



No part thereof shall be copied, disclosed to others or used in conn

VIDALAS RESIDENCE
75A HIGHLAND AVE
HYDE PARK, MA

RENDERED SITE PLAN

and			
		Date	Revisions
specifications	1		
	2		
designs,	3		
	4		
drawings,	5		
plans,	6		
tectural p	7		
ec			

Je ar		
È		
s, INC	Scale:	NOT TO SCALE
Architects	Date:	2020-08-05
CME Ar	Drawn By:	KB
ģ	Checked By:	CCM
© 2020	Job Number:	

Drawing:

DD.1

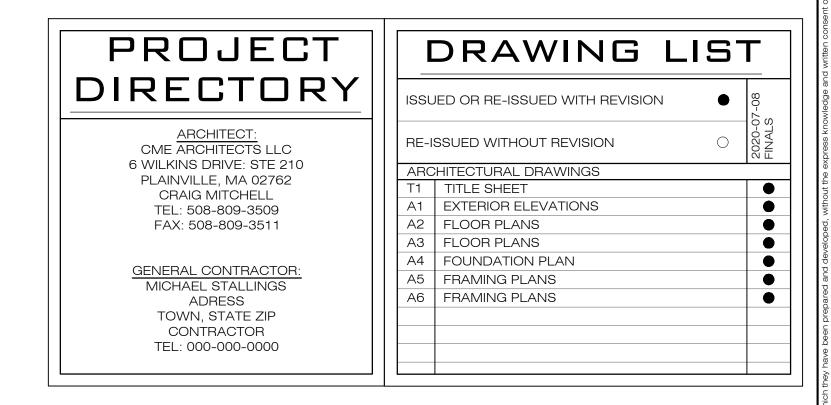
## NEW CONSTRUCTION FOR VIDALAS RESIDENCE

75A HIGHLAND ST. HYDE PARK, MA



#### SYMBOLS LEGEND 135° HEAT NEW 2x6/2x4 WALL PARTITION **DETECTOR** LOAD BEARING WALL PARTITION FAN/LIGHT EXISTING TO REMAIN **ROOM NAME** WALL TO BE REMOVED 5'-0" x 5'-0" AND SIZE DOOR TAG (SEE SCHEDULE) WINDOW TAG (SEE SCHEDULE) SECTION TAG PHOTOSENSITIVE SMOKE DETECTOR COMBINATION CARBON MONOXIDE **ELEVATION TAG** AND SMOKE DETECTOR





## 2015 IRC AND 780 CMR 51.00 9TH EDITION RESIDENTIAL BUILDING CODE EXCERPTS

#### R303: LIGHT, VENTILATION, AND HEATING

#### R303.1: HABITABLE ROOMS

All habitable rooms shall have an aggregate glazing area of not less than 8% percent of the floor area of such rooms. Natural ventilation shall be through windows, doors, louvers or other approved openings to the outdoor air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building occupants. the minimum openable area to the outdoors shall be 4% of the floor area being ventilated. **EXCEPTIONS:** 

- 1. The glazed areas need not be openable where the opening is not required by section R310 and an approved mechanical ventilation system.
- 2. The glazed areas need not be installed in rooms where exception 1 above is satisfied and artificial light is provided capable of producing an average illumination of 6 footcandles (65 lux) over the area of the room at a
- 3. Use of sunroom additions and patio covers, as defined in section R202, shall be permitted for natural ventilation if in excess of 40% of the ext. sunroom walls are open, or are enclosed only by insect screening.

R303.3: BATHROOMS: AMENDED PER 780 CMR 51.00: 9TH ED Mechanical ventilation in accordance with section M1507 is required for all bathrooms with a shower or bathtub

and rooms with a toilet

#### R310: EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1: EMERGENCY ESCAPE AND RESCUE REQUIRED

Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Emergency escape and rescue openings shall open directly into a public way, or to a yard/court that opens to a public way.

1. Storm Shelters and Basements used only to house mechanical equipment and not exceeding total floor

R310.2.1: MIN. OPENING AREA: AMENDED PER 780 CMR 51.00: 9TH ED All emergency escape and rescue openings shall have a minimum net clear opening of 5.7ft2. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24" and the net clear width shall be not less than 20".

EXCEPTIONS: AMENDED PER 780 CMR 51.00: 9TH ED.

1. Grade floor or below grade openings shall have a net clear opening of not less than 5ft2

2. Single Hung and/or Double Hung windows shall have a minimum net clear opening of 3.3ft2. In such cases, the minimum net clear opening dimensions shall be 20" by 24" in either direction.

#### R310.2.2: WINDOW SILL HEIGHT

Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44" above the floor, where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3.

#### R311: MEANS OF EGRESS

R311.1: MEANS OF EGRESS: AMENDED PER 780 CMR 51.00: 9TH ED. Dwelling units shall be provided with a primary and secondary means of egress in accordance with this section. Each means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the egress doors. The primary means of egress shall not require travel through a garage, but the secondary may. The required egress doors shall open directly into a public way or court that open to a public way.

- 1. In muti-level dwellings, including, but not limited to townhouses, split-level and raised ranch style layouts, the two separate egress doors may be located on different levels.
- 2. Where site topography prevents direct access to two remote locations to grade from the normal level of entry, the two separate egress doors may be located on different levels.

#### R311.2: EGRESS DOOR: AMENDED PER 780 CMR 51.00: 9TH ED. A primary and secondary egress door shall be provided for each dwelling unit and shall be as remote as

possible from each other. The primary egress door shall be side-hinged, and shall provide a clear width of not less than 32" where measured between the face of the door and the stop, with the door open 90°. The secondary egress door shall be single-hinged or sliding, and shall provide a clear width of not less than 28" where measured between the face of the door and the stop, with the door open 90°. The clear height of side-hinged door openings shall be not less than 78" in height measured from the top of the threshold to the bottom of the stop. Sliding door clear width may be slightly less than 28" to conform to industry fabrication standards. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be capable of being readily opened from the inside of the dwelling without the use of a key or special knowledge or effort.

#### R311.6: HALLWAYS

The minimum width of a hallway shall be not less than 3 feet [clear].

### R311.7: STAIRWAYS

R311.7.1: WIDTH

Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4½ inches on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31½ inches where a handrail is installed on one side and 27 inches where handrails are provided on both sides.

#### R311.7.2: HEADROOM

The minimum headroom in all parts of the stairway shall not be less than 6'-8" inches measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.

Where the nosings of treads at the side of a flight extend under the edge of a floor opening through which the stair passes, the floor opening shall be allowed to project horizontally into the required headroom a maximum of 41/4 inches.

R311.7.3: VERTICAL RISE

A flight of stairs shall not have a vertical rise larger than 147" between floor levels or landings.

#### R311.7.5: STAIR TREADS AND RISERS

R311.7.5.1: RISER HEIGHT AMENDED PER 780 CMR 51.00: 9TH ED. The max. riser height shall be 8\% inches. The riser shall be measured vert. between landing edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than \% inch. Open risers are permitted provided that the openings located more than 30", as

## R311.7.5.2: TREAD DEPTH AMENDED PER 780 CMR 51.00: 9TH ED.

The min. tread depth shall be not less than 9". The tread depth shall be measured horiz. between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than %". R311.7.5.2: WINDER TREADS AMEND. PER 780 CMR 51.00: 9TH ED. Winder treads shall have a minimum tread depth equal to the tread depth of the straight run portion

#### R311.7.7: STAIRWAY WALKING SURFACE

inches horizontal (2-percent slope)

Handrails shall be provided on at least 1 side of each cont. run of treads/flight with 4 or more risers.

top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 11/2 inch between the wall and the handrails. EXCEPTION:

2. The use of a volute, turnout, starting easing or newel shall be allowed over the lowest tread.

#### R312: GUARDS

R312.1.1: WHERE REQUIRED

Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30" measured vertically to the floor or grade below at any point within 36" horizontally to the

#### R312.3: OPENING LIMITATIONS

passage of a sphere 4" in diameter. **EXCEPTIONS:** 

1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6" in diameter.

2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 4% in dia.

#### R314.3: LOCATION AMENDED PER 780 CMR 51.00: 9TH ED.

4. Smoke alarms shall be installed not less than 3' horizontally from the door opening of a bathroom that

5. For each 1,000ft<sup>2</sup> of area or part thereof.

measured vertically to the floor or grade below, do not permit the passage of a 4" diameter sphere.

of the stairs, measured as above, at a point 12" from the side where the treads are narrower. Winder treads shall have a minimum tread depth of 3" at any point. Within any flight of stairs, the greatest winder tread depth at the 12" walk line shall not exceed the smallest by more than %".

The walking surface of treads and landings of stairways shall be sloped no steeper than 1 unit vertical in 48

#### **R311.7.8: HANDRAILS**

Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches and not more than 38 inches.

## R311.7.7.2: CONTINUITY Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the

1. Handrails shall be permitted to be interrupted by a newel post at the turn.

edge of the open side. Insect screening shall not be considered as a guard.

## Required *guards* shall not have openings from the walking surface to the required *guard* height which allow

Smoke alarms shall be installed in the following locaitons;

1. In each sleeping room.

#### 2. Outside each separate sleeping area in the immediate vicinity of the bedrooms

3. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without and intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

contains a bathtub or shower unless this would prevent placement of a smoke alarm required by section R314.3.

6. Near all stairs.

R315.3: LOCATION AMENDED PER 780 CMR 51.00: 9TH ED

R314: CARBON MONOXIDE ALARMS

Carbon Monoxide alarms in dwelling units shall be outside of each separate sleeping area within 10' of the bedrooms. Where a fuel burning-appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. At least one alarm shall be installed on each story of a dwelling unit, including basements and cellars but not in crawl spaces and uninhabitable attics.

R315.4: COMBINATION ALARMS AMENDED PER 780 CMR 51.00: 9TH ED. Combination Carbon Monoxide and Smoke Alarms (in compliance with section 314) shall be permitted to be used in lieu of Carbon Monoxide alarms, located as in 315.3, provided they are compatible and the smoke

## R506: CONCRETE FLOORS (ON GROUND)

#### R506.1: GENERAL

Concrete slab-on-ground floors shall be designed and constructed in accordance with the provisions of this section or ACI 332. Floor shall be a minimum 3½" thick (for expansive soils, see section R403.1.8). the specified compressive strength of concrete shall be as set forth in section R402.2.

R506.1.1: CONTROL JOINTS AMENDED PER 780 CMR 51.00: 8TH ED. Slabs shall be constructed with control joints having a depth of at least one quarter of the slab thickness but not less than 1". Joints shall be spaced at intervals not greater than 30 feet in each direction. Control joints shall be placed at locations where the slab width or length changes.

1. Control joints may be omitted when the slab is reinforced in accordance with Table R506.1.1. Reinforcement shall be placed at the mid-depth of the slab or 2" from the top of slabs greater than

R506.2: SITE PREPERATION The area within the foundation walls shall have all vegetation, top soil, and foreign material removed. R506.2.1: FILL

Fill materials shall be free of vegetation and foreign material. The fill shall be compacted to assure uniform support of the slab, and except where approved, the fill depths shall not exceed 24" for clean sand or gravel and 8" for earth. R506.2.2: BASE

A 4"-thick base course consisting of clean graded sand, gravel, crushed stone, crushed concrete, or crushed blast-furnace slag passing a 2" sieve shall be placed on the prepared subgrade when the slab is below grade.

#### **EXCEPTION:**

A base course is not required when the concrete slab is installed on well-drained or sand-gravel mixture soils classified as Group I according to the United Soils Classification System in accordance with Table R405.1

#### R506.2.3: VAPOR RETARDER

R506.2.4: REINFORCEMENT SUPPORT

A 6 mil (0.006 inch; 152 μm) polythylene approved vapor retarder with joints lapped not less than 6 inches shall be placed between the concrete floor and the base course or the the prepared subgrade where no

EXCEPTIONS: THE VAPOR RETARDER MAY BE OMITTED: 1. From garages, utility buildings and other unheated accessory structures.

4. Where approved by the building official, based on local site conditions

#### Where provided in slabs on ground, reinforcement shall be supported to remain in place from the center to upper one third of the slab for the duration of the concrete placement.

R807: ATTIC ACCESS R807.1: ATTIC ACCESS

> Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that have a vertical height of 30" or greater over an area not less than 30ft2. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members.

The rough-framed opening shall not be less than 22" by 30" and shall be located in a hallway or other readily accessible location. When located in a wall, the opening shall be a minimum of 22" wide by 30" high. When the access is located in a ceiling, minimum unobstructed headroom in the attic space shall be 30" at some point above the access measured vertically from the bottom of ceiling framing members. See section M1305.1.3 for access requirements where mechanical equipment is located in attics.

## R905: REQUIREMENTS FOR ROOF COVERINGS

#### R905.2.2: SLOPE

Asphalt shingles shall be used only on roof slopes of 2 units vertical in 12 units horizontal (2:12) or greater. for roof slopes from 2 units vertical in 12 units horizontal (2:12) up to 4 units vertical in 12 units horizontal (4:12), double underlayment application is required in accordance with section R905.1.1

#### R1003: MASONRY CHIMNEYS

R1003.9: TERMINATION

Chimneys shall extent at least 2 feet higher than any portion of a building within 10 feet, but shall not be less than 3 feet above the highest point where the chimney passes through the roof.

## APPLICABLE CODES

2015 INTERNATIONAL RESIDENTIAL CODE

JOINT DESCRIPTION

Fiberboard Panels

FLOOR SHEATHING

Wood Structural Panels

Greater than 1

1" or Less

1/2" Gypsum Wallboard

- FOR ONE AND TWO FAMILY DWELLINGS. 780 CMR 51.00 9TH ED. MASS, AMENDMENTS TO THE 2015 IRC. WFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO
- FAMILY DWELLINGS. 2001 EDITION. WFCM: WOOD FRAME CONSTRUCTION MANUAL: GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS FOR ONE AND TWO FAMILY

(BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE)

PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE

## GENERAL NAILING SCHEDULE: 1 00MPH

daint beatkirtian	" OF COMM. NAILS	BOX NAILS	SPACING
ROOF FRAMING			
Blocking to Rafter (Toe Nailed)	2-8d	2-10d	Each end
Rim Board to Rafter (End-Nailed)	2-16d	3-16d	Each end
WALL FRAMING			
Top Plates at Intersections (Face Nailed)	4-16d	5-16d	At joints
Stud to Stud (Face Nailed)	2-16d	2-16d	24" O.C.
Header to Header (Face-Nailed)	16d	16d	16" O.C. along edges
FLOOR FRAMING			
Joists to Sill, Top Plate or Grinder (Toe-nailed) (Fig. 14)	4-8d	4-10d	Per joist
Blocking to Joist (Toe-nailed)	2-8d	2-10d	Each end
Blocking to Sill or Top Plate (Toe-nailed)	3-16d	4-16d	Each block
Ledger Strip to Beam or Girder (Face-nailed)	3-16d	4-16d	Each joist
Joist on Ledger to Beam (Toe-nailed)	3-8d	3-10d	Per joist
Band Joist to Joist (Edge-nailed) (Fig. 14)	3-16d	4-16d	Per joist
Band Joist to Sill or Top Plate (Toe-nailed	2-16d	3-16d	Per foot
ROOF SHEATHING			
Wood Structural Panels			
Rafters or Trusses Spaced up to 24" O.C.	8d	10d	6" Edge/6" Field
Gable Endwall Rake or Rake Truss w/o Gable Overhang	8d	10d	6" Edge/6" Fleld
Gable Endwall Rake or Rake Truss w/ Struct. Outlookers	8d	10d	6" Edge/6" Field
Gable Endwall Rake or Rake Truss w/ Lookout Blocks	8d	10d	4" Edge/4" Field
CEILING SHEATHING			
Gypsum Wallboard	5d Coolers	-	7" Edge/10" Field
WALL SHEATHING			
Wood Structural Panels			
Studs spaced up to 24" O.C.	8d	10d	6" Edge/12" Field
1/2" and 25/32"	8d <sup>1</sup>	-	3" Edge/6" Field

5d Coolers

CORROSION RESISTANT 11 GAUGE ROOFING NAILS AND 16 GAUGE

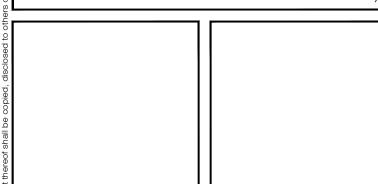
STAPLES ARE PERMITTED. CHECK IBC FOR ADDITIONAL REQUIREMENTS

16d

#### ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING

THE INTERNATIONAL RESIDENTIAL CODE

- 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS 780 CMR 51.00 - MASS. AMENDMENTS TO
- WFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS. 2001 EDITION. WFCM: WOOD FRAME CONSTRUCTION
- MANUAL: GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS FOR ONE AND TWO FAMILY DWELLINGS. 100
- PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE



## VIDALAS RESIDENCE 🖺 75A HIGHLAND ST. HYDE PARK, MA

MICHAEL STALLINGS

TITLE SHEET

Revisions △ | Date

## FINALS

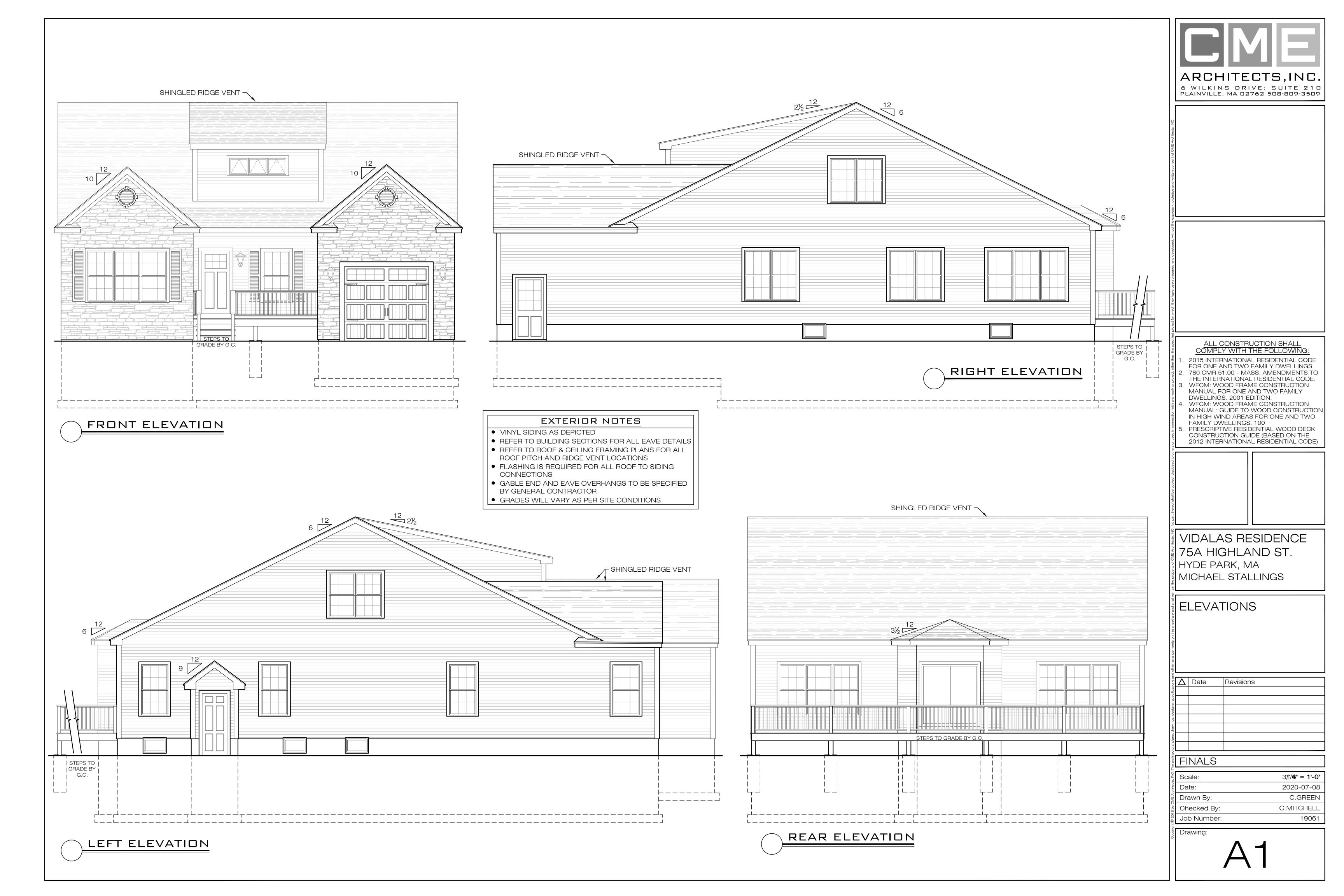
F	
 Scale:	3/1/ <b>6" = 1'-0"</b>
Date:	2020-07-08
Drawn By:	C.GREEN
Checked By:	C.MITCHELL
Job Number:	19061

l Drawing:

7" Edge/10" Field

6" Edge/12" Field

6" Edge/6" Field



#### GENERAL NOTES

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVISEMENT OF CME ARCHITECTS, INC.
- CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- G.C. TO VERIFY ALL EXISTING SITE CONDITIONS
- ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
   ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY
- LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS, MINIMUM 2" NOMINAL LUMBER REQUIRED.

#### FLOOR PLAN NOTES

- (3)2x10 HEADERS ABOVE ALL EXTERIOR ROUGH OPENINGS UNLESS NOTED OTHERWISE. REFER TO INTERIOR/EXTERIOR HEADER SPAN CHARTS.
- CLOSET SHELVES AND POLES BY G.C.
- 2X6 EXTERIOR CONSTRUCTION.
- ALL LUMBER SPF#2 OR BETTER.

#### INTERIOR STAIR NOTES

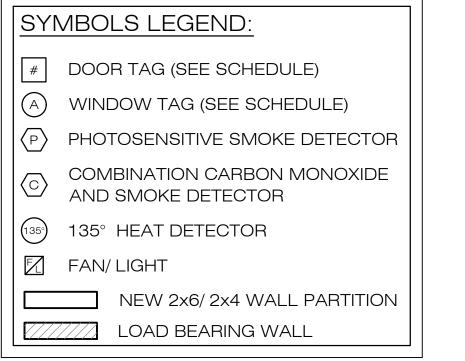
- MAXIMUM 8 1/4" RISERS
- MINIMUM 9" TREAD DEPTH
- MIN. 34" & MAX. 38" HIGH HANDRAILS
- MAXIMUM 4" BALLAST SPACING

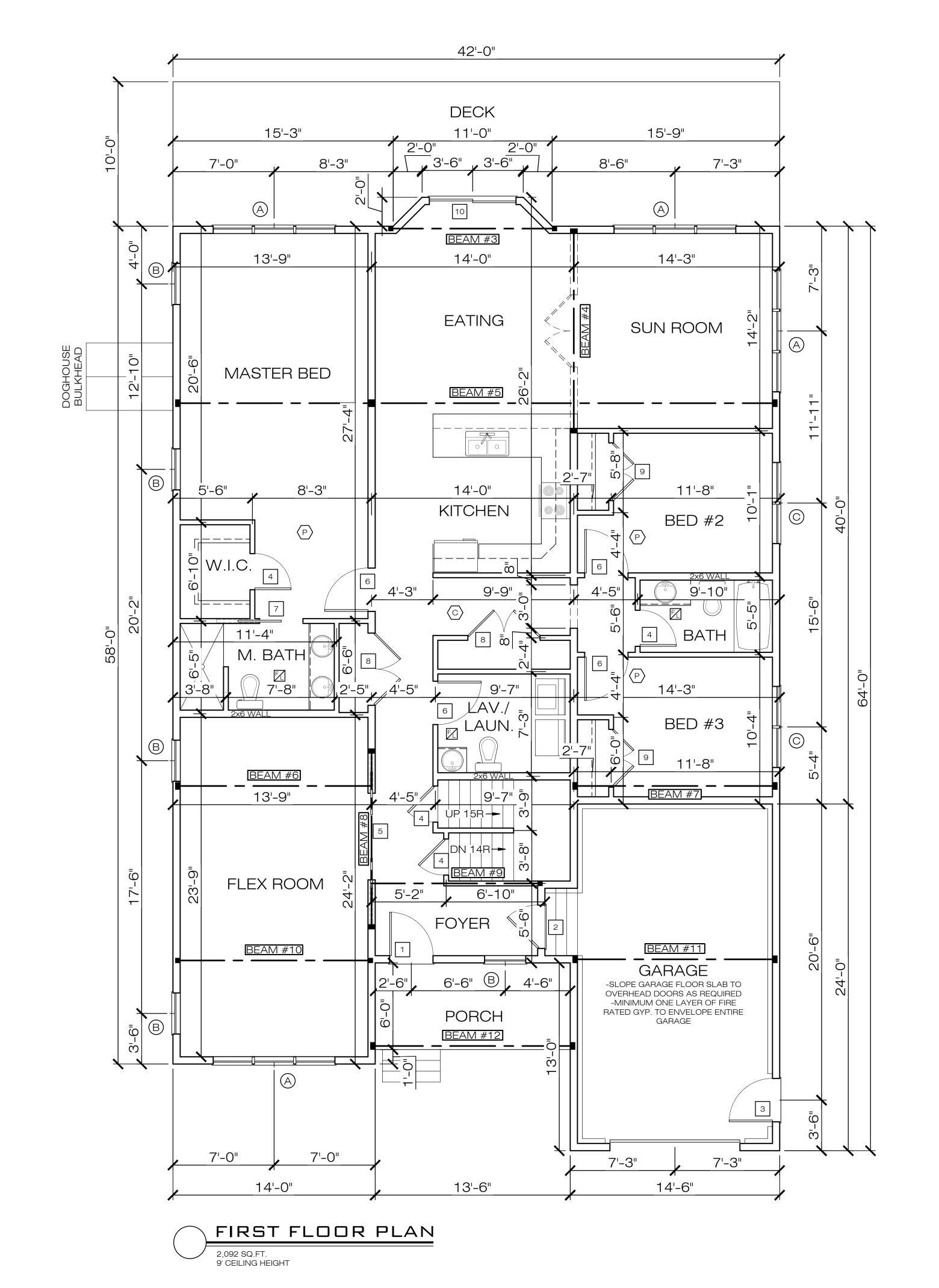
NOTE: ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

	DOOR SCHEDULE				
#	MODEL	QUAN			
1	3'-0" x 6'-8" FRONT 6-LITE	1			
2	2'-8" X 6'-8" 1 HR. FIRE RATED	1			
3	3'-0" X 6'-8" 9-LITE	1			
4	2'-6" X 6'-8" 6 PANEL	4			
5	[2] 3'-0" X 6'-8" POCKET	1			
6	3'-0" X 6'-8" 6 PANEL	8			
7	3'-0" X 6'-8" POCKET	1			
8	[2] 2'-6" X 6'-8" 6 PANEL	3			
9	[2] 2'-0" X 6'-8" 6 PANEL	2			
10	6'-0" X 6'-8" SLIDER	1			
11	2'-8" X 6'-8" 6 PANEL	1			

	WINDOW SCHEDULE				
#	TYPE	MODEL	QUAN	ROUGH OPENING	
Α	DOUBLE HUNG	3-2852	4	8'-5 ¾" x 5'-4 ¾"	
В	DOUBLE HUNG	2852	5	2'-10 1/8" x 5'-4 7/8"	
С	DOUBLE HUNG	2-2852	2	5'-7 <sup>3</sup> / <sub>8</sub> " x 5'-4 <sup>7</sup> / <sub>8</sub> "	
D	DOUBLE HUNG	2846	2	2'-10 1/8" x 4'-8 7/8"	
G.C. TO VERIFY R.O.s WITH MANUFACTURER					

	BEAM SCHEDULE						
#	BEAM LENGTH	CLEAR SPAN	LOCATION	CONSTRUCTION	ENGINEERED SIZE		
1	15'-8"	15'-0"	BASEMENT	DROP	3- 1¾" x 16" LVL		
2	3'-8"	3'-0"	BASEMENT	DROP	3- 1¾" x 7¼" LVL		
3	11'-8"	11'-0"	EATING	FLUSH	2- 1¾" x 9¼" LVL		
4	14'-2"	13'-6"	SUNROOM	DROP	3- 1¾" x 14" LVL		
5	41'-8"	VARIES	MASTER/EATING/SUNROOM	FLUSH TO BOTTOM	3- 1¾" x 11¾" LVL		
6	13'-4"	13'-0"	FLEX ROOM	FLUSH TO BOTTOM	3- 1¾" x 11¾" LVL		
7	14'-2"	13'-6"	BED #3	FLUSH TO BOTTOM	3- 1¾" x 11½" LVL		
8	12'-6"	6'-0"	FLEX ROOM	DROP	3- 1¾" x 14" LVL		
9	11'-7"	11'-3"	FOYER	FLUSH TO BOTTOM	3- 1¾" x 11½" LVL		
10	13'-8"	13'-0"	FLEX ROOM	FLUSH TO BOTTOM	2- 1¾" x 9¼" LVL		
11	14'-2"	13'-6"	GARAGE	FLUSH TO BOTTOM	3- 1¾" x 9¼" LVL		
12	14'-2"	13'-6"	PORCH	DROP	3- 1¾" x 7¼" LVL		
13	14'-0"	13'-4"	ATTIC	FLUSH	2- 1¾" x 9½" LVL		
14	14'-0"	13'-4"	ATTIC	FLUSH	2- 1¾" x 9½" LVL		
15	13'-0"	13'-0"	ATTIC	FLUSH	2- 1¾" x 11¾" LVL		







ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

2. 780 CMR 51.00 - MASS. AMENDMENTS TO THE INTERNATIONAL RESIDENTIAL CODE.

3. WFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY

DWELLINGS. 2001 EDITION.

4. WFCM: WOOD FRAME CONSTRUCTION
MANUAL: GUIDE TO WOOD CONSTRUCTION
IN HIGH WIND AREAS FOR ONE AND TWO
FAMILY DWELLINGS. 100

5. PRESCRIPTIVE RESIDENTIAL WOOD DECK
CONSTRUCTION GUIDE (BASED ON THE
2012 INTERNATIONAL RESIDENTIAL CODE)

VIDALAS RESIDENCE

MICHAEL STALLINGS

FIRST FLOOR PLAN

75A HIGHLAND ST.

HYDE PARK, MA

△ Date Revisions

FINALS

Scale: 3/1/6" = 1'-0"

Date: 2020-07-08

Drawn By: C.GREEN

Checked By: C.MITCHELL

Job Number: 19061

Drawing:

#### GENERAL NOTES

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVISEMENT OF CME ARCHITECTS, INC.
- CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- G.C. TO VERIFY ALL EXISTING SITE CONDITIONS
- ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS. MINIMUM 2" NOMINAL LUMBER REQUIRED.

#### FOUNDATION NOTES

- 10" CONCRETE FOUNDATION WALL POUR UNLESS OTHERWISE NOTED. FOUNDATION CONCRETE TO BE MINIMUM 3,000 P.S.I. IN 28 DAYS IN ACCORDANCE WITH MASS STATE BUILDING CODE 780 CMR TABLE 5402.2-MININMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE.
- GARAGE SLABS TO BE MINIMUM 3,500 P.S.I.
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
- FOUNDATION WALLS TO EXTEND A MINIMUM OF 8" ABOVE FINISHED GRADES
- 6 MIL. POLY VAPOR GUARD, WITH JOINTS LAPPED NOT LESS THAN 6", SHALL BE PLACED BETWEEN BASE AND SLAB.
- GARAGE SLABS TO BE MINIMUM 4" THICK ON MINIMUM 4" GRAVEL.
- BACK FILL SHALL NOT BE PLACED UNTIL WALL HAS SUFFICIENT STRENGTH. DRAINAGE SYSTEMS TO BE PROVIDED AROUND BOTTOM OF FOUNDATION
- TO BE DRAINAGE TILES, GRAVEL, CRUSHED STONE DRAINS, OR PERFORATED PIPES.
- 20" X 10" CONCRETE FOOTINGS WITH 2" X 4" KEY WAY UNDER ALL CONCRETE FOUNDATION WALLS AT A MINIMUM 4'-0" BELOW GRADE.
- DAMP PROOFING REQUIRED FROM TOP OF FOOTING TO FINISHED GRADE.
- TOP OF ALL SONOTUBES AND ENTRY LANDING WALLS TO BE VERIFIED IN FIELD

#### FLOOR PLAN NOTES

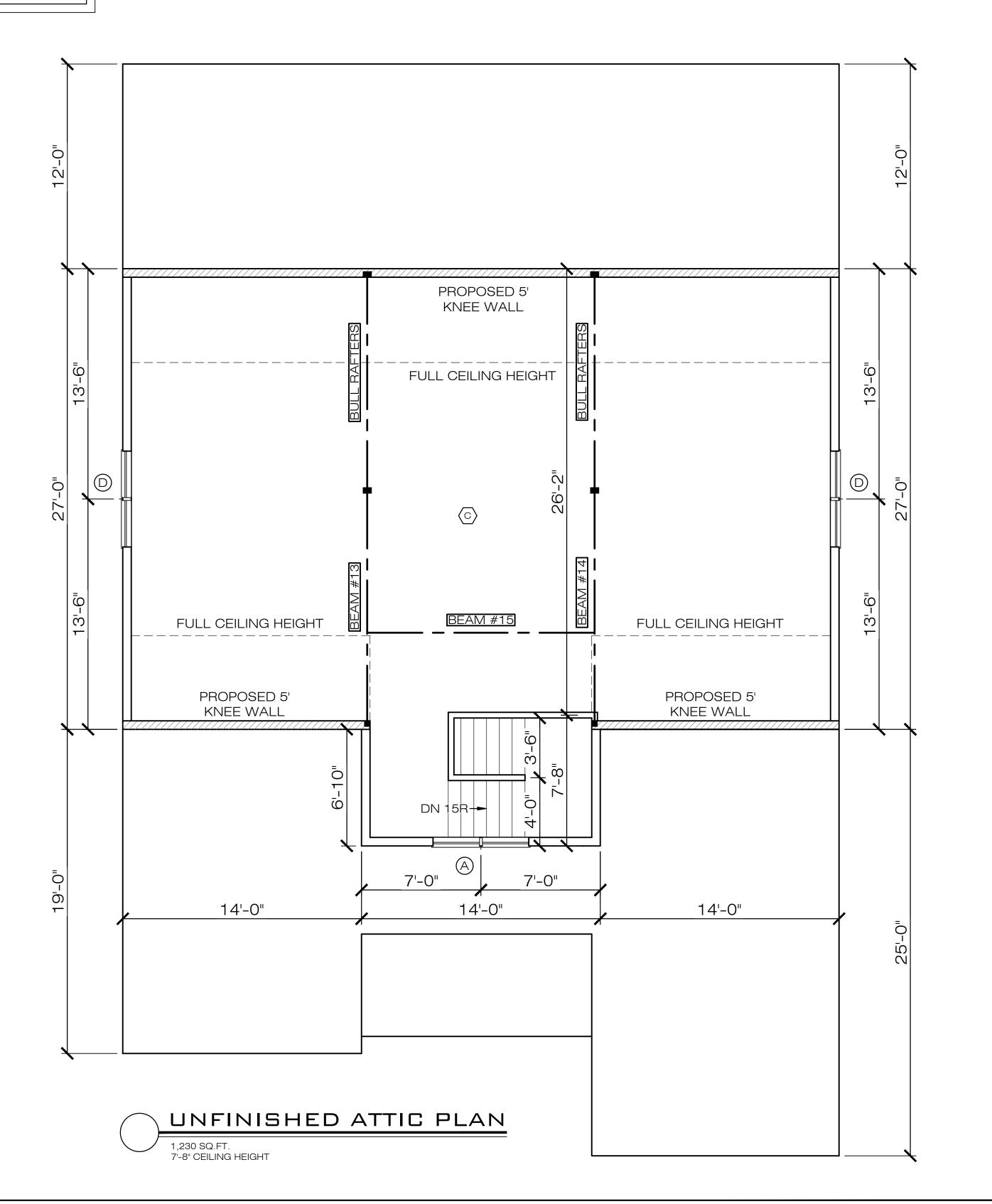
- (3)2x10 HEADERS ABOVE ALL EXTERIOR ROUGH OPENINGS UNLESS NOTED OTHERWISE. REFER TO INTERIOR/EXTERIOR HEADER SPAN CHARTS.
- CLOSET SHELVES AND POLES BY G.C.
- 2X6 EXTERIOR CONSTRUCTION.
- ALL LUMBER SPF#2 OR BETTER.

# CALCULATIONS PROVIDED BY

#### INTERIOR STAIR NOTES

- MAXIMUM 8 1/4" RISERS
- MINIMUM 9" TREAD DEPTH
- MIN. 34" & MAX. 38" HIGH HANDRAILS
- MAXIMUM 4" BALLAST SPACING

NOTE: ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER. SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.





#### ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

- 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. 780 CMR 51.00 - MASS. AMENDMENTS TO THE INTERNATIONAL RESIDENTIAL CODE.
- WFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS. 2001 EDITION. WFCM: WOOD FRAME CONSTRUCTION MANUAL: GUIDE TO WOOD CONSTRUCTION
- IN HIGH WIND AREAS FOR ONE AND TWO FAMILY DWELLINGS. 100 PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE

2012 INTERNATIONAL RESIDENTIAL CODE)

VIDALAS RESIDENCE 75A HIGHLAND ST. HYDE PARK, MA MICHAEL STALLINGS

UNFINISHED ATTIC IN-LAW PLAN

1	<u> </u>		
		Date	Revisions
	drawings		
	Daris,		
	cidia		
-1	<u> </u>	•	

### FINALS

s, INC	Scale:	3/1√6" = 1'-0"
chitects	Date:	2020-07-08
ME Ar	Drawn By:	C.GREEN
8 by C	Checked By:	C.MITCHELL
© 201	Job Number:	19061

#### GENERAL NOTES

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN
   UNDER THE ADVISEMENT OF CME ARCHITECTS,
- CME ARCHITECTS, INC., AND/OR CRAIG C.
   MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD
- G.C. TO VERIFY ALL EXISTING SITE CONDITIONS
   ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS, MINIMUM 2" NOMINAL LUMBER REQUIRED.

#### FLOOR PLAN NOTES

- (3)2x10 HEADERS ABOVE ALL EXTERIOR ROUGH OPENINGS UNLESS NOTED OTHERWISE. REFER TO INTERIOR/EXTERIOR HEADER SPAN CHARTS.
- CLOSET SHELVES AND POLES BY G.C
- 2X6 EXTERIOR CONSTRUCTION.
- ALL LUMBER SPF#2 OR BETTER.

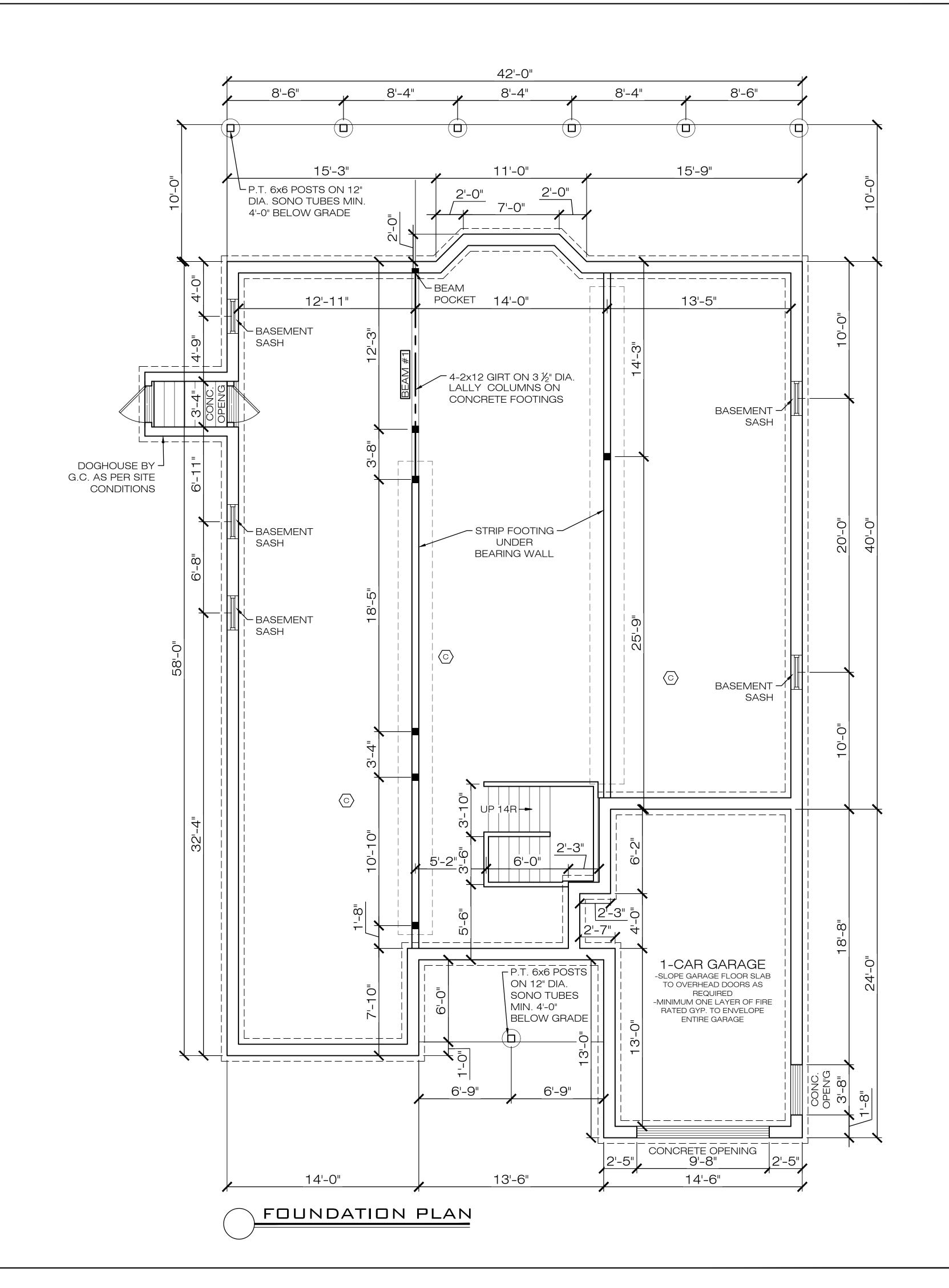
#### INTERIOR STAIR NOTES

- MAXIMUM 8 1/4" RISERS
- MINIMUM 9" TREAD DEPTH
- MIN. 34" & MAX. 38" HIGH HANDRAILS
  MAXIMUM 4" BALLAST SPACING
- VIAAIIVIOIVI 4 BALLAST SPACING

NOTE: ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

#### FOUNDATION NOTES

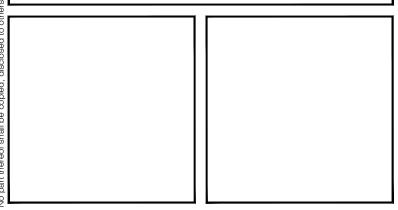
- 10" CONCRETE FOUNDATION WALL POUR UNLESS OTHERWISE NOTED.
- FOUNDATION CONCRETE TO BE MINIMUM 3,000
   P.S.I. IN 28 DAYS IN ACCORDANCE WITH MASS
   STATE BUILDING CODE 780 CMR TABLE
   5402.2-MININMUM SPECIFIED COMPRESSIVE
   STRENGTH OF CONCRETE.
- GARAGE SLABS TO BE MINIMUM 3,500 P.S.I.
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
- FOUNDATION WALLS TO EXTEND A MINIMUM OF 8" ABOVE FINISHED GRADES
- 6 MIL. POLY VAPOR GUARD, WITH JOINTS LAPPED NOT LESS THAN 6", SHALL BE PLACED BETWEEN BASE AND SLAB.
- GARAGE SLABS TO BE MINIMUM 4" THICK ON MINIMUM 4" GRAVEL.
- BACK FILL SHALL NOT BE PLACED UNTIL WALL HAS SUFFICIENT STRENGTH.
- DRAINAGE SYSTEMS TO BE PROVIDED AROUND BOTTOM OF FOUNDATION TO BE DRAINAGE TILES, GRAVEL, CRUSHED STONE DRAINS, OR PERFORATED PIPES.
- 20" X 10" CONCRETE FOOTINGS WITH 2" X 4" KEY
  WAY UNDER ALL CONCRETE FOUNDATION WALLS
  AT A MINIMUM 4'-0" BELOW GRADE.
- DAMP PROOFING REQUIRED FROM TOP OF
- FOOTING TO FINISHED GRADE.
- TOP OF ALL SONOTUBES AND ENTRY LANDING WALLS TO BE VERIFIED IN FIELD





ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING
OCIVIFET WITH THE FOLLOWING
2015 INTERNATIONAL RESIDENTIAL CO

- 2. 780 CMR 51.00 MASS. AMENDMENTS TO THE INTERNATIONAL RESIDENTIAL CODE.
  3. WFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS. 2001 EDITION.
- 4. WFCM: WOOD FRAME CONSTRUCTION
  MANUAL: GUIDE TO WOOD CONSTRUCTION
  IN HIGH WIND AREAS FOR ONE AND TWO
  FAMILY DWELLINGS. 100
- 5. PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE)



VIDALAS RESIDENCE
75A HIGHLAND ST.
HYDE PARK, MA
MICHAEL STALLINGS

FOUNDATION PLAN

Δ	Date	Revisions

FINALS

Scale: 3/1/6" = 1'-0"

Date: 2020-07-08

Drawn By: C.GREEN

Checked By: C.MITCHELL

Job Number: 19061

ฏิ Drawing:

NOTE: ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

#### CEILING FRAMING NOTES

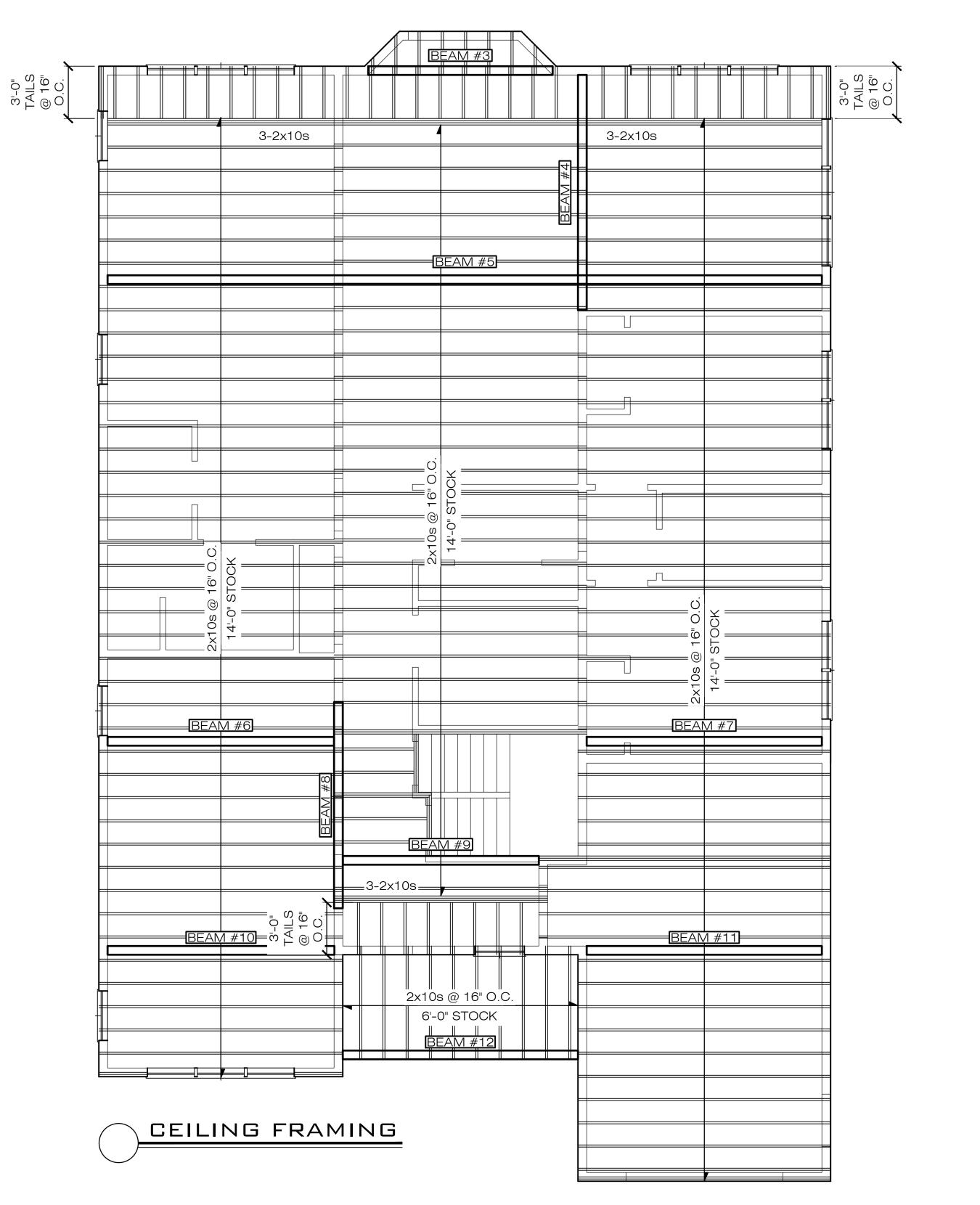
- SEE FLOOR PLANS FOR DIMENSIONS
- 20 LBS./SQ. FT. LIVE LOAD
- 10 LBS/ SQ. FT. DEAD LOAD
- SPRUCE-PINE-FIR #2 LUMBER OR BETTER
- SEE PAGE T1 FOR ATTIC ACCESS NOTES

#### FLOOR FRAMING NOTES

- 2X10 FLOOR FRAMING SYSTEM
- 2X10 RIM JOIST TO SURROUND PERIMETER OF FRAMING SYSTEM.
- SOLID BLOCKING ABOVE ALL BEARING PARTITIONS AND GIRTS.
  - CONTINUOUS BRIDGING AT ALL MIDSPANS.
  - DOUBLE JOISTS AND HANGERS AS REQUIRED.
  - SEE FLOOR PLANS AND FOUNDATION PLAN
    FOR ALL DIMENSIONS.
  - MINIMUM 1" AIRSPACE BETWEEN ALL MASONRY AND FRAMING.

#### GENERAL NOTES

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVISEMENT OF CME ARCHITECTS, INC.
- CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- G.C. TO VERIFY ALL EXISTING SITE CONDITIONS
- ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS, MINIMUM 2" NOMINAL LUMBER REQUIRED.



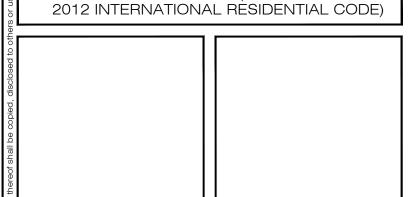


·	
ALL CONSTRUCTION SHALL	
ALL CONSTRUCTION SHALL	
COMPLY WITH THE FOLLOWING	٠.

- 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
   780 CMR 51.00 - MASS. AMENDMENTS TO THE INTERNATIONAL RESIDENTIAL CODE.
   WFCM: WOOD FRAME CONSTRUCTION
- MANUAL FOR ONE AND TWO FAMILY DWELLINGS. 2001 EDITION.

  4. WFCM: WOOD FRAME CONSTRUCTION MANUAL: GUIDE TO WOOD CONSTRUCTION
- IN HIGH WIND AREAS FOR ONE AND TWO FAMILY DWELLINGS. 100

  5. PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE



VIDALAS RESIDENCE
75A HIGHLAND ST.
HYDE PARK, MA
MICHAEL STALLINGS

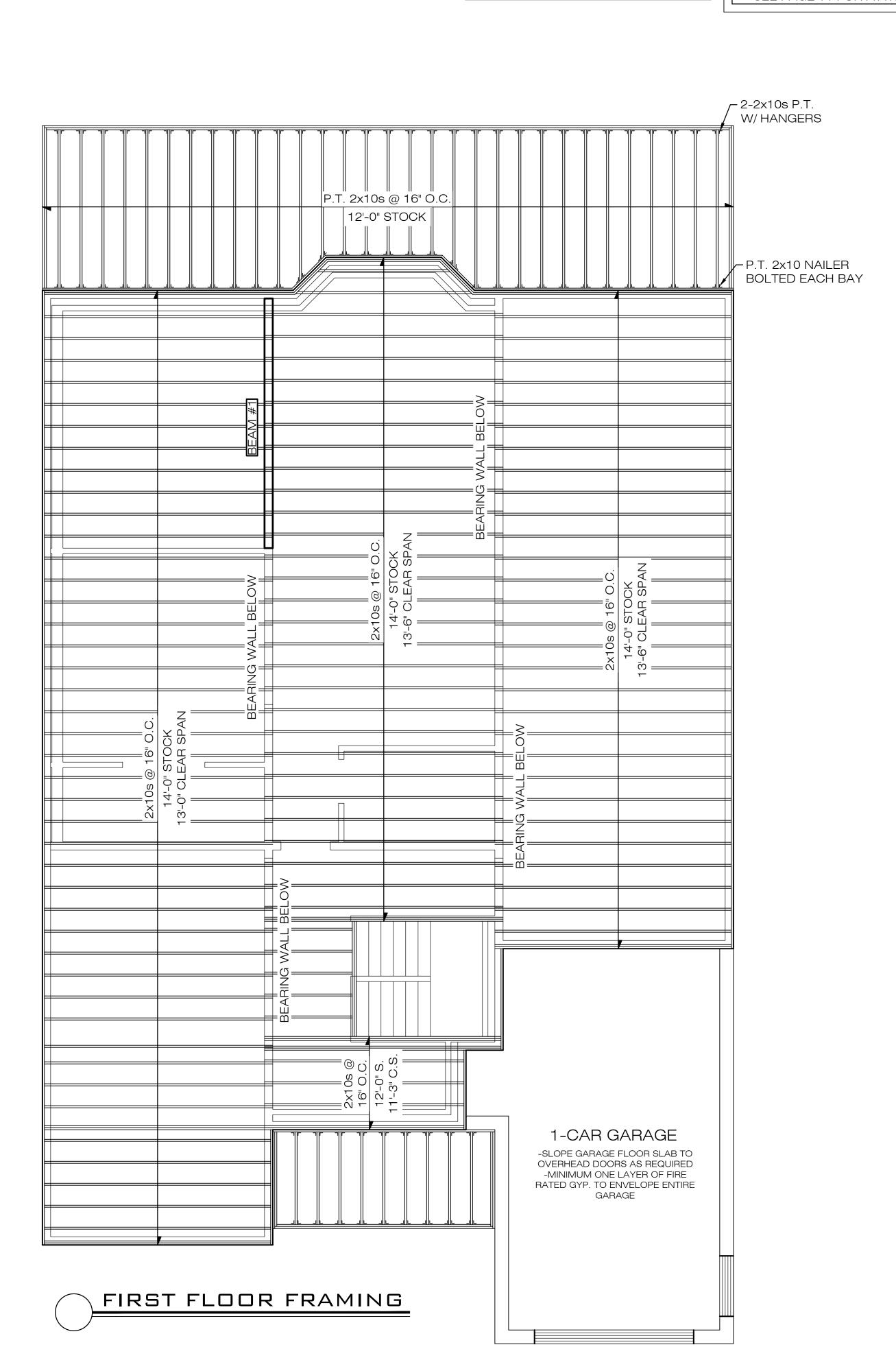
FIRST FLOOR
FRAMING
CEILING FRAMING

	g			
		Δ	Date	Revisions
	specifications			
ı	designs			
	drawings			
	plans,			
	ctural p			
	Ŏ,		•	

## FINALS

s, NO	Scale:	3/1√ <b>6</b> " = <b>1'-0"</b>
Architects,	Date:	2020-07-08
Ä.	Drawn By:	C.GREEN
8 by C	Checked By:	C.MITCHELL
© 201	Job Number:	19061

Drawing





- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN
- UNDER THE ADVISEMENT OF CME ARCHITECTS, INC.
   CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- G.C. TO VERIFY ALL EXISTING SITE CONDITIONS
   ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
- PROVIDED BY LICENSED CONSULTANTS.
   ALL PAINTS AND FINISHES PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS, MINIMUM 2" NOMINAL LUMBER REQUIRED.

25'-6"

\_\_ 2x4 RAFTER

KITCHEN

BREAKS

BEAM #4

BUILDING SECTION

2x10s @ 16" O.C. -28'-0" STOCK

EATING

BEAM #3

2-2x6 TOP -

2x6 WALL @ -

2x6 SHOE ¬

2-2x6 SILL -

10" CONC.

DAMPROOFING

CONC. FTG.W/ 2x4 KEY WAY

TO BE 4'-0" MIN. BELOW GRADE

FDN. W/

1'-8" x 10" <del>-</del>

16" O.C.W/ R21

INSULATION

PLATE

2x12 RIDGE W/ ~

CONT. VENT

#### ROOF FRAMING NOTES

#### RAFTER SIZES AND ROOF PITCH AS NOTED

- ROOFING SHINGLES SPECIFIED BY G.C.
- ROOF VENTS AS SHOWN
- RIDGE VENTS AS SHOWN (SET RIDGE DOWN

  2" FOR PROPER AIR FLOW
- 2" FOR PROPER AIR FLOW

  WATER & ICE BARRIER TO COVER ALL HIPS,

NOTE: ENGINEERING FRAMING MEMBERS

SIZED BY NATIONAL

PROVIDED BY SAME.

FOYER

LUMBER. SEE CALCULATIONS

25'-6"

BEAM #15

LAUND.

/LAV.

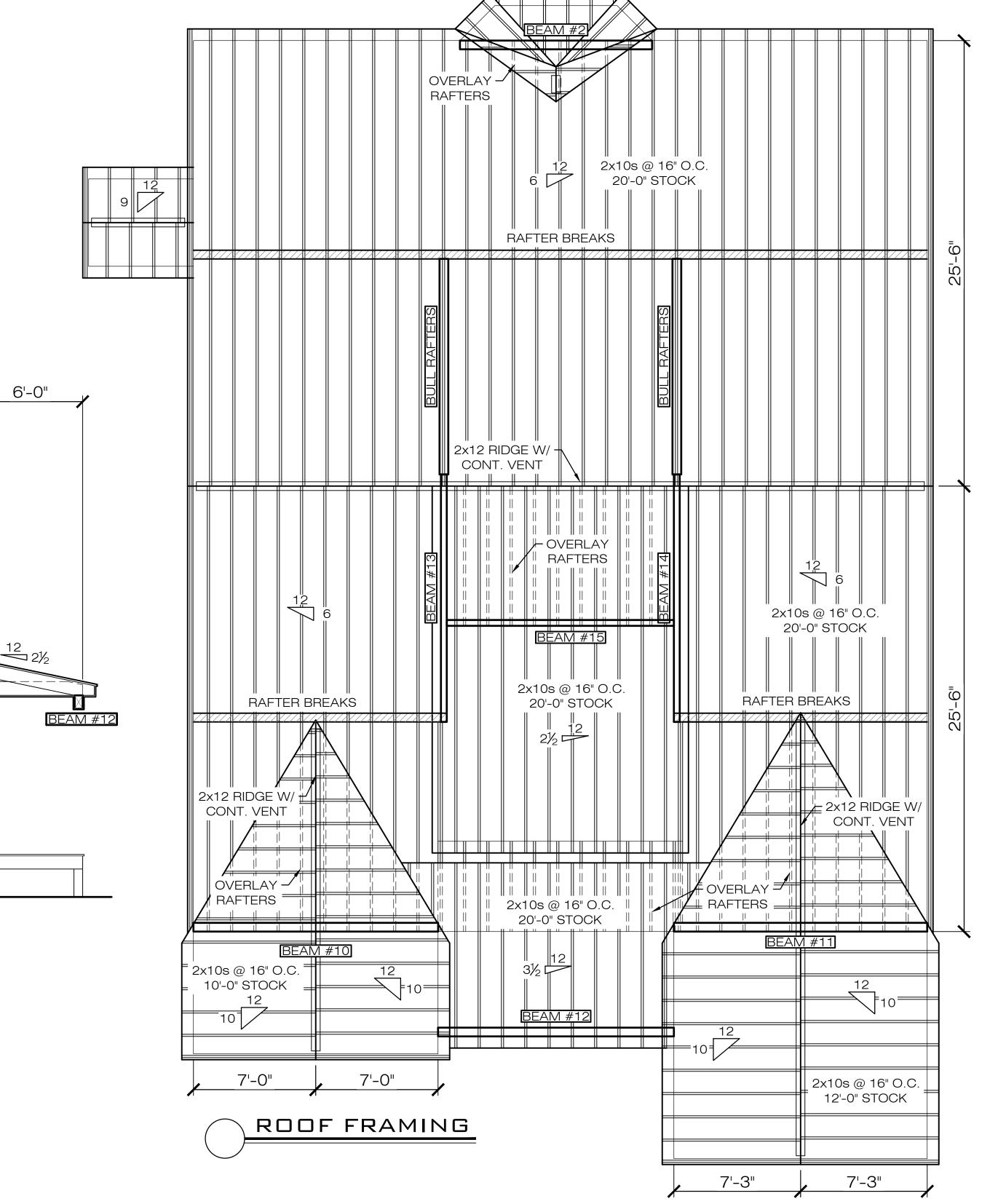
2x10s @ 16" O.C. W/ R49 INSULATION

- VALLEYS AND ONE COURSE UP FROM EAVE

   EAVE AND GABLE END OVERHANGS BY
- GENERAL CONTRACTOR
- MINIMUM 35 LB SNOW LOAD SUPPORT
   SEE TYPICAL FAVE DETAILS FOR POOF:
- SEE TYPICAL EAVE DETAILS FOR ROOF TIE
   DOWN REQUIREMENTS

NOTE: ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

2x10 C.T.s





## ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

. 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. 2. 780 CMR 51.00 - MASS. AMENDMENTS TO

THE INTERNATIONAL RESIDENTIAL CODE. WFCM: WOOD FRAME CONSTRUCTION

- MANUAL FOR ONE AND TWO FAMILY DWELLINGS. 2001 EDITION.

  4. WFCM: WOOD FRAME CONSTRUCTION
- MANUAL: GUIDE TO WOOD CONSTRUCTION
  IN HIGH WIND AREAS FOR ONE AND TWO
  FAMILY DWELLINGS. 100
- 5. PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE)

VIDALAS RESIDENCE

ROOF FRAMING

BUILDING SECTION

75A HIGHLAND ST.

MICHAEL STALLINGS

HYDE PARK, MA

△ Date Revisions

FINALS

| Scale: 3/1/6" = 1'-0" |
| Date: 2020-07-08 |
| Drawn By: C.GREEN |
| Checked By: C.MITCHELL |
| Job Number: 19061

Drawing