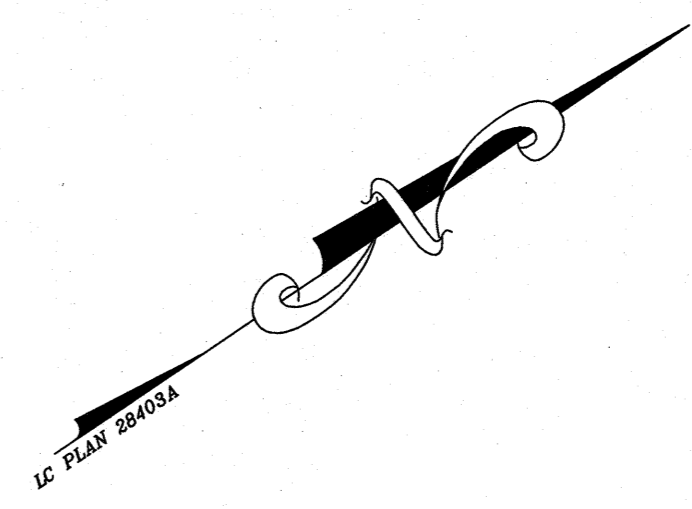
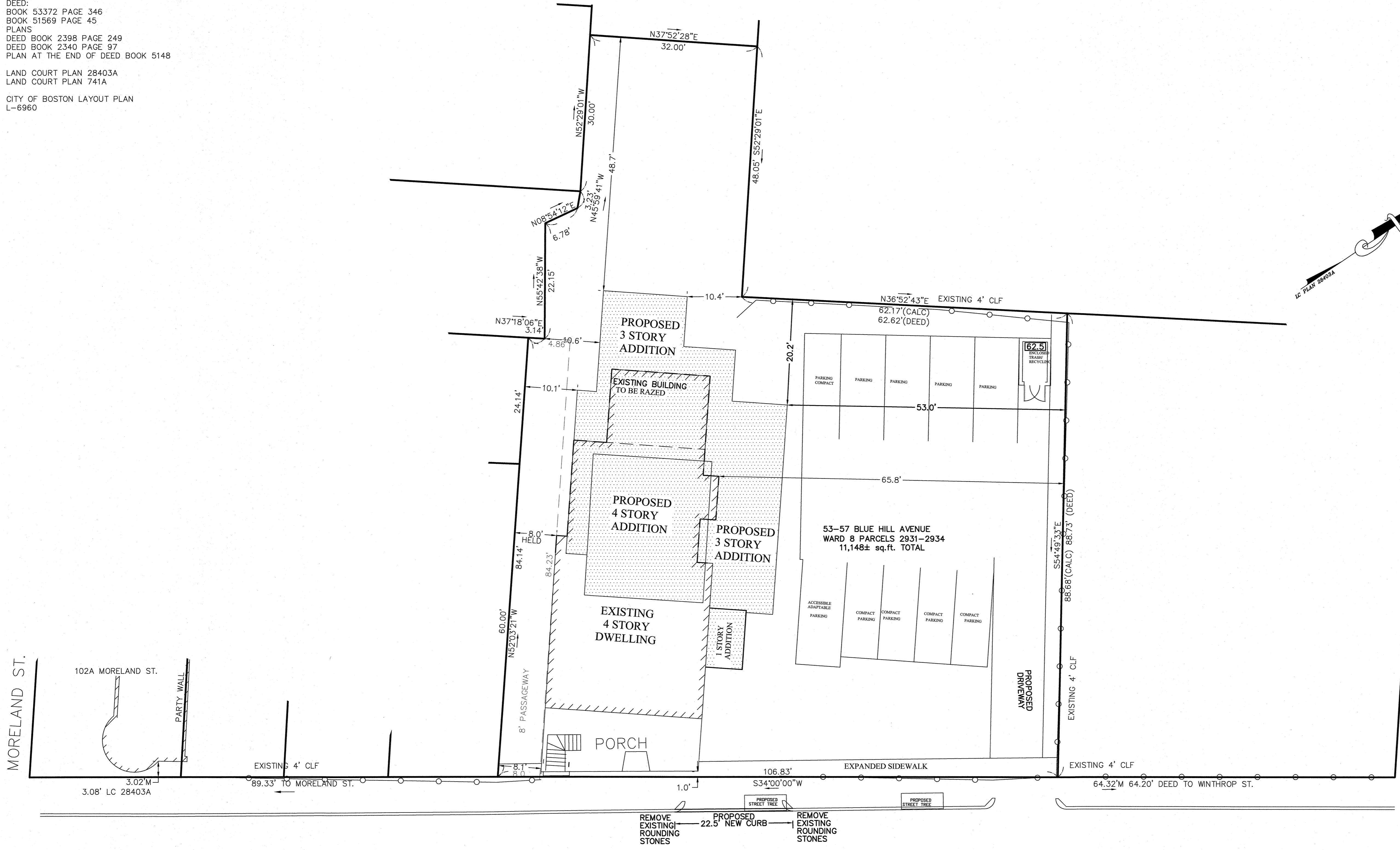
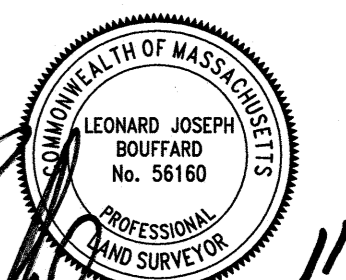
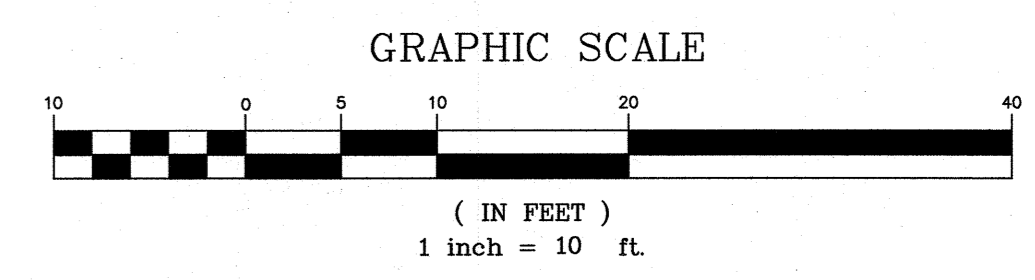


REFERENCES:
 DEED:
 BOOK 53372 PAGE 346
 BOOK 51569 PAGE 45
 PLANS
 DEED BOOK 2398 PAGE 249
 DEED BOOK 2340 PAGE 97
 PLAN AT THE END OF DEED BOOK 5148
 LAND COURT PLAN 28403A
 LAND COURT PLAN 741A
 CITY OF BOSTON LAYOUT PLAN
 L-6960




 LEONARD JOSEPH BOUFFARD P.L.S. DATE 11-12-2021



BLUE HILL AVE
 (PUBLIC-50' WIDE)

BDLG REVISION PER CLIENT REQUEST	L.J.B.	11/12/2021
BDLG REVISION PER CLIENT REQUEST	L.J.B.	6/23/2021

PROPOSED SITE PLAN
 53-57 BLUE HILL AVE.
 ROXBURY, MA
 FOR
 DOUG GEORGE

CIVIL ENVIRONMENTAL CONSULTANTS
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1 DATE: 01/27/2021 JOB: 3062
 DRAWN BY: L.J.B.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL GIVE A WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT. FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN OF 5 DAYS AFTER THEY WERE POURED.
5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
7. ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
 - **3000 PSI** FOR BASEMENT SLABS, FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER FOR DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, CARPORT SLAB, STEPS AND OTHER FLATWORK EXPOSED TO WEATHER AND GARAGE FLOOR SLABS
 - **3500 PSI**
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
3. ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - A. FOOTINGS 3 INCHES
 - B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
 - C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
 - D. TOP STEEL OF INTERIOR SLABS 1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

EPOXY ANCHORS:

1. EXPANSION BOLTS USED IN CONCRETE SHALL BE SIMPSON STRONG BOLT 2 OR EQUAL. BOLTS NEED TO BE INSTALLED IN ACCORDANCE WITH ICC-REPORT ESR-3037.
2. EPOXY ANCHORS AND DOWELS INSTALLED INTO CONCRETE SHALL BE A THREADED ROD OR REINFORCING BAR DOWEL WITH THE HILTI "RE-500SD" ADHESIVE SYSTEM AND BE INSTALLED ACCORDING TO ICC-REPORT ESR-2322.
3. CONTRACTOR MAY SUBSTITUTE EXPANSION BOLTS OR EPOXY ADHESIVES OF EQUAL VALUE IN THE SPECIFIED MATERIAL WITH A CURRENT ICC-REPORT FOR REVIEW. EXPANSION BOLTS SHALL NOT BE USED IN MASONRY.

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM:
 - FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
 - FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS COLUMNS
 - FB=3100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows: or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

PROPOSED ADDITION 57 BLUE HILL AVE ROXBURY, MASSACHUSETTS

MODIFICATION SUMMARY (3-24-2021)

-No changes (only repairs) have been made to the front of the existing building within the 20' front yard thus the existing front yard encroachment remain as existing non conforming as allowed per code. The walls at the first floor entry have been returned to their original location and the stairs from grade to the second floor porch have been reintroduced.
-All additions have been made greater than 20' from the front lot line.
-All trees over 5' have been removed from the front yard area.
-All changes from the previous set are clouded in this design set.

MODIFICATION SUMMARY (6-01-2021)

-It was determined from an updated site plan that there was a non buildable passageway to the left of the building so the addition was adjusted accordingly to maintain as of right setbacks as well as be moved out of the boundary of the passageway.

**ZONING SUMMARY
ARTICLE 50
MFR/ SUBDISTRICT
PROPOSED 10 FAMILY**

ANY OTHER DWELLING	MIN. LOT SIZE	MIN. LOT AREA PER ADD. UNIT	TOTAL LOT SIZE	LOT WIDTH/ FRONTAGE	FAR	BLDG. HEIGHT	USABLE OPEN SPACE	SETBACK FRONT	SETBACK SIDE	SETBACK REAR	MAX USE REAR YARD
REQUIRED BY ZONING	4000 S.F. FOR 3 UNITS	1000 S.F.	11000 S.F.	40	1.0	45' ^{4 STORIES}	200/UNIT	1'± / MODAL BLUE HILL AVE	10'	20'	25%
EXISTING	NA EXG	NA EXG	11216 S.F.	106.7'	.46 ^{5205/11216}	43.00' ^{4 STORIES}	469/UNIT	1' BLUE HILL AVE	8'-0"	65'-0"	0 %
PROPOSED PROJECT	4000 S.F. FOR 3 UNITS	1031 S.F.	11216 S.F. NO CHANGE	106.7' NO CHANGE	.84 ^{9414/11216}	43.00' ^{4 STORIES} NO CHANGE	458/UNIT 4587/10 UNITS	20'-0" AT ADDITION	10.5' AT ADDITION	48'-8" AT ADDITION	0 %

**PARKING REQUIREMENT
RESIDENTIAL USE: 1.00 SPACE PER UNIT**

REQUIRED 10 SPACES

PROPOSED 10 SPACES
5 Spaces 8.5' x 20'
5 Spaces 8' x 18'

KEY

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- ☒ EMERGENCY LIGHT
- ☒ HORN/ STROBE/ PULL STATION
- ☒ HORN/ STROBE
- ◇ 1 HOUR WALL(SEE W.T.1/A-3.1)
- ◇ 2 HOUR WALL(SEE W.T.2/A-3.1)
- ☒ FAN
- 45 MIN. DOOR
- 1-1/2 HOUR DOOR
- ☒ FIRE ALARM CONTROL PANEL
- WINDOW TYPE
- 1 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- 2 2 HOUR CLG. WALL(SEE C.T.2/A-3.1)
- FIRE EXTINGUISHER
- /// NEW WALL
- EX'G WALL TO REMAIN
- - - - - WALL TO BE REMOVED

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

Location
**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
	11-15-2021

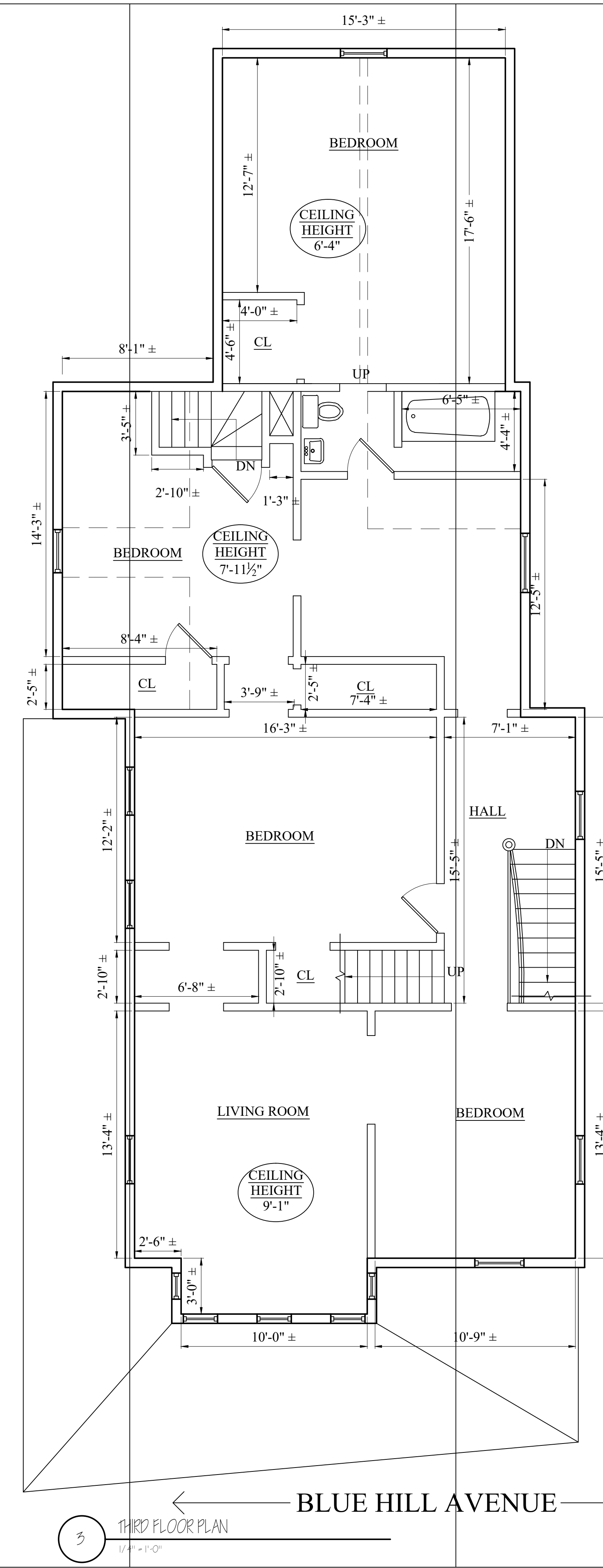
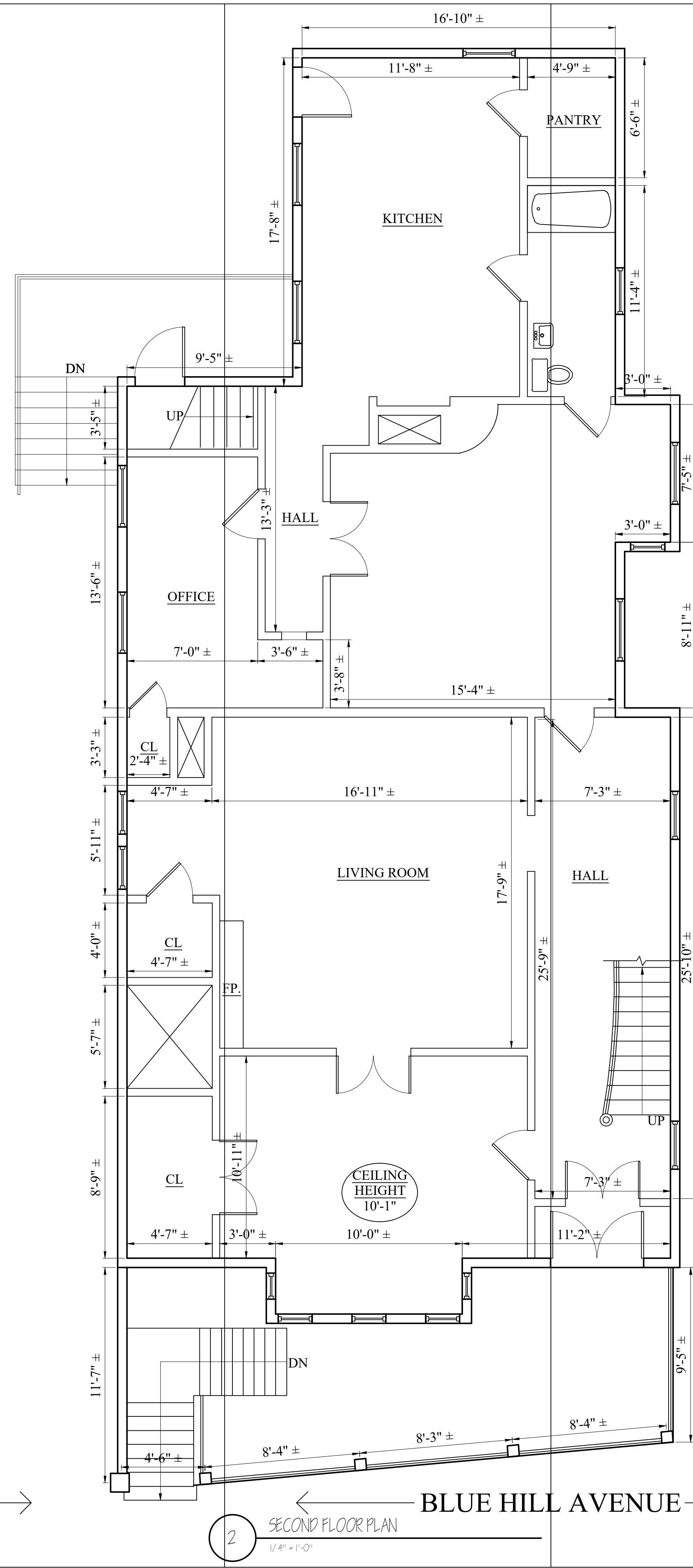
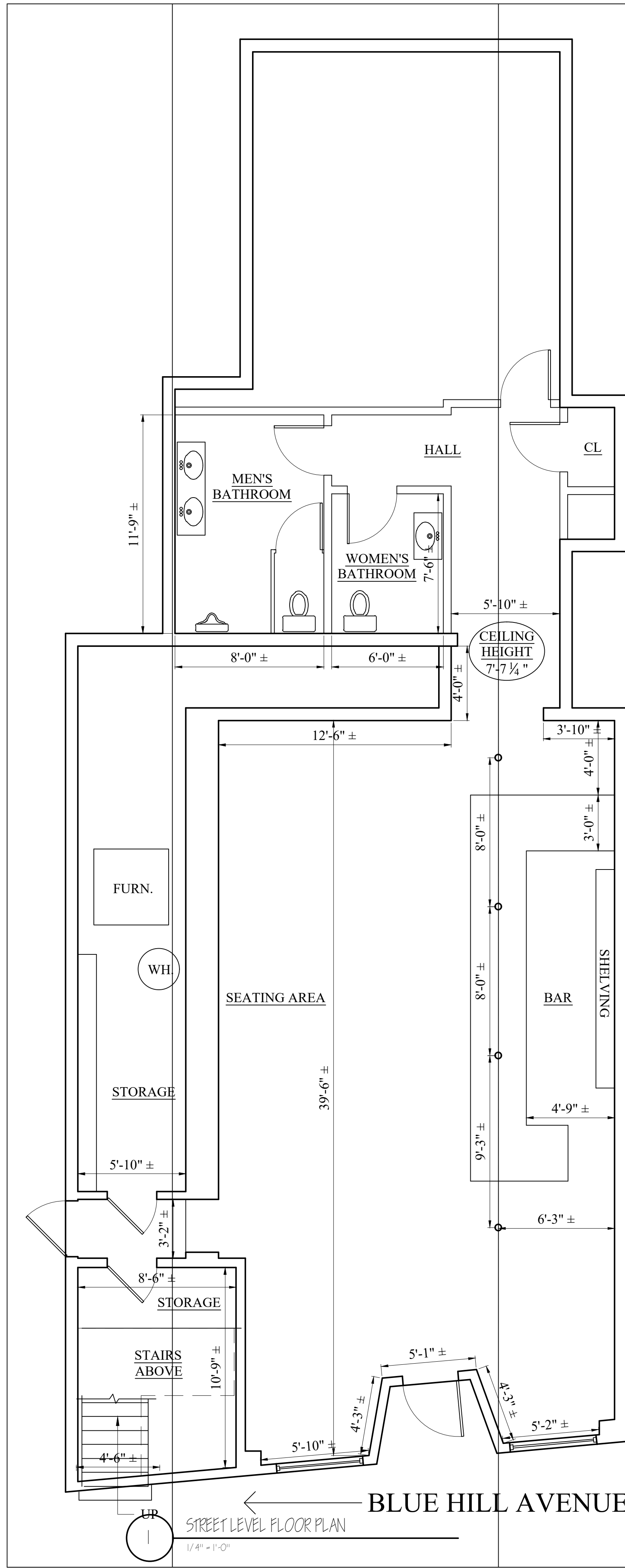
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Date: 10-15-2020
Drawn By: ST/GA/SL

Drawing Name

COVER SHEET

CODE SUMMARY
EX'G TYPE 5 CONSTRUCTION
4 STORIES
R-2 / A MIXED USE
PROP R-2
EX'G NON SPRINKLED
PROP. FULLY SPRINKLED

Sheet No.
A-0



Location

PROPOSED ADDITION 57 BLUE HILL AVENUE ROXBURY, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2020113
Scale: AS NOTED
Date: 10-15-2020
Drawn By: ST/GA/SL

Drawing Name
EXISTING FLOOR PLANS

Sheet No.
D-1.1

Location
PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA

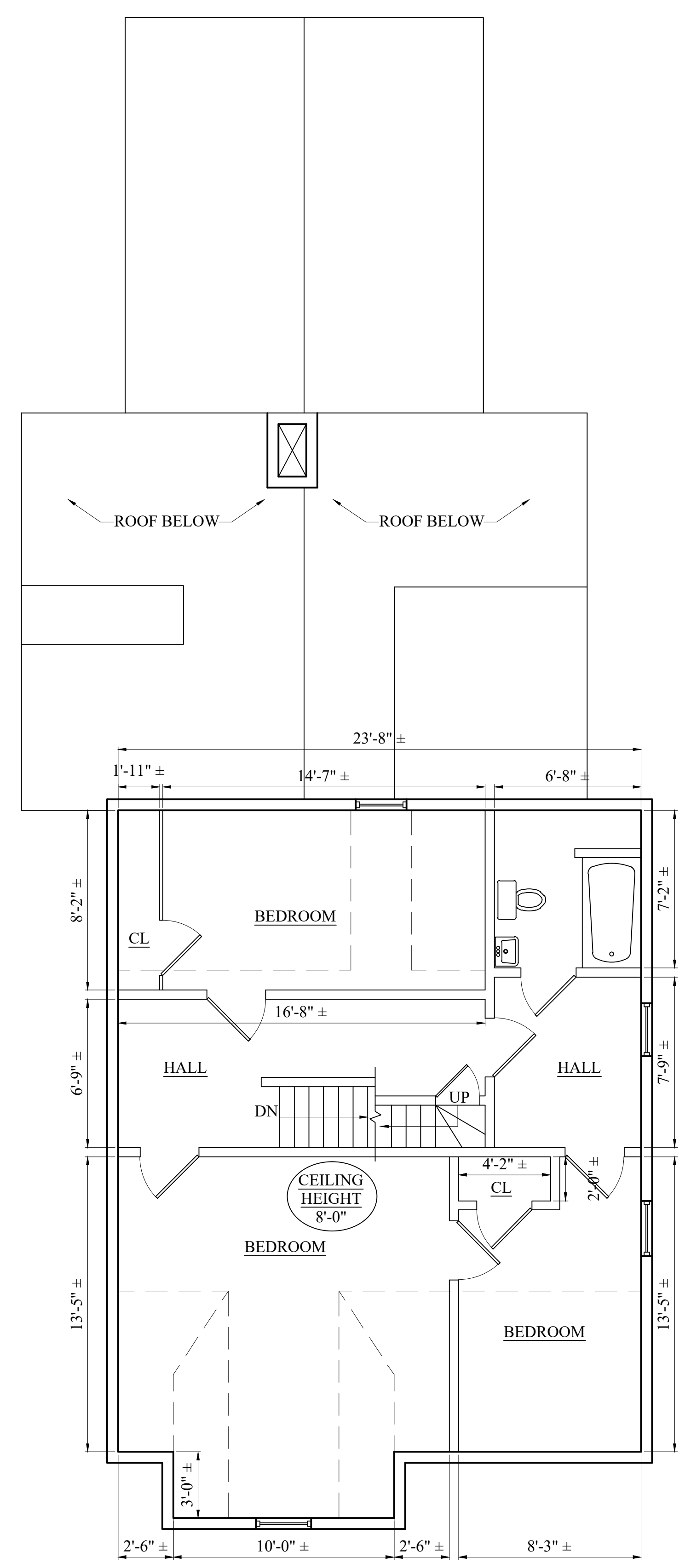
Choo & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2020113
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 Date: 10-15-2020
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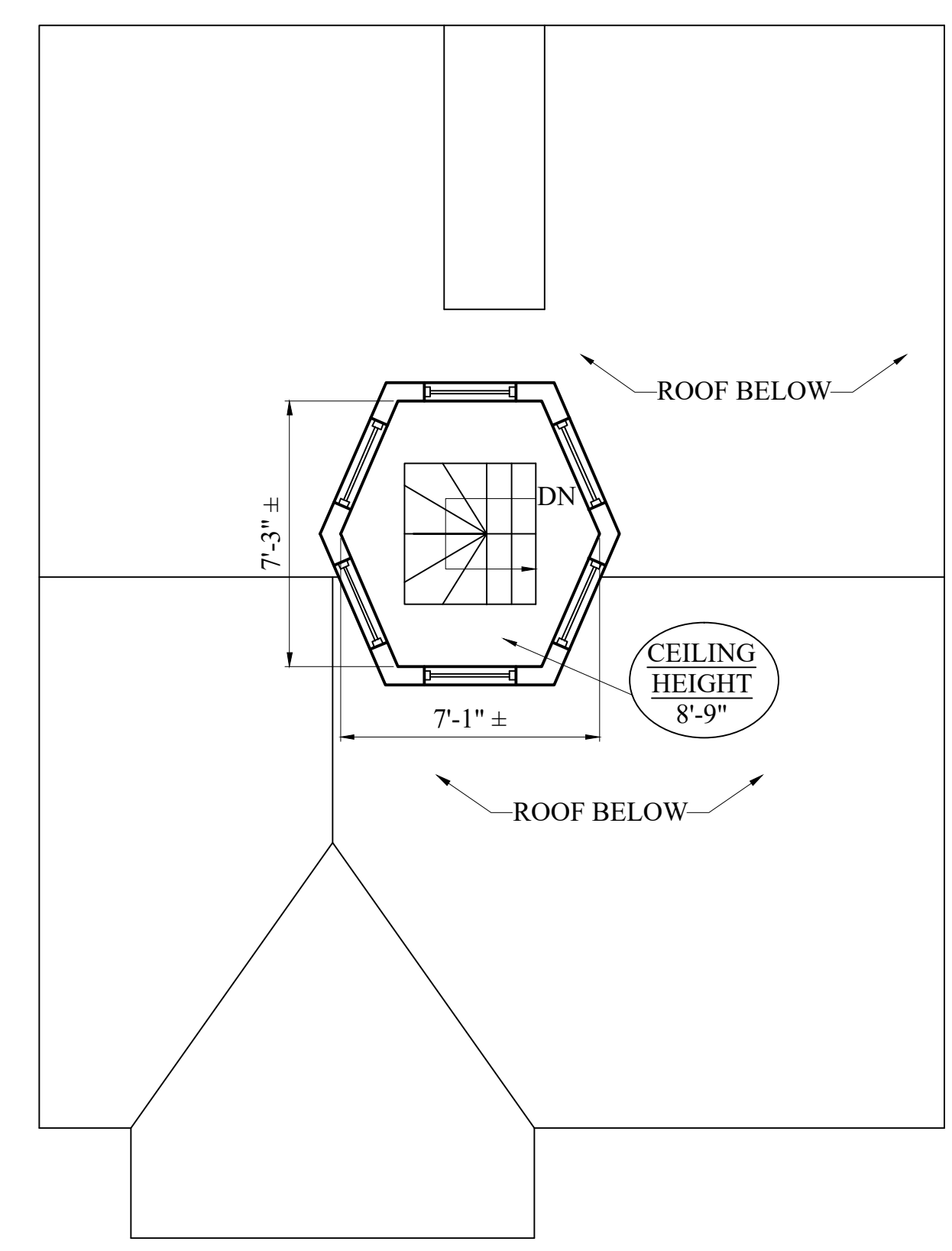
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EXISTING FLOOR PLANS

Sheet No.
D-1.2



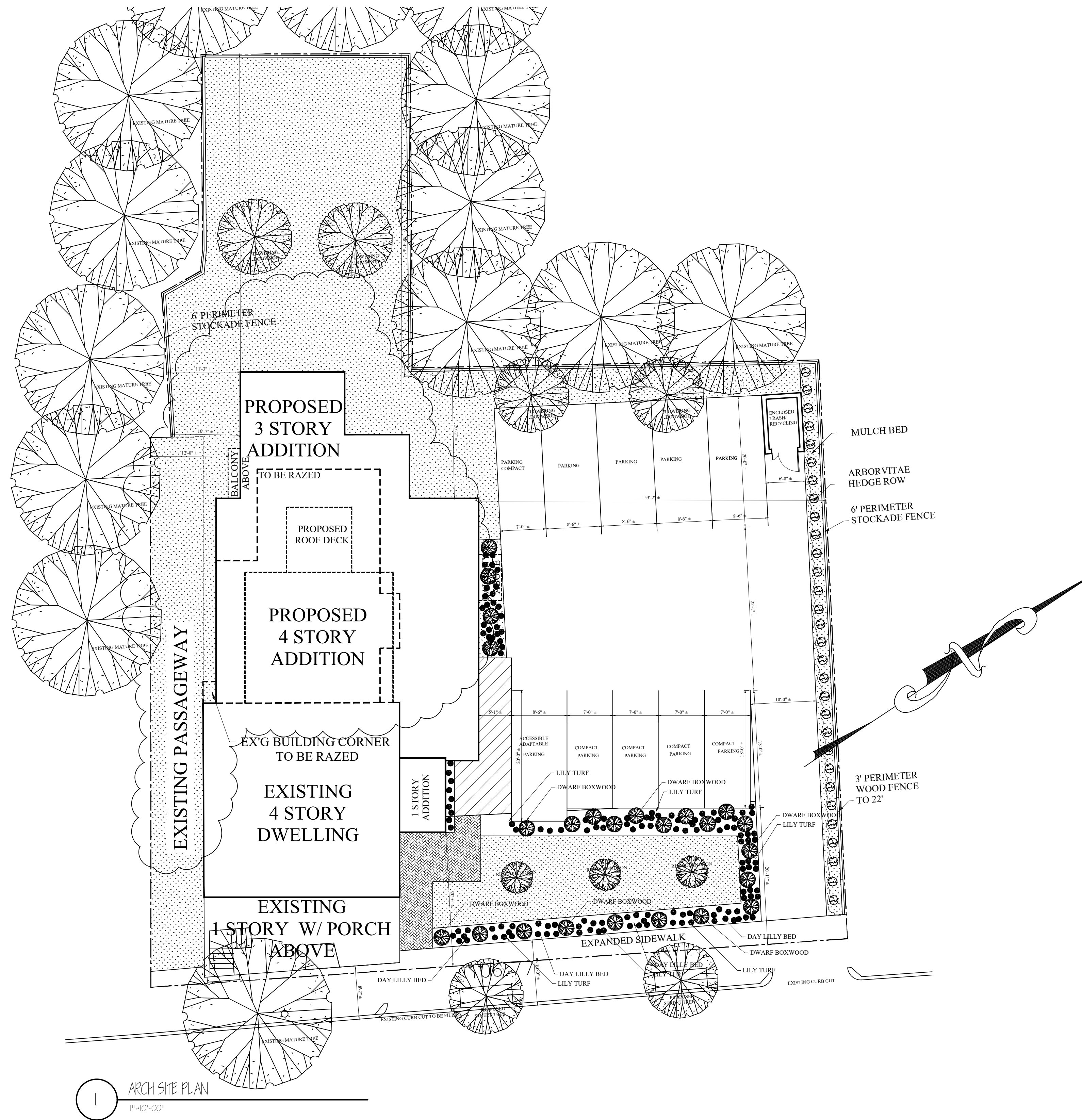
1 FOURTH FLOOR PLAN
 1/4" = 1'-0"

← BLUE HILL AVENUE →



2 EXISTING CUPOLA FLOOR PLAN
 1/4" = 1'-0"

← BLUE HILL AVENUE →



1 ARCH SITE PLAN
1"=10'-00"

Location

**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**

**Choo
& Company, Inc.**

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

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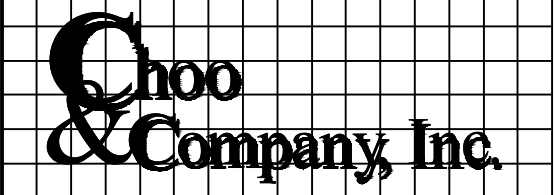
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Scale: AS NOTED
Date: 08-12-2020
Drawn By: SL

Drawing Name
**PROPOSED
ARCH
SITE PLAN**

Sheet No.
A-1.0

Location

PROPOSED ADDITION 57 BLUE HILL AVENUE ROXBURY, MA



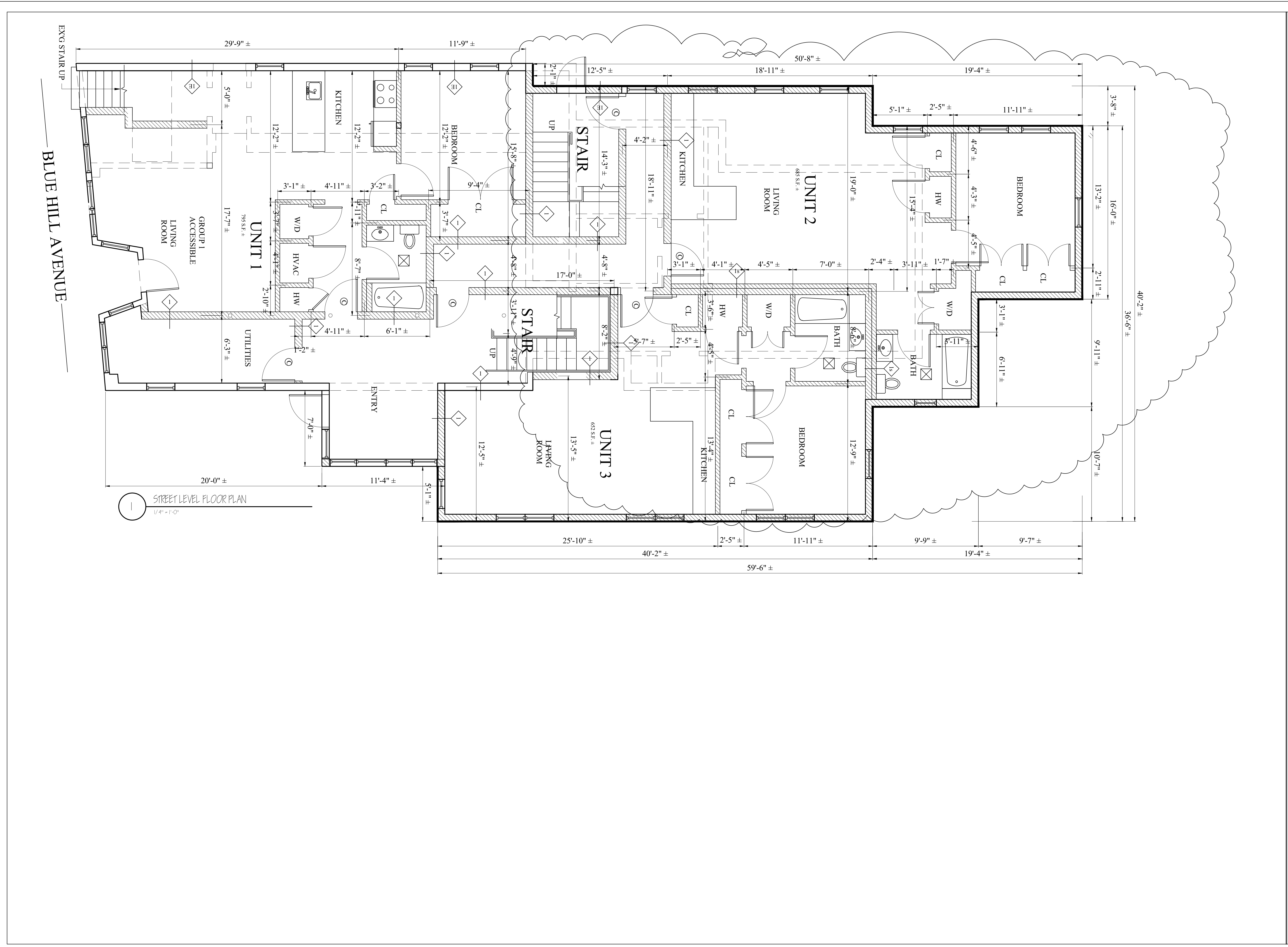
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617-786-7727 fax 617-786-7715

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Drawing Name
**PROPOSED
 FLOOR PLANS**

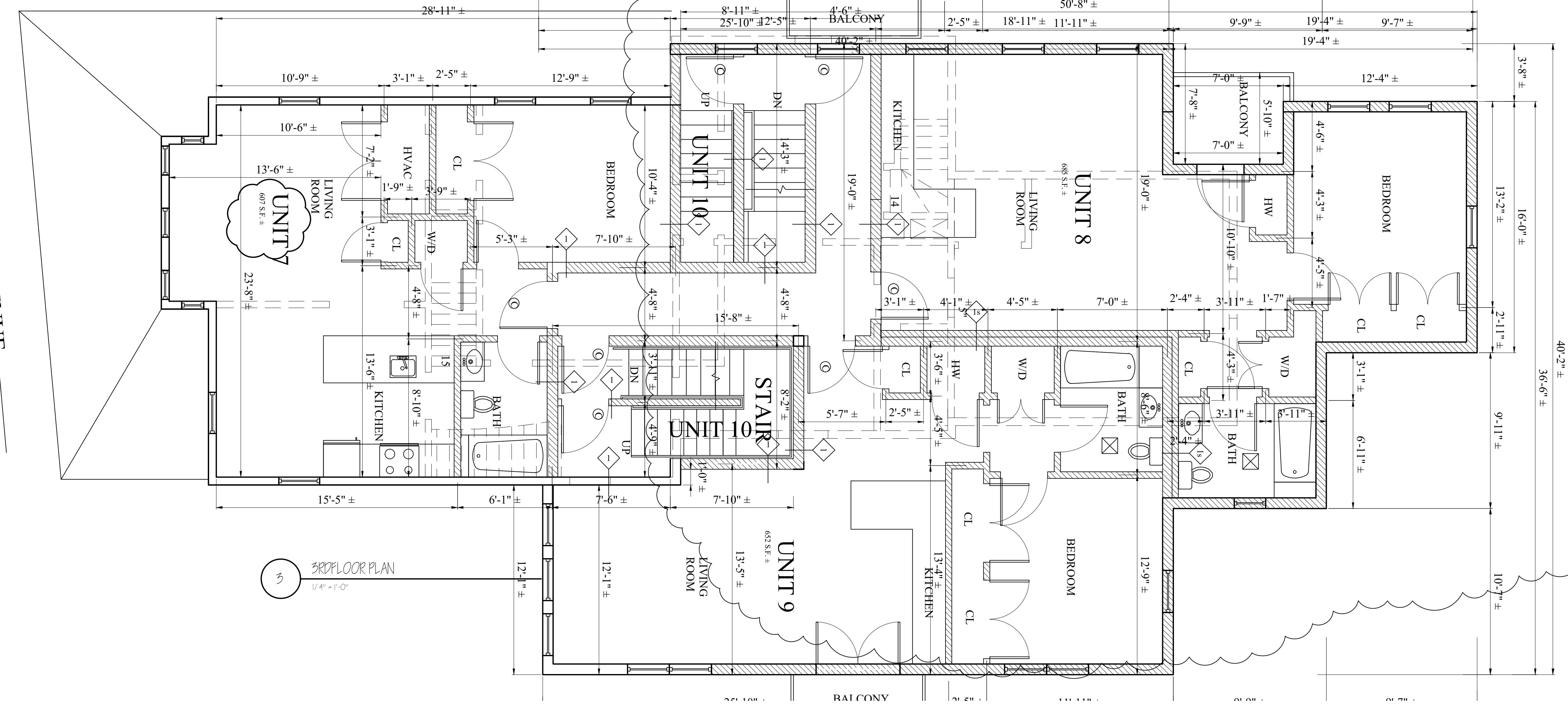
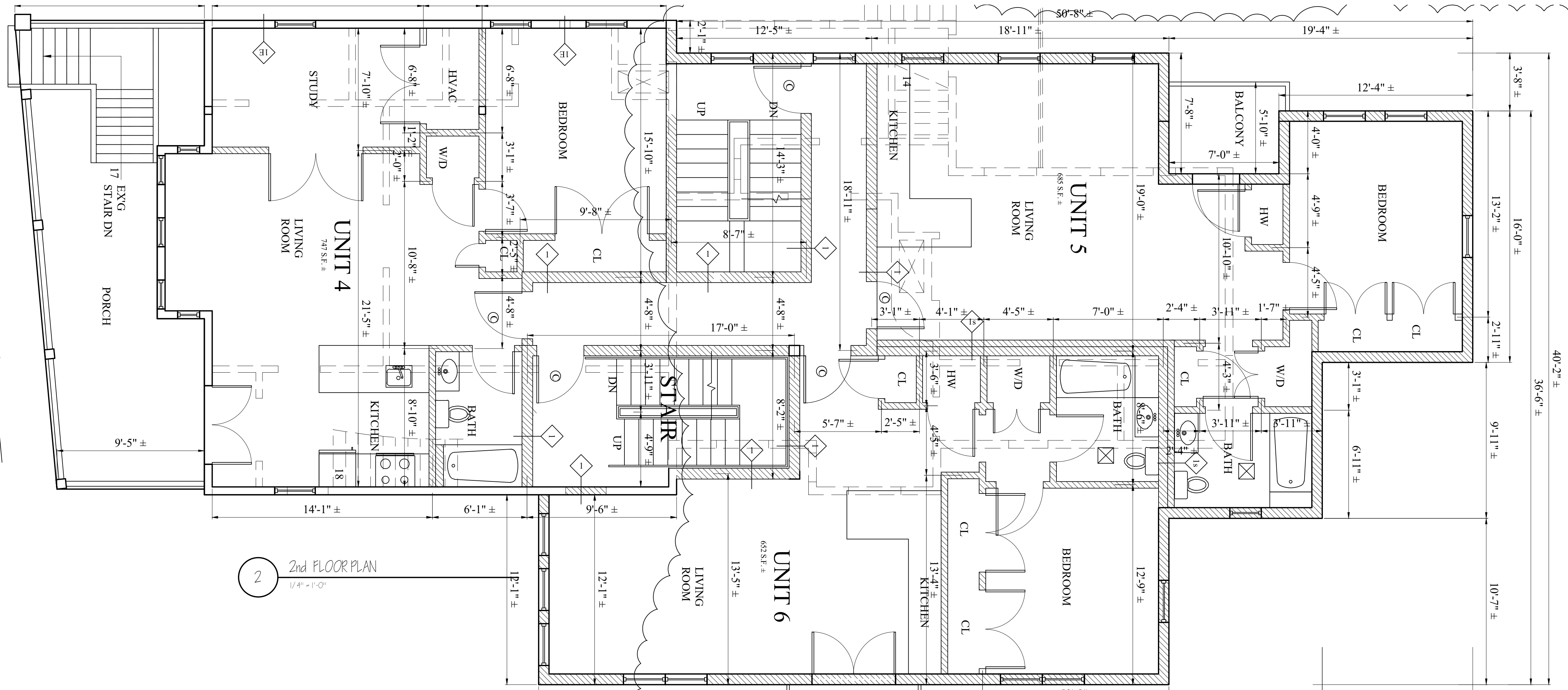
Sheet No.
A-1.1



1 STREET LEVEL FLOOR PLAN
 1/4" = 1'-0"

BLUE HILL AVENUE

BLUE HILL AVENUE



Location

**PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA**



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617-786-7727 fax 617-786-7715

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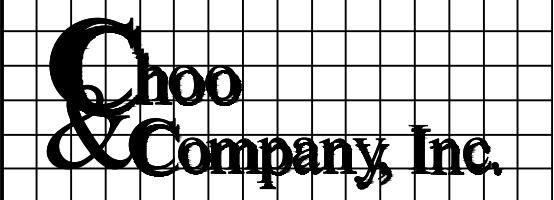
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PROPOSED FLOOR PLANS

Sheet No.

A-1.2

Location

PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA



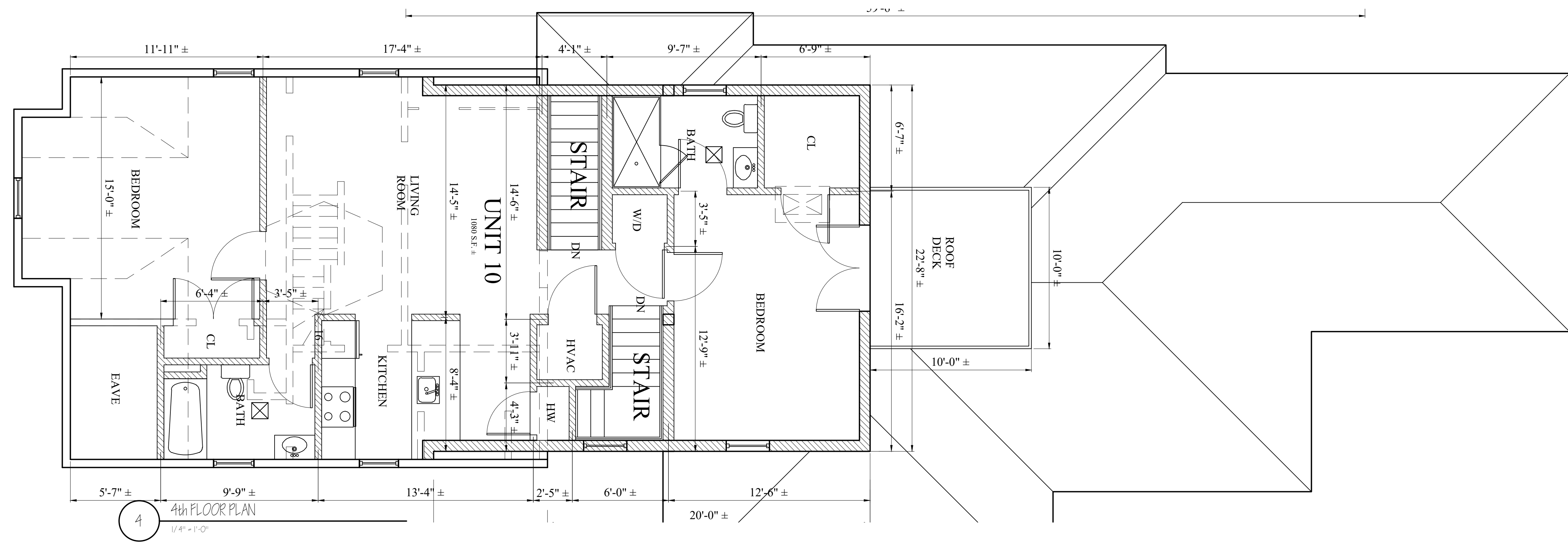
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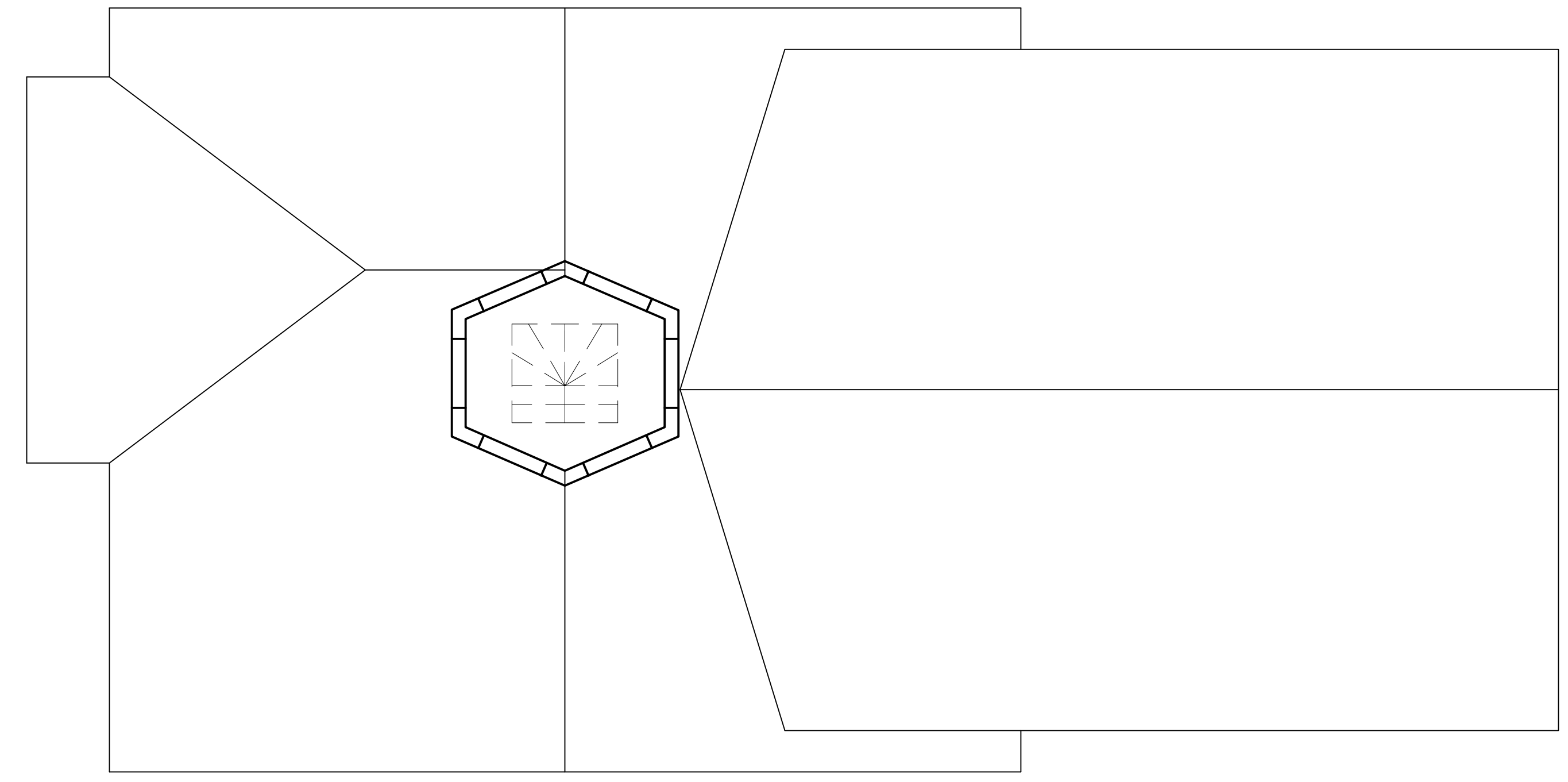
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 Scale: AS NOTED
 Date: 10-15-2020
 Drawn By:

Drawing Name
**PROPOSED
 FLOOR PLANS**

Sheet No.
A-1.3



4
 4th FLOOR PLAN
 1/4" = 1'-0"



5
 ROOF PLAN
 1/4" = 1'-0"

BLUE HILL AVENUE

BLUE HILL AVENUE

PRE EXISTING CUPOLA ELEMENTS
TO BE REPLICATED AS POSSIBLE



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

PROPOSED ADDITION

Location
PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

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Drawn By: SL

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.1

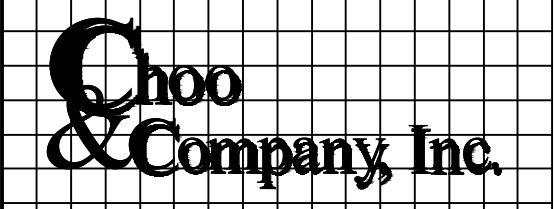
WINDOW & DOOR SCHEDULE					
NO.	MANU	MOD	# NEEDED	SIZE	REMARKS
A	-		15	32"Wx 72"H	DOUBLE HUNG WOOD CLAD
B	-		12	32"Wx 66"H	DOUBLE HUNG WOOD CLAD
C	-		20	32"Wx 60"H	DOUBLE HUNG WOOD CLAD
D	-		4	32"Wx 28"H	WOOD CLAD OPERABLE AWNING
E	-			VARIES	WOOD REPLACEMENT OF EX'G ELEMENTS
F	-		6	32"Wx 40"H	FIXED WOOD CLAD W/ 16" OPERABLE AWNING
G	-		4	32"Wx 24"H	OPERABLE AWNING
H	-		2	32"Wx 72"H	DOUBLE HUNG WOOD CLAD
I	-		2	32"Wx 66"H	DOUBLE HUNG WOOD CLAD
J	-		1	32"Wx 60"H	DOUBLE HUNG WOOD CLAD
1	-		1	36"Wx 84"H	WOOD ENTRY DOOR W/ 14" SIDELIGHTS DOOR IS TO MATCH EX'G 2ND FLOOR ENTRY DOORS
2	-		3	64"Wx 84"H	WD PATIO DOOR
3	-		3	36"Wx 84"H	WD PATIO DOOR



1 PROPOSED LEFT SIDE ELEVATION
3/16" = 1'-0"

Location

PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
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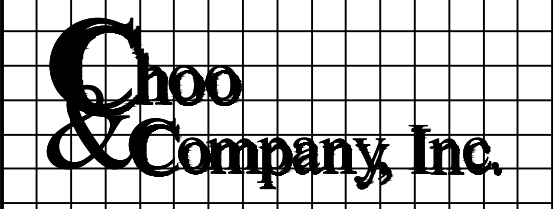
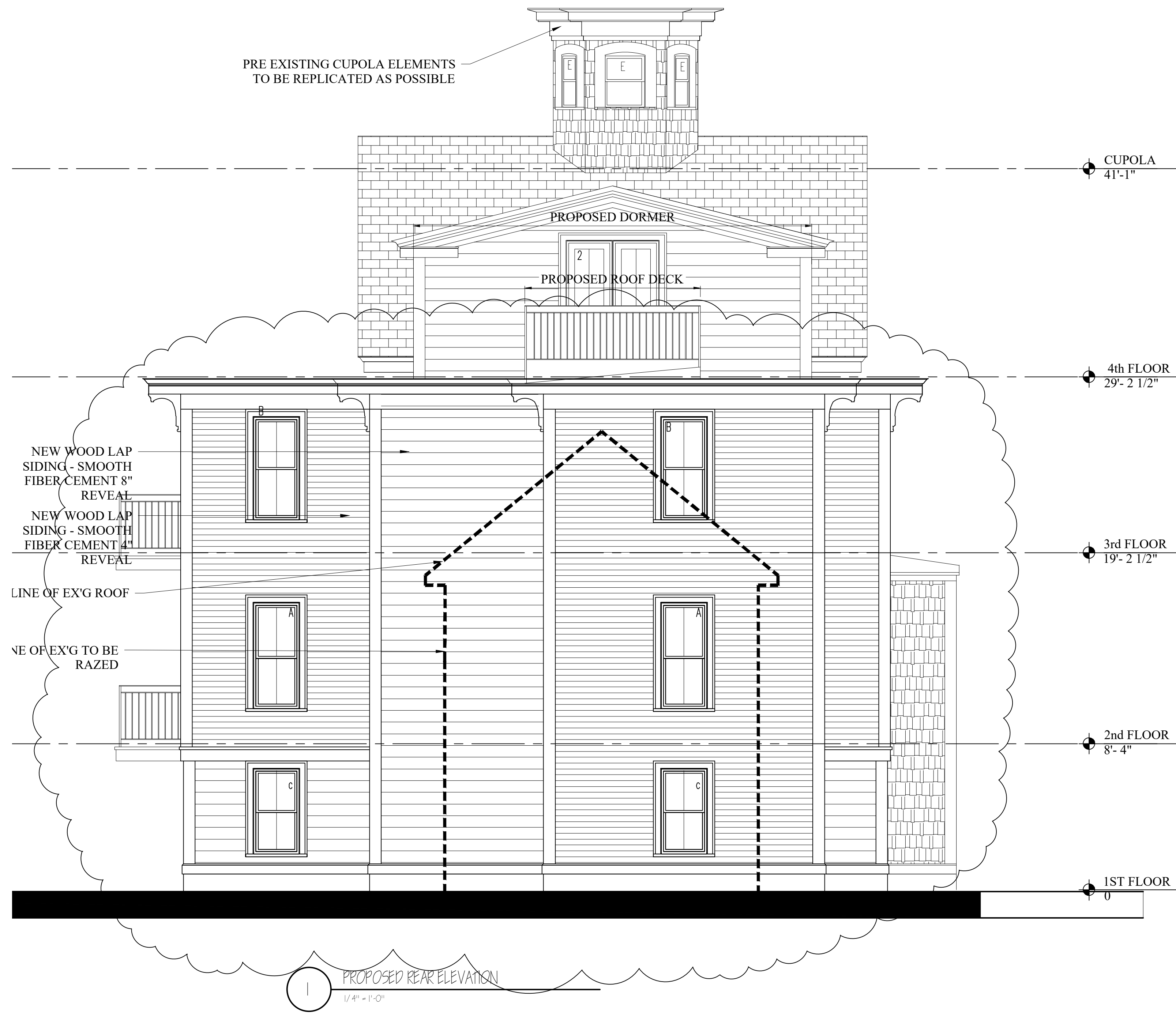
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Date: 10-15-2020
Drawn By:

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.2

Location

PROPOSED ADDITION
57 BLUE HILL AVENUE
ROXBURY, MA



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
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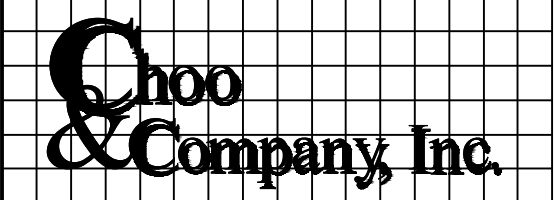
Sheet No.
A-2.3



1 PROPOSED RIGHT SIDE ELEVATION
 3/16" = 1'-0"

Location

PROPOSED ADDITION
 57 BLUE HILL AVENUE
 ROXBURY, MA



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 617-786-7727 fax 617-786-7715

No.	Revision Date
	11-15-2021

Project No: 2020113
 Scale: AS NOTED
 Date: 10-15-2020
 Drawn By:

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-2.4