



City of Boston
Planning Department

Planning Department Design Review Provisos
173-175 Walnut Street, Dorchester
Boston, MA
NDOD
18 August 2025



08/28/2025

General

1. All changes to the exterior and/or site plans shall be submitted to the Planning Department for review and approval.
2. All building improvements shall be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department.
3. All site improvements, including but not limited to hardscape and plantings, must be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the Planning Department for a delay in completing the site improvements.

Landscape/Street/Site

4. All new trees shall have a minimum caliper of 3-inch caliper.
5. Existing trees on the parcel shall be prioritized for preservation when considering lot coverage and building footprint. Mature, healthy and native trees of 6" caliper and above are particularly significant and should be protected to the greatest extent possible. Where impacts are unavoidable and trees must be removed, trees shall be mitigated as specified in the following:
 - a. Tree replacement shall be based on 1:1 ratio, based on caliper size of removed trees.
 - b. Replacement trees are to be planted in landscaped areas within the project site, or off-site in the near vicinity (in open pits or other available areas in the general location of the project), with approval by the City.
 - c. The Proponent shall be responsible for installation of trees, and maintenance of newly planted trees for at least 24 months after the date of Final Inspection, or issuance of a Certificate of Occupancy.
6. Existing street trees within the public right of way are to be protected and retained. Building, building protrusions, and construction shall not negatively impact the existing street tree, critical root zone, nor impede the healthy growth of the tree's canopy.

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- a. Where impacts are unavoidable and public street trees must be removed, the proponent must apply for tree removal approval from the City's Tree Warden and provide mitigation as specified by the Parks and Recreation Department.
7. Fences shall be of high-quality material; wood or metal is preferred. Chain link fencing is not preferred, especially in front yards; if chain-link is used, it must be vinyl-coated chain link in combination with landscaping. Fences shall not be higher than 6'-0" without ZBA approval. Fences of 6'-0" height are only allowed for rear yards. Front yard fences should not be taller than 42" (3'-6").
8. Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
9. Parking shall be located in the rear, as such that it is not visible from the public realm, wherever possible. Parking shall not be located in the front yard. Screening and buffering shall be provided between parking and the public right of way, and from your neighbors if space allows. A minimum five (5) foot wide buffer is encouraged. Parking shall not be partially covered by the building; it should be wholly within the footprint of the building and screened or entirely outside the building footprint.
10. Curb-cuts should be limited to 10ft wide for residential projects, and 20ft wide for commercial projects. The pedestrian sidewalk must be continuous over the access driveway.
11. Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
12. Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces. Project sites located in a Groundwater Conservation Overlay District (GCOD) are strongly encouraged to maximize permeable surfaces on their site.
13. Public sidewalks fronting the project site should be upgraded to meet the Americans with Disabilities Act (ADA) minimum 4' wide clear path of travel (exclusive of the 6" curb).
14. Projects are encouraged to provide usable open space for its residents. Open space at the ground level is encouraged to contribute to an active and engaging public realm, such as at-grade courtyards or garden spaces. Balconies, terraces, accessible rooftops, green roofs, and other means of providing above-grade amenities are also encouraged.



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Building

15. No more than 12" of the foundation shall be exposed.
16. Masonry: Brick veneer must be at least one full wythe of brick deep. Thin brick will not be allowed.
17. Stucco: Stucco must be a traditional hard-coat stucco exterior system. An Exterior Insulation and Finish System (EIFS) is not approved.
18. Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. Shingles shall be wood or fiber-cement. All trim (corner boards, door/window casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.
19. Doors: All doors including garage doors should be wood. Metal or vinyl doors will not be allowed. Fiberglass doors may be considered as long as the detailing and finish matches wood doors and has a painted finish. All doors facing the street including garage doors shall have translucent panels.
20. Windows: Windows should be wood or wood clad in another material, such as aluminum, fiberglass, or vinyl. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
21. Window and door trim shall have the following minimum dimensions: 4" casings with 5" or 6" trim at head. Cornerboards shall be 8" wide at minimum.
22. All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.
23. Pressure treated lumber will not be allowed as an externally visible material for exterior decking. All pressure treated wood exposed to public views on the site shall be covered and shielded from view. Use of PVC, composite, and/or natural wood materials is acceptable.
24. Access to roof decks shall be through a hatch, not headhouse.
25. Where applicable: Dormers: Shed dormers should have a slope ratio of 3.5 to 12 minimum. They shall be held from the sides of the roof 3'-0" and from the edge of the roof (in the direction the dormer faces) 1'-6" or the minimum dimension is necessary to allow a visible portion of roof to pass in front of the dormer.
26. Where applicable: Dormers: Gable dormers shall be held down from the roof ridge 1'-0" minimum. They shall be held from the sides of the roof 3'-0" and from the edge

of the roof (in the direction the dormer faces) 1'-6" or whatever minimum dimension is necessary to allow a visible portion of roof to pass in front of the dormer.

Mechanical

27. The final location of the HVAC compressors, gas meters, electric meters, generators, switchgear, and transformers shall be adequately screened from public view and will not be allowed in the front yard.
28. All mechanical vents shall be through the roof or rear wall and shall not be visible from the public street. Vents located on elevations that do not directly face a public way should be composed on the facade so as to minimize their appearance.

Project Specific

29. All insulated glass windows and doors with mullions and/or muntins must have specifications that state, true simulated divided lites with black spacers. This label must appear on all elevations where these windows occur.

DS

APPROVED	
Design Section BOSTON REDEVELOPMENT AUTHORITY	
Design Review for the Board of Appeal	 Signature

08/28/2025



STREET VIEW LOOKING SOUTHEAST



STREET VIEW LOOKING NORTH

PROPOSED 14-UNIT RESIDENTIAL DEVELOPMENT 173-175 WALNUT STREET, DORCHESTER, MA

	5/13/25				
	BOSTON ZONING CODE REVIEW				
	1.)	Parcel 1602615000 is located within MFR zoning sub-district, and Neighborhood Design overlay district.			
	2.)	The lot is: 19,823 sf +/-.			
	3.)	Existing occupancy: vacant land.			
	4.)	The proposed 14-unit residential development contains 19,550.0 FAR sf.			
	5.)	In MFR sub-districts, multi-family dwelling is an allowed use-as is accessory parking.			
	6.)	The lot is located flood zone AE with FBE: 17.45' BCD. Per 780 CMR Sec.1612.4, Design & Construction, FFE Required: 18.50' BCD. Per City Sea Level Rise - Base Flood Elevation Map, FFE Proposed: 19.50' BCD. And lowest level of living and all critical infrastructure, FFE Proposed 21.50' BCD.			
	7.)	Article 65 Dimensional Regulations: (any other dwelling)			
			Table C		
√	Item	Zone	Req'd/Allowed	New 14-unit bldg.	Remarks
	a.) Lot size min.	MFR	4,000 sf for 4 units	19,823 sf +/-	
	b.) Lot area min./add'l unit	"	1,000 sf/add'l unit	14,000 sf	
	c.) Lot width/frontage min.	"	30.0'	81.58'	
	d.) Floor to area ratio	"	1	0.98 ~ 1.0	Note 5
	e.) Height of building max.	"	3 st/35 ft	3 st/35 ft	at avg. sidewalk, Note 7
	f.) Usable open space/D.U.	"	400 sf/D.U. (504 sf)	608 sf/D.U.	Table C, note 6
	g.) Front yard min. depth	"	2 ft per modal yard	2 ft per modal plan	Notes 1 & 2
	h.) Side yard min. depth	"	10 ft	10' (LT) & 10' (RT)	
	i.) Rear yard min. depth	"	30 ft.	30 ft	
	j.) Rear yard max. occ. bldg.	MFR	25%	N/A	
	k.) Off-street loading	MFR	Area provided on site	Area provided on site	See A02.
	l.) Off-street parking	Table F	18 spaces total	18 spaces	Notes 3 & 4
			(1-3 units: 1.0 or 3 sp)		
	√ denotes zoning relief required		(4-9 units: 1.25 or 7.5 sp)		LT - Left Side
			(10+ units: 1.5 or 7.5 sp)		RT - Right Side
	Note 1: Sec. 65-45.2, Conformity w/existing building alignment. See Modal Alignment Plan.				
	Note 2: Table C, note 3, bay window may protrude into a front yard.				
	Note 3: Sec. 65-41, off-street parking design.				
	Note 4: Per 521 CMR 23.2.1, two accessible spaces required.				
	Note 5: 19,500 FAR sf ÷ 19,823 sf lot = 0.98 ~ 1.0 FAR				
	Note 6: 8,507 sf Open Space ÷ 14 D.U. = 608 sf/ D.U.				
	Note 7: Mean level of gable roof per Art. 2A, Building Height				



Net Square Footage*			
Level	Bldg SF	FAR GSF*	
G	8,702.0 sf	3,044.0 sf	
2	9,028.0 sf	8,253.0 sf	
3	9,028.0 sf	8,253.0 sf	
Totals	26,758.0 sf	19,550.0 sf	
*FAR gross square footage is measured to ext. face of walls and dimising walls and excludes basement, storage, laundry and mechanical areas.			

PROJECT INFO:

Address: 173-175 Walnut Street, Dorchester, MA

Exist. Occupancy: Vacant Land

Proposed Occupancy: R-2, Multi-Family

Lot: 19,823 sf +/-

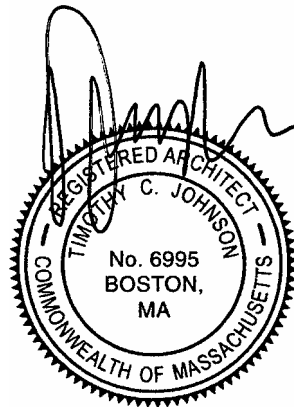
Parcel: 1602615000

District: MFR

Ward: 16

SCHEDULE OF DRAWINGS

- A00 PROJECT INFORMATION
- A0.1 CODE OVERVIEW
- C01 ARCHITECTURAL SITE PLAN
- C02 COASTAL RESILIENCY PLAN
- 001 MODAL ALIGNMENT PLAN
- L01 LANDSCAPE PLAN
- V01 PERSPECTIVE VIEWS
- A01 FOUNDATION PLAN
- A02 GROUND FLOOR PLAN
- A03 SECOND FLOOR PLAN
- A04 THIRD FLOOR PLAN
- A05 ROOF PLAN
- A06 1-1 BUILDING SECTION
- A07 2-2 BUILDING SECTION
- A08 3-3 BUILDING SECTION
- A09 4-4 BUILDING SECTION
- A10 5-5 BUILDING SECTION
- A11 WEST ELEVATION
- A12 EAST ELEVATION
- A13 SOUTH & NORTH ELEVATIONS
- A14 SCHEDULES
- A15 WALL/ FLOOR TYPES
- A16 WALL/FLOOR TYPES
- A17 WALL/ FLOOR TYPES
- A18 WALL/FLOOR TYPES
- A19 WALL/FLOOR TYPES



PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
599 EAST BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 14-UNIT RESIDENTIAL
DEVELOPMENT
173-175 WALNUT STREET
DORCHESTER, MA 02122

OWNER:
ESTUARY II DEVELOPMENT GROUP, LLC
51 THORNEY MEADOW WAY
HANOVER, MA 02339
TEL: 617-799-3580

REVISIONS

△	11/19/24	△	08/18/25
△	05/14/25	△	
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Tim Johnson Architect, LLC



PERMIT SET

DRAWING TITLE

PROJECT
INFORMATION

DATE: 03/27/24

SC: N. T. S.

A00

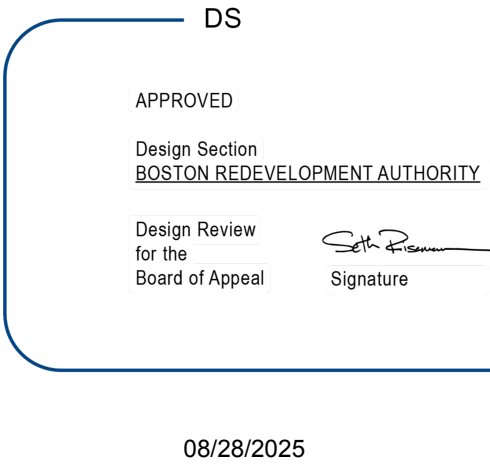
Project: New 3-story, 14-unit residential building w/garage
173-175 Walnut St., Boston, MA

- Applicable Codes: 2015 International Building Code (IBC) w/780 CMR MA Amendments., 9th ed.
2015 International Energy Conservation Code 2015
521 CMR Architectural Access Board 2006 (MAAB)
248 CMR Uniform State Plumbing Code 2017

General building areas:

Crawlspace: N/A
Ground flr. living: 3,044 sf
Garage flr. parking: 8,702 sf
Second floor living: 8,253 sf

Third floor living: 8,253 sf
Roof: N/A
Total living: 19,550 gsf



Type of construction:

Crawlspace: Type VA & Flood resistant materials per ASCE 24-14.

Ground flr. thru third flr.: Type VA

Per Table 506.2, building area: 'A' construction allows 1.0 hr. fire rating of floors & structure; and, 'B' construction allows 0.0 hr. fire rating of floors & structure.

IBC Sec. 310.4, Use and Occupancy:

- Use per floor: Ground/garage floor: R-2 & S-2, multi-fam/garage
Second thru third floors: R-2, multi-family

- Occupancy calculations per IBC Table 1004.1.2:

Floor	No. of people
Ground/garage floor: 11,746 sf ÷ 200 sf/occ =	59
Second floor: 8,253 sf ÷ 200 sf/occ =	41
Third floor: 8,253 sf ÷ 200 sf/occ =	41
TOTAL OCC:	141

IBC Table 506.2, Building Areas:

Occ. R-2 (SM) Type VA, allowable area: 36,000 sf; 19,550 sf proposed.

Occ. S-2 (SM) Type VA, allowable area: 63,000 sf; 8,702 sf proposed.

Note: SM - building equipped throughout w/an auto sprinkler system per Sec. 903.3.1.1.

IBC Sec. 510.2, Horizontal building separation allowance:

A building shall be considered separate and distinct where all the following conditions are met:

- The buildings are separated with a horizontal assembly having a fire-rating of not < 3 hrs.
- The building below the horizontal assembly is of Type IA construction.
- Shaft, stairway and ramp enclosures through the horizontal assembly shall have not < 2-hr fire-rating with opening protectives in accordance w/Section 716.5.

IBC Tables 601 & 602:

- Primary frame: IA - 3 hr. fire-resistance rating
Primary frame: VA - 1 hr. fire-resistance rating
- Bearing walls: IA (ext/int) - 3 hr. fire-resistance rating
Bearing walls: VA (ext/int) - 1 hr. fire-resistance rating
- Floor construction & associated struct. members: IA - 2 hr. fire-resistance rating
Floor construction & associated struct. members: VA - 1 hr. fire-resistance rating
- Exterior walls, non-bearing: IA & VA - 1 hr. fire- rating at 0.0' to < 30.0' fire separation distance
Note: Per Sec. 705.5, Fire-resistance ratings, exterior walls fire-rated in accordance w/Tables 601 & 602, exterior walls w/fire separation distance > 10 ft rated for exposure to fire from inside only. Exterior walls w/fire separation distance ≤ 10 ft rated for exposure to fire from both sides.

IBC Section 701.1, Fire & Smoke Protection Features:

- Sec. 705.8, max. area of exterior wall opngs. based on fire separation for sprinklered buildings: 0'<3' - not permitted; 3'<5' - 15%; 5'<10 - 25%; 10'<15' - 45%; 15'<20' - 75%; 20'<25' - no limit.
- Shaft enclosures per IBC Sec.713.4:
Shaft enclosures shall have a fire-resistance rating of not less than 2- hrs. where connecting 4 stories or more, and not less than 1-hr. where connecting less than 4 stories.
- Fire doors per IBC Table 716.5: 1/3 hr. rated at 1- hr. rated corridor walls; 1-hr. rated at 1-hr. rated shafts, exit access stair & passageway walls; 1-1/2 hr. rated at 2-hr. rated shafts & interior exit stairways; and, 1-1/2 hr. rated at 2-hr. rated fire walls.
- Fire partitions per IBC Sec. 708.3: Dwelling unit separation walls or fire partitions shall have a fire-resistance rating of not less than 1- hr.
- Fire partitions per IBC Sec. 708.3, exp. 1: Fire partitions at corridor walls shall have a 1/2 hr. rating in bldgs. w/sprinkler systems per Table 1020.1.
- Horizontal assemblies per IBC Sec. 711.2.4: The fire-resistance rating of horizontal assemblies shall not be less than that required by the building type of construction.

IBC Section 803.1.1, Interior wall and ceiling finish materials:

- Per IBC Table 803.11, Interior wall and ceiling finish requirements by occupancy, stairways, exit passageways, corridors and enclosed spaces for R-2 occupancy sprinklered shall be Class C: = flame spread index 76-200; smoke developed index 0-450.

IBC Section 901.1, Fire Protection Systems:

- Fire protection system all floors per Sec. 903.3.1.1, NFPA 13.
- Per IBC Sec. 905.3.1, Standpipe systems shall be installed in building where floor level of highest story is located more than 30 ft above lowest level of fire truck access.
- Per IBC Sec. 907.2.11.2, Groups R-2, R-3 & R-4, single- or multiple smoke alarms shall be installed regardless of occupant load.
- Per IBC Sec. 915.2, Carbon monoxide detection locations as required.

IBC Section 1001.1, Means of Egress:

- Per IBC Table 1006.3.2(1) Stories w/one exit to 3rd story: Occ. R-2/NFPA 13/4 D.U. per flr/125 ft travel distance.
- Per IBC Sec. 1006.3.2 (2), Stories w/one exit for other occupancies.
Occ. S/NFPA 13/max. occ. 29/100 ft travel distance
- Per IBC Table 1006.3.1, Min. number of exits per story: occupant load 1-500 ppl., 2 exits minimum.
- Per IBC Sec. 1006.2.1, Egress from spaces exception 1: In group R-2, one means of egress is permitted within and from individual dwelling units w/max. occ. load 20, 125' max. travel and NFPA 13.
Min. number of exits per Table 1006.3.1:
Ground floor: 2 exits required; 2 exits provided
Second floor: 2 exits required; 2 exits provided
Third floor: 2 exits required; 2 exits provided

Garage floor: 2 exits required; 2 provided per Table 1006.3.1
Roof decks: 1 provided per Sec. 1006.2.1

- Per IBC Sec. 1010.1.2.1 & IEBC Sec. 705.4.2, door swing in direction of egress travel where serving a room or area containing an occupancy load of 50 or more persons.
- Per IBC Sec. 1010.1.10, panic hardware not required.
- Per IBC Sec. 1008.3.2, means of egress emergency lighting as required.
- Per IBC Sec. 1013, exit signs as required.
- Per IBC Sec. 1010.1.1, size of doors: 32"min. clear width required.
- Per IBC Sec. 1005.2, min. required egress width based on component:
Sec. 1011.2, exp. 2, stairways serving occ. Load of < 50, width not less than 36 in.
Sec. 1020.2, corridor width serving occ. Load of < 50, width not less than 36 in.
- Per IBC Sec. 1024.3, exit passageway construction: exit passageway enclosures shall have walls, floors and ceilings of not less than a 1-HR fire-resistance rating, and not less

than that required for any connecting interior exit stairway or ramp .

- Per IBC Sec. 1030.1, emergency escape and rescue openings shall open directly into a public way or to a yard or court that opens to a public way.

* Sec. 1030.2, Min. size, emergency escape and rescue openings shall have a min. net clear opng. of 5.7 sf. Min. opng. height dimension: 24 in.; min. opng. width dimension: 20 in. (Sec. 1030.2) Max. height from floor to bottom of clear opng: 44 in. (Sec. 1030.3).

IBC Section1101.1, Accessibility

The proposed construction to create 14 dwelling units—not serviced by an elevator—adheres to 521 CMR, Architectural Access Board, specifically:

- Per Sec. 9.3, Group 1 dwelling units, in multiple dwellings that are for rent, lease or sale and are not equipped w/an elevator, only units on the ground flr. must be constructed as Group 1 D.U.
- Per Sec. 9.4, Group 2 dwelling units, in multiple dwellings that are for rent, hire, or lease (but not for sale) and contain 20 or more units , at least 5% of units shall be Group 2A units.
- Per Sec. 10.1, the public use and common use spaces of multiple dwellings in new construction consisting of 3 or more units shall comply w/521 CMR. Public and common use spaces are those spaces inside or outside a building that are used by residents and/or visitors.
- Per Sec. 20.1, Accessible route is provided connecting accessible spaces and elements inside and outside of building.
- Per Sec. 26.5, Door width, all doorways that are required to be accessible shall have a clear opng. of not less than 32 in.

IBC Section 1207, Sound Transmission

- Per Sec. 1207.2, Air-borne sound, wall & floor assemblies between adjacent dwelling units shall have a sound transmission class (STC) rating of not less than 50.
- Per Sec. 1207.3, Structure-borne sound, floor/ceiling assemblies between dwelling units shall have an impact insulation class (IIC) rating of not less than 50.

IBC Section 1601.1, Structural Design

- Per IBC Table 1607.1, Design live loads:
 - residential: 40 psf
 - balconies & decks: same as occupancy served
 - offices: 50 psf
 - restaurants: 100 psf

IBC Section 2603, Plastic Foam Insulation

- Per Sec. 2603.3, surface burning characteristics, foam plastic insulation and foam plastic cores of manufactured assemblies shall have a flame spread index of not more than 75 and a smoke-developed index of not more than 450 in accordance with ASTM E 84 or UL 723.

IBC Section 2701.1, Electrical

New electrical work per electical code by licensed electrician.

IBC Section 2801.1, Mechanical

New mechanical work per mechanical code by licensed contractor.

IBC Section2901.1, Plumbing Systems

New plumbing work per plumbing code by licensed contractor.

IBC Section1301.1, Energy Efficiency

- Buildings shall be designed and constructed in accordance with the Int'l Energy Conservation Code. Note: The city of Boston adopted the Stretch Energy Code on 7/1/2011. And, the Specialized Energy Code (Passive House, Multi-family > 12,000 sf) on 1/1/24.
- See energy code calculations by project HERS rater.

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
599 EAST BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

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REVISIONS

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Tim Johnson Architect, LLC



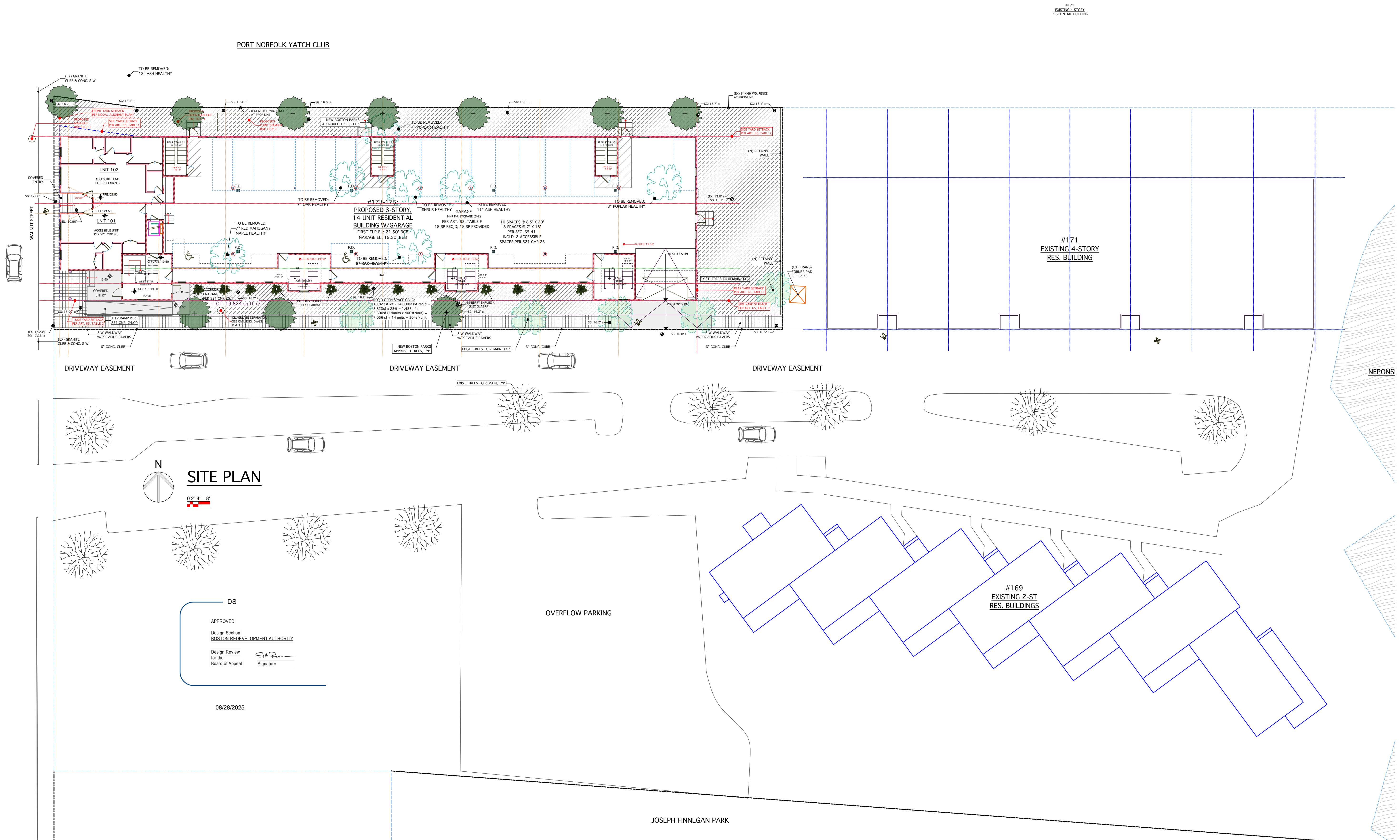
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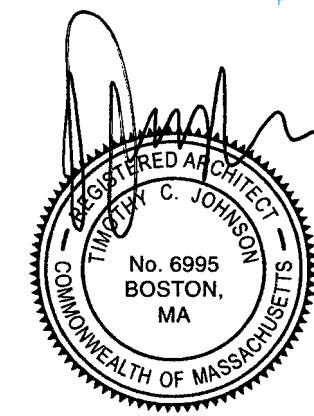
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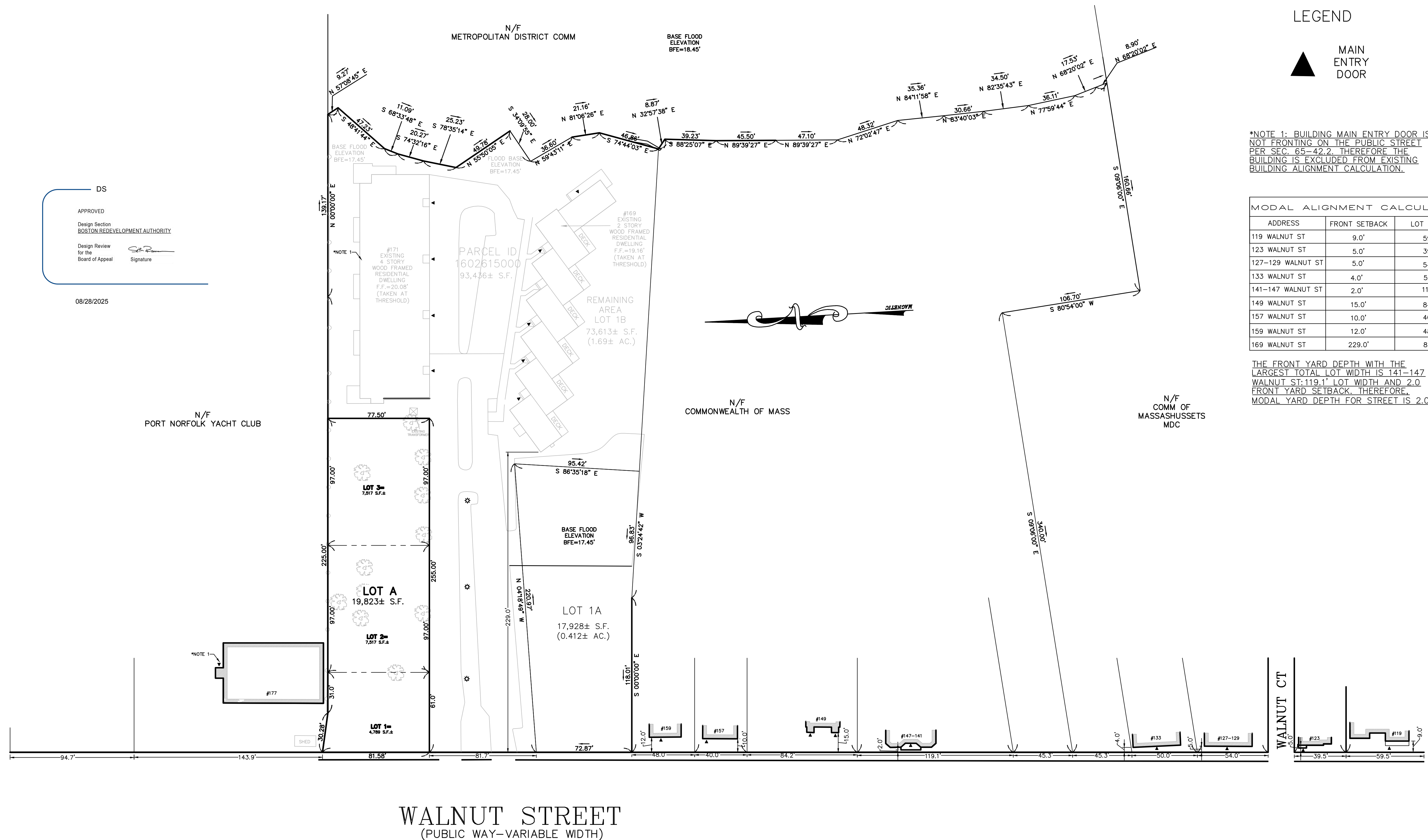
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PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 599 EAST BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363			
PROPOSED 14-UNIT RESIDENTIAL DEVELOPMENT 173-175 WALNUT STREET DORCHESTER, MA 02122		OWNER: ESTUARY II DEVELOPMENT GROUP, LLC 51 THORNEY MEADOW WAY HANOVER, MA 02339 TEL: 617-799-3580	
REVISIONS			
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Tim Johnson Architect, LLC			
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ARCHITECTURAL SITE PLAN			
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C01			





LEGEND

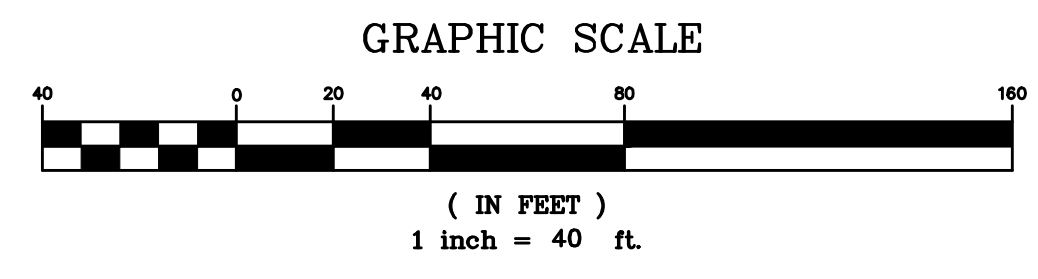
▲ MAIN ENTRY DOOR

*NOTE 1: BUILDING MAIN ENTRY DOOR IS NOT FRONTING ON THE PUBLIC STREET PER SEC. 65-42.2. THEREFORE THE BUILDING IS EXCLUDED FROM EXISTING BUILDING ALIGNMENT CALCULATION.

MODAL ALIGNMENT CALCULATION		
ADDRESS	FRONT SETBACK	LOT WIDTH
119 WALNUT ST	9.0'	59.5'
123 WALNUT ST	5.0'	39.5'
127-129 WALNUT ST	5.0'	54.0'
133 WALNUT ST	4.0'	50.0'
141-147 WALNUT ST	2.0'	119.1'
149 WALNUT ST	15.0'	84.2'
157 WALNUT ST	10.0'	40.0'
159 WALNUT ST	12.0'	48.0'
169 WALNUT ST	229.0'	81.7'

THE FRONT YARD DEPTH WITH THE LARGEST TOTAL LOT WIDTH IS 141-147 WALNUT ST: 119.1' LOT WIDTH AND 2.0' FRONT YARD SETBACK. THEREFORE, MODAL YARD DEPTH FOR STREET IS 2.0'.

DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
Signature
08/28/2025



DATE 6/22/2022	REV	DATE	REVISION	BY
SHEET 1	173-175 WALNUT STREET DORCHESTER MASSACHUSETTS			
PLAN NO. 1 OF 1	MODAL ALIGNMENT PLAN			
CLIENT:	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com			
DRAWN BY HF	SHEET NO. 1			
CHKD BY ETS				
APPD BY PUN				



STREET VIEW LOOKING NORTH

DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
Signature

08/28/2025



STREET VIEW LOOKING SOUTHEAST

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
599 EAST BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 14-UNIT RESIDENTIAL
DEVELOPMENT
173-175 WALNUT STREET
DORCHESTER, MA 02122

OWNER:
ESTUARY II DEVELOPMENT GROUP, LLC
51 THORNEY MEADOW WAY
HANOVER, MA 02339
TEL: 617-799-3580

REVISIONS

△	11/19/24	△	08/18/25
△	05/14/25	△	
△	05/20/25	△	
△	07/24/25	△	
△	08/08/25	△	

Tim Johnson Architect, LLC

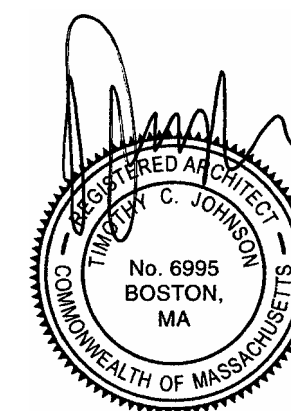


PERMIT SET

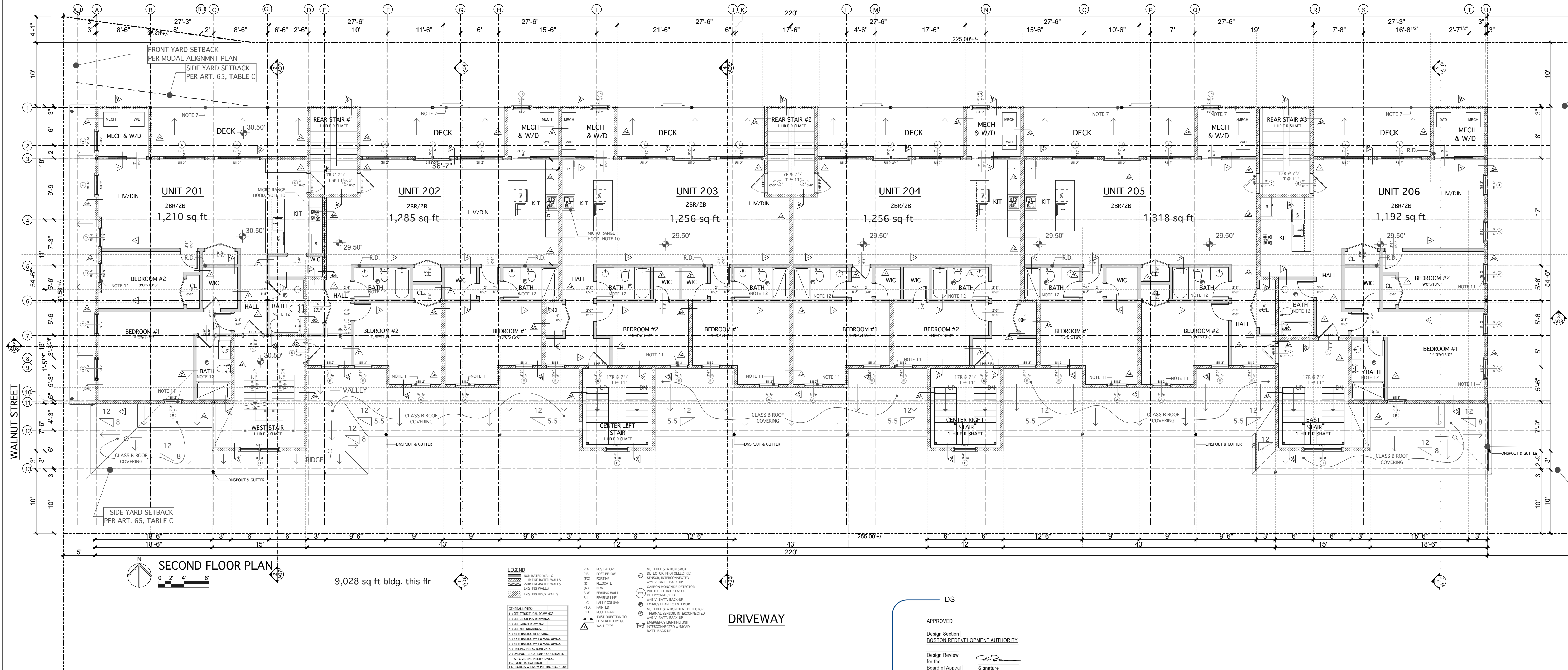
DRAWING TITLE

PERSPECTIVE
VIEWS

DATE: 03/27/24 SC: N. T. S.



V01



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△	05/14/25	△	
△	05/20/25	△	
△	07/24/25	△	
△	08/08/25	△	

Tim Johnson Architect, LLC



PERMIT SET

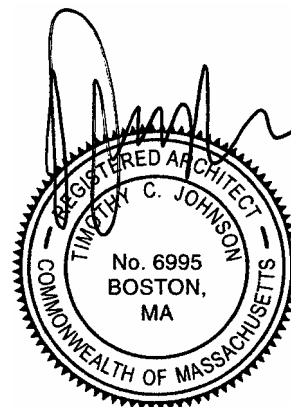
DRAWING TITLE

SECOND FLOOR
PLAN

DATE: 03/27/24

SC: 1/8" = 1'-0"

A03



OWNER:
ESTUARY II DEVELOPMENT GROUP, LLC
51 THORNEY MEADOW WAY
HANOVER, MA 02339
TEL: 617-799-3580

REVISIONS

1	11/19/24	6	08/18/25
2	05/14/25	7	
3	05/20/25	8	
4	07/24/25	9	
5	08/08/25	10	

Tim Johnson Architect, LLC



PERMIT SET

DRAWING TITLE

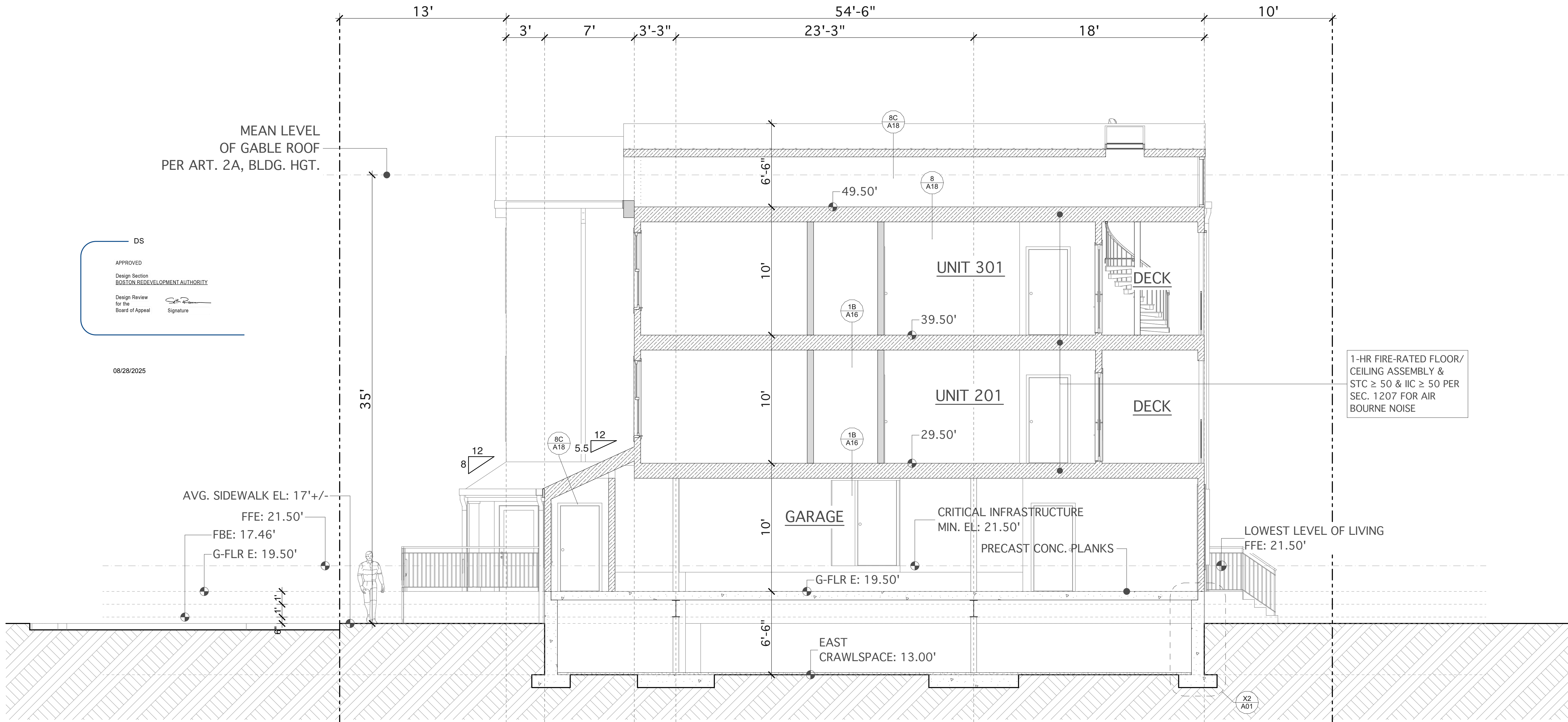
THIRD FLOOR PLAN

DATE: 03/27/24

SC: $1/8'' = 1'-0''$

A04

A05



1-1 BUILDING SECTION



LEGEND

- NON-RATED WALLS
- 1-HR FIRE-RATED WALLS
- 2-HR FIRE-RATED WALLS
- EXISTING WALLS
- EXISTING BRICK WALLS

1 A12 FLOOR ASSEMBLY TYPE

- P.A. POST ABOVE
- P.B. POST BELOW
- (EX) EXISTING
- (R) RELOCATE
- (N) NEW
- B.W. BEARING WALL
- B.L. BEARING LINE
- L.C. LALLY COLUMN
- PTD. PAINTED
- R.D. ROOF DRAIN
- JOIST DIRECTION TO BE VERIFIED BY GC

GENERAL NOTES:

- 1.) SEE STRUCTURAL DRAWINGS.
- 2.) SEE CE OR PLS DRAWINGS.
- 3.) SEE LARCH DRAWINGS.
- 4.) SEE MEP DRAWINGS.
- 5.) 36"H RAILING AT NOSING.
- 6.) 42"H RAILING w/4"9 MAX. OPNGS.
- 7.) 36"H RAILING w/4"9 MAX. OPNGS.
- 8.) RAILING PER 521CMR 24.5.
- 9.) DMSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
- 10.) MECH. VENT TO EXTERIOR PER 780 CMR 1203.5.2.1
- 11.) EGRESS WINDOW PER IBC SEC. 1030
- 12.) PROVIDE WALL REINFORCEMENT FOR FUTURE GRAB BARS FROM 32" TO 28" ALL SIDES PER 521 CMR 42.7.2 (c) FOR SHOWERS 42.5.3 FOR TOILETS

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REVISIONS

△	11/19/24	△	08/18/25
△	05/14/25	△	
△	05/20/25	△	
△	07/24/25	△	
△	08/08/25	△	

Tim Johnson Architect, LLC



PERMIT SET

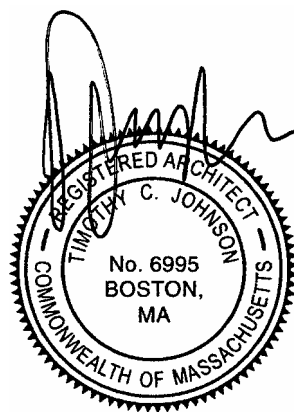
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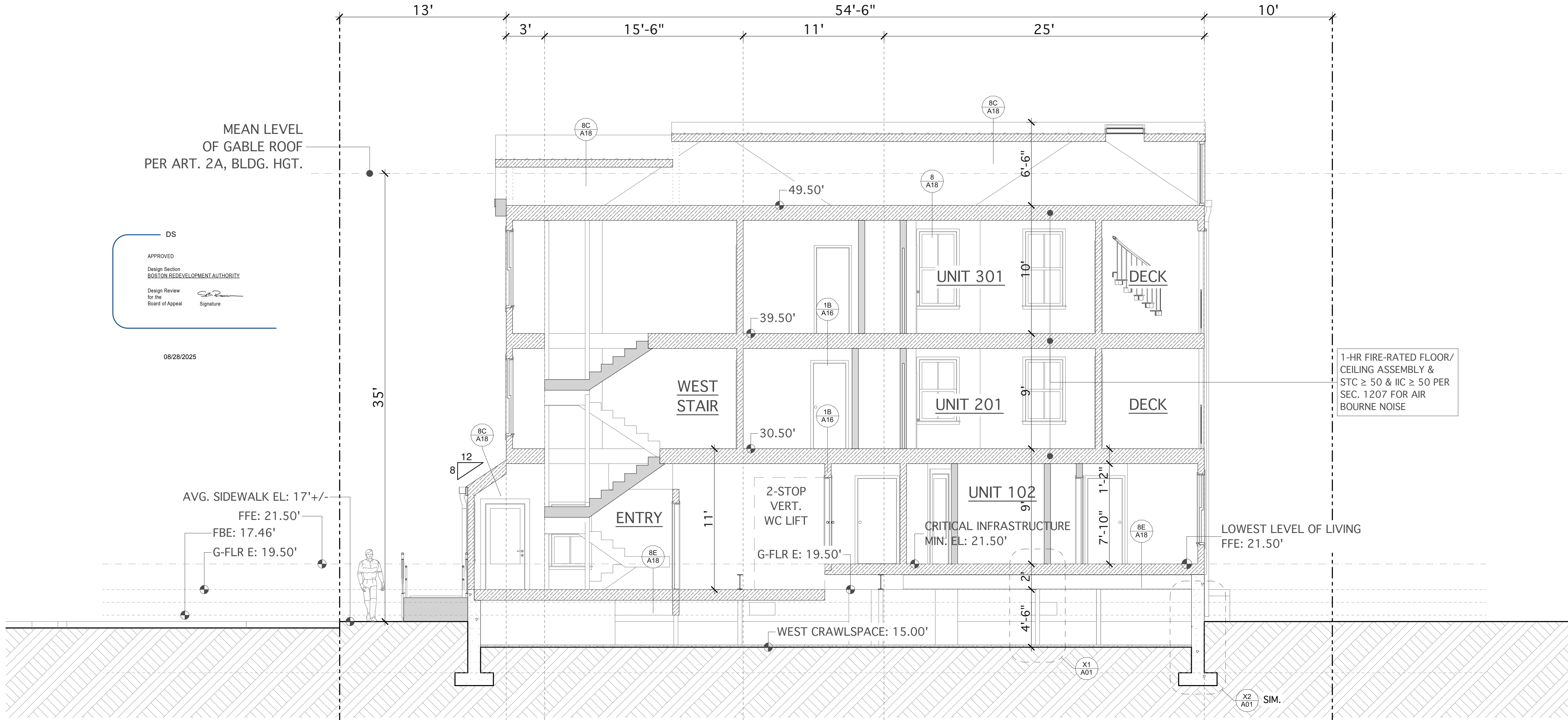
1-1 BUILDING
SECTION

DATE: 03/27/24

SC: 1/4" = 1'-0"

A06





2-2 BUILDING SECTION



LEGEND

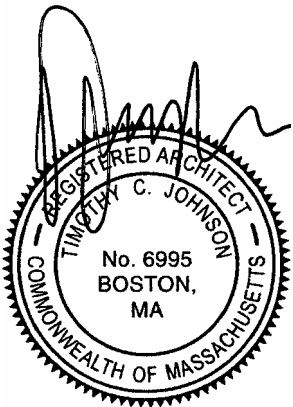
- NON-RATED WALLS
- 1-HR FIRE-RATED WALLS
- 2-HR FIRE-RATED WALLS
- EXISTING WALLS
- EXISTING BRICK WALLS

1 A12 FLOOR ASSEMBLY TYPE

- P.A. POST ABOVE
- P.B. POST BELOW
- (EX) EXISTING
- (R) RELOCATE
- (N) NEW
- B.W. BEARING WALL
- B.L. BEARING LINE
- L.C. LALLY COLUMN
- PTD. PAINTED
- R.D. ROOF DRAIN
- JOIST DIRECTION TO BE VERIFIED BY GC

GENERAL NOTES:

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- SEE CE OR PLS DRAWINGS.
- SEE LARCH DRAWINGS.
- SEE MEP DRAWINGS.
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- 42" RAILING w/4" MAX. OPNGS.
- 36" RAILING w/4" MAX. OPNGS.
- RAILING PER 521CMR 24.5.
- DNSPOUT LOCATIONS COORDINATED w/ CIVIL ENGINEER'S DWGS.
- MECH. VENT TO EXTERIOR PER 780 CMR 1203.5.2.1
- EGRESS WINDOW PER IBC SEC. 1030
- PROVIDE WALL REINFORCEMENT FOR FUTURE GRAB BARS FROM 32" TO 28" ALL SIDES PER 521 CMR 42.7.2 (c) FOR SHOWERS 42.5.3 FOR TOILETS



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PROPOSED 14-UNIT RESIDENTIAL
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DORCHESTER, MA 02122

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REVISIONS

11/19/24	08/18/25
05/14/25	
05/20/25	
07/24/25	
08/08/25	

Tim Johnson Architect, LLC



PERMIT SET

DRAWING TITLE

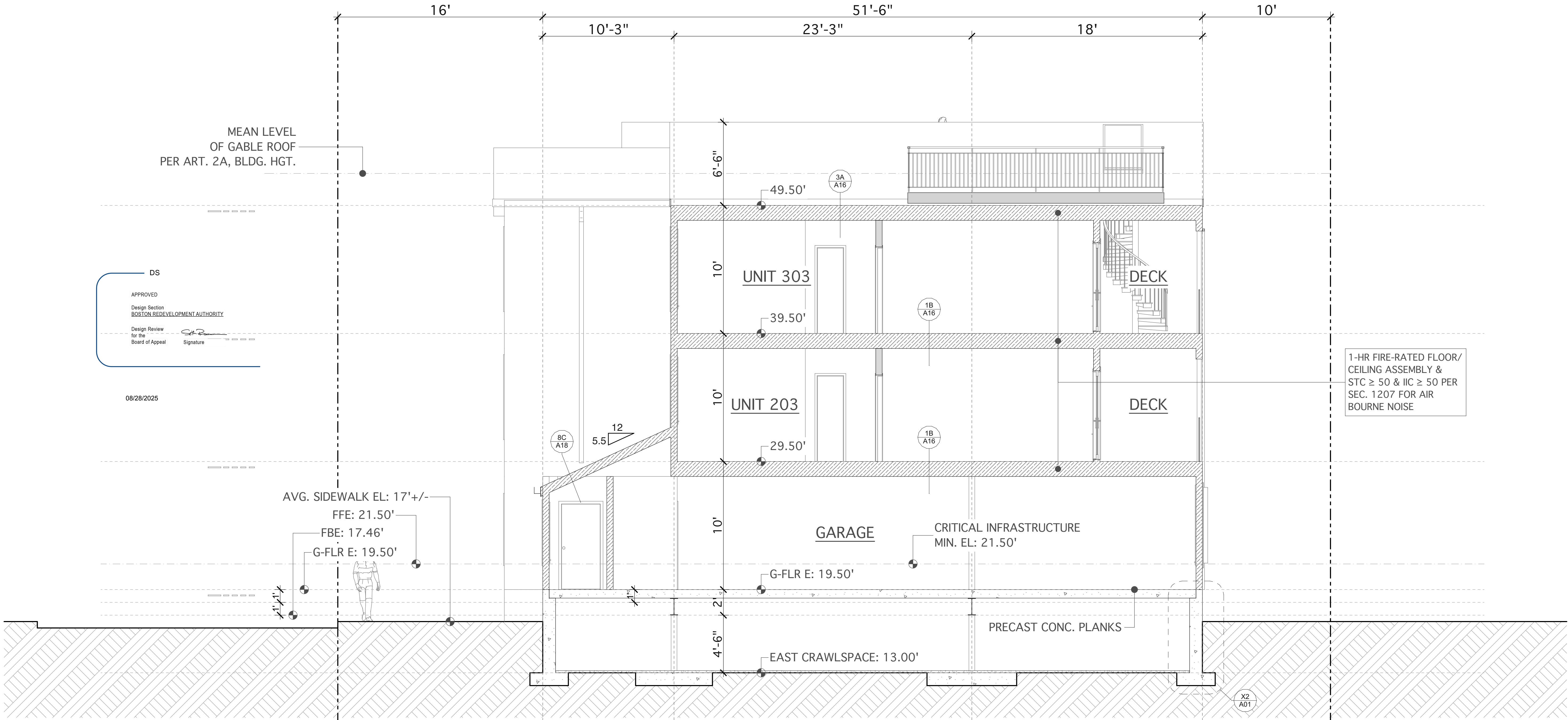
2-2 BUILDING
SECTION

DATE: 03/27/24

SC: 1/4" = 1'-0"

A07

A08



4-4 BUILDING SECTION



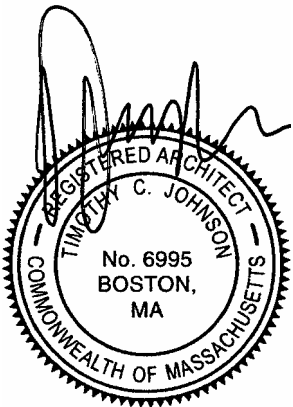
LEGEND

- NON-RATED WALLS
- 1-HR FIRE-RATED WALLS
- 2-HR FIRE-RATED WALLS
- EXISTING WALLS
- EXISTING BRICK WALLS

1 A12 FLOOR ASSEMBLY TYPE

GENERAL NOTES:

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- 2.) SEE CE OR PLS DRAWINGS.
- 3.) SEE LARCH DRAWINGS.
- 4.) SEE MEP DRAWINGS.
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- 6.) 42"H RAILING w/4" MAX. OPNGS.
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△	05/14/25	△	
△	05/20/25	△	
△	07/24/25	△	
△	08/08/25	△	

Tim Johnson Architect, LLC



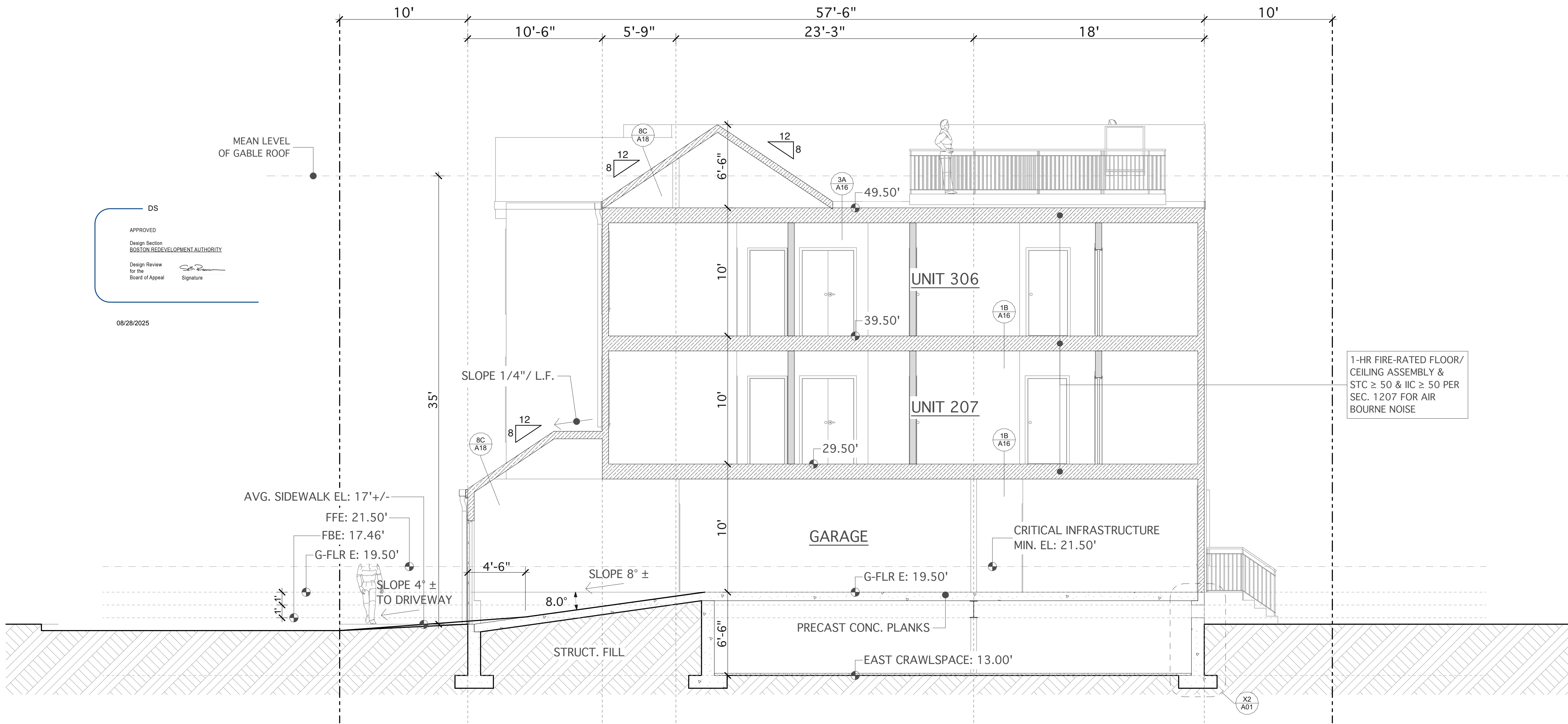
PERMIT SET

DRAWING TITLE

4-4 BUILDING
SECTION

DATE: 03/27/24 SC: 1/4" = 1'-0"

A09



5-5 BUILDING SECTION



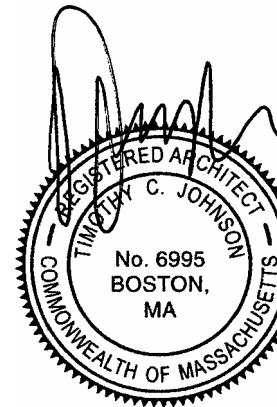
LEGEND

- NON-RATED WALLS
- 1-HR FIRE-RATED WALLS
- 2-HR FIRE-RATED WALLS
- EXISTING WALLS
- EXISTING BRICK WALLS

1 A12 FLOOR ASSEMBLY TYPE

GENERAL NOTES:

- 1.) SEE STRUCTURAL DRAWINGS.
- 2.) SEE CE OR PLS DRAWINGS.
- 3.) SEE LARCH DRAWINGS.
- 4.) SEE MEP DRAWINGS.
- 5.) 36"H RAILING AT NOSING.
- 6.) 42"H RAILING w/4" MAX. OPNGS.
- 7.) 36"H RAILING w/4" MAX. OPNGS.
- 8.) RAILING PER 521CMR 24.5.
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PROPOSED 14-UNIT RESIDENTIAL
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REVISIONS

11/19/24	08/18/25
05/14/25	
05/20/25	
07/24/25	
08/08/25	

Tim Johnson Architect, LLC



PERMIT SET

DRAWING TITLE

5-5 BUILDING
SECTION

DATE: 03/27/24 SC: 1/4" = 1'-0"

A10



WEST (WALNUT STREET) ELEVATION



EXTERIOR FINISH MATERIALS LEGEND

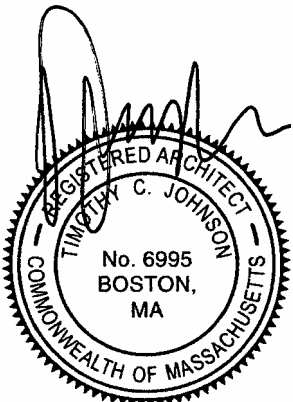
- 1 FIBER CEMENT LAP SIDING, SMOOTH, 6" EXPOSURE, HARDIE PLANK OR SIMILAR, COLOR: TBD

1A FIBER CEMENT LAP SIDING, SMOOTH, 9" EXPOSURE, HARDIE PLANK OR SIMILAR, COLOR: TBD
- 2 5/16" FIBER CEMENT PANELS, COLOR: TBD

3 FIBERGLASS ROOF SHINGLES, ARCH. GRADE, COLOR: TBD

4 CONCRETE FINISH
- 5 POLY-ASH TRIM BOARD, PAINTED, COLOR: TBD

6 BRICK VENEER, COLOR: TBD



PROJECT ARCHITECT:
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PROPOSED 14-UNIT RESIDENTIAL
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DORCHESTER, MA 02122

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TEL: 617-799-3580

REVISIONS

11/19/24	08/18/25
05/14/25	
05/20/25	
07/24/25	
08/08/25	

Tim Johnson Architect, LLC



PERMIT SET

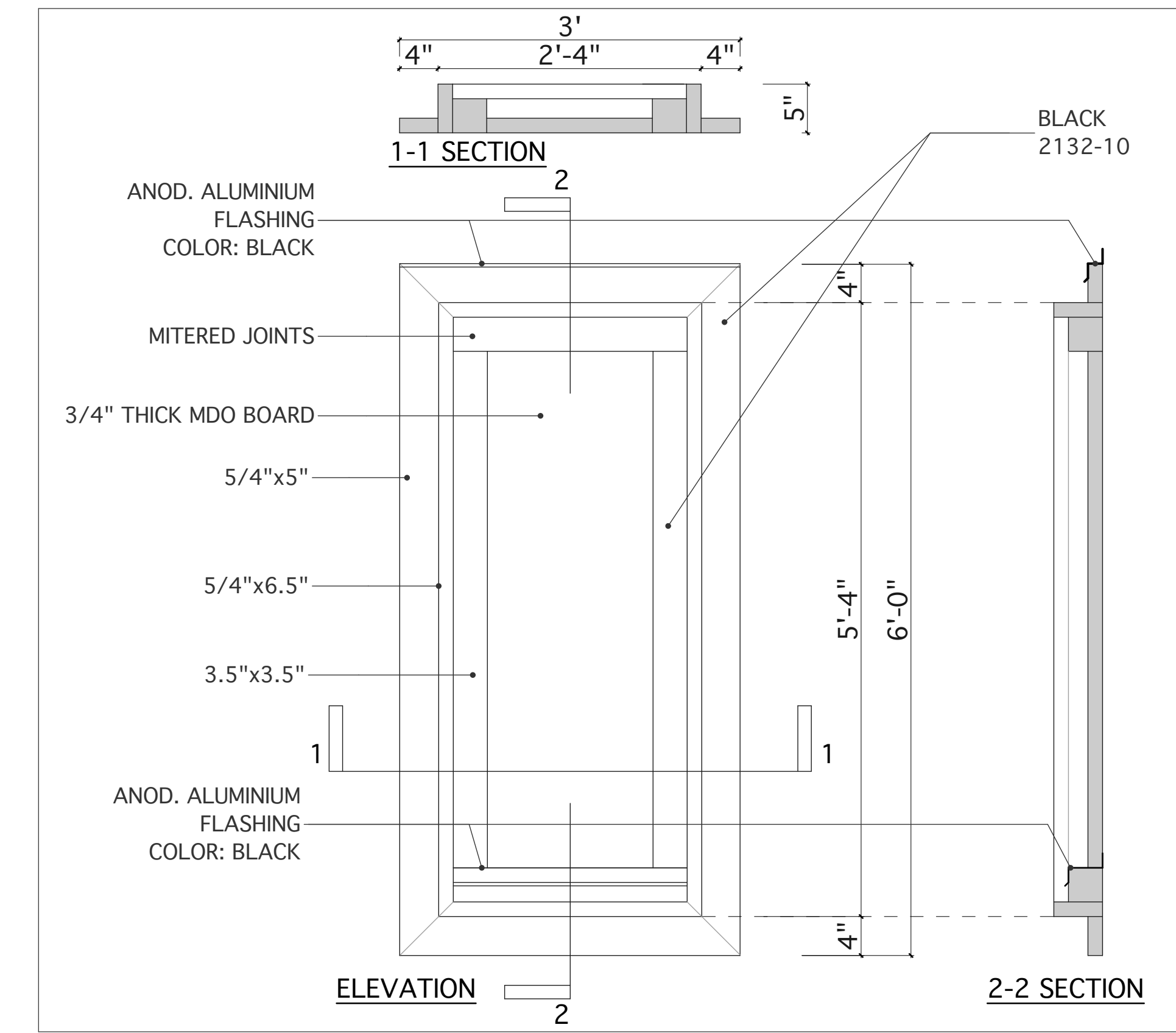
DRAWING TITLE

WEST ELEVATION

DATE: 03/27/24

SC: 1/4" = 1'-0"

A11



B SHADOW BOX DETAIL

SCALE: 1" = 1'-0"

DS

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Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal

Signature

08/28/2025

DRIVEWAY

AVG. SIDEWALK EL: 17'+/-

FFE: 21.50'

GARAGE: 19.50'

FBE: 17.46'

35'

MEAN LEVEL
OF GABLE ROOF
PER ART. 2A, BLDG. HGT.

EAST (REAR) ELEVATION

0 2' 4' 8'

EXTERIOR FINISH MATERIALS LEGEND

1 FIBER CEMENT LAP SIDING, SMOOTH,
6" EXPOSURE, HARDIE PLANK OR SIMILAR,
COLOR: TBD

1A FIBER CEMENT LAP SIDING, SMOOTH,
9" EXPOSURE, HARDIE PLANK OR SIMILAR,
COLOR: TBD

2 5/16" FIBER CEMENT PANELS,
COLOR: TBD

3 FIBERGLASS ROOF SHINGLES,
ARCH. GRADE, COLOR: TBD

4 CONCRETE FINISH

5 POLY-ASH TRIM BOARD, PAINTED,
COLOR: TBD

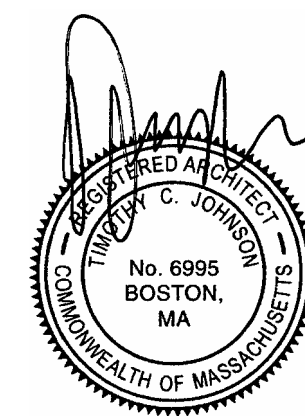
6 BRICK VENEER, COLOR: TBD

ANODIZED ALUMINUM
RAILING SYSTEM,
COLOR: BLACK

FIBERGLASS
FRAMED WINDOWS,
ENERGY STAR,
COLOR: TBD

FLOOD VENT, TYP.

5/16" FIBER CEMENT BOARD W/2X2
POLY ASH TRIM SURROUND, COLOR: BLACK



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REVISIONS

△ 11/19/24	△ 08/18/25
△ 05/14/25	△
△ 05/20/25	△
△ 07/24/25	△
△ 08/08/25	△

Tim Johnson Architect, LLC

**TIM
JOHNSON
ARCHITECT, LLC**

PERMIT SET

DRAWING TITLE

EAST ELEVATION

DATE: 03/27/24

SC: 1/4" = 1'-0"

A12

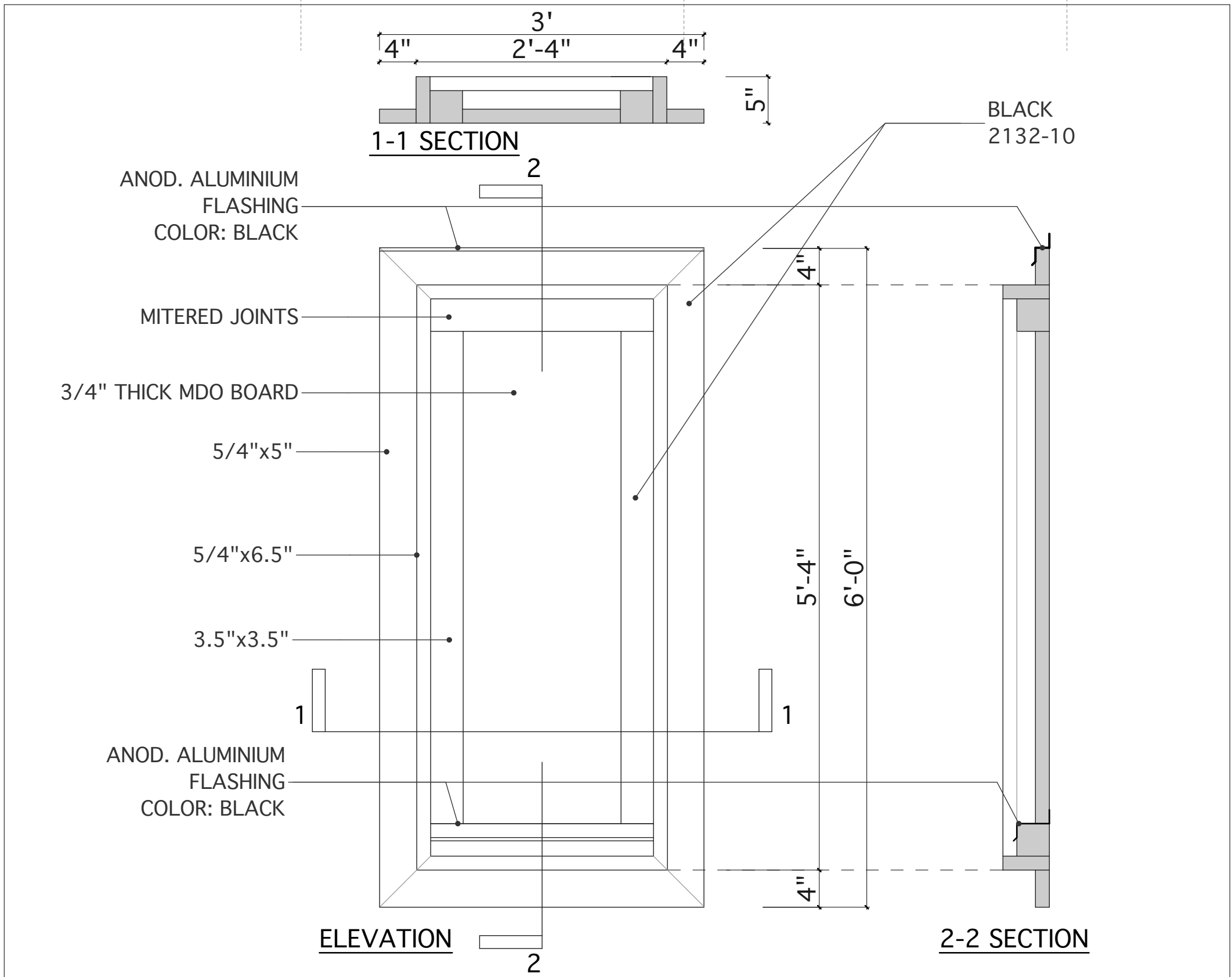


SOUTH (DRIVEWAY) ELEVATION

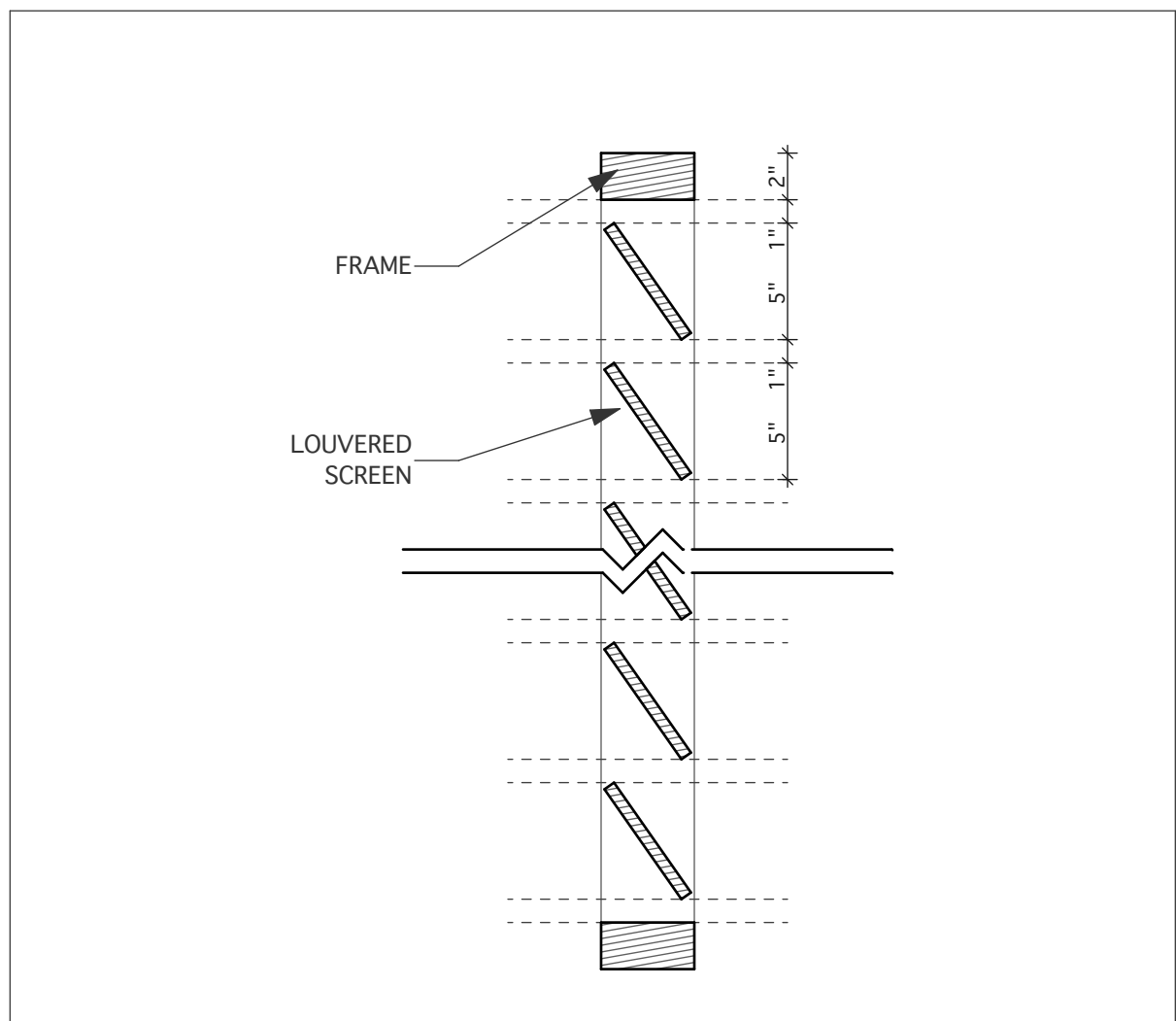


NORTH ELEVATION

DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
08/28/2025



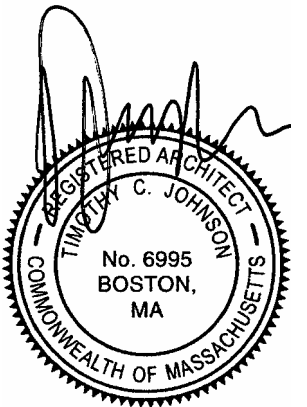
B SHADOW BOX DETAIL
SCALE: 1" = 1'-0"



A LOUVRED SCREEN DETAIL
SCALE: 1 1/2" = 1'-0"

EXTERIOR FINISH MATERIALS LEGEND

- | | | |
|--|---|--|
| 1 FIBER CEMENT LAP SIDING, SMOOTH, 6" EXPOSURE, HARDIE PLANK OR SIMILAR, COLOR: TBD | 2 5/16" FIBER CEMENT PANELS, COLOR: TBD | 5 POLY-ASH TRIM BOARD, PAINTED, COLOR: TBD |
| 1A FIBER CEMENT LAP SIDING, SMOOTH, 9" EXPOSURE, HARDIE PLANK OR SIMILAR, COLOR: TBD | 3 FIBERGLASS ROOF SHINGLES, ARCH. GRADE, COLOR: TBD | 6 BRICK VENEER, COLOR: TBD |
| | 4 CONCRETE FINISH | |



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REVISIONS

Δ 11/19/24	Δ 08/18/25
Δ 05/14/25	Δ
Δ 05/20/25	Δ
Δ 07/24/25	Δ
Δ 08/08/25	Δ

Tim Johnson Architect, LLC



PERMIT SET

DRAWING TITLE

SOUTH & NORTH
ELEVATIONS

DATE: 03/27/24

SC: 1/8" = 1'-0"

A13

DOOR SCHEDULE													Page 1 of 1	
Job Name: 173-175 Walnut Street														
Date: 07/22/25														
*REVISED:														
	Location		Door	Nominal Sizes		Rough Openings		Frame		Manufacturer		Misc.	Glazing	
*REV.	Symbol	Qty.	Type	Width	Height	Width	Height	Jamb	Treshld.	Company	Product No.	Hdwre.		Remarks
	1	2	D	3'-0"	7'-0"				T-4				u-0.30, Low-E	3/4-Lite Entry Door w/ Temp. Gl.
	2	2	D	3'-0"	6'-8"				T-4				u-0.30, Low-E	3/4-Lite Entry Door w/ Temp. Gl.
	3	1	S	16'-0"	8'-0"								u-0.30, Low-E	Overhead Garage Door
	4	24	F	7'-0"	6'-10"				T-3				u-0.30, Low-E	Full-Lite Sliding Door w/ Temp. Gl.
	5	38	A	3'-0"	6'-8"			J-4	T-4					1 Hour Fire-Rated Door
	6	4	A	3'-0"	6'-8"			J-4	T-4					Non-Rated Door
HARDWARE SCHEDULE				MISC. SCHEDULE				DOOR SCHEDULE				NOTES:		
	L-1	Cylinder lockset, passage lock			T-1	Clr. oak, beveled edges				A	Panel door			
	L-2	Cylinder lockset, privacy lock			T-2	White marble, beveled edges				B	Flush door			
	L-3	Dummy trim			T-3	Clr. anod. alum., beveled edges				C	Louvre door			
	L-4	Mortise-type entry lockset			T-4	Std. alum.sill,adjust. hardwd. thrhd.				D	Patio door			
	L-5	Bored-type entry lockset								E	French door			
	L-6	Deadbolt cylinder			W-1	Weatherstrip, bulb-type				F	Sliding door			
	C-1	Heavy-duty closer			J-1	Solid dimension board, stain grade				G	Bi-fold door			
	C-2	Standard-duty closer			J-2	Finger-jointed board, paint grade				H	Pocket door			
	H-1	Plain bearing hinges, 3-butts			J-3	Split-wood frame				J	Sidelights			
	H-2	Ball bearing hinges, 3-butts			J-4	Hollow metal frame				S	Special			
										K	1/2 Lite Door			
										T	Transom			

WINDOW SCHEDULE													Page 1 of 1
Job Name: 173-175 Walnut Street													
Date: 08/08/25													
*REVISED:													
			Manufacturer			Nominal Sizes		Rough Openings		Window			
*REV.	Symbol	Qty.	Company	Product No.	Type	Width	Height	Width	Height	Glazing	Remarks		
✓	A	35	Pella		DH	3'-0"	6'-0"			u-0.30, Low-E	SDL, Screens		
✓	A1	4	Pella		DH	3'-0"	5'-6"			u-0.30, Low-E	SDL, Screens		
	B	4	Pella		DH	3'-4"	6'-0"			u-0.30, Low-E	SDL, Screens		
	C	7	Pella		DH	3'-0"	5'-0"			u-0.30, Low-E	SDL, Screens		
	D	2	Pella		DH	3'-4"	4'-6"			u-0.30, Low-E	SDL, Screens		
	D2	2	Pella		DH	3'-4"	5'-0"			u-0.30, Low-E	SDL, Screens		
	E	14	Pella		DH	2'-9"	5'-0"			u-0.30, Low-E	SDL, Screens		
	E1	8	Pella		DH	2'-5"	5'-0"			u-0.30, Low-E	SDL, Screens		
	F	14	Pella		DH	2'-9"	6'-0"			u-0.30, Low-E	SDL, Screens		
✓	G	12	Pella		DH	2'-5"	4'-6"			u-0.30, Low-E	SDL, Screens		
	H	4	Pella		DH	6'-0"	6'-0"			u-0.30, Low-E	SDL, Screens, Ganged		
	J	8	Pella		DH	5'-6"	5'-0"			u-0.30, Low-E	SDL, Screens, Ganged		
	J1	2	Pella		DH	6'-0"	5'-6"			u-0.30, Low-E	SDL, Screens, Ganged		
	K	6	Daylighter	4280	Roof	36.75"	74.50"				Roof Door		
TOTAL		122											
Note 1: Window openings in group R2 & R3 where top of sill is located <36" above finished floor and >72" above finished grade shall comply with 780 CMR sec. 1015.8, Window Opening Control Devices													

DS

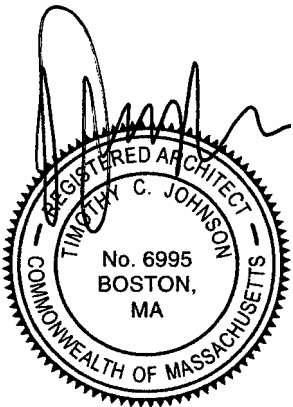
APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal


Signature

08/28/2025



PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
599 EAST BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363


OWNER:
ESTUARY II DEVELOPMENT GROUP, LLC
51 THORNEY MEADOW WAY
HANOVER, MA 02339
TEL: 617-799-3580

PROPOSED 14-UNIT RESIDENTIAL
DEVELOPMENT
173-175 WALNUT STREET
DORCHESTER, MA 02122

REVISIONS

△	11/19/24	△	08/18/25
△	05/14/25	△	
△	05/20/25	△	
△	07/24/25	△	
△	08/08/25	△	

Tim Johnson Architect, LLC



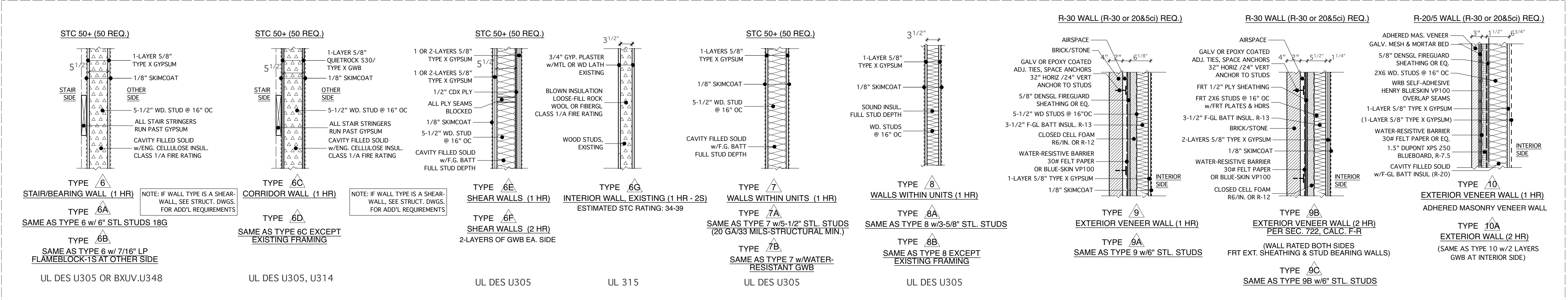
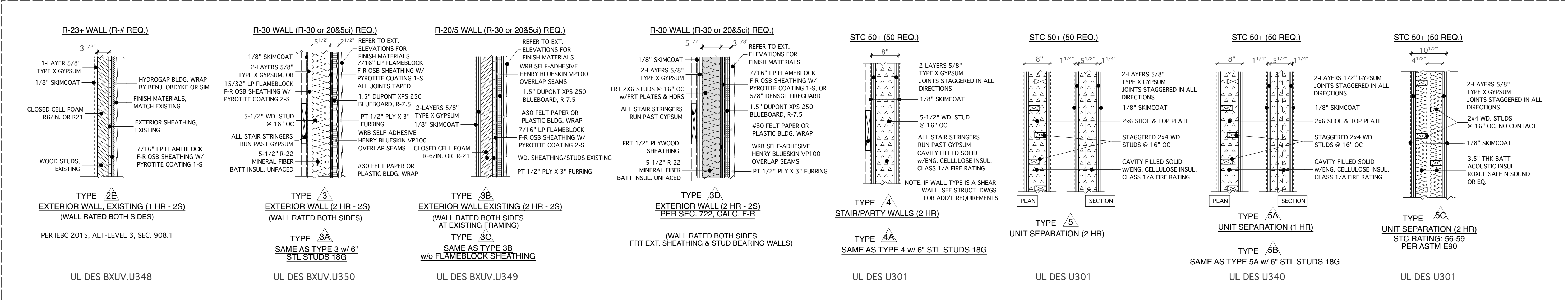
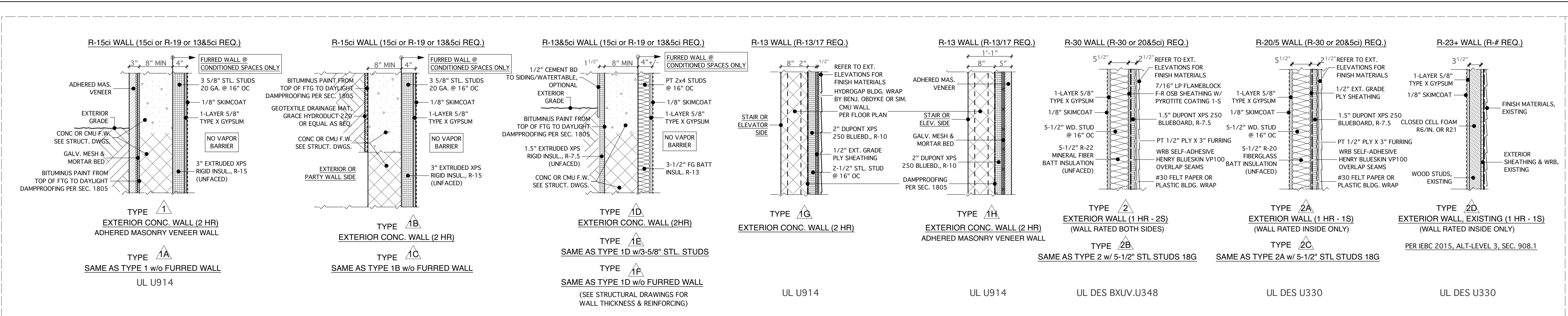
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DRAWING TITLE

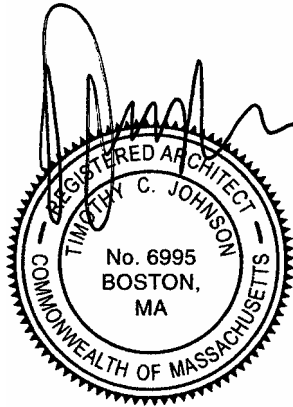
SCHEDULES

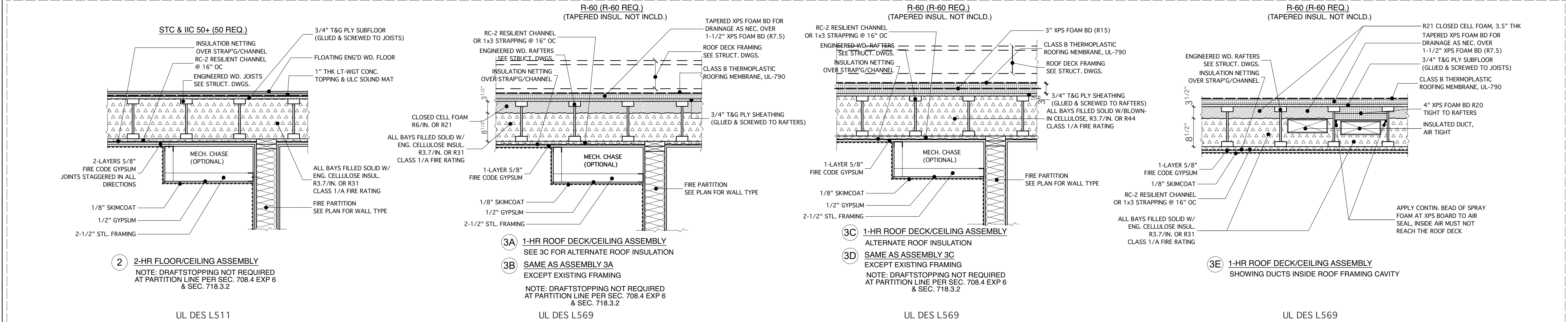
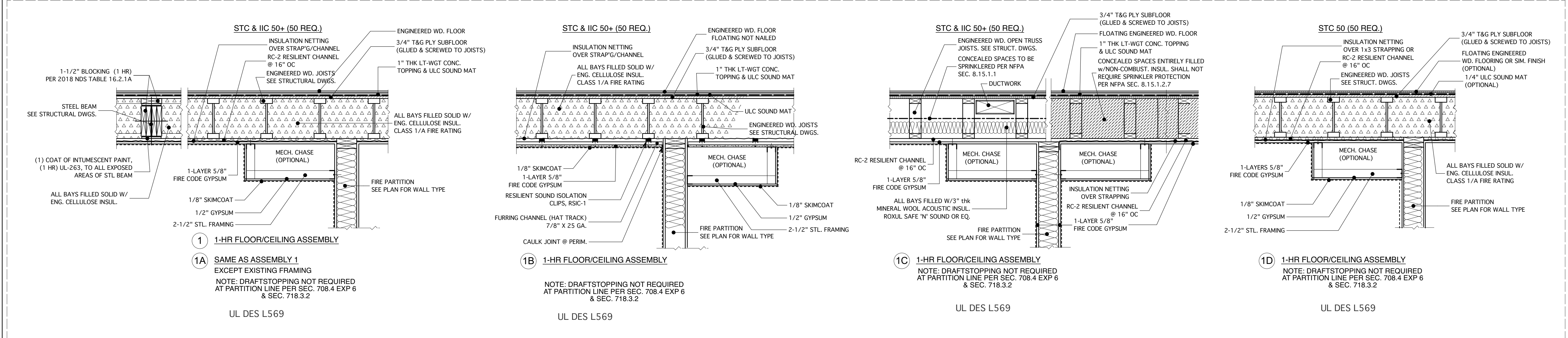
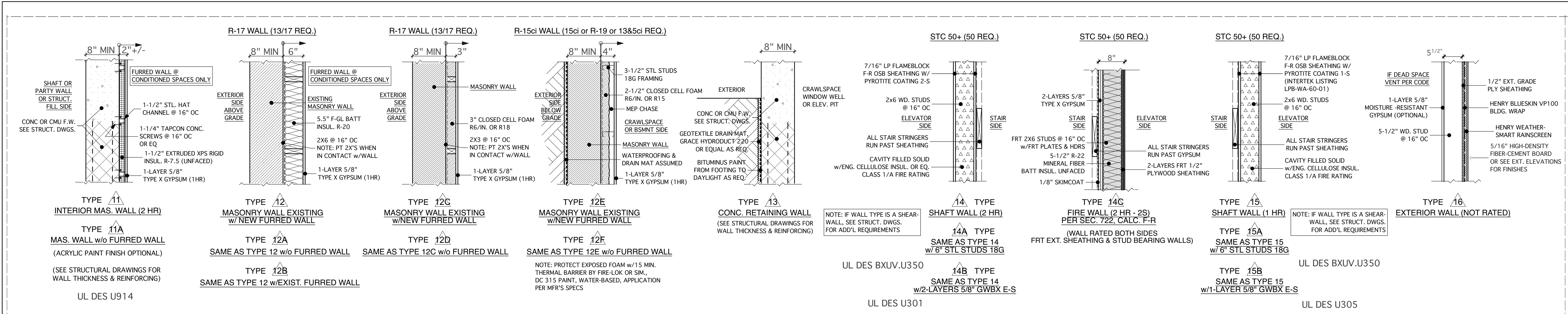
DATE: 03/27/24 SC: N. T. S.

A14



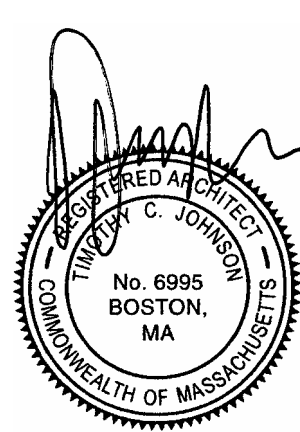
PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 599 EAST BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363			
PROPOSED 14-UNIT RESIDENTIAL DEVELOPMENT 173-175 WALNUT STREET DORCHESTER, MA 02122		OWNER: ESTUARY II DEVELOPMENT GROUP, LLC 51 THORNEY MEADOW WAY HANOVER, MA 02339 TEL: 617-799-3580	
REVISIONS			
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△	08/08/25	△	
Tim Johnson Architect, LLC			
 TIM JOHNSON ARCHITECT, LLC			
PERMIT SET			
DRAWING TITLE			
WALL/ FLOOR TYPES			
DATE: 03/27/24		SC: N. T. S.	
A15			





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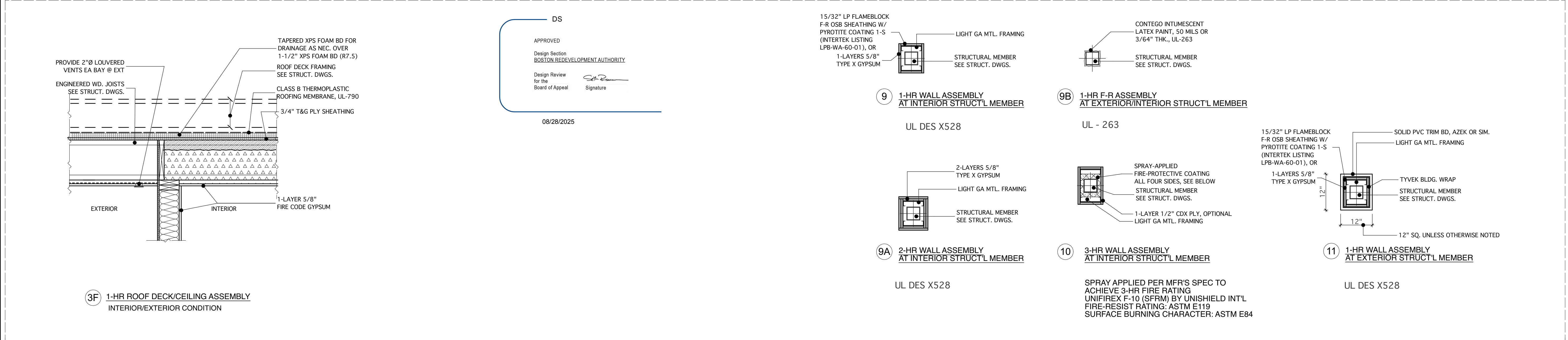
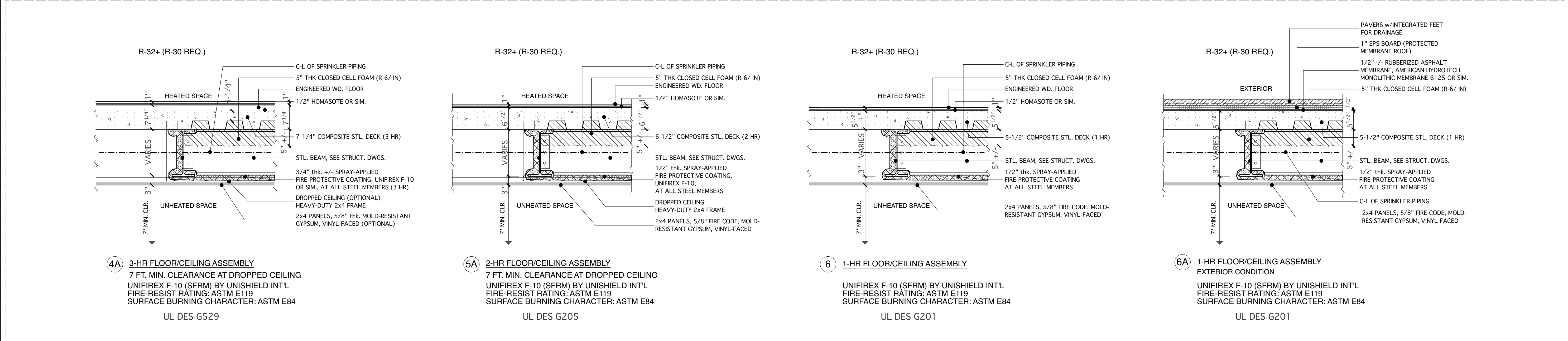
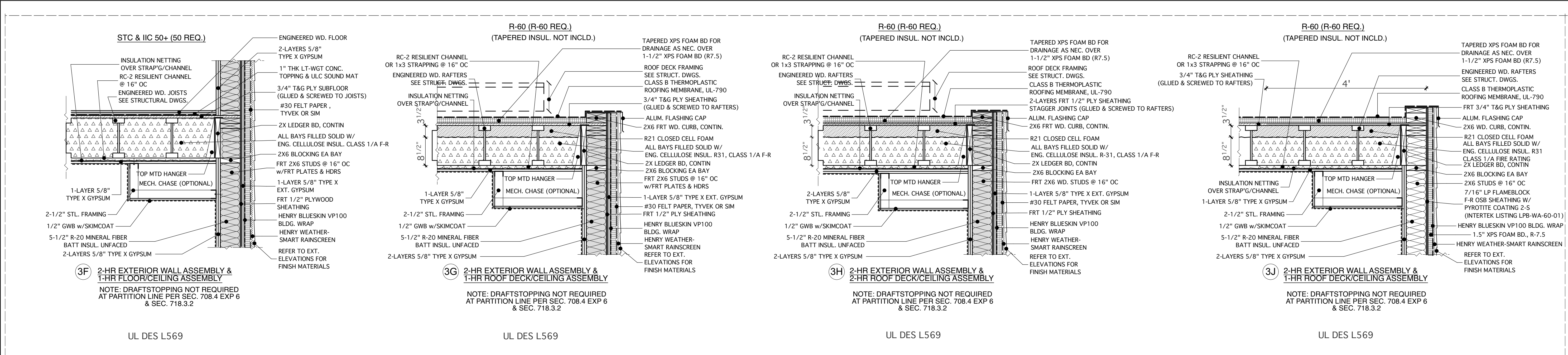
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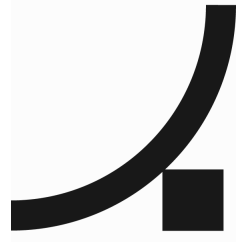
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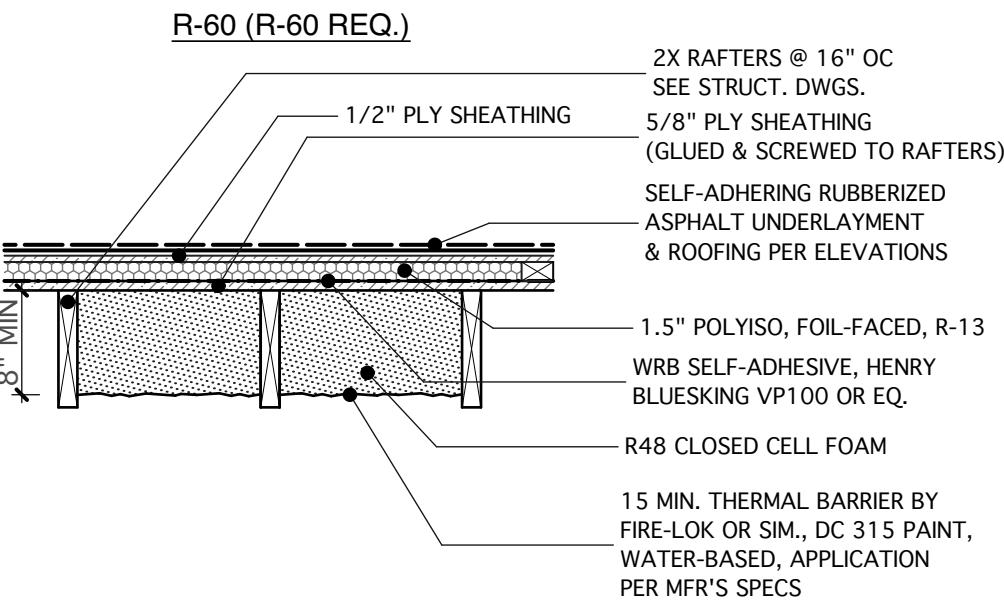
WALL/FLOOR TYPES

DATE: 03/27/24 SC: N. T. S.

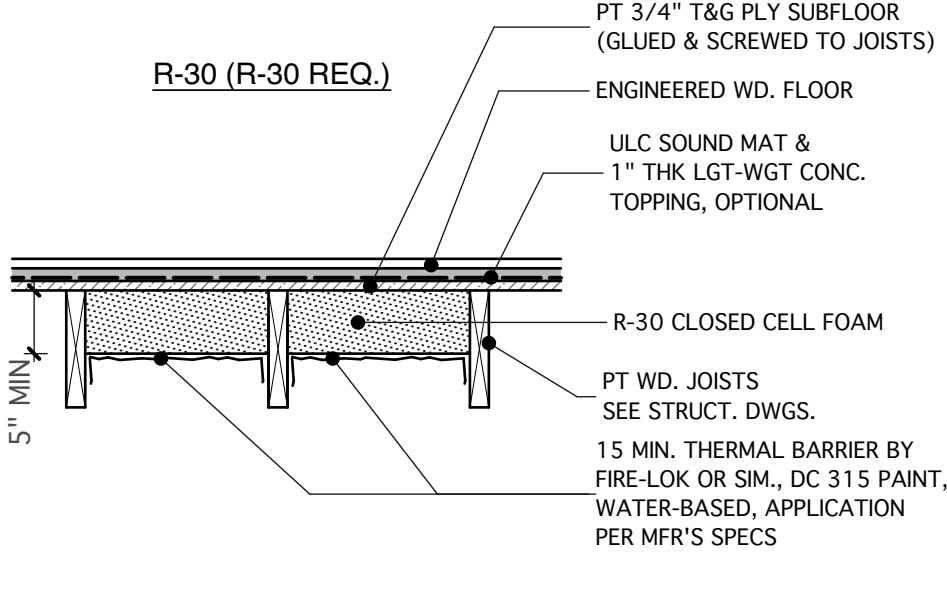
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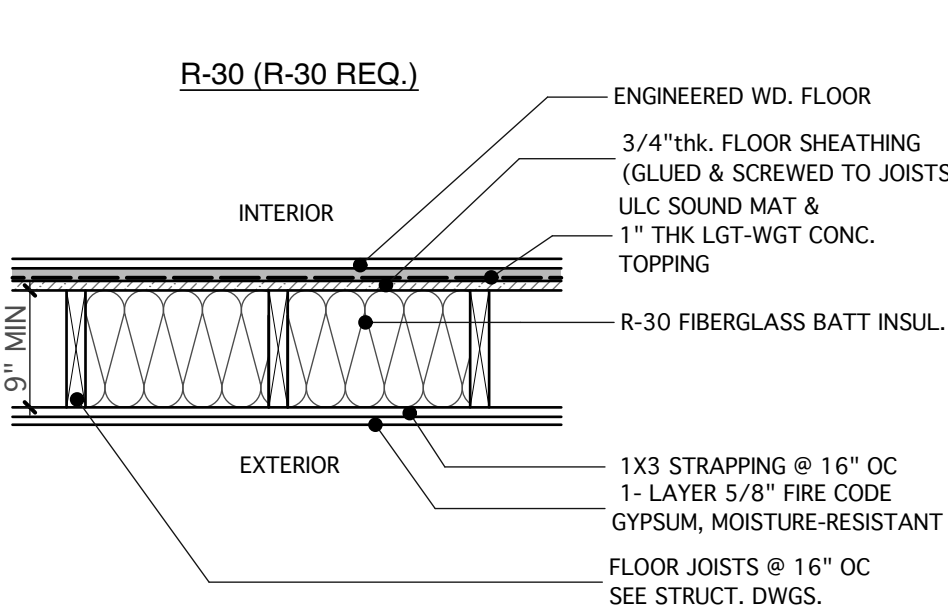
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Tim Johnson Architect, LLC			
<div><div>TIM JOHNSON ARCHITECT, LLC</div></div>			
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WALL/ FLOOR TYPES			
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A17			



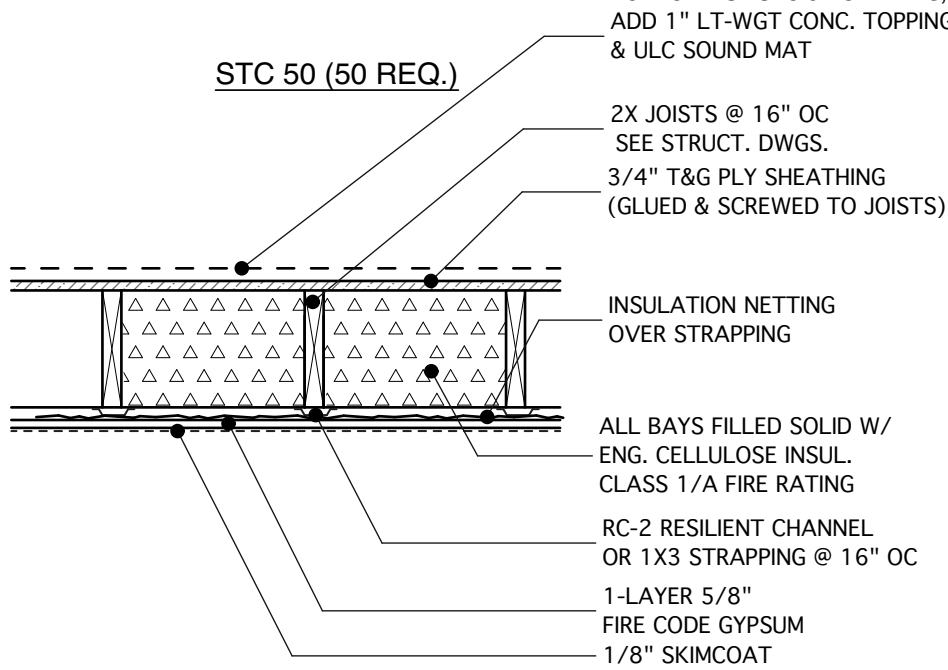
8D UNFINISHED CEILING ASSEMBLY
AT ROOF - CATHEDRAL



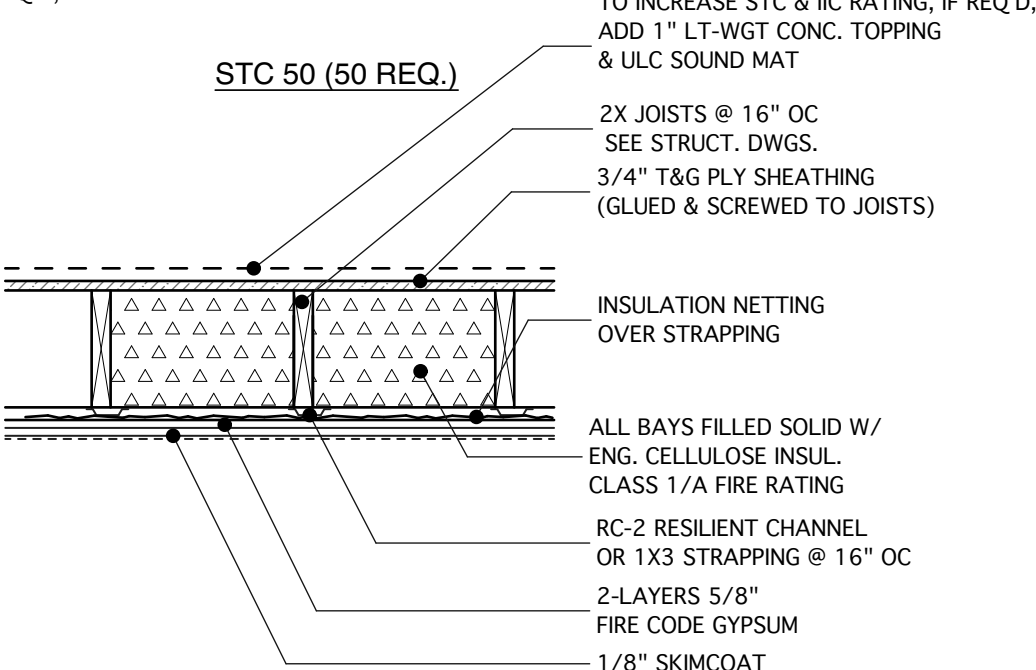
8E FLOOR/CEILING ASSEMBLY
AT CRAWLSPACE - VENTED



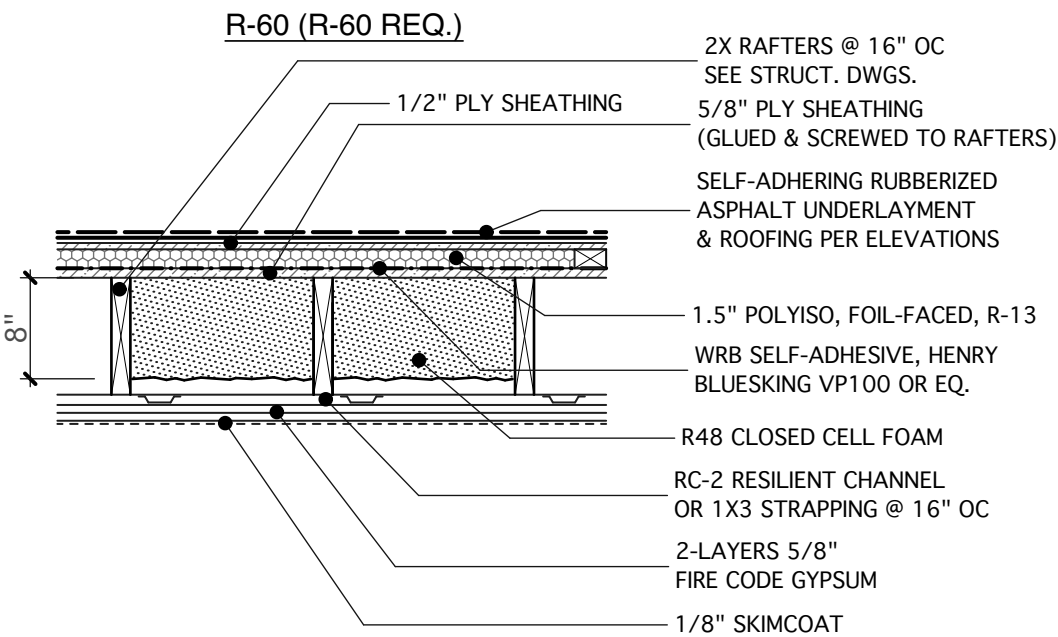
8F 1-HR FLOOR/CEILING ASSEMBLY
AT EXTERIOR CONDITION



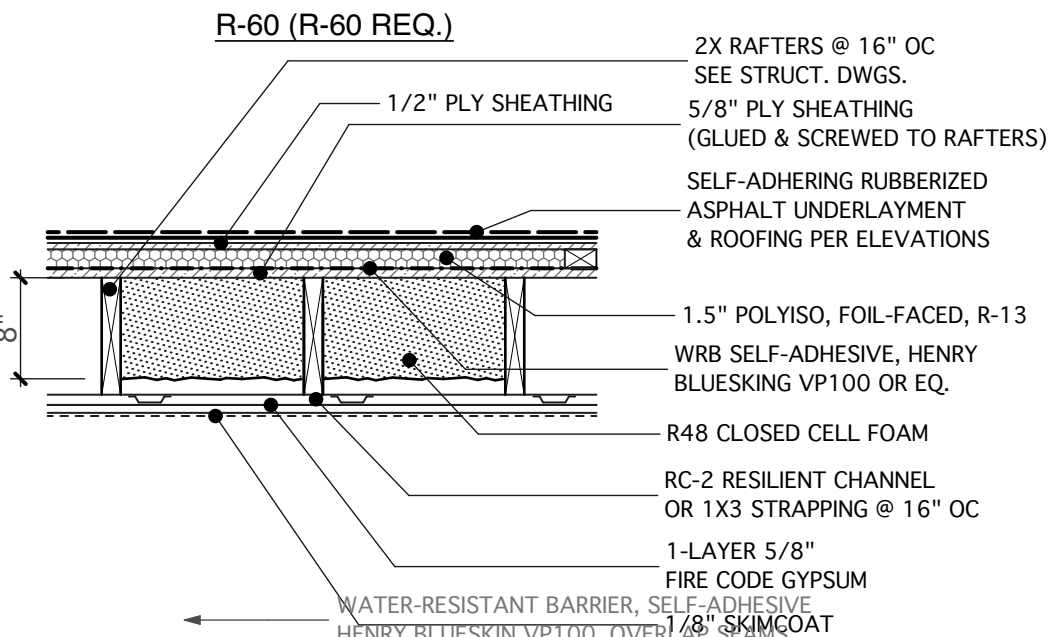
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AT INTERIOR CEILING



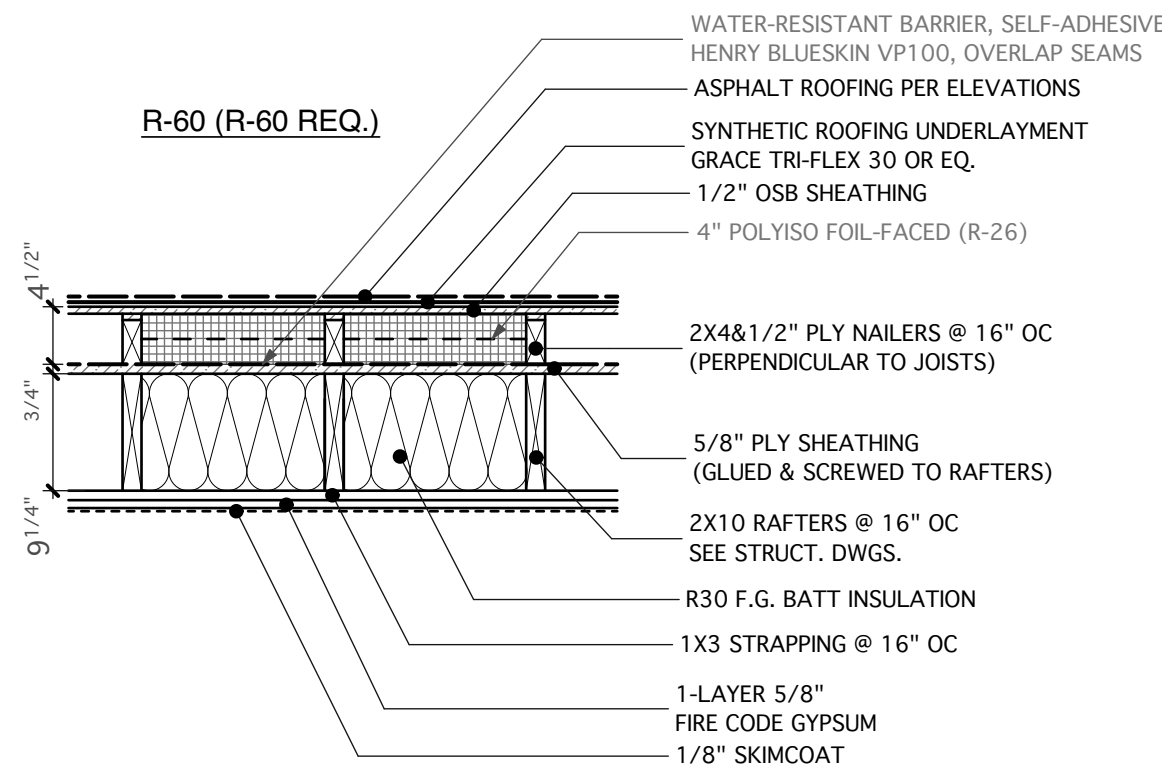
8A 2-HR FLOOR/CEILING ASSEMBLY
AT INTERIOR CEILING
UL DES L511



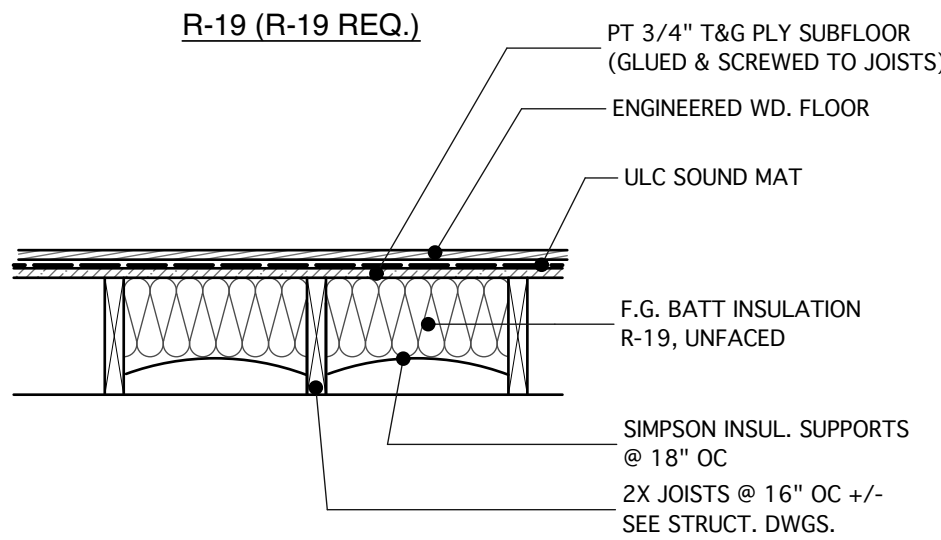
8B 2-HR CEILING ASSEMBLY
AT ROOF - CATHEDRAL
UL DES L511



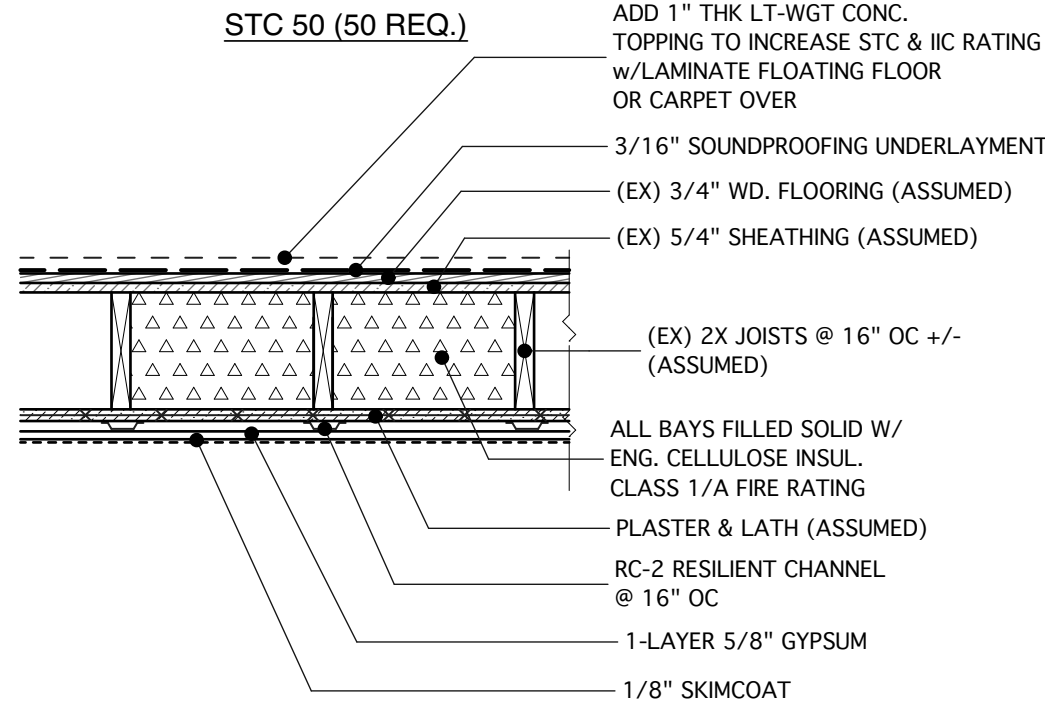
8C 1-HR CEILING ASSEMBLY
AT ROOF - CATHEDRAL
UL DES L569



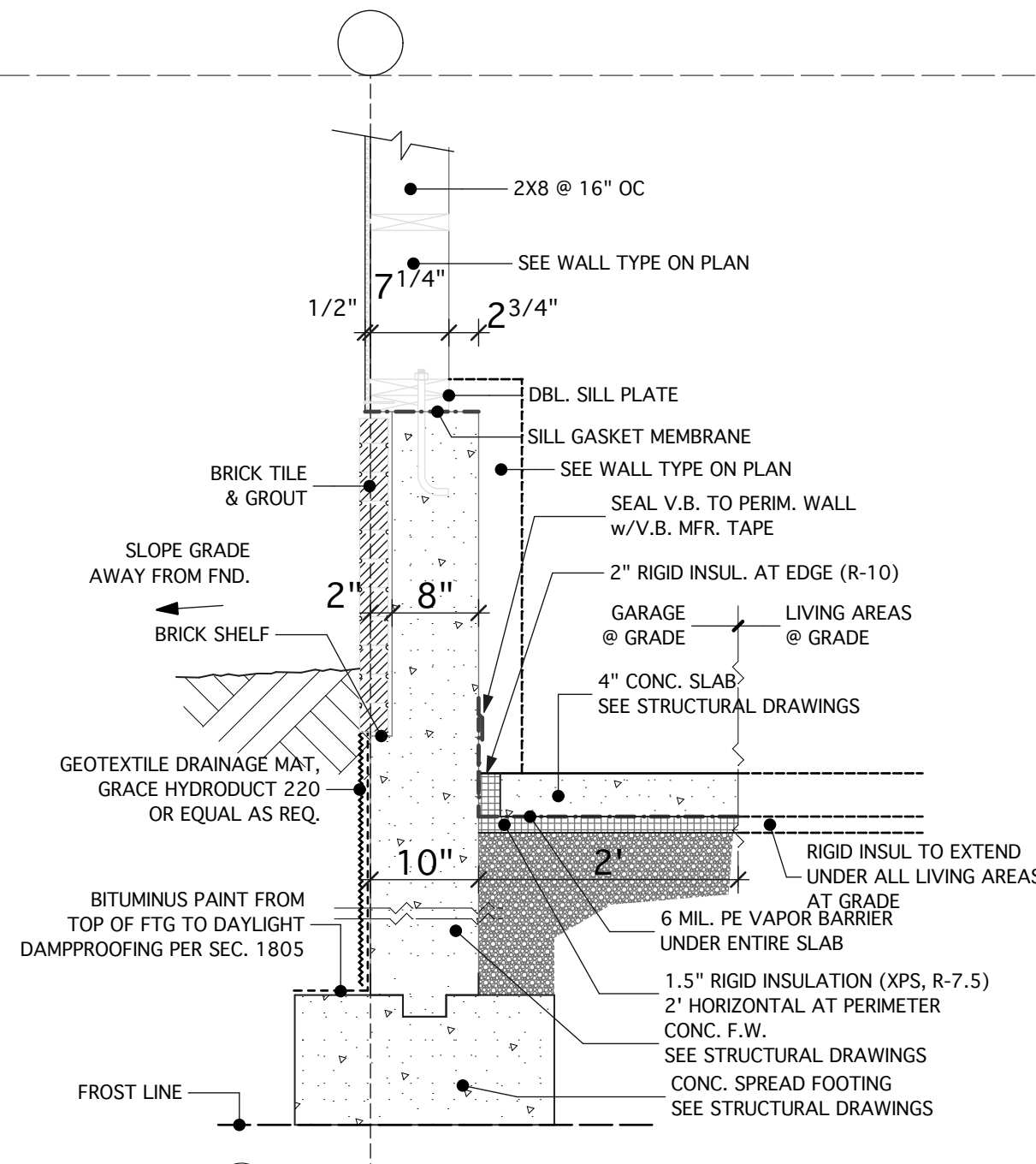
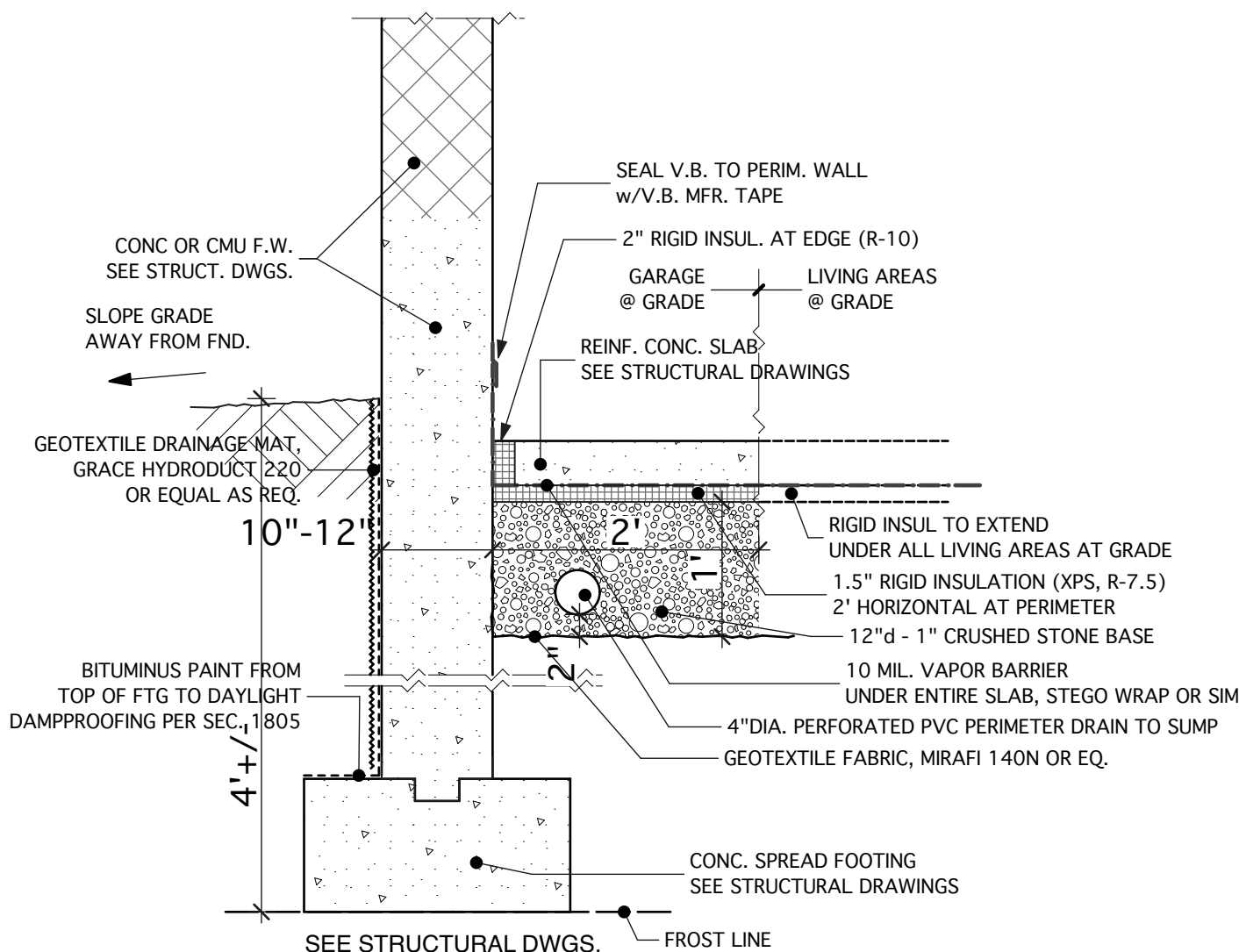
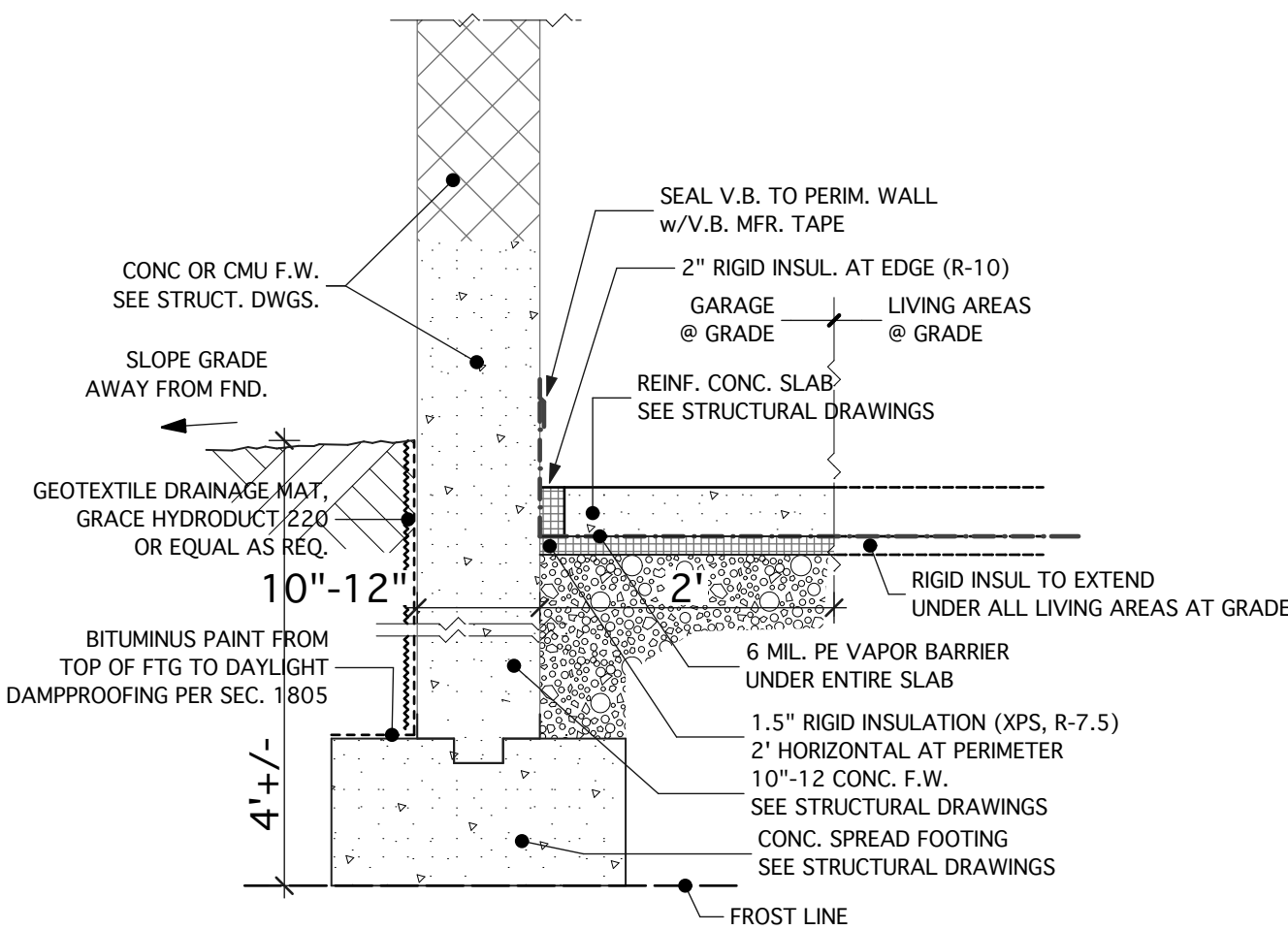
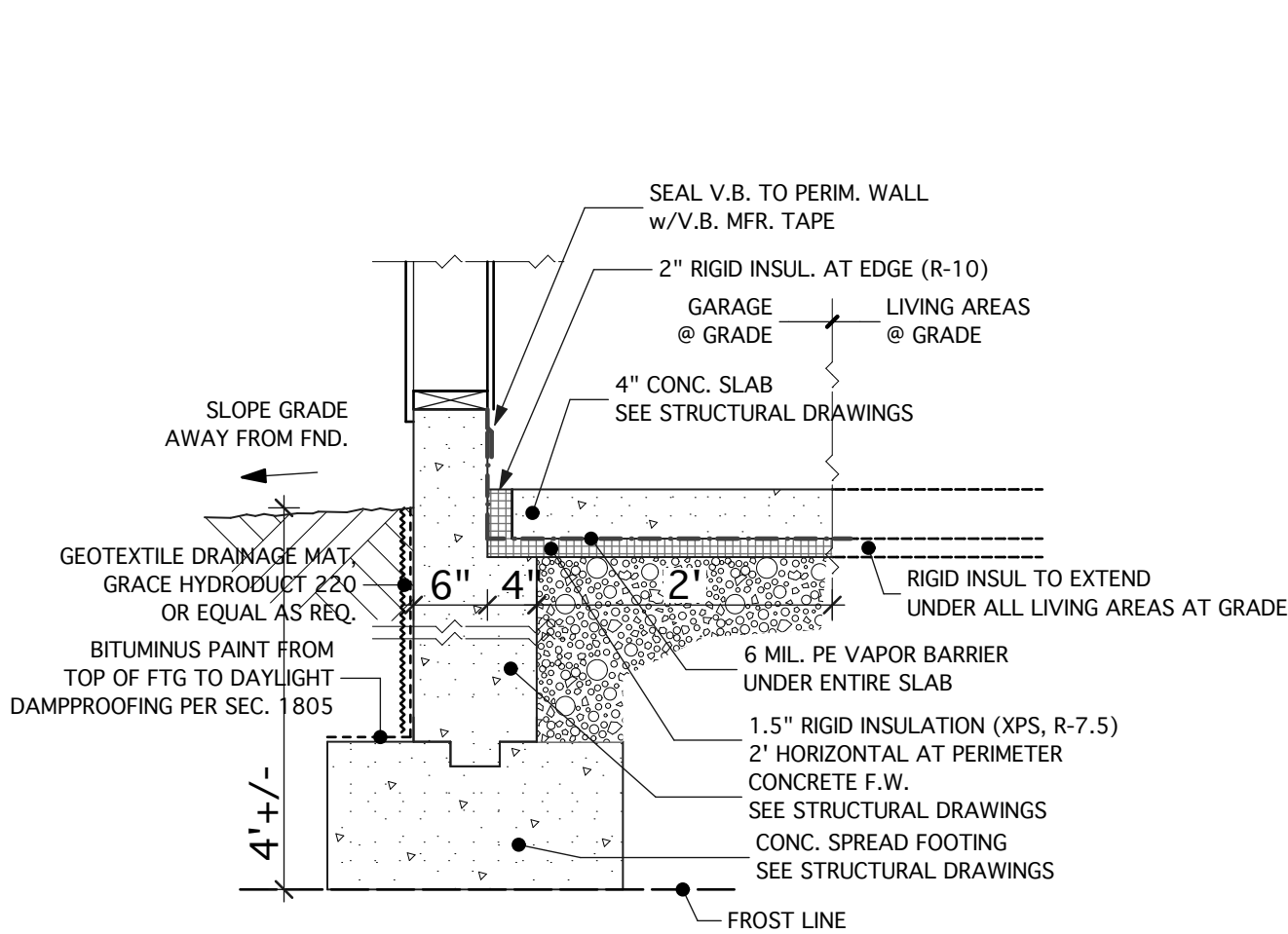
8J 1-HR CEILING ASSEMBLY
AT ROOF - CATHEDRAL
UL DES L569



8G FLOOR/CEILING ASSEMBLY
AT CRAWLSPACE - NOT VENTED

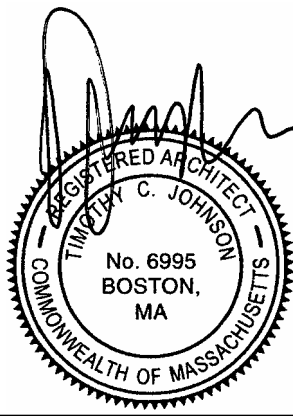


8H FLOOR/CEILING ASSEMBLY ALTERNATIVE
EXISTING FRAMING W/ EXIST. & OPTIONAL FINISHES



DS

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Tim Johnson Architect, LLC



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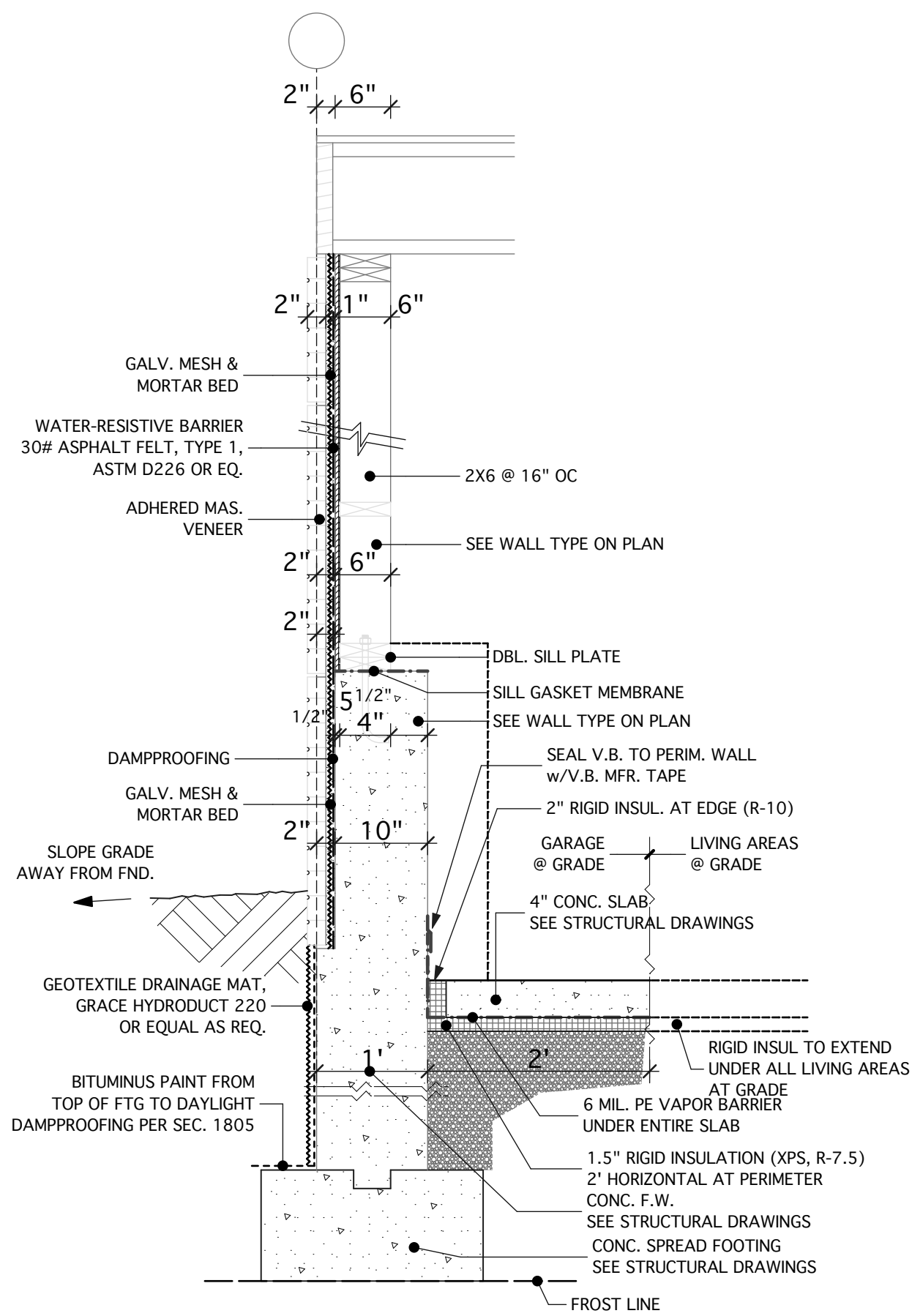
DRAWING TITLE

WALL/FLOOR
TYPES

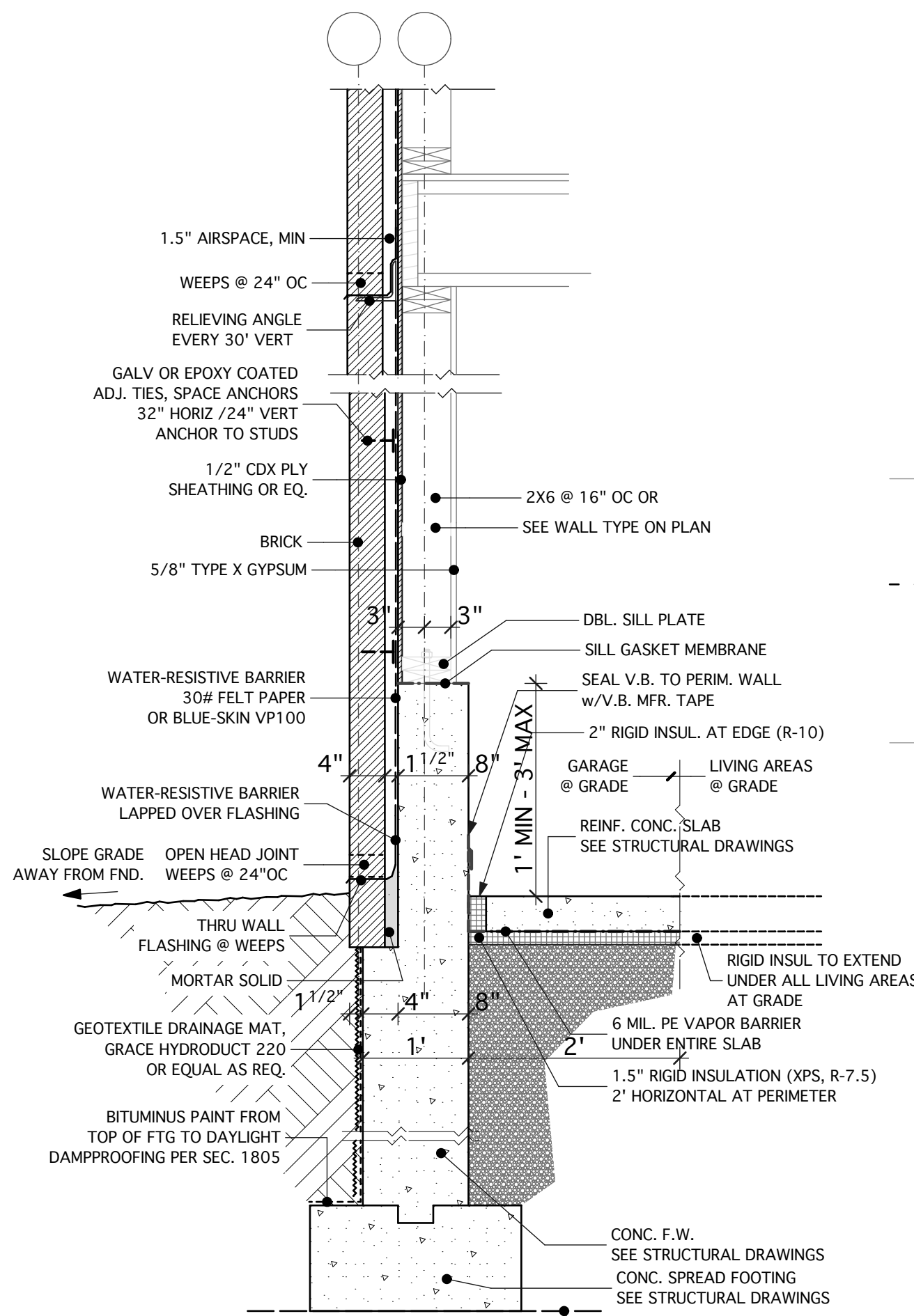
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SC: N. T. S.

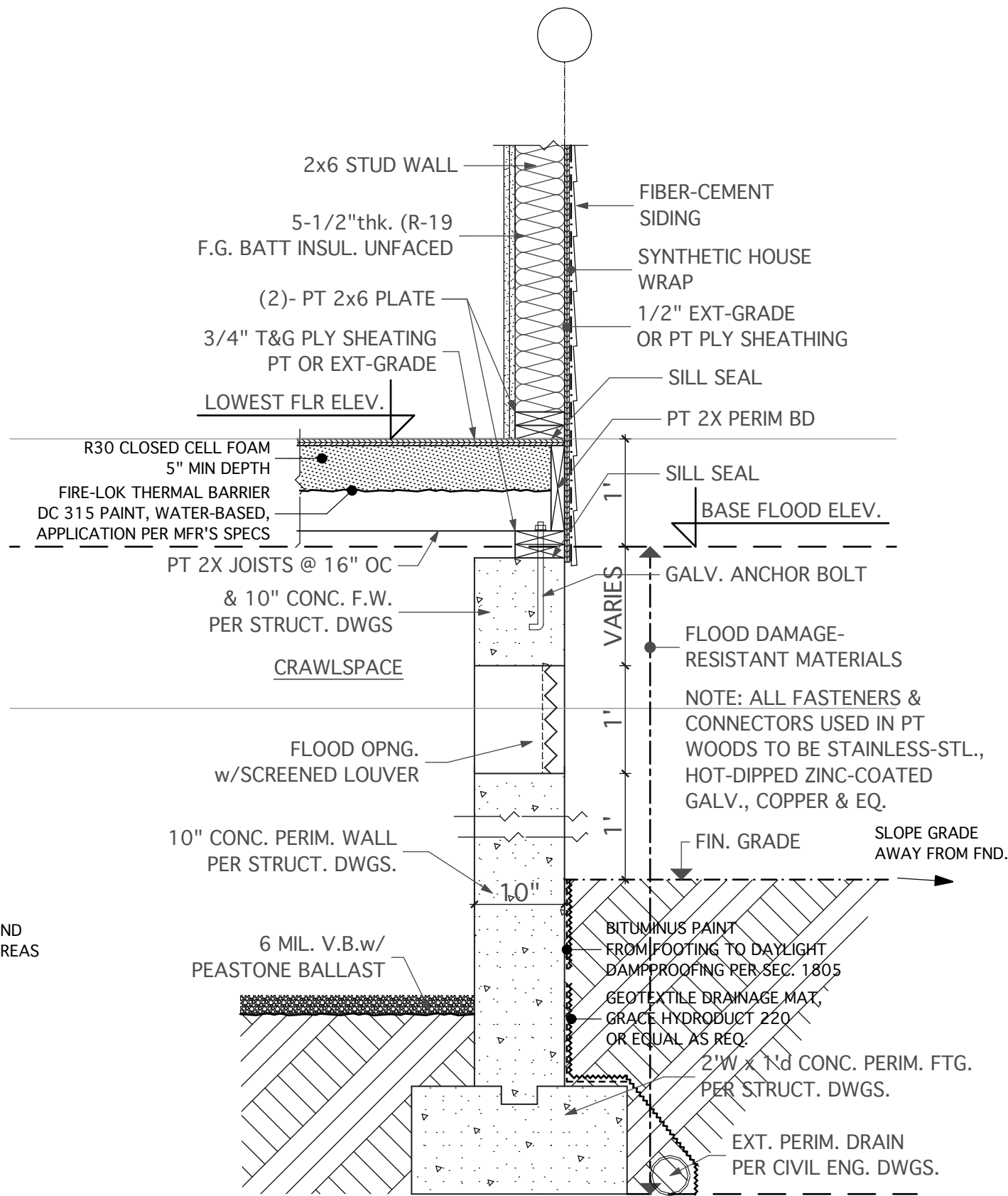
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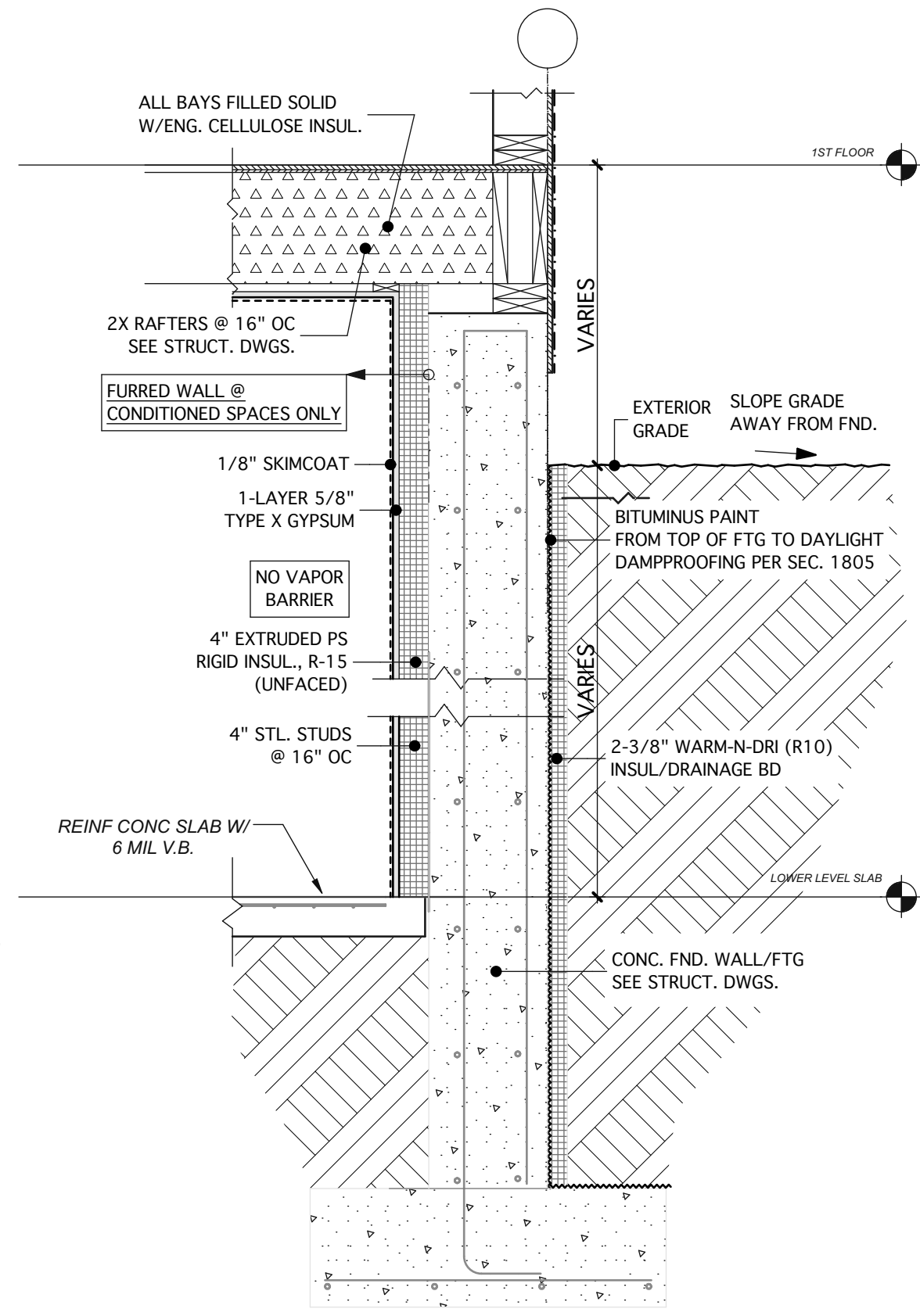
X5 KNEE WALL & SLAB ON GRADE DETAIL
ADHERED MASONRY VENEER WALL
SEE STRUCTURAL DWGS.



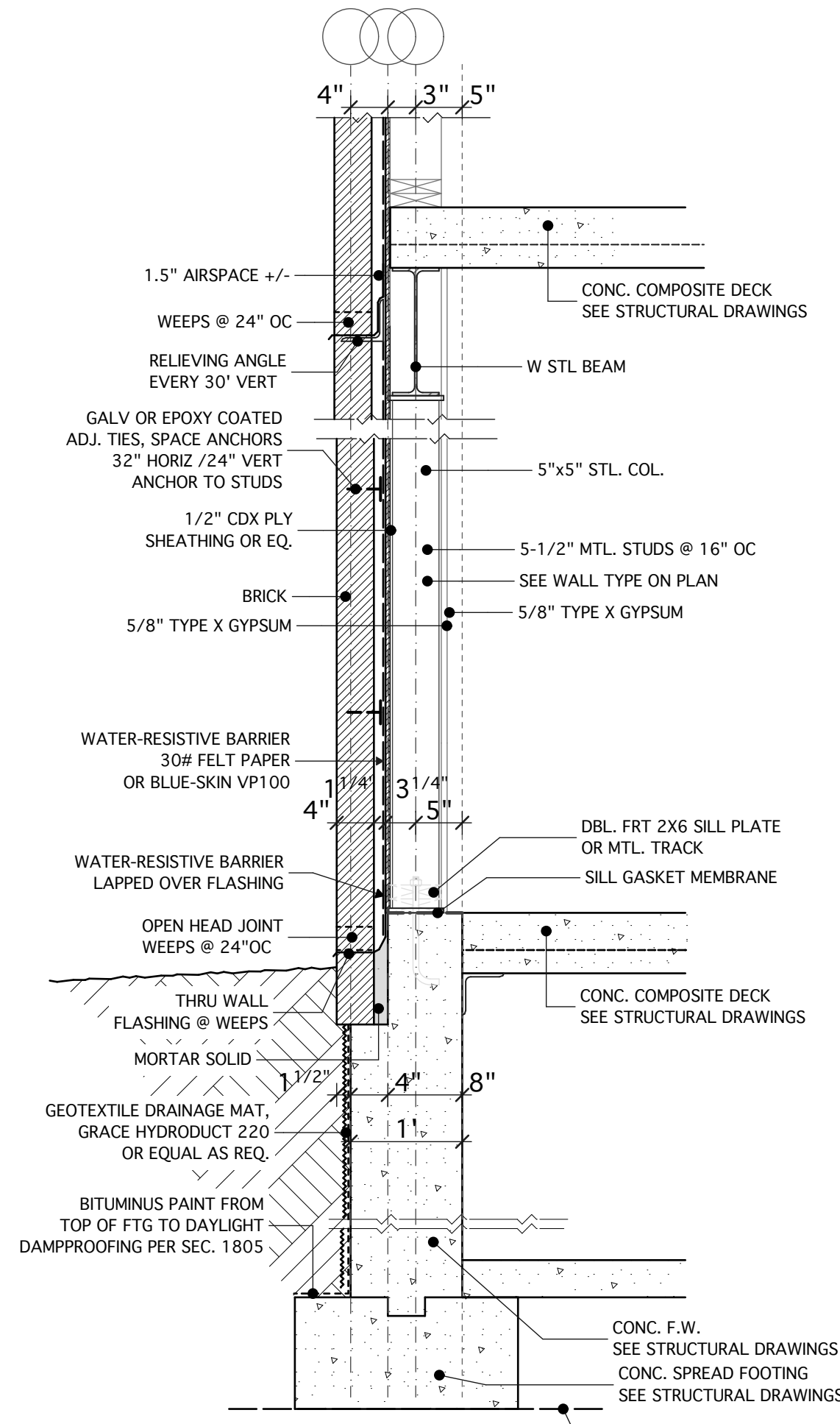
X6 KNEE WALL & SLAB ON GRADE DETAIL
SEE STRUCTURAL DWGS.



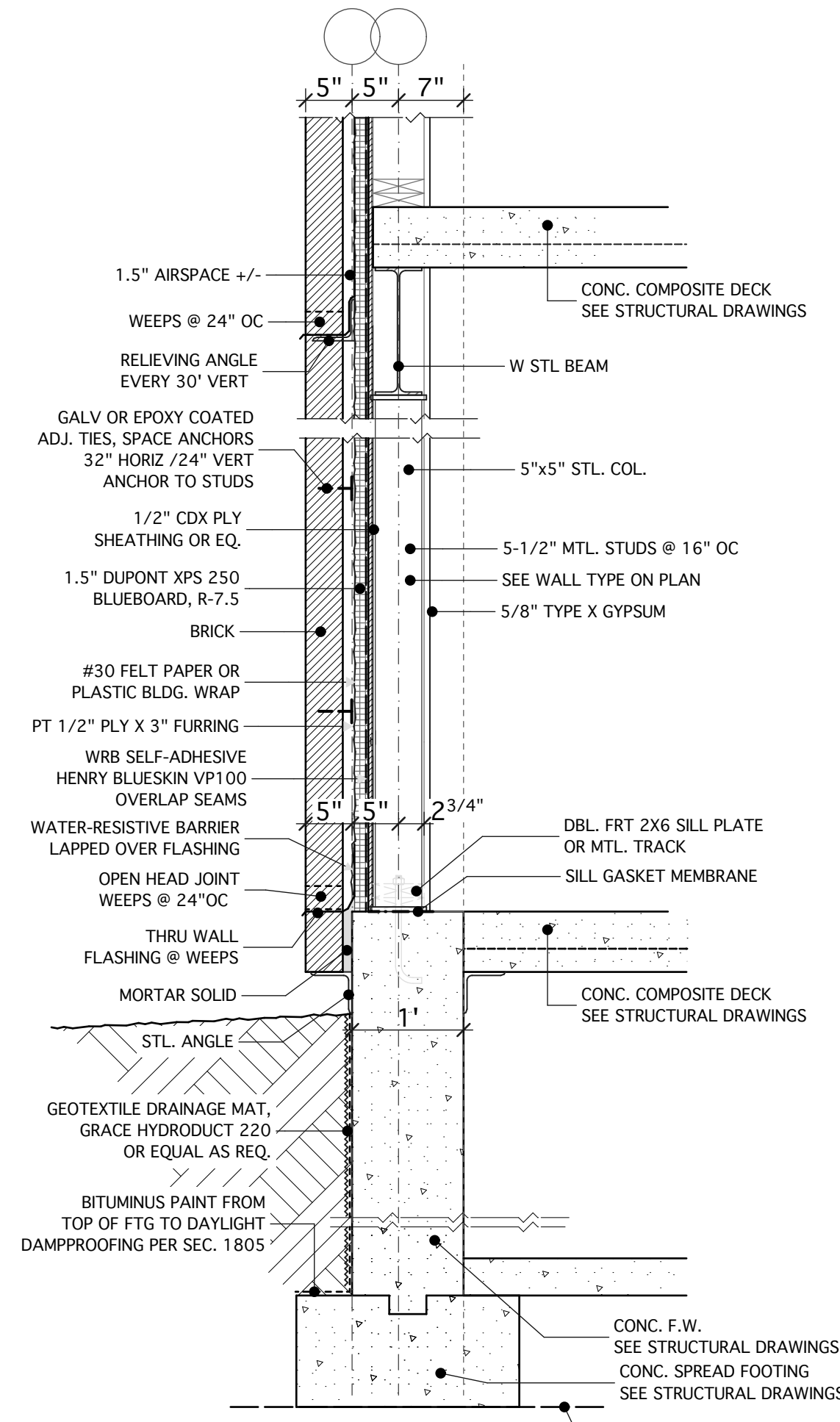
X7 FLOOD DAMAGE-RESISTANT
PERIM. FOOTING & EXTERIOR WALL DETAIL
PER 2015 IBC SECTION 1403.6
SEE STRUCTURAL DWGS.



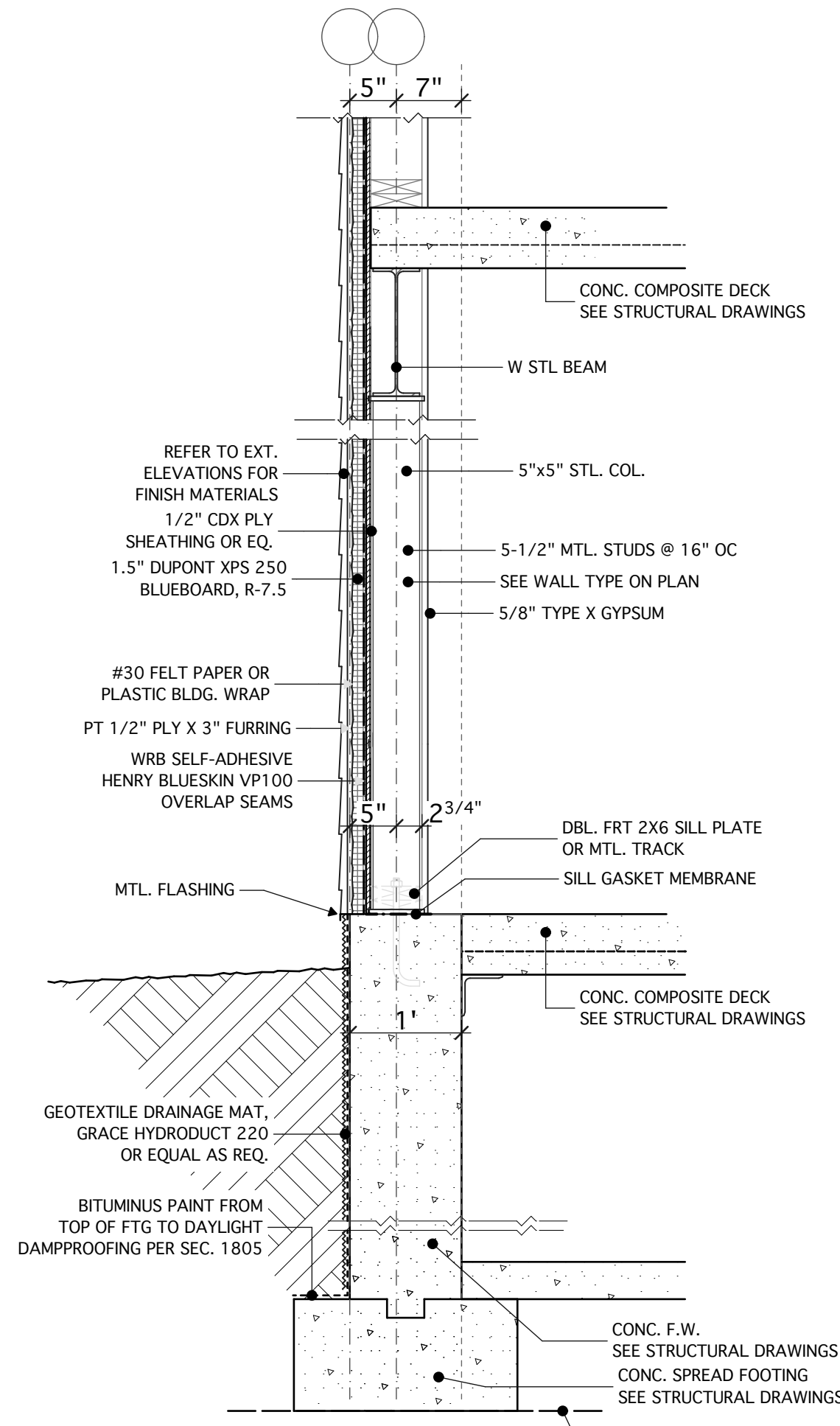
X8 FOUNDATION WALL SECTION
SEE STRUCTURAL DWGS.



X5 FOUNDATION WALL DETAIL
SEE STRUCTURAL DWGS.



X6 FOUNDATION WALL DETAIL
SEE STRUCTURAL DWGS.



X7 FOUNDATION WALL DETAIL
SEE STRUCTURAL DWGS.

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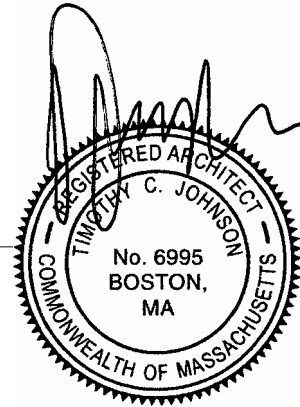
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