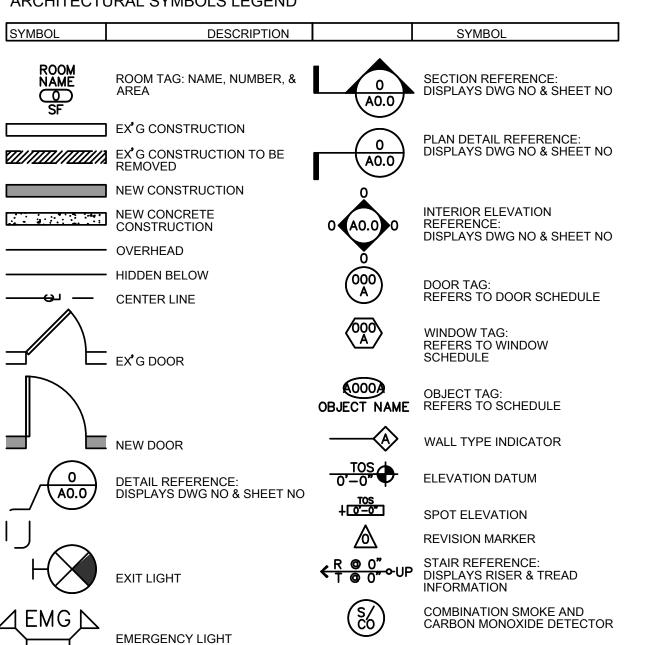
32 ELIOT ST

32 ELIOT ST JAMAICA PLAIN MA 02130

RCHI ⁻	TECTURAL ABBREVIAT	IONS			
BBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION
	AND	ENCL	ENCLOSURE; ENLCOSED	ОС	ON CENTER
	AT	ENG	ENGINEER	OD	OVERALL/OUTSIDE DIM
2	AIR CONDITIONING	EQ	EQUAL; EQUIVALENT	OP'G	OPENING
COM	ACCOMMODATE	EQUIP	EQUIPMENT	OPH	OPPOSITE HAND
T	ACOUSTIC CEILING TILE	EX'G	EXISTING	OPP	OPPOSITE
J	ADJACENT	EXP	EXPOSED		PARTITION; PARTIAL
JT =	ADJUSTABLE	EXP JT	EXPANSION JOINT	PBO	PROVIDED BY OTHER/OWNER
-	ABOVE FINISHED FLOOR ALTERNATE	EXT FD	EXTERIOR FINISH DIMENSION	PCC PL	PRE-CAST CONCRETE PLATE
JM	ALUMINUM	FDN	FOUNDATION		PLASTIC LAMINATE
OD	ANODIZED	FF	FINISH FLOOR	PLAS	PLASTER
_	ACCESS PANEL	FIN	FINISH		PLUMBING
PROX	APPROXIMATELY	FIX	FIXTURE	PLYWD	PLYWOOD
CH	ARCHITECT; ARCHITECTURA	L FLG	FLASHING	PNT	PAINT/PAINTED
РН	ASPHALT	FLR	FLOOR (ING)	POL	POLISHED
	BASEBOARD	FLUOR	FLUORESCENT	POS	POSITIVE
	BUNDLED CABLE	F.O.	FACE OF		PRELIMINARY
	BOARD	FP	FIREPROOFING	PVC	POLYVINYL CHLORIDE
1	BEYOND	FPSC	FIREPROOF SELF-CLOSING	R	RISER
\ <u>C</u>	BITUMINOUS	FR	FIRE RESISTANT	R/A	RETURN AIR
)G	BUILDING	FS FT (')	FINISH SLAB		RADIUS; RADIATOR
(C	BLOCKING		FOOT; FEET FOOTAGE; FOOTING	RCP RD, RND	REFLECTED CEILING PLAN
G	BLOCKING BEAM	FTG GA	GAUGE		ROUND RECEPTACLE
	BEAM BOTTOM OF	GA GALV	GAUGE GALVANIZED	REF	REFER TO; REFRIGERATOR
3	BEARING	GALV	GENERAL CONTRACTOR	REINF	REINFORCED
V	BETWEEN	GD	GROUND		REQUIRED
3	CABINET	GFI	GROUND FAULT INTERRUPTER		RESILIENT
3	CEMENTITIOUS BACKER BOA	_	GLASS	REV	REVEAL
3	CEDAR	GWB	GYPSUM WALL BOARD	RM	ROOM
M	CEMENT; CEMENTITOUS	HD	HAND; HEAD	RO	ROUGH OPENING
Λ	CUBIC FEET PER MINUTE	HDR	HEADER	SBO	SUPPLIED BY OTHER
₹	CHROME	HDWR	HARDWARE	SCHED	SCHEDULE
	CENTERLINE	HT, HGT	HEIGHT	SEC	SECTION
	CAST-IN-PLACE	HM	HOLLOW METAL	SIM	SIMILAR
•	CONTROL JOINT	HORIZ	HORIZONTAL	SOF	SOFFIT
3	CEILING	HR	HOUR	SP	SPRINKLER
₹	CLEAR(ANCE)	HVAC	HEATING, VENTILATION & A/C		SPECIFIATION; SPECIFIED
U	CONCRETE MASONRY UNIT	HW IN (")	HOT WATER	SQ SS	SQUARE
L MBO	COLUMN COMBINATION	INCL	INCH INCLUDED; INCLUDING	STL	STAINLESS STEEL STEEL
NC	CONCRETE	INSUL	INSULATION; INSULATED	STR	STRAIGHT
NST	CONSTRUCTION	INT	INTERIOR	STOR	STORAGE
NT	CONTINUOUS	JT	JOINT		STRUCTURE; STRUCTURAL
ORD	COORDINATE	L	LENGTH	SUSP	SUSPENDED
	CENTER POINT	LACQ	LACQUER	Т	TREAD
Γ	CARPET	LAM	LAMINATED; LAMINATIONS	TEL	TELEPHONE
	CERAMIC TILE	LAV	LAVATORY	TEMP	TEMPERATURE/TEMPERED
₹	CENTER	LIN	LINEAR	T&G	TONGUE & GROOVE
	COLD WATER	LCC	LEAD COATED COPPER	THK	THICK; THICKNESS
R	CLEAR WESTERN RED CEDA		LIGHT	TLT	TOILET
> /0\	DEPTH; DEEP	MAS	MASONRY	T.O.	TOP OF
3 (°)	DEGREE	MAX	MAXIMUM	T.O.S	TOP OF SLAB
MO	DEMOLITION	MECH	MECHANICAL	TYP	TYPICAL
PT	DEPARTMENT	MEMB MED	MEMBRANE	UNO	UNLESS NOTED OTHERWISE
	DIAMETER DIAGONAL	MFR	MANUFACTURER	VB VCT	VAPOR BARRIER
G	DIFFUSER	MID MIN	MIDDLE MINIMUM	VEN	VINYL COMPOSITION TILE VENEER
1	DIMENSION	MISC	MISCELLANEOUS	VEN	VERTICAL
PR	DAMPER	MLWK	MILLWORK	VERT	VERIFY IN FIELD
	DOWN	MGMT	MANAGEMENT	W	WIDTH
	DOOR	MO	MASONRY OPENING	W/	WITH
_	DETAIL		MOISTURE RESISTANT GWB	WC	WATER CLOSET
-	DISHWASHER	MTL	METAL	W/D	WASHER & DRYER
G	DRAWING	NIC	NOT IN CONTRACT	WD	WOOD
	EACH	NO (#)	NUMBER	WIN	WINDOW
C	ELECTRICAL	NOM	NOMINAL	WPF	WATERPROOF
V	ELEVATION	NTS	NOT TO SCALE	WPM	WATERPROOF MEMBRANE
R	EMERGENCY	OA	OVERALL	W/O	WITHOUT
ARCH SYMBO	HITECTURAL SYMBOLS	LEGEND CRIPTION	SYMB	.OI	
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R(N/	OOM AME ROOM TAG: NAME, I	NUMBER, &	SECTION R DISPLAYS I	EFERENC	DE:



FINISH / MATERIAL TAG

NOTES

BUILDING DEPARTMENT NOTES

1. ALL REFERENCES TO THE 'BUILDING CODE' OR 'THE CODE' SHALL REFER TO THE BUILDING CODE OF THE CITY OF BOSTON AND/OR MASSACHUSETTS STATE BUILDING CODE 2016 UNLESS OTHERWISE STATED.

2. CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL BUILDING CODES, STATE LABOR LAW AND ALL REGULATIONS OF THE CITY OF BOSTON AND MASSACHUSETTS STATE. ALL PERMITS SHALL BE PROPERLY

3. MEANS OF EGRESS SHALL BE KEPT UNOBSTRUCTED AT ALL TIMES AS PER THE CODE.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, APPROVALS, TESTING AND INSPECTIONS AS MAY BE REQUIRED BY THE DEPARTMENT OF BUILDINGS, ENVIRONMENTAL PROTECTION AGENCY, AIR RESOURCES AND THE FIRE DEPARTMENT AS PER THE CODE.

5. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEPARTMENT OF BUILDINGS PERMITS PRIOR TO THE START

6. ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE A. IT SHALL CONFORM WITH MFBU 'FIRE RESISTANCE

RATINGS' DECEMBER 1964. B. IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E-119-1961 'STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS' AND ACCEPTED BY THE COMMISSIONER. C. IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.

7. ALL CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, FLOOR OR THRESHOLD BY 1/4", UNLESS OTHERWISE NOTED. SMOKE, FUMES OR HOT GASES FROM ONE FLOOR TO ANOTHER SHALL BE PROPERLY FIRESTOPPED AS PER SUB-ART 13. MATERIALS ACCEPTABLE FOR FIRESTOPPING SHALL BE ROCKWOOL, MINERAL WOOL, NON-COMBUSTIBLE MATERIAL, SHEET METAL .022 THICK (MIN.), GYPSUM BOARD

8. INTERIOR FINISHES TO HAVE FLAME SPREAD RATINGS AS PRESCRIBED IN ASTM E-84-1961 'STANDARD METHOD TEST FOR SURFACE BURNING CHARACTERISTICS OF BUILDING

9. ALL SPACES OCCUPIED AS INDICATED ON PLAN. 10. ALL EXIT DOORS TO BE NON-COMBUSTIBLE

11. SUSPENDED CEILING CONSTRUCTION SHALL COMPLY WITH THE IRC & MASSACHUSETTS BUILDING CODE

12 ALL FIRE RATED DOORS SHALL BE 3'-0" X 7'-0" MINIMUM AND SHALL BEAR THE LABEL OF THE BOARD OF STANDARD AND APPEALS OR THE M.E.A. DIVISION.

GENERAL PROJECT NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MASSACHUSETTS AND CITY OF BOSTON , FIRE DEPT. REGULATIONS, UTILITY CO. REQUIREMENTS, AND THE BEST TRADE PRACTICES.

2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS. AND PAY ALL FEES REQUIRED BY GOVERNING CITY OF BOSTON

3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO THE ARCHITECT.

4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN AT THE COMPLETION OF DEMOLITION.

5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE

7. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).

8. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED

9. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

10. THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

CONSTRUCTION NOTES

TENANTS SAFETY PLAN

STRUCTURAL WORK IS INVOLVED.

HAVING JURISDICTION.

TOOLS, ETC.

CONTRACTOR.

ACCUMULATION.

BUILDING.

M-F, EXCEPT LEGAL HOLIDAYS.

TO OTHER TENANTS OF THE BUILDING.

COURSE OF CONSTRUCTION WORK.

1. GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH

THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS

BUILDING CODE, AND REGULATIONS OF ALL OTHER AGENCIES

STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE

PERSONS IN THE BUILDING SHALL BE MAINTAINED CLEAR &

FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS,

CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING

5. DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A

CONSTRUCTION AREA: AND TO BE CLEANED UP AND CLEARED

FROM THE BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE

6. NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE LIMITED TO NORMAL WORKING HOURS, TYPICALLY 8AM TO 5PM

PROPOSED CONSTRUCTION FLOOR. CONTRACTOR WILL LIMIT

TO A MINIMUM THE AMOUNT OF DUST, DIRT OR OTHER SUCH

INCONVENIENCES CREATED TO ALL OTHER AREAS OF THE

THERE WILL BE NO ONE OCCUPYING THE PROPOSED

CONSTRUCTION FLOOR TO BE RENOVATED DURING THE

4. FIRE SAFETY: ALL BUILDING MATERIALS STORED AT

MINIMUM, AND TO BE CONFINED TO THE IMMEDIATE

ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH

AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL

MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR

TEMPORARY BRACING AND SHORING WHEREVER ANY

ALL WALL TYPES ARE AS LISTED

TAPED AND SPACKLED.

2. ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.

3. PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING STRUCTURE UNLESS OTHERWISE NOTED. ALL EXISTING CORNER BEADS SHALL BE REMOVED AND JOINTS

4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

5. FRAMING OF ALL OPENINGS FOR DUCT WORK, RETURN AIR OPENINGS AND GRILLE OPENINGS ABOVE AND BELOW SUSPENDED CEILINGS SHALL BE COORDINATED WITH HVAC SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUND AND VIBRATION CONTROL.

6. WHERE DUCTS, PIPES OR CABLES PENETRATE RATED PARTITIONS, PROVIDE FIRESTOP MATERIAL TO INSURE CONTINUITY OF RATING.

REFERENCE DOOR SCHEDULE FOR DOOR TYPES AND

SUBMITTED TO THE ARCHITECT FOR APPROVAL. FABRICATION 7. CONSTRUCTION OPERATIONS WILL NOT INVOLVE OF MATERIAL SHALL NOT BEGIN UNTIL SUCH APPROVALS HAVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES BEEN RECEIVED FROM THE ARCHITECT

8. DETAILED DOOR AND HARDWARE SCHEDULES SHALL BE

9. ALL DOORS IN DRYWALL PARTITION SHALL BE SET 4" FROM 8. CONSTRUCTION WORK WILL BE CONFINED TO THE CLEAR OPENING OF FRAME TO IMMEDIATE ADJACENT WALL, UNLESS OTHERWISE NOTED.

10. ALL DOORS SHALL BE UNDERCUT, TO CLEAR FINISH

11. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATEDLY IF HE CANNOT COMPLY WITH ALL REQUIREMENTS. DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE DRAWINGS.

12. CONTRACTORS MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.

13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE CONSTRUCTION FLOORS DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.

NICHES, CORRIDORS, ETC. DIMENSIONS INDICATED MUST BE MAINTAINED. 15. CONTRACTOR SHALL COMPLY WITH ALL BASE BUILDING

14. WHERE CLEAR DIMENSIONS ARE INDICATED FOR FILE

STANDARDS FOR ALTERATIONS ESTABLISHED BY BUILDING MANAGEMENT. 16. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS

REQUIRED FOR ALL EXISTING HEATING SHUT OFF VALVES IN GYP. BD. WALLS OR NEW RADIATOR COVERS WHERE

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.

. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE DAMAGE AND SHALL MAKE REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.

3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN

4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED EITHER BY TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.

SHORING AND BRACING AS REQUIRED BY DEPT. OF BUILDINGS RULES AND REGULATIONS. 7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER

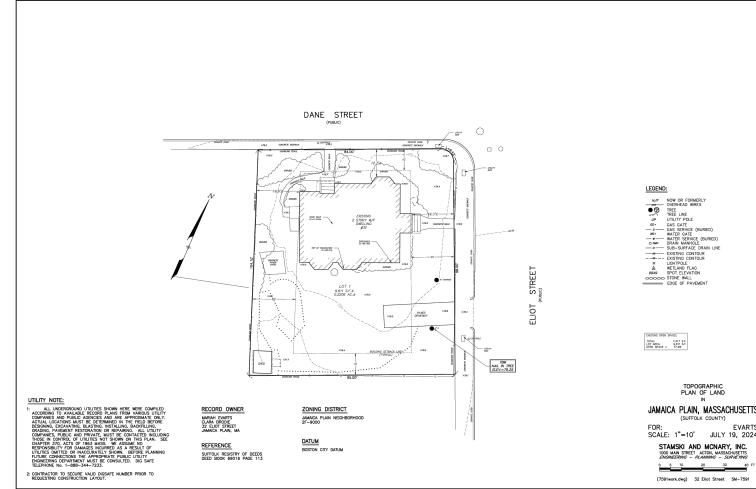
6. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN

ALL TEMPORARY BARRIERS, GUARDS, AND ALL TEMPORARY

PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

8. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPT. OF BUILDINGS, PAY ALL FEES. OBTAIN ALL PERMITS. AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

FILING/INDEXES



G.I.S OF PROPOSED

ZONING NOTES - SEE Z001

JAMAICA PLAIN MA 02130

SEE DRAWING Z001 FOR FULL ZONING ANALYSIS & SUMMARY

ENERGY COMPLIANCE - SEE PLAN A100,A101,A102 & A103

HERS COMPLIANCE PATH REQUIRED MAX SCORE OF 70

PER TABLE R406.5 FOR ALL ELECTRIC BUILDING

DRAWING INDEX

NUMBER | TITLE

T-001.00 TITLE PAGE, GIS INFO, DRAWING INDEX, PROJECT NOTES

Z-001.00 ZONING ANALYSIS AND SUMMARY

EX-100.00 BASEMENT EXISTING AND DEMOLITION PLANS EX-101.00 1ST FLOOR EXISTING AND DEMOLITION PLANS

EX-102.00 2ND FLOOR EXISTING AND DEMOLITION PLANS

EX-103.00 3RD FLOOR EXISTING AND DEMOLITION PLANS

EX-301.00 EXISTING EXTERIOR ELEVATION

EX-302.00 EXISTING EXTERIOR ELEVATION EX-303.00 EXISTING EXTERIOR ELEVATION

EX-304.00 EXISTING EXTERIOR ELEVATION

A-100.00 BASEMENT PLAN

A-101.00 1ST FLOOR PLAN

A-102.00 2ND FLOOR PLAN

A-103.00 3RD FLOOR PLAN A-104.00 ROOF PLAN (NOT ISSUED)

A-200.00 BASEMENT RCP & POWER PLANS

A-201.00 1ST FLOOR RCP & POWER PLANS

A-202.00 2ND FLOOR RCP & POWER PLANS

A-203.00 3RD FLOOR RCP & POWER PLANS

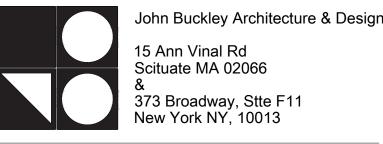
A-301.00 EXTERIOR ELEVATION

A-302.00 EXTERIOR ELEVATION A-303.00 EXTERIOR ELEVATION

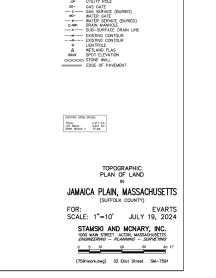
A-304.00 EXTERIOR ELEVATION

A-501.00 WINDOW AND DOOR SCHEDULE S1.0 STRUCTURAL PLAN AND DETAILS (NOT YET ISSUED)

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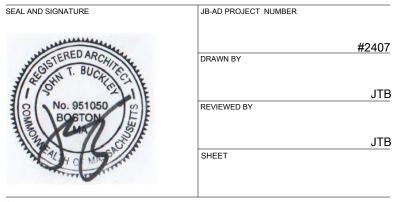
CONSULTANTS / CONTRACTOR



PRE-PERMIT SET FOR SUBS 04.02.25 DD - 1ST FLOOR INT ELEV 03.14.25 02.12.25 DD - KITCHEN INT ELEV PRELIM. SD DRAWINGS ISSUED FOR PRECON 01.24.25 01.22.25 SD-4 DESIGN DRAWINGS 01.08.25 SD-3 DESIGN DRAWINGS SD-2 DESIGN DRAWINGS 12.18.24 SD-1 DESIGN DRAWINGS 12.04.24 ISSUE / REV NO DATE

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TITLE PAGE



BOSTON ZONING ORDINANCE REFERENCED DEFINITIONS

FLOOR AREA, GROSS. THE SUM OF AREAS OF THE SEVERAL FLOORS OF THE STRUCTURE, AS MEASURED BY THE EXTERIOR FACES OF THE WALLS, INCLUDING FULLY ENCLOSED PORCHES AND THE LIKE AS MEASURED BY THEIR EXTERIOR LIMITS, BUT EXCLUDING THE AREAS SPECIFIED IN PART 1 OF THIS DEFINITION.

AREAS EXCLUDED FROM CALCULATION OF GROSS FLOOR AREA. (A) GARAGE SPACE: GARAGE SPACE IN THE BASEMENT OF A BUILDING, AND GRADE-LEVEL GARAGE SPACE ACCESSORY TO A DWELLING; HOWEVER, ABOVE-GRADE PARKING SHALL BE INCLUDED IN GROSS FLOOR AREA, (B) ACCESSORY USES BELOW GRADE: BASEMENT AND CELLAR AREAS DEVOTED EXCLUSIVELY TO USES ACCESSORY TO THE OPERATION OF THE STRUCTURE, (C) CERTAIN ABOVE-GRADE MECHANICAL EQUIPMENT: EXCEPT AS OTHERWISE SPECIFIED IN PART 2 OF THIS DEFINITION (CONCERNING LAUNDRY AND STORAGE AREAS IN CERTAIN DISTRICTS), AREAS ELSEWHERE IN THE STRUCTURE DEVOTED TO HOUSING MECHANICAL EQUIPMENT THAT IS CUSTOMARILY LOCATED IN THE BASEMENT OR CELLAR, SUCH AS HEATING AND AIR CONDITIONING EQUIPMENT, PLUMBING, ELECTRICAL EQUIPMENT, LAUNDRY FACILITIES AND STORAGE FACILITIES. (D) PUBLIC TRANSIT IMPROVEMENTS: PUBLIC TRANSIT IMPROVEMENTS BY OR FOR A PUBLIC AGENCY WITHIN THE LOT, ABOVE OR BELOW GRADE, INCLUDING HEAD HOUSES AND/OR STRUCTURES DESIGNATED FOR USE BY, ACCESS TO OR EGRESS FROM PUBLIC TRANSIT SERVICES, PROVIDED THAT ANY EXTERIOR CHANGES ARE SUBJECT TO SMALL PROJECT REVIEW. 2. AREAS NOT EXCLUDABLE IN CERTAIN DISTRICTS: IN AN H-2-45, H-2-65, H-3-65, L-2-65 OR B-3-65 DISTRICT. FLOOR AREA IS NOT EXCLUDABLE FROM THE CALCULATION OF GROSS FLOOR AREA AS AN AREA FOR STORAGE FACILITIES OR LAUNDRY FACILITIES IF: (I) THE FLOOR AREA WAS PREVIOUSLY INCLUDED IN GROSS FLOOR ARÉA IN AN EXISTING STRUCTURE, OR (II) THE FLOOR AREA IS LOCATED IN AN ADDITION TO AN EXISTING STRUCTURE; EXCEPT THAT FLOOR AREA IN AN ADDITION SHALL BE EXCLUDABLE FROM GROSS FLOOR AREA IF IT IS USED FOR STORAGE OR LAUNDRY FACILITIES IN AREAS NOT USED OR DESIGNED TO BE USED FOR HUMAN OCCUPANCY (SUCH AS ATTICS, BASEMENTS, CELLARS OR SPACE UNDER SLOPING EAVES).

BOSTON ZONING ORDINANCE REFERENCED ARTICLES

SECTION 13-5

TABLE B - DIMENSIONAL REGULATIONS

					TABLE E	- Continued						
	Lot Area, Minimum for Dwell. Unit(s) Specified (Sq.Ft.)	Additional Lot Area for Ea. Addit'l Dwell. Unit (Sq.Ft.)	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio <u>Maximum</u>	Building Height ⁽²⁾ Maximum <u>Stories</u>	<u>Feet</u>	Usable Open Space ⁽³⁾ Minimum Sq. Ft. Per <u>Dwelling Unit</u>	Front Yard ⁽⁴⁾ Minimum Depth <u>(Feet)</u>	Side Yard ⁽⁵⁾ Minimum Width <u>(Feet)</u>	Rear Yard Minimum Depth (Feet)	Rear Yard Maximum Occupancy by Accessory Buildings (Percent)
Two-Family Residential <u>Subdistrict</u>												
2F-7,000 ⁽¹⁾												
1 Family Detached or Semi-Attached or 2 Family Detached	5,000 for 1 unit	2,000	50	50	0.5	2-1/2	35	1,250 for 1 unit plus 500 for each addit'l unit	20	10	20	25
Other Use	7,000	N/A	50	50	0.5	2-1/2	35	1,750 per lot	20	10	20	25
2F-9,000 ⁽¹⁾												
1 Family Detached or Semi-Attached or 2 Family Detached	6,000 for 1 unit	3,000 ⁽¹⁾	50	50	0.5	2-1/2	35	1,500 for 1 unit plus 750 for each addit'l unit	20	10	20	25
Other Use	9,000	N/A	50	50	0.5	2-1/2	35	2,250 per lot	20	10	20	25

ZONING SUMMARY & BZA DIMENSIONAL FORM

ZONING NOTES

32 ELIOT ST JAMAICA PLAIN MA 12130

PARCEL ID: 1901798000 DISTRICT: JAMAICA PLAIN NEIGHBORHOOD

ZONE: 2F9000

STATE CLASS CODE: 101 - SINGLE FAMILY

USE GROUP EXISTING: RESIDENTIAL USE GROUP PROPOSED: RESIDENTIAL (NO CHANGE)

FAR MAX FAR:

1ST FLOOR:

0.5 (LOT AREA) LOT AREA: 9611 S.F. (19'x150') ALLOWABLE FA: 4805.5 S.F. EXISTING FA: 3364 S.F. - (CONFORMING)

PROPOSED FA: 3990 S.F. - (CONFORMING) EXISTING S.F BASEMENT: 1452 S.F. - (EXCLUDED FROM GROSS CALCULATION)

1701 S.F.

2ND FLOOR: 1099 S.F. 3RD FLOOR: 564 S.F.

TOTAL S.F.: 3364 S.F. (CONFORMING - EXCLUDES UNFINISHED BASEMENT)

PROPOSED S.F.
BASEMENT / GARDEN FLOOR: 1464 S.F. - (EXCLUDED FROM GROSS CALCULATION) 1ST FLOOR: 1765 S.F.

2ND FLOOR: 1644 S.F. 3RD FLOOR: 3990 S.F. - (CONFORMING - EXCLUDES UNFINISHED BASEMENT) TOTAL S.F.:

SETBACKS REQUIRED FRONT YARD:

19.3' - (NO CHANGE - PREEXISTING NON-CONFORMING) EXISTING FRONT YARD: PROPOSED FRONT YARD: 19.3' - (NO CHANGE - PREEXISTING NON-CONFORMING)

REQUIRED SIDE YARD:

12.8' (CONFORMING) EXISTING SIDE YARD: PROPOSED SIDE YARD: 11.9' (CONFORMING)

REQUIRED REAR YARD:

19.9' - (NO CHANGE - PREEXISTING NON-CONFORMING) EXISTING REAR YARD: PROPOSED REAR YARD: 19.9' - (NO CHANGE - PREEXISTING NON CONFORMING)

NO CHANGE IN USE UNDER THIS APPLICATION NO CHANGE IN NUMBER OF DWELLING UNITS CHANGE IN BULK TO BUILDING

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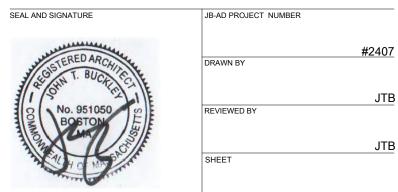
John Buckley Architecture & Design 15 Ann Vinal Rd Scituate MA 02066 373 Broadway, Stte F11 New York NY, 10013

CONSULTANTS / CONTRACTOR

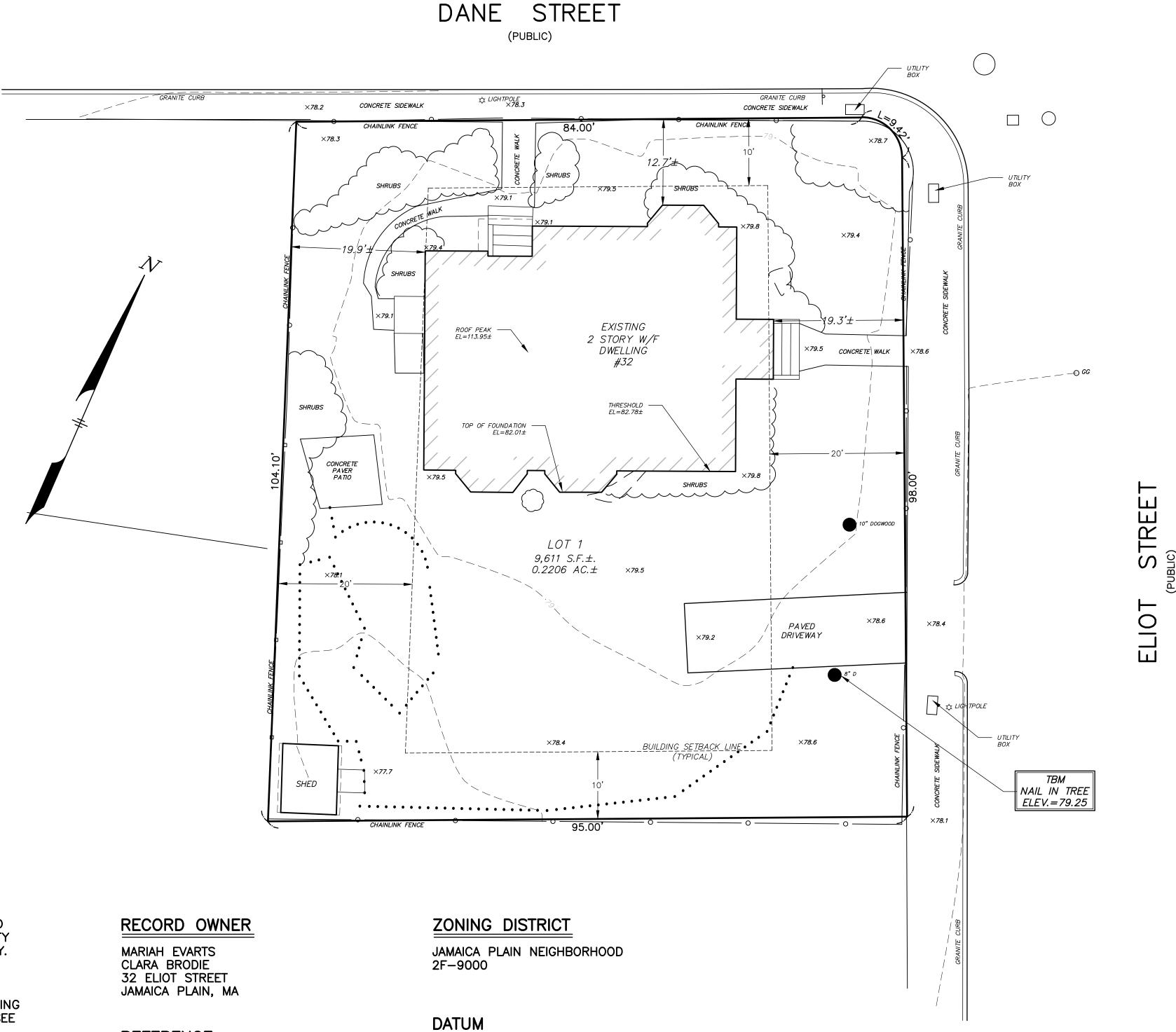


EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

ZONING ANALYSIS



Z001.00



LEGEND:

N/F NOW OR FORMERLY — orw OVERHEAD WIRES TREE LINE UTILITY POLE GAS GATE — G— GAS SERVICE (BURIED) WATER GATE — w— WATER SERVICE (BURIED) O DMH DRAIN MANHOLE — D — SUB-SURFACE DRAIN LINE ----99---- EXISTING CONTOUR --95--- EXISTING CONTOUR LIGHTPOLE WETLAND FLAG 99X9 SPOT ELEVATION OOOOO STONE WALL EDGE OF PAVEMENT

EXISTING OPEN SPACE: TOTAL: 7,417 S.F. LOT AREA: 9,611 S.F. OPEN SPACE = 77.2%

> TOPOGRAPHIC PLAN OF LAND

JAMAICA PLAIN, MASSACHUSETTS

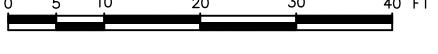
(SUFFOLK COUNTY)

FOR:

EVARTS SCALE: 1"=10' JULY 19, 2024

STAMSKI AND MCNARY, INC.

1000 MAIN STREET ACTON, MASSACHUSETTS ENGINEERING - PLANNING - SURVEYING



(7591work.dwg) 32 Eliot Street SM-7591

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.

2: CONTRACTOR TO SECURE VALID DIGSAFE NUMBER PRIOR TO REQUESTING CONSTRUCTION LAYOUT.

REFERENCE

SUFFOLK REGISTRY OF DEEDS DEED BOOK 69016 PAGE 113

BOSTON CITY DATUM

DANE STREET (PUBLIC) PROPOSED DECK AND STEPS ☆ LIGHTPOLE ×78.3 GRANITE CURB CONCRETE SIDEWALK CONCRETE SIDEWALK /12.8'± PROPOSED ~ EXISTING ADDITION 19.9'± PROPOSED 19.9'± **EXISTING** EXISTING EXISTING 2 STORY W/F DWELLING CONCRETE WALK SHRUBS TOP OF FOUNDATION — EL=82.01± 21.0'± PROPOSED PROPOSED — ADDITION PROPOSED DECK ×78.6 ×78.4 PAVED LOT 2 DRIVEWAY ×79.2 9,611 S.F.±. 0.2206 AC.± SHED NAIL IN TREE ELEV.=79.25

LEGEND:

N/F NOW OR FORMERLY ---OHW---- OVERHEAD WIRES TREE LINE UTILITY POLE GAS GATE — G — GAS SERVICE (BURIED) WATER GATE - W- WATER SERVICE (BURIED) O DMH DRAIN MANHOLE -- D -- SUB-SURFACE DRAIN LINE ----99---- EXISTING CONTOUR --95--- EXISTING CONTOUR LIGHTPOLE WETLAND FLAG 99X9 SPOT ELEVATION OOOOO STONE WALL EDGE OF PAVEMENT

EXISTING OPEN SPACE: TOTAL: 7,417 S.F. LOT AREA: 9,611 S.F. OPEN SPACE = 77.2%

PROPOSED PLOT PLAN

JAMAICA PLAIN, MASSACHUSETTS (SUFFOLK COUNTY)

FOR:

JONATHAN D BOLLEN

SCALE: 1"=10'

EVARTS MAY 16, 2025

STAMSKI AND MCNARY, INC. 1000 MAIN STREET ACTON, MASSACHUSETTS ENGINEERING - PLANNING - SURVEYING

(7591.P.PPL.dwg) 32 Eliot Street SM-7591

UTILITY NOTE:

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2: CONTRACTOR TO SECURE VALID DIGSAFE NUMBER PRIOR TO REQUESTING CONSTRUCTION LAYOUT.

RECORD OWNER

MARIAH EVARTS CLARA BRODIE 32 ELIOT STREET JAMAICA PLAIN, MA

REFERENCE

SUFFOLK REGISTRY OF DEEDS DEED BOOK 69016 PAGE 113

ZONING DISTRICT

JAMAICA PLAIN NEIGHBORHOOD 2F-9000

DATUM

BOSTON CITY DATUM

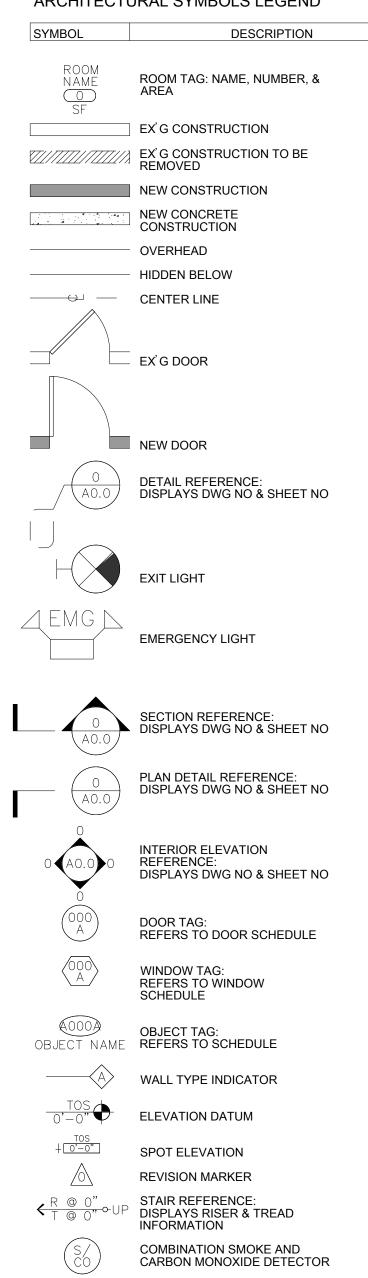
THE EXISTING DWELLING AND THE PROPOSED ADDITIONS ON THIS PROPERTY ARE LOCATED AS SHOWN AND ARE NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP; SUFFOLK COUNTY, MASSACHUSETTS; MAP NUMBER 25025C0067 G DATED: SEPTEMBER 25, 2009.

STREE

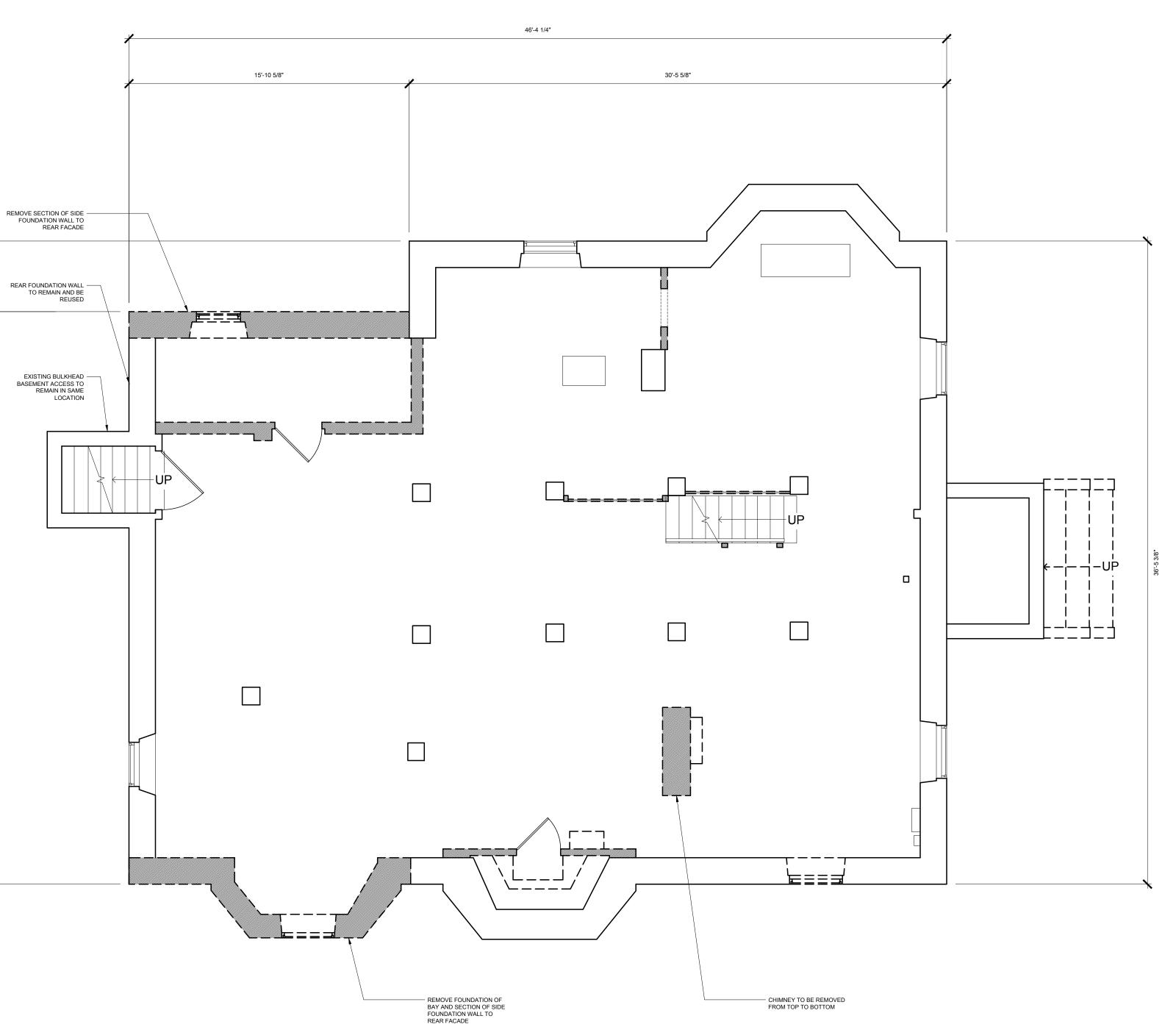
ELIO.

DATE REGISTERED PROFESSIONAL LAND SURVEYOR

ARCHITECTURAL SYMBOLS LEGEND



FINISH / MATERIAL TAG



EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

John Buckley Architecture & Design

15 Ann Vinal Rd Scituate MA 02066 373 Broadway, Stte F11 New York NY, 10013

CONSULTANTS / CONTRACTOR

GEN. DEMOLITION NOTES: - ALL WINDOWS AND DOORS TO BE REMOVED WITH

MINIMAL DISRUPTION

- TEMPORARY SHORING REQUIRED WHEN RE-FRAMING MAIN BEARING WALL OPENINGS

- SELECTIVE INTERIOR GUT DOWN TO FRAMING - REMOVE ONE CHIMNEY FROM ROOF TO BASEMENT AND PROVIDE STRUCTURE AT 3RD FLOOR TO KEEP CHIMNEY AT EXTERIOR

- HVAC & MECHANICAL EQUIPMENT TO BE REMOVED - ALL ELECTRICAL WIRING AND PANELS TO BE

- INTERNAL PLUMBING LINES WITHIN BUILDING SHELL TO BE REMOVED, MAIN SEWER CONNECTION TO

- DEMOLITION TO BE DONE IN A CONTROLLED WAY TO ENSURE STRUCTURAL INTEGRITY AND MINIMIZATION OF ENVIRONMENTAL HAZARD SUCH AS EXCESSIVE DUST

TEMPORARY SHORING NOTES:

TEMPORARY SHORING TO BE PROVIDED DURING DEMOLITION WHERE NEEDED, ESPECIALLY AT MODIFICATIONS TO THE MAIN BEARING WALL.

ARCHITECT AND/OR STRUCTURAL ENGINEER TO BE CONSULTED ON ANY AREAS OF DEMOLITION WHERE THE STRUCTURAL LOADS ARE NOT EXPLICITLY

HISTORIC DETAIL NOTES:

EXISTING & DEMO BASEMENT PLAN SCALE 1/4" = 1' - 0"

EXTERIOR DETAIL TO BE RETAINED AND

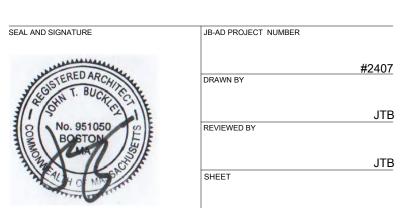
FIELD CONDITION OF SIDING TO BE EVALUATED AND BE RETAINED BEFORE BEING REPLACED

SINGLE CHIMNEY TO BE REMOVED - REMOVED AT INTERIOR AND STRUCTURE INSERTED TO SUPPORT CHIMNEY ABOVE ROOF

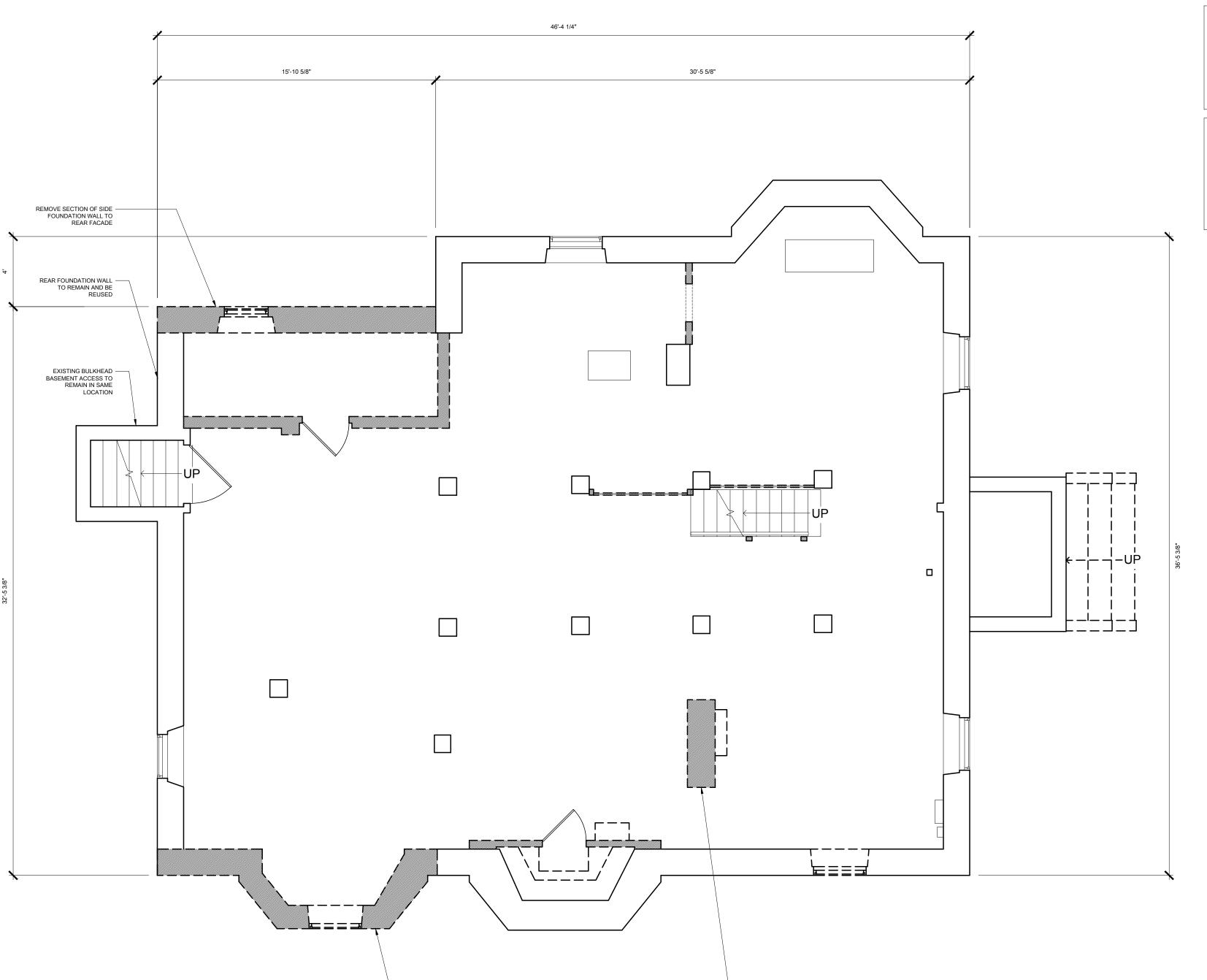
> 04.02.25 PRE-PERMIT SET FOR SUBS 03.14.25 DD - 1ST FLOOR INT ELEV 02.12.25 DD - KITCHEN INT ELEV 01.24.25 PRELIM. SD DRAWINGS ISSUED FOR PRECON 01.22.25 SD-4 DESIGN DRAWINGS 01.08.25 SD-3 DESIGN DRAWINGS 12.18.24 SD-2 DESIGN DRAWINGS 12.04.24 SD-1 DESIGN DRAWINGS ISSUE / REV NO DATE

EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

EXISTING AND DEMOLITION PLANS



EX100.00



ARCHITECTURAL SYMBOLS LEGEND SYMBOL DESCRIPTION ROOM TAG: NAME, NUMBER, & EX'G CONSTRUCTION EX'G CONSTRUCTION TO BE REMOVED NEW CONSTRUCTION NEW CONCRETE CONSTRUCTION OVERHEAD HIDDEN BELOW ───── CENTER LINE EX'G DOOR NEW DOOR DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO **EMERGENCY LIGHT** SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO

INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO

DOOR TAG: REFERS TO DOOR SCHEDULE

WINDOW TAG: REFERS TO WINDOW SCHEDULE

ELEVATION DATUM

SPOT ELEVATION REVISION MARKER

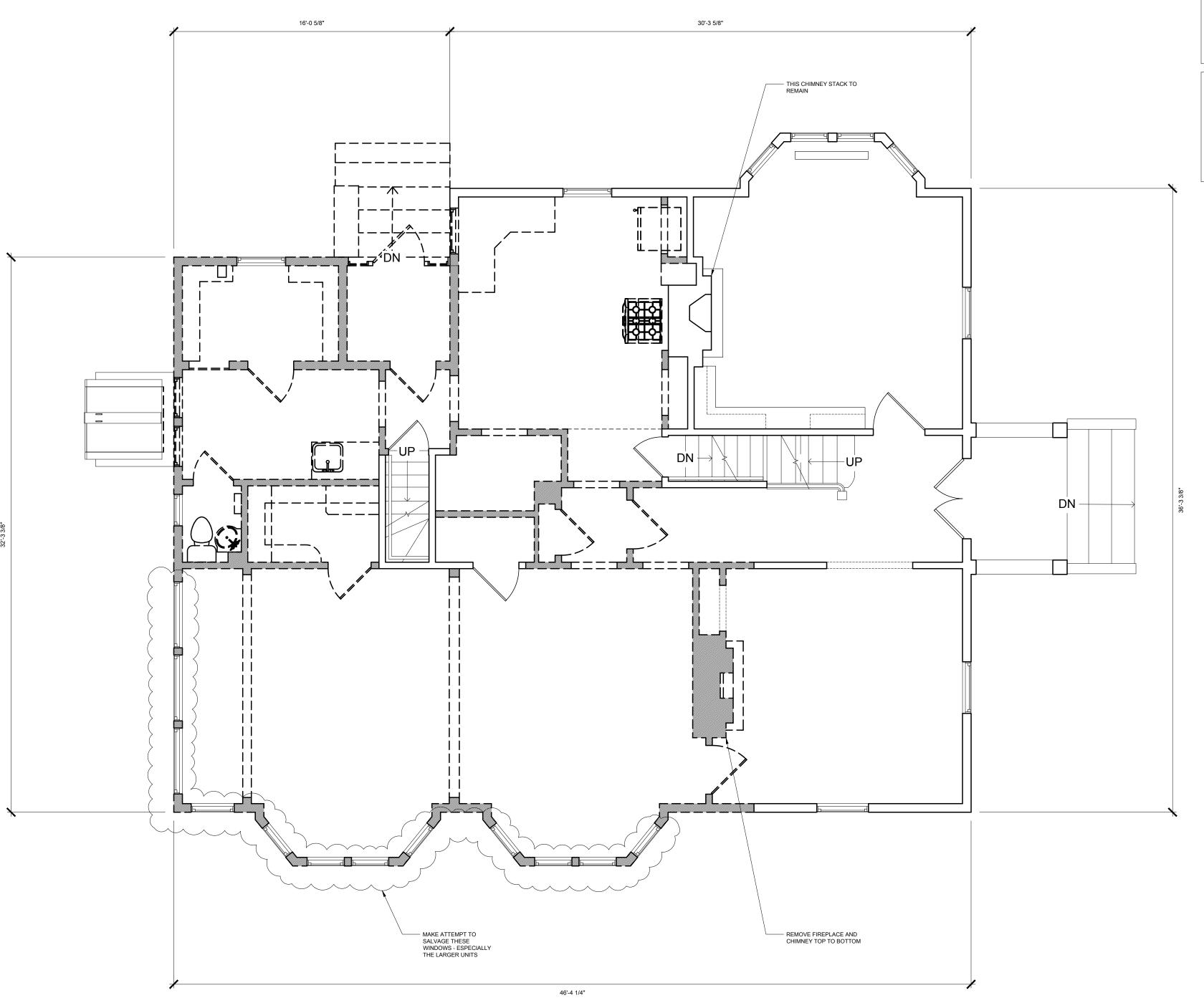
STAIR REFERENCE:
DISPLAYS RISER & TREAD
INFORMATION

FINISH / MATERIAL TAG

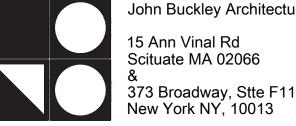
COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

OBJECT NAME REFERS TO SCHEDULE

WALL TYPE INDICATOR



EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130



John Buckley Architecture & Design 15 Ann Vinal Rd Scituate MA 02066

CONSULTANTS / CONTRACTOR

GEN. DEMOLITION NOTES: - ALL WINDOWS AND DOORS TO BE REMOVED WITH

MINIMAL DISRUPTION

- TEMPORARY SHORING REQUIRED WHEN RE-FRAMING MAIN BEARING WALL OPENINGS

- SELECTIVE INTERIOR GUT DOWN TO FRAMING - REMOVE ONE CHIMNEY FROM ROOF TO BASEMENT AND PROVIDE STRUCTURE AT 3RD FLOOR TO KEEP
CHIMNEY AT EXTERIOR

- HVAC & MECHANICAL EQUIPMENT TO BE REMOVED - ALL ELECTRICAL WIRING AND PANELS TO BE

- INTERNAL PLUMBING LINES WITHIN BUILDING SHELL TO BE REMOVED, MAIN SEWER CONNECTION TO

- DEMOLITION TO BE DONE IN A CONTROLLED WAY TO ENSURE STRUCTURAL INTEGRITY AND MINIMIZATION OF ENVIRONMENTAL HAZARD SUCH AS **EXCESSIVE DUST**

TEMPORARY SHORING NOTES:

TEMPORARY SHORING TO BE PROVIDED DURING DEMOLITION WHERE NEEDED, ESPECIALLY AT MODIFICATIONS TO THE MAIN BEARING WALL.

ARCHITECT AND/OR STRUCTURAL ENGINEER TO BE CONSULTED ON ANY AREAS OF DEMOLITION WHERE THE STRUCTURAL LOADS ARE NOT EXPLICITLY

HISTORIC DETAIL NOTES:

FIRST FLOOR EXISTING AND DEMO PLAN SCALE 1/4" = 1' - 0"

EXTERIOR DETAIL TO BE RETAINED AND

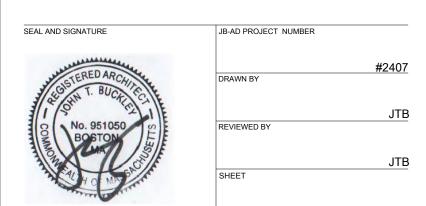
FIELD CONDITION OF SIDING TO BE EVALUATED AND BE RETAINED BEFORE BEING REPLACED

SINGLE CHIMNEY TO BE REMOVED - REMOVED AT INTERIOR AND STRUCTURE INSERTED TO SUPPORT CHIMNEY ABOVE ROOF

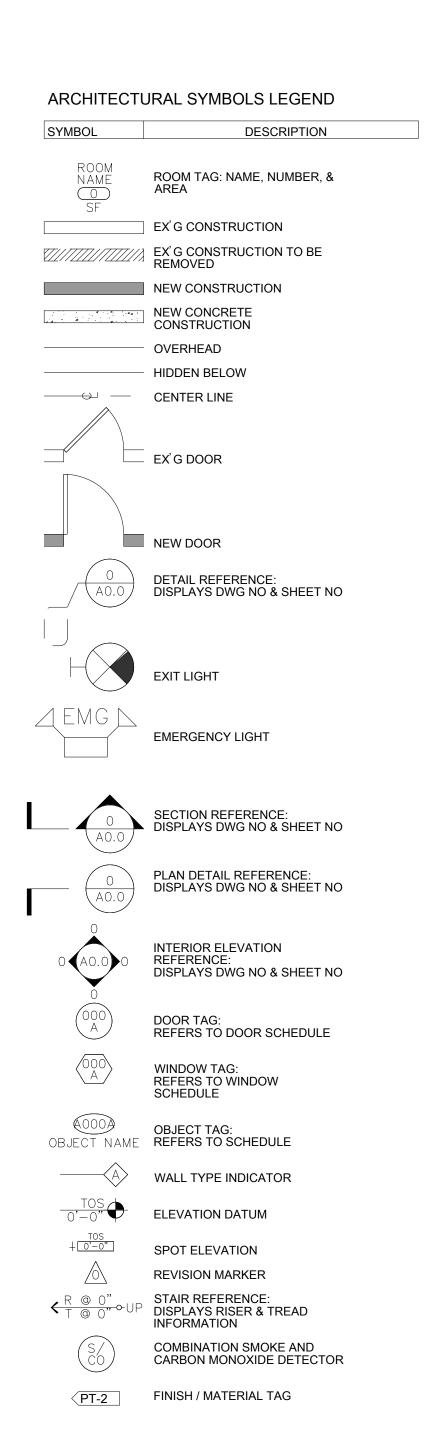
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08	04.02.25	PRE-PERMIT SET FOR SUBS
07	03.14.25	DD - 1ST FLOOR INT ELEV
06	02.12.25	DD - KITCHEN INT ELEV
05	01.24.25	PRELIM. SD DRAWINGS ISSUED FOR PRECON
04	01.22.25	SD-4 DESIGN DRAWINGS
03	01.08.25	SD-3 DESIGN DRAWINGS
02	12.18.24	SD-2 DESIGN DRAWINGS
01	12.04.24	SD-1 DESIGN DRAWINGS
ISSUE / REV NO	DATE	ISSUED TO

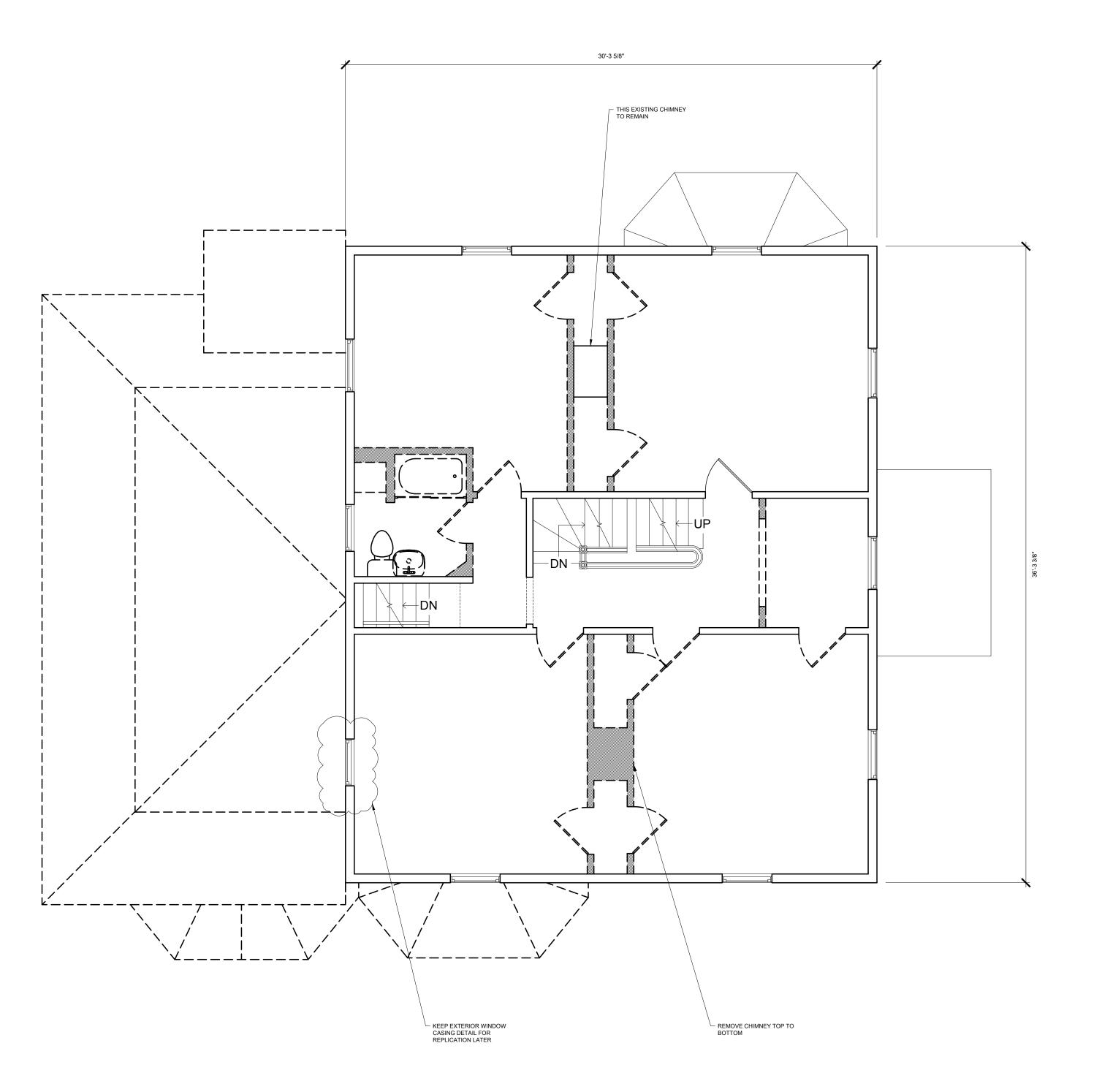
EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

EXISTING AND DEMOLITION PLANS



EX101.00





SECOND FLOOR EXISTING AND DEMO PLAN SCALE 1/4" = 1' - 0"

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John Buckley Architecture & Design

15 Ann Vinal Rd
Scituate MA 02066
&
373 Broadway, Stte F11
New York NY, 10013

CONSULTANTS / CONTRACTOR

GEN. DEMOLITION NOTES:

- ALL WINDOWS AND DOORS TO BE REMOVED WITH MINIMAL DISRUPTION

- TEMPORARY SHORING REQUIRED WHEN RE-FRAMING MAIN BEARING WALL OPENINGS

- SELECTIVE INTERIOR GUT DOWN TO FRAMING
- REMOVE ONE CHIMNEY FROM ROOF TO BASEMENT

AND PROVIDE STRUCTURE AT 3RD FLOOR TO KEEP

- HVAC & MECHANICAL EQUIPMENT TO BE REMOVED
- ALL ELECTRICAL WIRING AND PANELS TO BE

- INTERNAL PLUMBING LINES WITHIN BUILDING SHELL
TO BE REMOVED, MAIN SEWER CONNECTION TO

- DEMOLITION TO BE DONE IN A CONTROLLED WAY TO ENSURE STRUCTURAL INTEGRITY AND MINIMIZATION OF ENVIRONMENTAL HAZARD SUCH AS EXCESSIVE DUST

TEMPORARY SHORING NOTES:

CHIMNEY AT EXTERIOR

TEMPORARY SHORING TO BE PROVIDED DURING DEMOLITION WHERE NEEDED, ESPECIALLY AT MODIFICATIONS TO THE MAIN BEARING WALL.

ARCHITECT AND/OR STRUCTURAL ENGINEER TO BE CONSULTED ON ANY AREAS OF DEMOLITION WHERE THE STRUCTURAL LOADS ARE NOT EXPLICITLY APPARENT.

HISTORIC DETAIL NOTES:

EXTERIOR DETAIL TO BE RETAINED AND REFURBISHED.

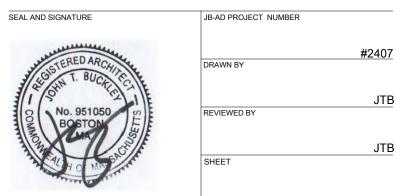
FIELD CONDITION OF SIDING TO BE EVALUATED AND BE RETAINED BEFORE BEING REPLACED

SINGLE CHIMNEY TO BE REMOVED - REMOVED AT INTERIOR AND STRUCTURE INSERTED TO SUPPORT CHIMNEY ABOVE ROOF

04.02.25 PRE-PERMIT SET FOR SUBS 03.14.25 DD - 1ST FLOOR INT ELEV 02.12.25 DD - KITCHEN INT ELEV 01.24.25 PRELIM. SD DRAWINGS ISSUED FOR PRECON 01.22.25 SD-4 DESIGN DRAWINGS 01.08.25 SD-3 DESIGN DRAWINGS 12.18.24 SD-2 DESIGN DRAWINGS 12.04.24 SD-1 DESIGN DRAWINGS ISSUE / REV NO DATE

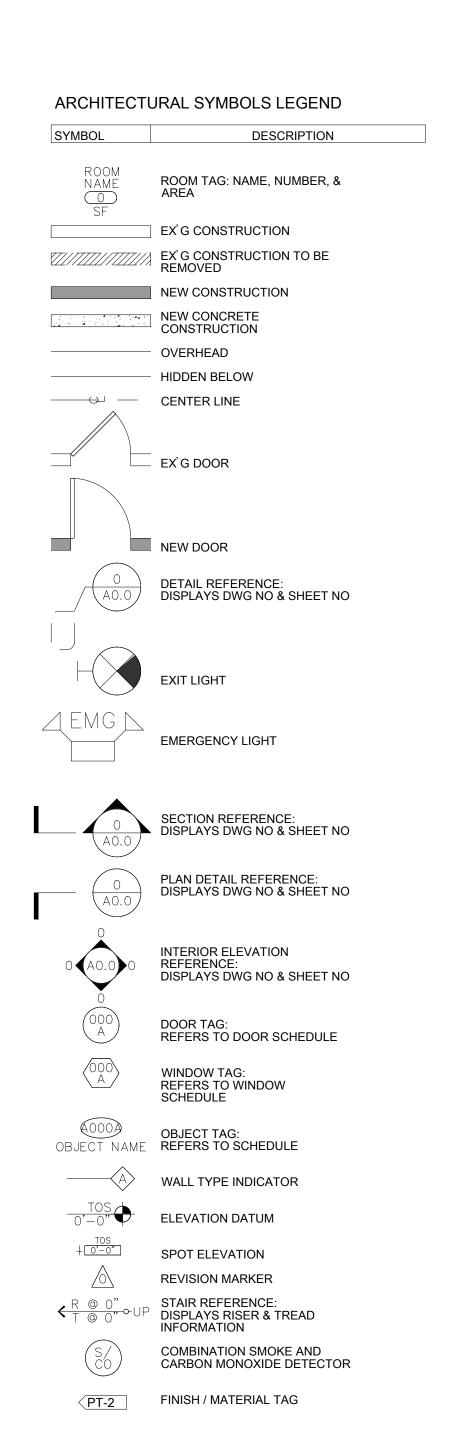
EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

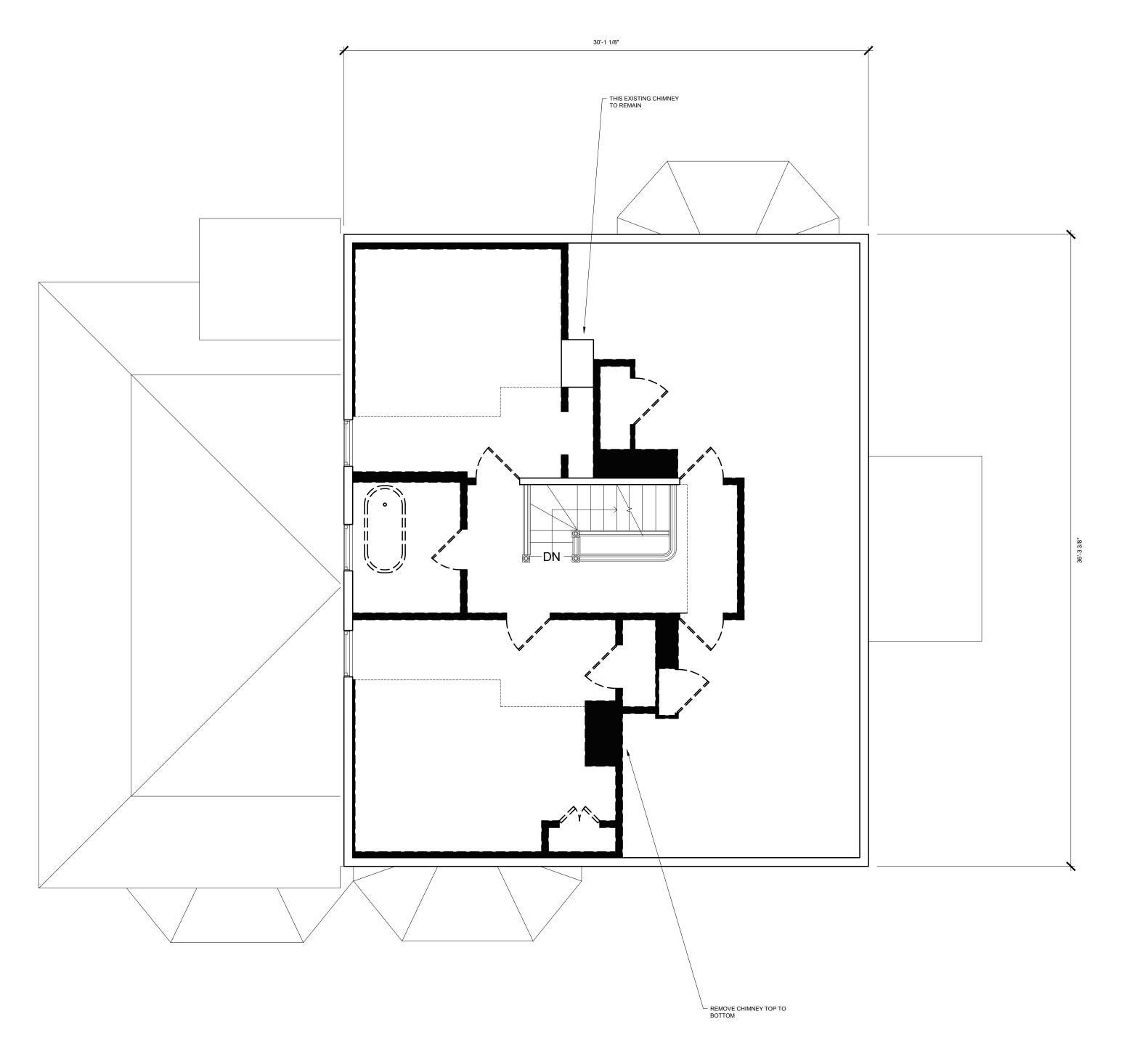
EXISTING AND DEMOLITION PLANS



SHEET NUMBER

EX102.00





EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

John Buckley Architecture & Design

15 Ann Vinal Rd Scituate MA 02066 373 Broadway, Stte F11 New York NY, 10013

CONSULTANTS / CONTRACTOR

GEN. DEMOLITION NOTES: - ALL WINDOWS AND DOORS TO BE REMOVED WITH

MINIMAL DISRUPTION

- TEMPORARY SHORING REQUIRED WHEN RE-FRAMING MAIN BEARING WALL OPENINGS

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CHIMNEY AT EXTERIOR - HVAC & MECHANICAL EQUIPMENT TO BE REMOVED

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HISTORIC DETAIL NOTES:

EXTERIOR DETAIL TO BE RETAINED AND

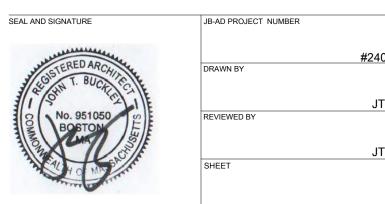
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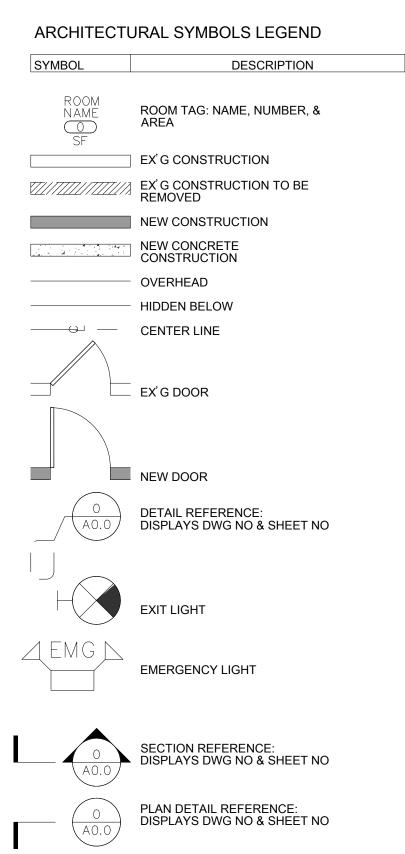
04.02.25 PRE-PERMIT SET FOR SUBS 03.14.25 DD - 1ST FLOOR INT ELEV 02.12.25 DD - KITCHEN INT ELEV 01.24.25 PRELIM. SD DRAWINGS ISSUED FOR PRECON 01.22.25 SD-4 DESIGN DRAWINGS 01.08.25 SD-3 DESIGN DRAWINGS 12.18.24 SD-2 DESIGN DRAWINGS 12.04.24 SD-1 DESIGN DRAWINGS ISSUE / REV NO DATE

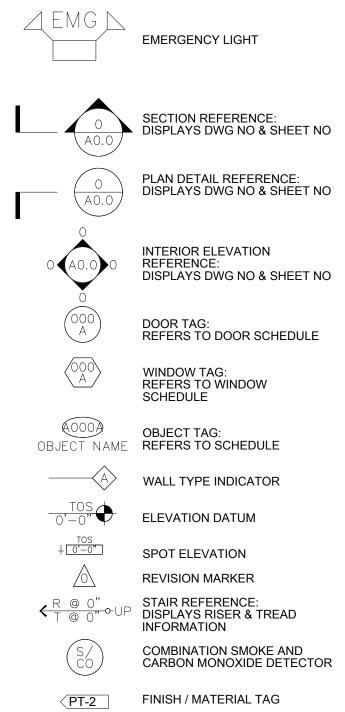
EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

EXISTING AND DEMOLITION THIRD FLOOR PLAN



EX103.00







Basement -8' - 7"

SOUTH EXTERIOR ELEVATION
SCALE 1/4" = 1' - 0"

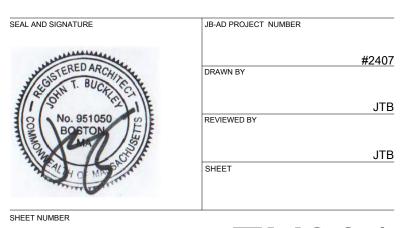
EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

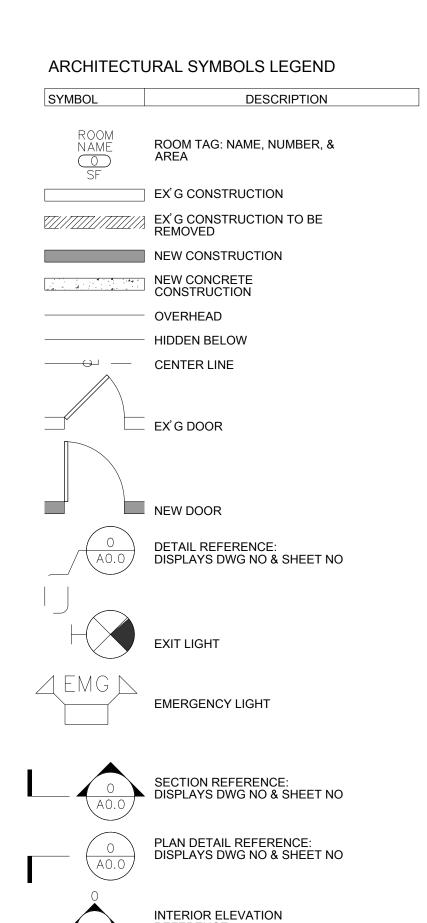


ISSUE / REV NO	DATE	ISSUED TO	
01	12.04.24	SD-1 DESIGN DRAWINGS	
02	12.18.24	SD-2 DESIGN DRAWINGS	
03	01.08.25	SD-3 DESIGN DRAWINGS	
04	01.22.25	SD-4 DESIGN DRAWINGS	
05	01.24.25	PRELIM. SD DRAWINGS ISSUED FOR PRECON	
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08	04.02.25	PRE-PERMIT SET FOR SUBS	
09	04.07.25	PERMIT SET	

EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

EXISTING SOUTH EXTERIOR ELEVATION





REFERENCE: DISPLAYS DWG NO & SHEET NO

DOOR TAG: REFERS TO DOOR SCHEDULE

WINDOW TAG: REFERS TO WINDOW SCHEDULE

SPOT ELEVATION
REVISION MARKER

COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

OBJECT TAG:
OBJECT TAG:
REFERS TO SCHEDULE

WALL TYPE INDICATOR

O'-O" ELEVATION DATUM

 ← R @ 0"
 O"
 O"

PT-2 FINISH / MATERIAL TAG



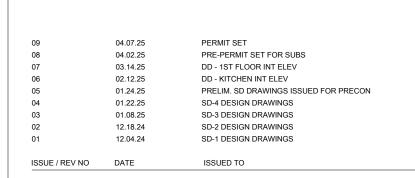


REAR / WEST EXTERIOR ELEVATION
SCALE 1/4" = 1' - 0"

EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

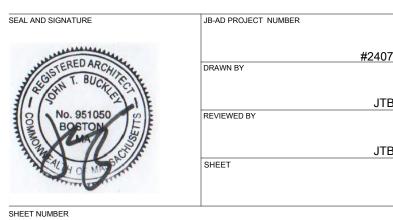


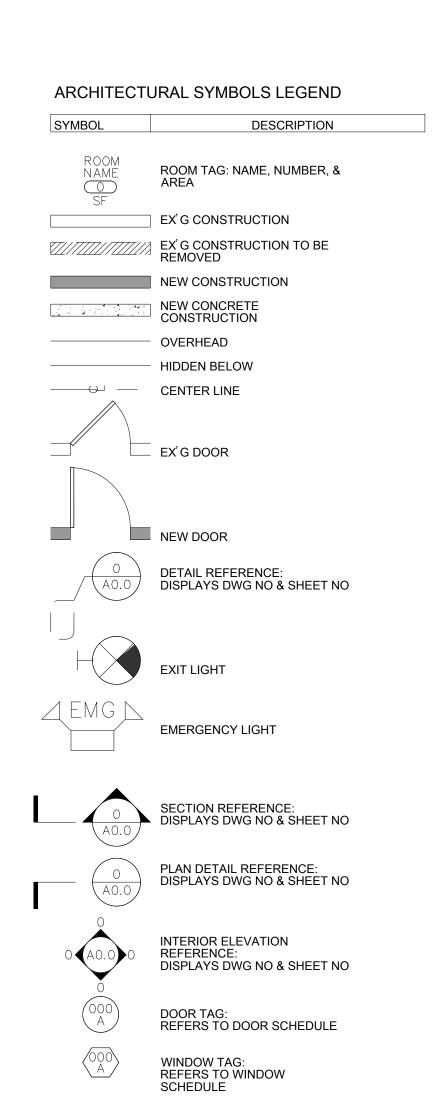
SULTANTS / CUNTRACTOR



EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

REAR / WEST EXISTING EXTERIOR ELEVATION





OBJECT TAG:
OBJECT TAG:
REFERS TO SCHEDULE

WALL TYPE INDICATOR

O'-O" ELEVATION DATUM

 ← R @ 0"
 O"
 O"

PT-2 FINISH / MATERIAL TAG

SPOT ELEVATION

REVISION MARKER

COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR





FRONT / EAST EXTERIOR ELEVATION
SCALE 1/4" = 1' - 0"

Basement -8' - 7"

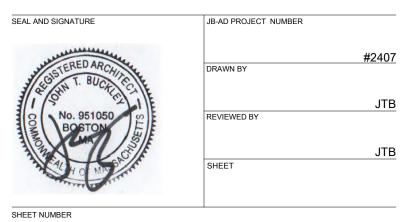
EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130



)	04.07.25	PERMIT SET
3	04.02.25	PRE-PERMIT SET FOR SUBS
,	03.14.25	DD - 1ST FLOOR INT ELEV
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5	01.24.25	PRELIM. SD DRAWINGS ISSUED FOR PRECON
ļ	01.22.25	SD-4 DESIGN DRAWINGS
3	01.08.25	SD-3 DESIGN DRAWINGS
2	12.18.24	SD-2 DESIGN DRAWINGS
	12.04.24	SD-1 DESIGN DRAWINGS
SUE / REV NO	DATE	ISSUED TO

EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

FRONT / EAST EXISTING EXTERIOR ELEVATION ELEVATION







EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

John Buckley Architecture & Design

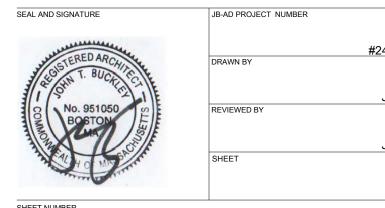
15 Ann Vinal Rd
Scituate MA 02066
&
373 Broadway, Stte F11
New York NY, 10013

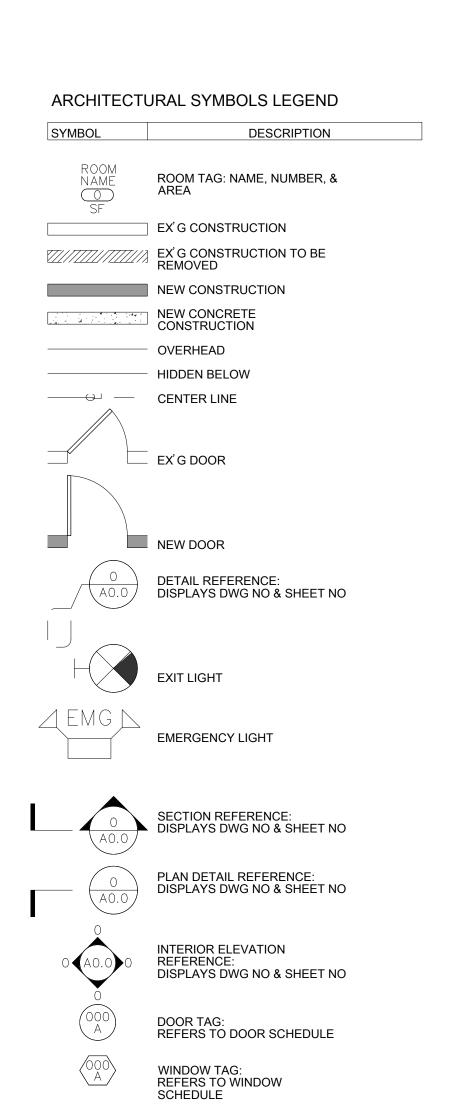
CONSULTANTS / CONTRACTOR

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08	04.02.25	PRE-PERMIT SET FOR SUBS
09	04.07.25	PERMIT SET

EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

NORTH EXISTING EXTERIOR ELEVATION





OBJECT TAG:
OBJECT NAME REFERS TO SCHEDULE

WALL TYPE INDICATOR

ELEVATION DATUM

SPOT ELEVATION
REVISION MARKER

STAIR REFERENCE:
DISPLAYS RISER & TREAD
INFORMATION

FINISH / MATERIAL TAG

COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

EXTERIOR MODIFICATION NOTES:

RETAIN SIGNIFICANT EXTERIOR
ARCHITECTURAL WOODWORKING FOR
REPLICATION

EXISTING STAIR NOTES:

EXISTING STAIR FROM 1ST TO 3ND FLOOR
TO BE RETAINED AND REFURBISHED FINISH
DETAILS TO COME

ELECTRICAL NOTES:

NEW 400 AMP SERVICE BROUGHT TO HOUSE

NEW WIRING AND NEW LIGHTING THROUGHOUT - FIXTURE SPECS AND RCP WILL BE PROVIDED

CAR CHARGE PART OF SCOPE

BASEMENT NOTES:

SILL PLATE TO RIM JOIST / FRAMED WALL
ABOVE TO BE THOROUGHLY INSULATED W/
CC SPRAY FOAM

BASEMENT CEILING TO BE INSULATED W/
EITHER MINERAL WOOL OR BLOWN
CELLULOSE INSULATION

BASEMENT TO BE RE POINTED AS NEEDED.

HVAC NOTES:

NEW ELECTRIC MECHANICAL SYSTEM THROUGHOUT W/ ERV SYSTEM

AIR HANDLERS LOCATED IN BASEMENT TO CONDITION 1ST FLOOR AND BASEMENT

AIR HANDLERS ALSO LOCATED IN ATTIC CRAWL SPACE TO CONDITION 2ND AND 3RD FLOORS.

MINISPLIT SYTEM ANTICIPATED

SYSTEM SIZED WITH INSULATION AND AIR BARRIER ACCOUNTED FOR

AIR BARRIER TARGET OF 1.5-2 ACH @ 50 PASCAL

HERS TARGET OF 53 (CHECK WITH RATER)

GENERAL RENOVATION NOTES:

AN ADDITIONAL 1-1/2" TO 3" FURRED OUT WALL TO THE INTERIOR OF PERIMETER WALL IN ORDER TO GAIN R-VALUE

NEW GYP AT ALL INTERIOR WALLS

NEW PLUMBING, MECHANICAL AND ELECTRICAL THROUGHOUT

NEW ERV WHOLE HOME VENTILATION SYSTEM

NEW STAIR TO BASEMENT

NEW STAIR TO BASEMENT

NEW WINDOWS AND EXTERIOR DOORS

NEW INTERIOR DOORS

NEW MILLWORK

NEW FLOORING THROUGHOUT

ENERGY CODE COMPLIANCE NOTE:
(PER TABLE R406.5)

COMPLIANCE PATH:

HERS (MAX. SCORE OF 70)
ALTERATION TYPE 3
ALL ELECTRIC BUILDING

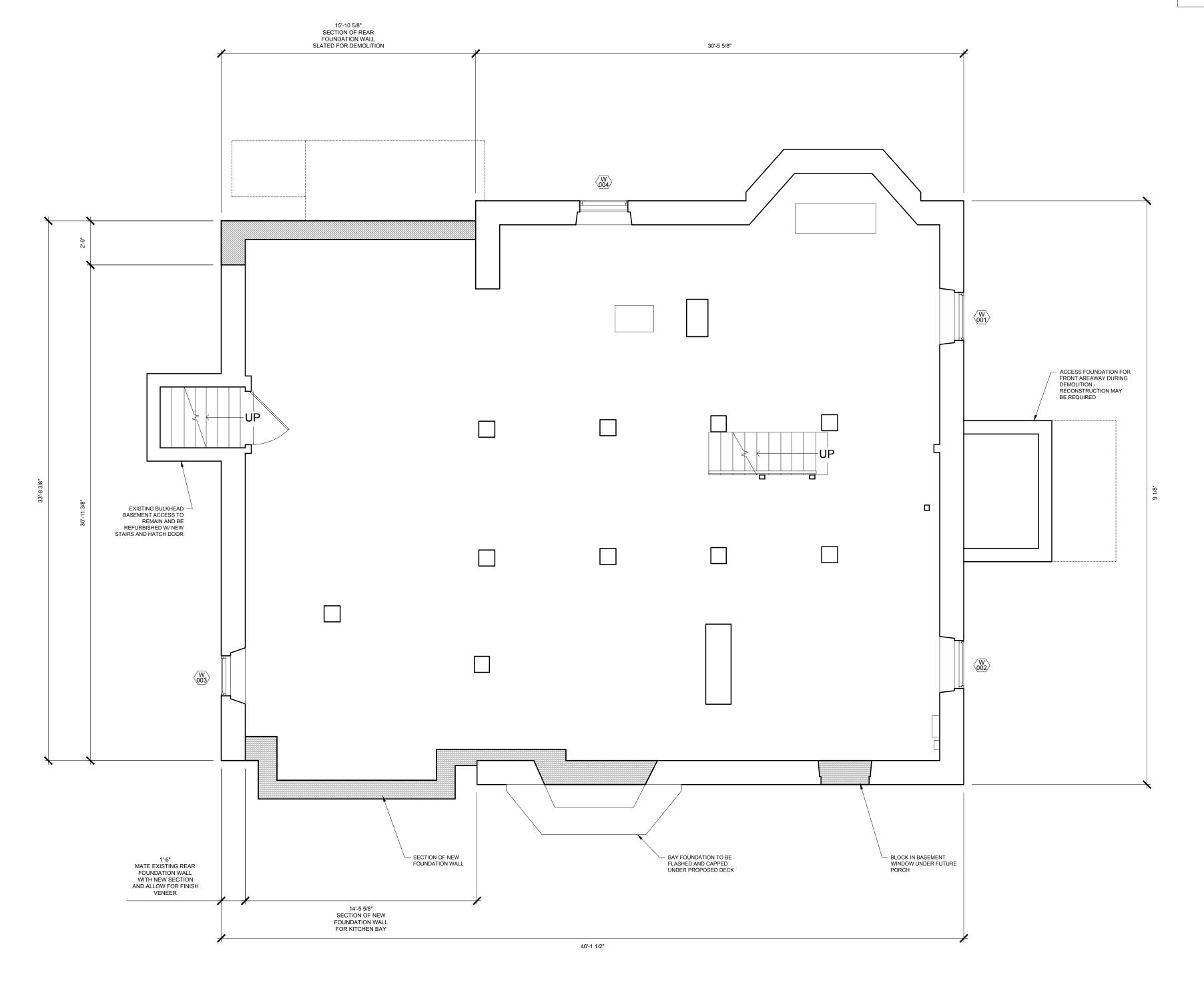
INSULATION MATERIALS:
FOUNDATION WALL:
INTERIOR CC SF - R 20
RIM JOIST:
INTERIOR OC SF - R 21
ABOVE GRADE WALLS:
FRAMING CAVITY CC SF - R 20
ABOVE GRADE WALLS:
ROOF RAFTERS:
FRAMING CAVITY CC SF - R 49

FENESTRATION:
UVALUE:
0.30
SHGC:
0.27

ENERGY CODE COMPLIANCE STRATEGY GENERAL NOTE:

BUILDING SHELL UPDATES AS FOLLOWS:
NEW RIM JOIST INSULATION AT ALL FLOORS
NEW PERIMETER WALL INSULATION
NEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION
NEW ROOF RAFTER INSULATION
HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM
24 HOUR MECHANICAL ENERGY RECOVERY VENTILATION
AIR SOURCE HEAT PUMP DOMESTIC WATER HEATER

MECHANICAL SYSTEM DESIGN:
AIR SOURCE HEAT PUMP - MINISPLIT SYSTEM (AC & HEAT)
ERV:



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John Buckley Architecture & Design

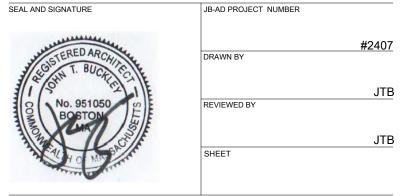
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&
373 Broadway, Stte F11
New York NY, 10013

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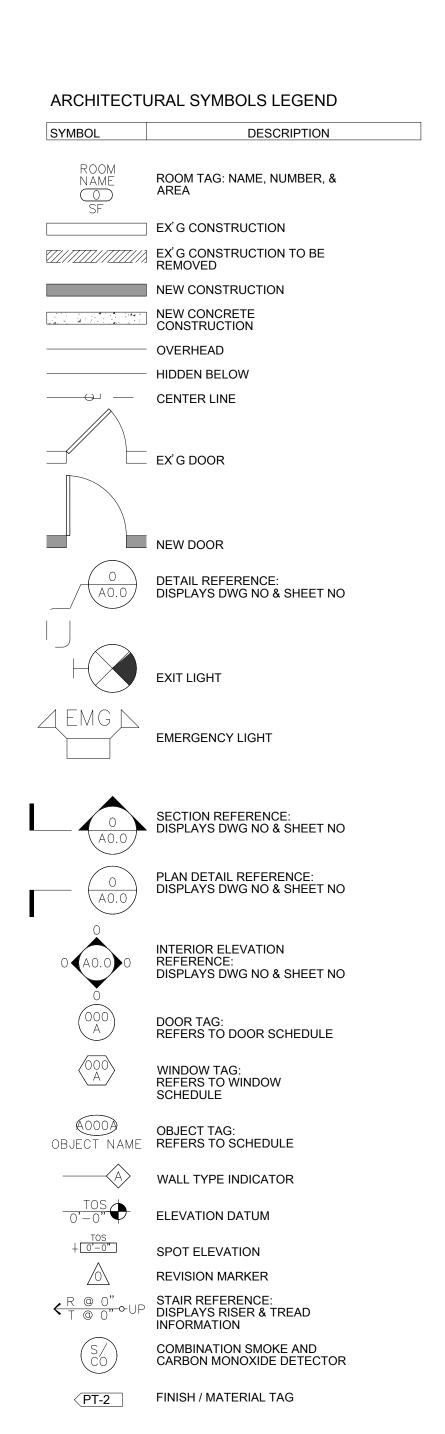
ISSUE / REV NO	DATE	ISSUED TO
01	12.04.24	SD-1 DESIGN DRAWINGS
02	12.18.24	SD-2 DESIGN DRAWINGS
03	01.08.25	SD-3 DESIGN DRAWINGS
04	01.22.25	SD-4 DESIGN DRAWINGS
05	01.24.25	PRELIM. SD DRAWINGS ISSUED FOR PRECON
06	02.12.25	DD - KITCHEN INT ELEV
07	03.14.25	DD - 1ST FLOOR INT ELEV
08	04.02.25	PRE-PERMIT SET FOR SUBS
09	04.07.25	PERMIT SET

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BASEMENT PLAN



SHEET NUMBER



ENERGY CODE COMPLIANCE NOTE: (PER TABLE R406.5) EXISTING STAIR NOTES: ELECTRICAL NOTES: HVAC NOTES: GENERAL RENOVATION NOTES: EXTERIOR MODIFICATION NOTES: BASEMENT NOTES: AN ADDITIONAL 1-1/2" TO 3" FURRED OUT WALL TO THE INTERIOR OF PERIMETER WALL IN ORDER TO GAIN R-VALUE EXISTING STAIR FROM 1ST TO 3ND FLOOR SILL PLATE TO RIM JOIST / FRAMED WALL NEW ELECTRIC MECHANICAL SYSTEM RETAIN SIGNIFICANT EXTERIOR NEW 400 AMP SERVICE BROUGHT TO ARCHITECTURAL WOODWORKING FOR REPLICATION TO BE RETAINED AND REFURBISHED FINISH
DETAILS TO COME ABOVE TO BE THOROUGHLY INSULATED W/CC SPRAY FOAM COMPLIANCE PATH: HERS (MAX. SCORE OF 70) NEW WIRING AND NEW LIGHTING THROUGHOUT - FIXTURE SPECS AND RCP WILL BE PROVIDED AIR HANDLERS LOCATED IN BASEMENT TO ALTERATION TYPE 3
ALL ELECTRIC BUILDING BASEMENT CEILING TO BE INSULATED W/ EITHER MINERAL WOOL OR BLOWN CELLULOSE INSULATION NEW GYP AT ALL INTERIOR WALLS INSULATION MATERIALS:
FOUNDATION WALL:
RIM JOIST:
ABOVE GRADE WALLS:
ABOVE GRADE WALLS:
ROOF RAFTERS: AIR HANDLERS ALSO LOCATED IN ATTIC CRAWL SPACE TO CONDITION 2ND AND 3RD FLOORS. NEW PLUMBING, MECHANICAL AND ELECTRICAL THROUGHOUT INTERIOR CC SF - R 20 INTERIOR OC SF - R 21 FRAMING CAVITY CC SF - R 20 EXTERIOR FOAM BOARD - R 9 CAR CHARGE PART OF SCOPE BASEMENT TO BE RE POINTED AS NEEDED. NEW ERV WHOLE HOME VENTILATION MINISPLIT SYTEM ANTICIPATED FRAMING CAVITY CC SF - R 49 SYSTEM SIZED WITH INSULATION AND AIR BARRIER ACCOUNTED FOR NEW STAIR TO BASEMENT FENESTRATION: NEW WINDOWS AND EXTERIOR DOORS UVALUE: SHGC: AIR BARRIER TARGET OF 1.5-2 ACH @ 50 NEW INTERIOR DOORS MECHANICAL SYSTEM DESIGN:
AIR SOURCE HEAT PUMP - MINISPLIT SYSTEM (AC & HEAT) HERS TARGET OF 53 (CHECK WITH RATER) NEW MILLWORK NEW FLOORING THROUGHOUT ENERGY CODE COMPLIANCE STRATEGY GENERAL NOTE: BUILDING SHELL UPDATES AS FOLLOWS:
NEW RIM JOIST INSULATION AT ALL FLOORS
NEW PERIMETER WALL INSULATION
NEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION
NEW ROOF RAFTER INSULATION HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM 24 HOUR MECHANICAL ENERGY RECOVERY VENTILATION
AIR SOURCE HEAT PUMP DOMESTIC WATER HEATER 46'-3" 30'-3 5/8" 16'-0 5/8" SECONDARY EGRESS -NEW DECK AND SIDE -CANDIDATE LOCATION — FOR HVAC CONDENSER DECORATIVE GAS FIRED -STOVE W/ DEDICATED AIR SITTING 103 RM - PRIMARY EGRESS FAMILY 106 RM FRONT AREAWAY DETAILS TO BE RESTORED AND REPLICATED CANDIDATE LOCATION — FOR HVAC CONDENSER 3'-10 5/8" NEW OVERHANG SEE EXTERIOR ELEVATIONS — NEW BAY WITH LARGE

FIRST FLOOR PLAN
SCALE 1/4" = 1' - 0"

34'-7 3/4"

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John Buckley Architecture & Design

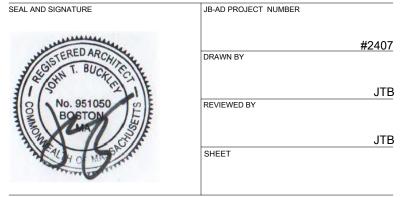
15 Ann Vinal Rd
Scituate MA 02066
&
373 Broadway, Stte F11
New York NY, 10013

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04.02.25 PRE-PERMIT SET FOR SUBS 03.14.25 DD - 1ST FLOOR INT ELEV 02.12.25 DD - KITCHEN INT ELEV 01.24.25 PRELIM. SD DRAWINGS ISSUED FOR PRECON 01.22.25 SD-4 DESIGN DRAWINGS 01.08.25 SD-3 DESIGN DRAWINGS 12.18.24 SD-2 DESIGN DRAWINGS 12.04.24 SD-1 DESIGN DRAWINGS ISSUE / REV NO DATE

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FIRST FLOOR PLAN





ROOM NAME O SF EX'G CONSTRUCTION

ROOM TAG: NAME, NUMBER, &

EX'G CONSTRUCTION TO BE REMOVED

NEW CONSTRUCTION

NEW CONCRETE CONSTRUCTION

OVERHEAD HIDDEN BELOW

───── CENTER LINE EX'G DOOR

DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO

EMERGENCY LIGHT

SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO

PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO

INTERIOR ELEVATION

REFERENCE:

DOOR TAG: REFERS TO DOOR SCHEDULE

DISPLAYS DWG NO & SHEET NO

WINDOW TAG: REFERS TO WINDOW SCHEDULE

OBJECT TAG:
OBJECT NAME REFERS TO SCHEDULE

WALL TYPE INDICATOR

ELEVATION DATUM

SPOT ELEVATION REVISION MARKER

STAIR REFERENCE:
DISPLAYS RISER & TREAD
INFORMATION

COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

FINISH / MATERIAL TAG

EXTERIOR MODIFICATION NOTES: RETAIN SIGNIFICANT EXTERIOR ARCHITECTURAL WOODWORKING FOR REPLICATION

EXISTING STAIR NOTES: EXISTING STAIR FROM 1ST TO 3ND FLOOR TO BE RETAINED AND REFURBISHED FINISH DETAILS TO COME

ELECTRICAL NOTES: NEW 400 AMP SERVICE BROUGHT TO NEW WIRING AND NEW LIGHTING THROUGHOUT - FIXTURE SPECS AND RCP WILL BE PROVIDED

CAR CHARGE PART OF SCOPE

BASEMENT NOTES: SILL PLATE TO RIM JOIST / FRAMED WALL ABOVE TO BE THOROUGHLY INSULATED W/CC SPRAY FOAM

BASEMENT CEILING TO BE INSULATED W/ EITHER MINERAL WOOL OR BLOWN CELLULOSE INSULATION BASEMENT TO BE RE POINTED AS NEEDED.

AIR HANDLERS LOCATED IN BASEMENT TO AIR HANDLERS ALSO LOCATED IN ATTIC CRAWL SPACE TO CONDITION 2ND AND 3RD FLOORS. MINISPLIT SYTEM ANTICIPATED SYSTEM SIZED WITH INSULATION AND AIR BARRIER ACCOUNTED FOR

AIR BARRIER TARGET OF 1.5-2 ACH @ 50

HERS TARGET OF 53 (CHECK WITH RATER)

HVAC NOTES: GENERAL RENOVATION NOTES: AN ADDITIONAL 1-1/2" TO 3" FURRED OUT WALL TO THE INTERIOR OF PERIMETER WALL IN ORDER TO GAIN R-VALUE NEW ELECTRIC MECHANICAL SYSTEM

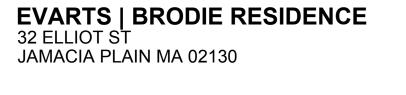
NEW GYP AT ALL INTERIOR WALLS NEW PLUMBING, MECHANICAL AND ELECTRICAL THROUGHOUT NEW ERV WHOLE HOME VENTILATION REBUILT STAIR TO BASEMENT NEW WINDOWS AND EXTERIOR DOORS NEW INTERIOR DOORS

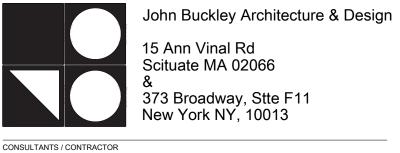
NEW FLOORING THROUGHOUT

NEW MILLWORK

ENERGY CODE COMPLIANCE NOTE: (PER TABLE R406.5) COMPLIANCE PATH: HERS (MAX. SCORE OF 70) ALTERATION TYPE 3
ALL ELECTRIC BUILDING INSULATION MATERIALS:
FOUNDATION WALL:
RIM JOIST:
ABOVE GRADE WALLS:
ABOVE GRADE WALLS:
ROOF RAFTERS: INTERIOR CC SF - R 20 INTERIOR OC SF - R 21 FRAMING CAVITY CC SF - R 20 EXTERIOR FOAM BOARD - R 9 FRAMING CAVITY CC SF - R 49 FENESTRATION: UVALUE: SHGC:

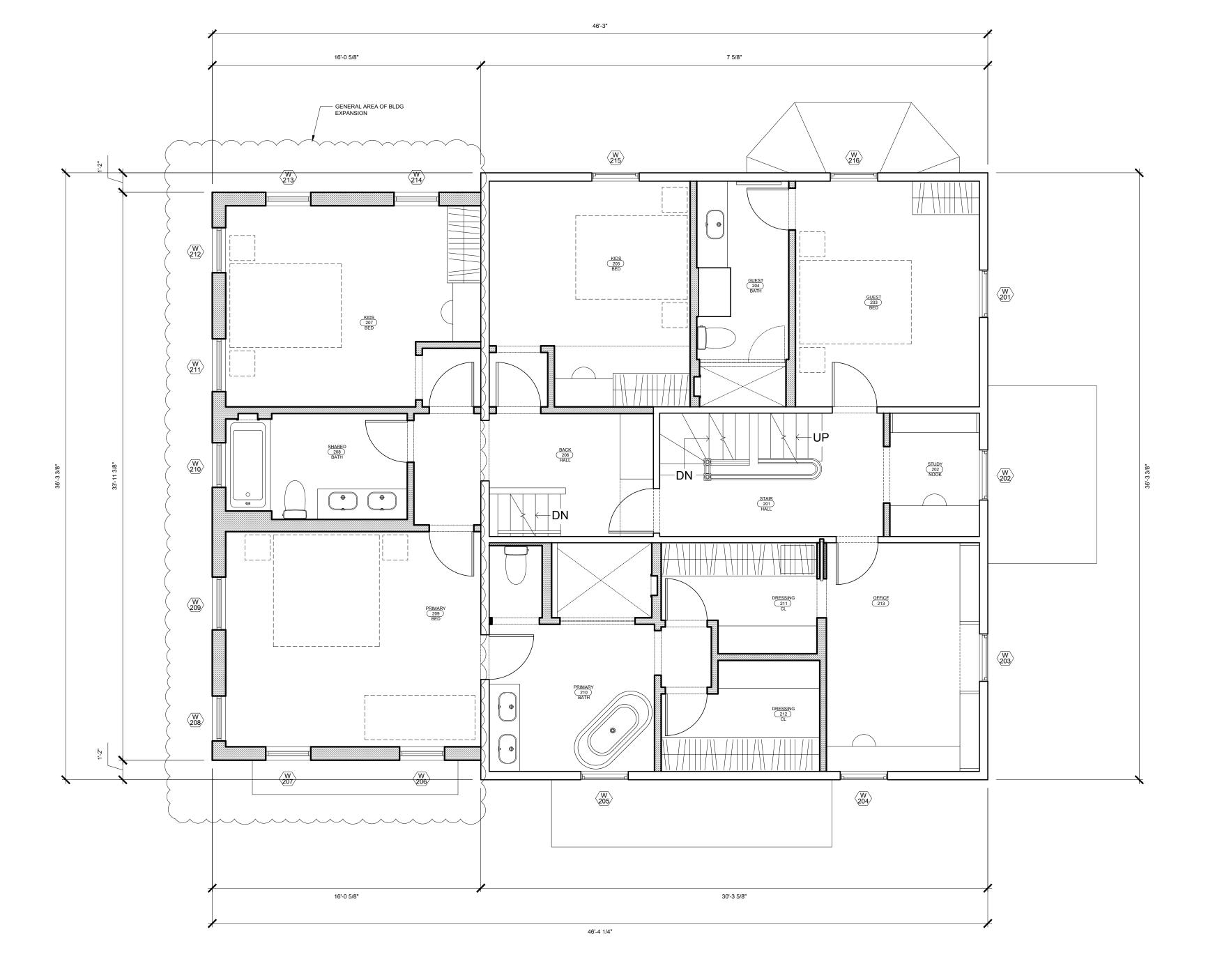
JLATION





Е	NERGY CODE COMPLIANCE STRATEGY GENERAL NOTE:
N	BUILDING SHELL UPDATES AS FOLLOWS: IEW RIM JOIST INSULATION AT ALL FLOORS IEW PERIMETER WALL INSULATION IEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION IEW ROOF RAFTER INSULATION
2	HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM 4 HOUR MECHANICAL ENERGY RECOVERY VENTILATION NR SOURCE HEAT PLIMP DOMESTIC WATER HEATER

MECHANICAL SYSTEM DESIGN:
AIR SOURCE HEAT PUMP - MINISPLIT SYSTEM (AC & HEAT)
ERV:

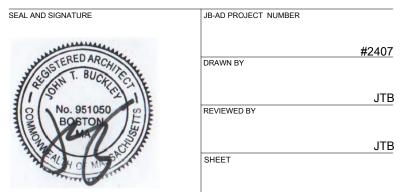




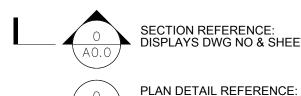
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SECOND FLOOR PLAN



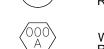
ARCHITECTURAL SYMBOLS LEGEND SYMBOL DESCRIPTION ROOM NAME O SF ROOM TAG: NAME, NUMBER, & EX'G CONSTRUCTION EX'G CONSTRUCTION TO BE REMOVED NEW CONSTRUCTION NEW CONCRETE CONSTRUCTION - OVERHEAD HIDDEN BELOW ───── CENTER LINE EX'G DOOR **DETAIL REFERENCE:** DISPLAYS DWG NO & SHEET NO EMERGENCY LIGHT SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO



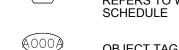
DISPLAYS DWG NO & SHEET NO



DISPLAYS DWG NO & SHEET NO



DOOR TAG: REFERS TO DOOR SCHEDULE WINDOW TAG: REFERS TO WINDOW



OBJECT TAG:
OBJECT NAME REFERS TO SCHEDULE



WALL TYPE INDICATOR



SPOT ELEVATION



REVISION MARKER STAIR REFERENCE:
DISPLAYS RISER & TREAD
INFORMATION



COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

FINISH / MATERIAL TAG

EXTERIOR MODIFICATION NOTES: RETAIN SIGNIFICANT EXTERIOR ARCHITECTURAL WOODWORKING FOR REPLICATION

EXISTING STAIR NOTES: EXISTING STAIR FROM 1ST TO 3ND FLOOR TO BE RETAINED AND REFURBISHED FINISH DETAILS TO COME ELECTRICAL NOTES: NEW 400 AMP SERVICE BROUGHT TO

NEW WIRING AND NEW LIGHTING THROUGHOUT - FIXTURE SPECS AND RCP WILL BE PROVIDED

CAR CHARGE PART OF SCOPE

BASEMENT NOTES: SILL PLATE TO RIM JOIST / FRAMED WALL

ABOVE TO BE THOROUGHLY INSULATED W/CC SPRAY FOAM BASEMENT CEILING TO BE INSULATED W/ EITHER MINERAL WOOL OR BLOWN CELLULOSE INSULATION BASEMENT TO BE RE POINTED AS NEEDED. HVAC NOTES: NEW ELECTRIC MECHANICAL SYSTEM AIR HANDLERS LOCATED IN BASEMENT TO

AIR HANDLERS ALSO LOCATED IN ATTIC CRAWL SPACE TO CONDITION 2ND AND 3RD FLOORS. MINISPLIT SYTEM ANTICIPATED

SYSTEM SIZED WITH INSULATION AND AIR BARRIER ACCOUNTED FOR AIR BARRIER TARGET OF 1.5-2 ACH @ 50 HERS TARGET OF 53 (CHECK WITH RATER)

3RD FLOOR PLAN SCALE 1/4" = 1' - 0"

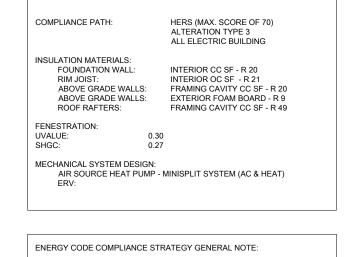
NEW INTERIOR DOORS NEW MILLWORK NEW FLOORING THROUGHOUT

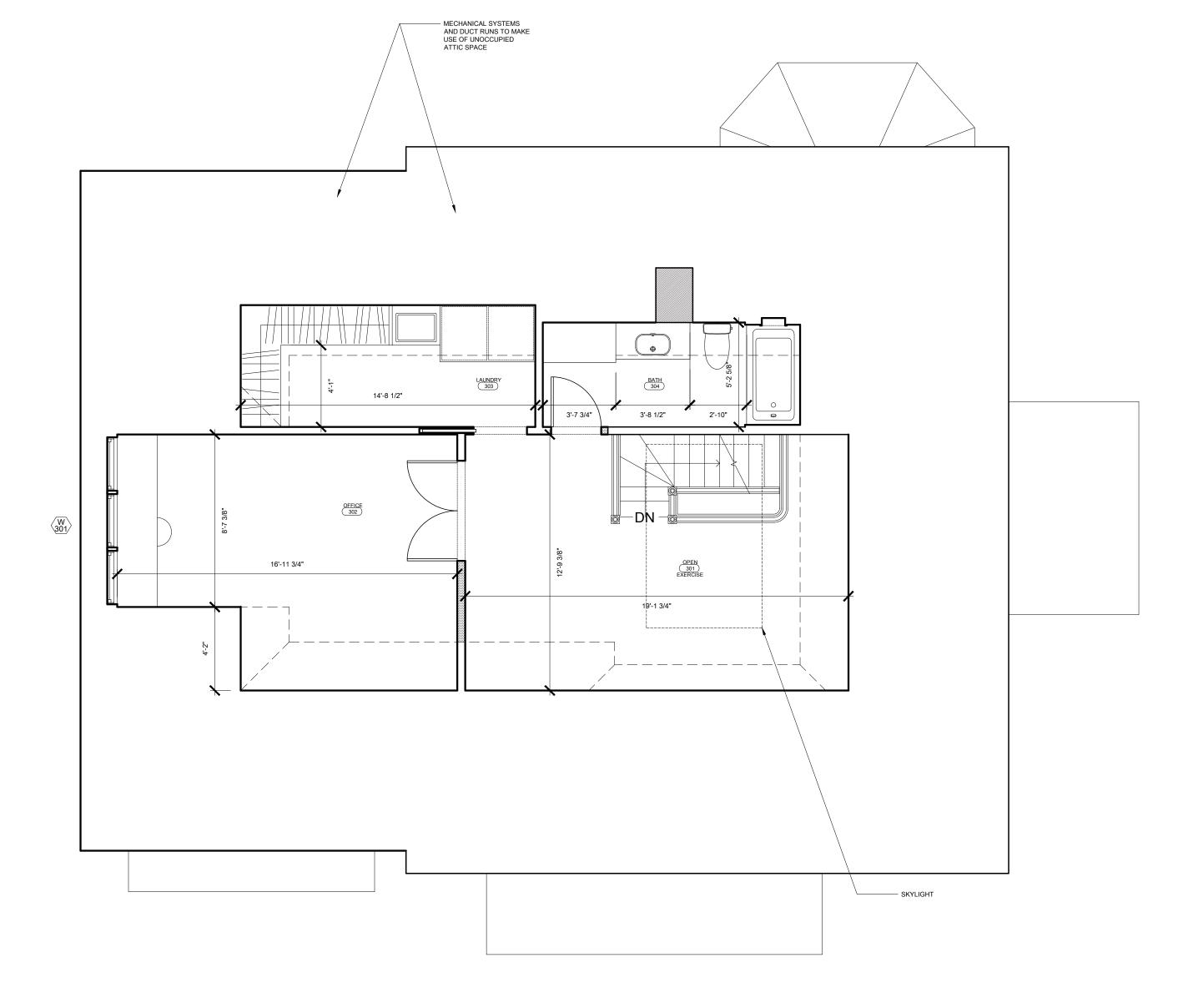
GENERAL RENOVATION NOTES: AN ADDITIONAL 1-1/2" TO 3" FURRED OUT WALL TO THE INTERIOR OF PERIMETER WALL IN ORDER TO GAIN R-VALUE NEW GYP AT ALL INTERIOR WALLS NEW PLUMBING, MECHANICAL AND ELECTRICAL THROUGHOUT NEW ERV WHOLE HOME VENTILATION

NEW STAIR TO BASEMENT NEW WINDOWS AND EXTERIOR DOORS

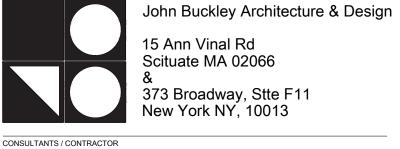
ENERGY CODE COMPLIANCE NOTE: (PER TABLE R406.5)

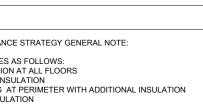
ENERGY CODE COMPLIANCE STRATEGY GENERAL NOTE: BUILDING SHELL UPDATES AS FOLLOWS:
NEW RIM JOIST INSULATION AT ALL FLOORS
NEW PERIMETER WALL INSULATION
NEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION
NEW ROOF RAFTER INSULATION HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM 24 HOUR MECHANICAL ENERGY RECOVERY VENTILATION AIR SOURCE HEAT PUMP DOMESTIC WATER HEATER

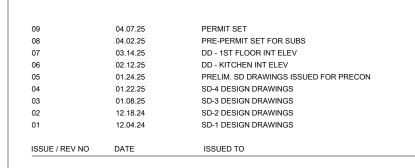




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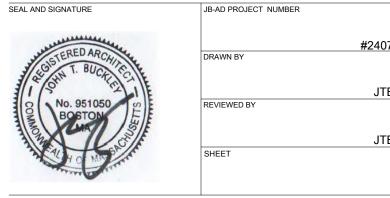






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THIRD FLOOR PLAN



ARCHITECTURAL SYMBOLS LEGEND SYMBOL DESCRIPTION ROOM NAME O SF ROOM TAG: NAME, NUMBER, & EX'G CONSTRUCTION EX'G CONSTRUCTION TO BE REMOVED NEW CONSTRUCTION NEW CONCRETE CONSTRUCTION - OVERHEAD HIDDEN BELOW CENTER LINE EX'G DOOR DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO EMERGENCY LIGHT SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO DOOR TAG: REFERS TO DOOR SCHEDULE WINDOW TAG: REFERS TO WINDOW SCHEDULE OBJECT TAG: OBJECT NAME REFERS TO SCHEDULE WALL TYPE INDICATOR **ELEVATION DATUM**

SPOT ELEVATION
REVISION MARKER

COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

FINISH / MATERIAL TAG

EXTERIOR MODIFICATION NOTES:

RETAIN SIGNIFICANT EXTERIOR
ARCHITECTURAL WOODWORKING FOR
REPLICATION

EXISTING STAIR NOTES:

EXISTING STAIR FROM 1ST TO 3ND FLOOR
TO BE RETAINED AND REFURBISHED FINISH
DETAILS TO COME

ELECTRICAL NOTES:

NEW 400 AMP SERVICE BROUGHT TO HOUSE

NEW WIRING AND NEW LIGHTING THROUGHOUT - FIXTURE SPECS AND RCP WILL BE PROVIDED

CAR CHARGE PART OF SCOPE

BASEMENT NOTES:

SILL PLATE TO RIM JOIST / FRAMED WALL
ABOVE TO BE THOROUGHLY INSULATED W/
CC SPRAY FOAM

BASEMENT CEILING TO BE INSULATED W/
EITHER MINERAL WOOL OR BLOWN
CELLULOSE INSULATION

BASEMENT TO BE RE POINTED AS NEEDED.

HVAC NOTES:

NEW ELECTRIC MECHANICAL SYSTEM THROUGHOUT W/ ERV SYSTEM

AIR HANDLERS LOCATED IN BASEMENT TO CONDITION 1ST FLOOR AND BASEMENT

AIR HANDLERS ALSO LOCATED IN ATTIC CRAWL SPACE TO CONDITION 2ND AND 3RD FLOORS.

AIR HANDLERS ALSO LOCATED IN ATTIC CRAWL SPACE TO CONDITION 2ND AND 3RD FLOORS.

MINISPLIT SYTEM ANTICIPATED

SYSTEM SIZED WITH INSULATION AND AIR BARRIER ACCOUNTED FOR

AIR BARRIER TARGET OF 1.5-2 ACH @ 50 PASCAL

HERS TARGET OF 53 (CHECK WITH RATER)

GENERAL RENOVATION NOTES:

AN ADDITIONAL 1-1/2" TO 3" FURRED OUT WALL TO THE INTERIOR OF PERIMETER WALL IN ORDER TO GAIN R-VALUE

NEW GYP AT ALL INTERIOR WALLS

NEW PLUMBING, MECHANICAL AND ELECTRICAL THROUGHOUT

NEW ERV WHOLE HOME VENTILATION SYSTEM

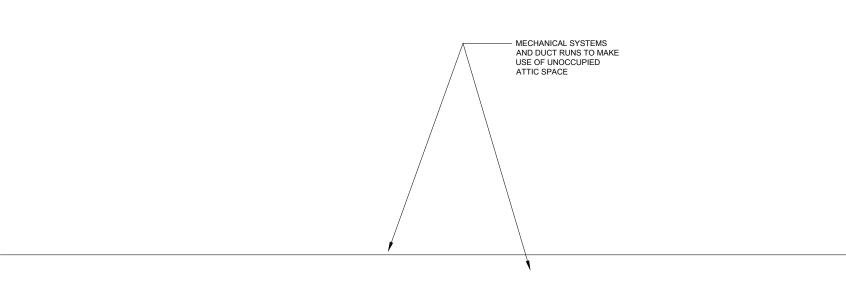
NEW STAIR TO BASEMENT

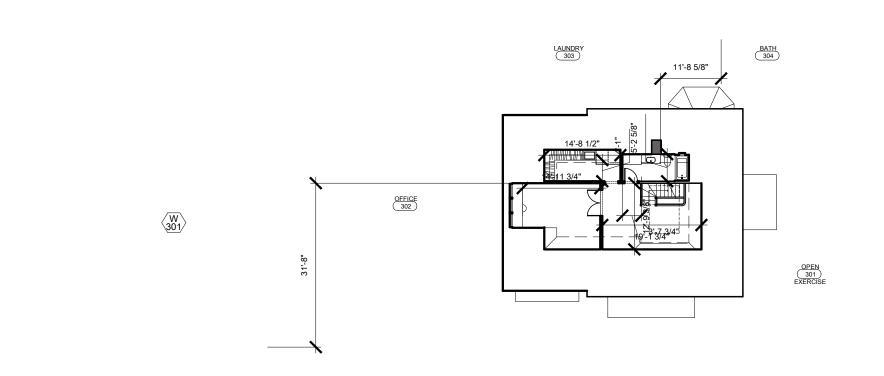
NEW WINDOWS AND EXTERIOR DOORS

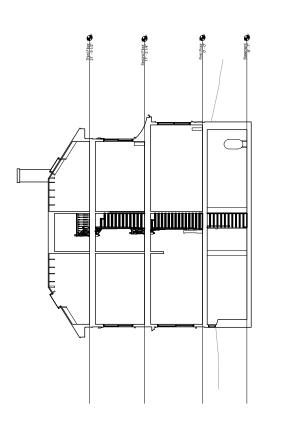
NEW INTERIOR DOORS

NEW MILLWORK

NEW FLOORING THROUGHOUT







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PRE-PERMIT SET FOR SUBS

PRELIM. SD DRAWINGS ISSUED FOR PRECON

DD - 1ST FLOOR INT ELEV

DD - KITCHEN INT ELEV

SD-4 DESIGN DRAWINGS

SD-3 DESIGN DRAWINGS

SD-2 DESIGN DRAWINGS

SD-1 DESIGN DRAWINGS

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373 Broadway, Stte F11

New York NY, 10013

John Buckley Architecture & Design

JAMACIA PLAIN MA 02130

CONSULTANTS / CONTRACTOR

ROOF PLAN

04.02.25 03.14.25

02.12.25

01.24.25

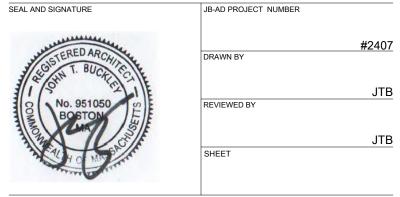
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12.04.24

ISSUE / REV NO DATE



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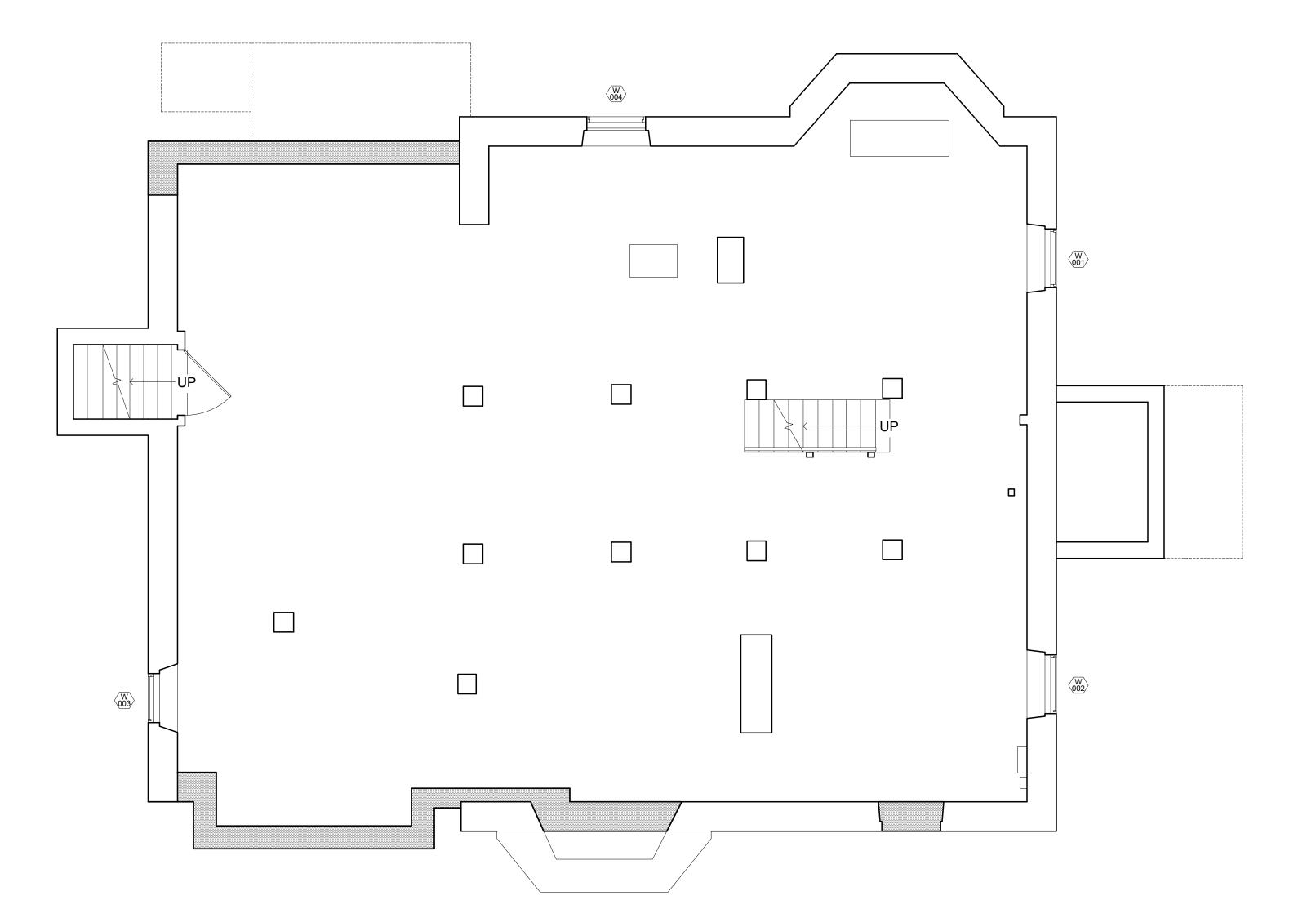


SYMBOL DESCRIPTION

- 4-1/2" RECESSED LED CEILING FIXTURE
- 3" RECESSED LED CEILING FIXTURE
- 4-1/2" WALL WASHING
 RECESSED LIGHT
 FIXTURE
- EXTERIOR FLOOR
 W-1 WASHING LIGHT
 FIXTURE
- UNDER COUNTER
 FIXTURE
- SURFACE MOUNT LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- EXHAUST FAN
- DUPLEX OUTLET

SWITCH

- DUPLEX FLOOR OUTLET
- GROUND FAULT
 CIRCUIT INTERRUPTER
 DUPLEX OUTLET
- DEDICATED APPLIANCE OUTLET
- DATA / CABLE
- COMBO SMOKE AND CARBON MONOXIDE DETECTOR

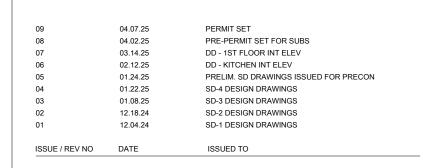


BASEMENT REFLECTED CEILING PLAN 1

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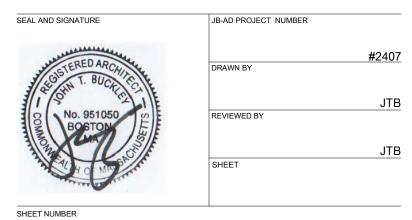


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BASEMENT REFLECTED CEILING PLAN

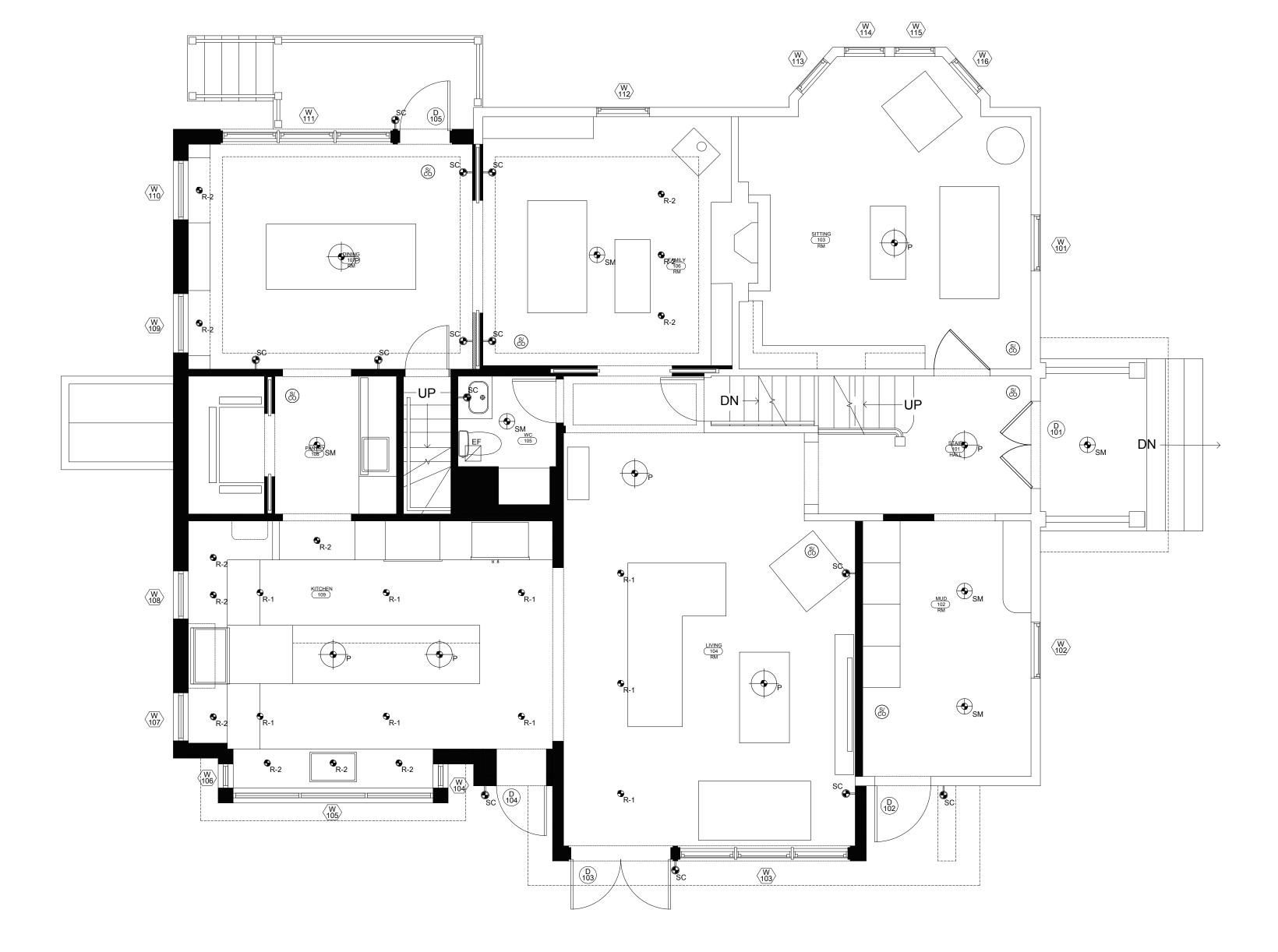


LIGHT & POWER SYMBOLS SYMBOL DESCRIPTION

- 4-1/2" RECESSED LED CEILING FIXTURE
- 3" RECESSED LED CEILING FIXTURE
- 4-1/2" WALL WASHING RECESSED LIGHT FIXTURE
- EXTERIOR FLOOR
 W-1 WASHING LIGHT
 FIXTURE
- UNDER COUNTER FIXTURE
- SURFACE MOUNT LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- EXHAUST FAN
- DUPLEX OUTLET

SWITCH

- DUPLEX FLOOR
- GROUND FAULT
 CIRCUIT INTERRUPTER
 DUPLEX OUTLET
- DEDICATED APPLIANCE OUTLET
- DATA / CABLE
- COMBO SMOKE AND CARBON MONOXIDE



FIRST FLOOR REFLECTED CEILING PLAN SCALE 1/4" = 1' - 0"

EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

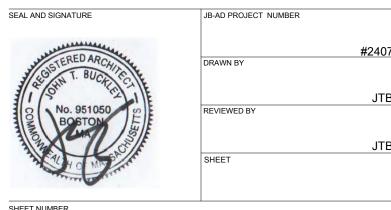


CONSULTANTS / CONTRACTOR

09	04.07.25	PERMIT SET
08	04.02.25	PRE-PERMIT SET FOR SUBS
07	03.14.25	DD - 1ST FLOOR INT ELEV
06	02.12.25	DD - KITCHEN INT ELEV
05	01.24.25	PRELIM. SD DRAWINGS ISSUED FOR PRECON
04	01.22.25	SD-4 DESIGN DRAWINGS
03	01.08.25	SD-3 DESIGN DRAWINGS
02	12.18.24	SD-2 DESIGN DRAWINGS
01	12.04.24	SD-1 DESIGN DRAWINGS
ISSUE / REV NO	DATE	ISSUED TO

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FIRST FLOOR REFLECTED CEILING PLAN

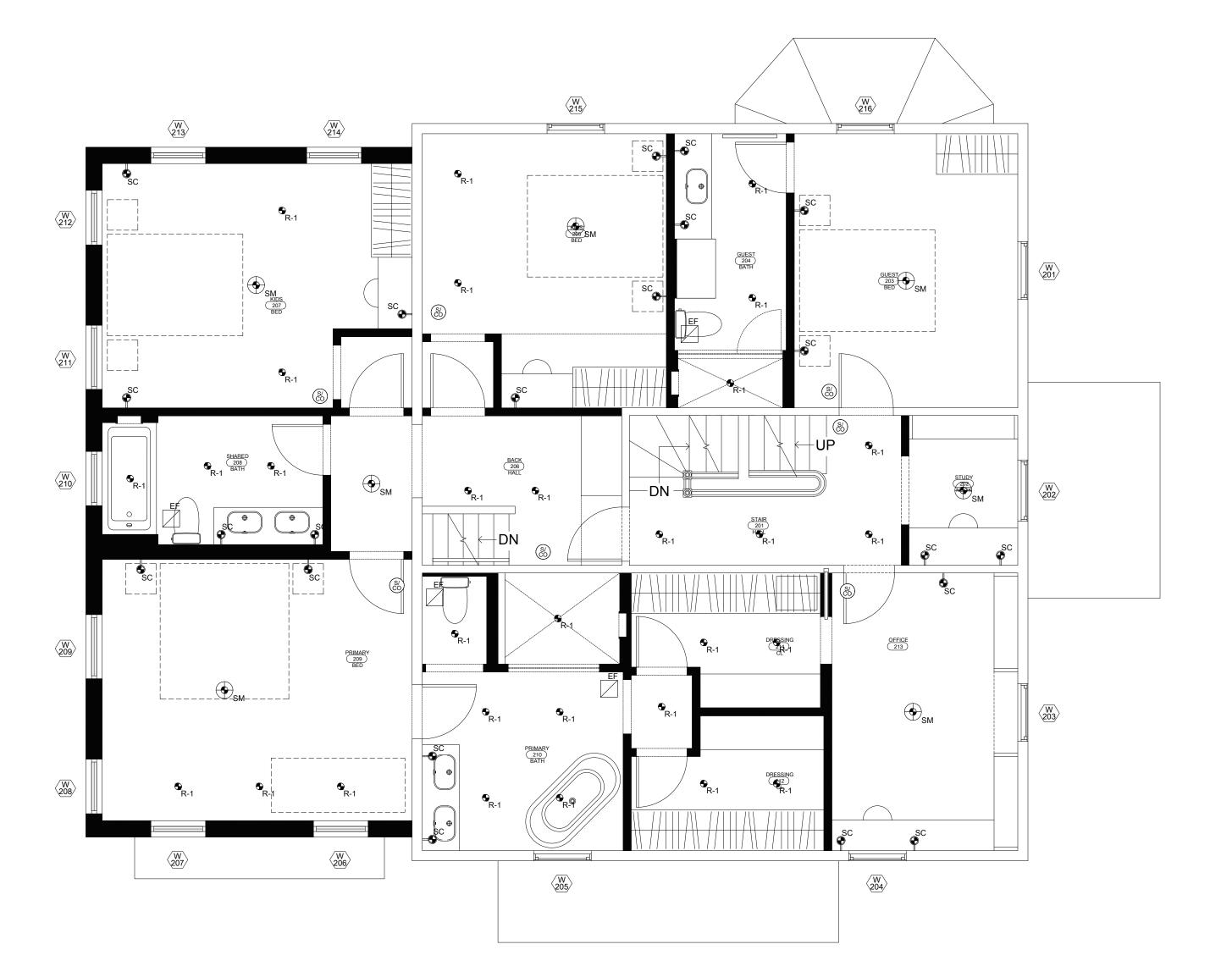


LIGHT & POWER SYMBOLS SYMBOL DESCRIPTION

- 4-1/2" RECESSED LED CEILING FIXTURE
- R-2 3" RECESSED LED CEILING FIXTURE
- 4-1/2" WALL WASHING RECESSED LIGHT FIXTURE
- EXTERIOR FLOOR
 W-1 WASHING LIGHT
 FIXTURE
- UNDER COUNTER FIXTURE
- SURFACE MOUNT LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- EXHAUST FAN
- DUPLEX OUTLET

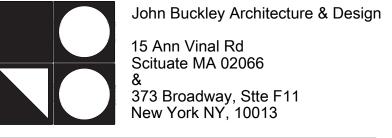
SWITCH

- DUPLEX FLOOR OUTLET
- GROUND FAULT
 CIRCUIT INTERRUPTER
 DUPLEX OUTLET
- DEDICATED APPLIANCE OUTLET
- DATA / CABLE
- COMBO SMOKE AND CARBON MONOXIDE





EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

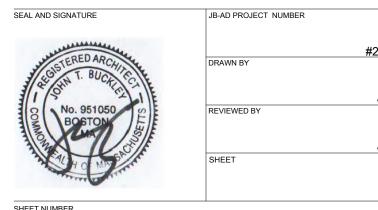


CONSULTANTS / CONTRACTOR

09	04.07.25	PERMIT SET
08	04.02.25	PRE-PERMIT SET FOR SUBS
07	03.14.25	DD - 1ST FLOOR INT ELEV
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01	12.04.24	SD-1 DESIGN DRAWINGS
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PROPOSED SECOND FLOOR
PLAN - OPTION 2



A102.2

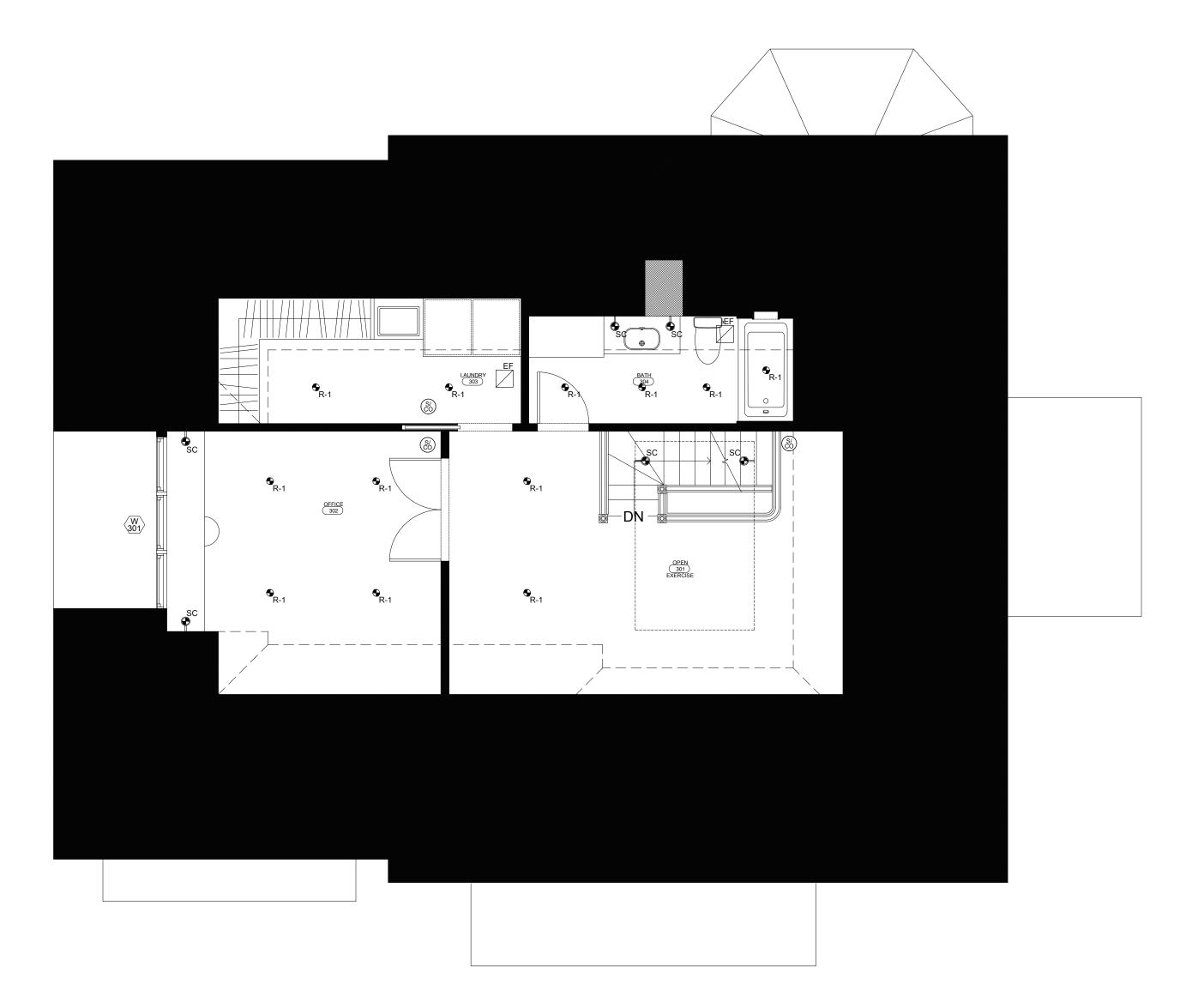
LIGHT & POWER SYMBOLS SYMBOL DESCRIPTION

- 4-1/2" RECESSED LED CEILING FIXTURE
- 3" RECESSED LED CEILING FIXTURE
- 4-1/2" WALL WASHING RECESSED LIGHT FIXTURE
- EXTERIOR FLOOR WASHING LIGHT FIXTURE
- UNDER COUNTER FIXTURE
- SURFACE MOUNT LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- P PENDANT LIGHT FIXTURE
- EXHAUST FAN
- DUPLEX OUTLET

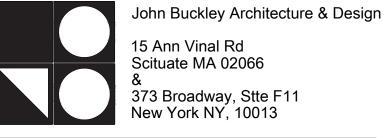
SWITCH

- DUPLEX FLOOR OUTLET
- GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET
- DEDICATED APPLIANCE OUTLET
- DATA / CABLE

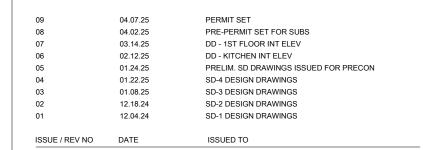




EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

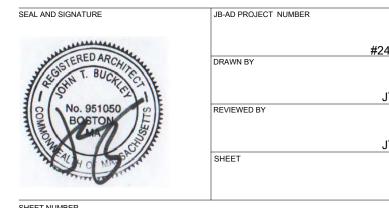


CONSULTANTS / CONTRACTOR



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THIRD FLOOR REFLECTED **CEILING PLAN ELEVATION**



EXTERIOR FINISHES NOTES: HISTORIC DETAILING AT EAVES, WINDOW AND DOOR CASINGS, CORNER BOARDS
AND WATER TABLE TO BE DOCUMENTED,
RETAINED AND REPLICATED WITH THE
NEW DESIGN MODIFICATIONS WOOD EXTERIOR CLAPS TO BE STRIPPED AND REPAINTED NEW ASPHALT ARCHITECTURAL GRADE ROOF SHINGLES - OR SYNTHETIC SLATE ROOF SHINGLES AS AN OPTIONAL

TRUE BRICK VENEER CLADDING AT SECTIONS OF NEW FOUNDATION WALL TO ALIGN AND MATE WITH EXISTING BRICK FRONT AREAWAY TO BE FAITHFULLY RESTORED TO ORIGINAL OPEN AIR CONDITION

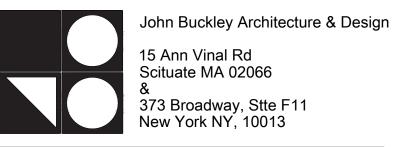
ENERGY CODE COMPLIANCE NOTE: (PER TABLE R406.5) HERS (MAX. SCORE OF 70) ALTERATION TYPE 3 ALL ELECTRIC BUILDING COMPLIANCE PATH: INSULATION MATERIALS:
FOUNDATION WALL:
RIM JOIST:
ABOVE GRADE WALLS:
ABOVE GRADE WALLS:
ROOF RAFTERS:
INTERIOR CC SF - R 20
FRAMING CAVITY CC SF - R 20
EXTERIOR FOAM BOARD - R 9
FRAMING CAVITY CC SF - R 49

FENESTRATION: UVALUE: SHGC: MECHANICAL SYSTEM DESIGN:
AIR SOURCE HEAT PUMP - MINISPLIT SYSTEM (AC & HEAT)
ERV:

ENERGY CODE COMPLIANCE STRATEGY GENERAL NOTE: BUILDING SHELL UPDATES AS FOLLOWS:
NEW RIM JOIST INSULATION AT ALL FLOORS
NEW PERIMETER WALL INSULATION
NEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION
NEW ROOF RAFTER INSULATION HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM 24 HOUR MECHANICAL ENERGY RECOVERY VENTILATION AIR SOURCE HEAT PUMP DOMESTIC WATER HEATER



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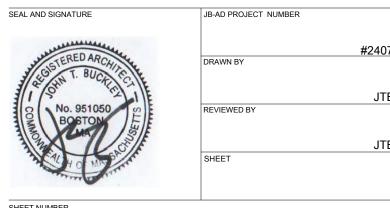


CONSULTANTS / CONTRACTOR

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01	12.04.24	SD-1 DESIGN DRAWINGS
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SOUTH EXTERIOR **ELEVATION**



EXTERIOR FINISHES NOTES: HISTORIC DETAILING AT EAVES, WINDOW AND DOOR CASINGS, CORNER BOARDS
AND WATER TABLE TO BE DOCUMENTED,
RETAINED AND REPLICATED WITH THE
NEW DESIGN MODIFICATIONS WOOD EXTERIOR CLAPS TO BE STRIPPED AND REPAINTED NEW ASPHALT ARCHITECTURAL GRADE ROOF SHINGLES - OR SYNTHETIC SLATE ROOF SHINGLES AS AN OPTIONAL

TRUE BRICK VENEER CLADDING AT SECTIONS OF NEW FOUNDATION WALL TO ALIGN AND MATE WITH EXISTING BRICK FRONT AREAWAY TO BE FAITHFULLY RESTORED TO ORIGINAL OPEN AIR CONDITION

ENERGY CODE COMPLIANCE NOTE: (PER TABLE R406.5) HERS (MAX. SCORE OF 70) ALTERATION TYPE 3 ALL ELECTRIC BUILDING COMPLIANCE PATH: INSULATION MATERIALS:
FOUNDATION WALL:
RIM JOIST:
ABOVE GRADE WALLS:
ABOVE GRADE WALLS:
ROOF RAFTERS:
INTERIOR CC SF - R 20
INTERIOR OC SF - R 21
FRAMING CAVITY CC SF - R 20
EXTERIOR FOAM BOARD - R 9
FRAMING CAVITY CC SF - R 49 FENESTRATION: UVALUE: SHGC:

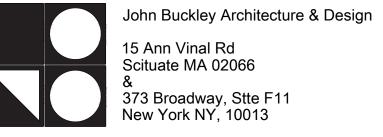
MECHANICAL SYSTEM DESIGN:
AIR SOURCE HEAT PUMP - MINISPLIT SYSTEM (AC & HEAT)
ERV:

ENERGY CODE COMPLIANCE STRATEGY GENERAL NOTE: BUILDING SHELL UPDATES AS FOLLOWS:
NEW RIM JOIST INSULATION AT ALL FLOORS
NEW PERIMETER WALL INSULATION
NEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION
NEW ROOF RAFTER INSULATION HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM 24 HOUR MECHANICAL ENERGY RECOVERY VENTILATION AIR SOURCE HEAT PUMP DOMESTIC WATER HEATER



REAR / WEST EXTERIOR ELEVATION SCALE 1/4" = 1' - 0"

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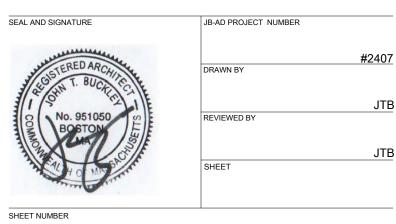


CONSULTANTS / CONTRACTOR

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01	12.04.24	SD-1 DESIGN DRAWINGS
ISSUE / REV NO	DATE	ISSUED TO

EVARTS | BRODIE RESIDENCE 32 ELLIOT ST JAMACIA PLAIN MA 02130

REAR / WEST EXTERIOR **ELEVATION**



EXTERIOR FINISHES NOTES: NEW ASPHALT ARCHITECTURAL GRADE ROOF SHINGLES - OR SYNTHETIC SLATE ROOF SHINGLES AS AN OPTIONAL

HISTORIC DETAILING AT EAVES, WINDOW AND DOOR CASINGS, CORNER BOARDS AND WATER TABLE TO BE DOCUMENTED, RETAINED AND REPLICATED WITH THE NEW DESIGN MODIFICATIONS WOOD EXTERIOR CLAPS TO BE STRIPPED AND REPAINTED

TRUE BRICK VENEER CLADDING AT SECTIONS OF NEW FOUNDATION WALL TO ALIGN AND MATE WITH EXISTING BRICK FRONT AREAWAY TO BE FAITHFULLY RESTORED TO ORIGINAL OPEN AIR CONDITION

ALTERATION TYPE 3
ALL ELECTRIC BUILDING INSULATION MATERIALS:
FOUNDATION WALL:
RIM JOIST:
ABOVE GRADE WALLS:
ABOVE GRADE WALLS:
ROOF RAFTERS:
INTERIOR CC SF - R 20
FRAMING CAVITY CC SF - R 20
EXTERIOR FOAM BOARD - R 9
FRAMING CAVITY CC SF - R 49

HERS (MAX. SCORE OF 70)

ENERGY CODE COMPLIANCE NOTE: (PER TABLE R406.5)

FENESTRATION: UVALUE: SHGC:

COMPLIANCE PATH:

MECHANICAL SYSTEM DESIGN:
AIR SOURCE HEAT PUMP - MINISPLIT SYSTEM (AC & HEAT)
ERV:

ENERGY CODE COMPLIANCE STRATEGY GENERAL NOTE: BUILDING SHELL UPDATES AS FOLLOWS:
NEW RIM JOIST INSULATION AT ALL FLOORS
NEW PERIMETER WALL INSULATION
NEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION
NEW ROOF RAFTER INSULATION HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM 24 HOUR MECHANICAL ENERGY RECOVERY VENTILATION AIR SOURCE HEAT PUMP DOMESTIC WATER HEATER



Basement -8' - 7"

FRONT / EAST EXTERIOR ELEVATION SCALE 1/4" = 1' - 0"

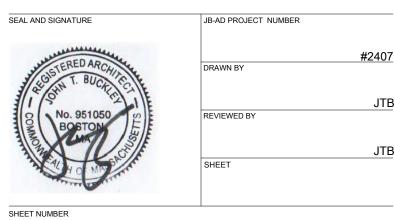
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ISSUE / REV NO	DATE	ISSUED TO

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FRONT / EAST EXTERIOR **ELEVATION**



EXTERIOR FINISHES NOTES:

HISTORIC DETAILING AT EAVES, WINDOW AND DOOR CASINGS, CORNER BOARDS AND WATER TABLE TO BE DOCUMENTED, RETAINED AND REPLICATED WITH THE NEW DESIGN MODIFICATIONS

WOOD EXTERIOR CLAPS TO BE STRIPPED AND REPAINTED

NEW ASPHALT ARCHITECTURAL GRADE ROOF SHINGLES - OR SYNTHETIC SLATE ROOF SHINGLES AS AN OPTIONAL UPGRADE

TRUE BRICK VENEER CLADDING AT SECTIONS OF MEM EQUINDATION WALL TO

TRUE BRICK VENEER CLADDING AT SECTIONS OF NEW FOUNDATION WALL TO ALIGN AND MATE WITH EXISTING BRICK FRONT AREAWAY TO BE FAITHFULLY RESTORED TO ORIGINAL OPEN AIR CONDITION

ENERGY CODE COMPLIANCE NOTE:

(PER TABLE R406.5)

COMPLIANCE PATH:

HERS (MAX. SCORE OF 70)
ALTERATION TYPE 3
ALL ELECTRIC BUILDING

ED

INSULATION MATERIALS:
FOUNDATION WALL:
INTERIOR CC SF - R 20
RIM JOIST:
INTERIOR OC SF - R 21
ABOVE GRADE WALLS:
FRAMING CAVITY CC SF - R 20
ABOVE GRADE WALLS:
EXTERIOR FOAM BOARD - R 9
ROOF RAFTERS:
FRAMING CAVITY CC SF - R 49

FENESTRATION:
UVALUE:
0.30
SHGC:
0.27

MECHANICAL SYSTEM DESIGN:
AIR SOURCE HEAT PUMP - MINISPLIT SYSTEM (AC & HEAT)
ERV:

ENERGY CODE COMPLIANCE STRATEGY GENERAL NOTE:

BUILDING SHELL UPDATES AS FOLLOWS:
NEW RIM JOIST INSULATION AT ALL FLOORS
NEW PERIMETER WALL INSULATION
NEW INTERIOR FRAMING AT PERIMETER WITH ADDITIONAL INSULATION
NEW ROOF RAFTER INSULATION

HIGH EFFICIENCY AIR SOURCE HEAT PUMP MINI SPLIT SYSTEM
24 HOUR MECHANICAL ENERGY RECOVERY VENTILATION
AIR SOURCE HEAT PUMP DOMESTIC WATER HEATER





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John Buckley Architecture & Design

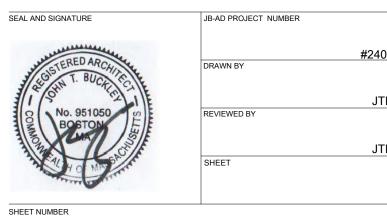
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Scituate MA 02066
&
373 Broadway, Stte F11
New York NY, 10013

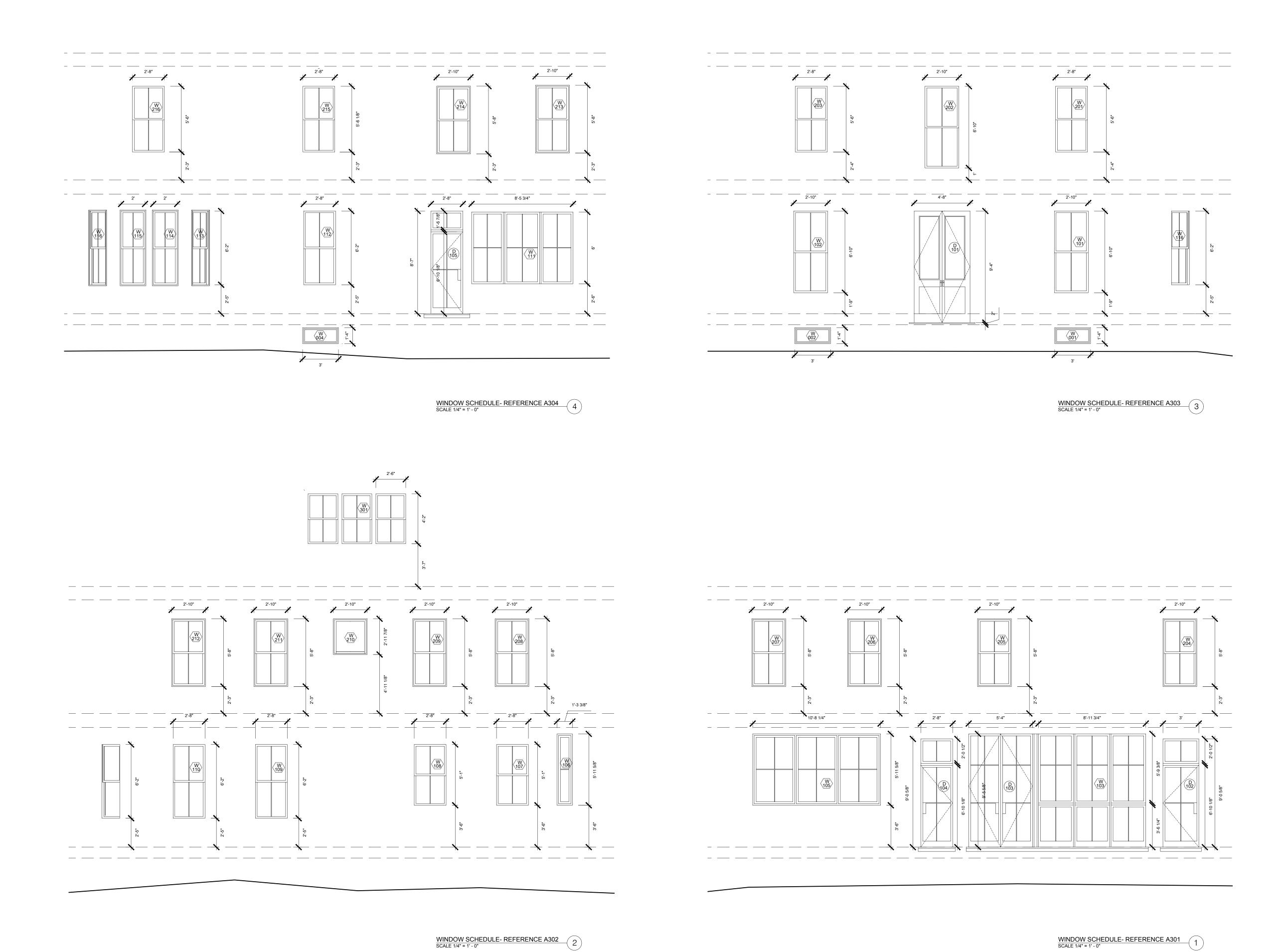
CONSULTANTS / CONTRACTOR

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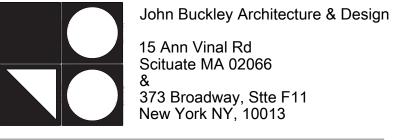
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NORTH EXTERIOR ELEVATION





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CONSULTANTS / CONTRACTOR

 09
 04.07.25
 PERMIT SET

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 04.02.25
 PRE-PERMIT SET FOR SUBS

 07
 03.14.25
 DD - 1ST FLOOR INT ELEV

 06
 02.12.25
 DD - KITCHEN INT ELEV

 05
 01.24.25
 PRELIM. SD DRAWINGS ISSUED FOR PRECON

 04
 01.22.25
 SD-4 DESIGN DRAWINGS

 03
 01.08.25
 SD-3 DESIGN DRAWINGS

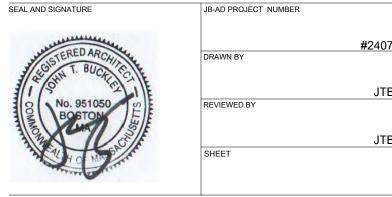
 02
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 SD-2 DESIGN DRAWINGS

 01
 12.04.24
 SD-1 DESIGN DRAWINGS

 ISSUE / REV NO
 DATE
 ISSUED TO

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WINDOW SCHEDULE



SHEET NUMBER