Cover Letter from the Homeowners (Tom & Abbey Durkin)

Boston Planning and Development Agency

<u>Attn</u>: Alexa Pinard; Joanne Marques 26-Aug-21 [Amended 29-Aug-21]

Subject: 114 Baldwin Street Charlestown - Roof Deck Permit Application Cover Letter (# ALT1217056)

<u>Property / Proposed Project Overview</u> **Residential Subdistrict:** RH-2000

Max Allowed Building Height (per Table C - Article 62): 35 ft.

Proposed Max Building Height Incl. New Deck + Railing: 27 ft., 11 in.

Proposed Incremental Height Above Existing Roof: 51 in.

Proposed Setback from Street-Facing Edge: 60 in.

Proposed Project Overview

My wife and I are Charlestown residents living at 114 Baldwin Street and are seeking permission to construct a roof deck at our home. After purchasing the house in September 2019, we exchanged correspondence with the prior owner and learned there have been multiple permitted roof decks constructed at the house in the past. The most recent of which was approved by the Inspectional Services Department in June, 1999 (Special Form Application # 07448) but was severely damaged in 2013 by a hurricane, obligating the prior owner to remove the damaged deck and never got around to rebuilding the deck before selling the house to us. As such, we propose constructing a new roof deck in accordance with state and city guidelines. The existing roof hatch opening with access stair is in good working condition and we do not propose altering anything about the opening, it's current dimensions or overall structure.

We have thoroughly reviewed Article 62 of the BDA Zoning Code for the Charlestown Neighborhood District; specifically, the conditions set forth Section 62-25, as we sought to propose a design that would ensure compliance with the outlined criteria and would not materially alter the profile and/or configuration of the roof, mindful of appropriate setback from the street-facing edge so as to preserve its street view profile at the 1:1 ratio (1 ft. setback for every 1ft of incremental height).

The following pages include new architectural drawings in addition to those initially submitted, which we believe adequately address the key components of additional information you requested in your recent letter – namely, existing vs. proposed elevations as well as existing vs. proposed roof plans. Further, we have also included an official plot plan stamped by a MA-registered land surveyor as well as photos / maps to provide additional context around our home's location / street-facing profile.

Many thanks for your consideration. Please do not hesitate to reach out with any questions or if there is anything at all we can do to be of further help. We look forward to hearing from you.

Best.

Tom & Abbey Durkin (114 Baldwin homeowners)

114 BALDWIN ST | CHARLESTOWN, MA | 02129

Proposed Roof Deck Construction

Response to request for additional information as supplement to permit application #ALT1217056.

August 26, 2021 [Amended August 29, 2021]

Property / Project Headlines

Residential Subdistrict: RH-2000

Max Allowed Building Height (per Table C – Article 62): 35 ft.

Proposed Max Building Height Incl. New Deck + Railing: 27 ft., 11 in.

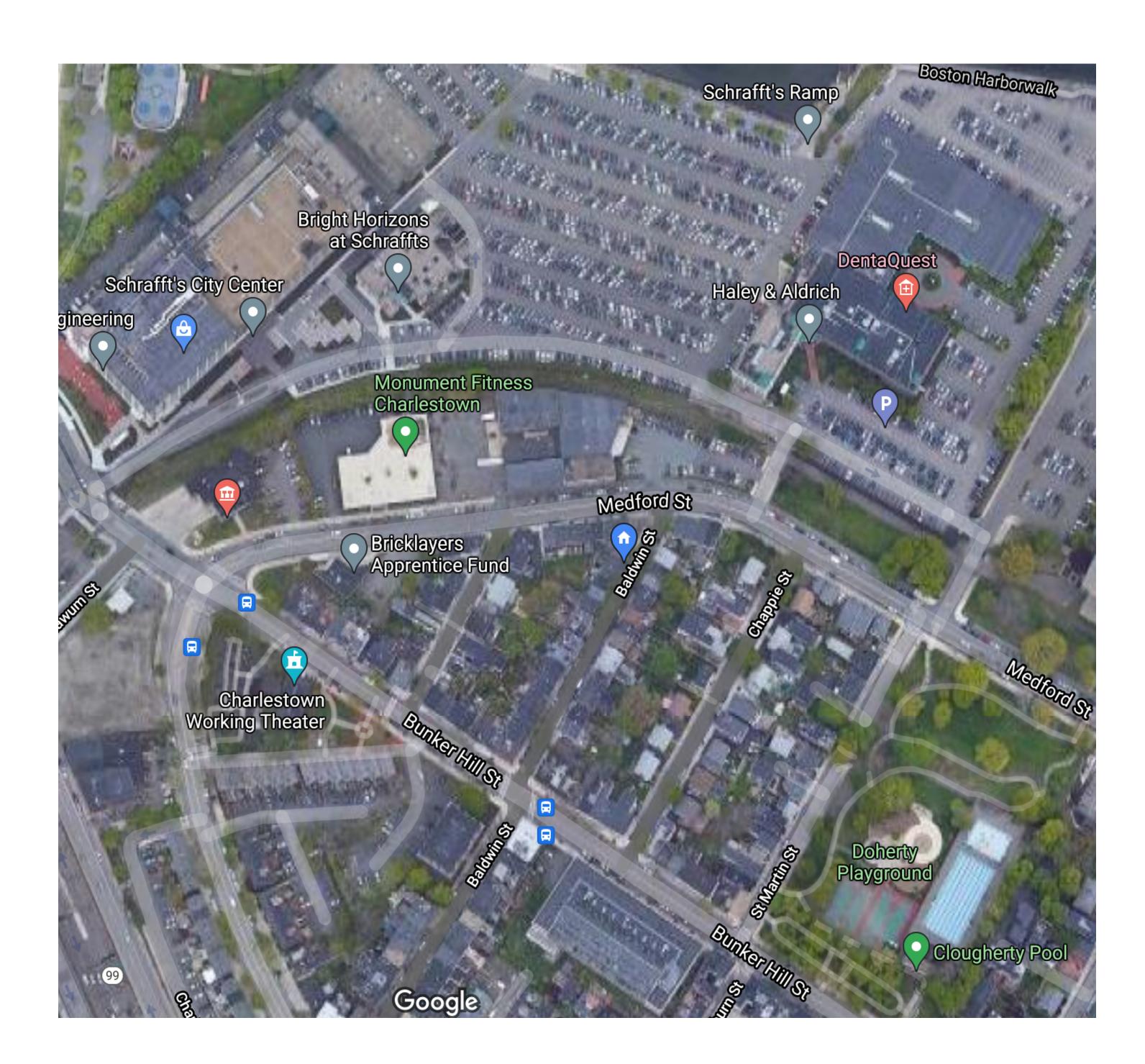
Proposed Incremental Height Above Existing Roof: 51 in.

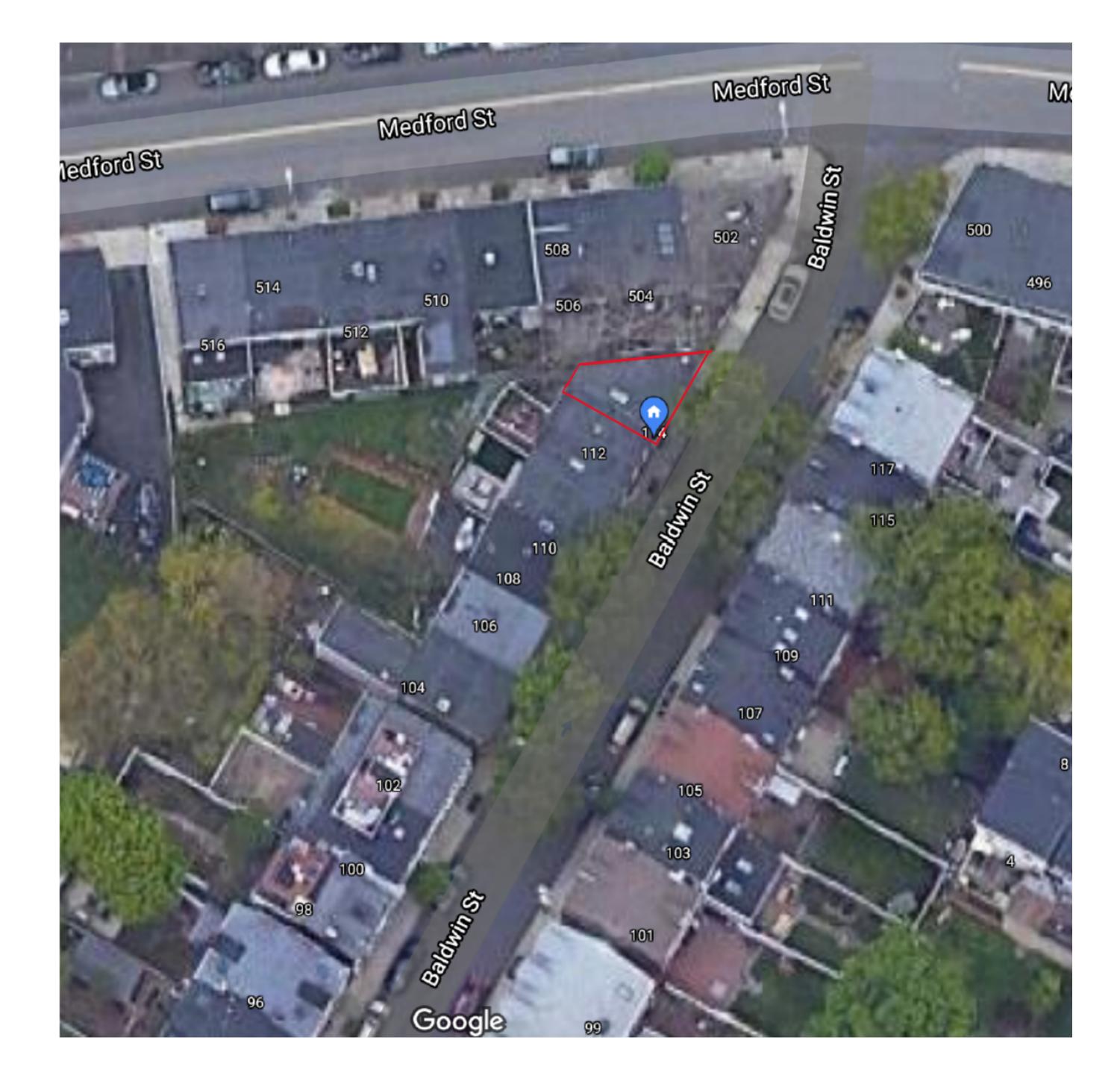
Proposed Setback From Street-Facing Edge: 60 in.

Additional detail provided in following pages:

- Map views of property location
- Structural drawings previously submitted
- New architectural drawings (existing vs. proposed elevation and roof)
- Certified plot plan





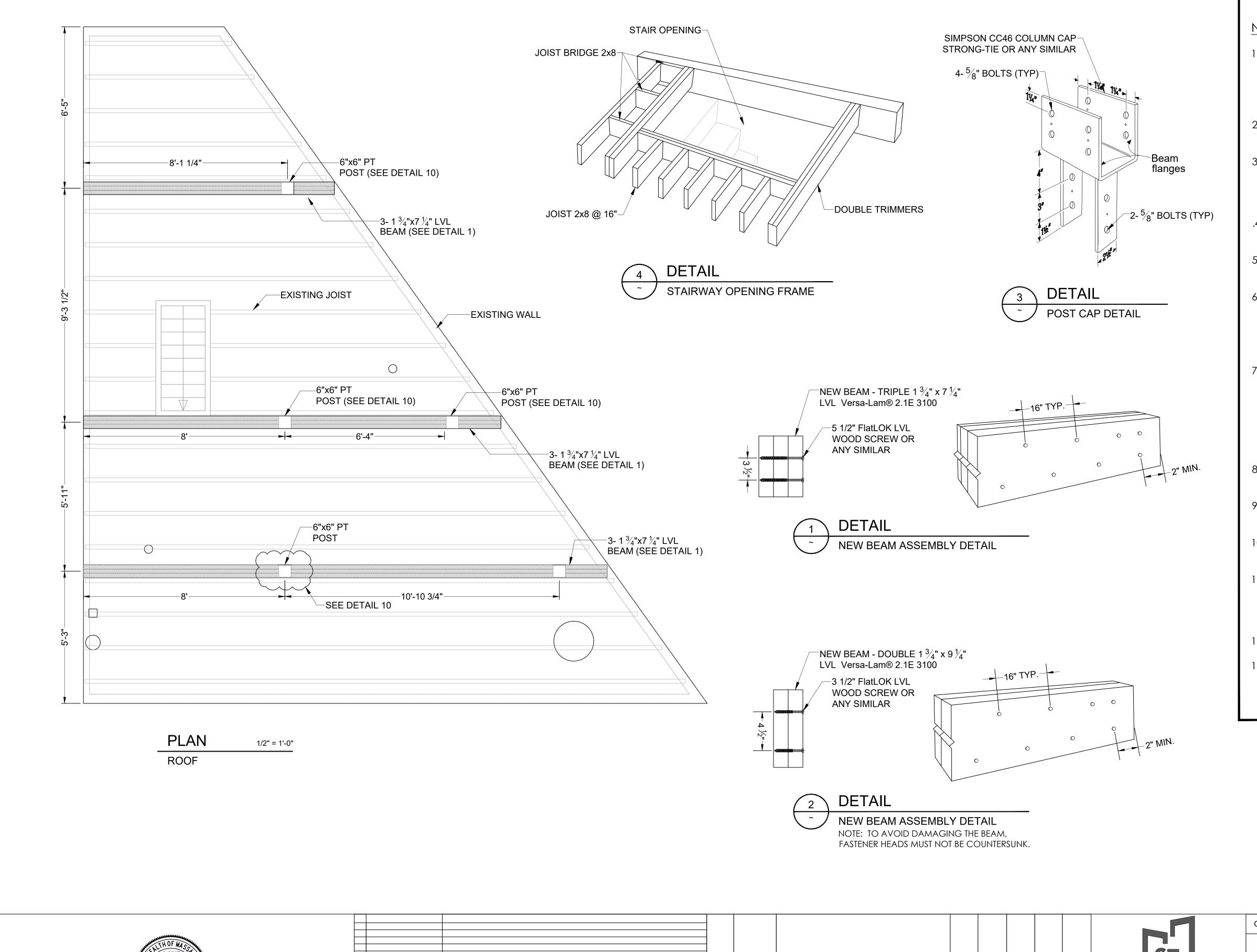


LOCATION VIEW | ZOOMED OUT

DEPICTION OF PROPERTY (INDICATED BY BLUE BUBBLE WITH HOUSE ICON) POSITIONING WITHIN BROADER NEIGHBORHOOD

LOCATION VIEW | ZOOMED IN

RED OUTLINE TRACES THE APPROX. PERIMETER OF THE PROPERTY WITH RESPECT TO FRONTAGE STREET (BALDWIN); SHOWING THE CURRENT STATE OF THE FLAT ROOF SURFACE WITH EXISTING HATCH OPENING



REFERENCE DRAWING

REVISION

REVISION DESCRIPTION

MA/ S-101

NOTES:

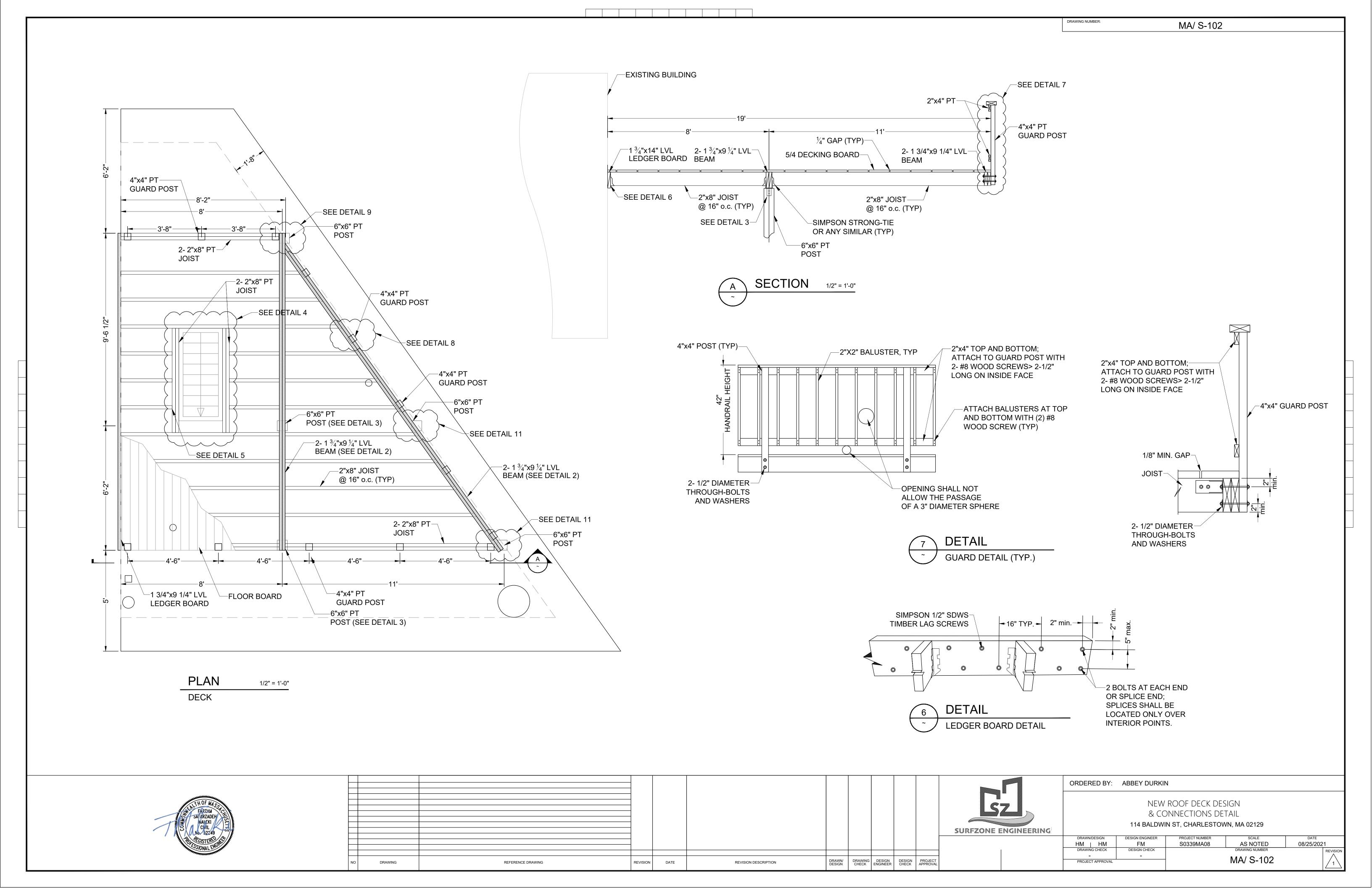
- 1. STRUCTURAL DESIGN DATA:
 - IBC 2015 DESIGN SPECIFICATIONS
 - . 15 PSF DEAD LOAD (Deck load, Framing)
 - 45 PSF LIVE LOAD
 - . 40 PSF SNOW LOAD
- 2. UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF ANY WORK. ALL INCONSISTENCIES SHALL BE REPORTED TO THE DESIGNER AND/OR STRUCTURAL ENGINEER.
- .4 "ALL NAILS SHALL MEET THE REQUIREMENTS OF ASTM F1667". IT IS RECOMMENDED TO USE THREADED NAILS.
- 5. "ALL BOLTS SHALL MEET THE REQUIREMENTS OF ASTM F3125". IT IS RECOMMENDED TO USE GALVANIZED THREADED BOLT.
- 6. G.C. TO COORDINATE AND IMPLEMENT THE DISCONNECTION OF ALL UTILITY LINES AND RECONNECTION OF TEMPORARY UTILITIES REQUIRED FOR WORK THROUGHOUT CONSTRUCTION. NO DEMOLITION WORK TO BEGIN PRIOR TO RESOLVING ALL UTILITY ISSUES.
- 7. DO NOT REMOVE STRUCTURAL LOAD BEARING ELEMENTS UNLESS SPECIFICALLY DIRECTED BY ARCHITECT AND/OR ENGINEER. REMOVE SUCH ELEMENTS ONLY WHEN THE REPLACEMENTS STRUCTURAL ELEMENTS ARE READY FOR IMMEDIATE INSTALLATION. PROVIDE TEMPORARY SUPPORT AS DIRECTED BY ENGINEER AND/OR ARCHITECT WHEN REPLACING STRUCTURAL COMPONENTS.
- 8. TAKE CARE TO PROTECT ANY COMPONENTS THAT ARE TO REMAIN.
- 9. TAKE CARE WHEN REMOVING COMPONENTS TO LIMIT THE DAMAGE TO ADJACENT WORK.
- 10. REFER TO AND COORDINATE ALL DEMOLITION WORK WITH THE PROPOSED PLANS AND ELEVATIONS.
- 11. MAINTAIN A SAFE WORK ENVIRONMENT, DO NOT LEAVE EXPOSED NAILS, BROKEN GLASS, OR ANY TYPE OF DANGEROUS CONDITION THAT WOULD NOT BE CONSISTENT WITH NORMAL PROGRESSION OF NEW CONSTRUCTION.
- 12. FOR BEAM USE LVL Versa-Lam® 2.1E 3100 OR SIMILAR.
- 13. APPLICABLE CODE: MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

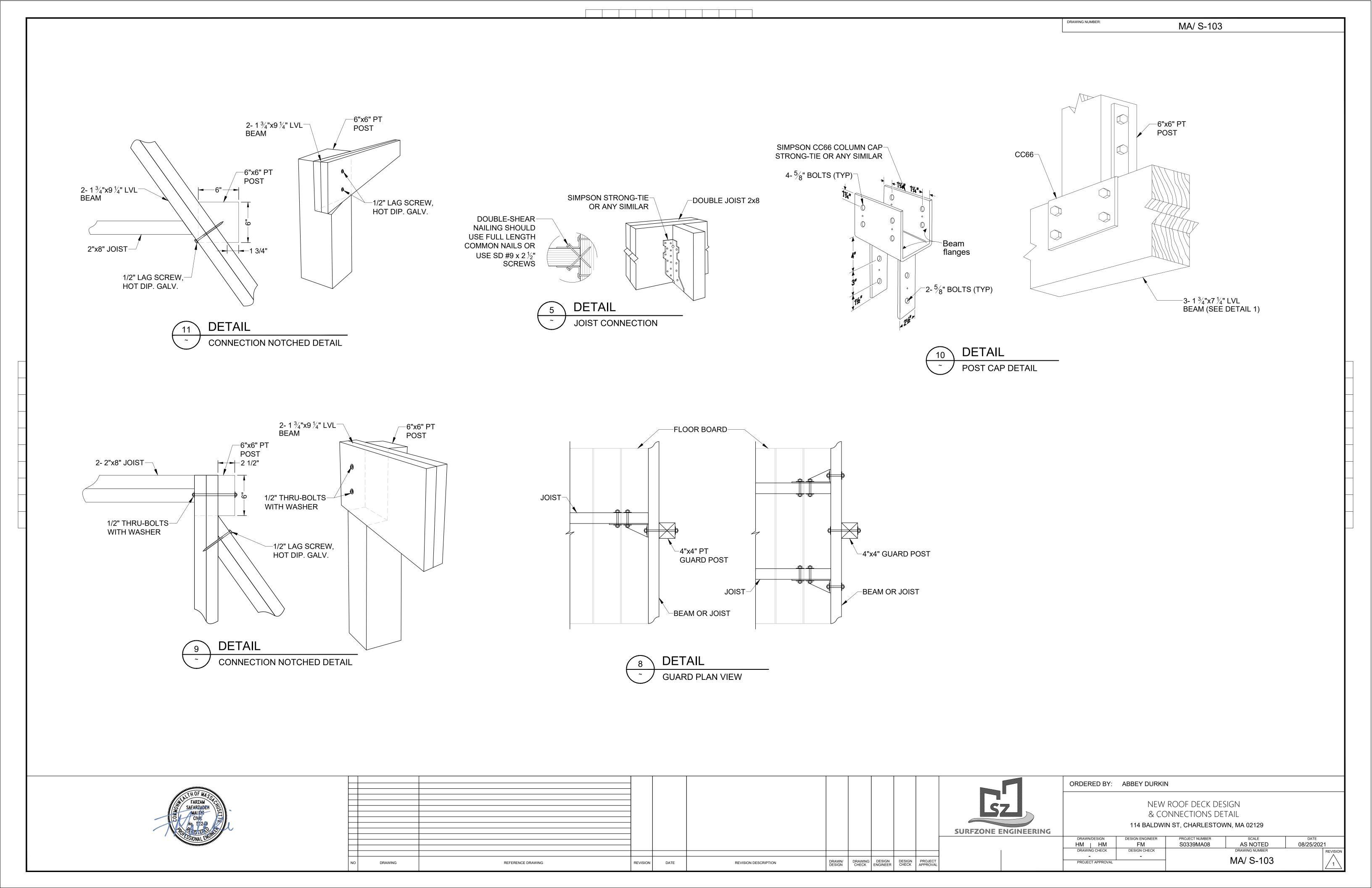
ORDERED BY: ABBEY DURKIN

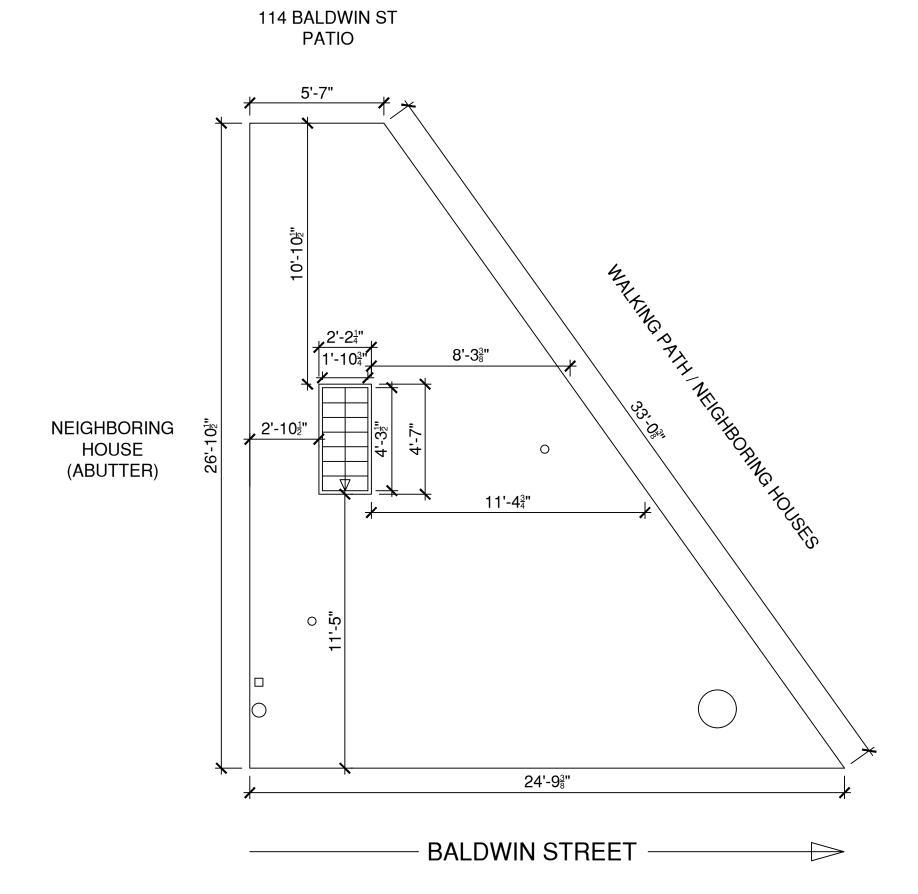
SURFZONE ENGINEERING

DRAWN/ DRAWING DESIGN DESIGN PROJECT DESIGN CHECK ENGINEER CHECK APPROVA NEW ROOF DECK DESIGN & CONNECTIONS DETAIL 114 BALDWIN ST, CHARLESTOWN, MA 02129



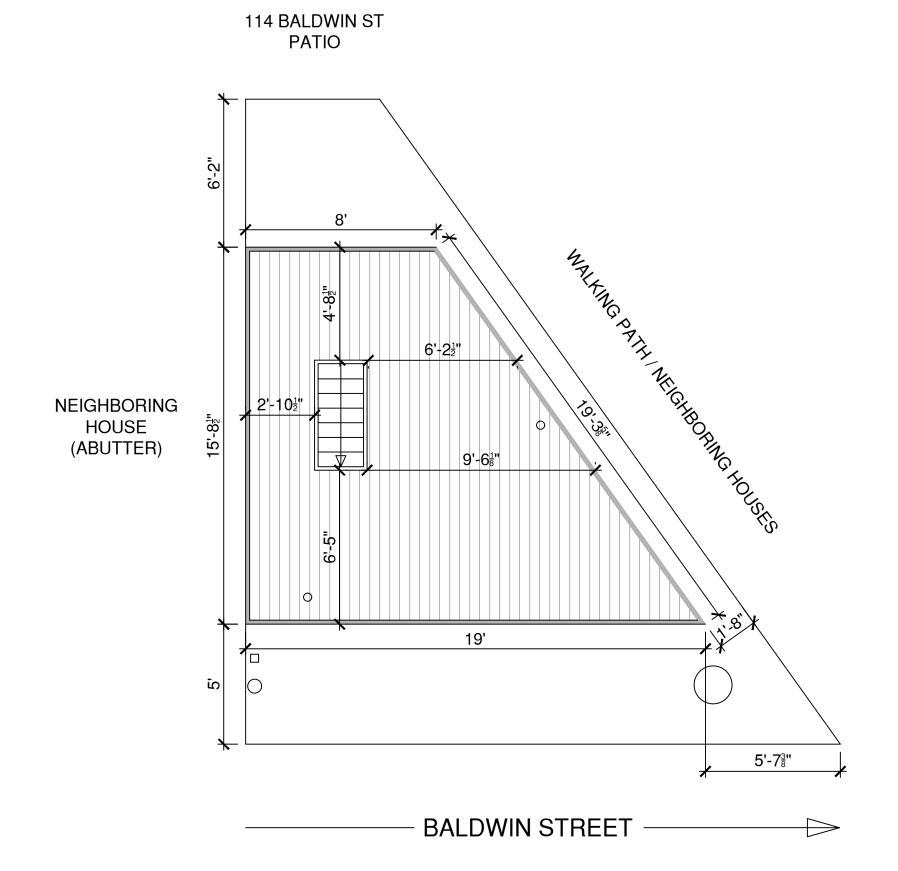






PLAN 1/4" = 1'-0"

EXISTING ROOF TOTAL AREA: 408' TOTAL PERIMETER: 90'-8"



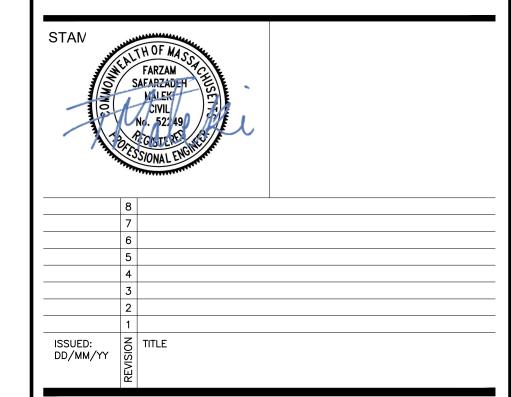
PLAN

PROPOSED ROOFDECK

PROPOSED AREA: 212'

PROPOSED PERIMETER: 62'-1"

COMMENT





SURFZONE ENGINEERING

TITL

EXISTING & PROPOSED FLOOR PLANS

PROJECT

114 BALDWIN ST, CHARLESTOWN, MA 02129

ORDERED BY

PREVIOUS NUMBERS

ABBEY DURKIN

DRAWN HM	JOB No
CHECKED FM	
DATE 08/25/2021	SHEET No
SCALE 1/4" = 1'-0"	
PLOTTED ANSI D	CAD No
PLEASE DESTROY SHEET BEARING	

BALDWIN STREET

1/4" = 1'-0"

ELEVATION

EXISTING ELEVATION MAX HEIGHT: 24'-3"

PROPOSED RAILING MATERIALS NOTES

1. ENTIRETY OF PROPOSED RAILING TO BE CONSTRUCTED USING ALL GROUND CONTACT PRESSURE TREATED (PT) WOOD

2. ALL WOOD TO BE STAINED / PAINTED FOLLOWING CONSTRUCTION COMPLETION, FOR AESTHETIC APPEAL AND TO MATCH PROPERTY / NEIGHBORHOOD CHARACTER

3. ALL NAILS, SCREWS AND HANGERS SHALL BE GALVANIZED / WATER RESISTANT

RAIL CAP: PT 2"x 6"
GUARD POSTS: PT 4"x 4"
BALUSTERS: PT 2"x 2"
TOP & BOTTOM RAILS: PT 2"x 4"

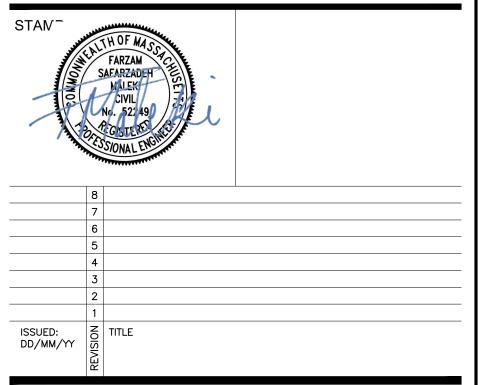


ELEVATION

1/4" = 1'-0"

PROPOSED ELEVATION
MAX PROPOSED HEIGHT: 27'-11"

COMMENT





SURFZONE ENGINEERING

TITLE

EXISTING & PROPOSED ELEVATION VIEW

PROJECT

114 BALDWIN ST, CHARLESTOWN, MA 02129

ORDERED BY

ABBEY DURKIN

DRAWN

CHECKED

FM

DATE

08/25/2021

SCALE

1/4" = 1'-0"

PLOTTED ANSI D

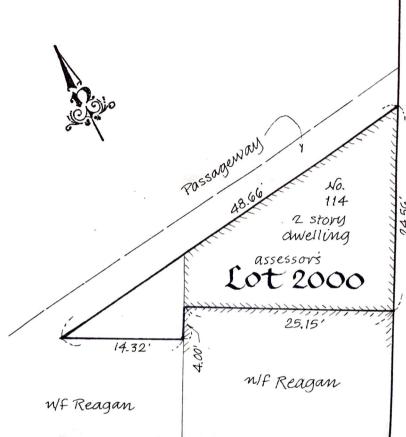
CAD No

PLEASE DESTROY SHEET BEARING
PREVIOUS NUMBERS

MORTGAGE INSPECTION PLAN

Applicant: Pollak

Location: Charlestown



Baldwin Street

Title ref: <u>Ctf. 125859</u> Flood Panel: <u>25025C0014J</u> Flood Zone: <u>X</u> I hereby certify that this mortgage inspection was prepared for Stiles and Associates, UC

The dwelling shown hereon <u>does not</u> fall in a special J.E.M.A. flood zone "A" or "V", with an effective date of <u>3-16-16</u> and the location of the dwelling <u>does</u> conform to the local zoning by-laws in effect at the time of construction with respect to horizontal dimensional setback requirements or is exempt from violation enforcement action under M.G.L. Ch. 40A, sect.7.



Scale: 1"= <u>10"</u> Date: <u>8-1-19</u> 7ile No. <u>19-1404</u>

Please note: The structures shown on this mortgage inspection are shown approximate only. An instrument survey is necessary to determine a precice location of structures and property lines. This mortgage inspection must not be used for recording purposes or for use in preparing deed descriptions and must not be used for variance or building department purposes. Verification of building locations, propery line dimensions, fences or lot configuration can only be accomplished by an accurate instrument survey which may reflect different information than what is shown hereon. NOTE: THIS IS NOT A BOUNDARY SURVEY AND IS FOR MORTGAGE PURPOSES ONLY.

COLONIAL LAND SURVEYING COMPANY, INC

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