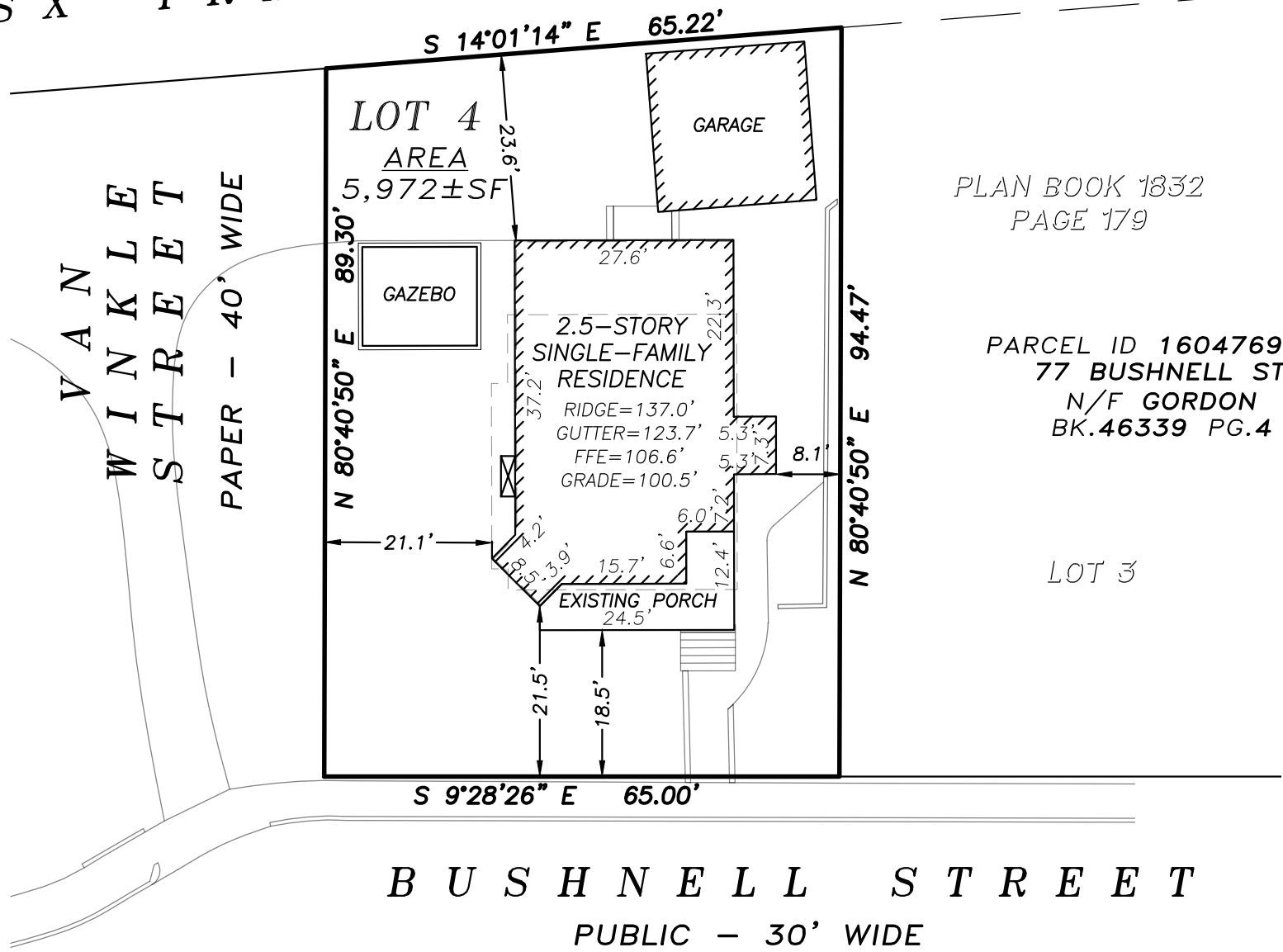


SHEET:

C S X T R A N S P O R T A T I O N R A I L R O A D



PLAN BOOK 1832
PAGE 179

PARCEL ID 1604769000
77 BUSHNELL ST
N/F GORDON
BK.46339 PG.4

ABBREVIATIONS:

- CONC. INDICATES CONCRETE
FFE INDICATES FINISH FLOOR ELEVATION
NG INDICATES NATURAL GROUND

PROPERTY NOTES:

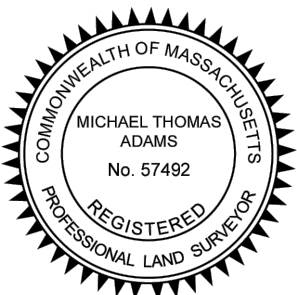
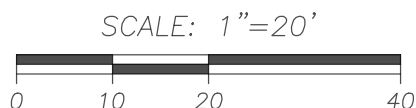
- FLOOD PLAIN NOTE: NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25025C0091J, WITH A DATE OF IDENTIFICATION OF MARCH 16, 2016; FOR COMMUNITY NO. 250286, IN THE CITY OF BOSTON, COUNTY OF SUFFOLK, STATE OF MASSACHUSETTS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE.
- THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY M.T. ADAMS & ASSOCIATES, PLLC IN DECEMBER OF 2025.
- ELEVATION DATUM AND BEARING SYSTEM ARE ASSUMED.

PROPERTY INFO:

ADDRESS: 81 BUSHNELL STREET
OWNER: ABDELKARIM GOUZOULE
ASSESSORS: PARCEL ID: 1604770000
DEED: SUFFOLK BK.33168 PG.251

**ZONING DISTRICT - DORCHESTER NEIGHBORHOOD
SUBDISTRICT 1F-7000**

	REQUIRED	EXISTING
LOT AREA	7,000 SF	5,972±SF
FRONTAGE	60'	65'
FRONT YARD	15'	18.5'
SIDE YARD	12'	8.1'
REAR YARD	40'	23.6'
BLDG HEIGHT	35'(MAX)	30'
OPEN SPACE	1,750 SF	3,057±SF



Michael T. Adams
MICHAEL T. ADAMS, P.L.S. 57492

CERTIFIED PLOT PLAN - EXISTING CONDITIONS

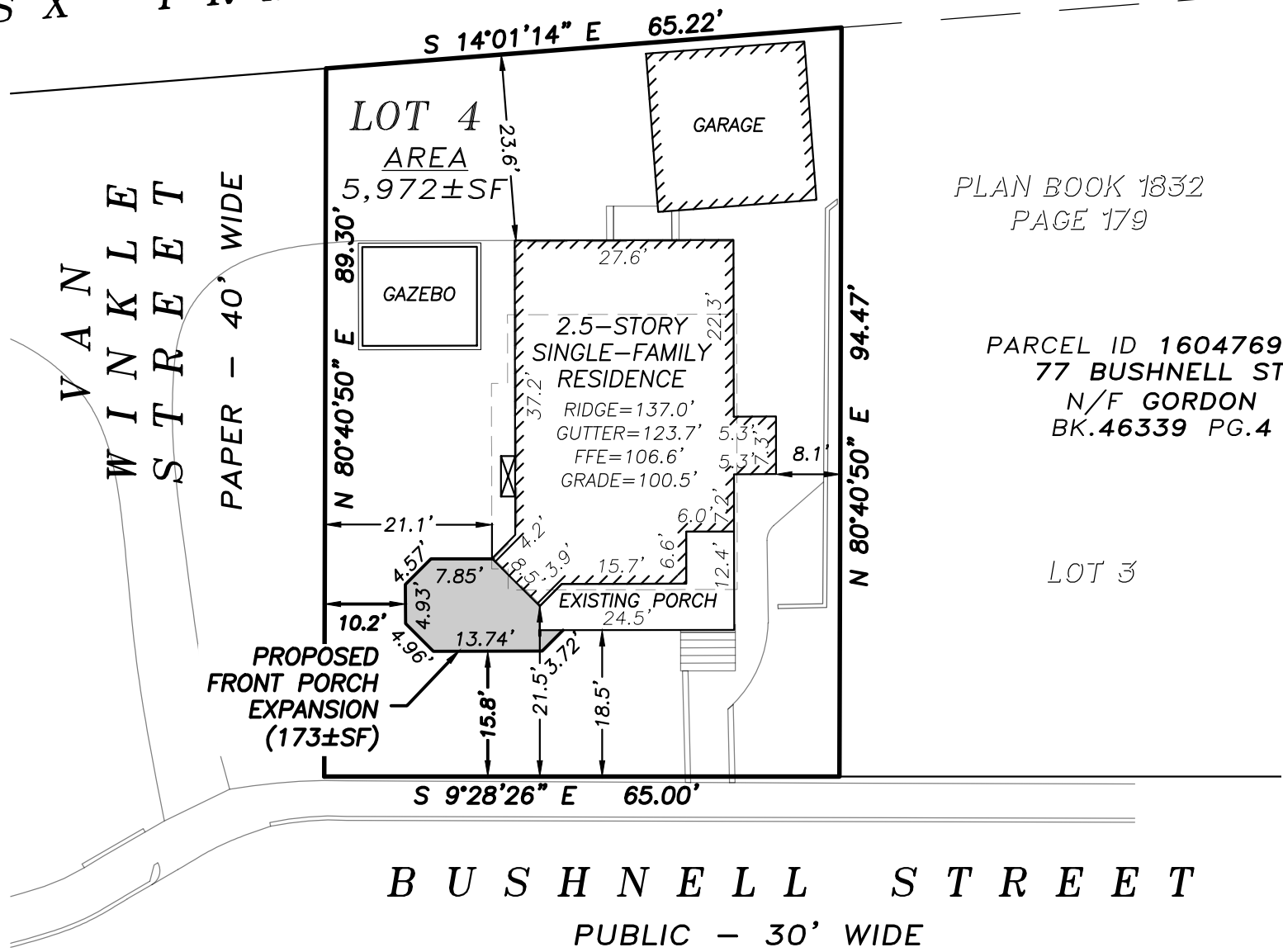
For the exclusive use of:
ABDELKARIM GOUZOULE
81 BUSHNELL STREET
DORCHESTER, MASSACHUSETTS 02124

**M.T. ADAMS & ASSOCIATES
PRECISION SURVEY & MAPPING**

163 Highland Ave, No. 1106, Needham, Massachusetts 02494
Phone: (978) 641-1727 www.masurveying.net

Date: 12-15-2025	Revised: 12-22-2025	Revised:
Scale: 1"=20'	Drawn by: M.T.A.	Sheet 1 of 1 Sheet
Drawing: Bushnell St 81 CPP.dwg		A.P.N. 160477

C S X T R A N S P O R T A T I O N R A I L R O A D



PLAN BOOK 1832
PAGE 179

PARCEL ID 1604769000
77 BUSHNELL ST
N/F GORDON
BK.46339 PG.4

LOT 3

ABBREVIATIONS:

- CONC. INDICATES CONCRETE
- FFE INDICATES FINISH FLOOR ELEVATION
- NG INDICATES NATURAL GROUND

PROPERTY NOTES:

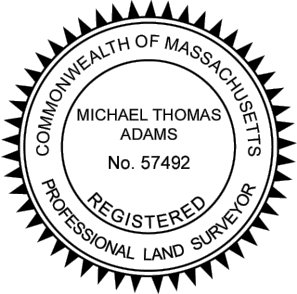
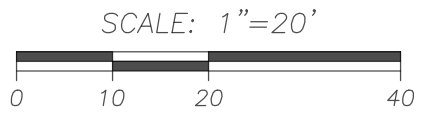
- FLOOD PLAIN NOTE: NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25025C0091J, WITH A DATE OF IDENTIFICATION OF MARCH 16, 2016; FOR COMMUNITY NO. 250286, IN THE CITY OF BOSTON, COUNTY OF SUFFOLK, STATE OF MASSACHUSETTS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
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PROPERTY INFO:

ADDRESS: 81 BUSHNELL STREET
OWNER: ABDELKARIM GOUZOULE
ASSESSORS: PARCEL ID: 1604770000
DEED: SUFFOLK BK.33168 PG.251

ZONING DISTRICT - DORCHESTER NEIGHBORHOOD
SUBDISTRICT 1F-7000

	REQUIRED	EXISTING
LOT AREA	7,000 SF	5,972±SF
FRONTAGE	60'	65'
FRONT YARD	15'	18.5'
SIDE YARD	12'	8.1'
REAR YARD	40'	23.6'
BLDG HEIGHT	35'(MAX)	30'
OPEN SPACE	1,750 SF	3,057±SF



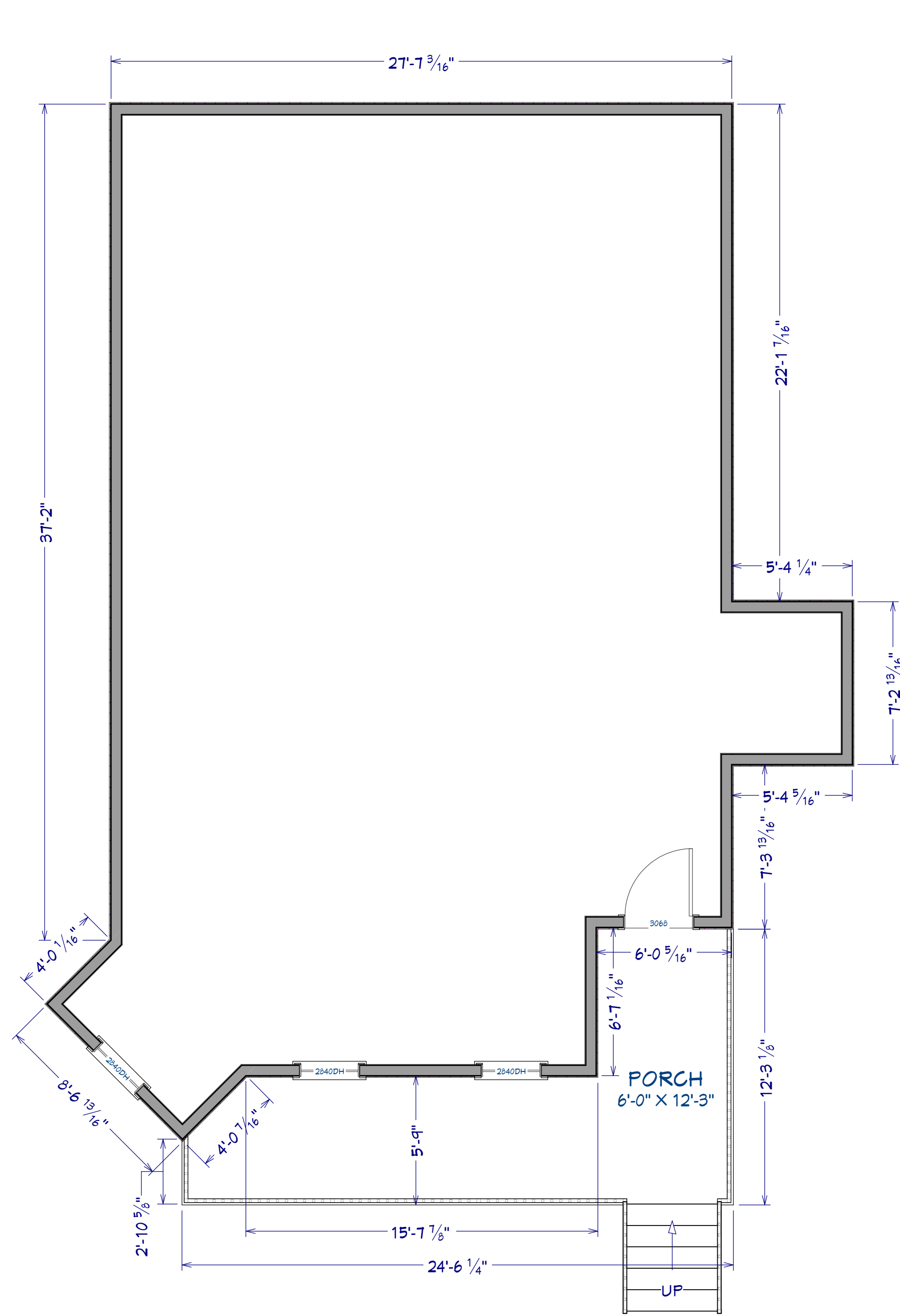
Michael T. Adams
MICHAEL T. ADAMS, P.L.S. 57492

CERTIFIED PLOT PLAN - PROPOSED CONDITIONS

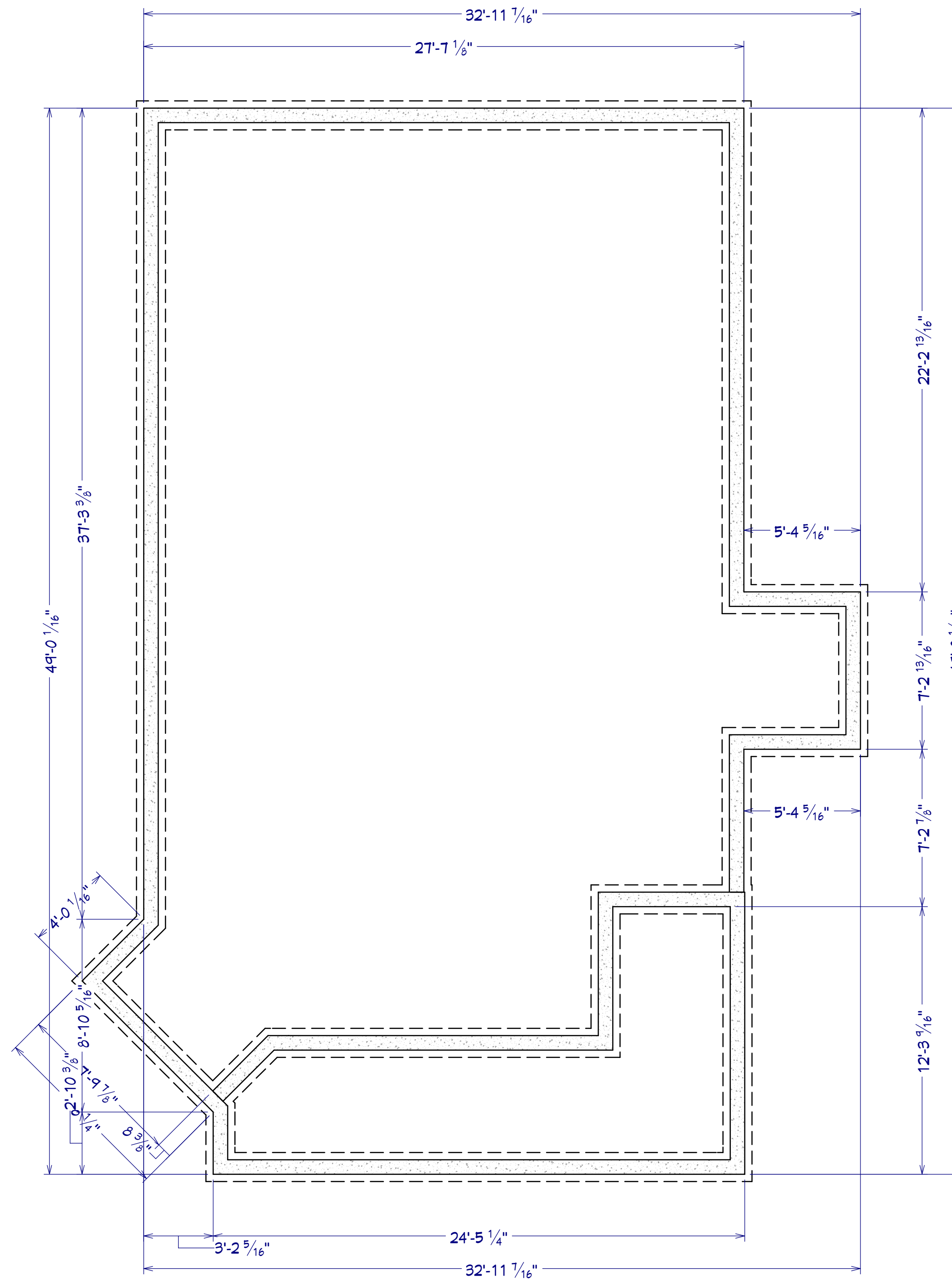
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PRECISION SURVEY & MAPPING
163 Highland Ave, No. 1106, Needham, Massachusetts 02494
Phone: (978) 641-1727 www.masurveying.net

Date: 12-22-2025	Revised:	Revised:
Scale: 1"=20'	Drawn by: M.T.A.	Sheet 1 of 1 Sheet
Drawing: Bushnell St 81 CPP.dwg		A.P.N. 160477



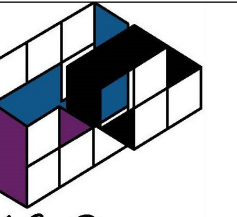
1ST FLOOR
1/4 IN = 1 FT



FOUNDATION
1/4 IN = 1 FT



C1 CAMERA 1
3/16 IN = 1 FT



2024 LC DESIGNS INTELLECTUAL
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LC DESIGNS, 2208 E DORR ST.
GODDARD, KS 67052
316-518-0711

NUMBER				DATE				REVISED BY				DESCRIPTION			

EXISTING AS BUILT
LAYOUT

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA

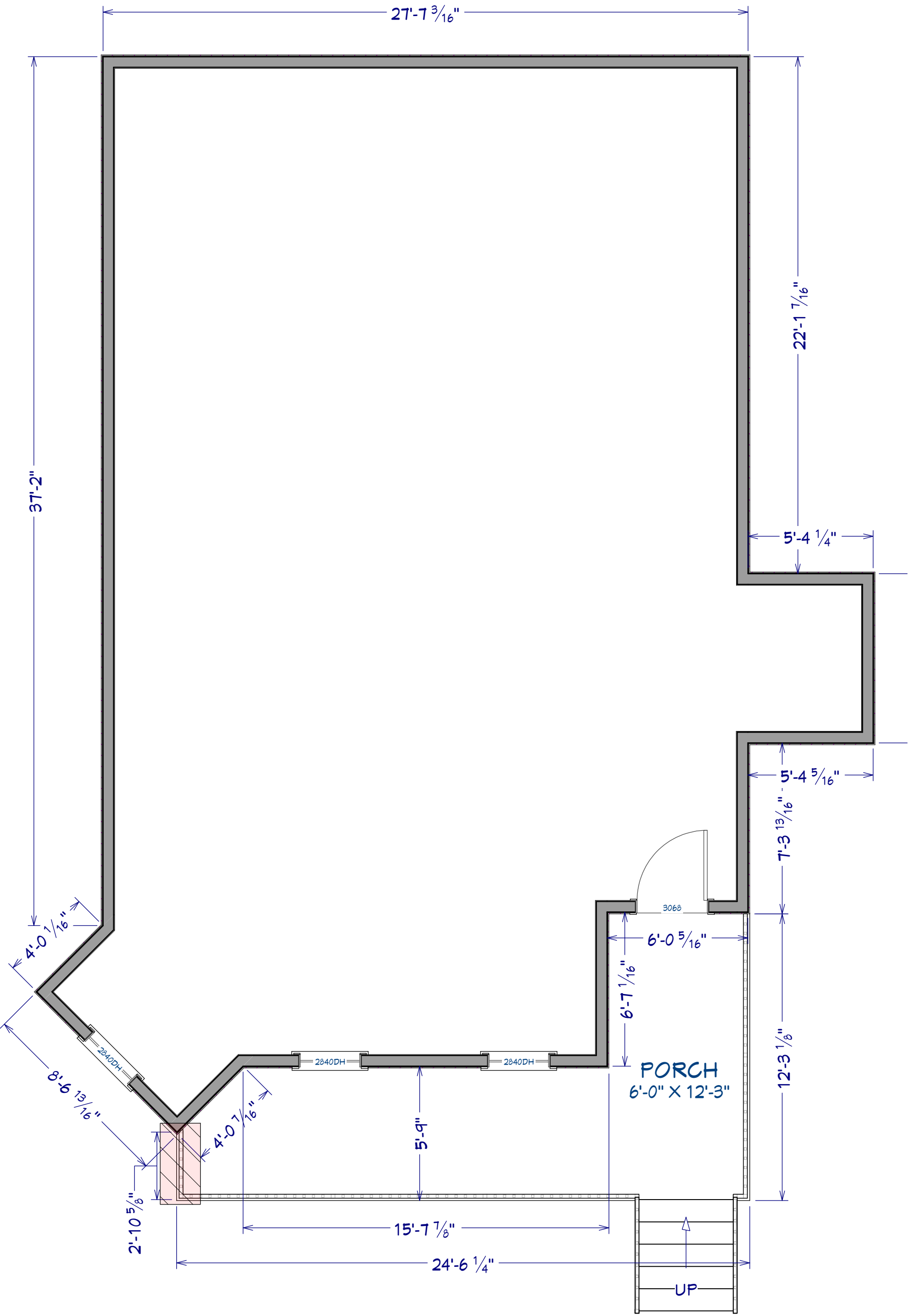
MEMBER



SHEET:

P-1

 - DEMO AREA



1ST FLOOR
1/4 IN = 1 FT

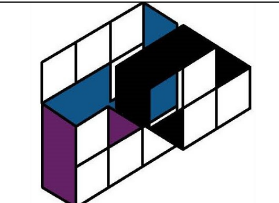
NARRATIVE:
REMOVE EXISTING PORCH ROOF AND ANY OTHER WOOD
THAT WARRANTS REPLACEMENT UNDER IRC GUIDELINES.
INSTALL NEW PATIO FOUNDATION AND SLAB TO MATCH
EXISTING PATIO FINISHED FLOOR

REMOVE EXISTING ROOF

REMOVE RAILING



C1 CAMERA 1
1/4 IN = 1 FT



LC Designs

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REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

DEMOLITION PLAN

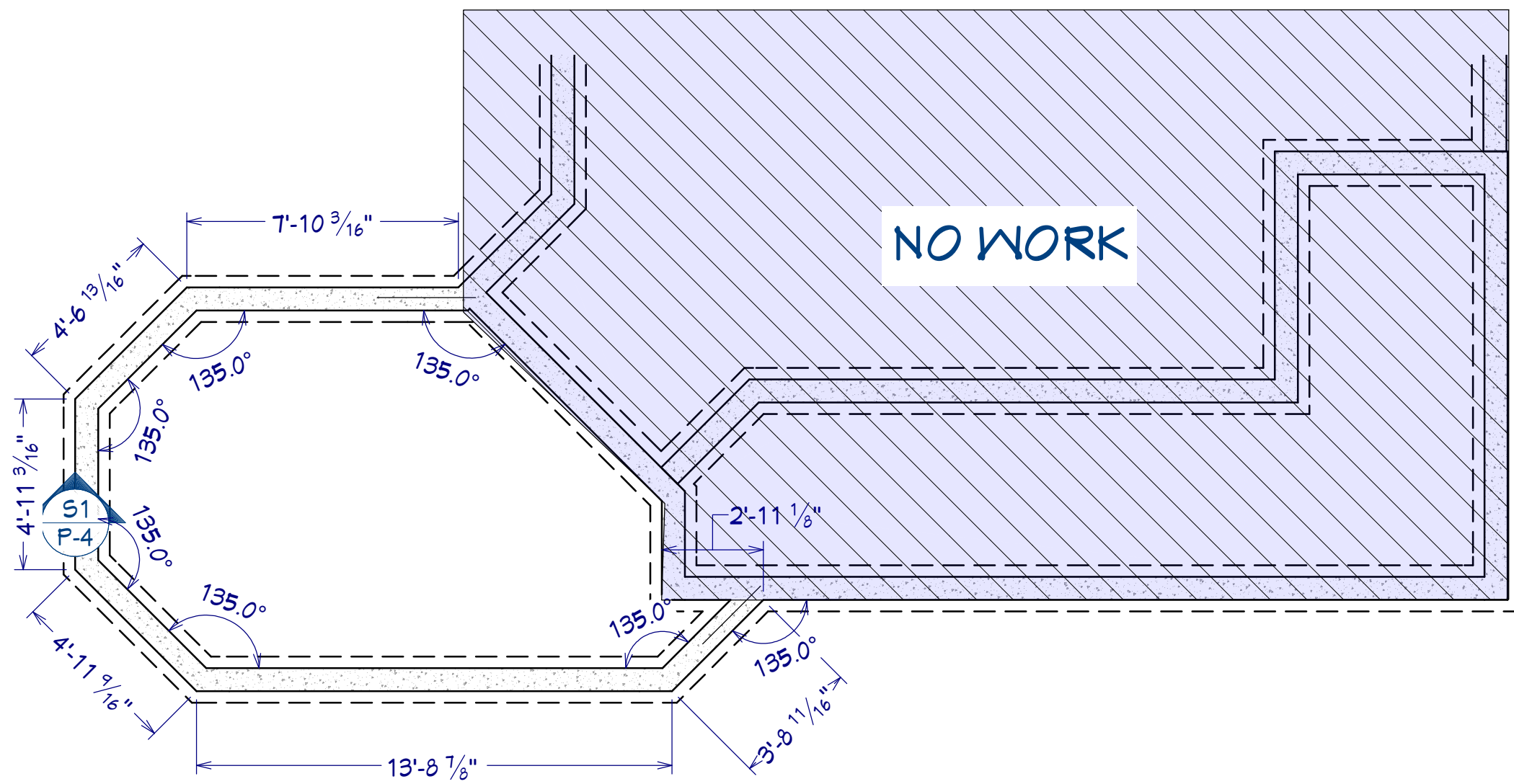
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81 BUSHNELL ST
DORCHESTER, MA

MEMBER

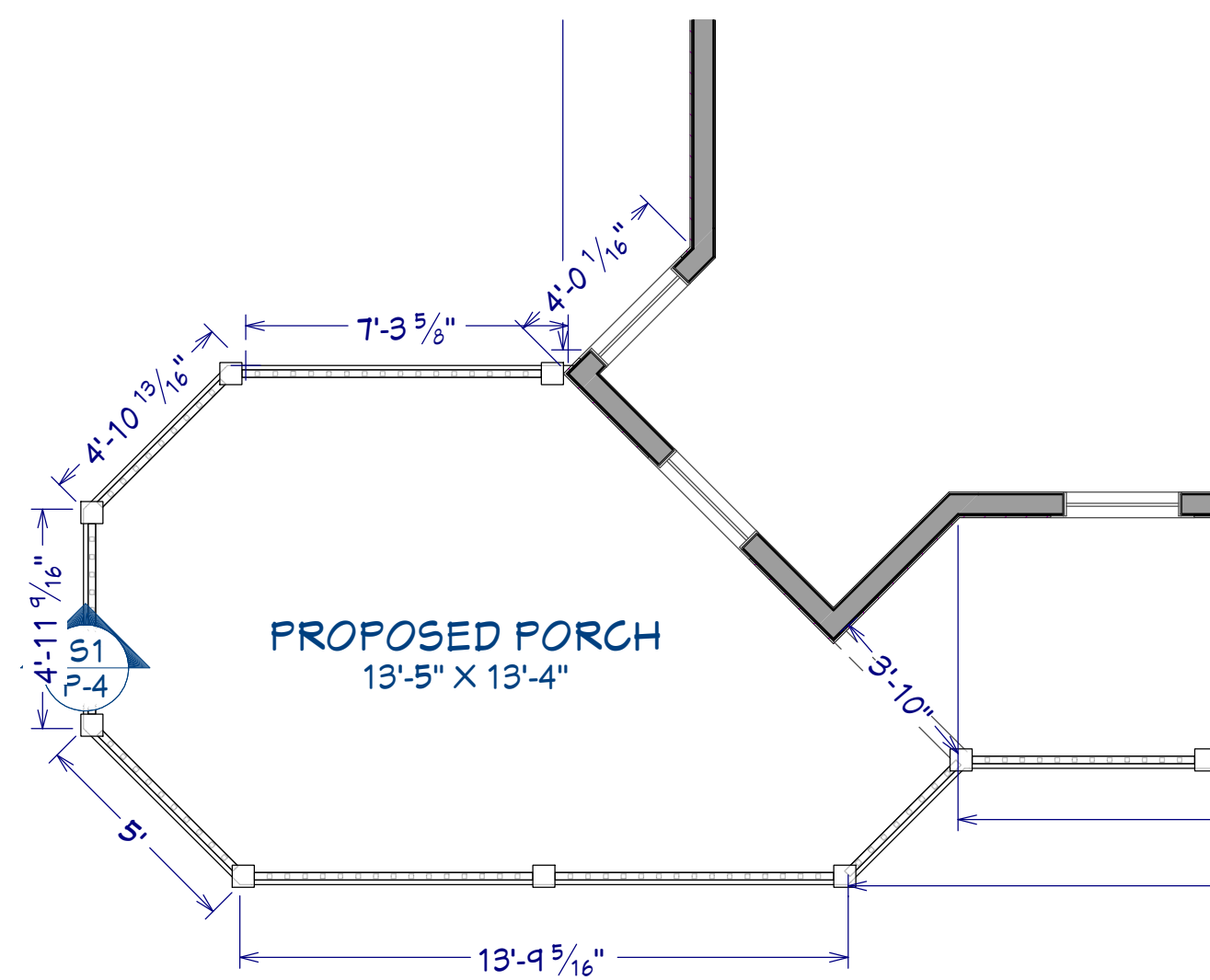
A I B D

AMERICAN INSTITUTE of
BUILDING DESIGN

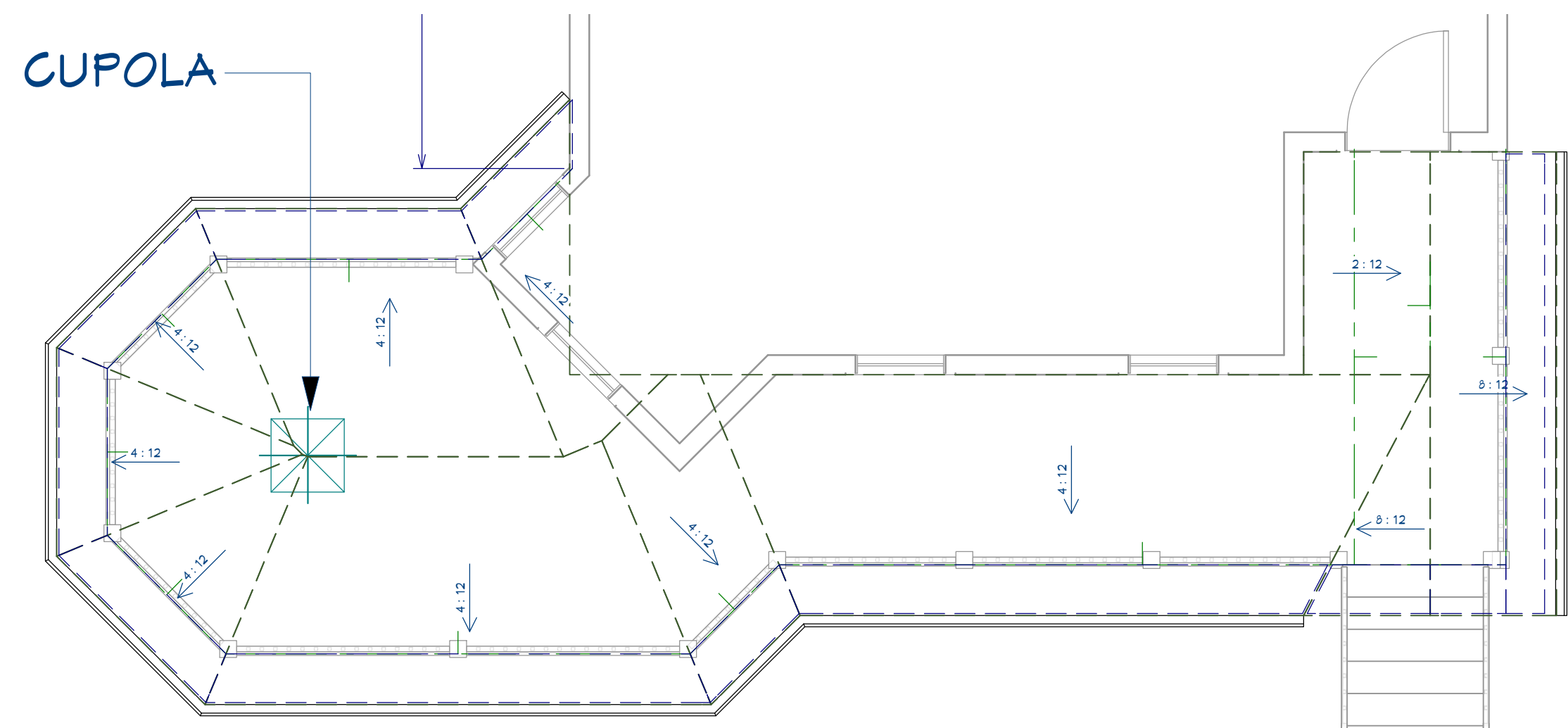
SHEET:
P-2



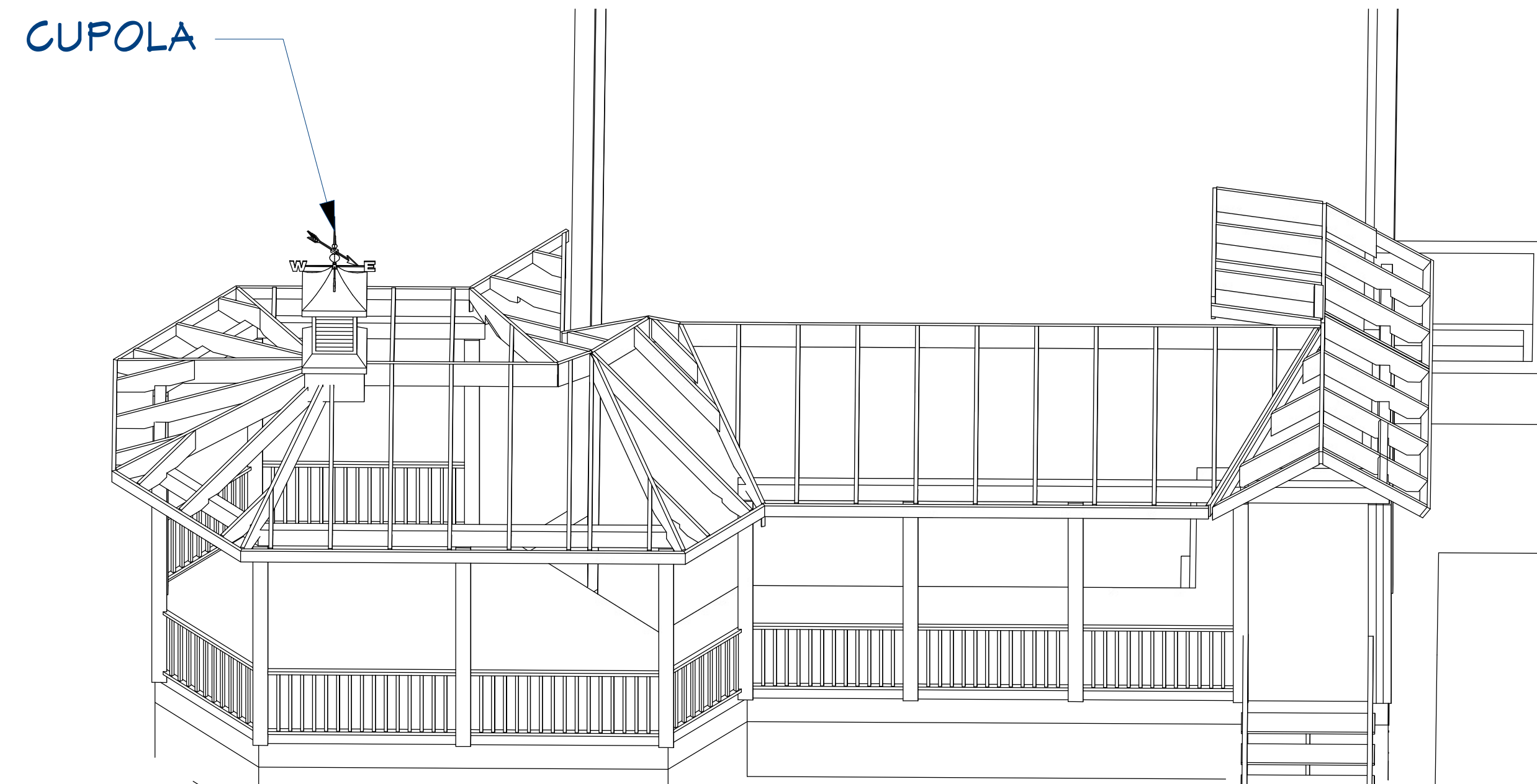
PROPOSED FOUNDATION
1/4 IN = 1 FT



PROPOSED PORCH
13'-5" X 13'-4"
1/4 IN = 1 FT



ROOF PLAN
1/4 IN = 1 FT

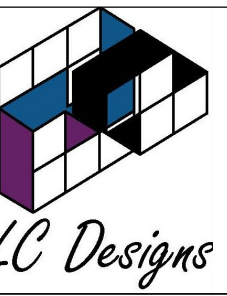


3D FRAMING VIEW
1/4 IN = 1 FT



E1 ELEVATION 1
1/4 IN = 1 FT

CIVIL/STRUCTURAL ONLY



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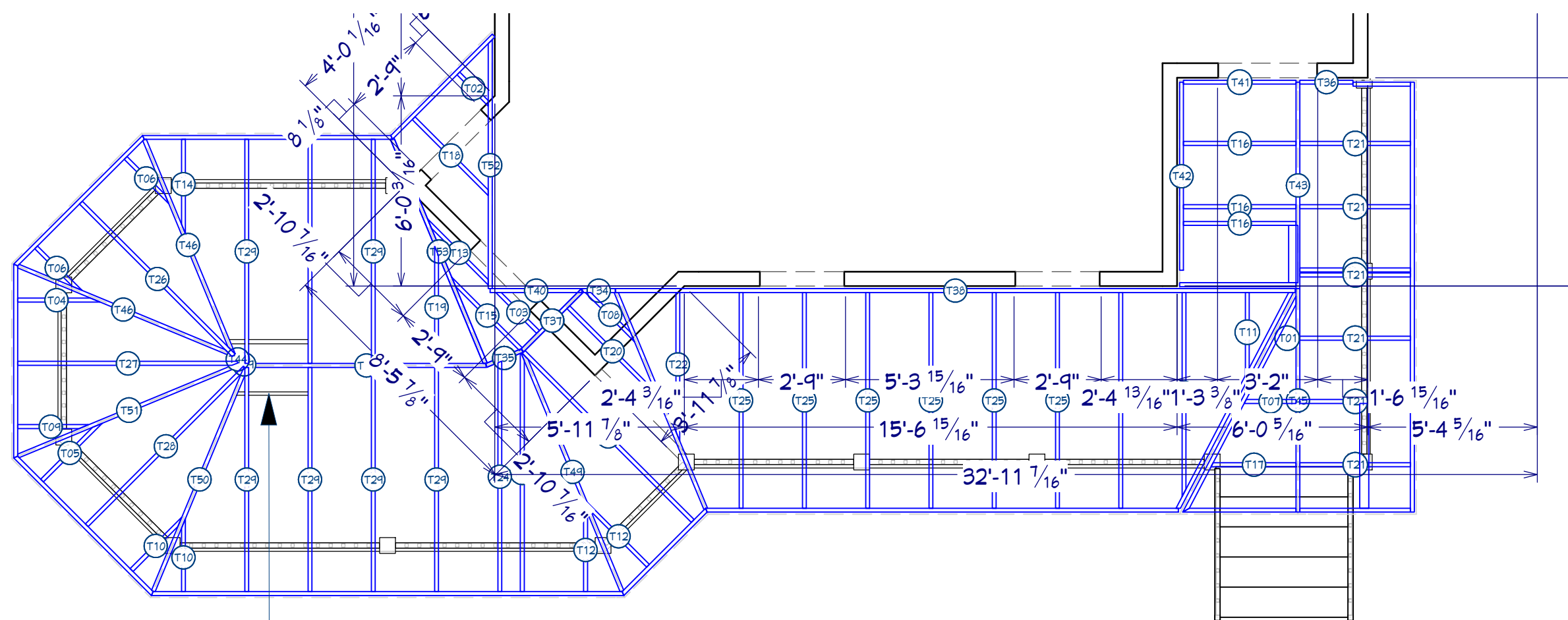
REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

PROPOSED LAYOUT

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA

MEMBER
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SHEET:
P-3



FRAMING, ROOF PLAN VIEW

1/4 IN = 1 FT

2X10 BLOCKING AS NEEDED FOR CUPOLA

ROOF FRAMING SCHEDULE						
NUMBER	NAME	QTY	NOMINAL	LENGTH	MATERIAL	TYPE
T01	RAFTER	1	2X10	1'-2 3/16"	FIR FRAMING 1	LUMBER
T02	RAFTER	1	2X10	1'-8 9/16"	FIR FRAMING 1	LUMBER
T03	RAFTER	1	2X10	2'-1 15/16"	FIR FRAMING 1	LUMBER
T04	RAFTER	1	2X10	2'-11 11/16"	FIR FRAMING 1	LUMBER
T05	RAFTER	1	2X10	2'-11 7/8"	FIR FRAMING 1	LUMBER
T06	RAFTER	2	2X10	2'-3 13/16"	FIR FRAMING 1	LUMBER
T07	RAFTER	1	2X10	2'-5 1/2"	FIR FRAMING 1	LUMBER
T08	RAFTER	1	2X10	2'-6 1/4"	FIR FRAMING 1	LUMBER
T09	RAFTER	1	2X10	2'-7 1/16"	FIR FRAMING 1	LUMBER
T10	RAFTER	2	2X10	2'-7 7/8"	FIR FRAMING 1	LUMBER
T11	RAFTER	1	2X10	3'	FIR FRAMING 1	LUMBER
T12	RAFTER	2	2X10	3'-1 7/8"	FIR FRAMING 1	LUMBER
T13	RAFTER	1	2X10	3'-2 1/2"	FIR FRAMING 1	LUMBER
T14	RAFTER	1	2X10	3'-4 1/2"	FIR FRAMING 1	LUMBER
T15	RAFTER	1	2X10	3'-6 5/8"	FIR FRAMING 1	LUMBER
T16	RAFTER	3	2X10	3'-8 13/16"	FIR FRAMING 1	LUMBER
T17	RAFTER	1	2X10	3'-8 5/8"	FIR FRAMING 1	LUMBER
T18	RAFTER	1	2X10	3'-9 15/16"	FIR FRAMING 1	LUMBER
T19	RAFTER	1	2X10	4'-1 11/16"	FIR FRAMING 1	LUMBER
T20	RAFTER	1	2X10	4'-6 9/16"	FIR FRAMING 1	LUMBER
T21	RAFTER	7	2X10	4'-8 5/8"	FIR FRAMING 1	LUMBER
T22	RAFTER	1	2X10	5'-2 1/8"	FIR FRAMING 1	LUMBER
T23	RAFTER	1	2X10	7'-0 7/16"	FIR FRAMING 1	LUMBER
T24	RAFTER	1	2X10	7'-11 3/16"	FIR FRAMING 1	LUMBER
T25	RAFTER	7	2X10	7'-5 5/16"	FIR FRAMING 1	LUMBER
T26	RAFTER	1	2X10	7'-5 7/16"	FIR FRAMING 1	LUMBER
T27	RAFTER	1	2X10	7'-7 5/16"	FIR FRAMING 1	LUMBER
T28	RAFTER	1	2X10	7'-8 1/2"	FIR FRAMING 1	LUMBER
T29	RAFTER	7	2X10	7'-8 11/16"	FIR FRAMING 1	LUMBER
T30	RAFTER	1	2X10	8'-2 11/16"	FIR FRAMING 1	LUMBER
T31	RAFTER	1	2X10	8'-2 7/16"	FIR FRAMING 1	LUMBER
T34	RAFTER RIDGE	1	2X12	1'-3 9/16"	FIR FRAMING 1	LUMBER
T35	RAFTER RIDGE	2	2X12	1'-4 3/8"	FIR FRAMING 1	LUMBER
T36	RAFTER RIDGE	1	2X12	2'-7 3/4"	FIR FRAMING 1	LUMBER
T37	RAFTER RIDGE	2	2X12	2'-8 1/8"	FIR FRAMING 1	LUMBER
T38	RAFTER RIDGE	1	2X12	21'-5 7/8"	FIR FRAMING 1	LUMBER
T39	RAFTER RIDGE	1	2X12	3 1/2"	FIR FRAMING 1	LUMBER
T40	RAFTER RIDGE	1	2X12	3'-2 1/2"	FIR FRAMING 1	LUMBER
T41	RAFTER RIDGE	1	2X12	3'-9 1/8"	FIR FRAMING 1	LUMBER
T42	RAFTER RIDGE	1	2X12	5'-11 3/8"	FIR FRAMING 1	LUMBER
T43	RAFTER RIDGE	1	2X12	6'-6 3/8"	FIR FRAMING 1	LUMBER
T44	RAFTER RIDGE	1	2X12	7 1/8"	FIR FRAMING 1	LUMBER
T45	RAFTER RIDGE	1	2X12	7'-0 13/16"	FIR FRAMING 1	LUMBER
T46	RAFTER RIDGE	2	2X12	7'-11 7/8"	FIR FRAMING 1	LUMBER
T47	RAFTER RIDGE	1	2X12	7'-6 13/16"	FIR FRAMING 1	LUMBER
T48	RAFTER RIDGE	1	2X12	8'-0 11/16"	FIR FRAMING 1	LUMBER
T49	RAFTER RIDGE	1	2X12	8'-10 1/4"	FIR FRAMING 1	LUMBER
T50	RAFTER RIDGE	1	2X12	8'-3 13/16"	FIR FRAMING 1	LUMBER
T51	RAFTER RIDGE	1	2X12	8'-3 3/8"	FIR FRAMING 1	LUMBER
T52	RAFTER RIDGE	1	2X12	8'-3 5/8"	FIR FRAMING 1	LUMBER
T53	RAFTER RIDGE	2	2X12	8'-4 1/8"	FIR FRAMING 1	LUMBER

FOUNDATION TO MATCH EXISTING

2X12 LEDGER

2X12 RIDGE BEAM (TYP)

2X10 RAFTER (TYP)

6X6 POST (TYP)

C3 FRAMING INSOMETRIC

1/4 IN = 1 FT

SIMPSON A35 @ EACH RAFTER/RIDGE CONN.

SIMPSON H2.5T @ EACH RAFTER/BREAM CONN.

RAFTER/RIDGE

6X8 BEAM

SIMPSON BC66

6X6 POST

SIMPSON ADU66

1/2" ANCHOR BOLT FOR ADU

8" CONCRETE WALL

#4 BARS @ 9" O.C. EACHWAY

(3) #4 BARS, EQ SPACED, CONT. CENTERED.

#4 BARS @ 12" O.C. 3" CLR OUTSIDE FACE

20"X10" SPREAD FOOTING

S1 CROSS SECTION 1

1/2 IN = 1 FT

REVISION TABLE		
NUMBER	DATE	REVISION

STRUCTURAL
DETAILS

ABDEL G
81 BUSHNELL ST
DORCHESTER, MA

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P-4



ASCE Hazards Report

Address:

81 Bushnell St
Dorchester Center, Massachusetts
02124

Standard:

ASCE/SEI 7-22

Risk Category: II

Soil Class:

Default

Latitude:

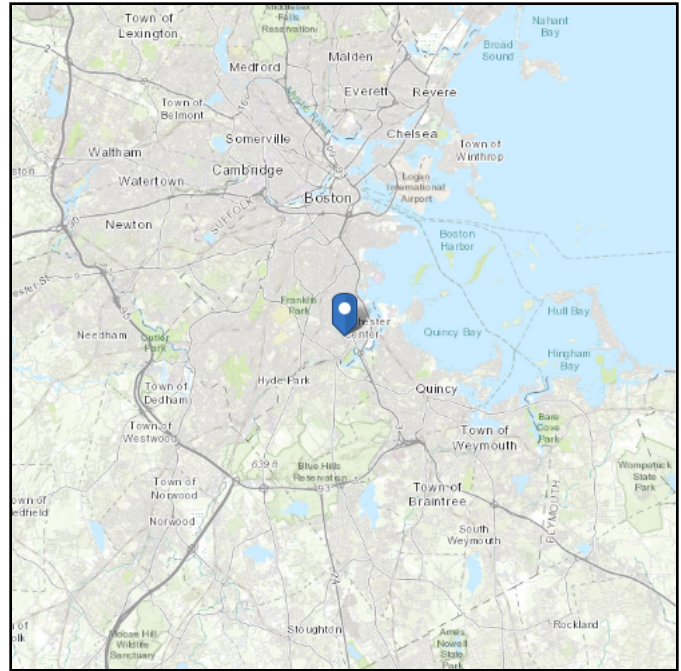
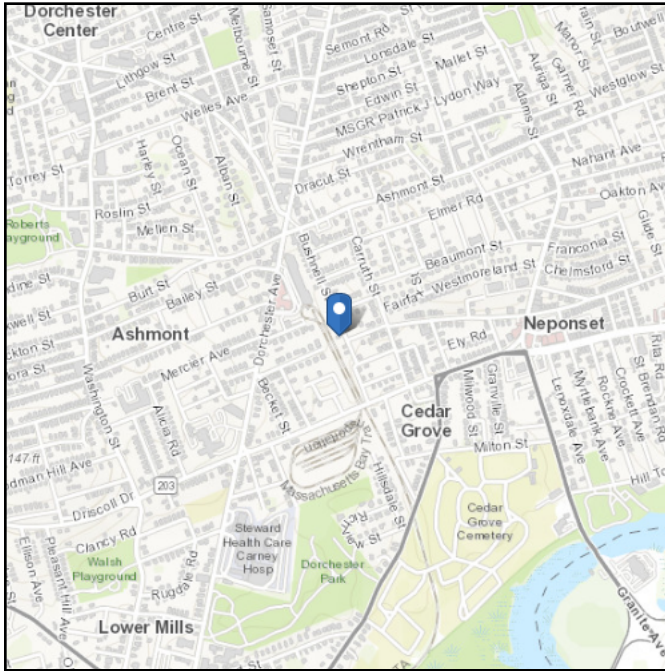
42.283059

Longitude:

-71.062371

Elevation:

31.04109250250128 ft
(NAVD 88)



Wind

Results:

Wind Speed	116 Vmph
10-year MRI	74 Vmph
25-year MRI	83 Vmph
50-year MRI	92 Vmph
100-year MRI	99 Vmph
300-year MRI	109 Vmph
700-year MRI	116 Vmph
1,700-year MRI	125 Vmph
3,000-year MRI	129 Vmph
10,000-year MRI	139 Vmph
100,000-year MRI	160 Vmph
1,000,000-year MRI	183 Vmph

Data Source:

ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2

Date Accessed:

Sun Dec 21 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2. Glazed openings need not be protected against wind-borne debris.

Results:

Ice Thickness: 1.09 in.
Concurrent Temperature: 15 F
3-s Gust Speed 50 mph

Data Source: Standard ASCE/SEI 7-22, Figs. 10-2 through 10-8

Date Accessed: Sun Dec 21 2025

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain for 250, 500, 1,000, and 1,400-year mean recurrence intervals along with concurrent 3-s gust speeds and concurrent air temperatures. The shading indicates special icing regions, with elevations above 2,100 ft (640 m) in the east, 6,000 ft (1829 m) in the west, and 1,600 ft (488 m) in Alaska, with sparse weather station data for determining design ice loads. In these regions, as well as in regions with complex terrain causing unusual icing conditions and regions where snow or in-cloud icing results in larger loads, the mapped values should be adjusted based on a combination of local historical records and experience, reanalysis data, and numerical weather prediction systems.

Snow

Results:

Ground Snow Load, p_g : 70 lb/ft²
20-year MRI Value: 29.02 lb/ft²
Winter Wind Parameter: 0.55
Mapped Elevation: 36.2 ft

Data Source: ASCE/SEI 7-22, Figures 7.6-1 and 7.6-2 A-D

Date Accessed: Sun Dec 21 2025

Values provided are ground snow loads. In areas designated "case study required," extreme local variations in ground snow loads preclude mapping at this scale. Site-specific case studies are required to establish ground snow loads at elevations not covered.

Snow load values are mapped to a 0.5 mile resolution. This resolution can create a mismatch between the mapped elevation and the site-specific elevation in topographically complex areas. Engineers should consult the local authority having jurisdiction in locations where the reported 'elevation' and 'mapped elevation' differ significantly from each other.

Ground Snow Loads for IRC only, $p_{g(asd)}$: 49.0 lb/ft²

The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided “as is” and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE standard.

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