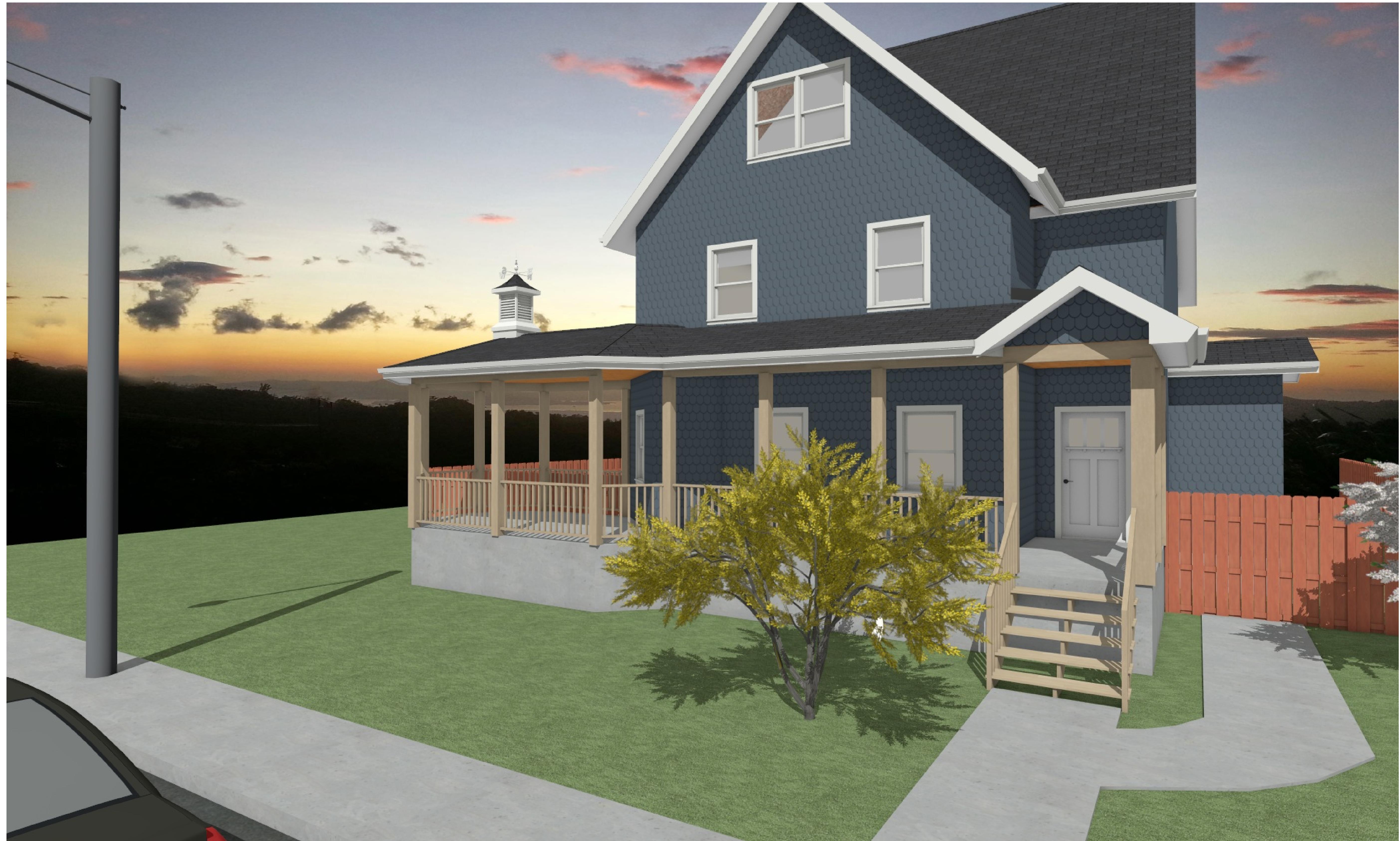


# 81 BUSHNELL STREET, DORCHESTER MA

## FRONT PORCH EXPANSION



ABDEL G  
81 BUSHNELL ST  
DORCHESTER, MA

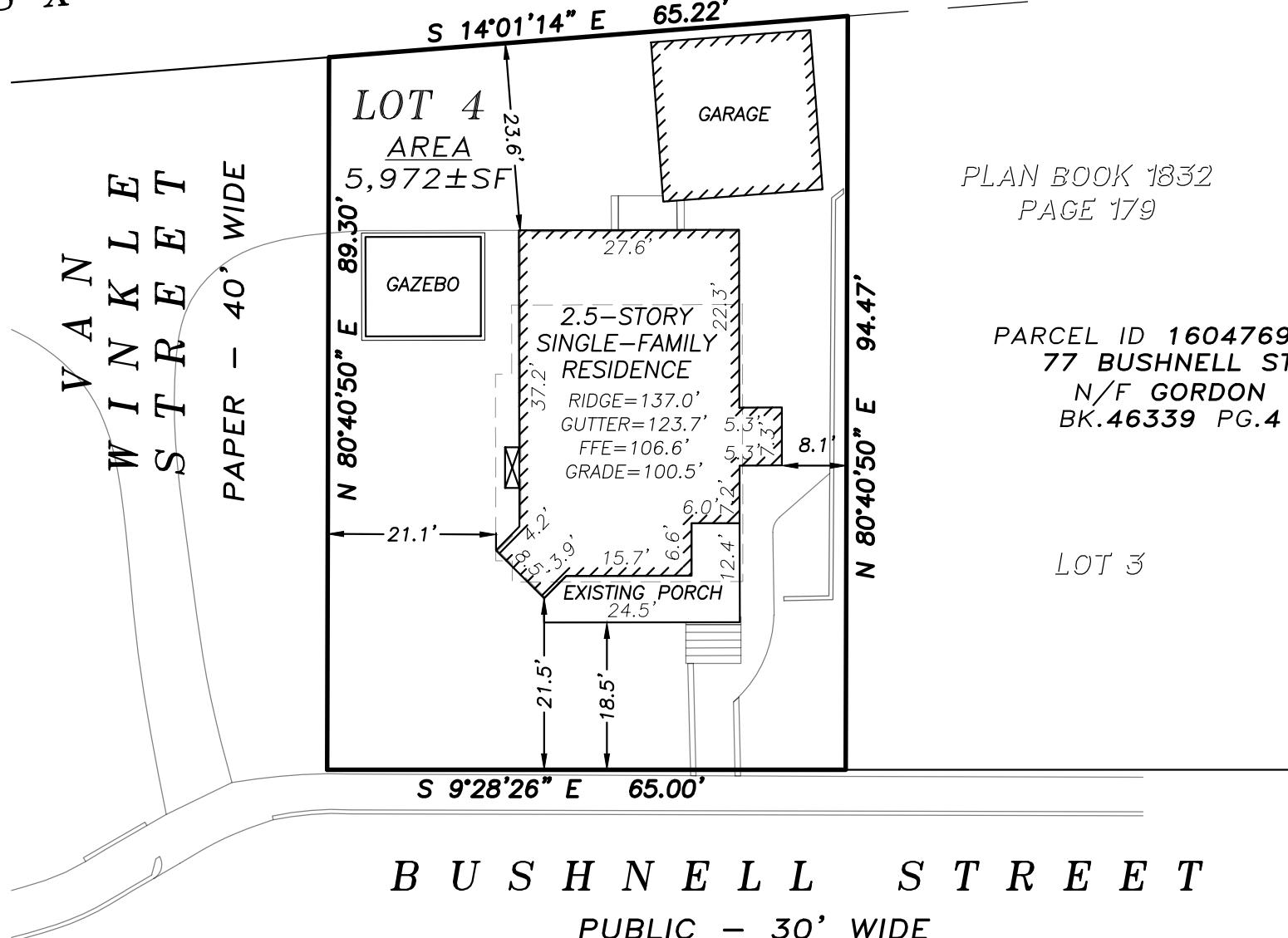
COVER PAGE



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BUILDING DESIGN

## SHEET:

C S X   T R A N S P O R T A T I O N   R A I L R O A D



ABBREVIATIONS:

CONC. INDICATES CONCRETE  
FFE INDICATES FINISH FLOOR ELEVATION  
NG INDICATES NATURAL GROUND

PROPERTY NOTES:

1. FLOOD PLAIN NOTE: NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25025C0091J, WITH A DATE OF IDENTIFICATION OF MARCH 16, 2016; FOR COMMUNITY NO. 250286, IN THE CITY OF BOSTON, COUNTY OF SUFFOLK, STATE OF MASSACHUSETTS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
2. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
3. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE.
4. THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY M.T. ADAMS & ASSOCIATES, PLLC IN DECEMBER OF 2025.
5. ELEVATION DATUM AND BEARING SYSTEM ARE ASSUMED.

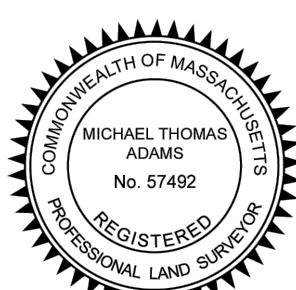
PROPERTY INFO:

ADDRESS: 81 BUSHNELL STREET  
OWNER: ABDELKARIM GOUZOULE  
ASSESSORS: PARCEL ID: 1604770000  
DEED: SUFFOLK BK.33168 PG.251

ZONING DISTRICT - DORCHESTER NEIGHBORHOOD  
SUBDISTRICT 1F-7000

	REQUIRED	EXISTING
LOT AREA	7,000 SF	$5,972 \pm \text{SF}$
FRONTAGE	60'	65'
FRONT YARD	15'	18.5'
SIDE YARD	12'	8.1'
REAR YARD	40'	23.6'
BLDG HEIGHT	35'(MAX)	30'
OPEN SPACE	1,750 SF	$3,057 \pm \text{SF}$

SCALE: 1"=20'  
0 10 20 40



MICHAEL T. ADAMS, P.L.S. 57492

CERTIFIED PLOT PLAN - EXISTING CONDITIONS

For the exclusive use of:

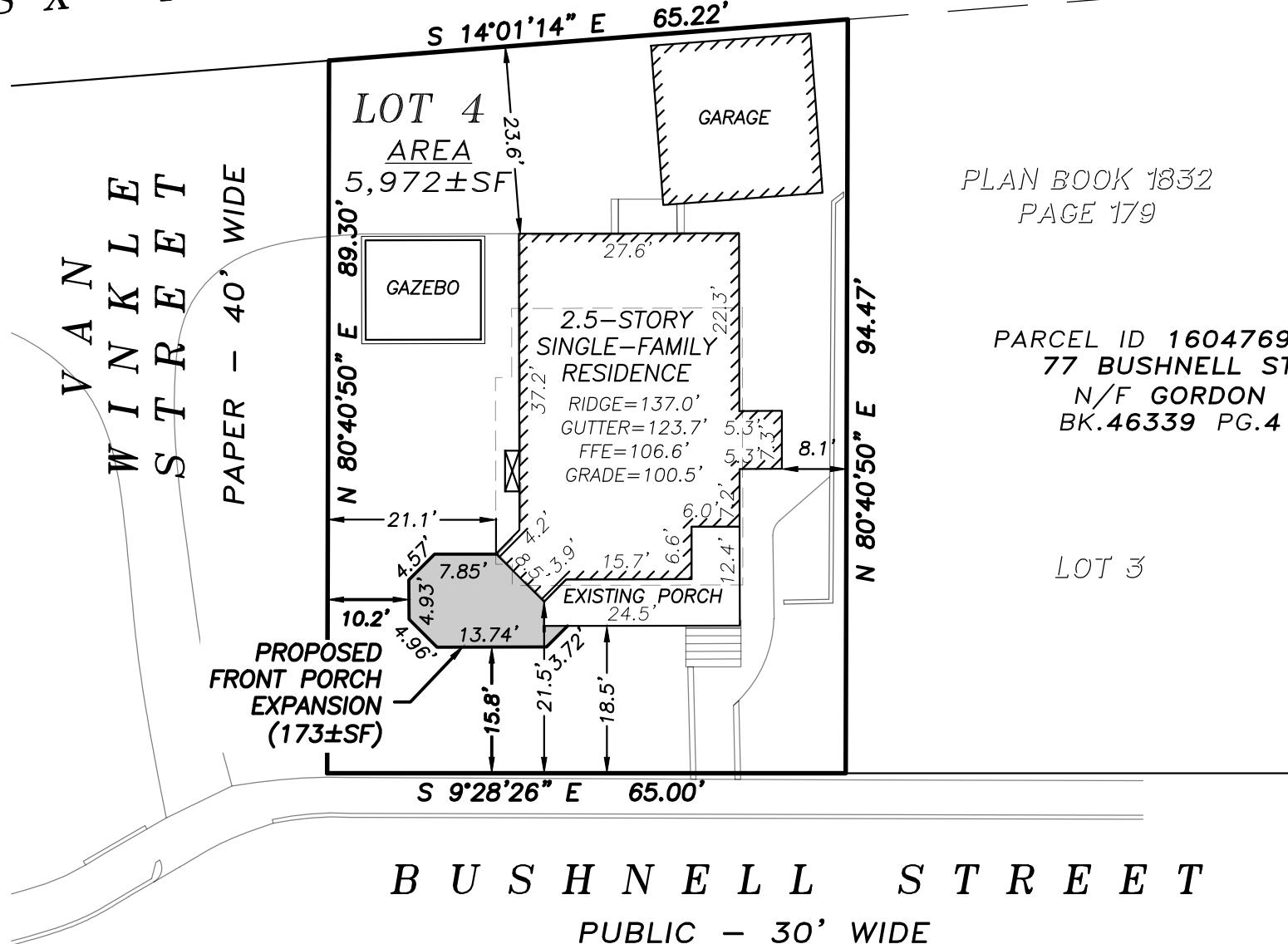
ABDELKARIM GOUZOULE  
81 BUSHNELL STREET  
DORCHESTER, MASSACHUSETTS 02124

M.T. ADAMS & ASSOCIATES  
PRECISION SURVEY & MAPPING

163 Highland Ave, No. 1106, Needham, Massachusetts 02494  
Phone: (978) 641-1727 [www.masurveying.net](http://www.masurveying.net)

Date: 12-15-2025	Revised: 12-22-2025	Revised:
Scale: 1"=20'	Drawn by: M.T.A.	Sheet 1 of 1 Sheet
Drawing: Bushnell St 81 CPP.dwg		A.P.N. 160477

C S X   T R A N S P O R T A T I O N   R A I L R O A D



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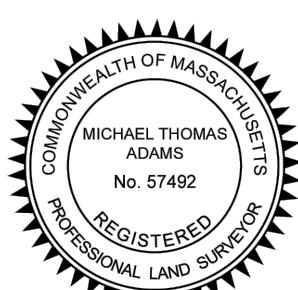
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ZONING DISTRICT - DORCHESTER NEIGHBORHOOD  
SUBDISTRICT 1F-7000

	REQUIRED	EXISTING
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SIDE YARD	12'	8.1'
REAR YARD	40'	23.6'
BLDG HEIGHT	35'(MAX)	30'
OPEN SPACE	1,750 SF	3,057±SF

SCALE: 1"=20'  
0 10 20 40



MICHAEL T. ADAMS, P.L.S. 57492

CERTIFIED PLOT PLAN - PROPOSED CONDITIONS

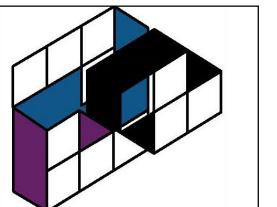
For the exclusive use of:

ABDELKARIM GOUZOULE  
81 BUSHNELL STREET  
DORCHESTER, MASSACHUSETTS 02124

M.T. ADAMS & ASSOCIATES  
PRECISION SURVEY & MAPPING

163 Highland Ave, No. 1106, Needham, Massachusetts 02494  
Phone: (978) 641-1727 [www.masurveying.net](http://www.masurveying.net)

Date: 12-22-2025	Revised:	Revised:
Scale: 1"=20'	Drawn by: M.T.A.	Sheet 1 of 1 Sheet
Drawing: Bushnell St 81 CPP.dwg		A.P.N. 160477



LC Designs

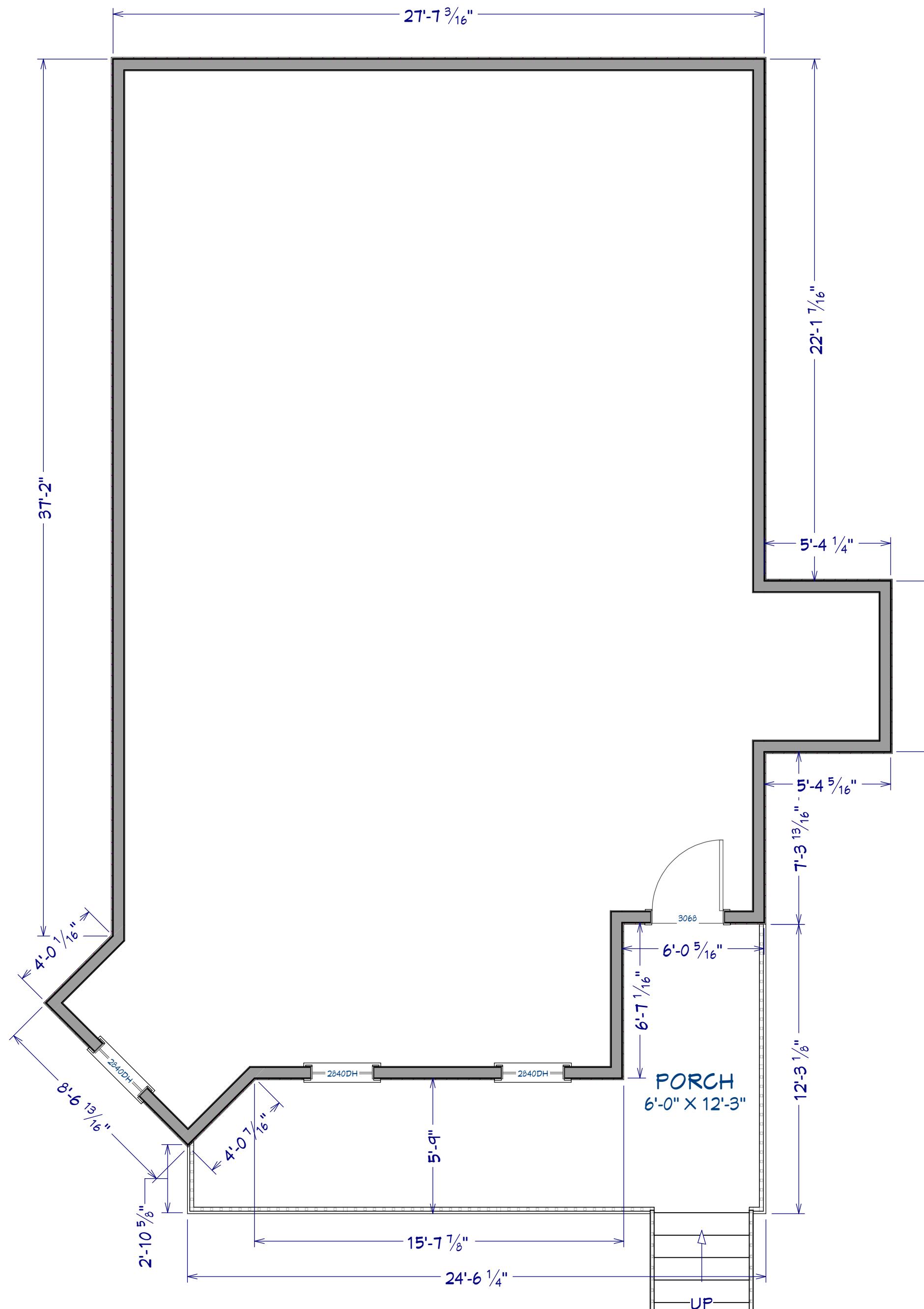
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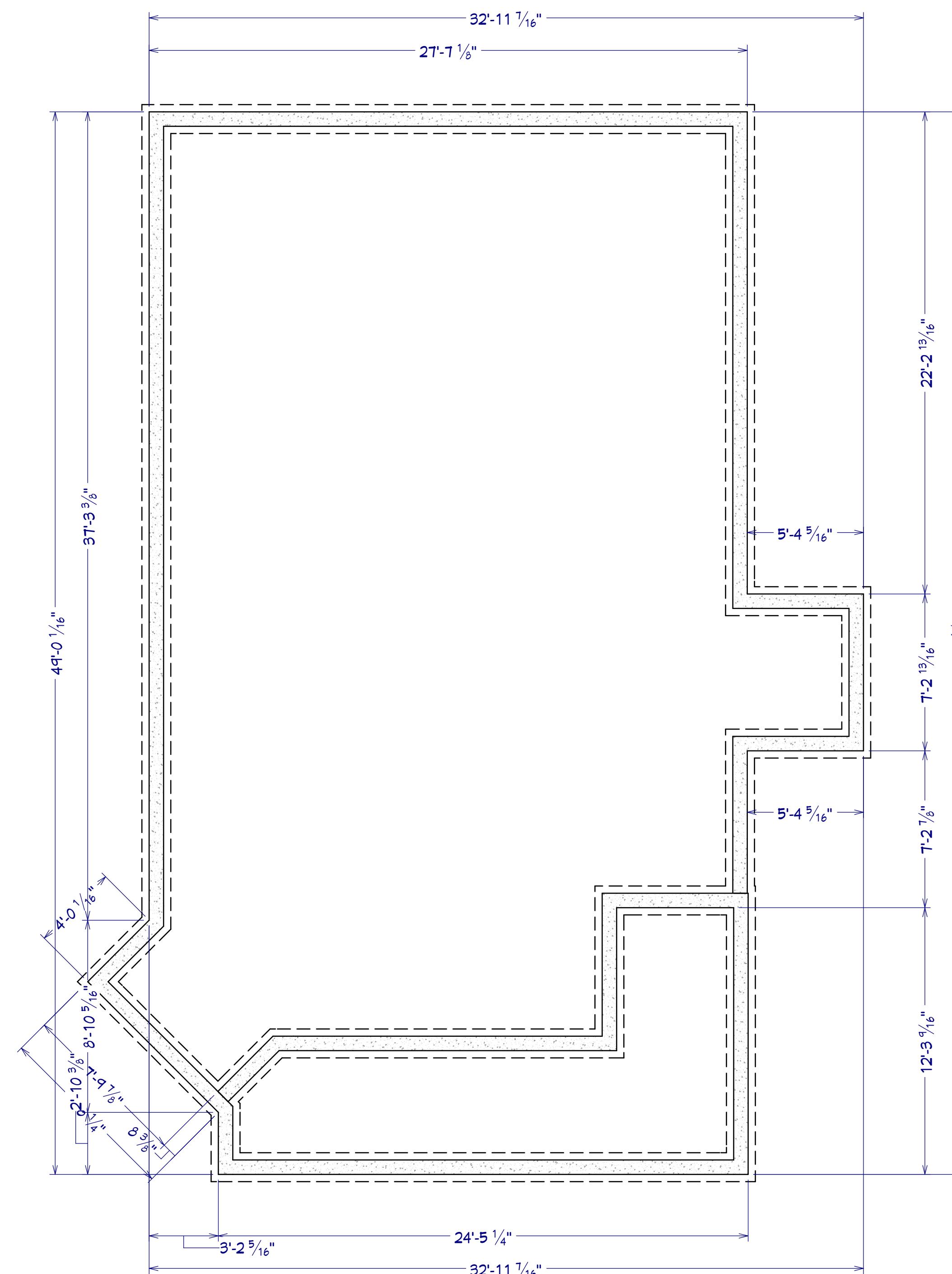
LC DESIGNS, 2205 E DORY ST.

SACRAMENTO, CA 95821

518-616-0771



1ST FLOOR  
1/4 IN = 1 FT



FOUNDATION  
1/4 IN = 1 FT



C1 CAMERA 1  
3/16 IN = 1 FT

EXISTING AS BUILT LAYOUT

ABDEL G  
81 BUSHNELL ST  
DORCHESTER, MA

MEMBER

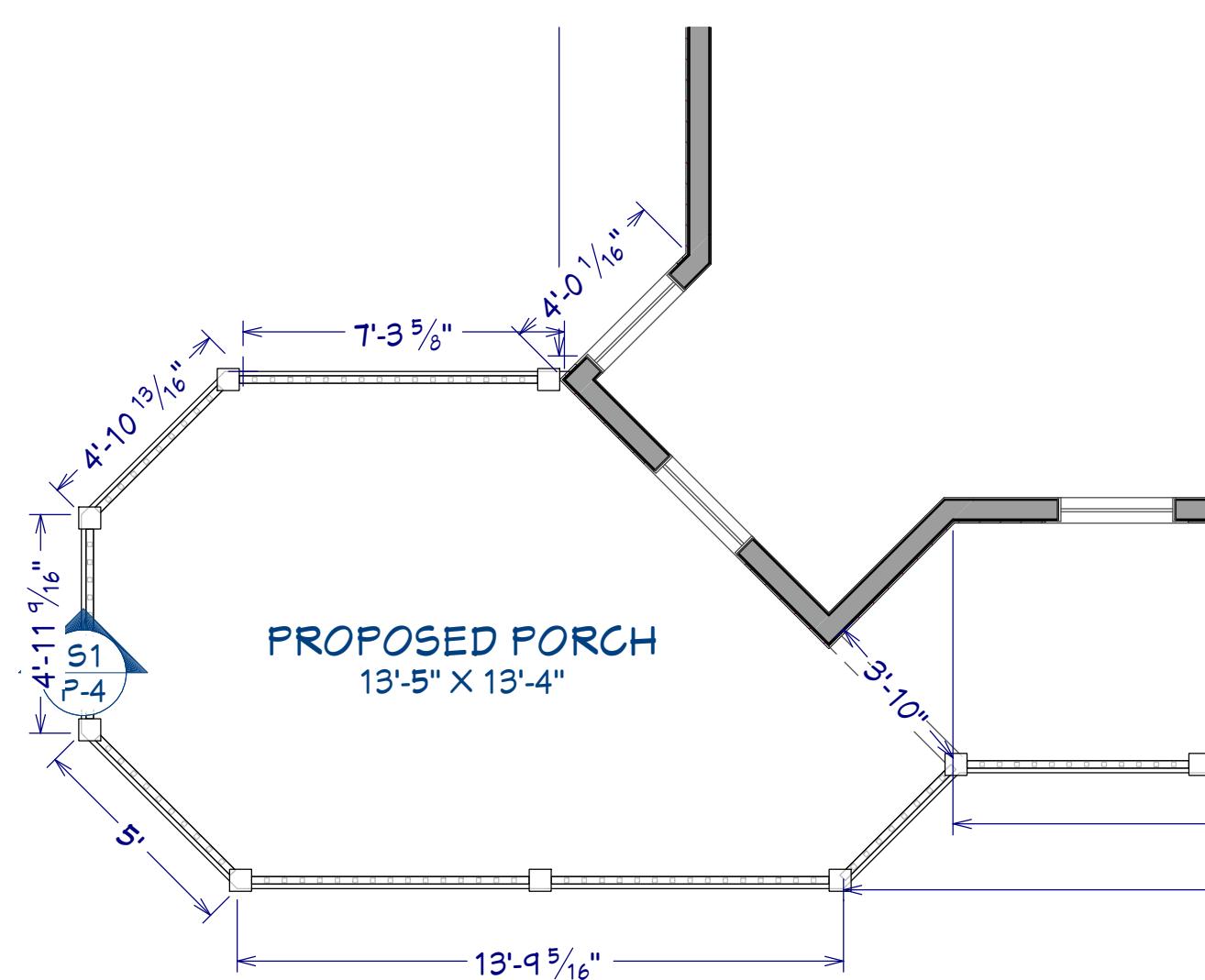
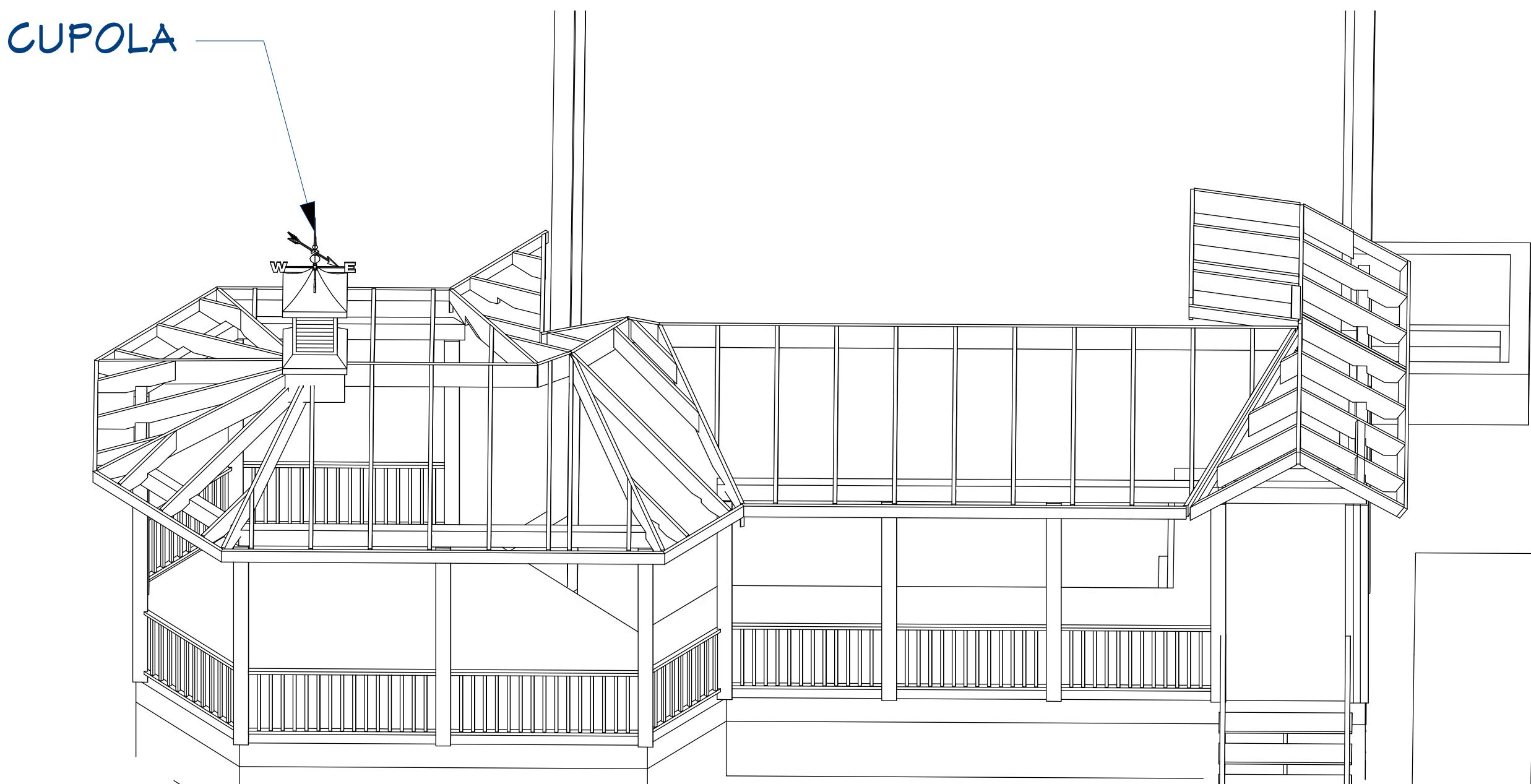
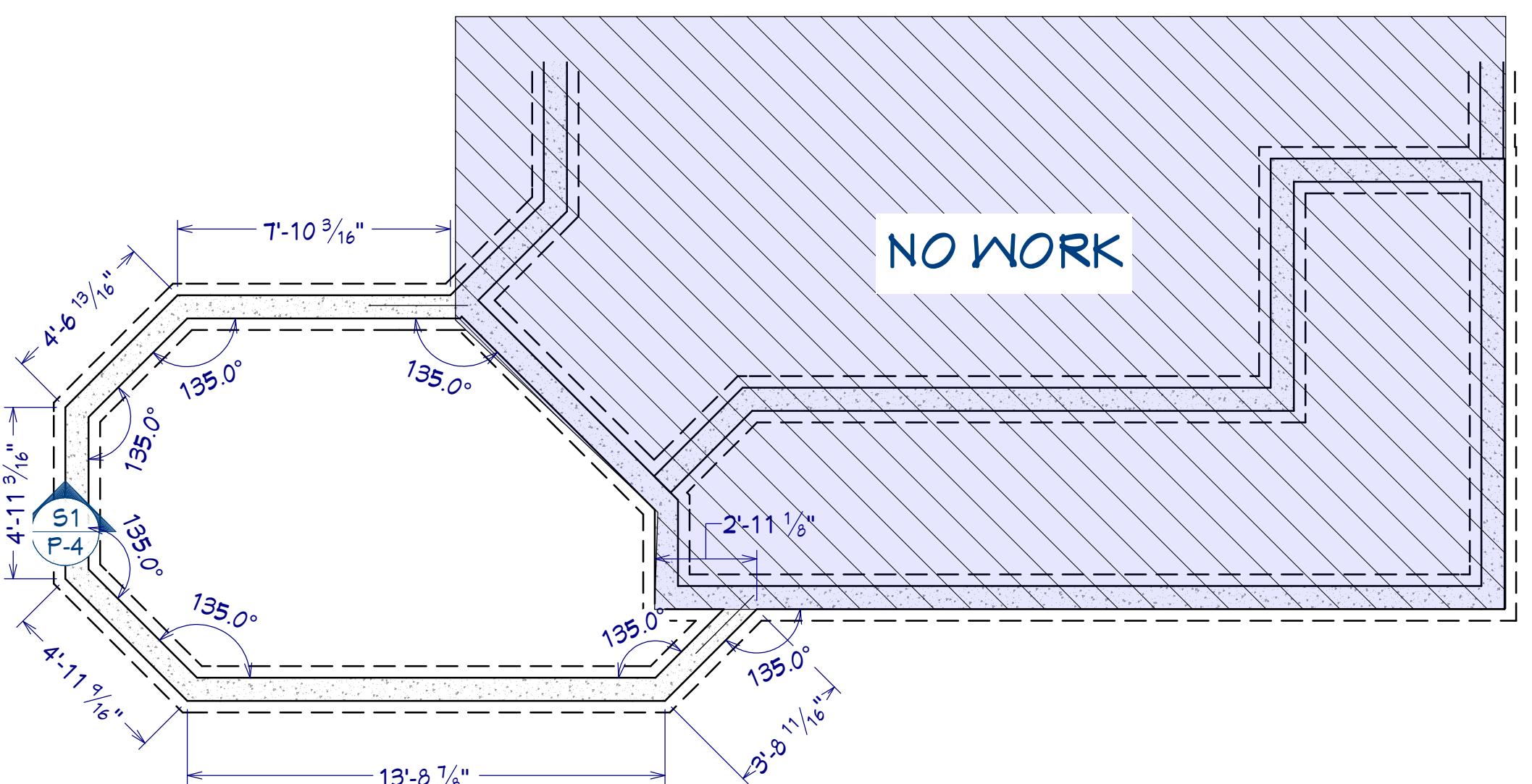
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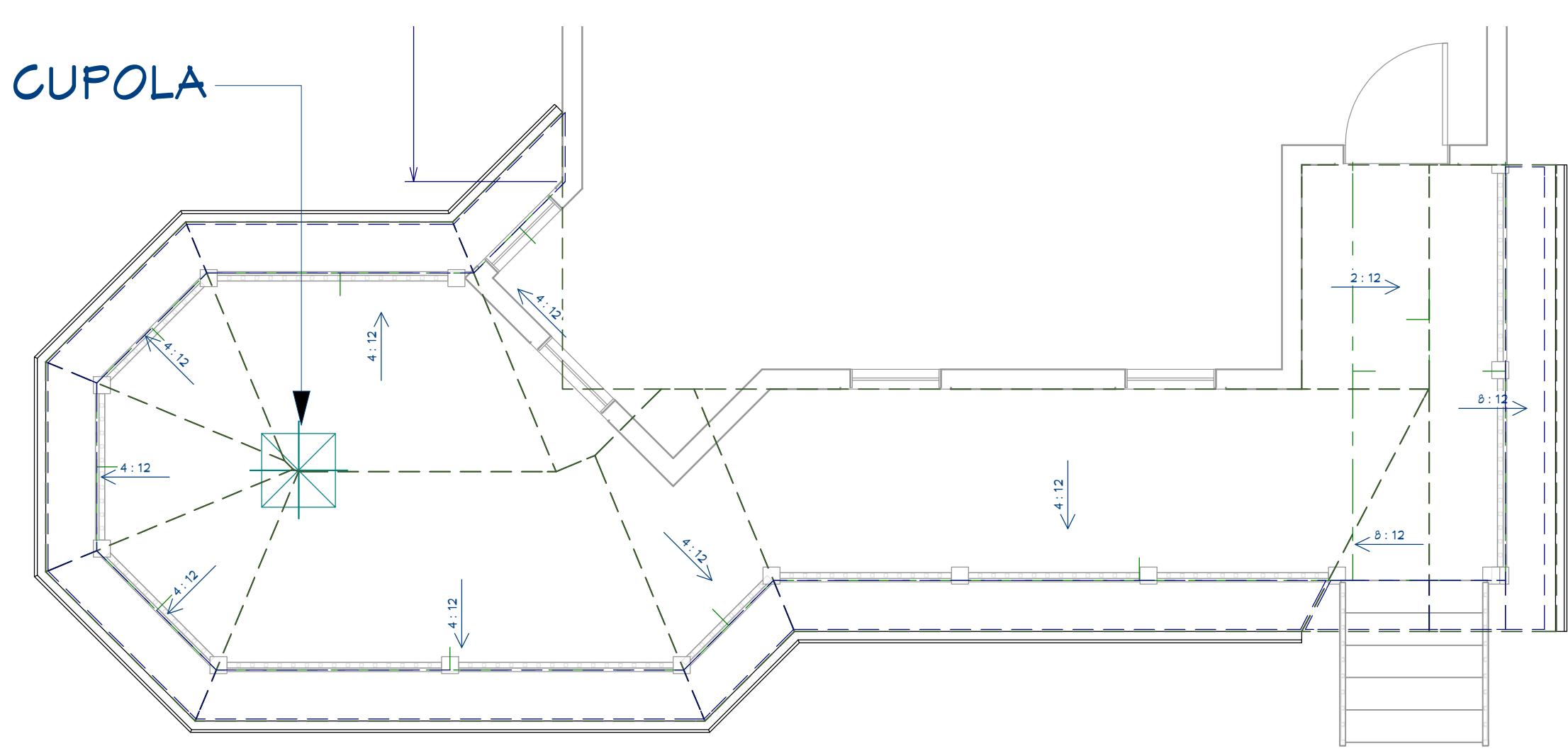
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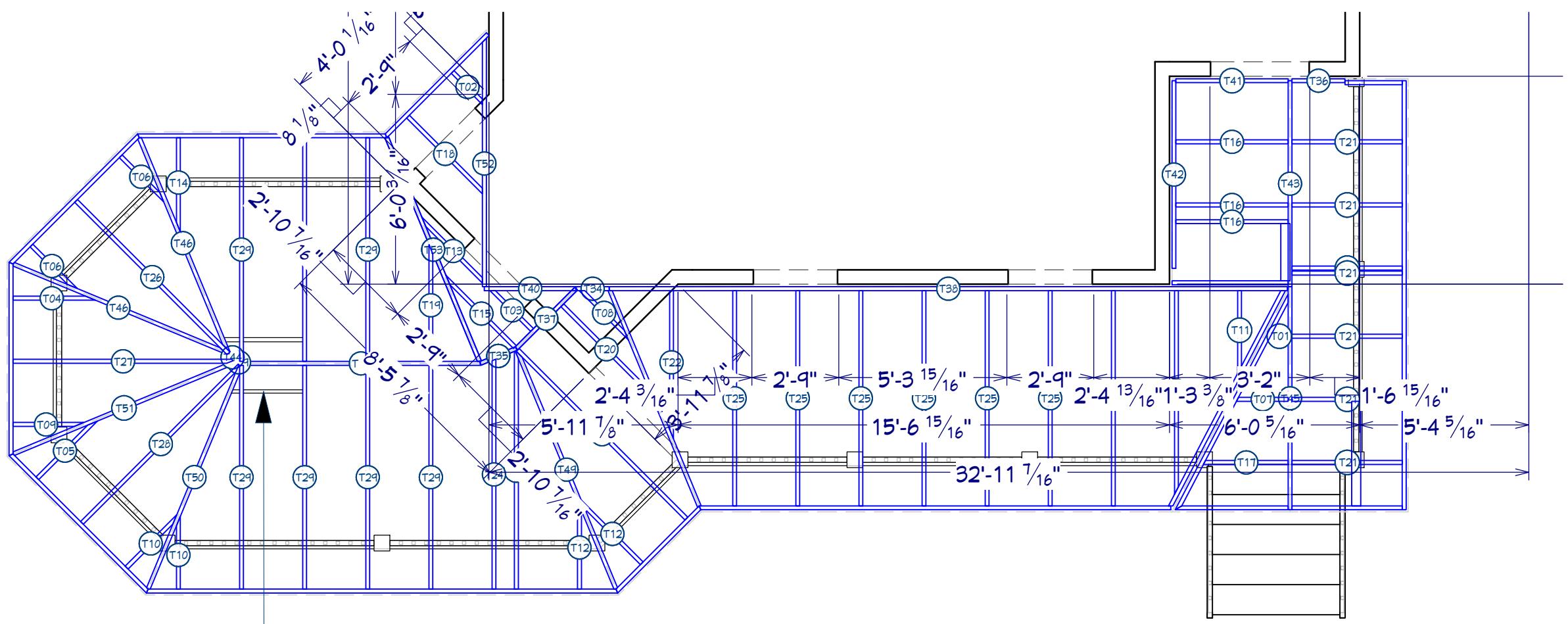


PLATIO LAYOUT PLAN  
1/4 IN = 1 FT


 ABDEL G  
81 BUSHNELL ST  
DORCHESTER, MA

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 SHEET:  
 P-3

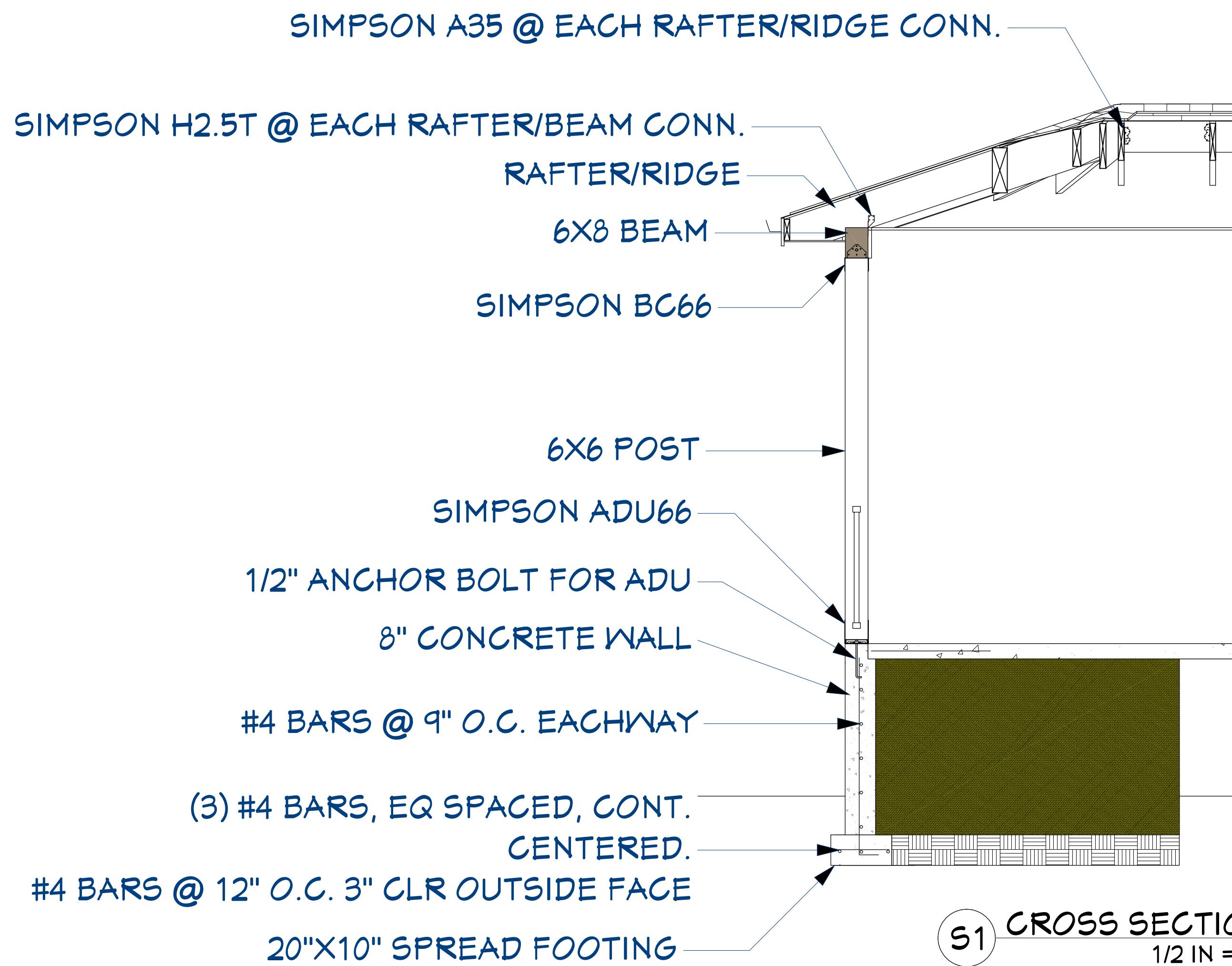
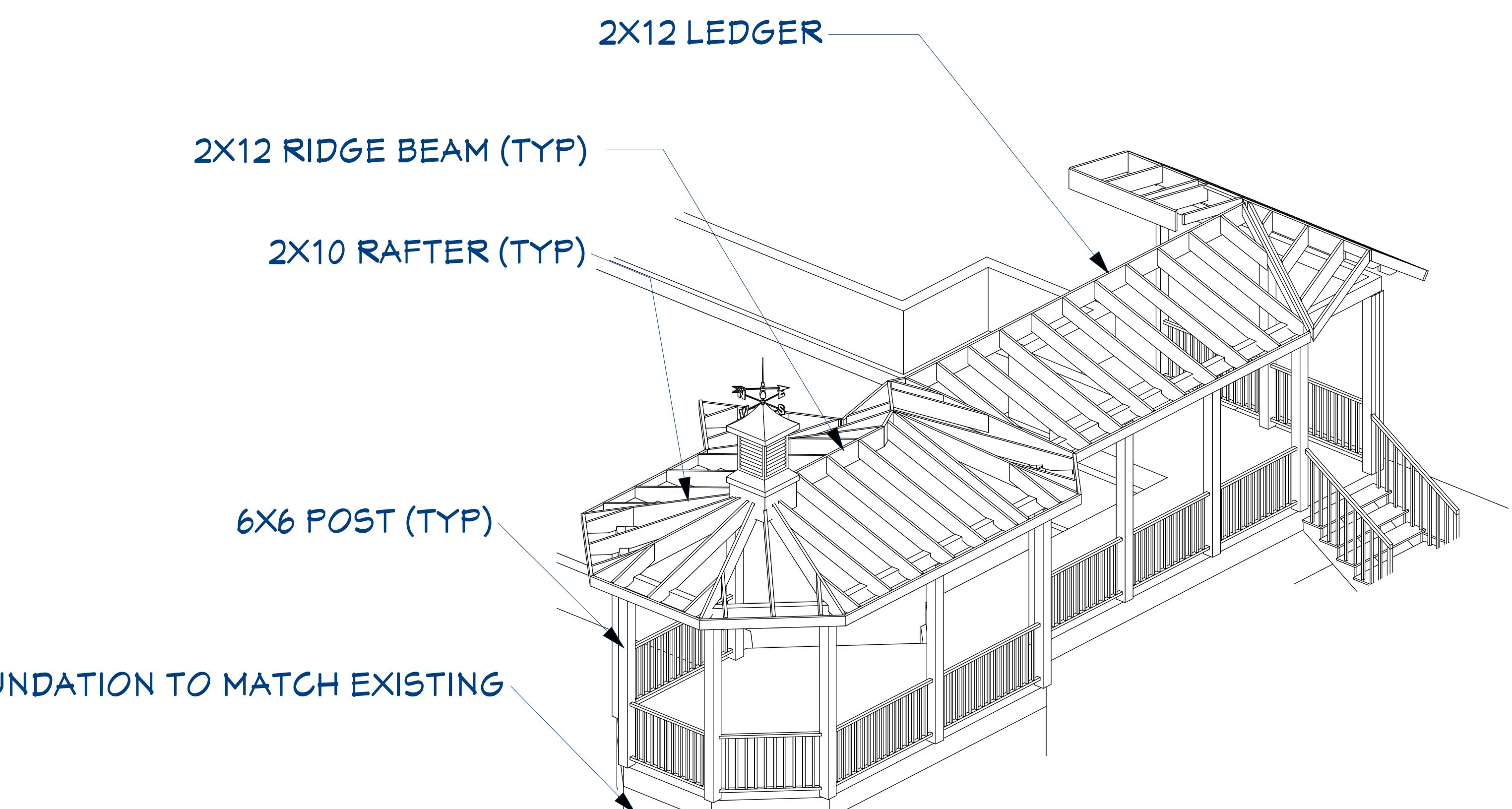


FRAMING, ROOF PLAN VIEW

1/4 IN = 1 FT

2X10 BLOCKING AS NEEDED FOR CUPOLA

ROOF FRAMING SCHEDULE					
NUMBER	NAME	QTY	NOMINAL LENGTH	MATERIAL	TYPE
T01	RAFTER	1	2X10	1'-2 3/16"	FIR FRAMING 1 LUMBER
T02	RAFTER	1	2X10	1'-8 4/16"	FIR FRAMING 1 LUMBER
T03	RAFTER	1	2X10	2'-1 15/16"	FIR FRAMING 1 LUMBER
T04	RAFTER	1	2X10	2'-11 11/16"	FIR FRAMING 1 LUMBER
T05	RAFTER	1	2X10	2'-11 7/8"	FIR FRAMING 1 LUMBER
T06	RAFTER	2	2X10	2'-3 13/16"	FIR FRAMING 1 LUMBER
T07	RAFTER	1	2X10	2'-5 1/2"	FIR FRAMING 1 LUMBER
T08	RAFTER	1	2X10	2'-6 1/4"	FIR FRAMING 1 LUMBER
T09	RAFTER	1	2X10	2'-7 1/16"	FIR FRAMING 1 LUMBER
T10	RAFTER	2	2X10	2'-7 7/8"	FIR FRAMING 1 LUMBER
T11	RAFTER	1	2X10	3'	FIR FRAMING 1 LUMBER
T12	RAFTER	2	2X10	3'-1 7/8"	FIR FRAMING 1 LUMBER
T13	RAFTER	1	2X10	3'-2 1/2"	FIR FRAMING 1 LUMBER
T14	RAFTER	1	2X10	3'-4 1/2"	FIR FRAMING 1 LUMBER
T15	RAFTER	1	2X10	3'-6 5/8"	FIR FRAMING 1 LUMBER
T16	RAFTER	3	2X10	3'-6 13/16"	FIR FRAMING 1 LUMBER
T17	RAFTER	1	2X10	3'-6 5/8"	FIR FRAMING 1 LUMBER
T18	RAFTER	1	2X10	3'-4 15/16"	FIR FRAMING 1 LUMBER
T19	RAFTER	1	2X10	4'-1 11/16"	FIR FRAMING 1 LUMBER
T20	RAFTER	1	2X10	4'-6 9/16"	FIR FRAMING 1 LUMBER
T21	RAFTER	7	2X10	4'-8 5/8"	FIR FRAMING 1 LUMBER
T22	RAFTER	1	2X10	5'-2 1/8"	FIR FRAMING 1 LUMBER
T23	RAFTER	1	2X10	7'-0 7/16"	FIR FRAMING 1 LUMBER
T24	RAFTER	1	2X10	7'-11 3/16"	FIR FRAMING 1 LUMBER
T25	RAFTER	7	2X10	7'-5 5/16"	FIR FRAMING 1 LUMBER
T26	RAFTER	1	2X10	7'-5 1/16"	FIR FRAMING 1 LUMBER
T27	RAFTER	1	2X10	7'-7 5/16"	FIR FRAMING 1 LUMBER
T28	RAFTER	1	2X10	7'-8 1/2"	FIR FRAMING 1 LUMBER
T29	RAFTER	7	2X10	7'-8 11/16"	FIR FRAMING 1 LUMBER
T30	RAFTER	1	2X10	8'-2 11/16"	FIR FRAMING 1 LUMBER
T31	RAFTER	1	2X10	8'-2 7/16"	FIR FRAMING 1 LUMBER
T34	RAFTER RIDGE	1	2X12	1'-3 9/16"	FIR FRAMING 1 LUMBER
T35	RAFTER RIDGE	2	2X12	1'-4 3/8"	FIR FRAMING 1 LUMBER
T36	RAFTER RIDGE	1	2X12	2'-7 3/4"	FIR FRAMING 1 LUMBER
T37	RAFTER RIDGE	2	2X12	2'-8 1/8"	FIR FRAMING 1 LUMBER
T38	RAFTER RIDGE	1	2X12	21'-5 7/8"	FIR FRAMING 1 LUMBER
T39	RAFTER RIDGE	1	2X12	3 1/2"	FIR FRAMING 1 LUMBER
T40	RAFTER RIDGE	1	2X12	3'-2 1/2"	FIR FRAMING 1 LUMBER
T41	RAFTER RIDGE	1	2X12	3'-9 1/8"	FIR FRAMING 1 LUMBER
T42	RAFTER RIDGE	1	2X12	5'-11 3/8"	FIR FRAMING 1 LUMBER
T43	RAFTER RIDGE	1	2X12	6'-6 3/8"	FIR FRAMING 1 LUMBER
T44	RAFTER RIDGE	1	2X12	7 1/8"	FIR FRAMING 1 LUMBER
T45	RAFTER RIDGE	1	2X12	7'-0 13/16"	FIR FRAMING 1 LUMBER
T46	RAFTER RIDGE	2	2X12	7'-11 7/8"	FIR FRAMING 1 LUMBER
T47	RAFTER RIDGE	1	2X12	7'-6 13/16"	FIR FRAMING 1 LUMBER
T48	RAFTER RIDGE	1	2X12	8'-0 11/16"	FIR FRAMING 1 LUMBER
T49	RAFTER RIDGE	1	2X12	8'-10 1/4"	FIR FRAMING 1 LUMBER
T50	RAFTER RIDGE	1	2X12	8'-3 13/16"	FIR FRAMING 1 LUMBER
T51	RAFTER RIDGE	1	2X12	8'-3 5/8"	FIR FRAMING 1 LUMBER
T52	RAFTER RIDGE	1	2X12	8'-3 5/8"	FIR FRAMING 1 LUMBER
T53	RAFTER RIDGE	2	2X12	8'-4 1/8"	FIR FRAMING 1 LUMBER



# ASCE Hazards Report

**Address:**

81 Bushnell St  
Dorchester Center, Massachusetts  
02124

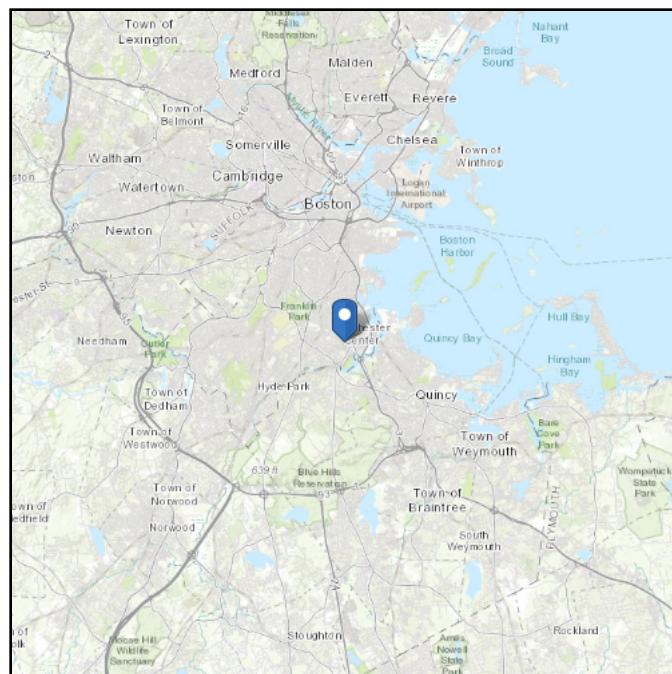
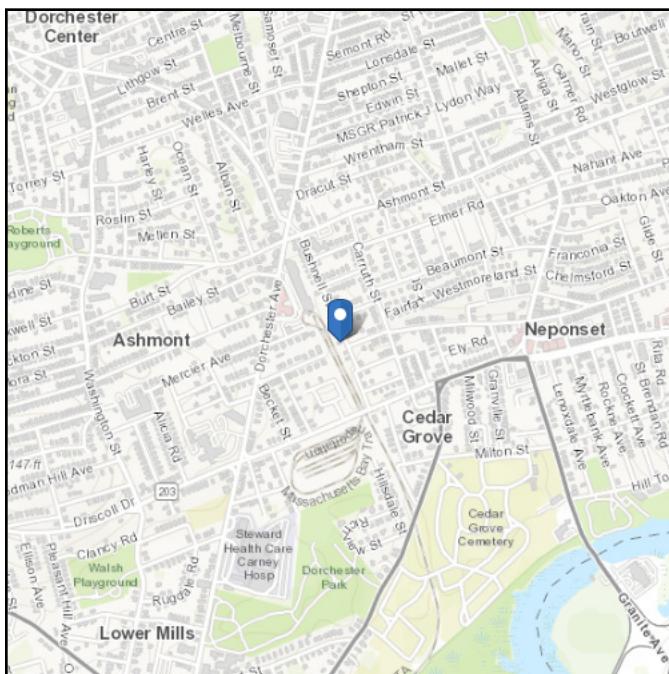
**Standard:** ASCE/SEI 7-22

**Risk Category:** II

**Soil Class:** Default

**Latitude:** 42.283059

**Longitude:** -71.062371

**Elevation:** 31.04109250250128 ft  
(NAVD 88)


## Wind

**Results:**

Wind Speed	116 Vmph
10-year MRI	74 Vmph
25-year MRI	83 Vmph
50-year MRI	92 Vmph
100-year MRI	99 Vmph
300-year MRI	109 Vmph
700-year MRI	116 Vmph
1,700-year MRI	125 Vmph
3,000-year MRI	129 Vmph
10,000-year MRI	139 Vmph
100,000-year MRI	160 Vmph
1,000,000-year MRI	183 Vmph

**Data Source:**

ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2

**Date Accessed:**

Sun Dec 21 2025



AMERICAN SOCIETY OF CIVIL ENGINEERS

Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2. Glazed openings need not be protected against wind-borne debris.

**Results:**

Ice Thickness: 1.09 in.

Concurrent Temperature: 15 F

3-s Gust Speed 50 mph

**Data Source:** Standard ASCE/SEI 7-22, Figs. 10-2 through 10-8**Date Accessed:** Sun Dec 21 2025

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain for 250, 500, 1,000, and 1,400-year mean recurrence intervals along with concurrent 3-s gust speeds and concurrent air temperatures. The shading indicates special icing regions, with elevations above 2,100 ft (640 m) in the east, 6,000 ft (1829 m) in the west, and 1,600 ft (488 m) in Alaska, with sparse weather station data for determining design ice loads. In these regions, as well as in regions with complex terrain causing unusual icing conditions and regions where snow or in-cloud icing results in larger loads, the mapped values should be adjusted based on a combination of local historical records and experience, reanalysis data, and numerical weather prediction systems.

**Snow****Results:**Ground Snow Load,  $p_g$ : 70 lb/ft<sup>2</sup>20-year MRI Value: 29.02 lb/ft<sup>2</sup>

Winter Wind Parameter: 0.55

Mapped Elevation: 36.2 ft

**Data Source:** ASCE/SEI 7-22, Figures 7.6-1 and 7.6-2 A-D**Date Accessed:** Sun Dec 21 2025

Values provided are ground snow loads. In areas designated "case study required," extreme local variations in ground snow loads preclude mapping at this scale. Site-specific case studies are required to establish ground snow loads at elevations not covered.

Snow load values are mapped to a 0.5 mile resolution. This resolution can create a mismatch between the mapped elevation and the site-specific elevation in topographically complex areas. Engineers should consult the local authority having jurisdiction in locations where the reported 'elevation' and 'mapped elevation' differ significantly from each other.

Ground Snow Loads for IRC only,  $p_{g(asd)}$ : 49.0 lb/ft<sup>2</sup>

The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE standard.

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