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New Residence
West Milton Place
Hyde Park, MA

Permit Set
September, 14 2017

New Residence

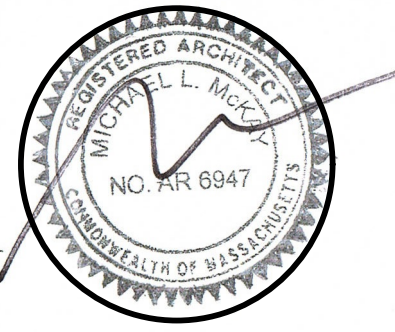
West Milton Place
Hyde Park, MA

GENERAL NOTES		CODE	
	<div>1. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECTS OF ALL DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.</div> <div>2. THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS THAT MAY APPLY TO THE CONSTRUCTION OF THE PROJECT.</div> <div>3. ALL WORK OF THIS PROJECT SHALL COMPLY WITH ACCEPTED BUILDING PRACTICES AND ALL CODE HAVING JURISDICTION OVER THIS PROJECT.</div> <div>4. REFER TO LIMITS OF WORK DRAWINGS FOR OVERALL DESCRIPTION OF WORK AREAS.</div> <div>5. THE GENERAL CONTRACTOR SHALL LEAVE THE PROJECT SITE AND ALL SURROUNDING AREAS IN FINAL CLEAR CONDITION INCLUDING THE REMOVAL OF ALL DEBRIS RESULTING FROM CONSTRUCTION.</div> <div>6. THE CONTRACTOR SHALL AT ALL TIMES DURING THE PROGRESS OF THE WORK REMOVE ALL CONSTRUCTION DEBRIS AND MAINTAIN A DUST FREE ENVIRONMENT FOR ALL ADJACENT AREAS.</div> <div>7. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND VERIFY THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED.</div> <div>8. THE CONTRACTOR SHALL UTILIZE THE AREAS WITHIN THE SCOPE OF WORK FOR STORAGE OF MATERIALS AND TOOLS.</div> <div>9. ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER ALL OTHERS. DO NOT SCALE DRAWINGS. IF THERE IS A QUESTION OR CONFLICT IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.</div>	<div>10. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. THE CONTRACT DRAWINGS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK.</div> <div>11. DIMENSIONS ARE TO CENTER LINES, EXISTING BUILDING GRID LINES OR TO FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED.</div> <div>12. ALL GYPSUM WALL BOARD CONSTRUCTION SHALL CONFORM TO RECOMMENDATIONS, PRACTICES, STANDARDS AND INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY IN THE GYPSUM CONSTRUCTION HANDBOOK.</div> <div>13. ALL FINISHED WORK SHALL BE FREE OF DEFECTS. THE OWNER RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORKMANSHIP WHICH ARE NOT CONSIDERED TO BE AT THE HIGHEST STANDARDS OF THE VARIOUS TRADES INVOLVED.</div> <div>14. NO CHANGES OR SUBSTITUTIONS ARE ALLOWED UNLESS APPROVED BY THE OWNER.</div> <div>15. ALL DATA OUTLETS MUST BE ON A DEDICATED, ISOLATED CIRCUIT.</div> <div>16. THE MECHANICAL PORTION OF THIS PROJECT ISSUE AS A DESIGN BUILD PACKAGE. THE GENERAL CONTRACT IS TO SUBMIT TO THE ARCHITECT FOR APPROVAL A SET OF STAMPED MECHANICAL DRAWINGS OUTLINING THE PROPOSED SLOPE OF WORK.</div>	<div>GOVERNMENT BUILDING CODE</div> <div>THE MASSACHUSETTS BUILDING CODE, 8TH EDITION</div>
	GRAPHIC SYMBOLS	MATERIAL SYMBOLS	ABBREVIATIONS
<div>T-1.1 Title Sheet</div> <div>T-1.2 Zoning Compliance Sheet</div> <div>A-1.1 Basement Plan</div> <div>A-1.2 First Floor Plan</div> <div>A-1.3 Second Floor Plan</div> <div>A-1.4 Attic Floor and Roof Plan</div> <div>A-2.1 Front and Left Side Elevations</div> <div>A-2.2 Rear and Right Side Elevations</div> <div>A-3.1 Finish, Door & Window Schedules & Specifications</div> <div>A-3.2 Typical Wall Section</div> <div>S-1.1 Foundation Plan</div> <div>S-1.2 First and Second Floor Framing Plans</div> <div>S-1.3 Attic Floor and Roof Framing Plans</div> <div>□</div>	<div><div><div>3</div><div>A-3.1</div></div><div>BUILDING CROSS SECTION</div><div>NEW CONSTRUCTION</div></div> <div><div>5</div><div>DOOR NUMBER</div><div>EXISTING CONSTRUCTION</div></div> <div><div>102</div><div>ROOM NUMBER</div></div> <div><div>B</div><div>WINDOW NUMBER</div></div> <div><div><div><div></div></div></div><div>ELEVATION DESIGNATION</div></div> <div><div><div>5</div><div>A-3.3</div></div><div>SECTION REFERENCE</div></div> <div><div><div></div></div><div>NEW DOOR TO BE INSTALLED</div></div> <div><div><div></div></div><div>EXISTING DOOR TO REMAIN</div></div> <div><div><div></div></div><div>PARTITION TYPE</div></div>	<div><div><div></div></div><div>BLOCKING</div></div> <div><div><div></div></div><div>CONCRETE</div></div> <div><div><div></div></div><div>EARTH</div></div> <div><div><div></div></div><div>BATT INSULATION</div></div> <div><div><div></div></div><div>GRAVEL</div></div> <div><div><div></div></div><div>WOOD</div></div> <div><div><div></div></div><div>DRYWALL</div></div> <div><div><div></div></div><div>TILE</div></div>	<div><div>@ AFF AT</div><div>AT ABOVE FINISH FLOOR</div></div> <div><div>AFF ATTN</div><div>ATTENUATING</div></div> <div><div>BLDG</div><div>BUILDING</div></div> <div><div>CH</div><div>CEILING HEIGHT</div></div> <div><div>CL</div><div>CENTER LINE</div></div> <div><div>CLR</div><div>CLEAR</div></div> <div><div>COL</div><div>COLUMN</div></div> <div><div>CONC</div><div>CONCRETE</div></div> <div><div>CONT</div><div>CONTINUOUS</div></div> <div><div>CPT</div><div>CARPET</div></div> <div><div>CT</div><div>CERAMIC TILE</div></div> <div><div>DIM</div><div>DIMENSION</div></div> <div><div>DWG(S)</div><div>DRAWING(S)</div></div> <div><div>EA</div><div>EACH</div></div> <div><div>EIFS</div><div>EXT INSUL. FINISH SYSTEM</div></div> <div><div>ELEC</div><div>ELECTRICAL</div></div> <div><div>ELEV</div><div>ELEVATION</div></div> <div><div>EQ</div><div>EQUAL</div></div> <div><div>EWC</div><div>ELECTRICAL WATER COOLER</div></div> <div><div>EXT</div><div>EXTERIOR</div></div> <div><div>FC</div><div>FIRE CODE / FIRE CORE</div></div> <div><div>FD</div><div>FLOOR DRAIN</div></div> <div><div>FEC</div><div>FIRE EXTINGUISHER CABINET</div></div> <div><div>FF</div><div>FINISHED FLOOR</div></div> <div><div>FFE</div><div>FINISHED FLOOR ELEVATION</div></div> <div><div>FIN</div><div>FINISH</div></div> <div><div>FFL</div><div>FLUORESCENT LIGHTING</div></div> <div><div>FOF</div><div>FACE OF FINISH</div></div> <div><div>FOC</div><div>FACE OF CONCRETE</div></div> <div><div>FOS</div><div>FACE OF STUD</div></div> <div><div>FRT</div><div>FIRE RETARDANT TREATED</div></div> <div><div>GC</div><div>GENERAL CONTRACTOR</div></div> <div><div>GL</div><div>GLASS OR GLAZING</div></div> <div><div>GWB</div><div>GYPSUM WALL BOARD</div></div> <div><div>HC</div><div>HOLLOW CORE</div></div> <div><div>HDWR</div><div>HARDWARE</div></div> <div><div>HM</div><div>HOLLOW METAL</div></div> <div><div>HOR</div><div>HORIZONTAL</div></div> <div><div>HT</div><div>HEIGHT</div></div> <div><div>HVAC</div><div>HEATING, VENT, A/C</div></div> <div><div>HWH</div><div>HOT WATER HEATER</div></div> <div><div>INSUL</div><div>INSULATION</div></div> <div><div>INT</div><div>INTERIOR</div></div> <div><div>L</div><div>LENGTH</div></div> <div><div>LAV</div><div>LAVATORY</div></div> <div><div>LH</div><div>LEFT HANDED</div></div> <div><div>MAX</div><div>MAXIMUM</div></div> <div><div>MECH</div><div>MECHANICAL</div></div> <div><div>MFR</div><div>MANUFACTURER</div></div> <div><div>MD</div><div>MEDIUM DENSITY</div></div> <div><div>MIN</div><div>MINIMUM</div></div> <div><div>MO</div><div>MASONRY OPENING</div></div> <div><div>MTL</div><div>METAL</div></div> <div><div>NIC</div><div>NOT IN CONTRACT</div></div> <div><div>NL</div><div>NIGHT LIGHT</div></div> <div><div>NOM</div><div>NOMINAL</div></div> <div><div>NTS</div><div>NOT TO SCALE</div></div> <div><div>OC</div><div>ON CENTER</div></div> <div><div>OD</div><div>OUTSIDE DIAMETER</div></div> <div><div>OH</div><div>OPPOSITE HANDED</div></div> <div><div>P LAM</div><div>PLASTIC LAMINATE</div></div> <div><div>PLYWD</div><div>PLYWOOD</div></div> <div><div>PT</div><div>PRESSURE TREATED</div></div> <div><div>PR</div><div>PAIR</div></div> <div><div>PT</div><div>PAINTED</div></div> <div><div>QT</div><div>QUARRY TILE</div></div> <div><div>R</div><div>RISER</div></div> <div><div>RAD</div><div>RADIUS</div></div> <div><div>REQ</div><div>REQUIRED</div></div> <div><div>REF</div><div>REFERENCE</div></div> <div><div>REV</div><div>REVISION(S)</div></div> <div><div>RH</div><div>RIGHT HAND(ED)</div></div> <div><div>RO</div><div>ROUGH OPENING</div></div> <div><div>RTU</div><div>ROOF TOP UNIT</div></div> <div><div>SA</div><div>SOUND ATTENTION BATTS</div></div> <div><div>SD</div><div>SMOKE DETECTORS</div></div> <div><div>SIM</div><div>SIMILAR</div></div> <div><div>SPEC</div><div>SPECIFICATION</div></div> <div><div>SQ</div><div>SQUARE</div></div> <div><div>SQ FT</div><div>SQUARE FEET</div></div> <div><div>SS</div><div>STAINLESS STEEL</div></div> <div><div>STL</div><div>STEEL</div></div> <div><div>STN</div><div>STAIN</div></div> <div><div>SV</div><div>SHEET VINYL</div></div> <div><div>T</div><div>TREAD</div></div> <div><div>THK</div><div>THICKNESS</div></div> <div><div>TP</div><div>TOILET PAPER DISPENSER</div></div> <div><div>TYP</div><div>TYPICAL</div></div> <div><div>UNO</div><div>UNLESS NOTED OTHERWISE</div></div> <div><div>VCT</div><div>VINYL COMPOSITION TILE</div></div> <div><div>VIF</div><div>VERIFY IN FIELD</div></div> <div><div>VTR</div><div>VENT THROUGH ROOF</div></div> <div><div>W/ WC</div><div>WITH WATER CLOSET</div></div> <div><div>WD</div><div>WOOD</div></div> <div><div>X-REF</div><div>CROSS REFERENCE</div></div>

OWNER



35 Bryant Street
Dedham, MA 02026
ph.781.326.5400
www.mckayarchitects.net



REV #	DATE	ISSUANCE
1	4/13/17	First Draft
2	4/18/17	Second Draft
3	9/14/17	CDs

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Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Title Sheet

JOB NO

0086

DATE

9.14.17

DWG BY

MLM

CKD BY

SCALE

T-1.1

**West Milton Place
Hyde Park, MA**

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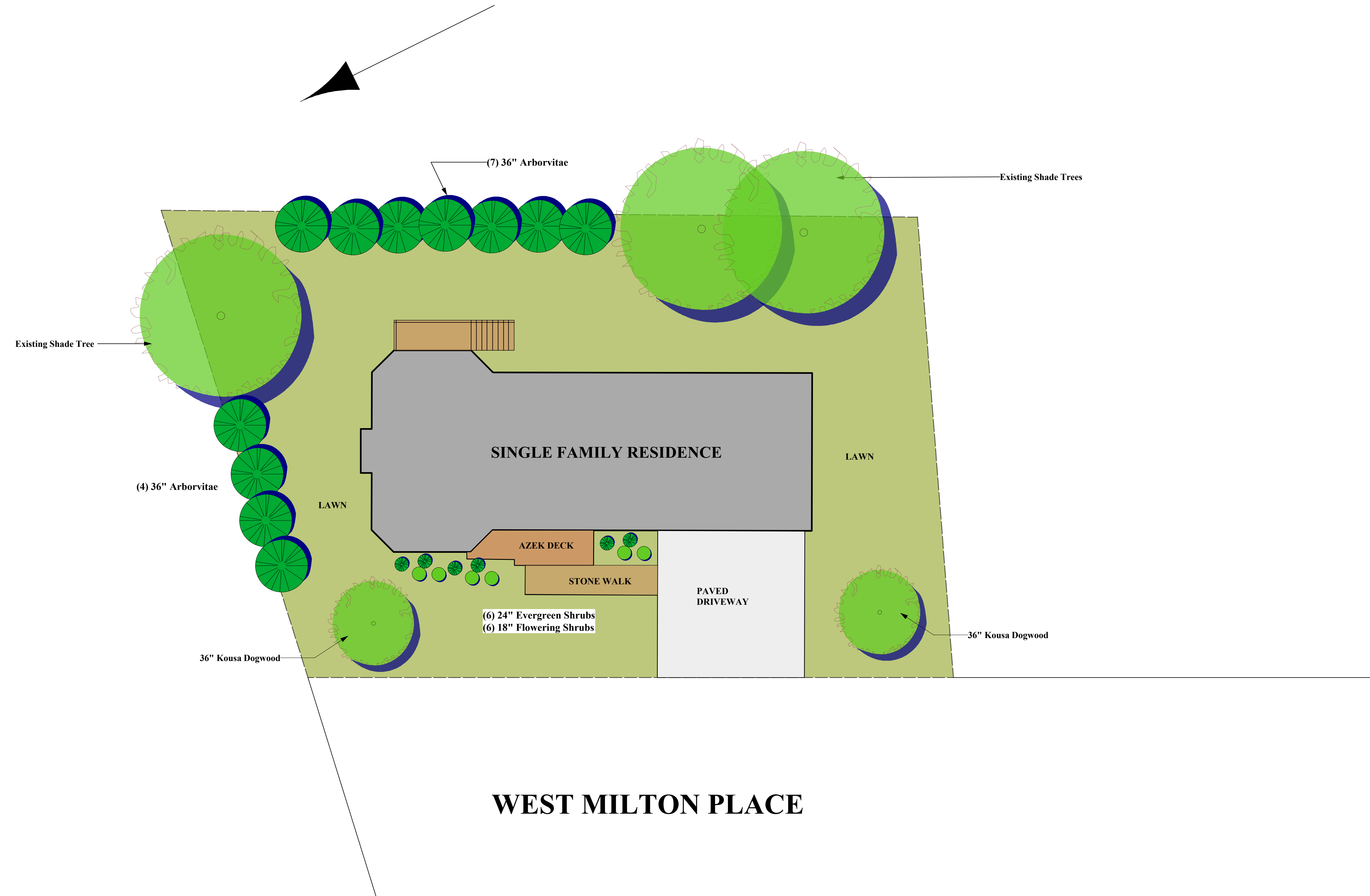
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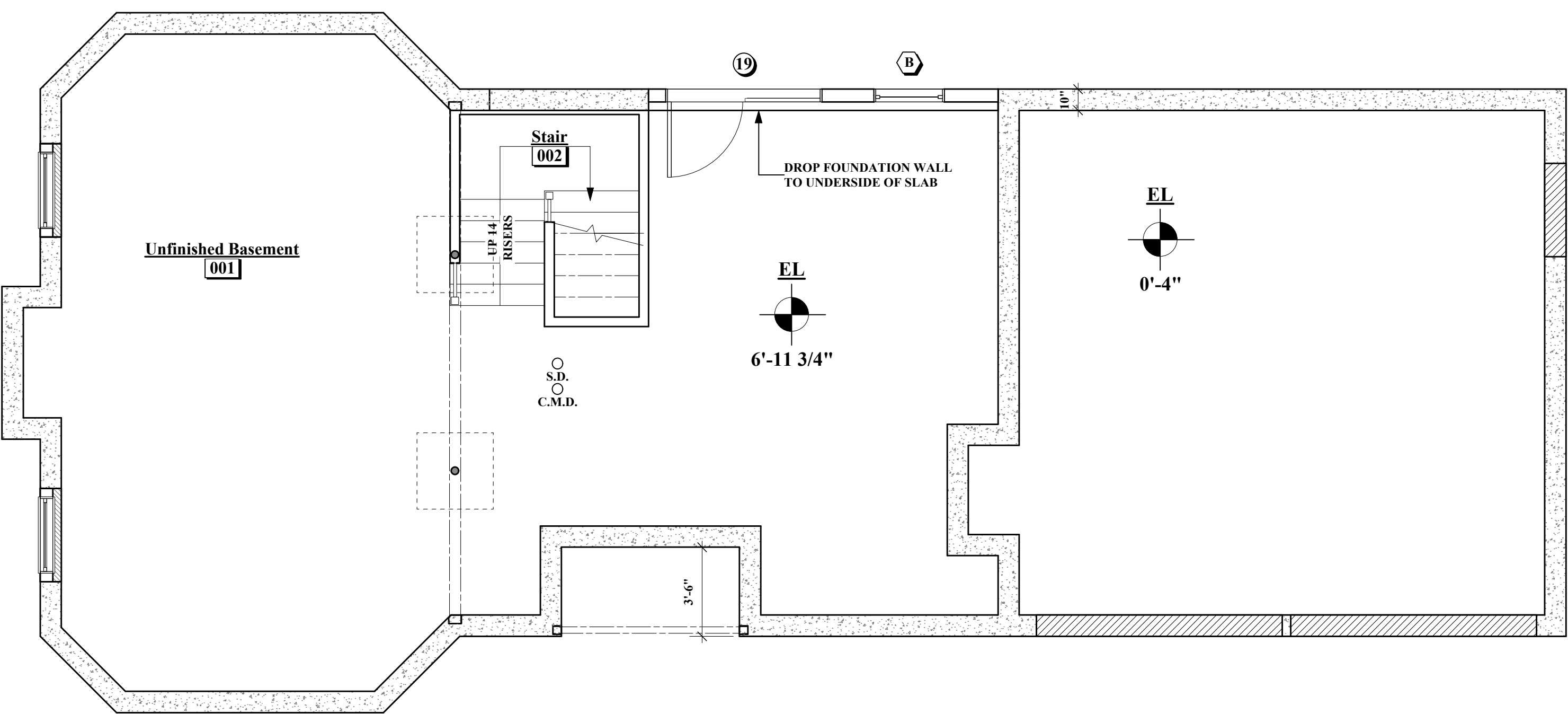
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Landscape Plan

JOB NO	L-1.1
DATE	
09.19.17	
DWG BY RJM	
CKD BY MLM	
SCALE	



1
A-1.1



1

A-1.1

Basement Floor Plan
Scale: 1/4" = 1'-0"

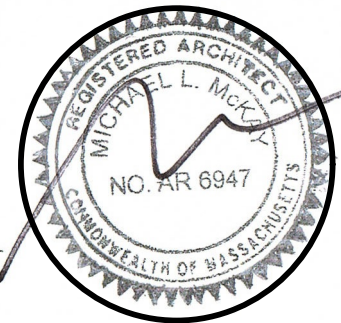
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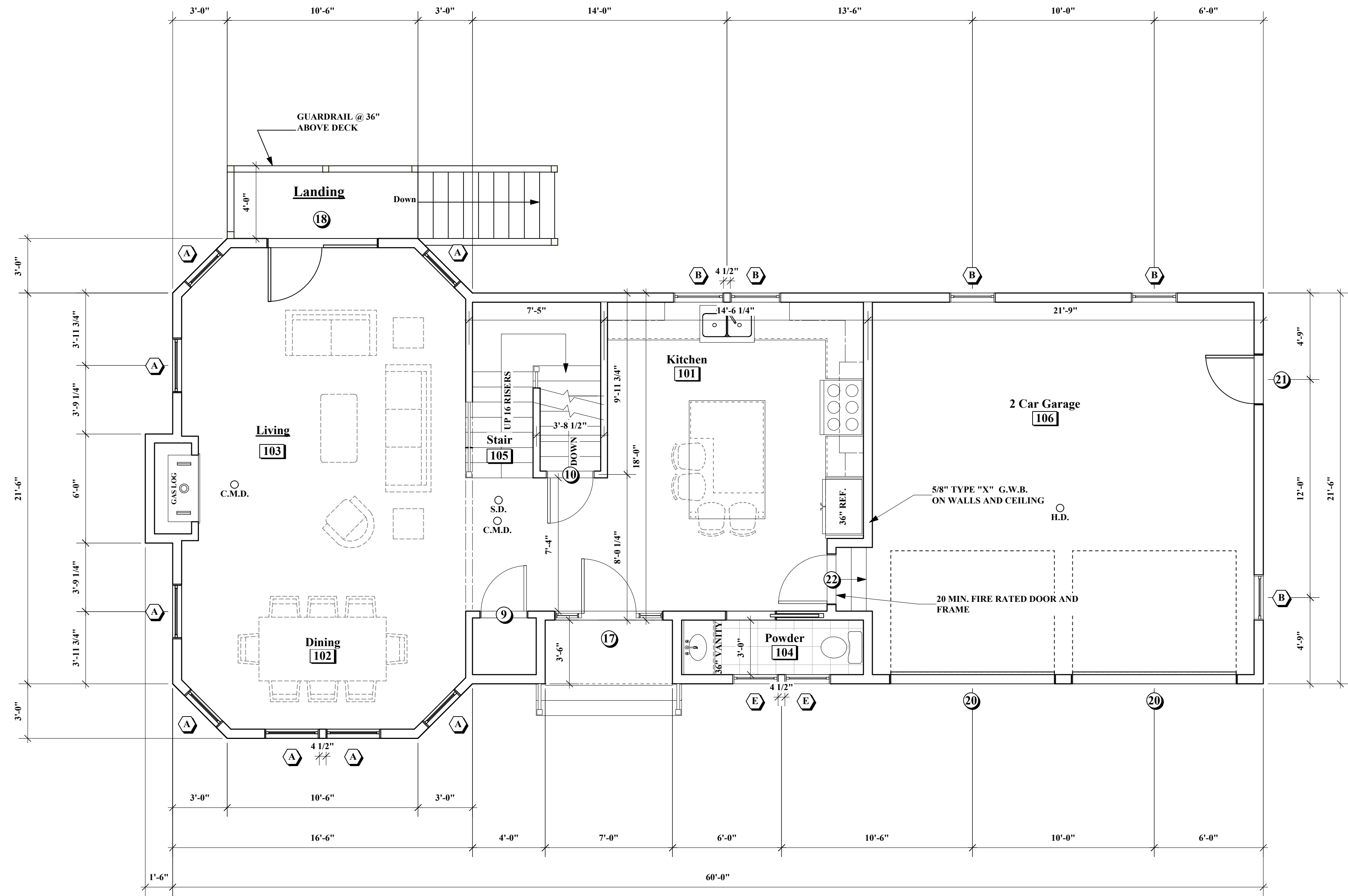
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Basement
Floor Plan

JOB NO	0086
DATE	9.14.17
DWG BY	MLM
CKD BY	MLM
SCALE	

A-1.1



1
A-1.2

First Floor Plan
Scale: 1/4" = 1'-0"

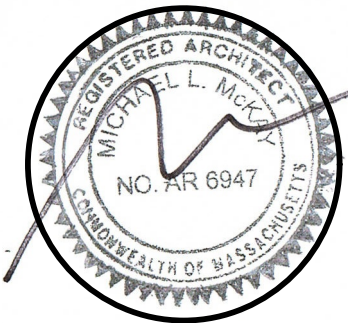
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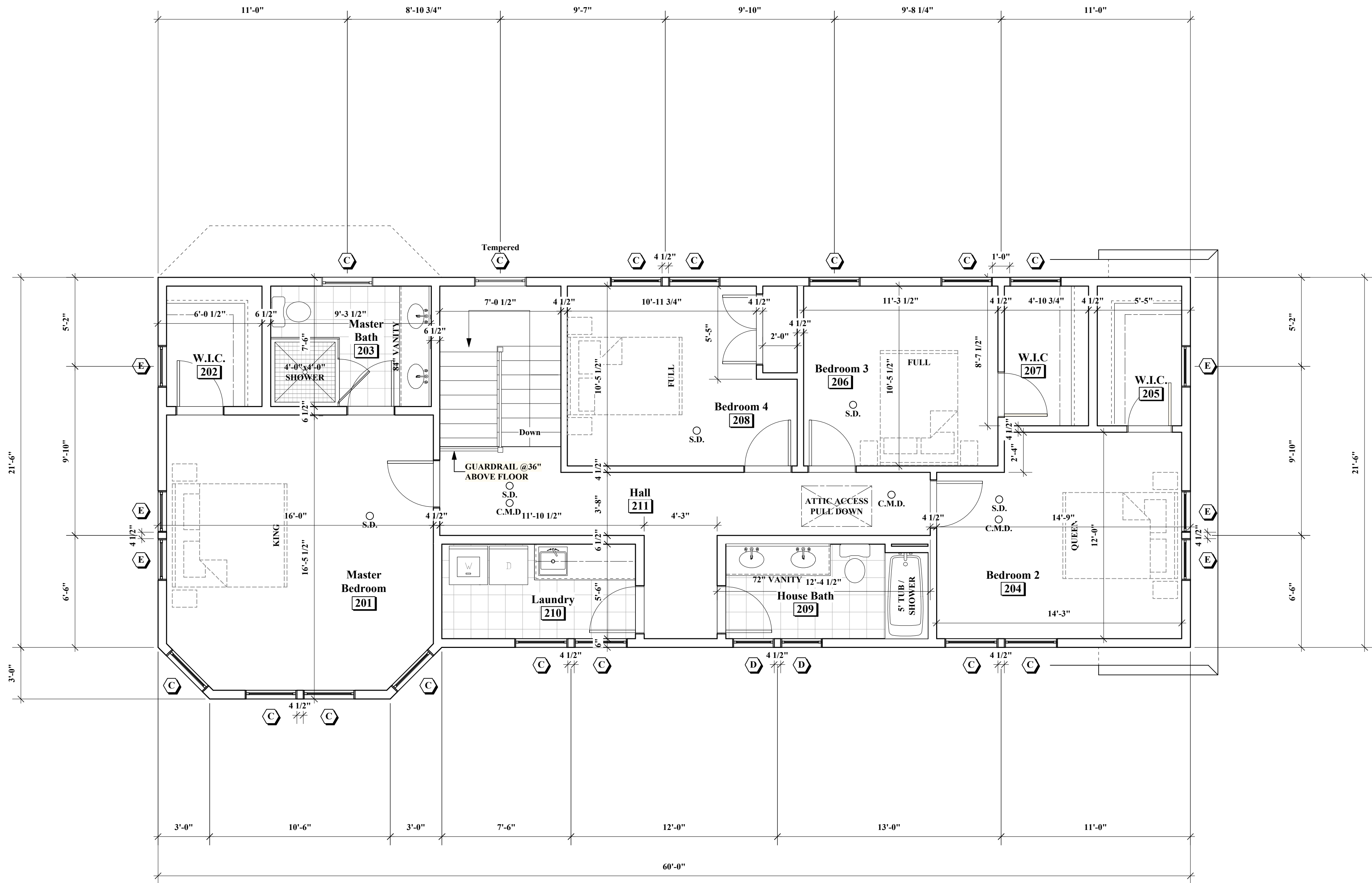
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First Floor Plan

JOB NO	0086
DATE	9.14.17
DWG BY	
CKD BY	MLM
SCALE	

A-1.2



1
A-1.3
Second Floor Plan
Scale: 1/4" = 1'-0"

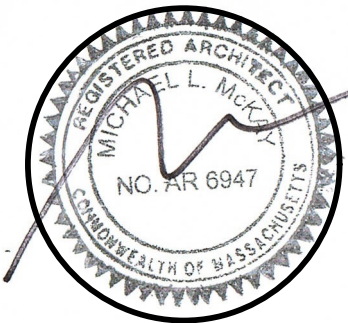
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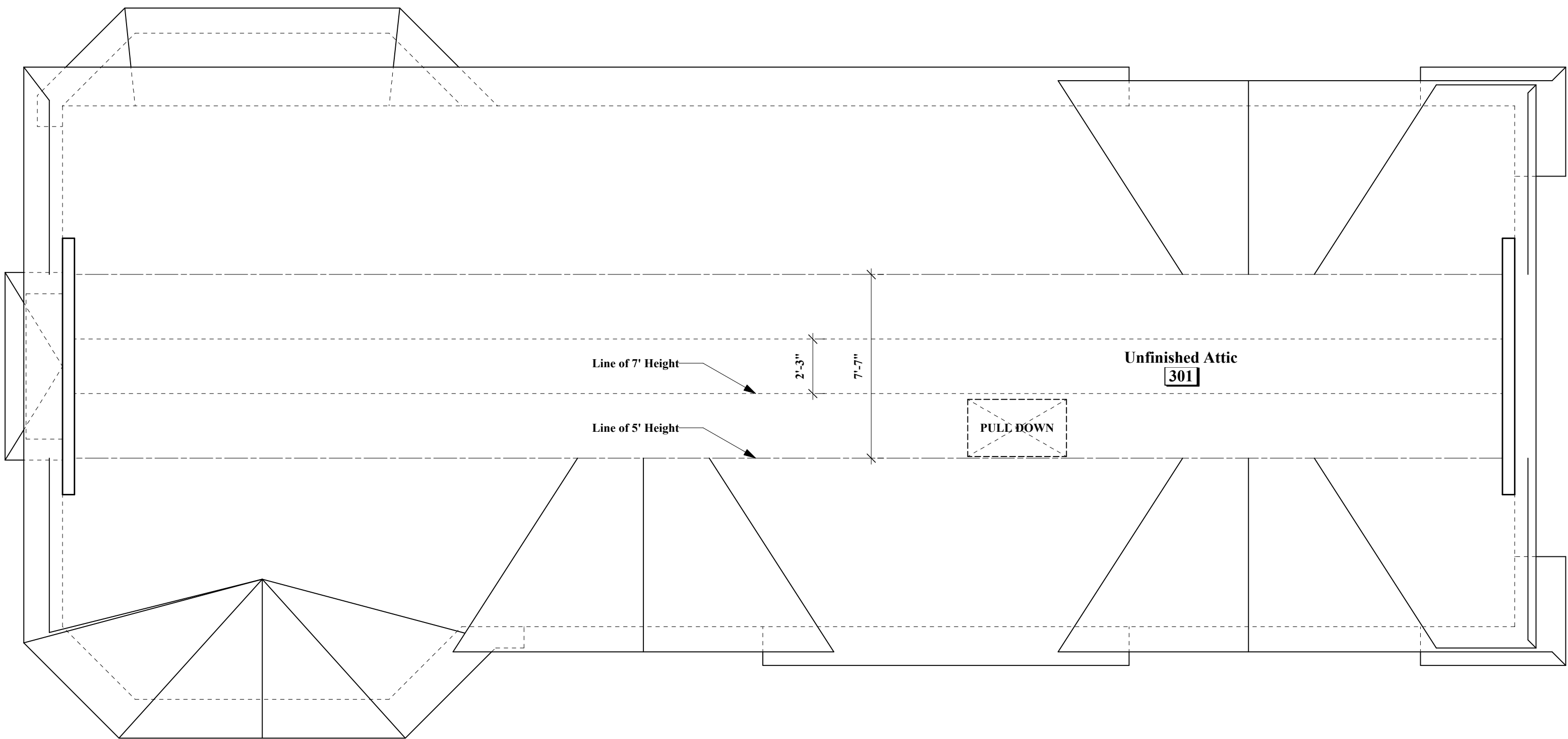
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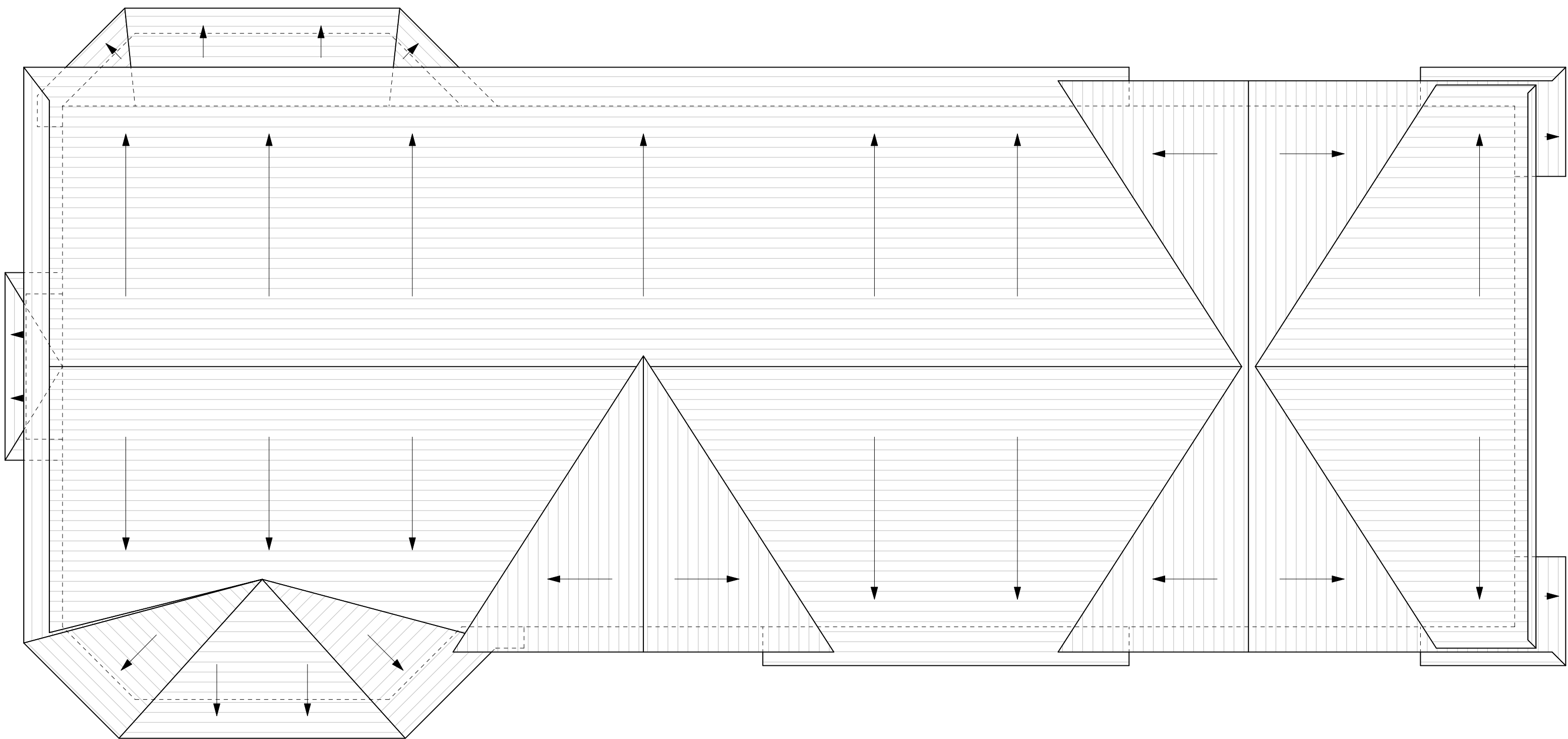
Second Floor Plan

JOB NO	0086
DATE	9.14.17
DWG BY	MLM
CKD BY	MLM
SCALE	

A-1.3



1
A-1.4 **Attic Floor Plan**
Scale: 1/4" = 1'-0"



2
A-1.4 **Roof Plan**
Scale: 1/4" = 1'-0"

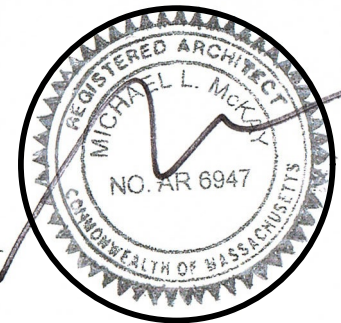
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Attic Floor and
Roof Plan

JOB NO	0086
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DWG BY	
CKD BY	MLM
SCALE	

A-1.4

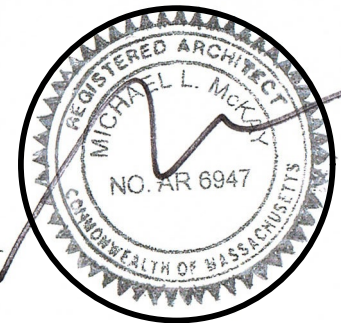
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Front and Right
Side Elevations

JOB NO	0086
DATE	9.14.17
DWG BY	MLM
CKD BY	MLM
SCALE	

A-2.1



1
A-2.1

Front Elevation
Scale: 1/4" = 1'-0"

2
A-2.1

Right Side Elevation
Scale: 1/4" = 1'-0"

New Residence

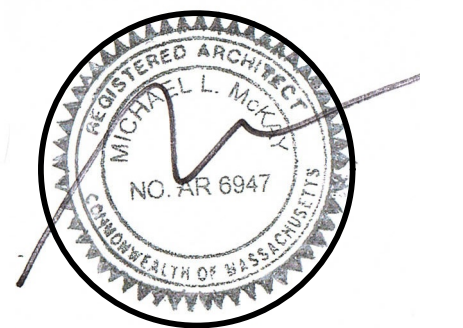
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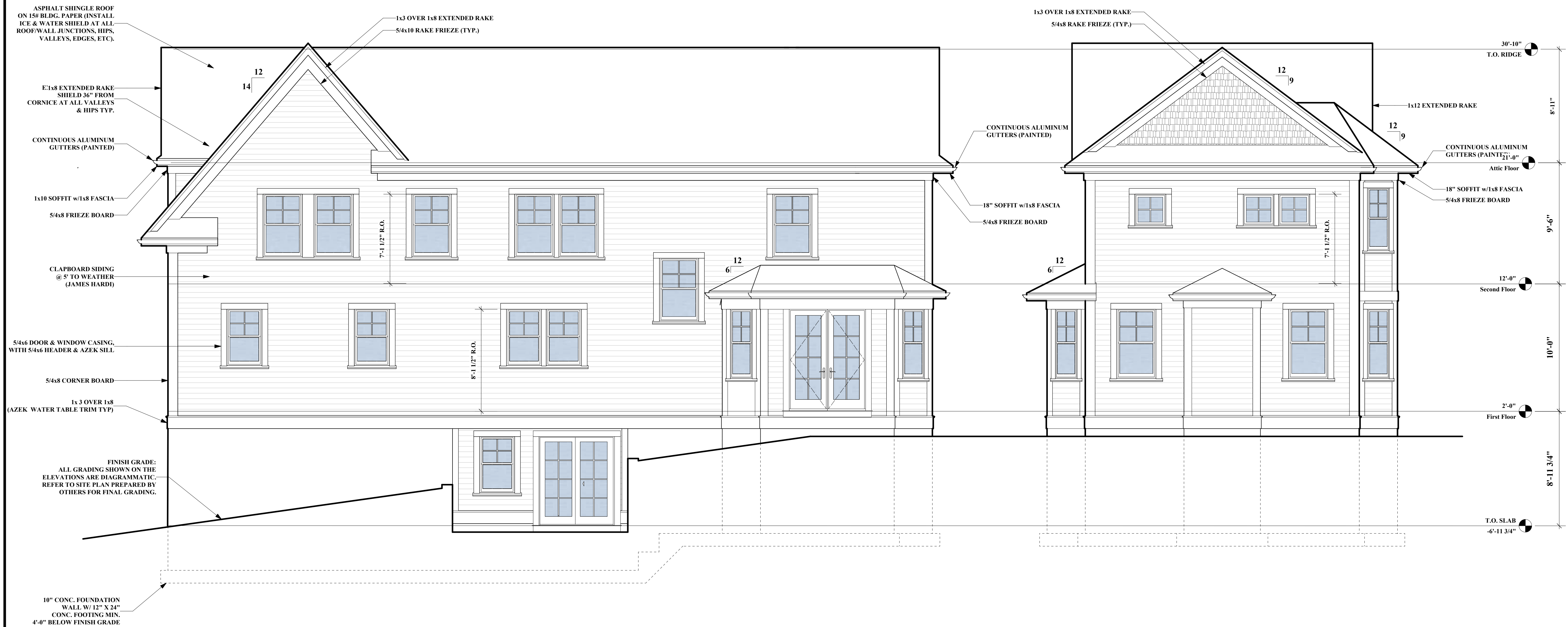
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Rear and Left Side Elevations

JOB NO	A-2.2
0086	
DATE	
9.14.17	
DWG BY	
CKD BY	MLM
SCALE	

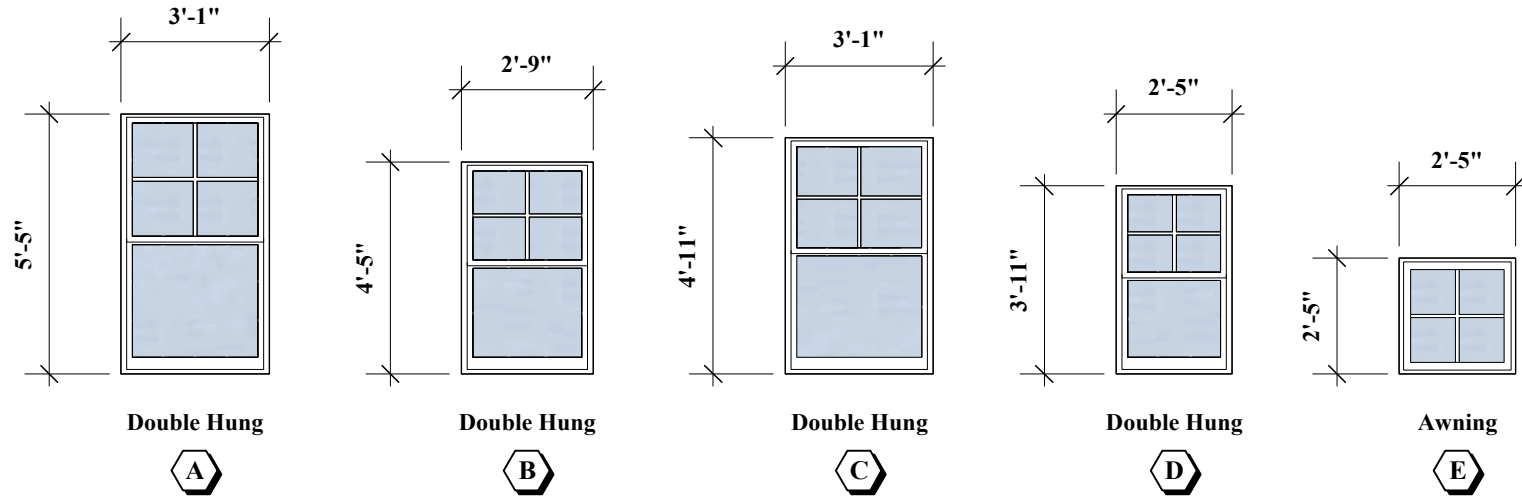


3
A-2.1

4
A-2.1

Left Side Elevation
Scale: 1/4" = 1'-0"

WINDOW SCHEDULE



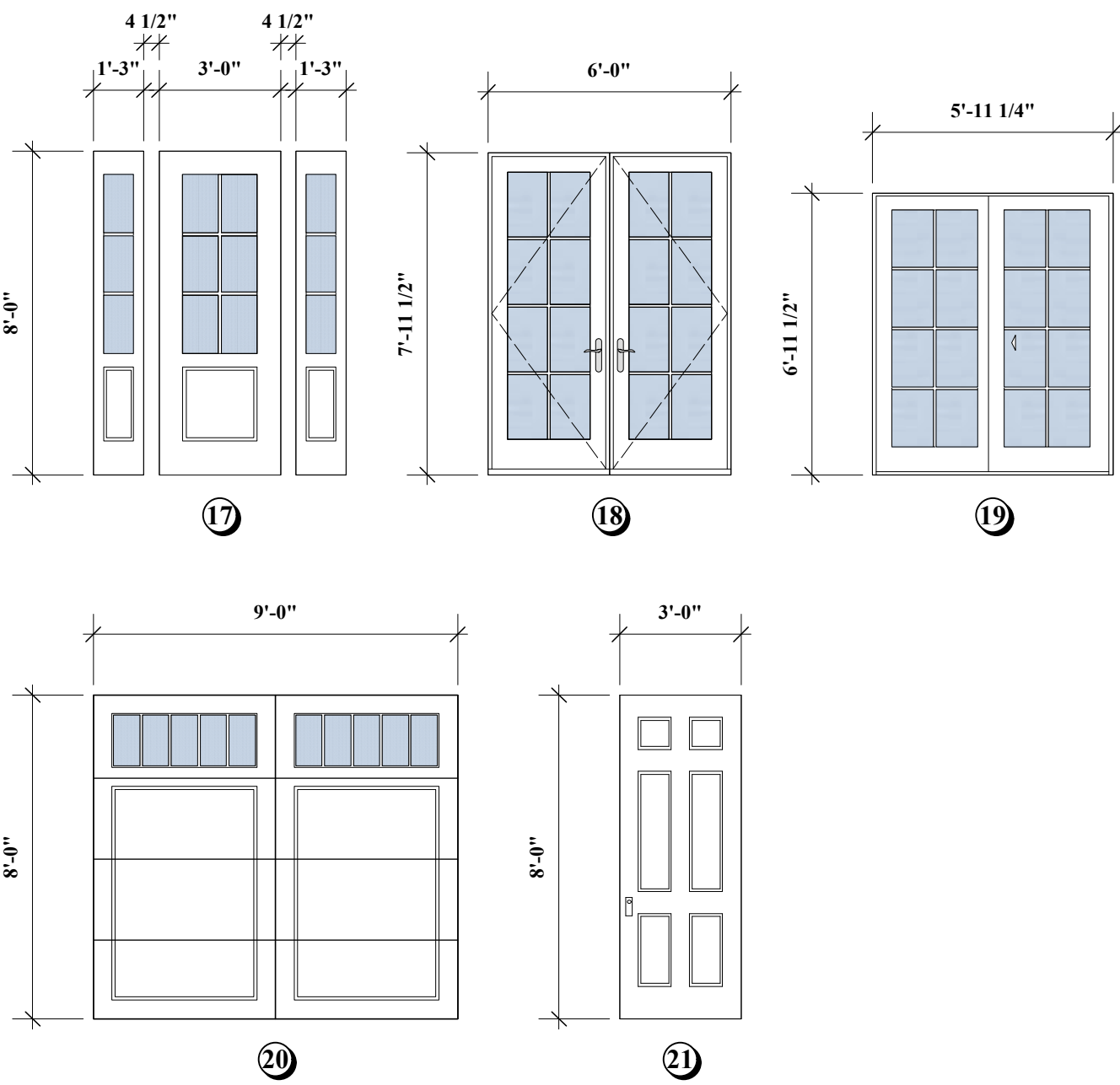
SHOP DRAWINGS OF WINDOWS ARE TO BE PROVIDED PRIOR TO ORDERING.

ALL WINDOWS AND PATIO DOORS ARE TO BE MANUFACTURED BY PELLA WINDOWS OR OWNER APPROVED EQUAL. PROVIDE SIMULATED DIVIDED LITE PATTERNS AS INDICATED. ALL UNITS ARE TO BE BLACK CLAD. UNITS ARE TO HAVE 6 1/8" JAMB THICKNESS & WHITE HARDWARE WITH FACTORY PROVIDED SCREENS. INTERIOR OF UNIT IS TO BE FACTORY PRIMED WHITE. PATIO DOORS ARE TO HAVE LOCKING HARDWARE PROVIDED WITH SCREEN DOOR UNITS. ALL GLAZING IS TO BE LOW-E INSULATED GLASS WITH U-VALUE OF .30 OR BETTER.

DOOR SCHEDULE

[illegible]

NOTE:
SHOP DRAWINGS OF DOORS ARE TO BE PROVIDED PRIOR TO ORDERING



FINISH SCHEDULE

[illegible]

MISCELLANEOUS

- | | |
|------|---|
| MS1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB. |
| MS2. | CONSULT THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR VERIFICATION OF LOCATIONS AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, WASHES, DRIPS, REVEALS, REGLETS, DEPRESSIONS, EQUIPMENT PADS AND OTHER PROJECT REQUIREMENTS. |
| MS3. | OPENINGS IN SLABS AND WALLS LESS THAN 12 INCHES SQUARE ARE NOT SHOWN. PENETRATION OF STRUCTURE BY MECHANICAL, ELECTRICAL AND PLUMBING SERVICES ARE GENERALLY NOT SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THESE OPENINGS WITH THE SHOP DRAWINGS. |
| MS4. | UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR SITUATIONS. |
| MS5. | THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL ELEVATIONS ON PLANS AND SECTIONS WITH ARCHITECTURAL DRAWINGS. |
| MS6. | STRUCTURAL WORK SHALL CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE, 8TH EDITION. |

DESIGN LOADS

LIVE LOADS	
ROOMS	40 PSF
CORRIDORS	40 PSF
STAIRS	40 PSF
SNOW (MIN DESIGN LD)	40 PSF
SNOW (AT DRIFTING)	AS REQUIRED
WIND, SEISMIC	IN ACCORDANCE WITH

DEFLECTION CRITERIA

FLOOR DEAD LOAD	L/480
ROOF LIVE LOAD	L/360
WALL WIND LOAD	L/600

CONVENTIONAL WOOD FRAMING

- CW1. ALL SAWN LUMBER FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR WITH THE FOLLOWING MINIMUM GRADES:
- A. JOISTS, RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS AND LINTELS; NO. 1 GRADE.
 - B. SILL AND PLATES; STUD GRADE.
 - C. SOLID WOOD POSTS; NO. 1 GRADE.
 - D. BRIDGING, BLOCKING AND NAILERS; STUD GRADE.
- CW2. ALL "MICRO LAM" (ML) MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
- A. E = 2,000,000 PSI
 - B. Fb = 2800 PSI
 - C. Ft = 1850 PSI
 - D. Fc (perpendicular) = 500 PSI
 - E. Fc (parallel) = 2700 PSI
 - F. Fv = 285 PSI

- CW3. UNLESS OTHERWISE NOTED, ALL NAILING AND FASTENING SHALL BE IN ACCORDANCE WITH SECTION 2305.2 FASTENING SCHEDULE, MASSACHUSETTS BUILDING CODE.

- CW4. WOOD SILLS BENEATH ALL INTERIOR AND EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER OR MOISTURE SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE "AMERICAN WOOD PRESERVERS ASSOCIATION, STANDARD C1".

- CW5. ALL STUD WALLS, BEARING AND NON-BEARING, SHALL HAVE ONE ROW OF CONTINUOUS 2X SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT. BLOCKING SIZE TO MATCH STUD SIZE.

- CW6. FRAMING MEMBERS SHALL NOT BE NOTCHED, CUT OR ALTERED IN THE FIELD WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

- CW7. ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE "SIMPSON STRONG-TIE" SPECIFICATION.

- CWS. ALL ROOF SHEATHING SHALL BE 5/8 INCH APPLIED PLYWOOD SHEATHING 32/16.
USE EXPOSURE 1, STRUCTURAL 1, C-D PANELS. EXCEPT EXTERIOR PANELS FOR STARTER STRIPS ALONG EAVES AND WHEN LONG CONSTRUCTION DELAYS ARE ANTICIPATED. APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE RAFTERS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. INSTALL 2x6 BLOCKING ALONG PANEL ENDS BETWEEN EACH RAFTER OR TRUSS. ATTACH PANELS WITH GLUE AND 10d COMMON NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 10 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.

- CW9. ALL FLOOR SHEATHING SHALL BE 3/4" APA RATED "STUR-E-FLOOR", 24 OC, TONGUE AND GROOVE, USE EXPOSURE 1 PANELS, APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE JOISTS AS TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. ATTACH PANELS BY GLUE-NAILING AS FOLLOWS:
- A. SPREAD GLUE IN ACCORDANCE WITH RECOMMENDATIONS OF GLUE MANUFACTURER AND INDUSTRY PRACTICE.
 - B. STAGGER END JOINTS IN EACH SUCCEEDING ROW, LEAVING 18 INCH SPACE BETWEEN ALL END AND END JOINTS, INCLUDING TONGUE AND GROOVE EDGES.
 - C. COMPLETE ALL NAILING OF EACH PANEL BEFORE GLUE SETS WITH 6d RING OR SCREW SHANK NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES AT INTERMEDIATE SUPPORTS.

- CW10. ALL EXTERIOR WALL SHEATHING SHALL BE 1/2 INCH APA RATED, EXPOSURE I, STRUCTURAL I, PLYWOOD C-D PANELS. ATTACH PANELS WITH 8d COMMON NAILS @ 4" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS. ALL PLYWOOD WALL SHEATHING SHALL BE BLOCKED AT PANEL EDGES

BELOW TRUSS PLYWOOD SHEATHING SHALL BE 1/2 INCH APA RATED, EXPOSURE 1, TONGUE AND GROOVE PLYWOOD A-C PANELS. ATTACH PANELS WITH 10d COMMON NAILS @ 6" ON CENTER AT PANEL EDGES AND 10" OC AT INTERMEDIATE SUPPORTS, ALL BELOW TRUSS SHEATHING SHALL BE BLOCKED AT PANEL EDGES.

- CW12. "TJI/XX" REFERS TO A WOOD I - JOIST MANUFACTURED BY TRUSS JOIST MACMILLAN, BOISE, IDAHO OR APPROVED EQUAL. REFER TO MANUFACTURERS RECOMMENDATIONS REGARDING ATTACHMENTS, BRACING, WEB STIFFENERS, BLOCKING, ETC.

- CW13. "TIMBERSTRAND RIM BOARD" REFERS TO A MANUFACTURED WOOD EDGE BEAM, CONTINUOUS BLOCKING OR LINTEL AS MANUFACTURED BY TRUSS JOIST MACMILLAN, BOISE, IDAHO OR APPROVED EQUAL WITH THE FOLLOWING MINIMUM PROPERTIES.

- A. $E = 1,300,000 \text{ PSI}$.
- B. $F_b = 1,700 \text{ PSI}$.
- C. $F_v = 400 \text{ PSI}$.
- D. $F_c = 680 \text{ PSI}$.
- E. VERTICAL LOAD TRANSFER CAPACITY = 3450 PLF (4" THICK).

New Residence

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Hyde Park, MA**

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architects
mckay

**35 Bryant Street
Dedham, MA 02026
ph.781.326.5400**

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Schedules

JOB NO	0086
DATE	9.14.17
DWG BY	
CKD BY	MLM
SCALE	

A-3.1

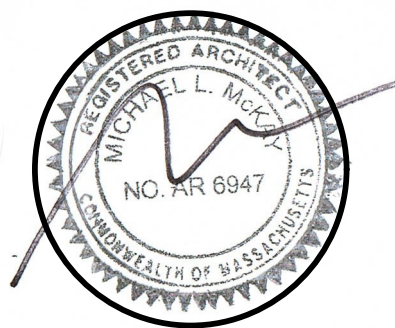
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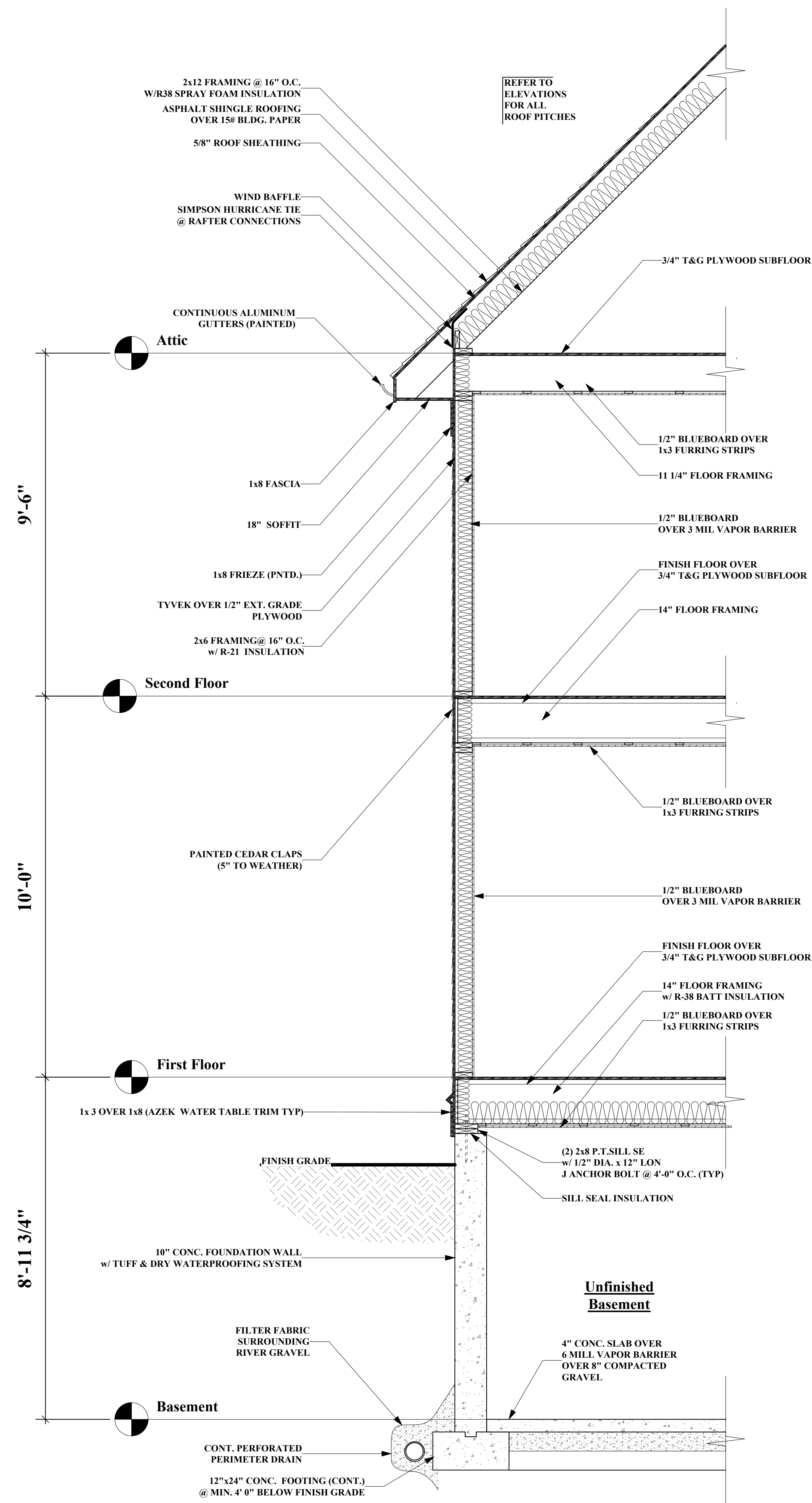
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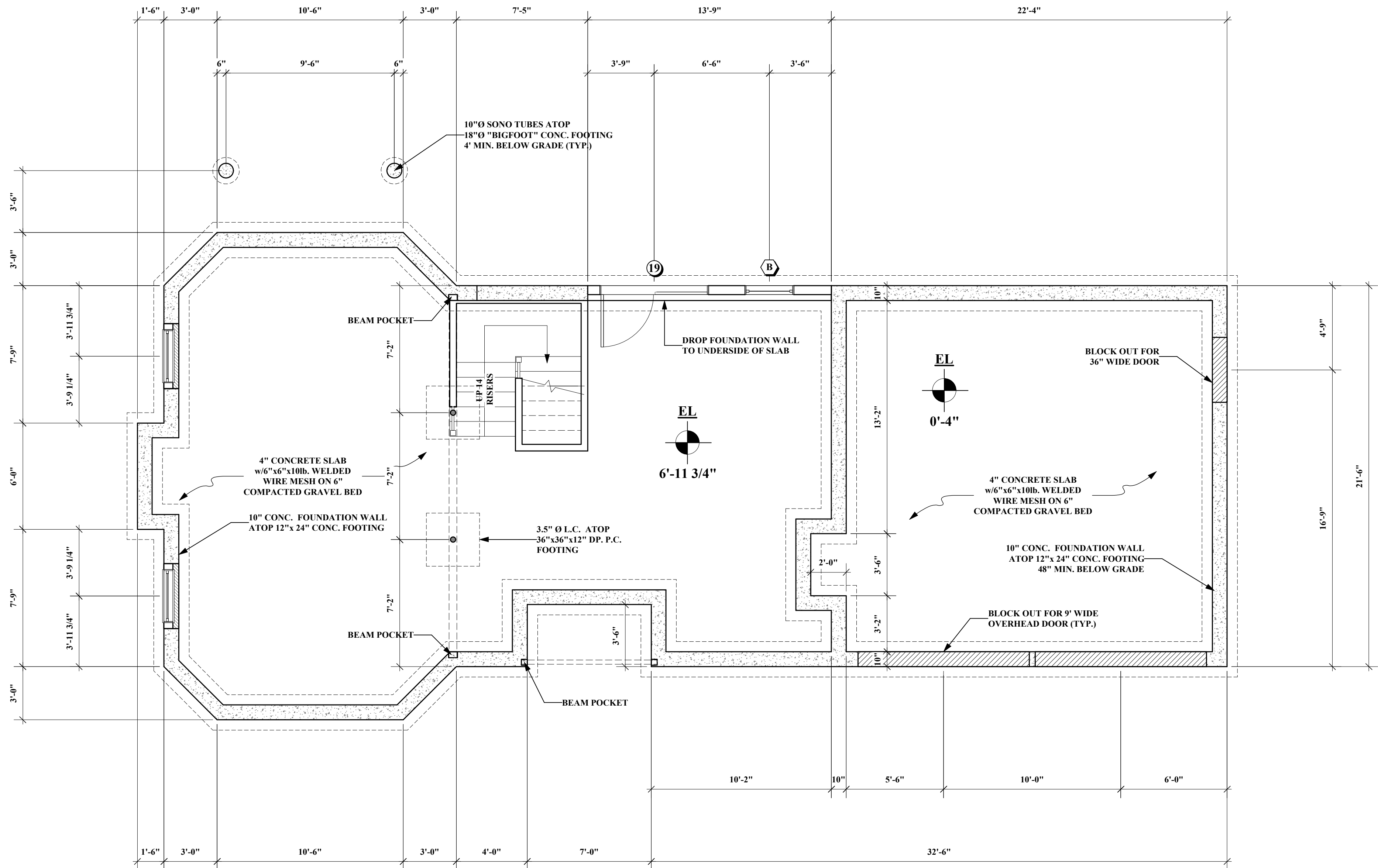
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Typical Section

JOB NO	<div style="text-align: center; font-size: 2em; font-weight: bold;">A-3.2</div>
0086	
DATE	
9.14.17	
DWG BY	
CKD BY MLM	
SCALE	



1
A-3.2



1
S-1.1

Foundation Plan
Scale: 1/4" = 1'-0"

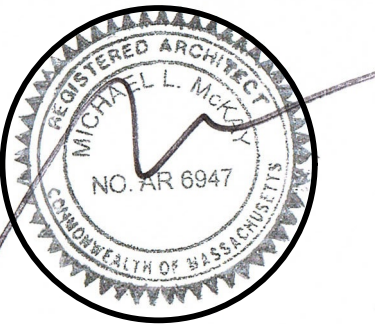
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1	4/13/17	First Draft
2	4/18/17	Second Draft
3	9/14/17	CDs

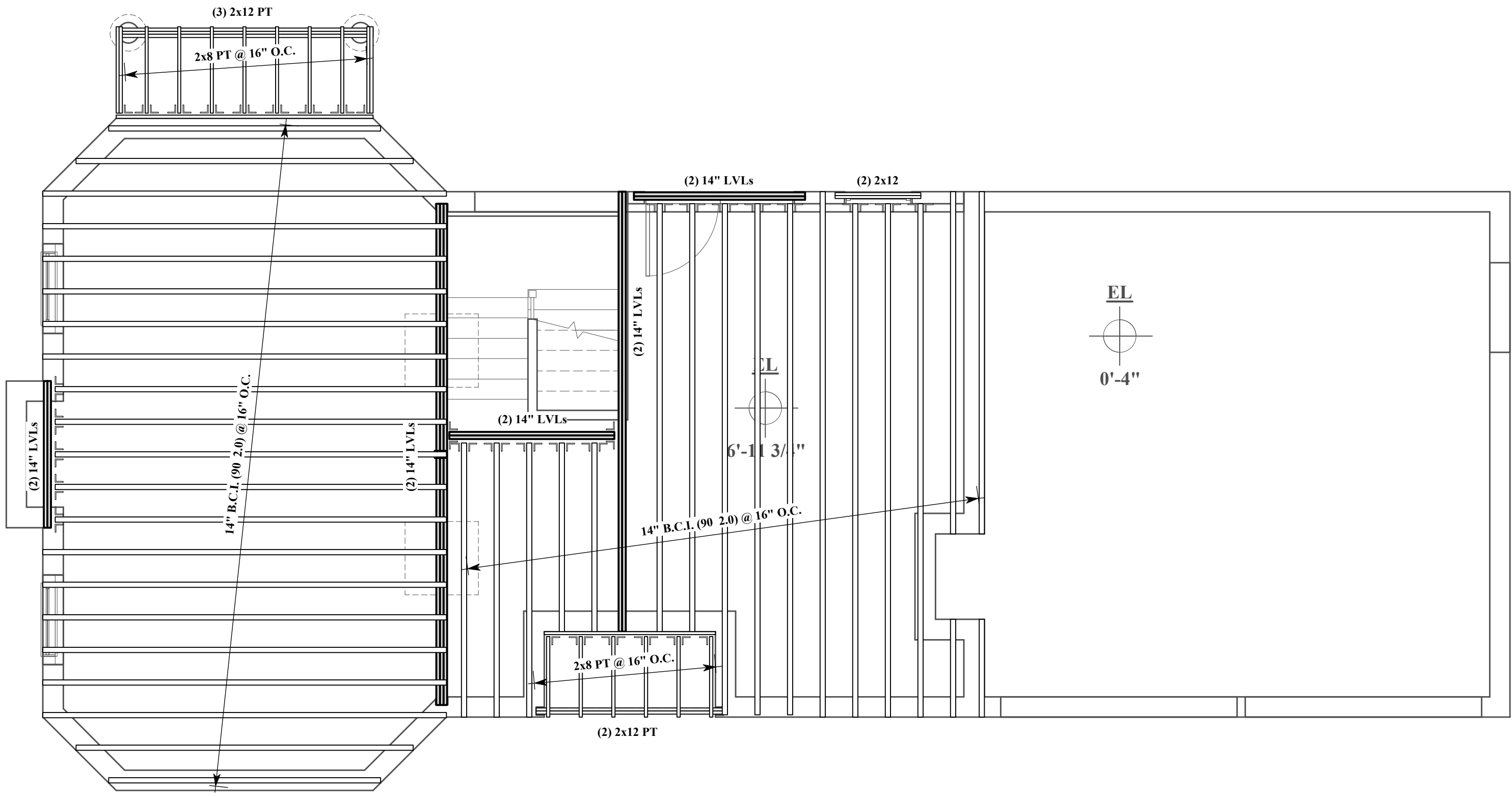
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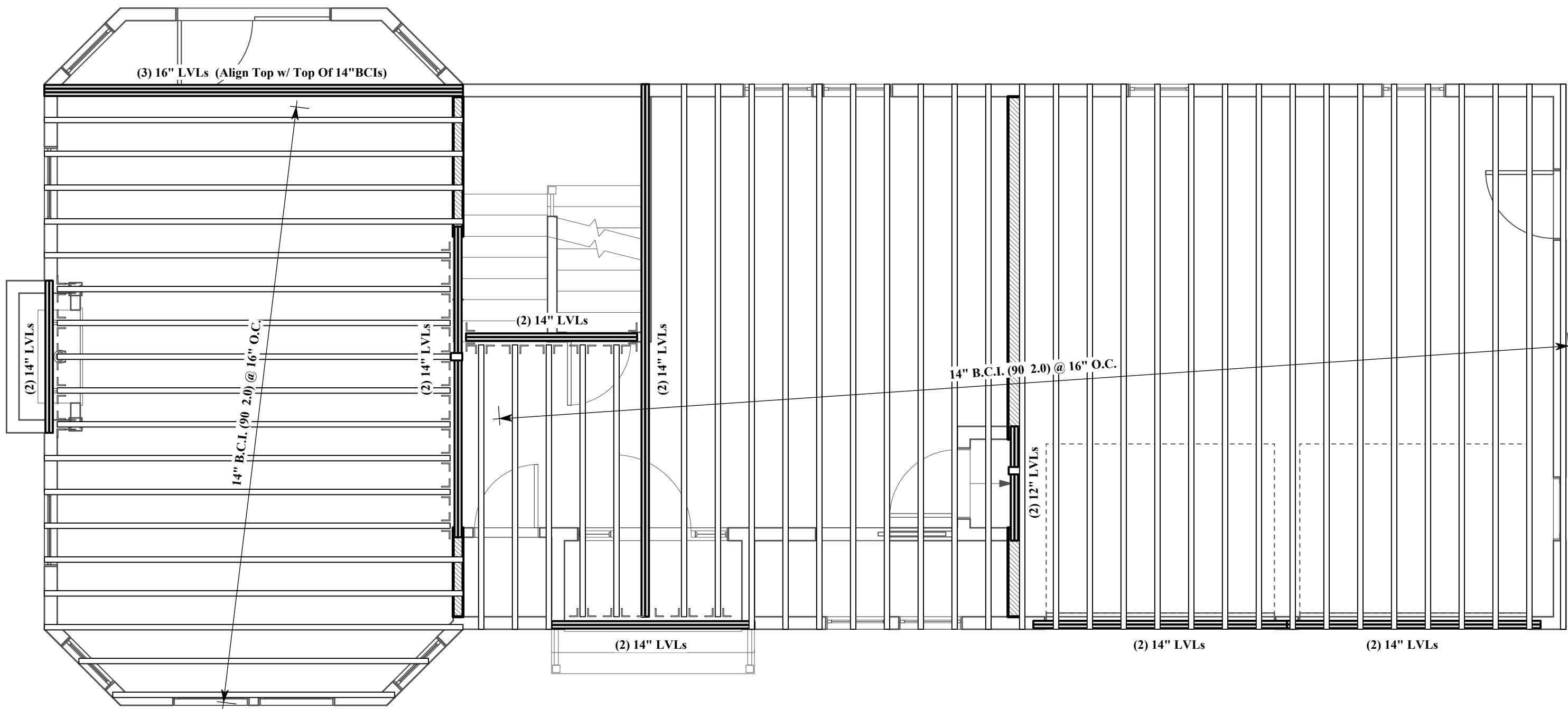
Foundation Plan

JOB NO	0086
DATE	9.14.17
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SCALE	

S-1.1



1 **First Floor Framing Plan**
S-1.2 Scale: 1/4" = 1'-0"



2 **Second Floor Framing Plan**
S-1.2 Scale: 1/4" = 1'-0"

FRAMING NOTE:

6x6 PSL POST	■
4x6 PSL POST	■
4x4 PSL POST	■
4x6 DF POST	▣
4x4 DF POST	▣
POST UP	□
BEARING WALL	▨

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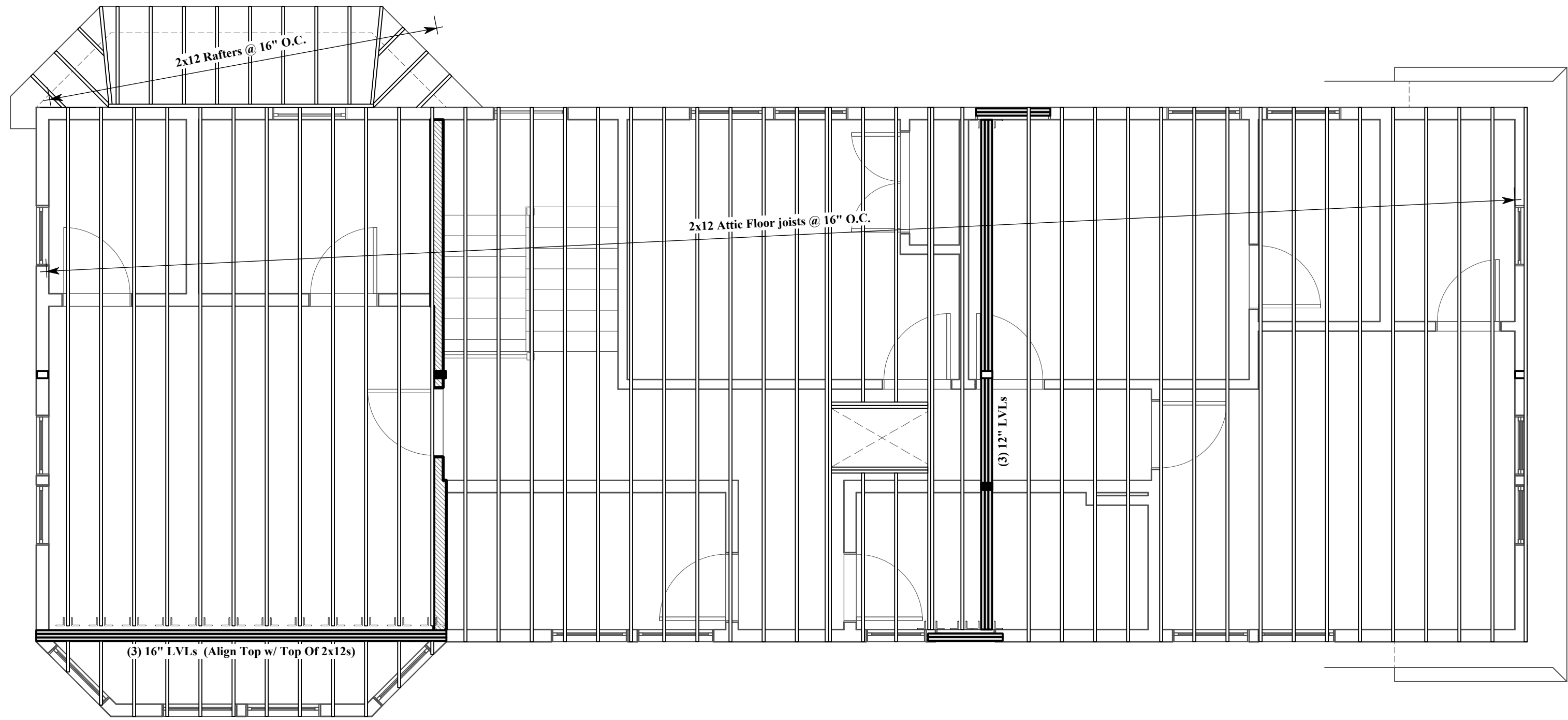
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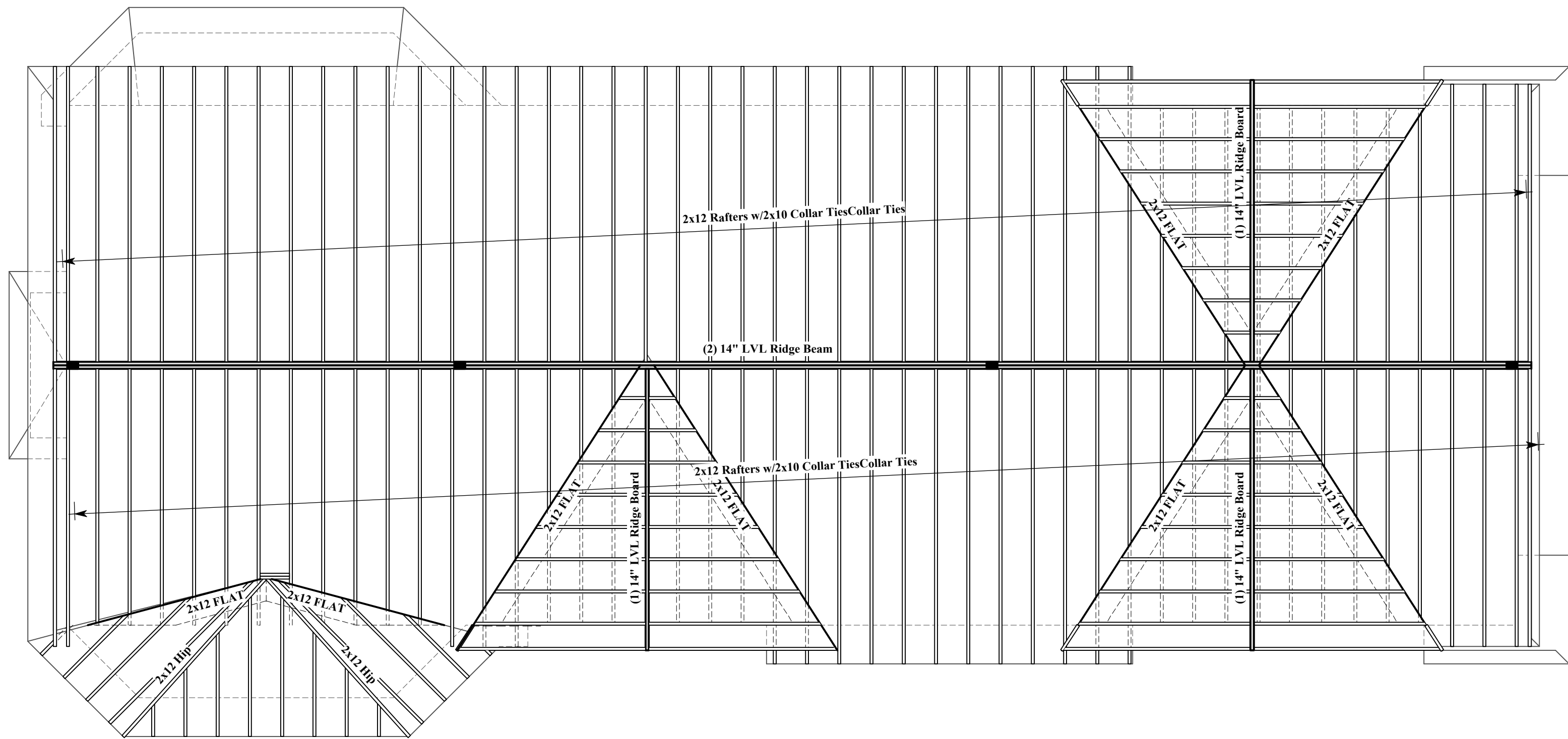
First and
Second Floor
Framing Plans

JOB NO	0086
DATE	9.14.17
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SCALE	

S-1.2



1 **Attic Floor Framing Plan**
Scale: 1/4" = 1'-0"



2 **Roof Framing Plan**
Scale: 1/4" = 1'-0"

FRAMING NOTE:

6x6 PSL POST	■
4x6 PSL POST	■
4x4 PSL POST	■
4x6 DF POST	▣
4x4 DF POST	▣
POST UP	□
BEARING WALL	▨

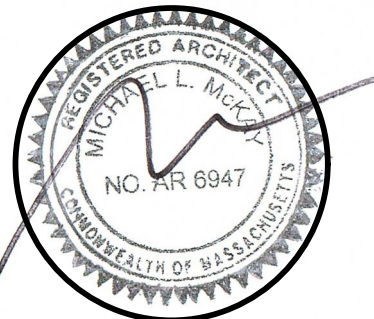
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**Roof and
Attic Floor
Framing Plans**

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SCALE	

S-1.3