



HUMBOLDT AVENUE  
(60' R.O.W.)

(FD) HUTCHINGS STREET  
(40' R.O.W.)

72.12'

65.00'

F.F. ELEV 156

244 HUMBOLDT AVE  
15,401 sq. ft.  
PROPOSED  
4 STORY  
14 UNIT  
BUILDING

WALL CHAIN LINK FENCE

4' CHAIN LINK FENCE  
RET. WALL

BUILDING  
ABOVE

235.87'

14 SPACES

NOTE: OVERHEAD  
WIRE CONFIGURATION  
TO BE ALTERED SO  
AS TO NOT  
INTERFERE WITH  
PROPOSED BUILDING

4' CHAIN LINK FENCE ON RET WALL

114.9'

GARAGE

CHAIN LINK FENCE

WOOD FENCE

65.04'

1.69'

238.91'

MHO

MHO

MHO

MHO

MHO

MHO

MHO

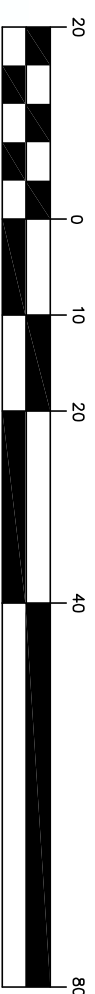
MHO

MHO

MHO

MHO

MHO



GRAPHIC SCALE

PROPOSED SITE PLAN  
244 HUMBOLDT AVE  
ROXBURY, MA  
FOR  
TIM LONGDEN

CIVIL ENVIRONMENTAL CONSULTANTS LLC

8 OAK STREET PEABODY, MA 01960 (978)531-1191

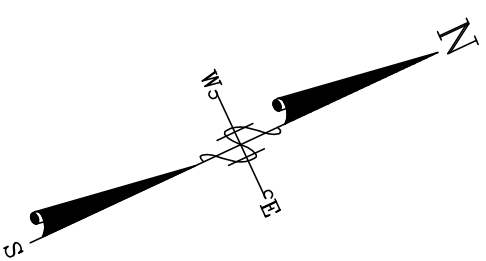
SHEET NO:

1 OF 1

DATE: 11/30/18 JOB NO:

4040

DRAWN BY: L.J.B.



# PROPOSED NEW MULTI-UNIT RESIDENTIAL BUILDING

## 244 HUMBOLDT AVENUE DORCHESTER, MASSACHUSETTS

### GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING. SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL WARRANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

### FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT. FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

### CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
3. ALL CONCRETE SLABS SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

### WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

### DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE EIGHTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD	=40 POUNDS PER SQUARE FOOT FLOORS
	= 100 POUNDS PER SQUARE FOOT - DECK AND STAIRS
DESIGN SNOW LOAD	= 45 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.
WIND LOAD SEISMIC:	= 105 MILES PER HOUR

Ss = 0.29  
S1 = 0.068

### REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OF HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT A REPRODUCIBLE SEPIA AND FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 

A. FOOTINGS	3 INCHES
B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE	2 INCHES
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER	1-1/2 INCHES
D. TOP STEEL OF INTERIOR SLABS	1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

### WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM: FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM: FB=2,600 PSI, FV=285 PSI, E=1,900,000 PSI.
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT 45°, SIMPSON TYPE "CWB", OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" DIAMETER BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

### ZONING SUMMARY

ROXBURY NEIGHBORHOOD - ARTICLE 50  
MFR - MULTIFAMILY RESIDENTIAL SUBDISTRICT

ANY OTHER DWELLING	LOT SIZE	LOT AREA PER ADD. UNIT	LOT WIDTH/FRONTAGE	F.A.R	BLDG HEIGHT	OPEN SPACE PER UNIT	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	PARKING REQUIREMENT
REQUIRED BY ZONING	4,000 SF FOR FIRST 3 UNITS	1,000 SF	40'	1.0	4 STORIES 45'-0"	200 SF	20'-0"	10'	25'	1 SPACE PER UNIT
EXISTING SINGLE FAMILY	4,000 SF FOR FIRST 3 UNITS	1,000 SF	65'	1.0	2.5 STORIES	6609 SF± PER UNIT	32.9'	L: 14.3' R: 8.6'	144±	1 SPACE PER UNIT
PROPOSED MULTI-UNIT	4,000 SF FOR FIRST 3 UNITS	15401 - 4000 = 11401/11 1,036 SF PER ADD. UNIT	65'	0.99	4 STORIES 41'-0"	428 SF± PER UNIT	20.2'	L: 11.8' R: 10.2'	114.9'	14 PARKING SPACES PROVIDED

### KEY

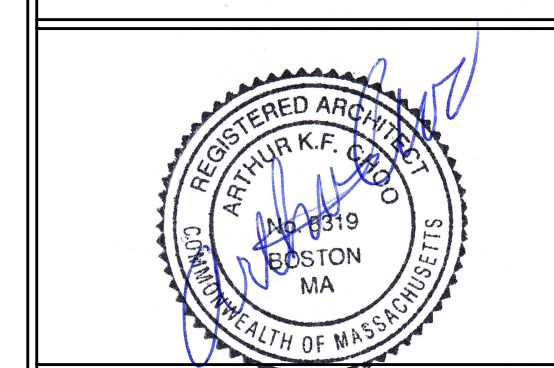
⊙	SMOKE DETECTOR
⊙	CARBON MONOXIDE DETECTOR
◇	WALL TYPE (SEE A-3.1)
⊠	FAN
⊙	45 MIN. DOOR
1	1 HOUR CLG. ABOVE (A-3.1)
▨	NEW WALL
—	EX'G WALL TO REMAIN
—	WALL TO BE REMOVED

### CODE SUMMARY

PROP. TYPE 5A CONSTRUCTION  
PROP. 4 STORY  
PROP. R-2 USE GROUP  
PROP. FULLY SPRINKLED & ALARMED

Location  
PROPOSED MULTI-UNIT  
RESIDENTIAL BUILDING  
244 HUMBOLDT AVENUE  
DORCHESTER, MA

Choo & Company, Inc.  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



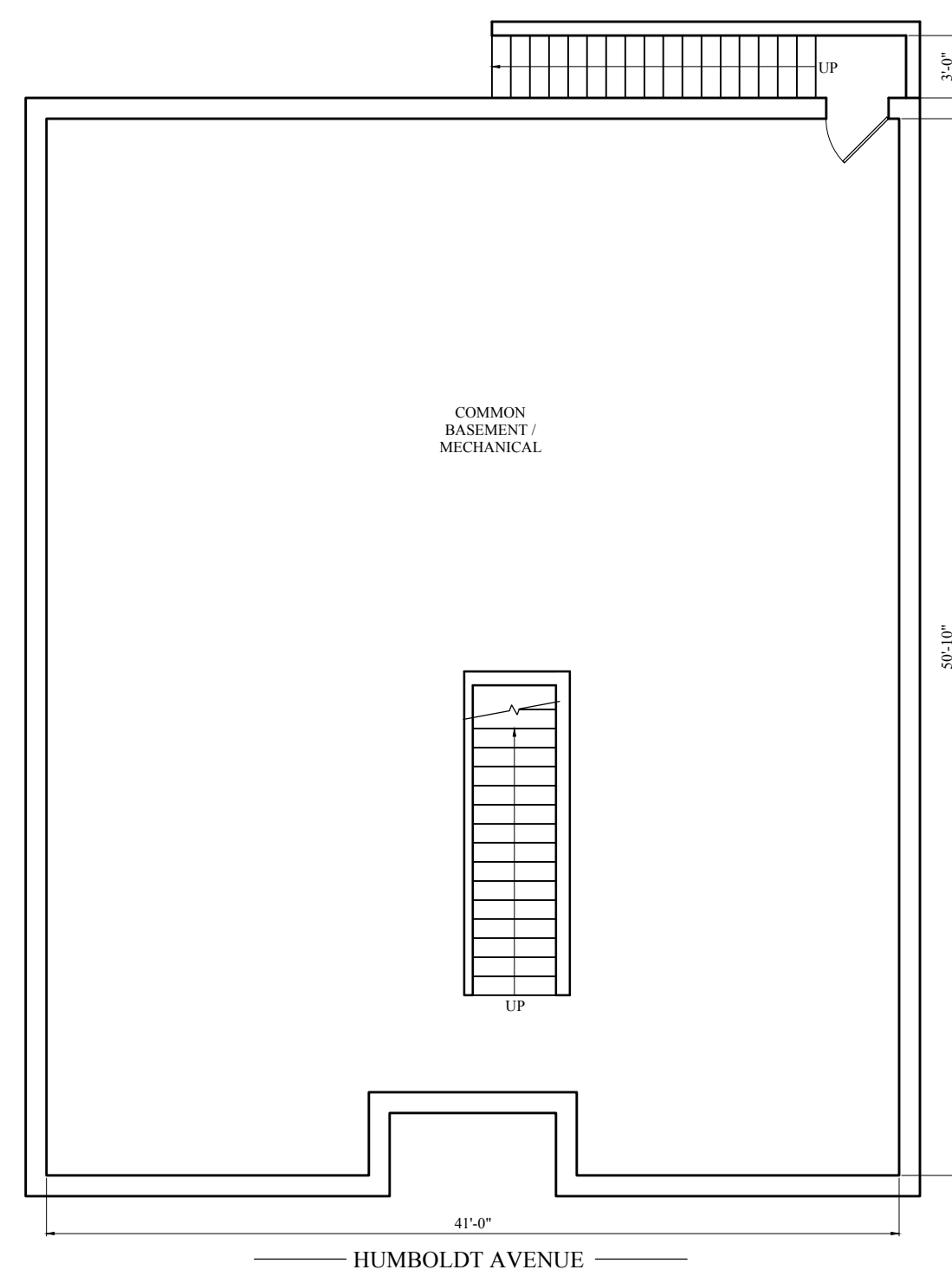
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Date: 12-05-18  
Drawn By: DRM

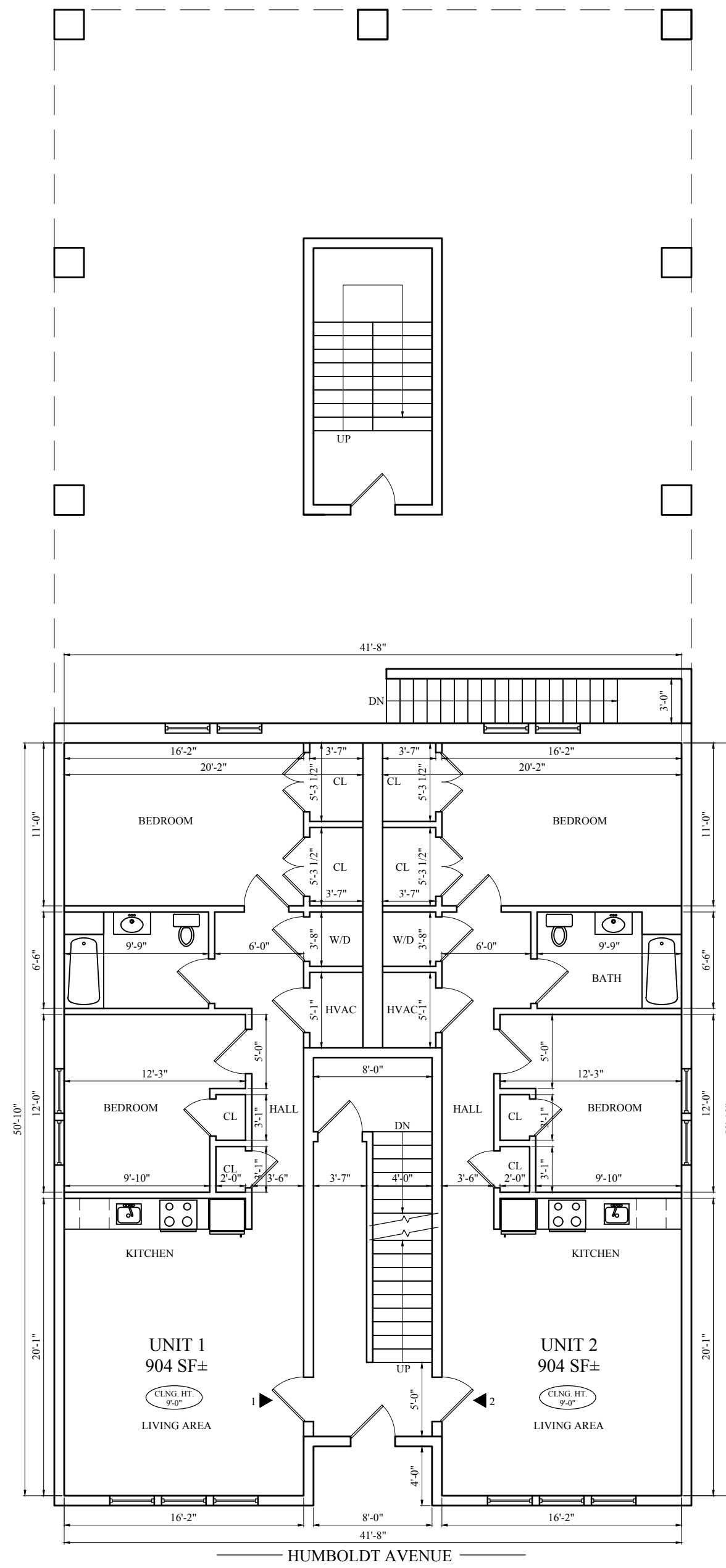
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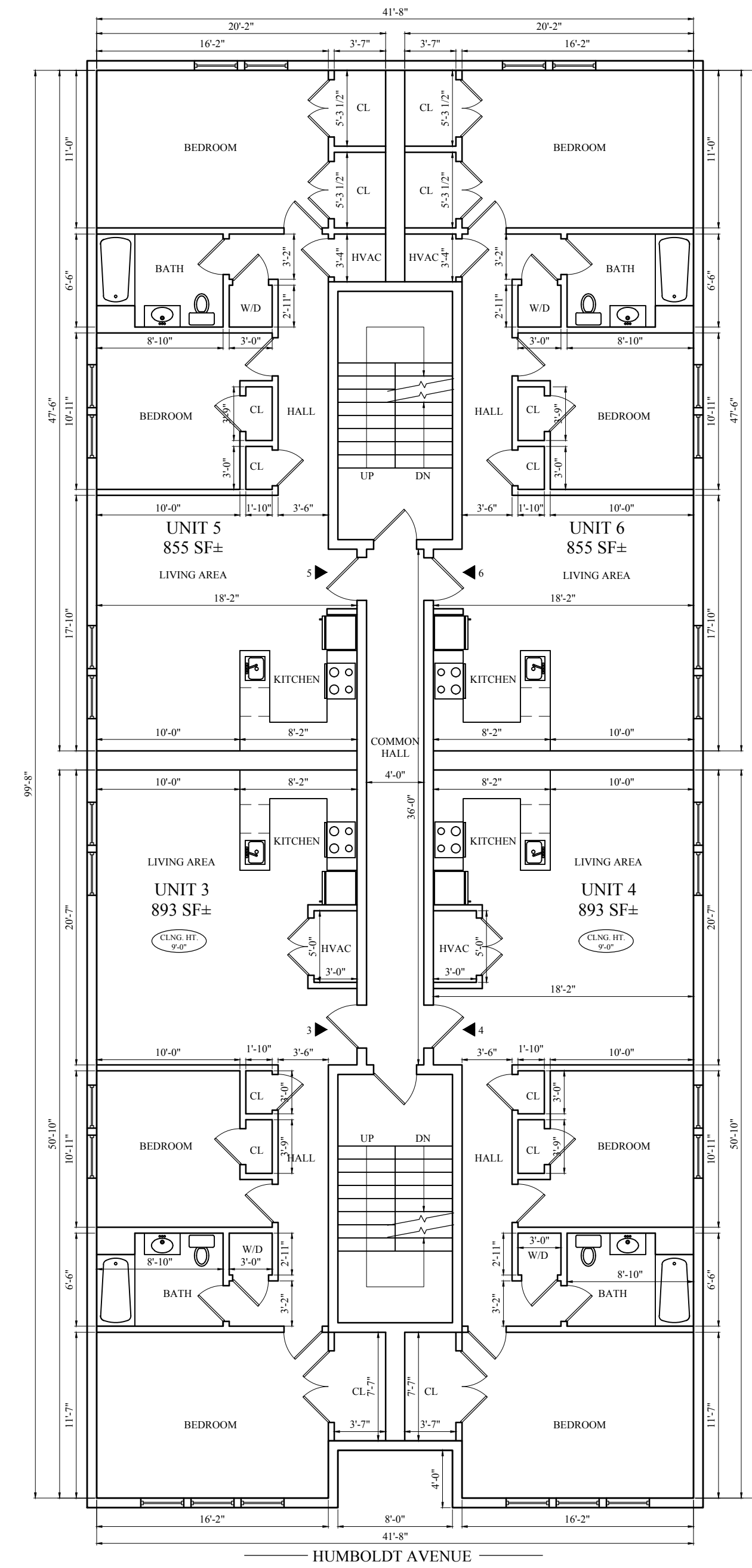
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A-0



1 BASEMENT FLOOR PLAN  
1/8" = 1'-0"



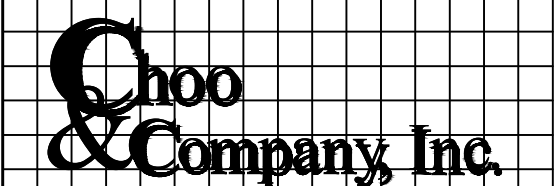
2 1ST FLOOR PLAN  
1/8" = 1'-0"



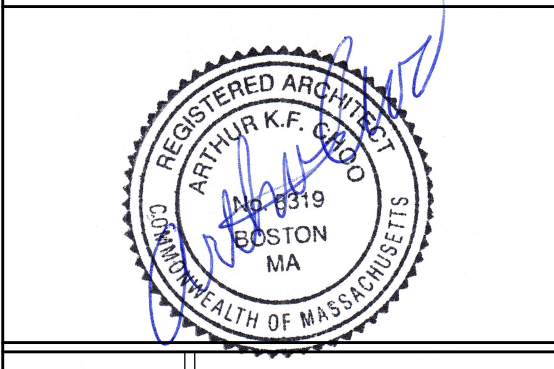
3 SECOND FLOOR PLAN  
1/8" = 1'-0"

Location

**PROPOSED MULTI-UNIT  
BUILDING  
244 HUMBOLDT AVENUE  
DORCHESTER, MA**



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date

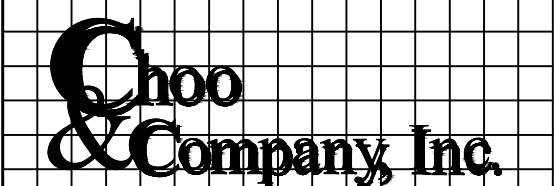
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Drawn By: DRM

Drawing Name  
**PROPOSED  
FLOOR PLANS**

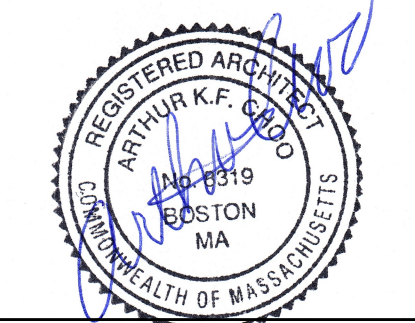
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**A-1.1**

Location

# PROPOSED MULTI-UNIT BUILDING 244 HUMBOLDT AVENUE DORCHESTER, MA



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

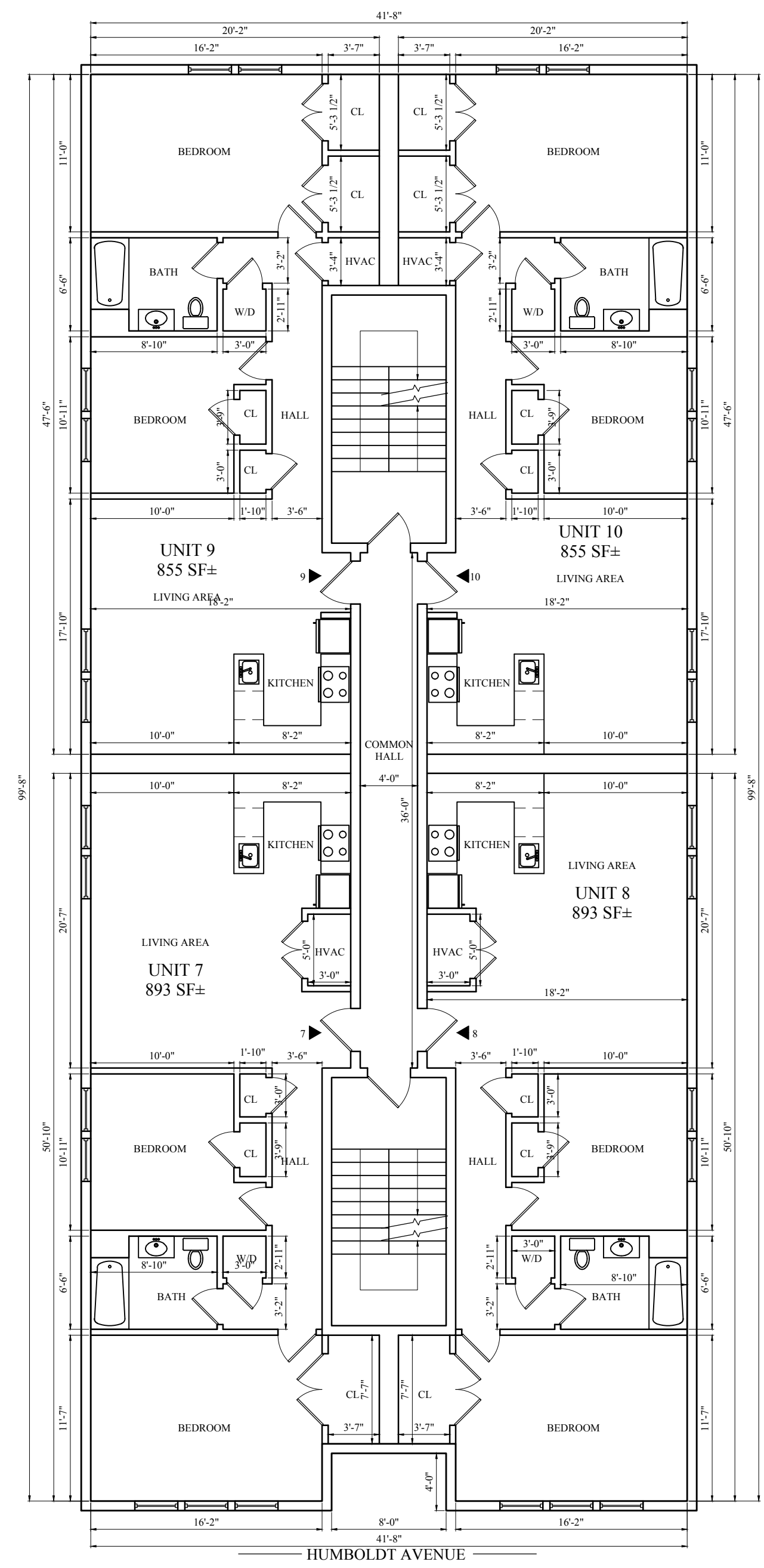


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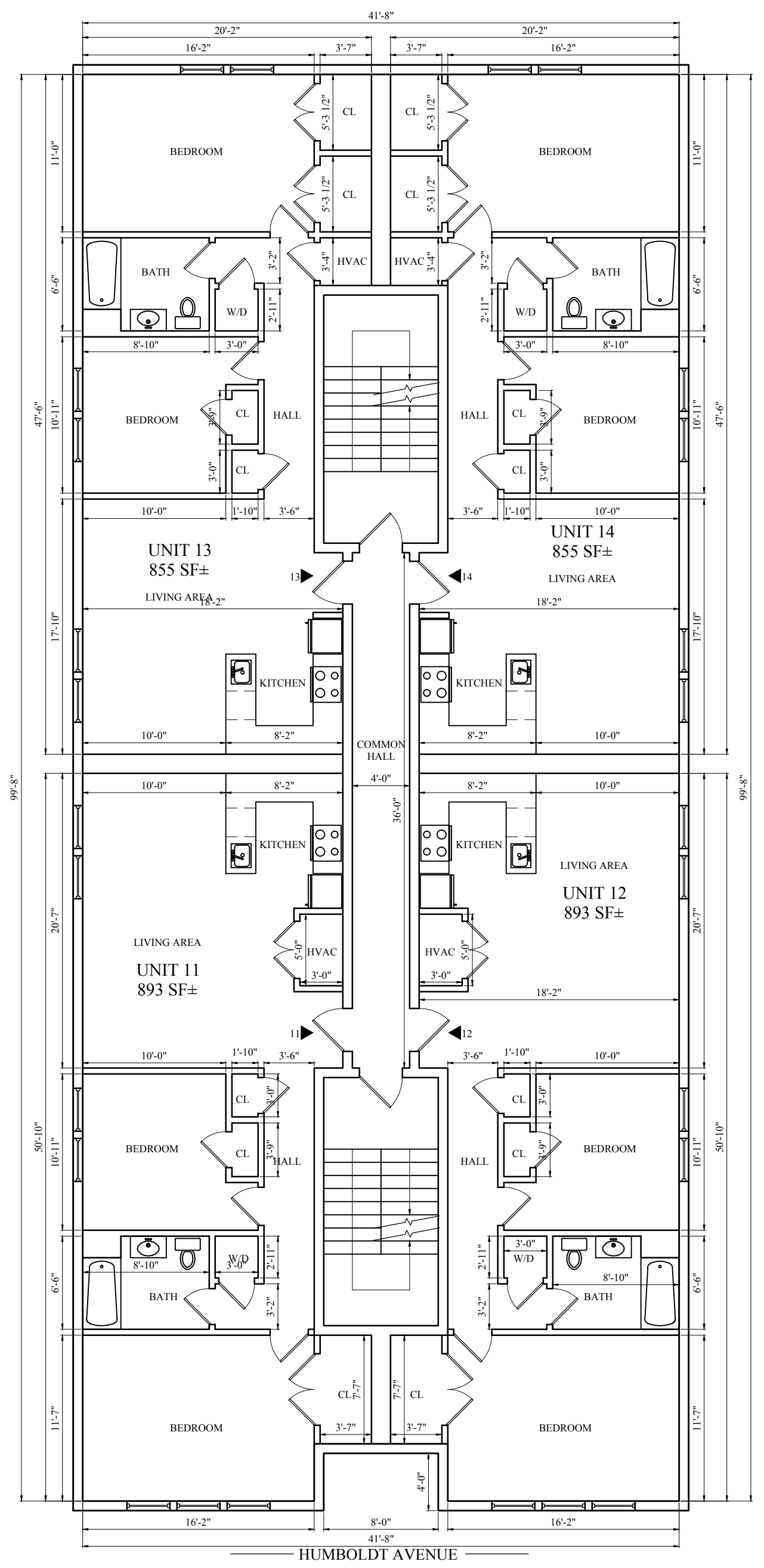
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 Drawn By: DRM

Drawing Name  
**PROPOSED FLOOR PLANS**

Sheet No.  
**A-1.1**



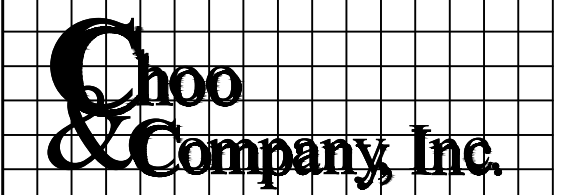
1 THIRD FLOOR PLAN  
 1/8" = 1'-0"



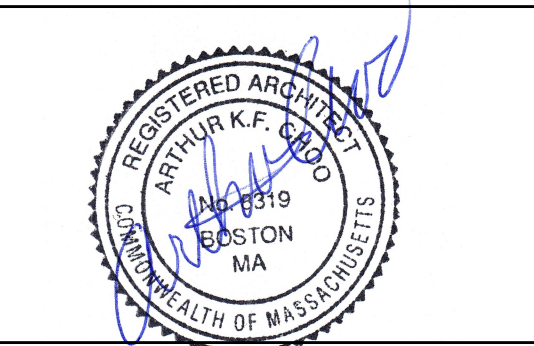
2 FOURTH FLOOR PLAN  
 1/8" = 1'-0"

Location

PROPOSED MULTI-UNIT BUILDING  
244 HUMBOLDT AVENUE  
DORCHESTER, MA



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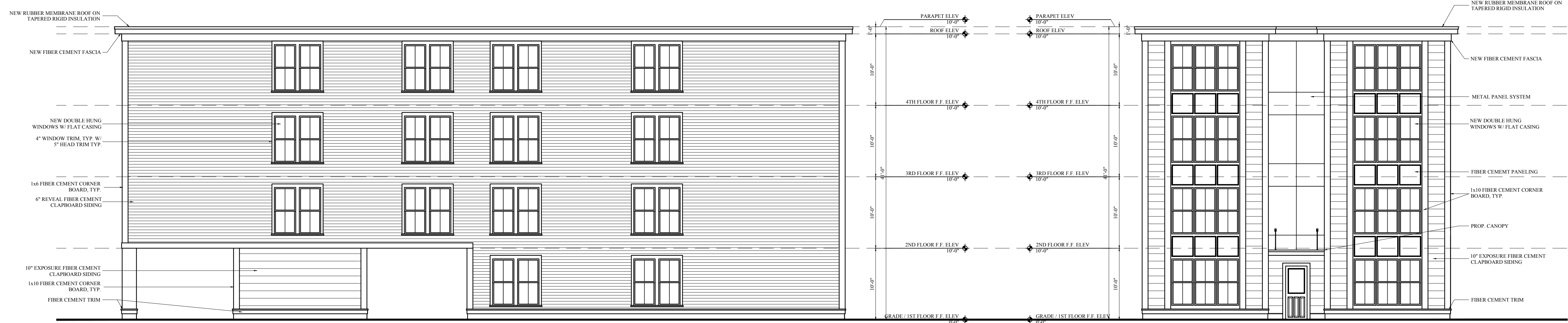


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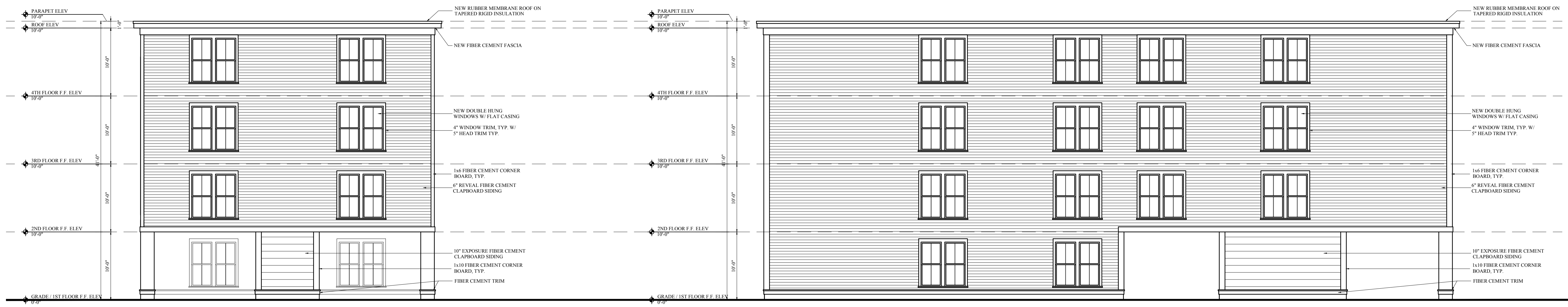
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**PROPOSED FLOOR PLANS**

Sheet No.  
**A-2.1**



1 LEFT SIDE ELEVATION  
1/8" = 1'-0"

2 FRONT ELEVATION  
1/8" = 1'-0"



3 REAR ELEVATION  
1/8" = 1'-0"

4 RIGHT SIDE ELEVATION  
1/8" = 1'-0"