

ECO-STONE PAVERS	
EXISTING DRAIN	
EXISTING WATER GATE	$\overset{\mathrm{WV}}{\boxtimes}$
EXISTING DRAIN MANHOLE	\bigcirc
EXISTING SEWER MANHOLE	S
EXISTING WATER GATE	₩ ^C o
EXISTING HYDRANT	
EXISTING CHAIN LINK FENCE	o
EXISTING DRAIN PIPE	— D —
EXISTING GAS PIPE	G
EXISTING WATER LINE	— W —
EXISTING SEWER PIPE	S
SIGN	

SITE PREPARATION NOTES

- 1. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE ENGINEER.
- 2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON CITY RECORDS. THE CONTRACTOR SHALL CONTACT DIG SAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR COMMENCING WORK THE "DIG SAFE TELEPHONE NUMBER FOR MASSACHUSETTS IS 1-888-DIG-SAFE (344-7233). ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- 3. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY COGNIZANT FEDERAL, STATE AND LOCAL AGENCIES.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE WORK LIMITS DUE TO CONTRACT OPERATIONS. ANY WORK PERFORMED OUTSIDE THE WORK AREAS OR MATERIALS USED NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS WILL BE ORDERED REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSES.
- 5. ALL REMOVAL ITEMS HAVING BELOW-GRADE FOOTINGS SHALL HAVE THEIR FOOTINGS REMOVED AND DISPOSED OF BY THE CONTRACTOR, UNLESS NOTED ON THE DRAWINGS.
- 6. ALL ITEMS LOCATED WITHIN THE WORK LIMITS THAT ARE NOT DESIGNATED FOR REMOVAL ARE TO REMAIN AND SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR.
- 7. THE CONTRACTOR SHALL STAKE LAYOUTS FOR ALL SITE IMPROVEMENTS FOR APPROVAL PRIOR TO CONSTRUCTION.
- 8. PROVIDE THE NECESSARY POLICE PETROL TO SAFEGUARD PUBLIC SAFETY.
- 9. ALL PERMITS, POLICE DETAILS AND RELATED FEES INCORPORATED WITH THIS PROJECT ARE PART OF THIS CONTRACT.
- 10. INSTALL TEMPORARY CONSTRUCTION FENCE COMPLETELY SURROUNDING THE PERIMETER OF WORK AREAS AT ALL TIMES DURING CONSTRUCTION UNTIL ACCEPTANCE. TEMPORARY FENCE SHALL BE FREE STANDING TYPE CHAIN LINK SECTIONS 8'-0" HIGH WITH POSTING SIGNS AT ALL ACCESS. SUBMIT SHOP DRAWINGS OF THE TEMPORARY FENCE FOR THE ENGINEER APPROVALS.
- 11. THE CONTRACTORS ARE ENCOURAGED TO VISIT THE SITE PRIOR TO SUBMITTING THEIR BID DOCUMENTS TO FAMILIARIZED THEMSELVES WITH THE PROJECT.

DEMOLITION NOTES

- 1. ANY DAMAGES AND/OR INJURIES TO ANY OF SALVAGED ITEMS SHALL BE REPLACED AT NO EXTRA COST TO THE CONTRACT.
- 2. REMOVAL & DISPOSAL OF COVERED DECK, CONC. PORCH INCLUDING CONCRETE STEPS, SUNDECK AND FENCE GARDEN AREA WHERE NOTED ON THE DRAWING.
- 3. REMOVAL & DISPOSAL OF 24" Dia. OAK TREE, AND 36" Dia OAK TREE WHERE NOTED ON THE DRAWING. TREE STUMPS SHALL BE GRINDED.
- 4. BURIAL OF ANY STUMPS, SOLID DEBRIS, AND/OR STONES/BOULDERS ONSITE IS PROHIBITED. DO NOT USE ROAD SALT OR OTHER DE-ICING CHEMICALS ON THE ACCESS ROADWAY.
- 5. REMOVAL & DISPOSAL OF THE CHAIN LINK FENCE AND GRANITE STONES WITHIN THE LIMIT OF THE NEW CURB CUT WHERE NOTED ON THE DRAWING.
- 6. EXCAVATE, REMOVE AND DISPOSE ALL CONCRETE SIDEWALK AND THE VERTICAL GRANITE CURBING WHERE THE NEW CURB CUT IS BEING INSTALLED.
- 7. EXCAVATE, REMOVE & DISPOSE ALL FOOTINGS OF THE CHAIN LINK FENCE AND ALL FOOTINGS OF THE COVERED DECK, DECK AND ALL FOOTINGS OF THE SUNDECK WHERE NOTED ON THE DRAWING.
- 8. EXCAVATE, REMOVE & DISPOSAL THE REQUIRED QUANTITY OF TOP SOIL IN ORDER TO INSTALL 3" OF BITUMINOUS CONCRETE CONSISTING OF 1 1/3" BINDER & 1 $\frac{1}{2}$ " TOP MIX ON TOP OF 4" GRAVEL BASE.
- 9. THE CONTRACTOR SHALL EMPLOY DUST AND POLLUTION PREVENTIONS PROCEDURES SO THAT A HEALTH ENVIRONMENT IS FULLY MAINTAIN AT ALL TIMES.
- 10. ALL TRUCKS LEAVING THE SITE MUST BE COVERED.
- 11. PROVIDE THE NECESSARY POLICE PETROL TO SAFEGUARD PUBLIC SAFETY.
- 12. INSTALL TEMPORARY CONSTRUCTION FENCE COMPLETELY SURROUNDING THE PERIMETER OF WORK AREAS AT ALL TIMES DURING CONSTRUCTION UNTIL ACCEPTANCE.
- 13. THE CONTRACTORS ARE ENCOURAGED TO VISIT THE SITE PRIOR TO SUBMITTING THEIR BID DOCUMENTS TO FAMILIARIZED THEMSELVES WITH THE PROJECT.
- 14. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A TOILET WITH CHEMICAL TYPE TREATMENT. TOILET TO BE ERECTED ON SITE AND MAINTAIN PERIODICALLY AS REQUIRED.

DEMOLITION PLAN

10 20





DRAWING #



SCALE: 1" = 10' - 0"

EXISTING	DRAIN	
EXISTING	WATER GATE	$\overset{\mathrm{WV}}{\boxtimes}$
EXISTING	DRAIN MANHOLE	\bigcirc
EXISTING	SEWER MANHOLE	S
EXISTING	WATER GATE	₩So
EXISTING	HYDRANT	THE AND
EXISTING	CHAIN LINK FENCE	X
EXISTING	DRAIN PIPE	— D —
EXISTING	GAS PIPE	— G —
EXISTING	WATER LINE	W
EXISTING	SEWER PIPE	— S —
SIGN		
CHAIN LIN	IK FENCE	o



GENERAL CONSTRUCTION NOTES

- NECESSARY BY THE TOWN/CITY/LOCAL MUNICIPALITY.
- KNOWN EXISTING INSTALLING ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- AND EXISTING UTILITIES FOUND DURING CONSTRUCTION FOR THE PREPARATION OF THE AS-BUILT PLAN.
- 6. COORDINATE AND MAKE ALL CONNECTION ARRANGEMENTS WITH UTILITY COMPANIES, AS REQUIRED.
- FOR ALL COST RELATED TO THE REPAIR OF UTILITIES.
- 8. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES MUST BE DONE BY HAND.
- OF OPERATION FOR THE FACILITY, THE CONTRACTOR MUST PLAN ACCORDINGLY.
- WORK.

- AND TRENCH WORK.
- LANDSCAPE FEATURES. EXISTING CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF THE WORK.
- DIMENSIONS WILL NOT BE CONSIDERED PAYABLE ROCK.
- ALL DEMOLITION DEBRIS FROM THE SITE TO AN APPROVED DUMP SITE.
- 19. ALL TRUCKS LEAVING THE SITE MUST BE COVERED.
- ACCESS ROADWAY.
- REQUIRED.
- PERIMETER. COLLECT AND REMOVE ALL MATERIALS AND BLOWN OR WATER CARRIED DEBRIS FROM THE SITE.

PAVING NOTES:

- PAVING OPERATION. THE CONTRACTOR SHALL OBTAIN THE ARCHITECT/ENGINEER PRIOR TO START PAVING OPERATION.

- 4. ANY ADDITIONAL LANDSCAPING SHALL BE DISCUSSED WITH OWNER.
- 5. CURB CUT FINISHES SHALL BE AS SPECIFIED IN THE DEPARTMENT OF BOSTON PUBLIC WORKS.



1. ALL SITE WORK TO COMPLETE THIS PROJECT AS INDICATED ON THE DRAWINGS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

2. UTILIZE ALL PRECAUTIONS AND MEASURES TO ENSURE THE SAFETY OF THE PUBLIC, ALL PERSONNEL AND PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH OSHA STANDARDS, INCLUDING THE INSTALLATION OF TEMPORARY FENCING BARRICADES, SAFETY LIGHTING, CONES, POLICE DETAIL AND/OR FLAGMEN AS DETERMINED

3. THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF POLICE DETAIL AND FOR COORDINATING WITH THE LOCAL OR STATE POLICE.

4. MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES INCLUDING POLICE DETAILS AND POST ALL BONDS, IF NECESSARY, ASSOCIATED WITH THE SAME, AND COORDINATE WITH ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE AND ARE BASED ON THE BEST INFORMATION AVAILABLE. PRIOR TO THE CONSTRUCTION VERIFY THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY

5. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS INDICATED ON THE DRAWINGS ARE BASED ON AUTHORITY IN THE CITY OF BOSTON, AND "DIGSAFE" (1–888–344–7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK IN BETWEEN THE PROPOSED UTILITIES AND FIELD–LOCATED UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED, INCOMPLETELY OR INACCURATELY SHOWN. THE CONTRACTOR MUST MAINTAIN ACCURATE RECORDS OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED

7. THE CONTRACTOR MUST MAINTAIN ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER. THE CONTRACTOR IS RESPONSIBLE

9. COORDINATE ALL TRENCHING WORK WITHIN ROADWAYS WITH THE PROPER LOCAL & STATE AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCH WORK. IF THIS THIS WORK IS REQUIRED TO OCCUR OUTSIDE THE AGREED UPON HOURS

10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH AND MAINTAIN ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION INCLUDING BENCHMARK LOCATIONS AND ELEVATIONS AT CRITICAL AREAS. COORDINATE WITH THE ENGINEER THE LOCATION OF ALL CONTROL POINTS AND BENCHMARKS.

11. SITE LAYOUT MUST BE APPROVED THE LAND SURVEYOR/ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR FOR ALL SITE SURVEY

12. MAINTAIN ALL GRADE STAKES SET BY THE SURVEYOR. GRADE STAKES ARE TO REMAIN UNTIL A FINAL INSPECTION OF THE ITEM HAS BEEN COMPLETED BY THE ENGINEER. RE-STAKING OF PREVIOUSLY SURVEYED SITE FEATURES IS THE RESPONSIBILITY (INCLUDING COST) OF THE CONTRACTOR.

13. UNLESS OTHERWISE INDICATED ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS, ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE MOST RECENT VERSION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (THE MASSACHUSETTS HIGHWAY DEPARTMENT 1988 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, THE 2002 SUPPLEMENTAL SPECIFICATIONS, AND THE 2005 STANDARD SPECIAL PROVISIONS).

14. PROVIDE ALL CONSTRUCTION SERVICE IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS REGARDING NOISE, VIBRATION, DUST, SEDIMENTATION CONTAINMENT,

15. COLLECT SOLID WASTES AND STORE IN A SECURED DUMPSTER. THE DUMPSTER MUST MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.

16. RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE. LEAVE ALL AREAS NOT DISTURBED BY CONSTRUCTION IN THEIR NATURAL STATE. TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES, OTHER LANDSCAPING AND/OR NATURAL FEATURES. WHEREAS THE PLANS DO NOT SHOW ALL

17. LEDGE OR BOULDER EXCAVATION IS NOT ANTICIPATED FOR THIS SITE. LEDGE AND/OR BOULDERS LESS THAN 1 CUBIC YARD IN SIZE BASED ON THE AVERAGE

18. REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. PROMPTLY REMOVE

20. DO NOT WASH ANY CONCRETE TRUCKS ONSITE. REMOVE BY HAND ANY CEMENT OR CONCRETE DEBRIS LEFT IN THE DISTURBED AREA.

21. BURIAL OF ANY STUMPS, SOLID DEBRIS, AND/OR STONES/BOULDERS ONSITE IS PROHIBITED. DO NOT USE ROAD SALT OR OTHER DE-ICING CHEMICALS ON THE

22. IMMEDIATELY CONTACT AND COORDINATE WITH THE ENGINEER AND OWNER IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS

23. AT THE END OF CONSTRUCTION, REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. PERFORM A THOROUGH INSPECTION OF THE WORK

1. THE EXCAVATED AREA WHERE THE NEW PARKING AS SHOWN ON THE DRAWING SHALL RECEIVED 4" GRAVEL BASE, ROUGH AND FINE GRADE PRIOR TO STARTING THE

2. THE CONTRACTOR SHALL WAIT AT LEAST TWO WEEKS PRIOR TO STARTING PAVEMENT MARKINGS. PAVEMENT MARKINGS SHALL INCLUDING CAR PARKING STALLS AND NUMBER AS SHOWN ON THE DRAWING. PAVEMENT MARKING SHALL BE DONE ACCORDANCE MASS HIGHWAY DEPARTMENT (MHD)

3. ALL LAWNS OR GRASS AREAS FRONT AND BACK OF THE BUILDING SHALL RELOAMED WITH A MINIMUM OF 2" SCREEN LOAM, HAND SEED AND HYDROSEED.



CONSTRUCTION DOCUMENTS	DESIGN BY ELI SEMAAN 17 ETHEL STREET ROSLINDALE, MA 02131-4507 TEL. (617)-469-2115 ESEMAAN2@HOTMAIL.COM	
		J
	Date Revision # Name Revisions	
	RENOVATION/RESTORATION 27 PERRIN STREET ROXBURY, MA 02119	
	SCALE : NOTED DATE: May 8, 2023 DESIGN BY: E.S. DRAWING BY: ES CHECKED BY: ES JOB NO. ROX032423	





WORK LIMIT

	DRAWING LIST
SHEET NO.	DRAWING TITLE
A1.1	EXISTING/DEMOLITION PLAN
A1.2	EXISTING/DEMOLITION PLAN
A1.3	CONSTRUCTION PLAN
A1.4	ELEVATION PLAN
A1.5	CONSTRUCTION PLAN
L1.1	EXISTING/DEMOLITION SITE PLAN
L1.2	CONSTRUCTION SITE PLAN



VIA	<u>110N:</u>
=	BASEMENT
=	CAST-IN-PLACE
=	CLOSET
=	CONCRETE
=	CONTINUOUS
=	DIAMETER
=	DRAWING
=	EXTERIOR
=	EXISTING
=	EXISTING TO REMAIN
=	EXISTING SET ASIDE
=	FLOOR
=	FOOTING
=	FOUNDATION
=	LALLY COLUMN
=	LINEN
=	MAXIMUM
=	MINIMUM
=	PLATFORM
=	PRESSURE TREATED
=	REMOVE AND DISPOS
=	RADIATOR
=	SKYLIGHTS
=	STEEL
=	STORAGE
=	THICK
=	TO REMAIN

TYP = TYPICAL WIC = WALK-IN-CLOSET

PROJECT RENOVATION/RESTORATION EVALUATION:

A FEW YEARS AGO, A ROARING FIRE ENGULFED THE BUILDING ON 37 PERRIN STREET CAUSING SIGNIFICANT DAMAGE TO THE SECOND AND THIRD FLOORS. THE STRUCTURE WAS EXPOSED TO THE WEATHER THAT CAUSED ADDITIONAL DAMAGE ON ALL FLOORS INCLUDING THE BASEMENT.

OUR RECOMMENDATION THAT THE STRUCTURE SHOULD GO UNDER A TOTAL RENOVATION/RESTORATION.

THE GENERAL CONTRACTOR SHOULD PERFORM ALL NECESSARY TESTING TO IDENTIFY ANY CONTAMINANTS AND HAZARDS MATERIALS THAT REQUIRED A PROPER HANDLING AND DISPOSAL AS MANDATE BY THE LOCAL AUTHORITIES.

THE CONTRACTOR SHOULD CONSIDER TESTING FOR FOLLOWING CONSTRUCTION MATERIAL AS LISTED HEREIN:

- a. PLASTERED COVERING ON ALL SURFACES.
- PAINT ON ALL COVERED SURFACES.
- INSULATION COVERING ON ALL HEATING PIPES. SOIL AT BASEMENT FLOOR UNDER AND AROUND THE OIL TANKS. SEALANT THROUGHOUT THE ENTIRE STRUCTURE. e.
- ROOFING SHINGLES.

ALL DEBRIS SHALL BE PROPERLY DISPOSED OFF AT A LEGAL PLANT.

THE REMAINING OF DAMAGED FURNITURE AND DEBRIS IN THE BUILDING MAKES IT DIFFICULT TO MAKE AN ACCURATE ASSESSMENT FOR RENOVATION/RESTORATION; HOWEVER, WE PREPARED THE RENOVATION/CONSTRUCTION PLANS BASED ON OUR OBSERVATION AT THE TIME WE FILED VERIFY THE PROPERTY MENTIONED ABOVE TO OUR BEST ABILITY.

SHOULD ANY MODIFICATION REQUIRED AND/OR NEEDED DURING CONSTRUCTION, IT WILL BE DEALT WITH ACCORDINGLY AND AN ADDITIONAL SERVICE CHARGE WILL BE APPLIED.

PLEASE REFER TO DETAILED CONSTRUCTION DOCUMENTS.

THIS DWELLING WAS BUILT IN THE 1900 AND HAS A BALLOON FRAMING.

BALLOON FRAMING EXACERBATED THE PROBLEM OF HOUSE FIRES BECAUSE WITHOUT ANY FIREBREAKS BETWEEN FLOORS DUE TO FULL LENGTH STUDS.

THE GENERAL CONTRACTOR SHALL PLACED FIRE BLOCKING ON ALL FLOORS.

DEMOLITION GENERAL NOTES:

- A. ALL DEMOLITION DRAWINGS IN THIS CONTRACT ARE GENERAL IN NATURE ARE INTENDED TO ASSIST THE CONTRACTOR IN UNDERSTANDING THE EXTENT OF DEMOLITION REQUIRED TO ACCOMMODATE WORK SHOWN IN THE CONTRACT DOCUMENTS.
- B. PRIOR TO THE REMOVAL OF ELECTRICAL WIRING, RECEPTACLES, SWITCHES, LIGHT FIXTURES AND ANY OTHER ELECTRICAL DEVICES WITHIN THE WORK LIMITS, THE CONTRACTOR SHALL SHUTOFF POWER SUPPLY AT MAIN ELECTRICAL.
- C. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING WITH THE OWNER ALL ITEMS SCHEDULED TO BE DEMOLISHED FOR POSSIBLE SALVAGE OR REUSE PRIOR TO COMMENCING WORK.
- D. THE CONTRACTOR SHALL, UPON DISCOVERY OF HAZARDOUS MATERIALS, IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER AND THE OWNER.
- E. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT TO ARCHITECT/ENGINEER IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS.

DEMOLITION NOTES:

PRIOR TO STARTING THE DEMOLITION OPERATION, THE CONTRACTOR SHALL FOLLOW A SEQUENTIAL GUIDELINES SCHEDULE THAT REFLECT THE RECOMMENDATION NOTED AT THE PROJECT EVALUATION AND AS LISTED HEREIN:

- a. UPON OBTAINING ALL LABORATORY MATERIAL TESTING, THE CONTRACTOR SHALL REMOVE ALL DAMAGED FURNITURE, AND DEBRIS FROM SITE.
- b. REMOVE AND DISPOSE ALL ROOFING SYSTEM INCLUDING THE SMALL RUBBER ROOF OVER THE THREE SEASON ROOM AT THE SECOND FLOOR.
- c. ANY REMOVAL OF UNSTABLE BEARING WALLS SHALL BE AS VERIFY AND APPROVED BY THE ENGINEER. d. REMOVE AND DISPOSE ALL ATTIC FLOOR JOISTS.
- e. SELECTIVE REMOVAL AND DISPOSAL OF ALL WOOD STRUCTURE TORCHED BY FIRE. f. REMOVE AND DISPOSE THE CONC. PLATFORM, COVERED PORCH AND THE SUNDECK
- WHERE SHOWN ON THE DRAWINGS.
- g. REMOVE AND DISPOSE BOTH CHIMNEY.
- h. REMOVE AND DISPOSE ALL PLUMBING PIPING AND PLUMBING FIXTURES.
- i. REMOVE AND DISPOSE ALL ELECTRICAL WIRING, FIXTURES AND OUTLETS. j. REMOVE AND DISPOSE ALL DOORS & WINDOWS AND FRAMES.
- k. REMOVE AND DISPOSE ALL VINYL FLOORING, CERAMIC FLOORING, SELECTIVE REMOVAL OF TORCHED WOOD FLOORING.
- I. REMOVE AND DISPOSE ALL HORSEHAIR PLASTER AND WOOD LATH. m. THE CONTRACTOR IS RESPONSIBLE TO PROPERLY DISPOSED OF ALL DEMOLITION
- AND CONSTRUCTION DEBRIS OFF SITE TO AN APPROVED WASTE MANAGEMENT PLANT.

AS REQUESTED BY THE INSPECTIONAL SERVICES DEPARTEMENT:

THE SQUARE FOOTAGE OF EXISTING & PROPOSED ARE AS LISTED HEREIN:

- 1. SQUARE FOOTAGE OF EXISTING FIRST FLOOR 1608 SQFT 2. PROPOSED SQUARE FOOTAGE OF FIRST FLOOR 1608 SQFT NO CHANGE.
- 3. SQUARE FOOTAGE OF EXISTING SECOND FLOOR 1670 SQFT
- 4. PROPOSED SQUARE FOOTAGE OF SECOND FLOOR 1670 SQFT NO CHANGE.
- 5. SQUARE FOOTAGE OF EXISTING THIRD FLOOR 1156 SQFT
- 6. PROPOSED SQUARE FOOTAGE OF THIRD FLOOR 1576 SQFT (+420 SQFT)



BASE	ement floo	OR WINDOW	SCHEDULE/EXISTING/DEMOLITION
1 2 3 4 5 6	2817 2817 TW 3436 TW 3436 TW 3436 TW 3436	R.O. R.O. 6 R.O. 6 R.O. 6 R.O. 6 R.O.	2'-8 $\frac{5}{8}$ " X 1'-7 $\frac{1}{4}$ ", R&D 2'-8 $\frac{5}{8}$ " X 1'-7 $\frac{1}{4}$ ", R&D 3'-6 $\frac{1}{8}$ " X 3'-9 $\frac{1}{4}$ ", R&D
BASE	Z' O'' V		CHEDULE/EXISTING/DEMOLITION
100	$3 - 0^{\circ} X$ $3' - 0^{\circ} X$	2'-8'', R&	D;
102 103 104	$2 - 6 \times 2^{2} - 8^{2} \times 2 - 2^{2} - 6^{2} \times 2 - 2^{2} - 2^{2} - 6^{2} \times 2 - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - 2^{2} - $	6'-8", R& X 6'-8", C	D; D; R&D

CONSTRUCTION DOCUMENTS	DESIGN BY ELI SEMAAN 17 ETHEL STREET Roslindale, Ma 02131-4507 Tel. (617)-469-2115 ESEMAAN2@HOTMAIL.COM
	DONAL PLANE
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	PLAN NORTH

DRAWING #



105	TW 3446	R.O.	3'-6 ½" X 4'-9 ¼", R&D
110	TW 3446	R.0.	3'-6 1/8" X 4'-9 1/4", R&D:
115	TW 3446	R.O.	3'-6 1/8" X 4'-9 1/4", R&D
120	TW 3446	R.0.	3'-6 1/8" X 4'-9 1/4", R&D
125	TW 2446	R.O.	2'-6 1/8" X 4'-9 1/4", R&D
130	TW 2446	R.O.	2'-6 1/8" X 4'-9 1/4", R&D
135	TW 2446	R.O.	2'-6 ½" X 4'-9 ¼", R&D
140	TW 2446	R.O.	2'-6 ½" X 4'-9 ¼", R&D
145	TW 2446	R.O.	2'-6 ½" X 4'-9 ¼", R&D
150	TW 3036	R.O.	3'-2 ⅛" X 3'-9 ¼", R&D
155	TW 3446	R.0.	3'-6 ⅛" X 4'-9 ¼", R&D
160	TW 3446	R.O.	3'-6 ⅛" X 4'-9 ¼", R&D
165	TW 3446	R.O.	3'-6 ⅛" X 4'-9 ¼", R&D
170	TW 3446	R.O.	3'-6 ½" X 4'-9 ¼", R&D
175	TW 3446	R.O.	3'-6 ⅛" X 4'-9 ¼", R&D
FIRST	FLOOR DOOR	SCHEE	DULE/EXISTING/DEMOLITION
100	3'-0" X 6'-	-8", EX	TERIOR, R&D
101	2'-10" X 6	'-8", R	&D
102	2'-8" X 6'-	-8", R&	:D;
103	3'-0" X 6'-	-8", R&	:D;
104	7'-0" X 6'-	-8", CA	SED OPENING, R&D
105	4'-6" X 6'-	-8", CA	SED OPENING, R&D
106	3'-6" X 6'-	-8", EX	TERIOR, R&D
107	3'-6" X 6'-	-8", R&	:D;
108	5'-8" X 6'-	-8", CA	SED OPENING, R&D
109	2'-8" X 6'-	-8", CA	SED OPENING, R&D
110	2'-8" X 6'-	-8", R&	:D;
111	2'-8" X 6'-	-8″, EX	TERIOR, R&D
112	2'-6" X 6'-	-8″, R&	:D;
113	2'-6" X 6'-	-8″, CA	SED OPENING, R&D
114	2'-8" X 6'-	-8″, R&	:D;
115	2'-8" X 6'-	-8″, R&	:D;
116	2'-6" X 6'-	-8″, R&	:D;
117	2 ⁻⁸ X 6'-	-8″, EX	IERIOR, R&D

FIRST FLOOR WINDOW SCHEDULE/EXISTING/DEMOLITION

- WORK LIMIT



- WORK LIMIT SECOND FLOOR WINDOW SCHEDULE/EXISTING/DEMOLITION 205 TW 3446 R.O. 3'-6 ½" X 4'-9 ¼", R&D; 210 TW 2446 R.O. 2'-6 1/8" X 4'-9 1/4", R&D; 215 TW 2446 R.O. 2'-6 ½" X 4'-9 ¼", R&D; 220 TW 3446 R.O. 3'-6 1/8" X 4'-9 1/4", R&D; 225 TW 3446 R.O. 3'-6 ½" X 4'-9 ¼", R&D; 230 TW 3446 R.O. 3'-6 ½" X 4'-9 ¼", R&D; 235 TW 3446 R.O. 2'-6 ½" X 3'-9 ¼", R&D; 240 TW 3446 R.O. 2'-6 ½" X 3'-9 ¼", R&D; 245 TW 3446 R.O. 2'-6 ½" X 3'-9 ¼", R&D; 250 TW 3446 R.O. 2'-6 1/8" X 3'-9 1/4", R&D; 255 TW 3446 R.O. 2'-6 ½" X 3'-9 ¼", R&D; 260 TW 3446 R.O. 2'−6 ⅛" X 3'−9 ¼", R&D; 265 TW 2436 R.O. 2'-6 1/8" X 3'-9 1/4", R&D; 270 TW 2436 R.O. 2'-6 1/8" X 3'-9 1/4", R&D; 275 TW 2436 R.O. 2'-6 ½" X 3'-9 ¼", R&D; 280 TW 2436 R.O. 2'-6 ½" X 3'-9 ¼", R&D; 285 TW 2436 R.O. 2'-6 ⅛" X 3'-9 ¼", R&D; 290 TW 2436 R.O. 2'-6 1/8" X 3'-9 1/4", R&D; 291 TW 3036 R.O. 3'-2 ½" X 3'-9 ¼", R&D; 292 TW 3446 R.O. 3'-6 ½" X 4'-9 ¼", R&D; 293 TW 3446 R.O. 3'-6 ‰" X 4'-9 ¼", R&D; 294 TW 3446 R.O. 3'-6 ⅛" X 4'-9 ¼", R&D; SECOND FLOOR DOOR SCHEDULE/EXISTING/DEMOLITION 200 2'-8" X 6'-8", R&D; 201 2'-8" X 6'-8", R&D; 202 2'-8" X 6'-8", R&D; 203 2'-8" X 6'-8", R&D; 204 3'-6" X 6'-8", CASED OPENING, R&D; 205 2'-6" X 6'-8", R&D; 206 2'-6" X 6'-8", R&D; 207 2'-6" X 6'-8", R&D; 208 2'-8" X 6'-8", CASED OPENING, R&D; 209 13'-2" X 7'-8", CASED OPENING, R&D; 210 2'-8" X 6'-8", R&D; 211 2−1'−8" X 6'−8", R&D; 212 2'−8" X 6'−8", R&D; 213 2'-6" X 6'-8", R&D; 214 2'-8" X 6'-8", R&D; 215 2'-8" X 6'-8", R&D;



- WORK LIMIT

		WIND	OW S	SCHEDU	JLE,	/EX	ISTI	NG/I	DEMC
305	TW 34	146	R.(). 3'	-6	⅛"	χ	4'–9	<i>1</i> 4",
310	TW 24	142	R.(). 2 ' ·	-6	⅛"	X	4'–5	1⁄4",
315	TW 24	142	R.(). 2 <mark>'</mark> .	-6	<u>%</u> "	X	4'–5	1⁄4",
320	TW 24	142	R.(). 2'.	-6	<i>1</i> 8″	X 4	1′-5	<i>Y</i> 4",
325	TW 34	146	R.(). 3'	-6	/8″	X	4′-9	<i>Y</i> 4″,
300	5'-0"	X 6'-	-8", °"	CASED	OF		NG,	R&	D;
701	7' 0"	V C'				2 E IVII			n.
301 302	3'-6"	X 6'-	-0, _8"				NG, NC	R&	D; D·
301 302 303	3'-6" 4'-6" 2'-6"	X 6'- X 6'- X 6'-	-o, -8", -8"		OF	PENI	NG, NG,	R& R&	D; D;
301 302 303 304	3'-6" 4'-6" 2'-6" 2'-6"	X 6'- X 6'- X 6'- X 6'-	-8", -8", -8", -8".	CASED CASED R&D R&D	OF	PENI	NG, NG,	R& R&	D; D;
301 302 303 304 305	3'-6" 4'-6" 2'-6" 2'-6" 2'-8"	X 6'- X 6'- X 6'- X 6'- X 6'-	-0, -8", -8", -8", -8",	CASED CASED R&D R&D R&D	OF OF	PENI	NG, NG,	R& R&	D; D;
301 302 303 304 305 306	3'-6" 4'-6" 2'-6" 2'-6" 2'-8" 2'-6"	X 6'- X 6'- X 6'- X 6'- X 6'- X 6'-	-0, -8", -8", -8", -8", -8",	CASED CASED R&D R&D R&D R&D R&D	OF	PENI	NG, NG,	R& R&	D; D;



SCALE: $\frac{3}{16}$ = 1'-0"

AN WHIND	011 301	
3036	R.0.	3'-6 ½" X 3'-9 ¼";
3036	R.0.	3'-6 1/8" X 3'-9 1/4";
3036	R.O.	$3'-6 \frac{1}{8}'' \times 3'-9 \frac{1}{4}'';$
3036	R.O.	$3'-6 \frac{1}{8}$ " X $3'-9 \frac{1}{4}$ ";
3036	R.O.	$3-6 \frac{1}{8} \times 3-9 \frac{1}{4};$
2020 2026	К.U. РО	$3-0/8 \times 3-9/4$; $3'-6/2'' \times 3'-0/2''$
2836	R.0.	3^{-0} /8 $^{-3}$ /4, 2^{-10} $k^{"}$ X $^{-9}$ /4,
2842	R 0	$2' - 10 \frac{10}{8}$ X $4' - 5 \frac{10}{8}$
2842	R.O.	$2'-10 \frac{1}{8}$ " X $4'-5 \frac{1}{8}$ ":
2842	R.O.	2'-10 ½" X 4'-5 ½":
2842	R.0.	2'-10 1/8" X 4'-5 1/4":
2836	R.0.	2'-10 1/8" X 3'-9 1/4";
2842	R.O.	2'-10 ½" X 4'-5 ¼";
2842	R.0.	2'-10 ⅛" X 4'-5 ¼";
2842	R.0.	2'-10 ½" X 4'-5 ¼";
3036	R.0.	3'-6 ¼" X 3'-9 ¼";
3036	R.O.	3'-6 ½" X 3'-9 ¼";
3036	R.O.	$3'-6 \frac{1}{8}'' \times 3'-9 \frac{1}{4}'';$
3036	R.O.	$3'-6'/_8$ X $3'-9'/_4$;
3036	R.0.	3-6 1/8 X 3-9 1/4;
	JUILL	
)"X 6'-	-8", CA	SED OPENING;
6"X 6'	-8", C/	ASED OPENING;
3" X 6'-	-8";	
5″X6′-	-8";	
5 X 6 -	-8"; o"	
) X b -)" v c'	-8; o".	
) X0- '_6" Y	-0; 6'_8"	
-0 ^ "	0−0, _8"·	DI-FULD,
3 × 0- 3 × 6'-	-0, -8"·	
'-6" X	6'-8".	BI-FOLD:
	,	,







SCALE : NOTED DATE: May 8, 2023 DESIGN BY: E.S. DRAWING BY: ES

CHECKED BY: ES JOB NO. ROXO32423



DRAWING # AI



BASEMENT FLOOR	WINDOW SCHEDULE/CONSTRUCTION	BASEMENT FLOOR DOOR SCHEDULE/CONSTRUCTION
1 2817 2 2817 3 TW 3436 4 TW 3436 5 TW 3436 6 TW 3436	R.O. $2'-8$ $\frac{5}{8}$ " X $1'-7$ $\frac{1}{4}$ "; R.O. $2'-8$ $\frac{5}{8}$ " X $1'-7$ $\frac{1}{4}$ "; R.O. $3'-6$ $\frac{1}{8}$ " X $3'-9$ $\frac{1}{4}$ ";	100 3'-0" X 2'-8"; 101 3'-0" X 2'-8"; 102 2'-6" X 6'-8"; 103 2'-8" X 6'-8"; 104 2'-6" X 6'-8", CASED OPENING;

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WE HAVE WORKED DILIGENTLY TO PROVIDE A TRUE PICTURE OF WHAT THE ROOF LINE APPEARS TO BE PRIOR THE HOUSE FIRE TOOK PLACE. OUR SITE INVESTIGATION AND USING GOOGLE EARTH IMAGING SHOWN PRIOR TO THE INCIDENT ENABLE US TO COLLECT ENOUGH DATA TO

THE EXTERIOR MATERIALS ARE AS LISTED HEREIN:

- 1. ARCHITECTURAL ASPHALT ROOFING SHINGLES AS LISTED BY GAF ROOFING MANUFACTURER.
- 2. CERTAINTEED VINYL SIDING.



LEFT ELEVATION SCALE: ³/16" = 1'-0"





CONSTRUCTION DOCUMENTS	DESIGN BY ELI SEMAAN 17 ETHEL STREET ROSLINDALE, MA 02131-4507 TEL. (617)-469-2115 ESEMAAN2@HOTMAIL.COM
	1# Revisions 1# 2 EXISTING & PROPOSED ELEVATIONS AS REQUESTED 1# 3 EXTERIOR MATERIALS 2 EXTERIOR MATERIALS
	Date Revision 01/23/24 Revision 01/27/24 Revision
	RENOVATION/RESTORATION 27 PERRIN STREET ROXBURY, MA 02119
	SCALE : NOTED DATE: May 8, 2023 DESIGN BY: E.S. DRAWING BY: ES CHECKED BY: ES JOB NO. ROX032423
	PLAN NORTH
	DRAWING #



WE HAVE WORKED DILIGENTLY TO PROVIDE A TRUE PICTURE OF WHAT THE ROOF LINE APPEARS TO BE PRIOR THE HOUSE

THE EXTERIOR MATERIALS ARE AS LISTED HEREIN:

CONSTRUCTION DOCUMENTS		DESIGN BY ELI SEMAAN		17 ETHEL STREET	ROSLINUALE, MA 02131-4507 Tet (647)-460-2115	FILL OLIVERS AN 2000 LILL OLIVERS AN 2000 LILL OLIVERS AN 2000 LILL OLIVERS AN 2000 LILL AN AN 2000 LILL AN AN		
	Revisions	EXISTING & PROPOSED ELEVATIONS AS REQUESTED	EXTERIOR MATERIALS					
	Revision #	Revision # 2	Revision # 3					
	Date	01/23/2	01/27/2					
	RENOVATION/RESTORATION 27 PERRIN STREET ROXBURY, MA 02119							
	SCALE : NOTED DATE: May 8, 2023 DESIGN BY: E.S. DRAWING BY: ES CHECKED BY: ES JOB NO. ROX032423							
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PLAN NORTH

DRAWING #

GENERAL NOTES

DESIGN LOADS:

IT IS THE INTENT OF THESE PLANS TO DEPICT CONSTRUCTION IN ACCORDANCE WITH MA STATE BUILDING CODE 10TH EDITION. THE STATE BUILDING CODE IS PART OF THESE CONSTRUCTION PLANS, AND THE CONTRACTOR MUST HAVE A COPY OF THE STATE BUILDING CODE ON SITE AT ALL TIME DURING CONSTRUCTION. ANY OMISSION ON THESE PLANS DOES NOT RELIEVE THE CONTRACTOR RESPONSIBILITIES TO COMPLY WITH THE STATE BUILDING CODE.

ALSO WFCN GUIDE FOR WOOD FRAME CONSTRUCTION IN HIGH WIND AREA FOR ONE AND TWO FAMILY IS PART OF THESE PLANS. CONTRACTOR MUST FAMILIARIZE HIMSELF WITH WFCN GUIDE PRIOR TO START CONSTRUCTION. A COPY OF WFCN GUIDE SHALL BE AT SITE ALL THE TIME DURING CONSTRUCTION

CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED TO COMPLETE CONSTRUCTION.

DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR MUST VERIFY ALL DIMENSIONS WITH ARCHITECTURE PLANS PRIOR TO START OF CONSTRUCTION

FIRST FLOOR	40 PSF
SECOND FLOOR	30 PSF
ATTIC	20 PSF
SNOW	40 PSF
WIND	118 MPH, RISK CATEGORY 1

ALL LUMBER/MATERIAL SUPPLIES SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE FOR STRUCTURE GRADE 2 OR BETTER.

BEAMS SPECIFIED AS LVL SHALL MEET THE SPECIFICATIONS OF LOUISIANA-PACIFIC CORPORATION ENGINEERED LUMBER OR EQUAL WITH MIN E=2,000,000. PSI

ALL ENGINEERED LVL BEAMS SHALL HAVE A MIN OF 3" BEARING LENGTH.

USE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOISTS

ALL WALLS PERPENDICULAR TO JOISTS SHALL HAVE SOLID BLOCKING UNDER WALL

ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED

ALL HANGARS NAILS AND HARDWARE USED SHALL BE CORROSION PROTECTED.

ALL WINDOWS AND DOORS USED MUST MEET THE REQUIREMENTS OF 105 MPH WIND.

TYPICAL FLOOR CONSTRUCTION

ALL FLOOR JOISTS SHALL BE AS SPECIFY ON THE DRAWINGS SPACED @ 16" O.C. EXCEPT AS NOTED

SUBFLOOR SHALL BE 3/4" T&G CDX PLYWOOD GLUED AND NAILED TO JOISTS. NAIL SPACING SHALL BE 6" O.C. AT EDGES AND 12" O.C. INFIELD

DOUBLE JOISTS UNDER ALL PARTITIONING WALLS PARALLEL TO JOISTS

ADD SOLID BLOCKING UNDER ALL WALLS PERPENDICULAR TO JOISTS

USE FACE-MOUNT HANGERS FOR ALL FLOOR JOISTS; HUS26 FOR SINGLE JOIST, HUS28-2 FOR DOUBLE JOISTS

TYPICAL ROOF CONSTRUCTION

ALL ROOF RAFTERS SHALL BE AS SPECIFY ON THE FRAMING PLAN EQUALLY SPACED. RAFTERS ENDS SUPPORTED ON BEARING WALLS,

- OR HEADERS AS SHOWN ON THE DRAWING. a. 5%" CDX PLYWOOD SHEATHING.
- b. ASPHALT ROOF SHINGLES ON ICE AND WATER SHIELD.
- CONTINUOUS SOFFIT AND RIDGE VENTS. d. ALL RAFTERS SHALL BE HUNG TO THE RIDGE BEAM USING RAFTER HANGERS
- e. USE HURRICANE TIES TO ATTACH RAFTERS TO TOP PLATE. f. NAILING SHALL BE 8d COMMON NAILS OR 10d BOX.

TOP FLANGE SCHEDULE USING (SIMPSOM STRONG TIES OR APPROVED EQUAL:)

FOR SINGLE JOIST MODEL # WP 29.25, 12 GAUGE, DIMENSIONS OF $1\%_6 \times 9\%_4 \times 4\times 2$, FASTENERS 2-16D ON TOP, 2-10DX 1% ON JOIST AND ALLOWABLE LOADS 2600 SPF

FOR DOUBLE JOIST MODEL # HB3.56/9.25, 10 GAUGE, DIMENSIONS OF 3 % X9 1/4 X31/2 X3, FASTENERS 6-16D ON TOP, 16-16D ON FACE 10-16D ON JOIST AND ALLOWABLE LOADS 3820 SPF

FOR TRIPLE JOIST MODEL # HWU5.50/9.25, 10 GAUGE, DIMENSIONS OF 51/2X91/4X31/4X21/2, FASTENERS 4-16D ON TOP, 4-16D ON FACE 6-10D ON JOIST AND ALLOWABLE LOADS 5415 SPF

