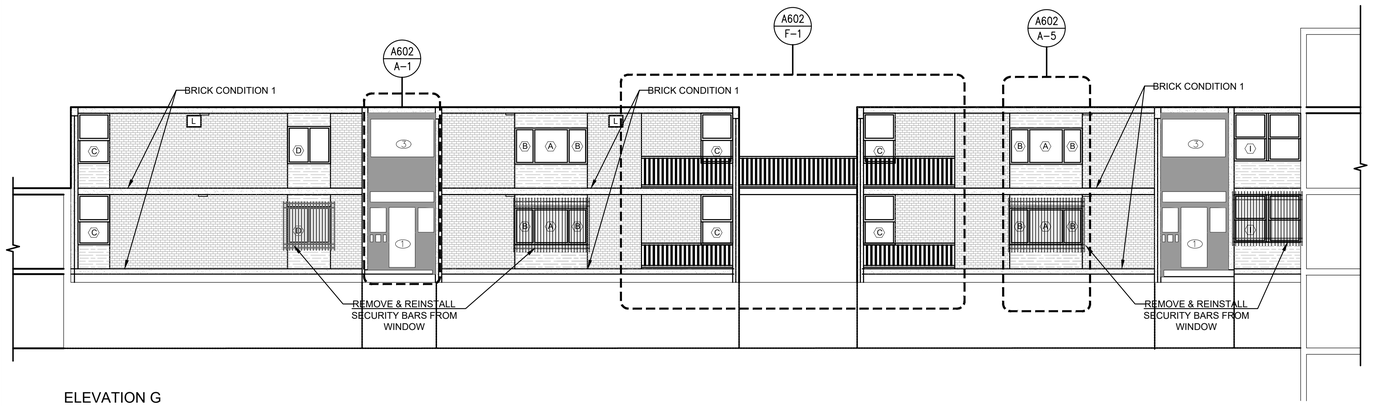
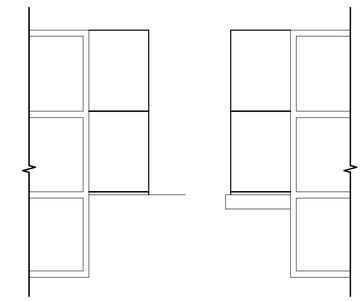
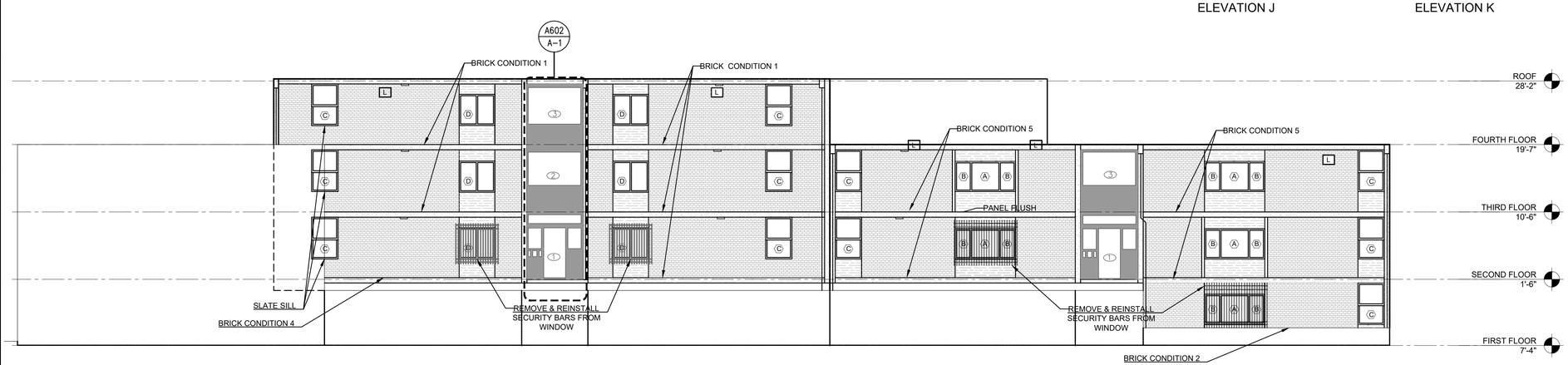


ELEVATION G

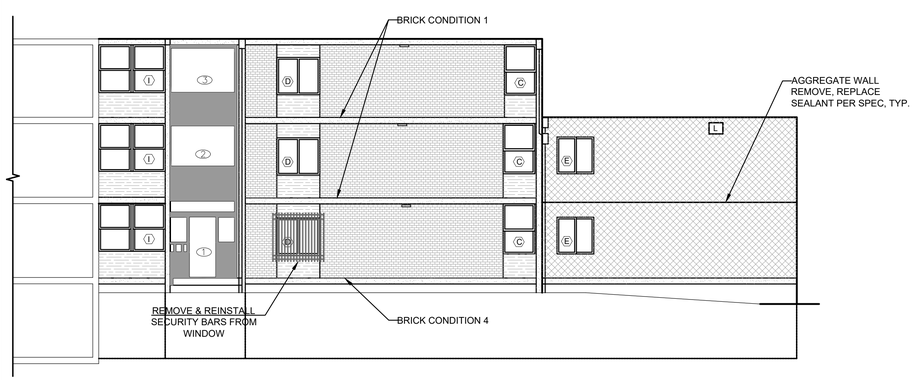


PARTIAL ELEVATION J

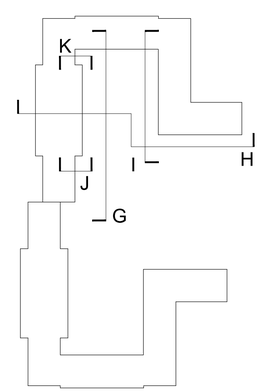
PARTIAL ELEVATION K



ELEVATION H



ELEVATION I



BRICK CONDITION KEY:

- CONDITION 1: BRICK FLUSH TO PLANK
- CONDITION 2: BRICK 1/2" BACK FROM PLANK
- CONDITION 3: BRICK +/- 1" BACK FROM PLANK
- CONDITION 4: BRICK 2" BACK FROM PLANK
- CONDITION 5: BRICK 4" BACK FROM PLANK

LEGEND

- BRICK
- FIBERCEMENT PANEL
- EXPOSED AGGREGATE CONCRETE
- SMOOTH CONCRETE
- INSULATED PANEL
- EXISTING LIGHT FIXTURE
- NEW BRICK VENT FOR EXHAUST

NOTES

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CONSTRUCTION GENERAL NOTES:

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BRICK/ WALL ASSEMBLIES:

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- PROVIDE BRICK VENTS AT LOCATIONS OF NEW KITCHEN EXHAUSTS.

CONCRETE:

- REPAIR EXPOSED EDGES OF CONCRETE SLABS.

METALWORK:

- REPAIR, SCRAPE, PAINT AND REINSTALL SECURITY GRATES AND BALCONY RAILINGS.
- AT ALL DOWNSPOUTS, REPLACE PVC OR CAST IRON BOOT AND REPLACE WITH NEW 6" CAST IRON PIPE AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON CIVIL DRAWINGS.

WINDOWS:

- PROVIDE NEW FIBERGLASS WINDOWS AS SCHEDULED.

PAINT:

- SCRAPE, PREP AND PAINT ALL PAINTED SURFACES, EXTERIOR DOORS, PANELS, ETC.
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SITE:

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- REPLACE SITE AND STAIR RAILS AS INDICATED ON CIVIL DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

joy st design
JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title BUILDING ELEVATIONS

Designed MW/SGM/TPL
Checked
Project No. 15002
Scale 1/8"=1'-0"
Date 06/15/18
Drawing No. A201

A-1 EXTERIOR ELEVATIONS
1/8"=1'-0"

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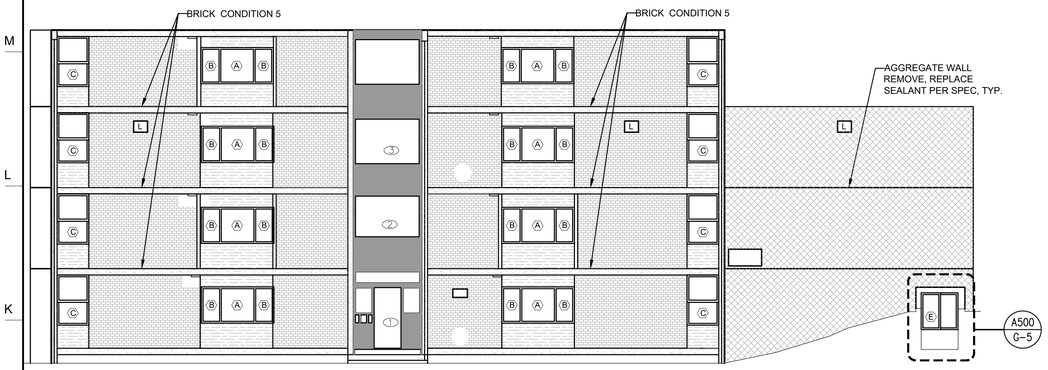
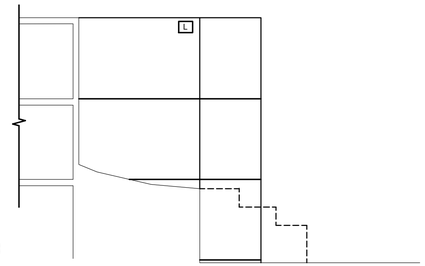
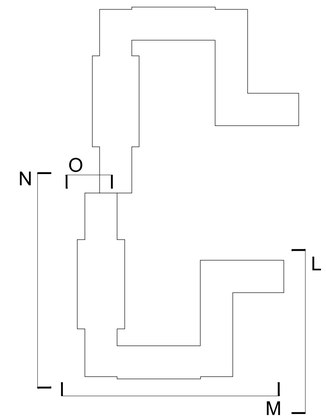
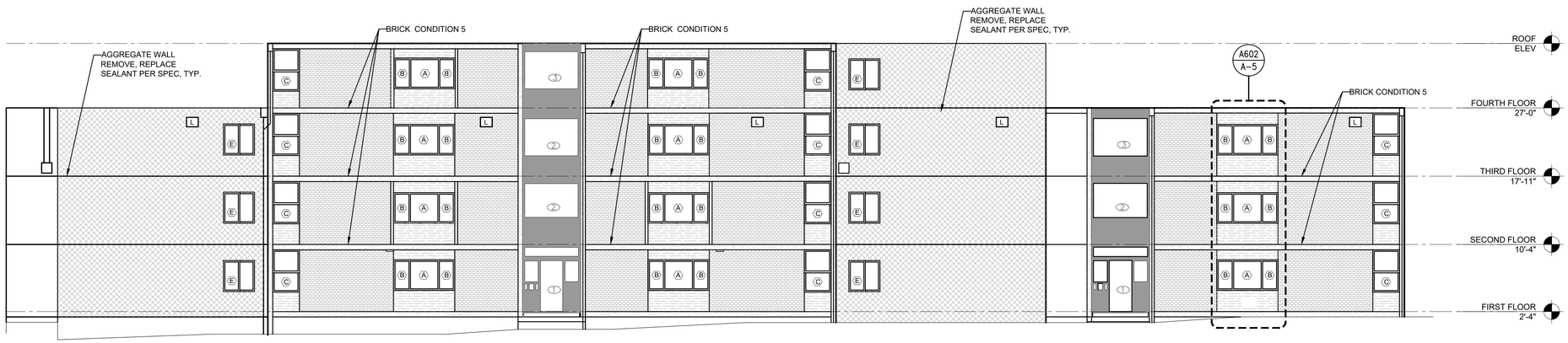


ELEVATION L

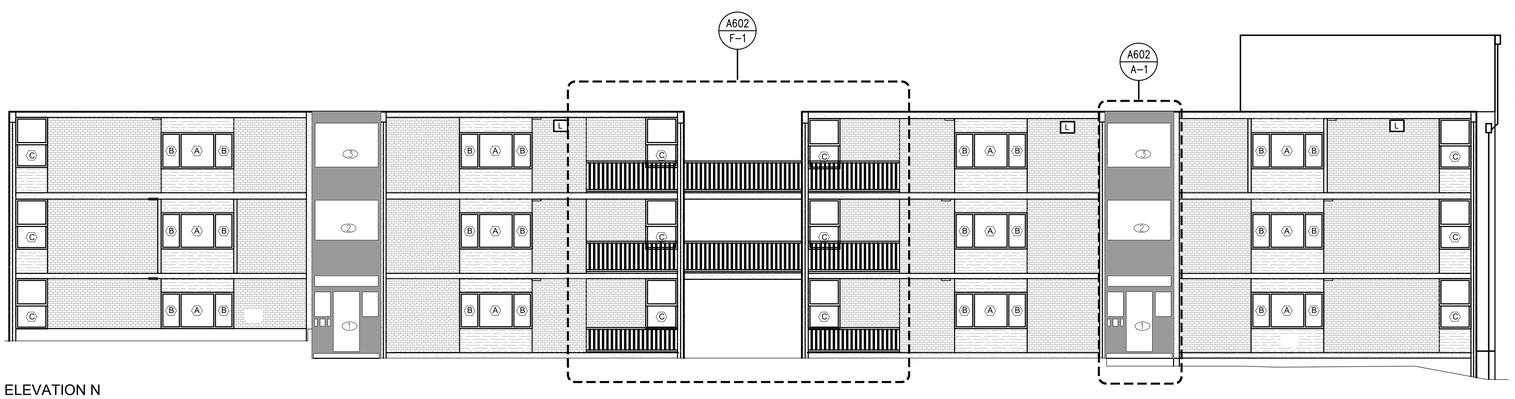


PARTIAL
ELEVATION O





ELEVATION M



ELEVATION N

BRICK CONDITION KEY:

- CONDITION 1: BRICK FLUSH TO PLANK
- CONDITION 2: BRICK 1/2" BACK FROM PLANK
- CONDITION 3: BRICK +/- 1" BACK FROM PLANK
- CONDITION 4: BRICK 2" BACK FROM PLANK
- CONDITION 5: BRICK 4" BACK FROM PLANK

LEGEND

- BRICK
- FIBERCEMENT PANEL
- EXPOSED AGGREGATE CONCRETE
- SMOOTH CONCRETE
- INSULATED PANEL
- EXISTING LIGHT FIXTURE
- NEW BRICK VENT FOR EXHAUST

NOTES

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- PROVIDE BRICK VENTS AT LOCATIONS OF NEW KITCHEN EXHAUSTS.

CONCRETE:

- REPAIR EXPOSED EDGES OF CONCRETE SLABS.

METALWORK:

- REPAIR, SCRAPE, PAINT AND REINSTALL SECURITY GRATES AND BALCONY RAILINGS.
- AT ALL DOWNSPOUTS, REPLACE PVC OR CAST IRON BOOT AND REPLACE WITH NEW 6" CAST IRON PIPE AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON CIVIL DRAWINGS.

WINDOWS:

- PROVIDE NEW FIBERGLASS WINDOWS AS SCHEDULED.

PAINT:

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No.	REVISIONS/SUBMISSIONS	Date

joy st design

JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title BUILDING ELEVATIONS

Designed MW/SGM/TPL
Checked
Project No. 15002
Scale 1/8"=1'-0"
Date 06/15/18
Drawing No. A202

A-1 | EXTERIOR ELEVATIONS
1/8"=1'-0"

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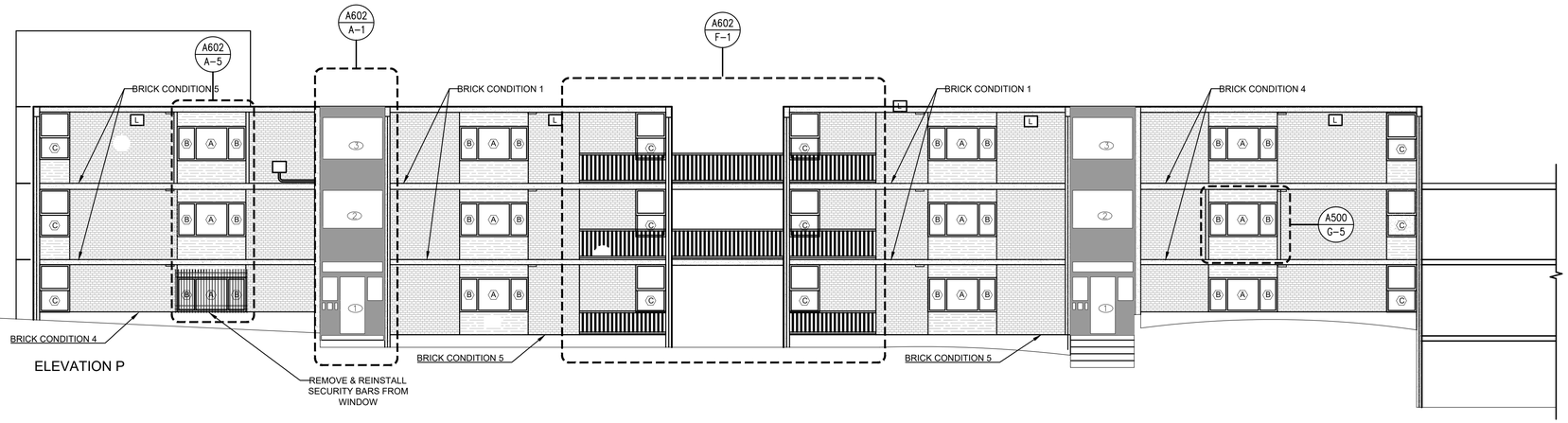
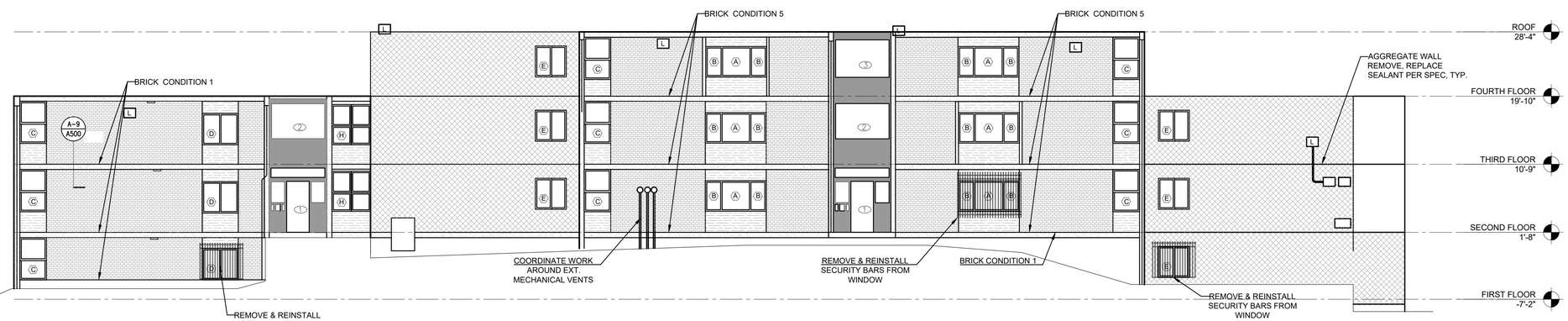


ELEVATION P



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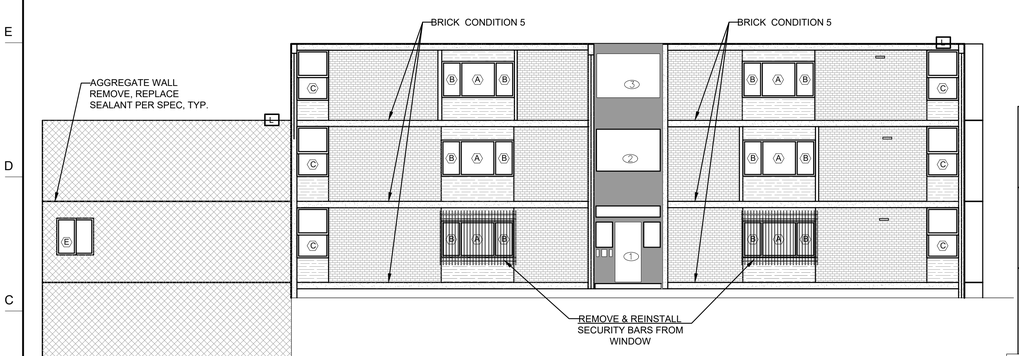

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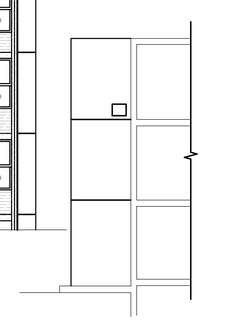
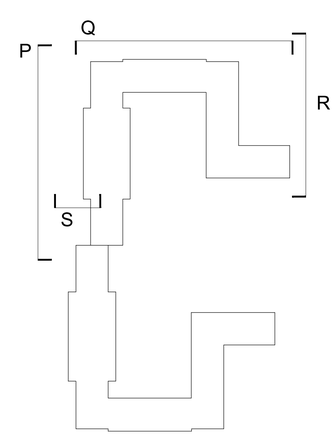


PARTIAL
ELEVATION S



BRICK CONDITION KEY (SEE ALSO A510):

- CONDITION 1: BRICK FLUSH TO PLANK
- CONDITION 2: BRICK 1/2" BACK FROM PLANK
- CONDITION 3: BRICK +/- 1" BACK FROM PLANK
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LEGEND

- BRICK
- FIBERCEMENT PANEL
- EXPOSED AGGREGATE CONCRETE
- SMOOTH CONCRETE
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NOTES

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BRICK/ WALL ASSEMBLIES:

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- PROVIDE BRICK VENTS AT LOCATIONS OF NEW KITCHEN EXHAUSTS.

CONCRETE:

- REPAIR EXPOSED EDGES OF CONCRETE SLABS.

METALWORK:

- REPAIR, SCRAPE, PAINT AND REINSTALL SECURITY GRATES AND BALCONY RAILINGS.
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WINDOWS:

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PAINT:

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joy st design
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ROXBURY, MA

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Designed MW/SGM/TPL
Checked
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Scale 1/8"=1'-0"
Date 06/15/18
Drawing No. A203

A-1 EXTERIOR ELEVATIONS
1/8"=1'-0"

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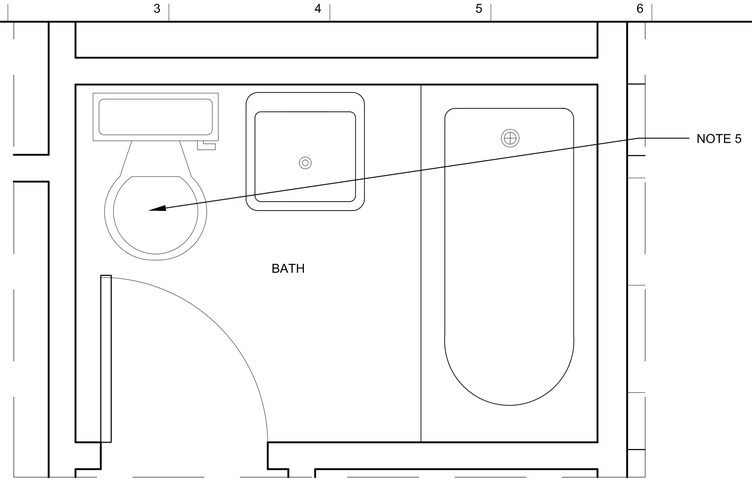
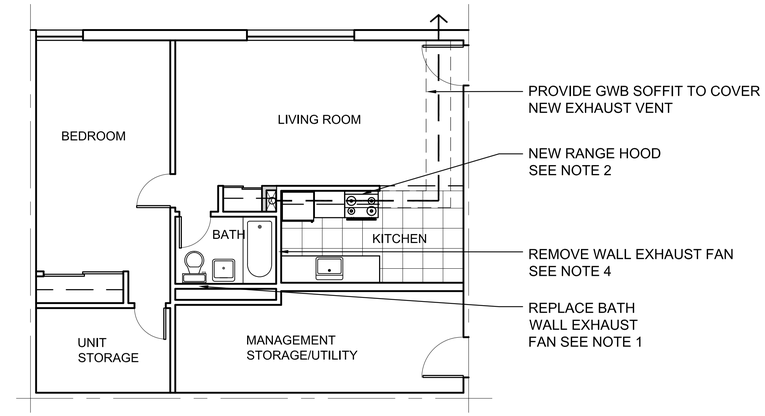


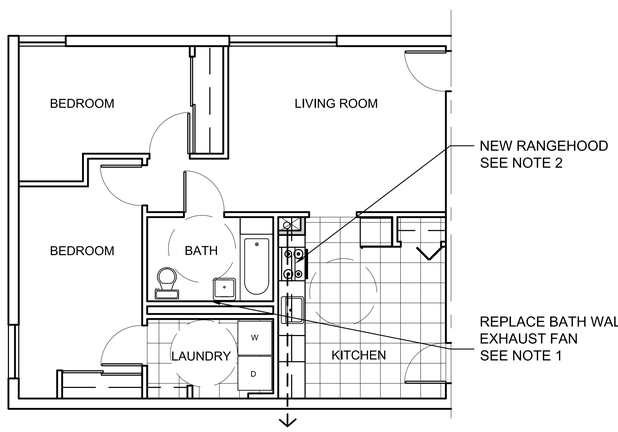
J-1 | TYPICAL UNIT BATHROOM (EXCEPT AT FIRST FLOOR UNITS)

3/16"=1'-0"



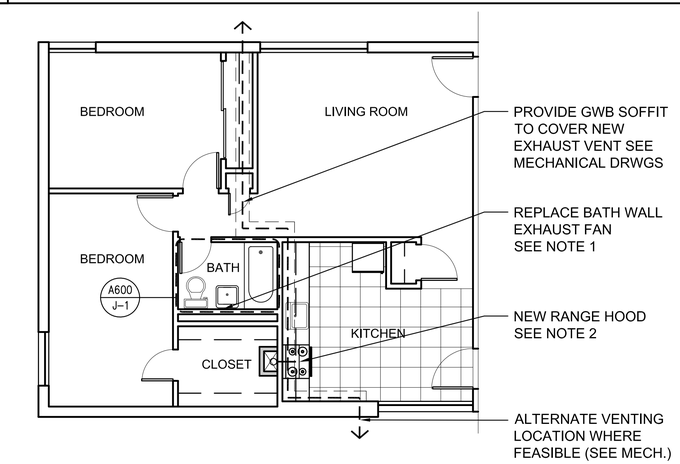
J-7 | UNIT TYPE C

3/16"=1'-0"



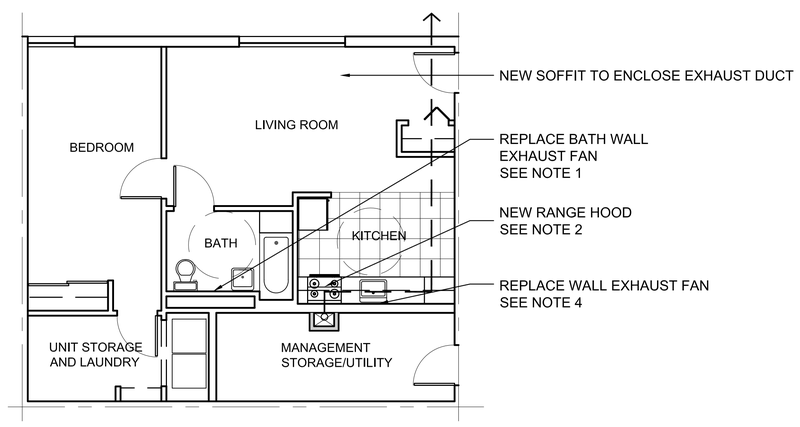
E-1 | UNIT TYPE E

3/16"=1'-0"



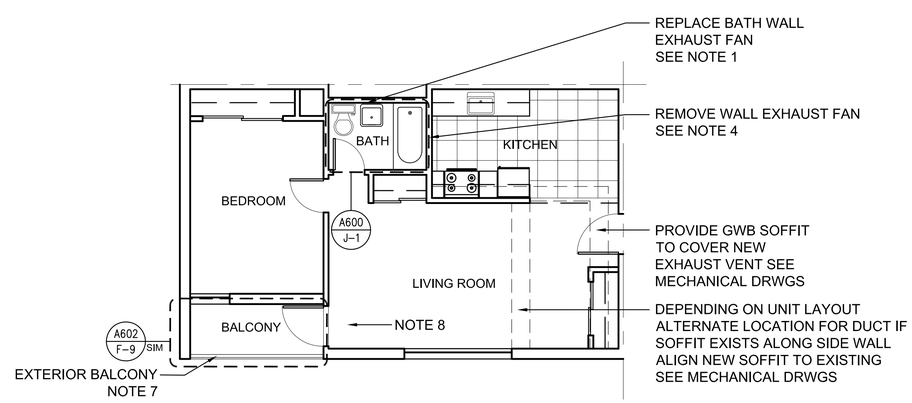
E-7 | UNIT TYPE B

3/16"=1'-0"



A-1 | UNIT TYPE D

3/16"=1'-0"



A-7 | UNIT TYPE A

3/16"=1'-0"

NOTES

DO NOT SCALE DRAWINGS.

ENLARGED PLAN GENERAL NOTES:

- UNITS WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE PROTECTION FOR OCCUPIED UNITS DURING ALL PHASES OF WORK. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT RESIDENTS BELONGINGS AND TO RETURN THE UNIT TO A HABITABLE, CLEAN STATE AT THE END OF EACH WORK DAY.
- ALUMINUM WIRING REMEDIATION SCOPE PER ELECTRICAL DRAWINGS.
- REPLACE THERMOSTAT IN EACH UNIT. REPLACE 20% OF EXISTING BASEBOARD RADIATORS. SEE MECHANICAL DRAWINGS. LOCATIONS TO BE DETERMINED ON FIELD BY OWNER'S REP.
- PAINT ALL UNIT INTERIORS, WALLS, CEILINGS, DOORS AND TRIM (WITH THE EXCEPTION OF CLOSET INTERIORS).

ENLARGED PLAN KEY NOTES:

NOTE 1: REPLACE BATH WALL EXHAUST FAN AS SCHEDULED. RELOCATE FAN CLOSER TO CEILING. CONNECT TO EXISTING DUCT. CLEAN EXISTING DUCT TO ROOF. SEE MECHANICAL PLANS FOR LOCATIONS.

NOTE 2: NEW KITCHEN EXHAUST HOOD AND DUCTED VENT TO EXTERIOR. PROVIDE SOFFIT. **61 LOCATIONS**

NOTE 3: SEE EXTERIOR ELEVATIONS AND BUILDING PLANS FOR ADDITIONAL BALCONY REPAIR SCOPE.

NOTE 4: REMOVE EXISTING KITCHEN WALL FANS (UNITS A,C AND ACCESSIBLE UNITS). CAP DUCT AND PATCH, PAINT WALL. 12 LOCATIONS

NOTE 5: REPLACE REAR DISCHARGE TOILETS. SEE PLUMBING DRAWINGS. REMOVE AREA OF CERAMIC TILE AND CHIP SLAB TOPPING AS REQUIRED (DEPTH VARIES) TO ALIGN OUTLET WITH EXISTING PIPE. LEVEL SLAB AT CHIPPED AREA AND PATCH CERAMIC TILE TO MATCH EXISTING.

ADD ALTERNATE: WHERE EXISTING CERAMIC TILE IS IN POOR CONDITION, REMOVE C.T. THROUGHOUT BATH. PREP FLOOR AND PROVIDE NEW SHEET VINYL FLOOR. REMOVE AND REINSTALL EXISTING VANITY.

ADD ALTERNATE: PROVIDE UNIT PRICE FOR NEW VANITY AND UNIT PRICE TO INSTALL.

NOTE 6: AT ALL COMMON AREA INTERIOR STAIRWAYS PAINT STAIR WALLS AND CEILINGS, SCRAPE & PAINT ALL RAILINGS, METAL, STRINGERS & UNDERSIDE OF THE TREADS.

NOTE 7: AT ALL UNIT BALCONIES PREP, TOP AND COAT PER SPECIFICATIONS AND A500 DETAILS.

NOTE 8: NEW IN-SWINGING STORM DOOR AT INTERIOR TO BALCONY, TYPICAL. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION.

NOTE 9: REMOVE ALL UPPER AND LOWER CABINETS, COUNTERTOP, AND APPLIANCES. PROTECT AND STORE FOR REUSE BY OWNER/BUILDING MANAGEMENT. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION. **COMMUNITY ROOM KITCHEN ONLY.**

NOTE 10: INSTALL NEW LAMINATE COUNTERTOP AND BASE AND UPPER CABINETS AT ACCESSIBLE HEIGHT AS SHOWN. **COMMUNITY ROOM KITCHEN ONLY.**

NOTE 11: INSTALL NEW ACCESSIBLE COOKTOP, RANGEHOOD, SINK AND FAUCET AS SPECIFIED. SEE MEP DRAWINGS. **COMMUNITY ROOM KITCHEN ONLY.**

NOTE 12: PROVIDE PROTECTIVE PANEL OR SCALD ABRASION PROTECTION AT PIPES. **COMMUNITY ROOM KITCHEN ONLY.**

No.	REVISIONS/SUBMISSIONS	Date

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joy st design

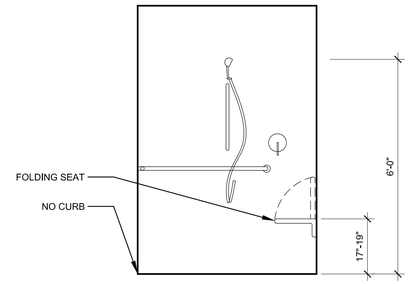
JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

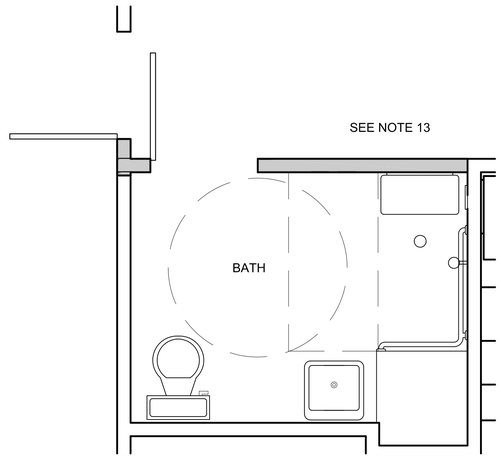
Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title UNIT FLOOR PLANS

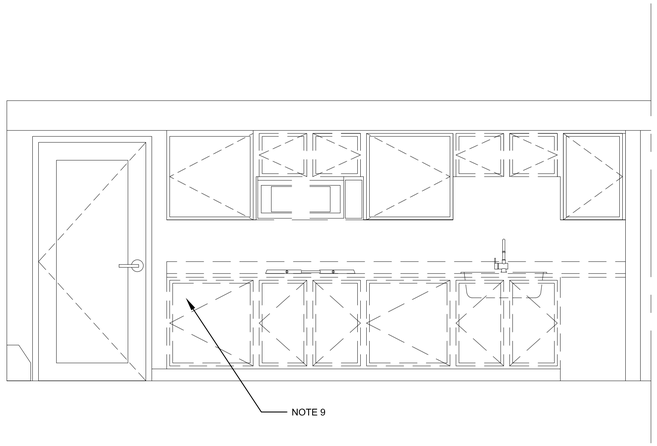
Designed	SGM/TPL
Checked	
Project No.	15002
Scale	AS NOTED
Date	06/15/18
Drawing No.	A600



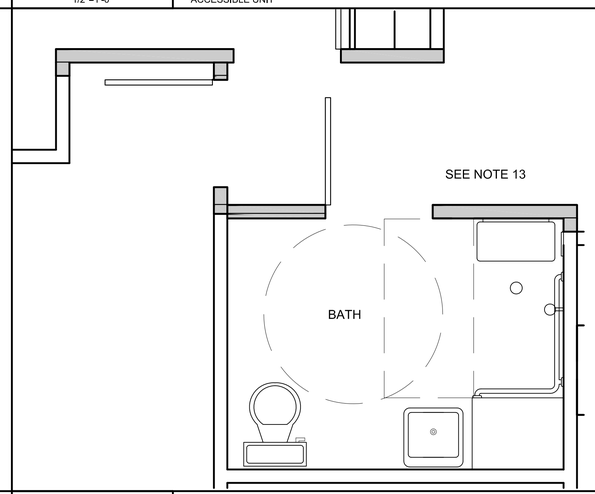
J-5	PROPOSED ACCESSIBLE SHOWER
1/2"=1'-0"	



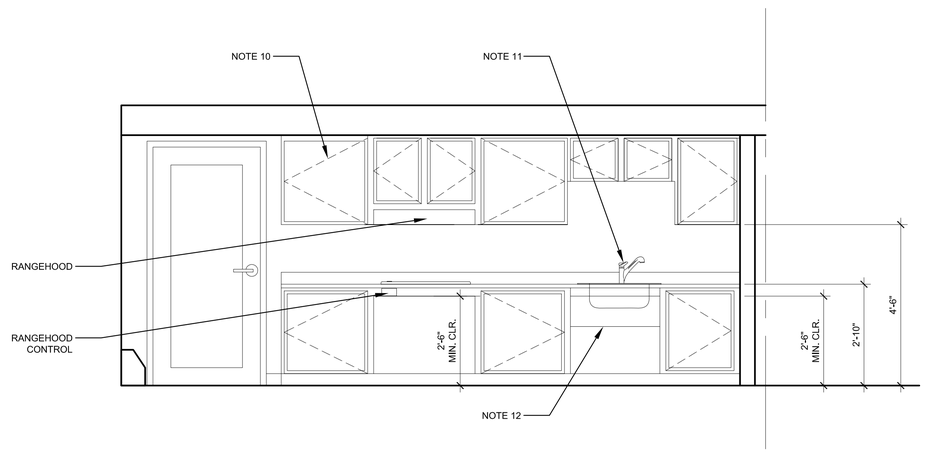
J-9	ENLARGED UNIT BATHROOM PLAN - UNIT D
1/2"=1'-0"	ACCESSIBLE UNIT



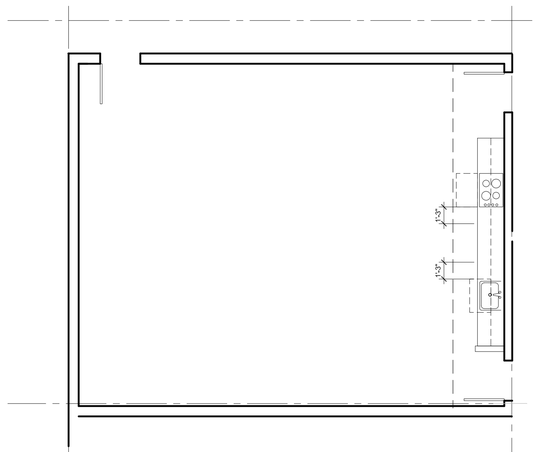
E-1	COMMUNITY ROOM ELEVATION - EXISTING
1/2"=1'-0"	



E-9	ENLARGED UNIT BATHROOM PLAN - UNIT E ALTERNATE
1/2"=1'-0"	ACCESSIBLE UNIT



A-1	COMMUNITY ROOM ELEVATION - PROPOSED
1/2"=1'-0"	



A-9	COMMUNITY ROOM FLOOR PLAN
3/16"=1'-0"	

NOTES

DO NOT SCALE DRAWINGS.

ENLARGED PLAN GENERAL NOTES:

- UNITS WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE PROTECTION FOR OCCUPIED UNITS DURING ALL PHASES OF WORK. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT RESIDENTS BELONGINGS AND TO RETURN THE UNIT TO A HABITABLE, CLEAN STATE AT THE END OF EACH WORK DAY.
- ALUMINUM WIRING REMEDIATION SCOPE PER ELECTRICAL DRAWINGS.
- REPLACE THERMOSTAT IN EACH UNIT. REPLACE 20% OF EXISTING BASEBOARD RADIATORS. SEE MECHANICAL DRAWINGS. LOCATIONS TO BE DETERMINED ON FIELD BY OWNER'S REP.
- PAINT ALL UNIT INTERIORS, WALLS, CEILINGS, DOORS AND TRIM (WITH THE EXCEPTION OF CLOSET INTERIORS).

ENLARGED PLAN KEY NOTES:
NOTE 1: REPLACE BATH WALL EXHAUST FAN AS SCHEDULED. RELOCATE FAN CLOSER TO CEILING. CONNECT TO EXISTING DUCT. CLEAN EXISTING DUCT TO ROOF. SEE MECHANICAL PLANS FOR LOCATIONS.

NOTE 2: NEW KITCHEN EXHAUST HOOD AND DUCTED VENT TO EXTERIOR. PROVIDE SOFFIT. **61 LOCATIONS**

NOTE 3: SEE EXTERIOR ELEVATIONS AND BUILDING PLANS FOR ADDITIONAL BALCONY REPAIR SCOPE.

NOTE 4: REMOVE EXISTING KITCHEN WALL FANS (UNITS A,C AND ACCESSIBLE UNITS). CAP DUCT AND PATCH, PAINT WALL. **12 LOCATIONS**

NOTE 5: REPLACE REAR DISCHARGE TOILETS, SEE PLUMBING DRAWINGS. REMOVE AREA OF CERAMIC TILE AND CHIP SLAB TOPPING AS REQUIRED (DEPTH VARIES) TO ALIGN OUTLET WITH EXISTING PIPE. LEVEL SLAB AT CHIPPED AREA AND PATCH CERAMIC TILE TO MATCH EXISTING.

ADD ALTERNATE: WHERE EXISTING CERAMIC TILE IS IN POOR CONDITION, REMOVE C.T. THROUGHOUT BATH. PREP FLOOR AND PROVIDE NEW SHEET VINYL FLOOR. REMOVE AND REINSTALL EXISTING VANITY.

ADD ALTERNATE: PROVIDE UNIT PRICE FOR NEW VANITY AND UNIT PRICE TO INSTALL.

NOTE 6: AT ALL COMMON AREA INTERIOR STAIRWAYS PAINT STAIR WALLS AND CEILINGS, SCRAPE & PAINT ALL RAILINGS, METAL, STRINGERS & UNDERSIDE OF THE TREADS.

NOTE 7: AT ALL UNIT BALCONIES PREP, TOP AND COAT PER SPECIFICATIONS AND A500 DETAILS.

NOTE 8: NEW IN-SWINGING STORM DOOR AT INTERIOR TO BALCONY, TYPICAL. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION.

NOTE 9: REMOVE ALL UPPER AND LOWER CABINETS, COUNTERTOP, AND APPLIANCES. PROTECT AND STORE FOR REUSE BY OWNER/BUILDING MANAGEMENT. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION. **COMMUNITY ROOM KITCHEN ONLY.**

NOTE 10: INSTALL NEW LAMINATE COUNTERTOP AND BASE AND UPPER CABINETS AT ACCESSIBLE HEIGHT AS SHOWN. **COMMUNITY ROOM KITCHEN ONLY.**

NOTE 11: INSTALL NEW ACCESSIBLE COOKTOP, RANGEHOOD, SINK AND FAUCET AS SPECIFIED. SEE MEP DRAWINGS. **COMMUNITY ROOM KITCHEN ONLY.**

NOTE 12: PROVIDE PROTECTIVE PANEL OR SCALD ABRASION PROTECTION AT PIPES. **COMMUNITY ROOM KITCHEN ONLY.**

NOTE 13: **ADD ALTERNATE:** DEMOLISH AND RELOCATE INTERIOR WALLS AS SHOWN. REMOVE EXISTING BATHTUB AND FLOORING. INSTALL NEW ACCESSIBLE ROLL-IN SHOWER, FAUCET, HAND-HELD SHOWER HEAD AND GRAB BARS. PATCH FLOORING TO MATCH EXISTING. REUSE EXISTING DOORS.

NOTE 14: INSTALL TRENCH DRAIN AT TILE FLOOR.

No.	REVISIONS/SUBMISSIONS	Date

joy st design
JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title UNIT FLOOR PLANS

Designed	SGM/TPL
Checked	
Project No.	15002
Scale	AS NOTED
Date	06/15/18
Drawing No.	A601

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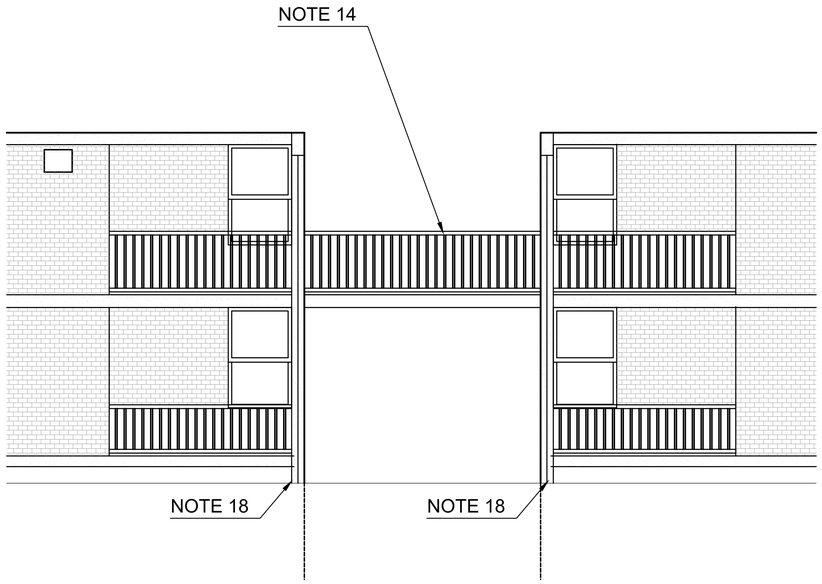
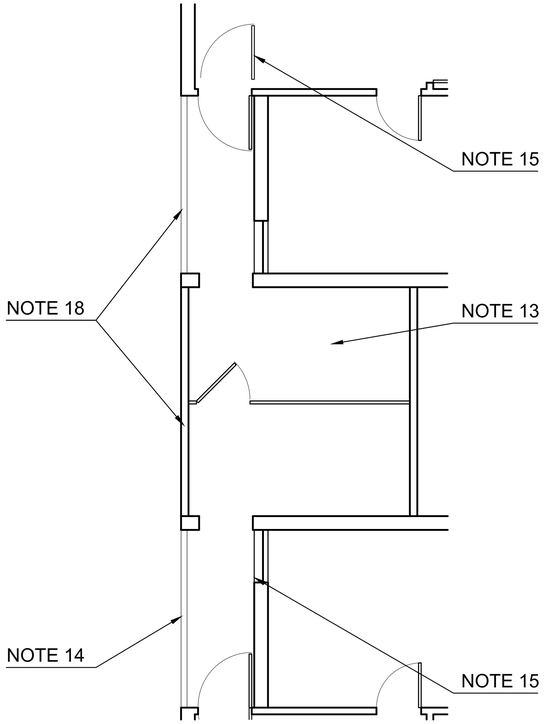


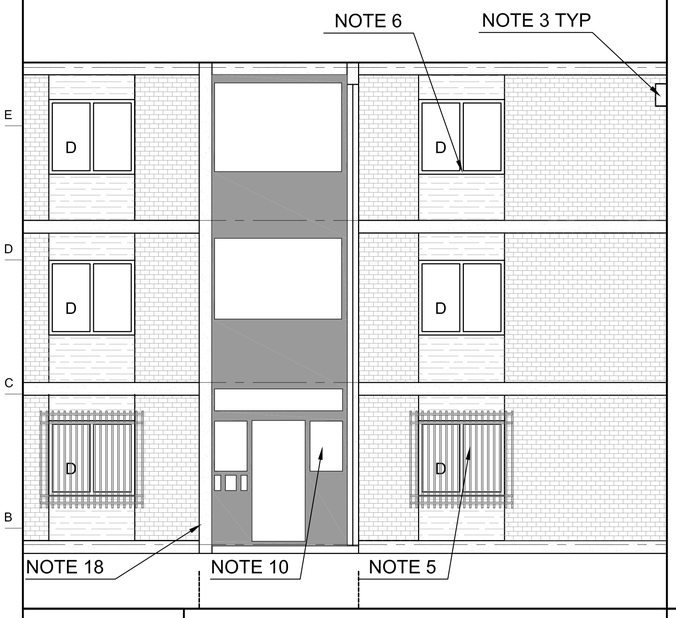
F-1 | TYPICAL EXTERIOR BALCONY ELEVATION

1/4"=1'-0"



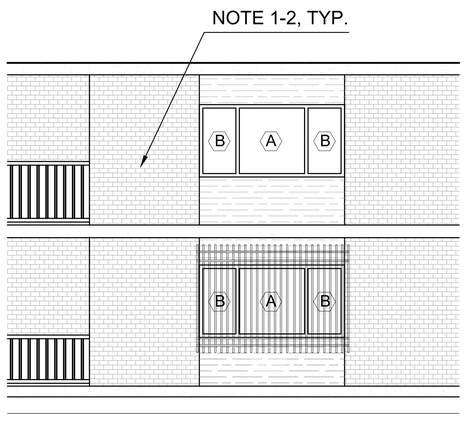
F-9 | TYPICAL EXTERIOR BALCONY PLAN

1/4"=1'-0"



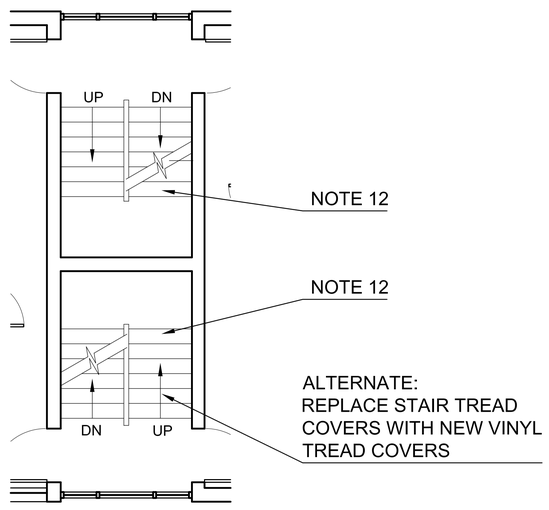
A-1 | TYPICAL STOREFRONT

1/4"=1'-0"



A-5 | TYPICAL PANELIZED WINDOW

1/4"=1'-0"



A-9 | TYPICAL INTERIOR COMMON STAIR

1/4"=1'-0"

NOTES

DO NOT SCALE DRAWINGS.

CONTRACTOR SHALL TAKE NOTE OF PRESENCE OF HAZARDOUS MATERIALS IN TRANSIT PANELS AND OTHER LOCATIONS ON SITE AS DESCRIBED IN REPORT ISSUED BY OWNER, CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROPERLY CONTAIN AND/OR DISPOSE OF SUCH MATERIALS AS NEEDED WITHIN SCOPE OF WORK.

- UNITS WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE PROTECTION FOR OCCUPIED UNITS DURING ALL PHASES OF WORK. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT RESIDENTS BELONGINGS AND RETURN THE UNIT TO A HABITABLE, CLEAN STATE AT THE END OF EACH WORK DAY.

CONSTRUCTION KEY NOTES:

BRICK/WALL ASSEMBLIES:
NOTE 1: REPLACE CORRODED AREAS OF STUDS. ASSUME 30%
NOTE 2: PROVIDE NEW SHEATHING,WEATHER BARRIER, DRAINAGE MAT, MINERAL WOOL AND FLASHING SYSTEM. SEE DETAILS AT INFILL PANELS, PROVIDE NEW FIBER CEMENT PANEL SYSTEMS.
NOTE 3: PROVIDE BRICK VENTS AT LOCATIONS OF NEW KITCHEN EXHAUSTS. COORDINATE EXACT LOCATION INFIELD WITH HVAC CONTRACTOR AS LOCATION MAY VARY IN THE FIELD WITH SITE CONDITIONS.
CONCRETE:
NOTE 4: NOT USED.
METALWORK:
NOTE 5: REPAIR, SCRAPE, PAINT AND REINSTALL SECURITY GRATES.
WINDOWS:
NOTE 6: PROVIDE NEW FIBERGLASS WINDOWS AS SCHEDULED. SEE WINDOW SCHEDULE.
PAINT:
NOTE 7: SCRAPE, PREP AND PAINT ALL SURFACES, EXTERIOR DOORS, PANELS ETC., TYPICAL.
NOTE 8: PAINT ALL UNIT INTERIORS (WITH THE EXCEPTION OF CLOSET INTERIORS). SEE FINISH SCHEDULE.
NOTE 9: PAINT ALL EXTERIOR MOUNTED MECHANICAL VENTS.
NOTE 10: RECAULK/RESEAL ALL STOREFRONTS.
NOTE 11: REPLACE SEALANT AT ALL AGGREGATE WALL JOINTS PER SPEC.
NOTE 12: AT ALL COMMON AREA INTERIORS STAIRWAYS, PAINT STAIR WALLS, SCRAPE & PAINT ALL RAILINGS, METAL, STRINGERS & UNDERSIDE OF THE TREADS.
BALCONIES:
NOTE 13: AT ALL UNIT BALCONIES TOP AND RECOAT BALCONIES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. SEE SPEC AND A500 DETAILS.
NOTE 14: SCRAPE, REPAIR, AND PAINT ALL BALCONY RAILINGS.
NOTE 15: INSTALL NEW IN- SWINGING STORM DOOR AT INTERIOR TO BALCONY, TYPICAL. PROVIDE BLOCKING AS REQ'D FOR INSTALLATION.
SITE:
NOTE 16: REGRADE SOIL AND PAVING AWAY IN SELECT LOCATIONS TO PROVIDE POSITIVE DRAINAGE FROM BUILDING.
NOTE 17: REPLACE ALL SITE AND STAIR RAILS. SEE CIVIL DRAWINGS.
NOTE 18: AT ALL DOWNSPOUTS, REPLACE PVC OR CAST IRON BOOT WITH NEW 6" CAST IRON PIPE AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON CIVIL DWGS.

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joy st design
JOY STREET DESIGN
69 Joy Street
Boston, MA 02114
617-943-5750

Consultant

Project RENOVATIONS TO
WESTMINSTER COURT APARTMENTS
ROXBURY, MA

Title ENLARGED FLOOR PLANS AND ELEVATIONS

Designed SGM/TPL
Checked
Project No. 15002
Scale AS NOTED
Date 06/15/18
Drawing No. A602