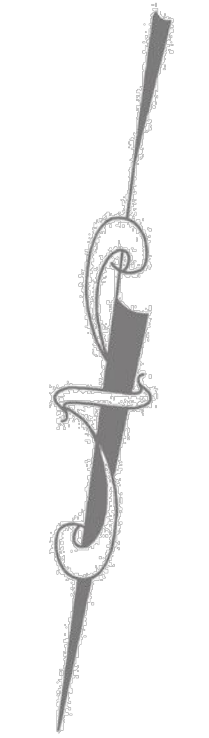




6 WILKINS DRIVE: SUITE 210  
PLAINVILLE, MA 02762 508-809-3509



VIDALAS RESIDENCE  
75A HIGHLAND AVE  
HYDE PARK, MA

RENDERED SITE PLAN

Δ	Date	Revisions
1		
2		
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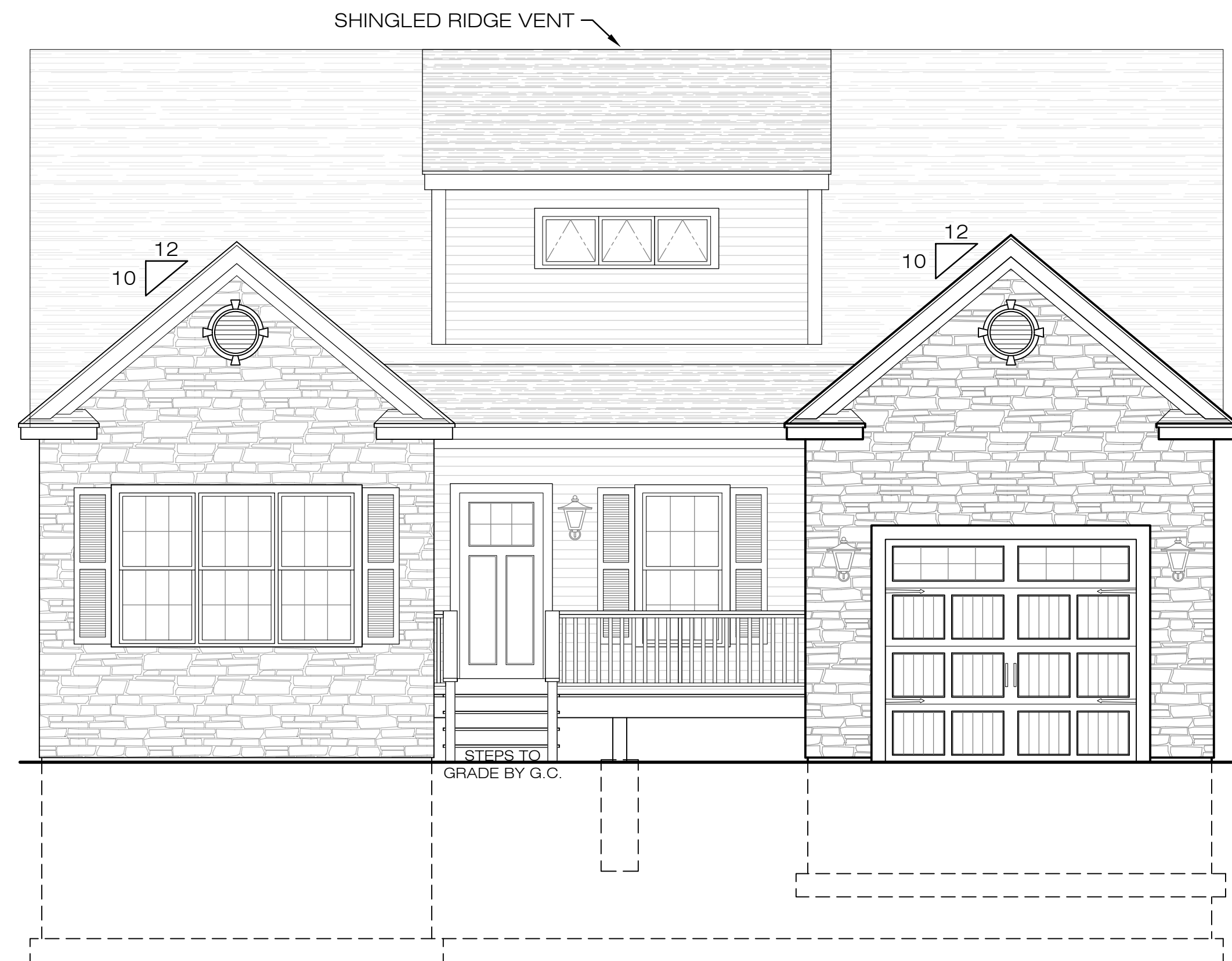
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 Date: 2020-08-05  
 Drawn By: KB  
 Checked By: CCM  
 Job Number:

1 RENDERED SITE PLAN  
NOT TO SCALE

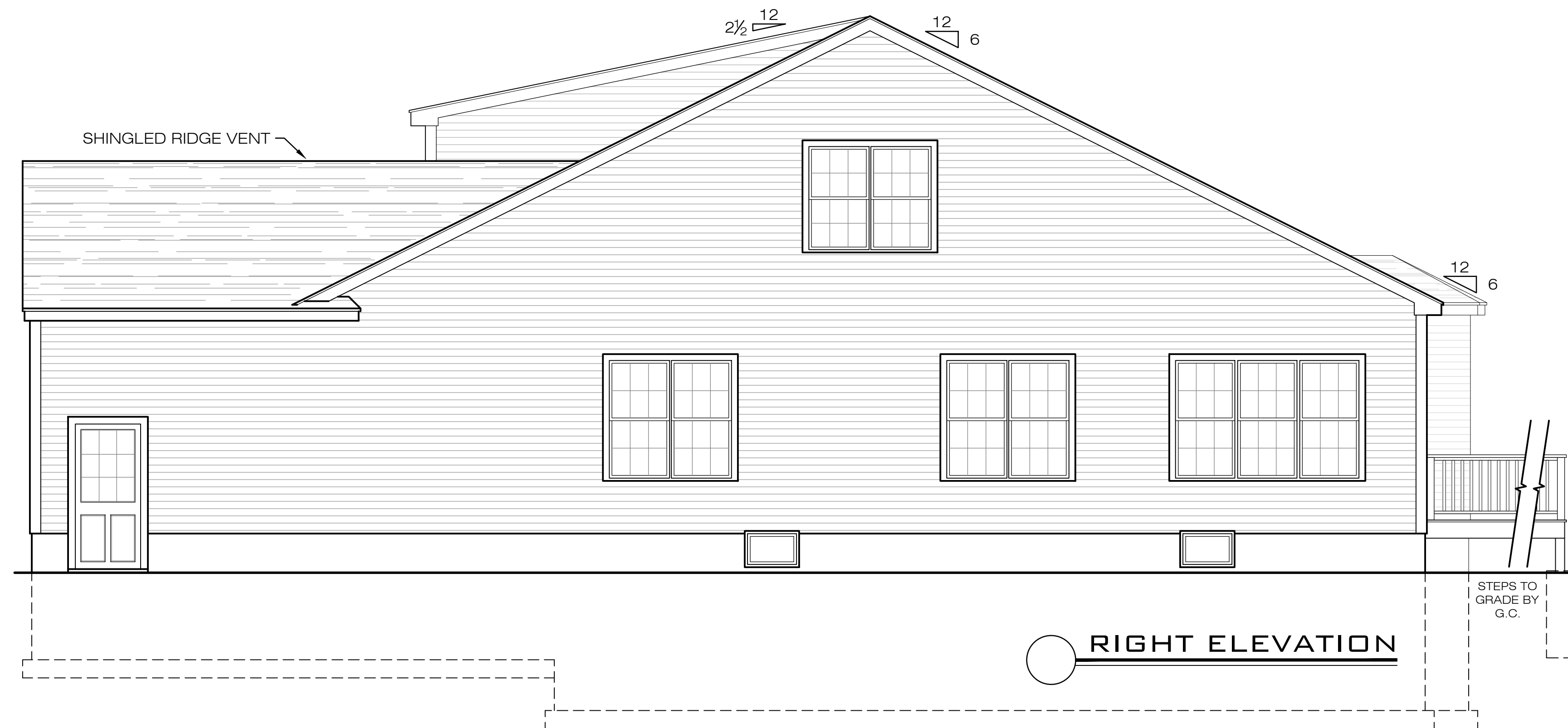
Drawing:  
**DD.1**

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**FRONT ELEVATION**

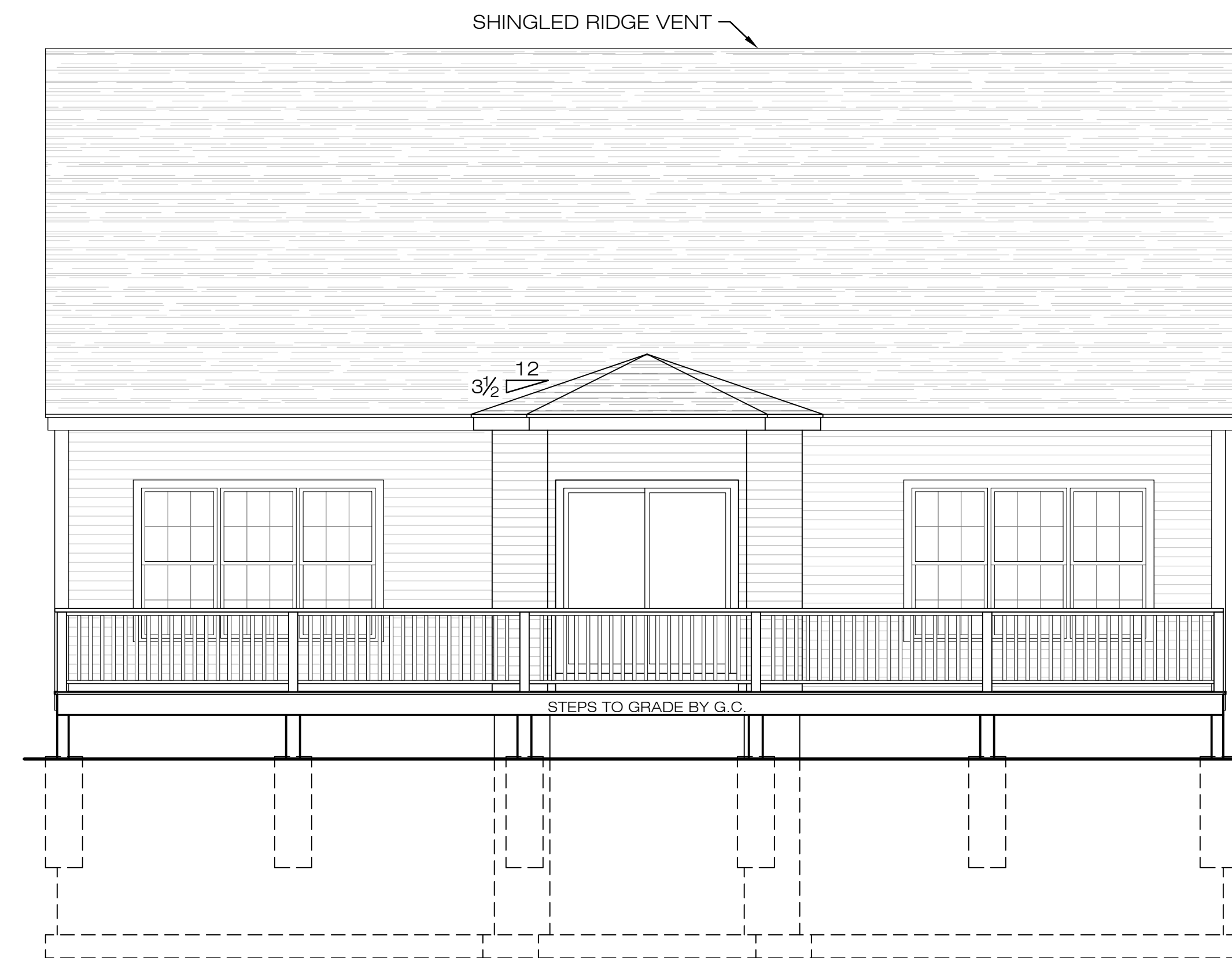


**RIGHT ELEVATION**

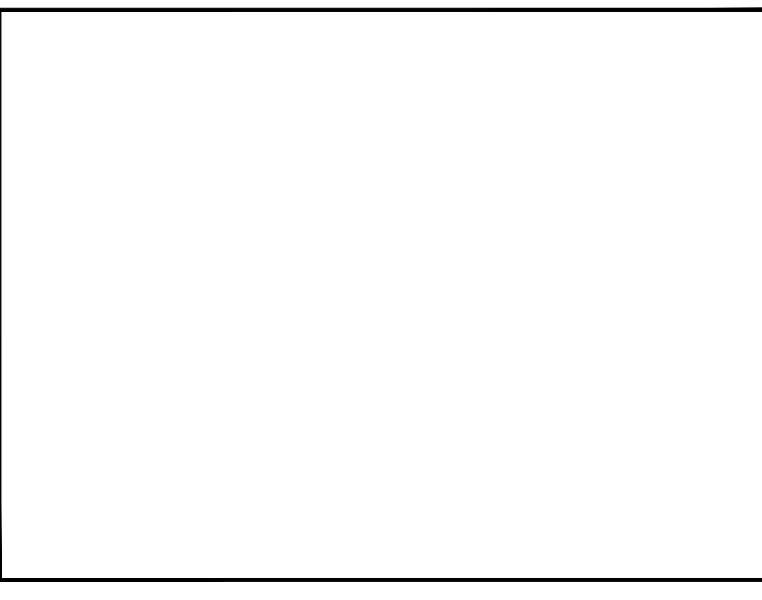
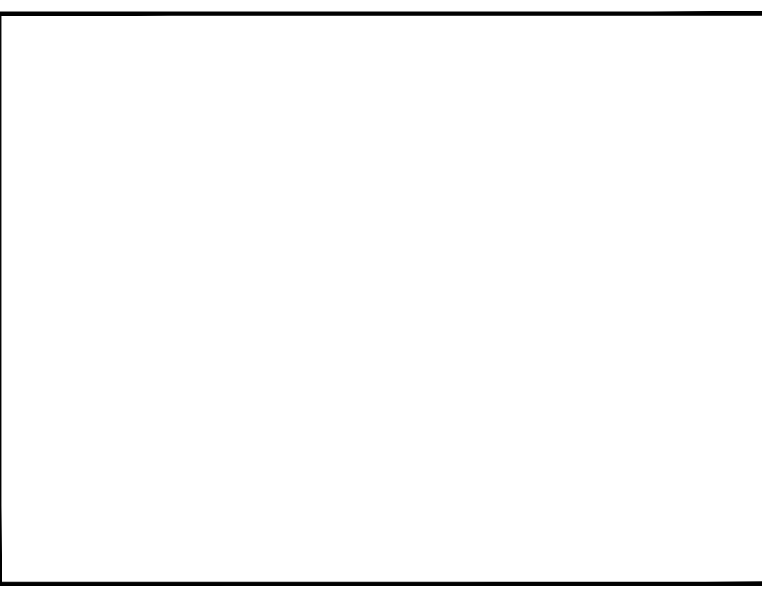
- EXTERIOR NOTES**
- VINYL SIDING AS DEPICTED
  - REFER TO BUILDING SECTIONS FOR ALL EAVE DETAILS
  - REFER TO ROOF & CEILING FRAMING PLANS FOR ALL ROOF PITCH AND RIDGE VENT LOCATIONS
  - FLASHING IS REQUIRED FOR ALL ROOF TO SIDING CONNECTIONS
  - GABLE END AND EAVE OVERHANGS TO BE SPECIFIED BY GENERAL CONTRACTOR
  - GRADES WILL VARY AS PER SITE CONDITIONS



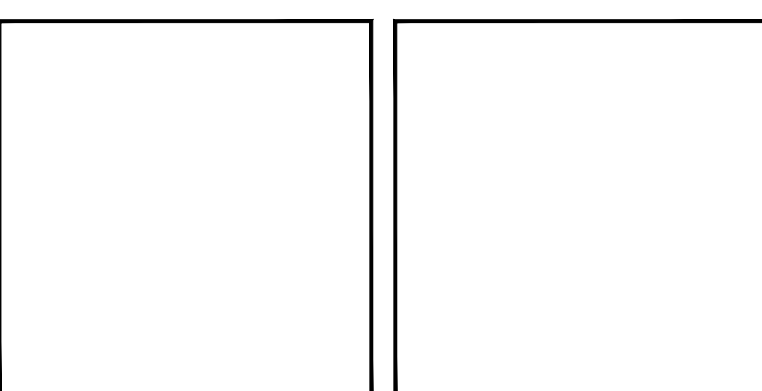
**LEFT ELEVATION**



**REAR ELEVATION**



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**VIDALAS RESIDENCE**  
75A HIGHLAND ST.  
HYDE PARK, MA  
MICHAEL STALLINGS

**ELEVATIONS**

Date	Revisions

**FINALS**

Scale:	3/16" = 1'-0"
Date:	2020-07-08
Drawn By:	C.GREEN
Checked By:	C.MITCHELL
Job Number:	19061

Drawing:  
**A1**

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**GENERAL NOTES**

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- FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS, MINIMUM 2" NOMINAL LUMBER REQUIRED.

**SYMBOLS LEGEND:**

- # DOOR TAG (SEE SCHEDULE)
- A WINDOW TAG (SEE SCHEDULE)
- P PHOTOSENSITIVE SMOKE DETECTOR
- C COMBINATION CARBON MONOXIDE AND SMOKE DETECTOR
- 135° HEAT DETECTOR
- FAN/ LIGHT
- NEW 2x6/ 2x4 WALL PARTITION
- LOAD BEARING WALL

**FLOOR PLAN NOTES**

- (3)2x10 HEADERS ABOVE ALL EXTERIOR ROUGH OPENINGS UNLESS NOTED OTHERWISE. REFER TO INTERIOR/EXTERIOR HEADER SPAN CHARTS.
- CLOSET SHELVES AND POLES BY G.C
- 2X6 EXTERIOR CONSTRUCTION.
- ALL LUMBER SPF#2 OR BETTER.

**INTERIOR STAIR NOTES**

- MAXIMUM 8 1/4" RISERS
- MINIMUM 9" TREAD DEPTH
- MIN. 34" & MAX. 38" HIGH HANDRAILS
- MAXIMUM 4" BALLAST SPACING

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**DOOR SCHEDULE**

#	MODEL	QUAN
1	3'-0" x 6'-8" FRONT 6-LITE	1
2	2'-8" X 6'-8" 1 HR. FIRE RATED	1
3	3'-0" X 6'-8" 9-LITE	1
4	2'-6" X 6'-8" 6 PANEL	4
5	[2] 3'-0" X 6'-8" POCKET	1
6	3'-0" X 6'-8" 6 PANEL	8
7	3'-0" X 6'-8" POCKET	1
8	[2] 2'-6" X 6'-8" 6 PANEL	3
9	[2] 2'-0" X 6'-8" 6 PANEL	2
10	6'-0" X 6'-8" SLIDER	1
11	2'-8" X 6'-8" 6 PANEL	1

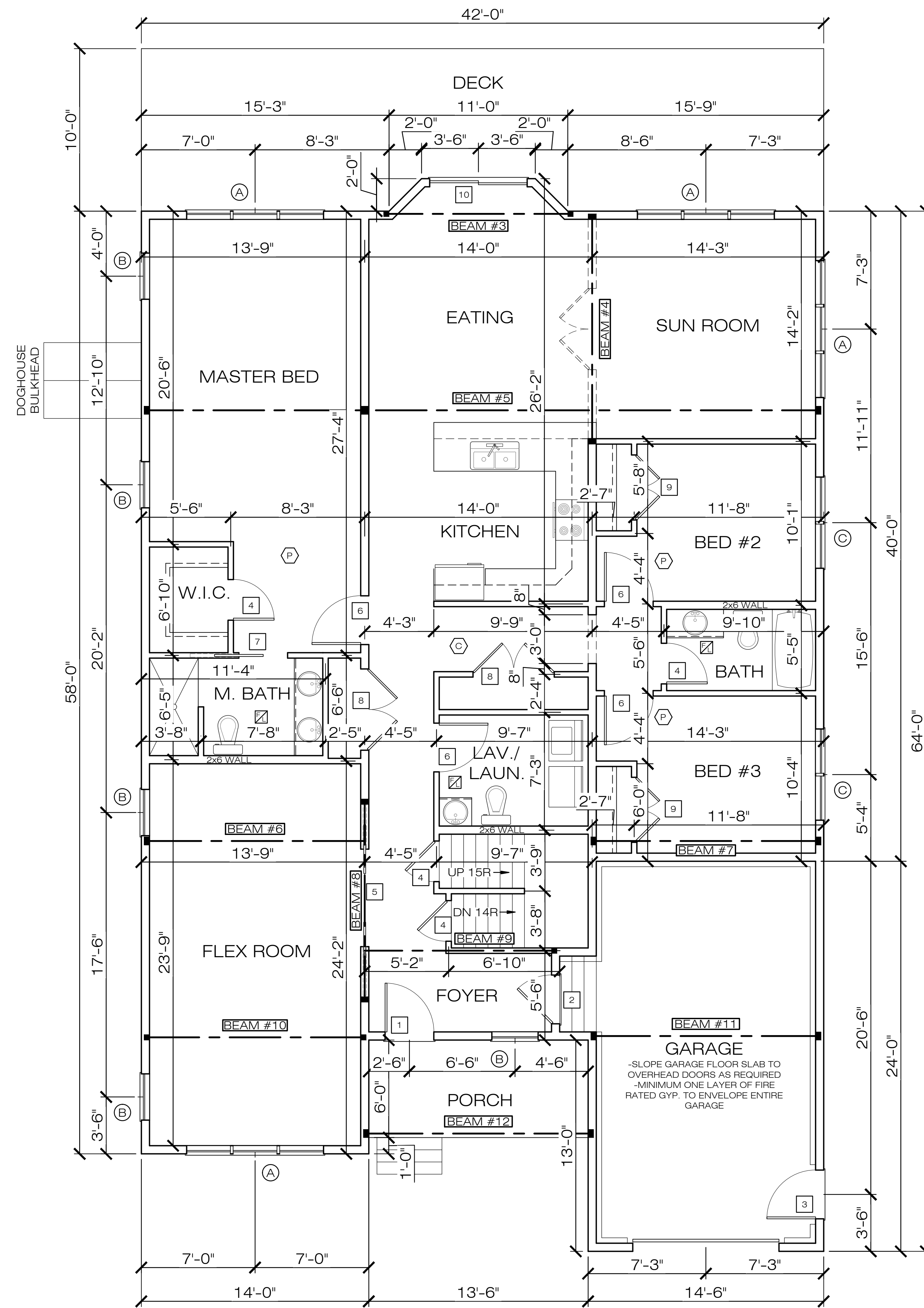
**WINDOW SCHEDULE**

#	TYPE	MODEL	QUAN	ROUGH OPENING
A	DOUBLE HUNG	3-2852	4	8'-5 3/4" x 5'-4 7/8"
B	DOUBLE HUNG	2852	5	2'-10 1/8" x 5'-4 7/8"
C	DOUBLE HUNG	2-2852	2	5'-7 3/8" x 5'-4 7/8"
D	DOUBLE HUNG	2846	2	2'-10 1/8" x 4'-8 7/8"

G.C. TO VERIFY R.O.s WITH MANUFACTURER

**BEAM SCHEDULE**

#	BEAM LENGTH	CLEAR SPAN	LOCATION	CONSTRUCTION	ENGINEERED SIZE
1	15'-8"	15'-0"	BASEMENT	DROP	3- 1 3/4" x 16" LVL
2	3'-8"	3'-0"	BASEMENT	DROP	3- 1 3/4" x 7 1/2" LVL
3	11'-8"	11'-0"	EATING	FLUSH	2- 1 3/4" x 9 1/2" LVL
4	14'-2"	13'-6"	SUNROOM	DROP	3- 1 3/4" x 14" LVL
5	41'-8"	VARIES	MASTER/EATING/SUNROOM	FLUSH TO BOTTOM	3- 1 3/4" x 11 1/8" LVL
6	13'-4"	13'-0"	FLEX ROOM	FLUSH TO BOTTOM	3- 1 3/4" x 11 1/8" LVL
7	14'-2"	13'-6"	BED #3	FLUSH TO BOTTOM	3- 1 3/4" x 11 1/8" LVL
8	12'-6"	6'-0"	FLEX ROOM	DROP	3- 1 3/4" x 14" LVL
9	11'-7"	11'-3"	FOYER	FLUSH TO BOTTOM	3- 1 3/4" x 11 1/8" LVL
10	13'-8"	13'-0"	FLEX ROOM	FLUSH TO BOTTOM	2- 1 3/4" x 9 1/2" LVL
11	14'-2"	13'-6"	GARAGE	FLUSH TO BOTTOM	3- 1 3/4" x 9 1/2" LVL
12	14'-2"	13'-6"	PORCH	DROP	3- 1 3/4" x 7 1/2" LVL
13	14'-0"	13'-4"	ATTIC	FLUSH	2- 1 3/4" x 9 1/2" LVL
14	14'-0"	13'-4"	ATTIC	FLUSH	2- 1 3/4" x 9 1/2" LVL
15	13'-0"	13'-0"	ATTIC	FLUSH	2- 1 3/4" x 11 1/8" LVL



**FIRST FLOOR PLAN**  
 2,092 SQ. FT.  
 9' CEILING HEIGHT

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**VIDALAS RESIDENCE**  
 75A HIGHLAND ST.  
 HYDE PARK, MA  
 MICHAEL STALLINGS

**FIRST FLOOR PLAN**

Date	Revisions

**FINALS**

Scale: 3/16" = 1'-0"  
 Date: 2020-07-08  
 Drawn By: C.GREEN  
 Checked By: C.MITCHELL  
 Job Number: 19061

Drawing: **A2**

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**FOUNDATION NOTES**

- 10" CONCRETE FOUNDATION WALL POUR UNLESS OTHERWISE NOTED.
- FOUNDATION CONCRETE TO BE MINIMUM 3,000 P.S.I. IN 28 DAYS IN ACCORDANCE WITH MASS STATE BUILDING CODE 780 CMR TABLE 5402.2-MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE.
- GARAGE SLABS TO BE MINIMUM 3,500 P.S.I.
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
- FOUNDATION WALLS TO EXTEND A MINIMUM OF 8" ABOVE FINISHED GRADES
- 6 MIL. POLY VAPOR GUARD, WITH JOINTS LAPPED NOT LESS THAN 6", SHALL BE PLACED BETWEEN BASE AND SLAB.
- GARAGE SLABS TO BE MINIMUM 4" THICK ON MINIMUM 4" GRAVEL.
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- DRAINAGE SYSTEMS TO BE PROVIDED AROUND BOTTOM OF FOUNDATION TO BE DRAINAGE TILES, GRAVEL, CRUSHED STONE DRAINS, OR PERFORATED PIPES.
- 20" X 10" CONCRETE FOOTINGS WITH 2" X 4" KEY WAY UNDER ALL CONCRETE FOUNDATION WALLS AT A MINIMUM 4'-0" BELOW GRADE.
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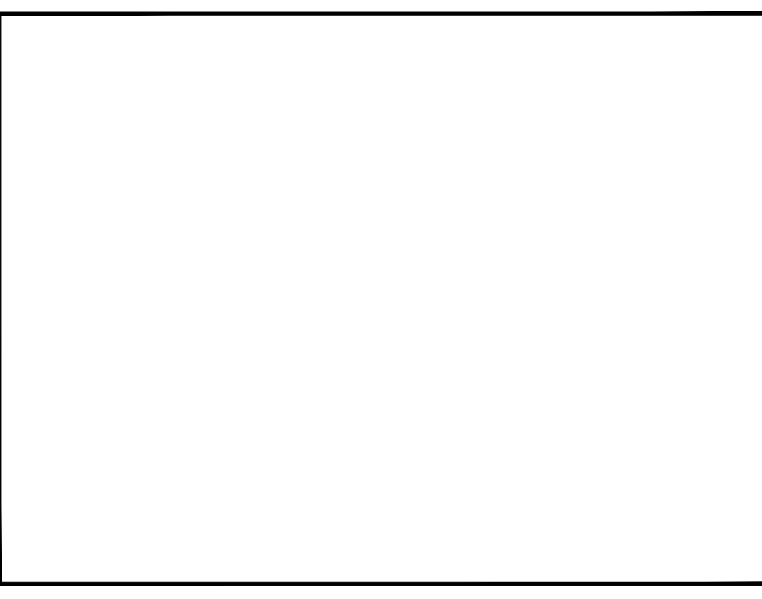
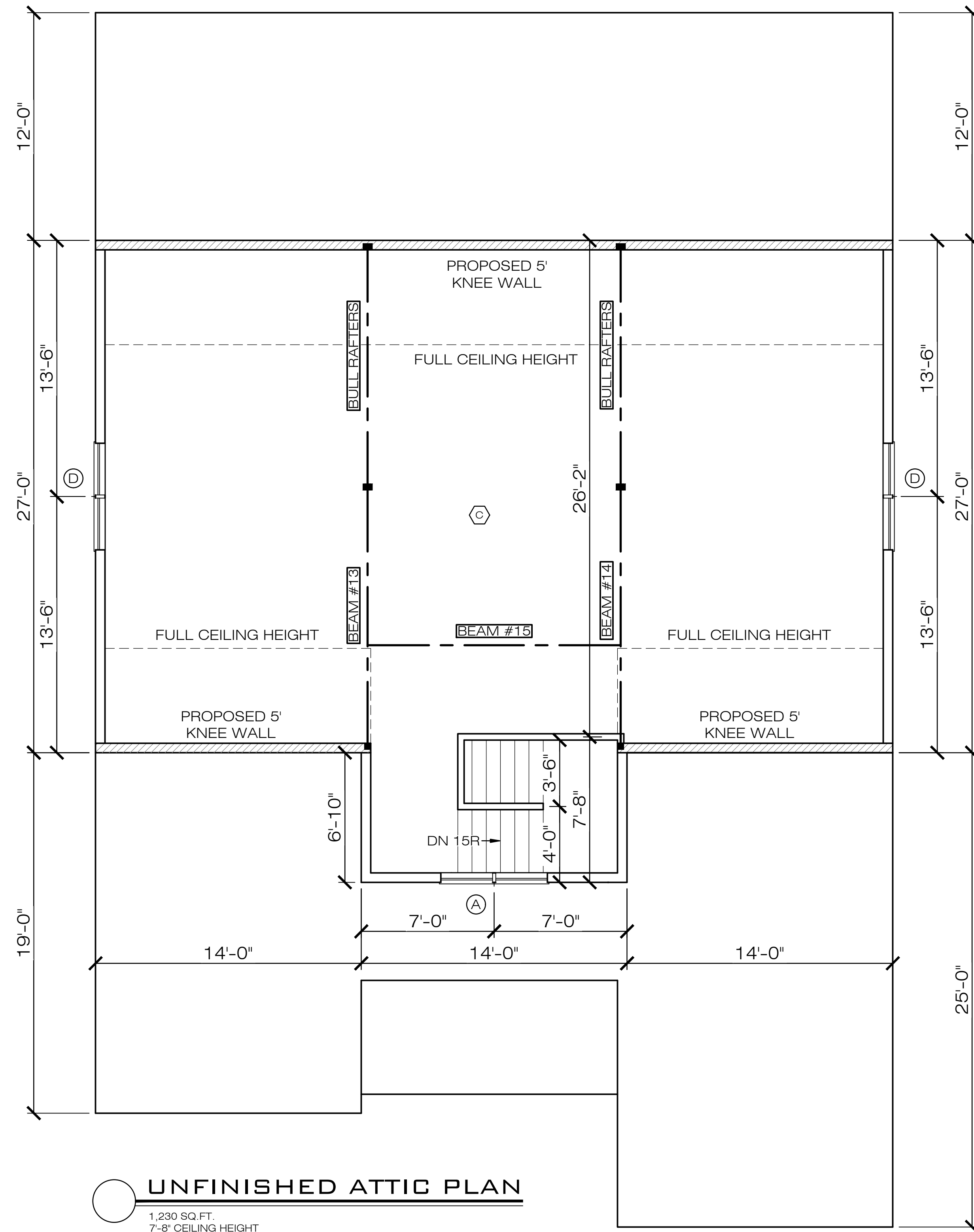
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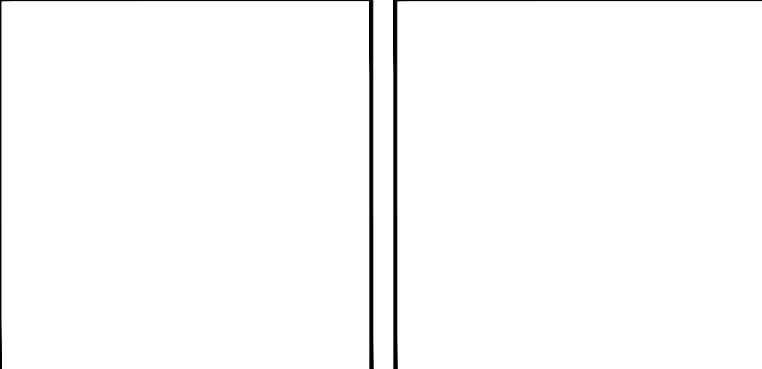
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**VIDALAS RESIDENCE**  
 75A HIGHLAND ST.  
 HYDE PARK, MA  
 MICHAEL STALLINGS

**UNFINISHED ATTIC PLAN**  
 IN-LAW PLAN

Δ	Date	Revisions

<b>FINALS</b>	
Scale:	3/16" = 1'-0"
Date:	2020-07-08
Drawn By:	C.GREEN
Checked By:	C.MITCHELL
Job Number:	19061

Drawing:  
A3

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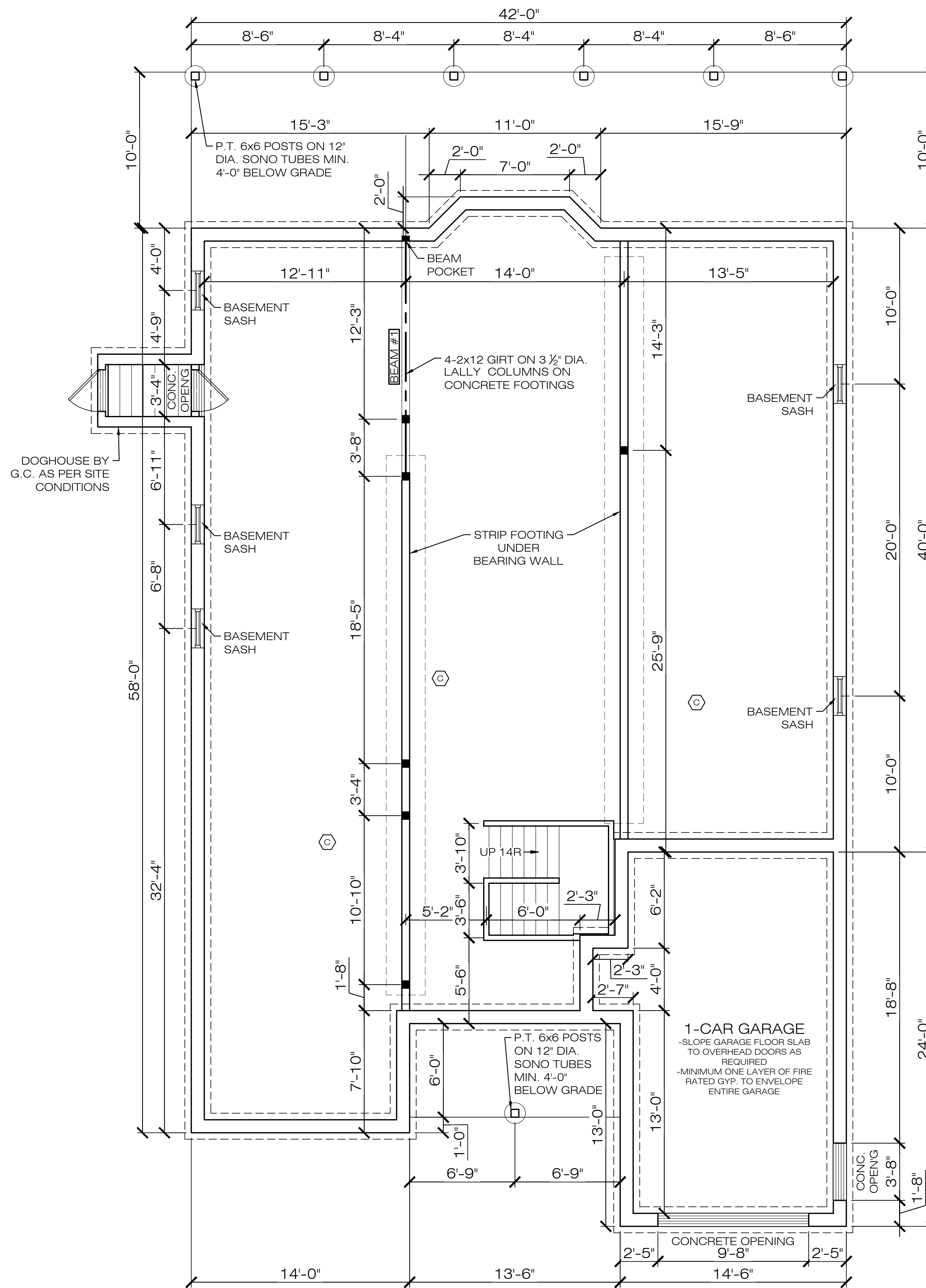
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 MICHAEL STALLINGS

**FOUNDATION PLAN**

Date	Revisions

**FINALS**

Scale:	3/16" = 1'-0"
Date:	2020-07-08
Drawn By:	C.GREEN
Checked By:	C.MITCHELL
Job Number:	19061

Drawing: **A4**

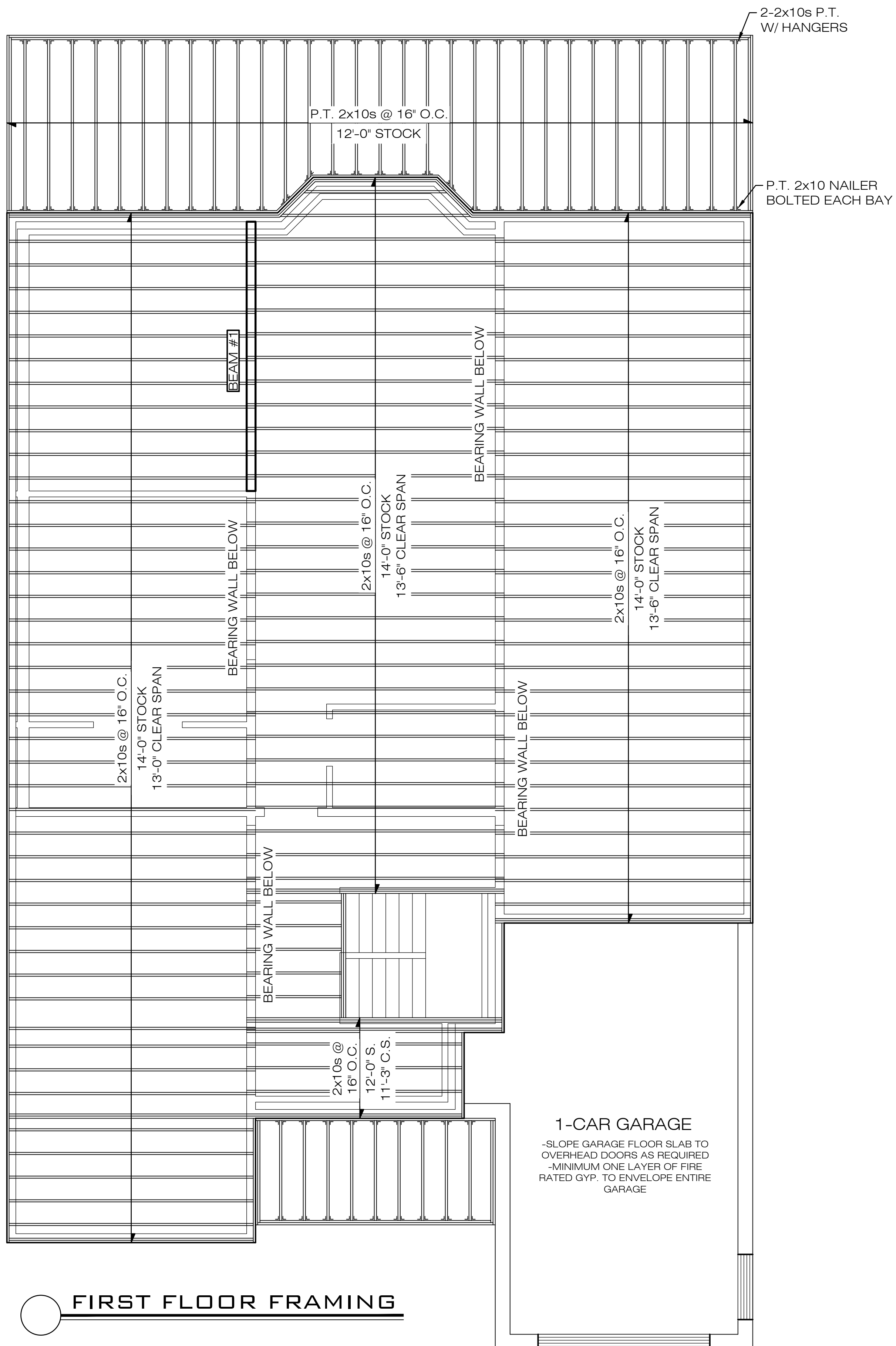
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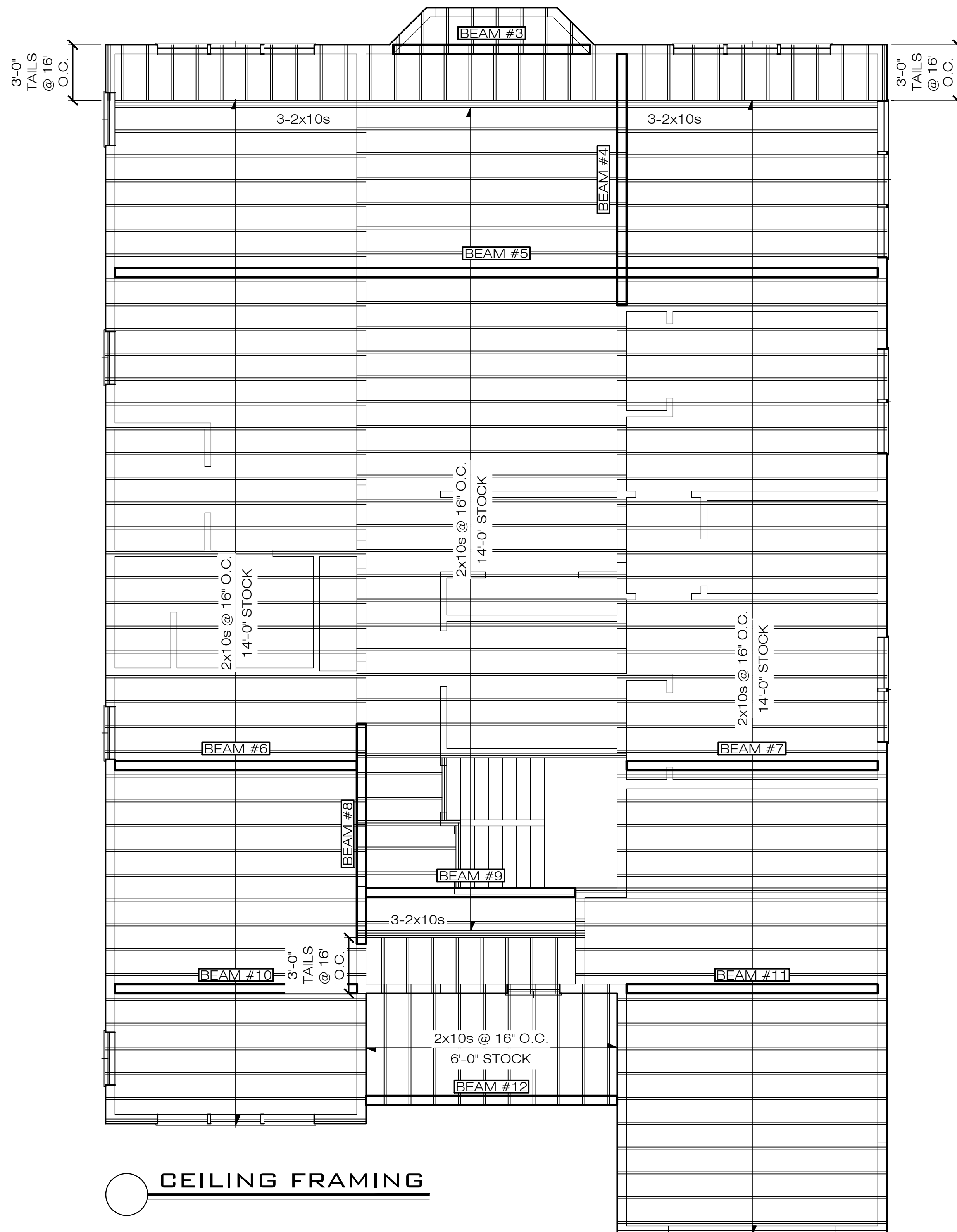
- CEILING FRAMING NOTES**
- SEE FLOOR PLANS FOR DIMENSIONS
  - 20 LBS./SQ. FT. LIVE LOAD
  - 10 LBS./SQ. FT. DEAD LOAD
  - SPRUCE-PINE-FIR #2 LUMBER OR BETTER
  - SEE PAGE T1 FOR ATTIC ACCESS NOTES

- FLOOR FRAMING NOTES**
- 2X10 FLOOR FRAMING SYSTEM
  - 2X10 RIM JOIST TO SURROUND PERIMETER OF FRAMING SYSTEM.
  - SOLID BLOCKING ABOVE ALL BEARING PARTITIONS AND GIRTS.
  - CONTINUOUS BRIDGING AT ALL MIDSPANS.
  - DOUBLE JOISTS AND HANGERS AS REQUIRED.
  - SEE FLOOR PLANS AND FOUNDATION PLAN FOR ALL DIMENSIONS.
  - MINIMUM 1" AIRSPACE BETWEEN ALL MASONRY AND FRAMING.

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FIRST FLOOR FRAMING



CEILING FRAMING

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FIRST FLOOR  
 FRAMING  
 CEILING FRAMING

Date	Revisions

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Scale:	3/16" = 1'-0"
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**GENERAL NOTES**

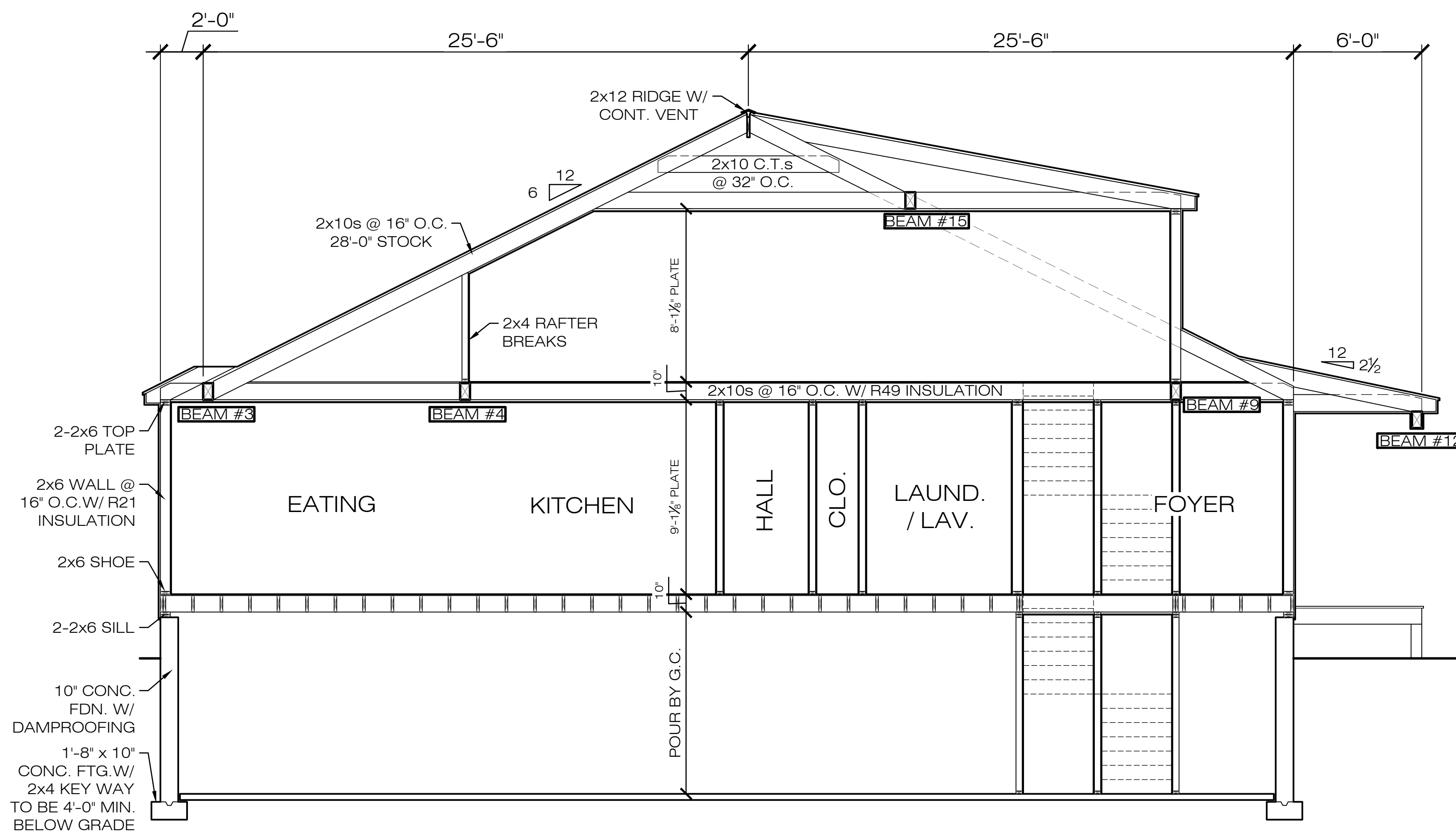
- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVICE OF CME ARCHITECTS, INC.
- CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- G.C. TO VERIFY ALL EXISTING SITE CONDITIONS
- ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS, MINIMUM 2" NOMINAL LUMBER REQUIRED.

**ROOF FRAMING NOTES**

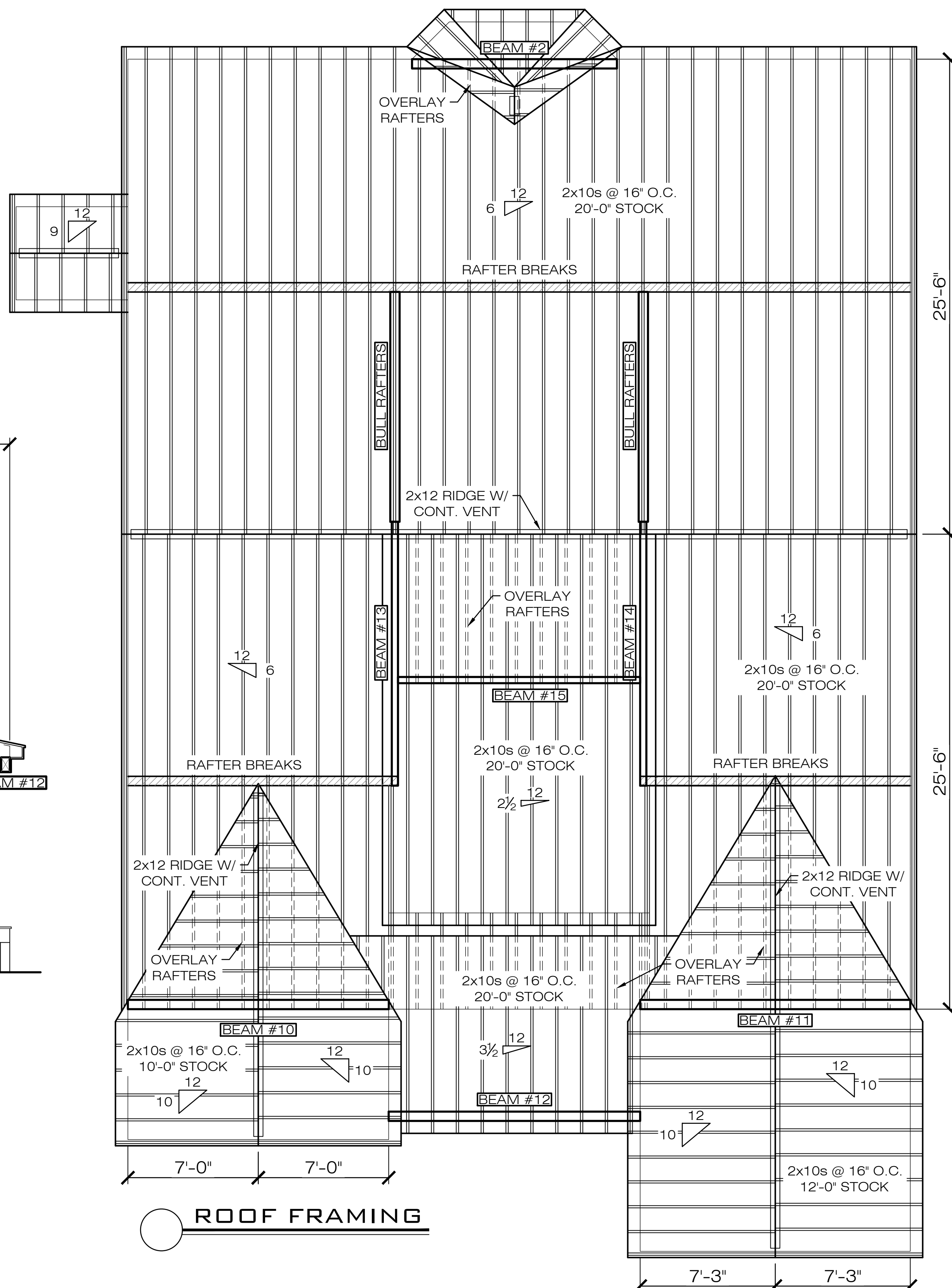
- RAFTER SIZES AND ROOF PITCH AS NOTED
- ROOFING SHINGLES SPECIFIED BY G.C.
- ROOF VENTS AS SHOWN
- RIDGE VENTS AS SHOWN (SET RIDGE DOWN 2" FOR PROPER AIR FLOW)
- WATER & ICE BARRIER TO COVER ALL HIPS, VALLEYS AND ONE COURSE UP FROM EAVE
- EAVE AND GABLE END OVERHANGS BY GENERAL CONTRACTOR
- MINIMUM 35 LB SNOW LOAD SUPPORT
- SEE TYPICAL EAVE DETAILS FOR ROOF TIE DOWN REQUIREMENTS

NOTE: ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

NOTE: ENGINEERING FRAMING MEMBERS SIZED BY NATIONAL LUMBER. SEE CALCULATIONS PROVIDED BY SAME.



**1 BUILDING SECTION**



**ROOF FRAMING**

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:**
- 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
  - 780 CMR 51.00 - MASS. AMENDMENTS TO THE INTERNATIONAL RESIDENTIAL CODE.
  - WFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, 2001 EDITION.
  - WFCM: WOOD FRAME CONSTRUCTION MANUAL: GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS FOR ONE AND TWO FAMILY DWELLINGS, 100
  - PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE)

**VIDALAS RESIDENCE**  
 75A HIGHLAND ST.  
 HYDE PARK, MA  
 MICHAEL STALLINGS

**ROOF FRAMING BUILDING SECTION**

Date	Revisions

**FINALS**

Scale:	3/16" = 1'-0"
Date:	2020-07-08
Drawn By:	C.GREEN
Checked By:	C.MITCHELL
Job Number:	19061

Drawing: **A6**

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