



DOWNTOWN  
BOSTON

BUSINESS IMPROVEMENT DISTRICT

# Design Guidelines

BOSTON'S BUSINESS  
IMPROVEMENT DISTRICT

2014

926 Shopping District, Washington St., Boston, Mass.



*Historic view looking north on Washington Street*





*Modern day view looking south on Washington Street.*

March 2014 Draft

# Contents

---

## Introduction

---

07

## Street Types

---

13

### Pedestrian Zones

15

- 18 Downtown Crossing
- 22 Washington Street
- 32 Summer Street
- 36 Winter Street
- 40 Shopper's Park
- 42 Reader's Park
- 46 Washington St. Extension
- 50 Tontine Crescent

### Ladder Blocks

54

### Alleys

60

### Typical Streets

66

## Materials

---

72

### Paving

76

### Infrastructure

84

### Tactical Urbanism

86

### Furniture

90

### Planters

94

### Planting

96

### Furniture & Planter Plans

- 106 Downtown Crossing
- 108 Summer Street
- 110 Shopper's Park
- 112 Reader's Park
- 114 Washington St. Extension
- 116 Tontine Crescent
- 118 Winthrop Square
- 122 CVS Plaza

## Appendix

---

### Planter Branding

128

### Paving Patterns

130

### Scoring Patterns

134

### Paving Plans

- 136 Downtown Crossing
- 138 Summer Street
- 140 Winter Street
- 142 Shopper's Park
- 144 Reader's Park
- 146 Winthrop Square

### Gates To Pedestrian Zones

147

### Materials Matrix

148

### Permeable Paver Details

156

### Wayfinding

157



# LETTER

Equē velluptiscit aciis acidia iuntinv eliquam, omnim hil  
molore, natisque pori utemper umquis dolupit et minc-  
tet accus eostrum rem int eic testem. Nam int la dipsunt  
orepedis corest, comnis mo bla di conet et etur si alibus  
evenducitemo doluptatur?

Ga. Aquam ate cum sequas simus duntionsequi quaspie  
tuscia nis simusciandio estis aut iderum et, comnis idit  
ommod quam estias nime ma quatis eum fugiassimos  
consecte cus, qui quid ulpa cuscitaqui que voluptametur  
aceatur maxim namus, ullabor sin resequem prem harum  
fugia consequissus maio. Inciae solupie nientum ut pa  
enae derpelque m facem muni et audis et vis  
do utatur.

Bo. facula con plic te consequere pre cum fugite nosamet  
 volor sedi nonquiatum, aut volut volesti acidus  
 modis et invelendi officia dias voluptation plantus, quam  
 rre piqua. Nollotae nunt sunt un nactum  
 Quimppolopti und ditionis aut tucili a destrum non  
 conctet odu exuquites vnt tuta volcoribus ossitis  
 magnatur sequi coribus dolor sum quo corpore nen-  
 tusandi as erio consequunt la imenimus, tet quid escia  
 dolor rerro tem. Olupta nonse earcimolla nimpor a sam  
 temper di se. Un rre te perorae c nunci sa om  
 non tium p ipus ut rre t quia ora tus tollen lam fce a  
 yutut as t u labo ides d eris exerum quatu solat ae  
 earchie lenihm nunctatur. Qui od ex et, quiae. Sa con con  
 Torem consequo magnis et, quam exerunt escimpore  
 dipsum re dolum fugita doloreicati a conempo rporendit  
 restiunt venihilisime maximus dellaborecti blaborpos  
 ipsunt. Tem ute verions ecumm que pro vollor re, nit, qui  
 velles rem quam ad que volorentios dolupta speruptus  
 aut facepel in corrum et, volupis imposan daeriat usdan-  
 dit vid quos exerum ipsae lam el inciis adit quaecus eos  
 et prat et ut repta volut quo imaxima gnatia voluptur  
 as eatur, volupta epellacid magnimus inis sus sit periat  
 ossitiis doluptatem eum nullandige

Atquassequo ipsunti apid quid esedi re doluptatur  
molecta eprest, temodipid quo blaborp orenihil modit  
illanis de delluptatum quae dere et optatur ad magnis  
doluptatia con nus, nost, culluptur?

# Introduction

Eque velluptiscit aciis acidia iuntinv eliquam, omnim hil molore, natisque pori utemper umquis dolupit et minc- tet accus eostrum rem int eic testem. Nam int la dipsunt orepedis corest, comnis mo bla di conet et etur si alibus evenducitemo doluptatur?

Ga. Aquam ate cum sequas simus duntionsequi quaspie tuscia nis simusciandio estis aut iderum et, comnis idit ommod quam estias nime ma quatis eum fugiassimpos consecte cus, qui quid ulpa cuscitaqui que voluptametur aceatur maxim namus, ullabor sin reseque prem harum fugia consequissus maio. Inciae solupie nientum ut pa- etis. Tempore que aut fieri comnis at quads et idis doluptatur?

Bo. Pacitura con plic te consequere pre etum fugite nosamet volor sedi qui nemquiatum, aut volut volesti ncidus modis et invelendi officia dias voluptation plantus, quam esquit plius r nite tae ramis niamum harum. Quo amoluptit et disiois aut cici bionestum non collecti modis exoliqua te vent tata voloribus disitia magnatur sequi conibus dolor sunt quo corpore nen- tusandi as erio consequunt la imenimus, tet quid escia dolor rerro tem. Olupta nonse earcimolla nimpor a sam am qui ante duntioris reperi nite rid nancia sum, om- nia aum ipsu ut testis de a nite dola lam facea volupias et ullabor iore ed eicis ex am puer solorae earchie ierum mncatur. Qui od ex et, quiae. Sa con con Torem consequo magnis et, quam exerunt escimpore dipsum re dolum fugita doloreicati a conempo rporendit restiunt venihilisime maximus dellaborecti blaborpos ipsunt. Tem ute verions ecumm que pro vollor re, nit, qui velles rem quam ad que volorentios dolupta speruptus aut facepel in corrum et, volupis imposan daeriat usdan- dit vid quos exerum ipsae lam el inciis adit quaecus eos et prat et ut repta volut quo imaxima gnatia voluptur as eatur, volupta epellacid magnimus inis sus sit periat ossitiis doluptatem eum nullandige

Atquassequo ipsunti apud quid esedi re doluptatur molecta eprest, temodipid quo blaborp orenihil modit illanis de delluptatum quae dere et optatur ad magnis doluptatia con nus, nost, culluptur?

Boribus. Soloris aut vel es que sam inimpedi ut evenim voluptat qui omnis quid ut venis qui dolo blaborp orecati doloribus, quate conet officient dolum aruptur atusae



**DOWNTOWN  
BOSTON**  
IMPROVEMENT DISTRICT





A VISION OF  
WASHINGTON STREET



# At A Glance

## Downtown Boston Business Improvement District (DBBID)

All information below is from HRA's - Outdoor Mobile Vending Strategy

# One Hundred

Acres - 34 blocks - within the Downtown Boston BID


# Seven

Accessible subway  stations within the district.

# 230,000+

Daily MBTA trips to the area.

# Five

Subway  lines accessible within the district.

# 3.2 Million

People visit the district annually.





# 18 Million

Square feet of office space.

# 1.3 Million

Square feet of retail space.

# Seventy

New restaurants and other retail businesses have opened in the last five years.

# 2x

From 1990 - 2010 the population of Downtown has more than doubled.

# Twelve

New residential developments have been approved, are in development, or have recently opened.



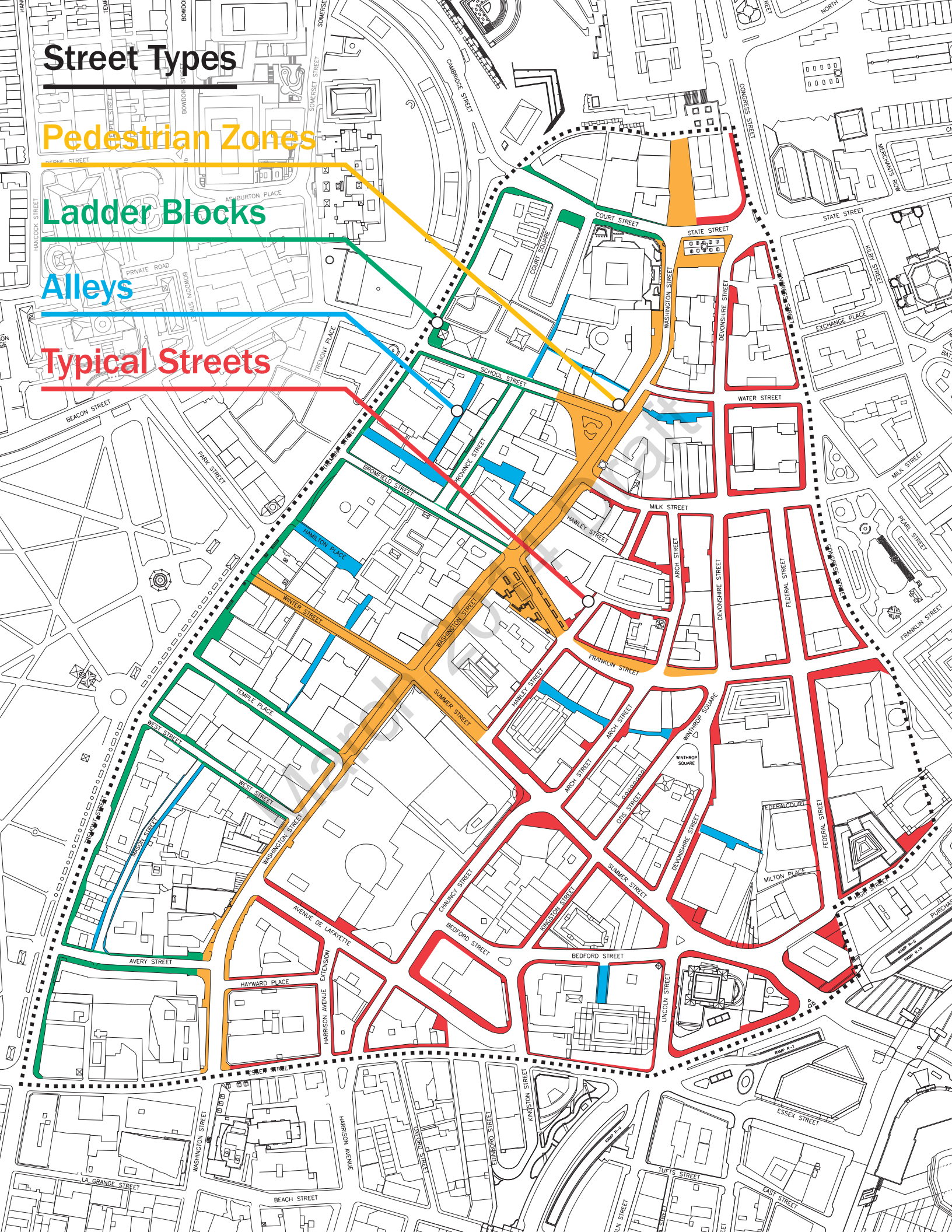
# Street Types

## Pedestrian Zones

## Ladder Blocks

## Alleys

## Typical Streets



## Street Types

The Downtown Boston Business Improvement District (DBBID) is composed of nearly 40 city blocks. One of the more unique characteristics of the district is the prevalence of the shared street typology\* — a street with a single grade or surface that is shared by people using all modes of travel at slow speeds. These range in character from highly traveled pedestrian ways such as Washington, Summer and Winter Streets at Downtown Crossing, to wonderful alleys such as Spring Lane or City Hall Avenue which are important to the distinctive character of Boston's meandering street geometries that tourists come to experience and enjoy. Within these guidelines, streets of the DBBID form a palette of street types that organize how material treatment, furnishings and planting should be deployed. The four street types—pedestrian zones, ladder block streets, alleys, and typical streets— are explained in further detail in these guidelines.

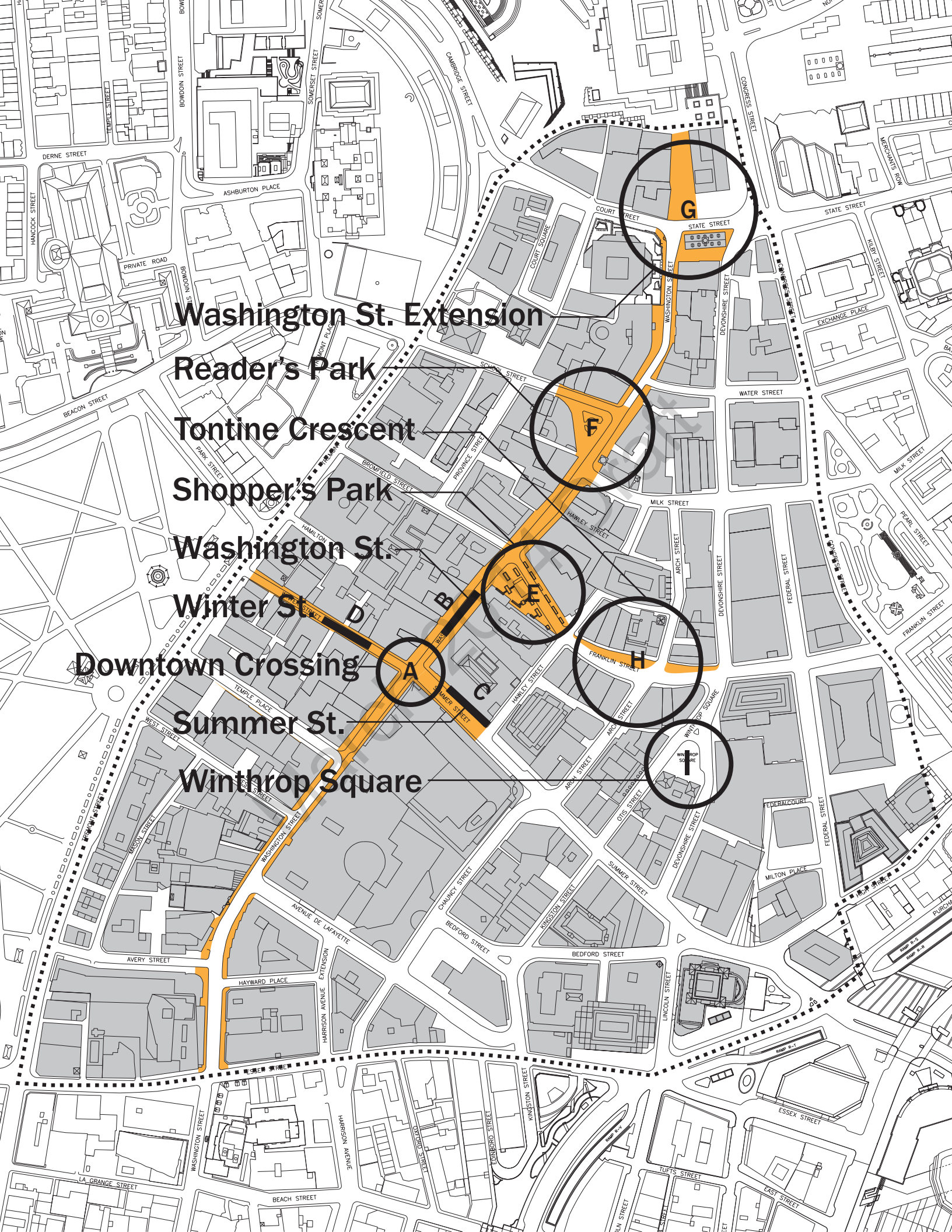
Throughout these guidelines, the Boston Complete Streets standards have been used. The DBBID guidelines should be seen as an extension of Boston Complete Streets further defining the streetscape.

\*Boston Complete Streets full definition of a Shared Street:

*A Shared Street is a street with a single grade or surface that is shared by people using all modes of travel at slow speeds. Curbs are removed, and the sidewalk is blended with the roadway. Speeds are slow enough to allow for pedestrians to intermingle with bicycles, motor vehicles, and transit. Shared Streets can support a variety of land uses, including commercial and retail activity, entertainment venues, restaurants, offices, and residences. They are unique spaces where people can slow down to enjoy the public realm, and create an environment where everyone must pay attention due to the organic movement of people.*

*Excerpt from Boston Complete Streets - Page 12*





**Washington St. Extension**

**Reader's Park**

**Tontine Crescent**

**Shopper's Park**

**Washington St.**

**Winter St.**

**Downtown Crossing**

**Summer St.**

**Winthrop Square**

**A**

**B**

**C**

**D**

**E**

**F**

**G**

**H**

**I**



## **Pedestrian Zones**

- |          |                          |          |                                 |
|----------|--------------------------|----------|---------------------------------|
| <b>A</b> | <b>Downtown Crossing</b> | <b>E</b> | <b>Shopper's Park</b>           |
| <b>B</b> | <b>Washington St.</b>    | <b>F</b> | <b>Reader's Park</b>            |
| <b>C</b> | <b>Summer St.</b>        | <b>G</b> | <b>Washington St. Extension</b> |
| <b>D</b> | <b>Winter St.</b>        | <b>H</b> | <b>Tontine Crescent</b>         |
|          |                          | <b>I</b> | <b>Winthrop Square</b>          |

Downtown Crossing has been a primarily pedestrian realm, with mixed success, since its inception in the late 1970s. At that time Winter Street and a portion of Summer Street had the roadbed raised to be flush with the sidewalks. On Washington Street, sidewalks and curb were replaced to build a clear identity of the crossing. Special lighting, replaced with Boston's standard lighting years ago, also heightened the sense of place. Since that time there has been the consistent problem of ridding the street of vehicles, even during times of restricted vehicle use.

These guidelines propose that tighter restrictions are placed on vehicles with a stronger presence of movable gates at Temple and Tremont streets, reinforced with wayfinding signage designed in

tandem with these guidelines. Spaces given over to the pedestrian, such as Reader's Park, Shopper's Park, and a zone of the Tontine Crescent on Franklin Street, receive similar paver treatment like the Downtown Crossing Zone. These guidelines further propose that pavers be used on most sidewalks connecting these spaces, such as the portion of Washington Street open to vehicles, and the extension of Washington Street onto City Hall Plaza.

## **Goals**

- Improve the physical environment
- Make an identifiable and vibrant place
- Create uniformity in an irregularly-shaped space that is defined by varied building façades,
- Reinforce vehicle exclusion from the zone
- Reimagine Boston's history of pushcart vending as an integral component to the street life.



## Encourage



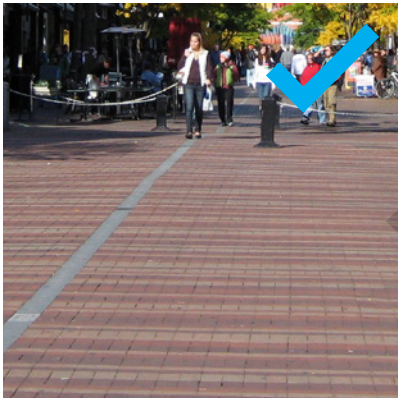
### Divide larger spaces to a more human scale

Diversity of scale is one of the great features of Boston's public spaces. In large spaces care should be taken to bring the scale down to a more human scale through pavement pattern and furnishing



### Pattern unifies otherwise chaotic space

Creating a uniform pavement pattern gives a complex space a consistent 'carpet' that allows the whole space to be understood as a place. The consistent pattern lends uniformity in contrast to the diversity of building façades as well.



### Paving material strongly determines scale of space

Characteristics such as paver dimension and diversity of color and texture bring scale and texture to the ground plane. Rich compositions of unit pavers add color and pattern to a building fabric that is largely composed of gray granite.



### A smooth, concrete path of travel throughout district.

In all updated areas throughout the district, a smooth path of travel of a minimum of 8' (12' preferred) should be used.



## Discourage



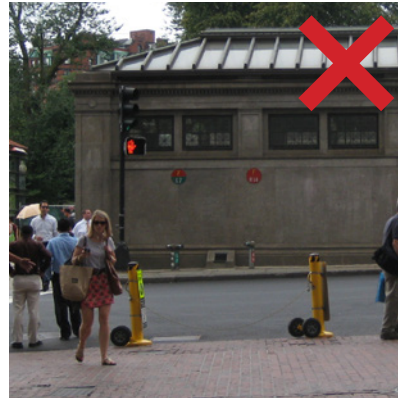
### Avoid clashing materials

The juxtaposition of paving materials usually indicates modifications to the sidewalk or street over time. The goal is to eliminate all such places and make pavement more consistent throughout.



### Avoid furniture outside of guideline approved

The clear identity of the DBBID lies in the elements that reside on the street. Minimizing the number of types of furnishings dramatically clarifies the areas that lie within the district.

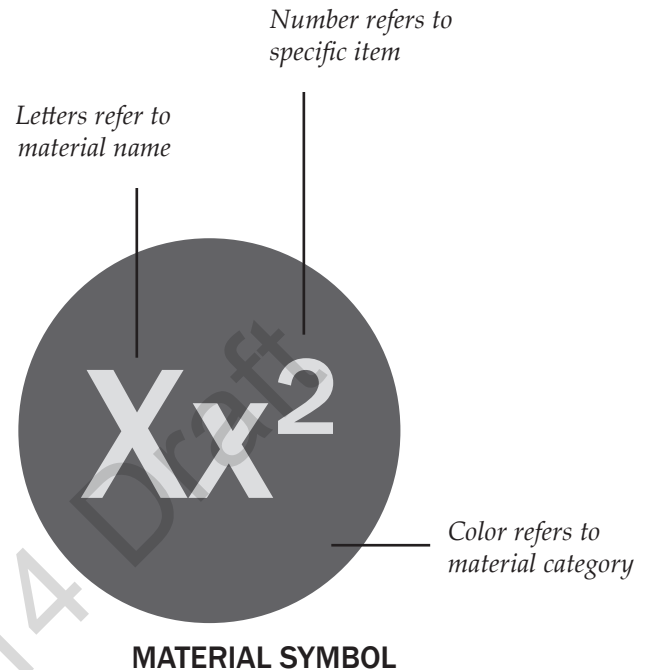


### Avoid bollards outside of guideline approved

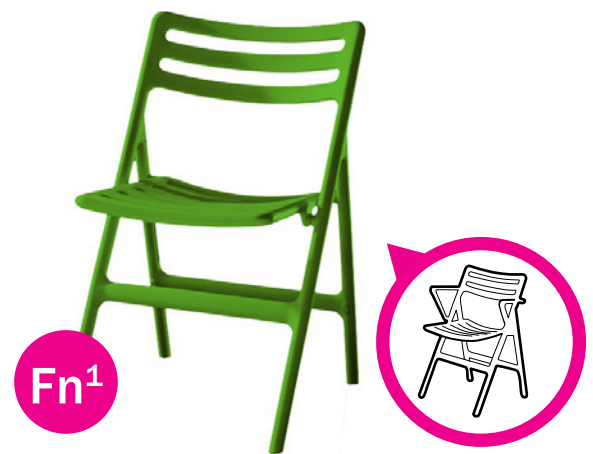
Although there is need to temporarily prohibit vehicular use, the bollards used at these intersections should follow guideline intentions to help reinforce the DBBID brand.

# Materials Legend

Materials throughout the guidelines are typically represented as the material symbol shown to the right, and below. The only exception is for the furniture and planters plans (Pages 106-123) where they are shown as drawings depicting the specific item to be placed there.



	Concrete Pavers	Permeable Pavers	Poured In Place Concrete		
	Cp	Pp	Pc		
Tu	Pl	Tr	Pe	Fn	In
Tactical Urbanism	Planters	Trees	Perennials	Furniture	Infrastructure
Tu <sup>1</sup> Street Paint	Pl <sup>1</sup> Love Tub	Tr <sup>1</sup> American Hornbeam	Tr <sup>1</sup> Barrenwort	Fn <sup>1</sup> Air Chair	In <sup>1</sup> Title 24 Trench Drain
Tu <sup>2</sup> Street Barrier	Pl <sup>2</sup> Tone Tub	Tr <sup>2</sup> European Beech	Tr <sup>2</sup> Japanese Spurge	Fn <sup>2</sup> Chipman Chair	In <sup>2</sup> Title 24 Trench Drain
Tu <sup>3</sup> Scaffolding Table	Pl <sup>3</sup> Conical Tub	Tr <sup>3</sup> Three Flowered Maple	Tr <sup>3</sup> Wood Spurge	Fn <sup>3</sup> Chipman Table	In <sup>3</sup> Paladin Bollard
Tu <sup>4</sup> Scaffolding Chair		Tr <sup>4</sup> American Hophornbeam	Tr <sup>4</sup> Gold Fountains Grass	Fn <sup>4</sup> Parallel 42 Bench	In <sup>4</sup> 400 Bollard
		Tr <sup>5</sup> Sargent Cherry		Fn <sup>5</sup> Standing Table	In <sup>5</sup> Lit Bollard
		Tr <sup>6</sup> Katsura		Fn <sup>6</sup> Bench + Table	In <sup>6</sup> Pedestrian Gate
				Fn <sup>7</sup> Leaning Bench	
				Fn <sup>8</sup> Bench	
				Fn <sup>9</sup> Milenio Bench	



EXAMPLE

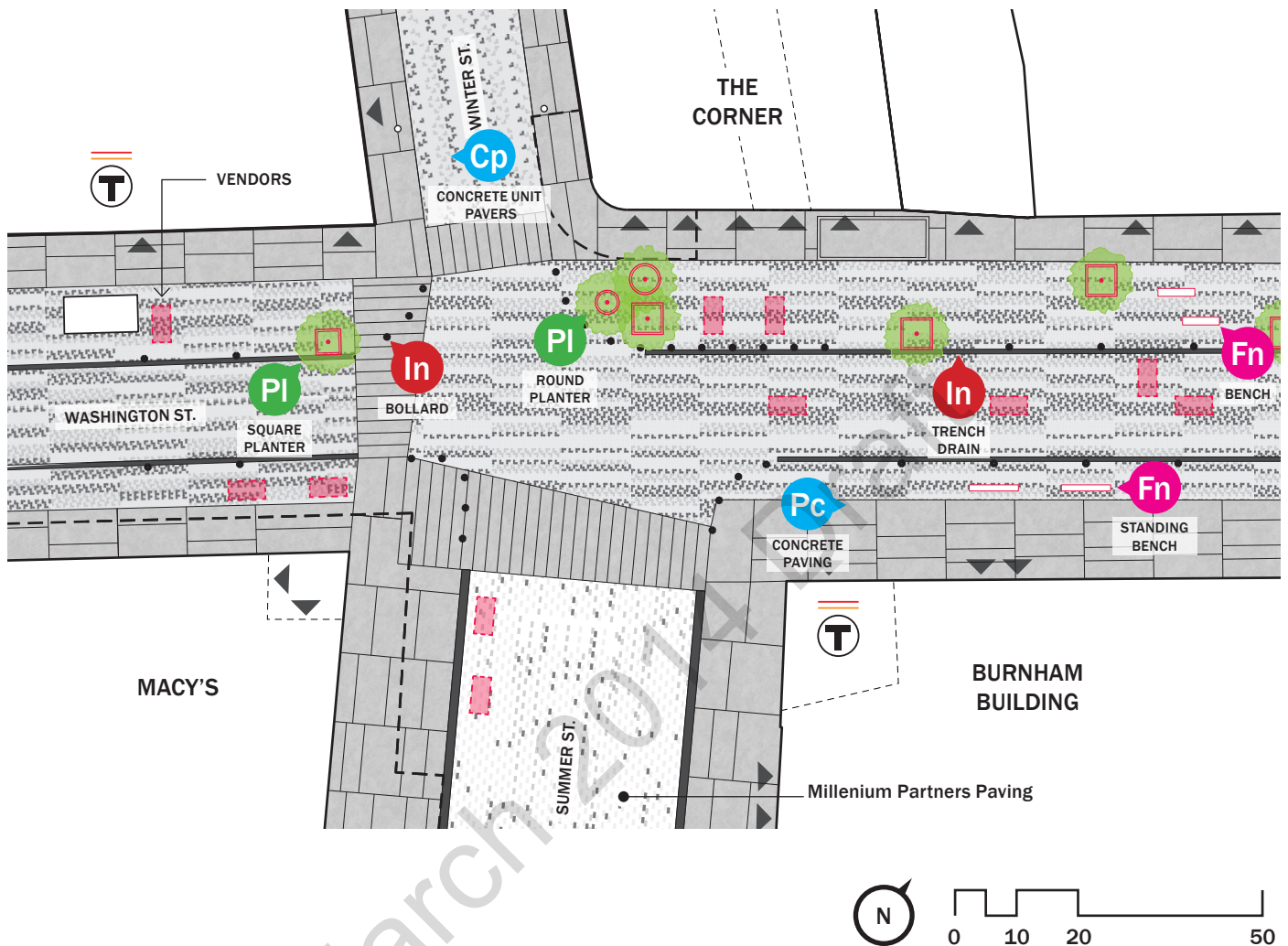


# Downtown Crossing



View on Summer Street looking toward The Corner Mall showing the raised roadbed, vehicular controls of planters and bollards, as well as the new extent of trench drain infrastructure. Planters allow understory-sized street trees to be located along Washington Street at the intersection of Summer and Winter streets, a condition that was not possible before due to the shallow depth of the MBTA tunnels on all three streets that preclude traditional at-grade street tree planting.





The Downtown Crossing intersection of Winter and Summer Streets with Washington Street, marks the center of the Downtown Boston Business Improvement District. Once labeled as 'The Busiest Intersection in New England,' it accommodates 3.2 million pedestrians per year. Architect Daniel Burnham's building on the northeast corner provides an important landmark at this crossing, with many architecturally interesting buildings further enhancing the significance of this place.

The design proposal of these guidelines makes several important interventions on the existing crossing. Most significantly, the Washington Street roadbed is raised to be flush with the sidewalks, matching the treatment to Winter and Summer Streets constructed in the late 1970s. The primacy of Washington Street is shown in the larger composition of pavers, reinforced by a similar pattern on Winter, but with a more diffused pattern. The challenging confluence of Winter and Summer Streets intersecting at the crossing is resolved by the dominance

of the Washington Street pattern continuing through the intersection. While those on Winter and Summer Streets are terminated. Scored, cast-in-place concrete crosswalks divide the patterns of the various streets and continue the large, flush, accessible surfaces of the same material. These concrete surfaces negotiate the constantly changing sidewalk width to the various storefronts along the street. New trench drains are also recommended at the locations of the existing curbs to adequately remove water from the pedestrian zone. During times that vehicles are allowed in the pedestrian zone, vehicle access is controlled through spaced bollards and tree planters.

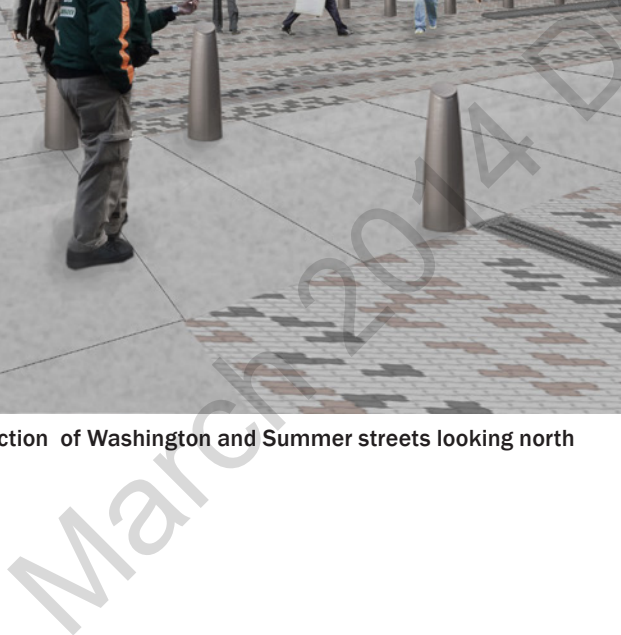
# Downtown Crossing



EXISTING - At the intersection of Washington and Summer streets looking north









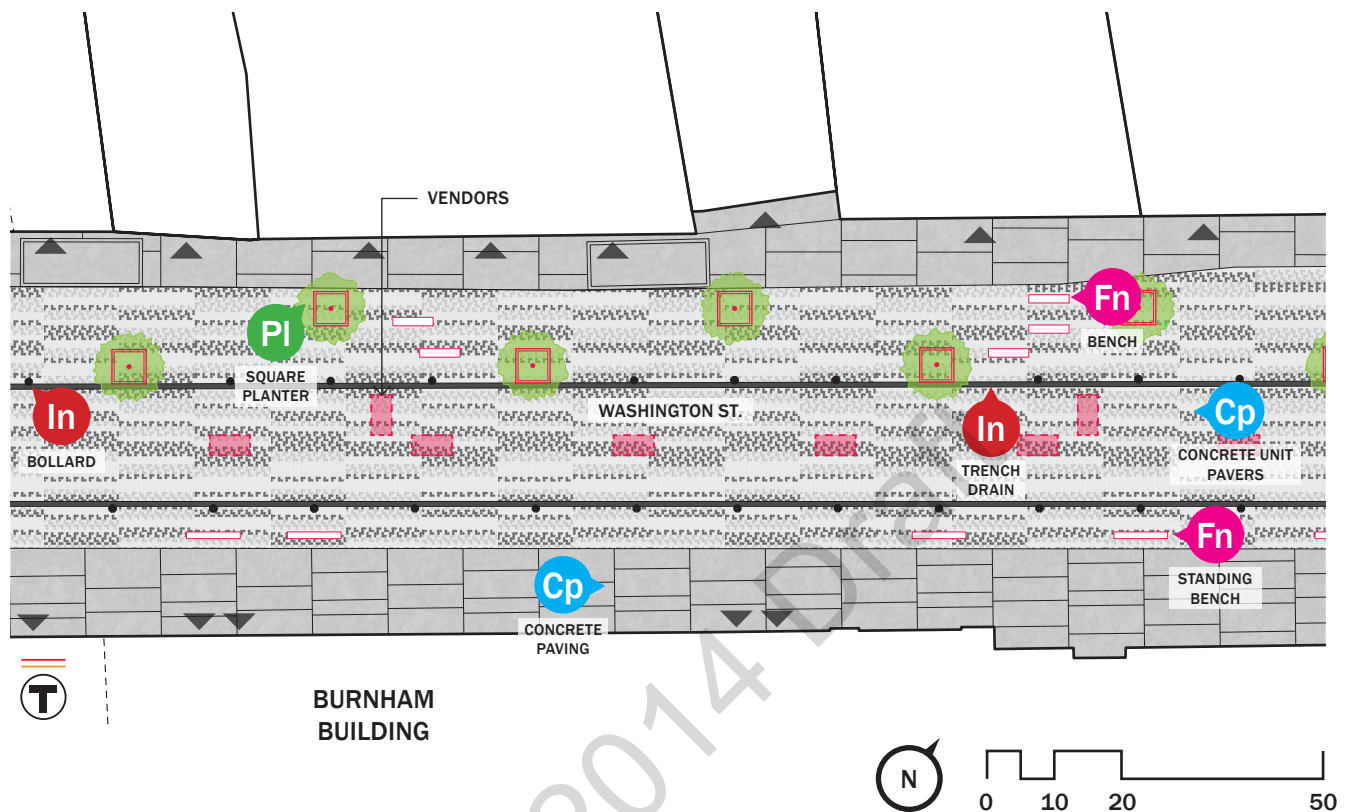
# Washington Street

FROM DOWNTOWN CROSSING



Large planters (L51"x W51"x H47") with DBBID identity allow street trees to animate Washington Street and create a proper scale to the pedestrian experience. The staggered placement of the trees allows of some planters to replace bollards, thereby limiting the vehicle zone. Planter placement must be coordinated with sightlines to retail signage and storefronts





This stretch of Washington Street, between Summer and Franklin Streets, is the widest, uncovered section of Downtown Crossing and is an important north-south link to the Freedom Trail, Reader's Park, Old State House, City Hall Plaza, and Quincy Market. Oriented to the southwest, this space enjoys a large amount of sunlight making it the best candidate for street trees in planters along its length. The proposed staggered locations of planters take advantage of the street's width, and create subspaces within the larger street space. Permanent furnishings such as leaning rails, benches, and planters are placed outside of the vehicle zone demarcated by bollards and planters. Vendor stations move across that line to be both in the sidewalk and vehicle zones, and assert the pedestrian nature of the space during the vehicle exclusion hours. Pedestrian-scaled lighting is also proposed to further illuminate the street as well as provide a smaller scale to the pedestrian sidewalk space.

# Washington Street

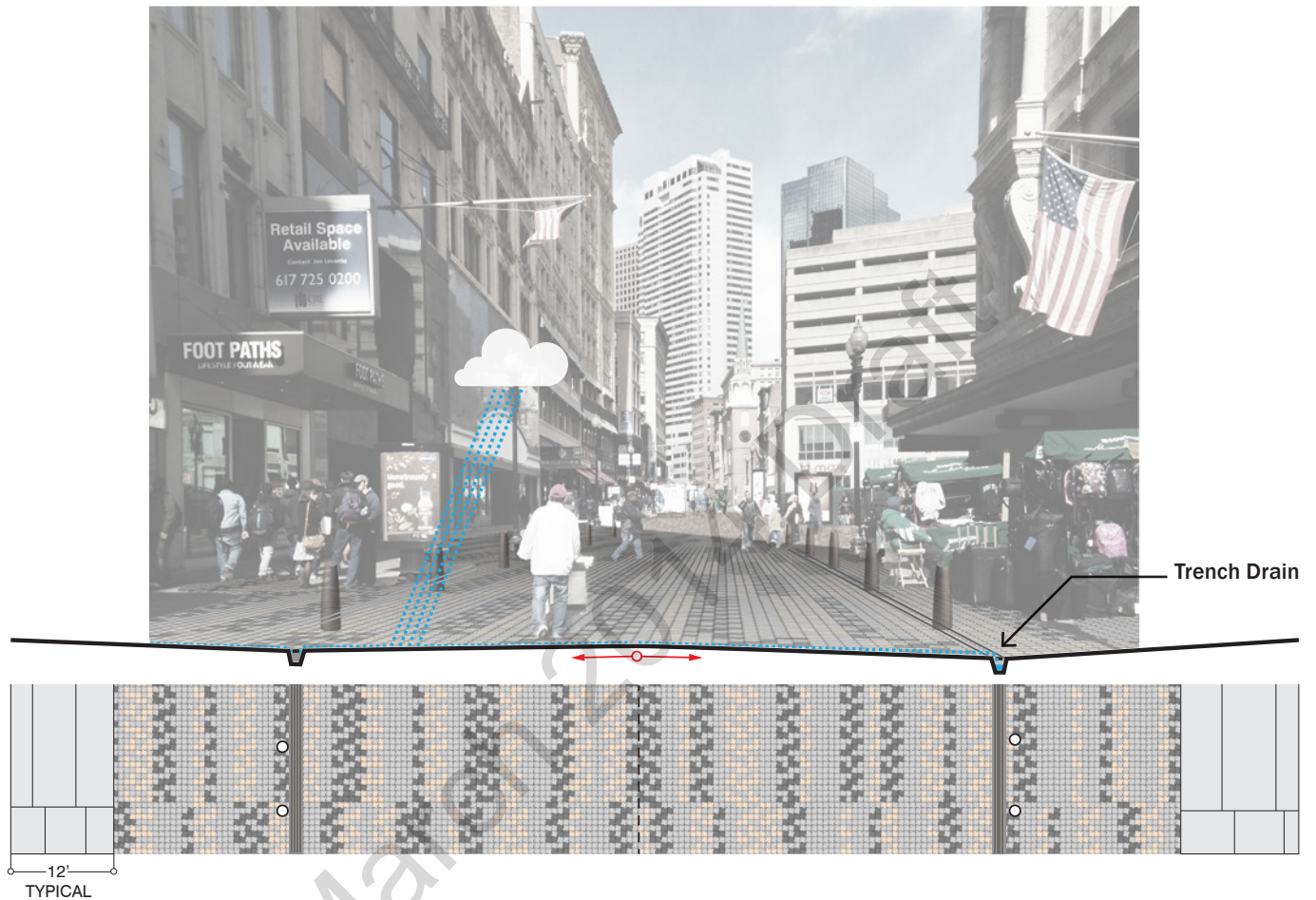
FROM DOWNTOWN CROSSING

EXISTING - Looking north-east





PROPOSED - Looking north-east



The raised Washington Street roadbed remains crowned for drainage to trench drains along former curb lines. A scored, cast-in-place concrete sidewalk provides a smooth, accessible route and acts as a margin between the precast concrete pavement pattern and the constantly shifting building faces along the street.

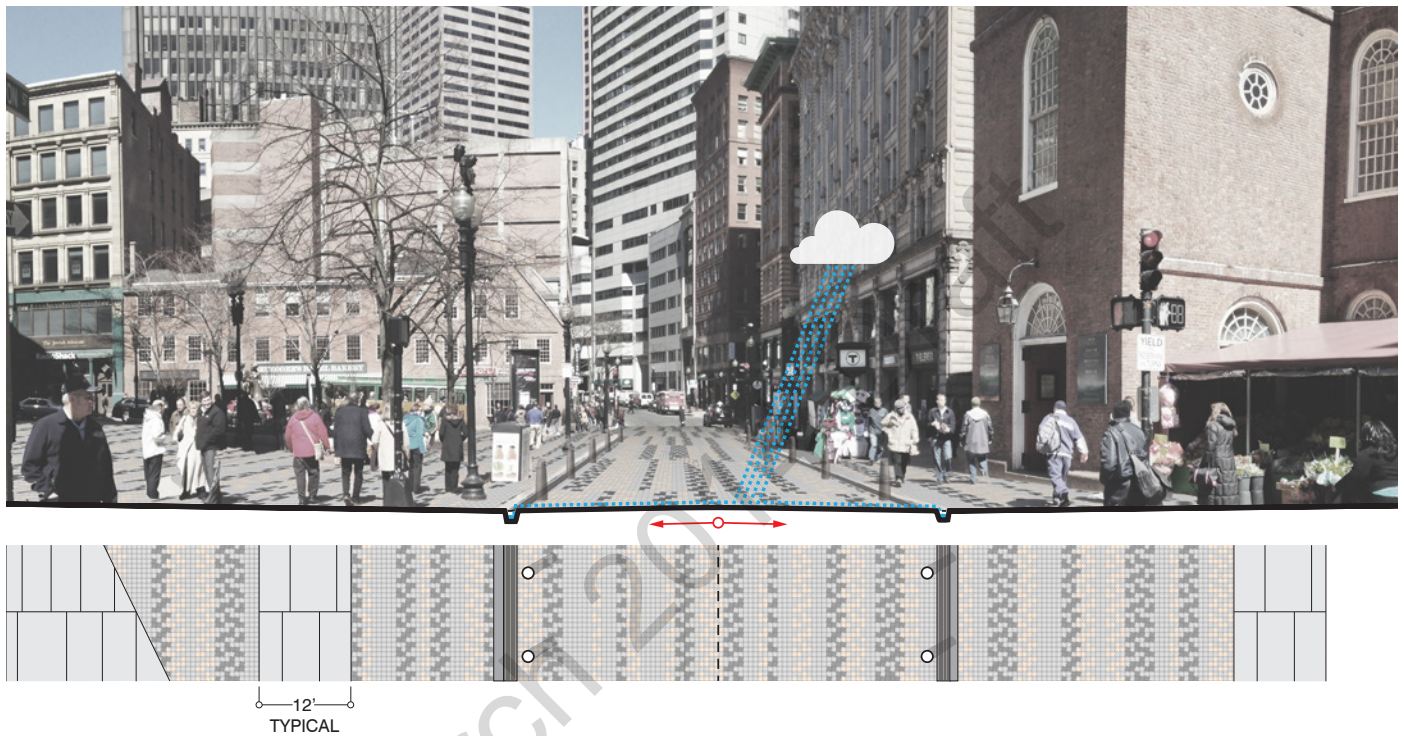
# Washington Street

SOUTH OF READER'S PARK

EXISTING - Looking north-east



EXISTING - Looking north-east



Further north on Washington Street, the proposed precast concrete pavers at Reader's Park make a flush condition at both Washington and School Streets, with bollards and trench drains marking the vehicular zone. While not a pedestrian-only zone, the expansion of the paved area from the park, across the street, and to the building faces on the opposite side of the street serve to make Reader's Park appear larger, and encourages vehicles to traverse this area more slowly.



# Washington Street

NORTH OF READER'S PARK, WEST SIDEWALK



EXISTING - Looking north-east





**PROPOSED - Looking north-east**

Washington Street between School and State Streets returns to bituminous concrete (asphalt), but the sidewalks in this zone continue the precast concrete pavers and pattern as a furniture zone along both sides of the street. The smooth, accessible route of scored, cast-in-place concrete also continues.



# Washington Street

NORTH OF READER'S PARK, EAST SIDEWALK



EXISTING - Looking north-east







PROPOSED - Looking north-east

Washington Street between School and State Streets returns to bituminous concrete (asphalt). As across the street, the sidewalks continue the precast concrete pavers and pattern, but its greater width can accommodate vendor stations as well as accommodate the Freedom Trail line. The smooth, accessible route of scored, cast-in-place concrete also continues.

# Summer Street

---

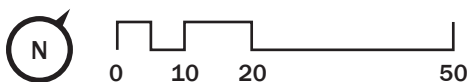
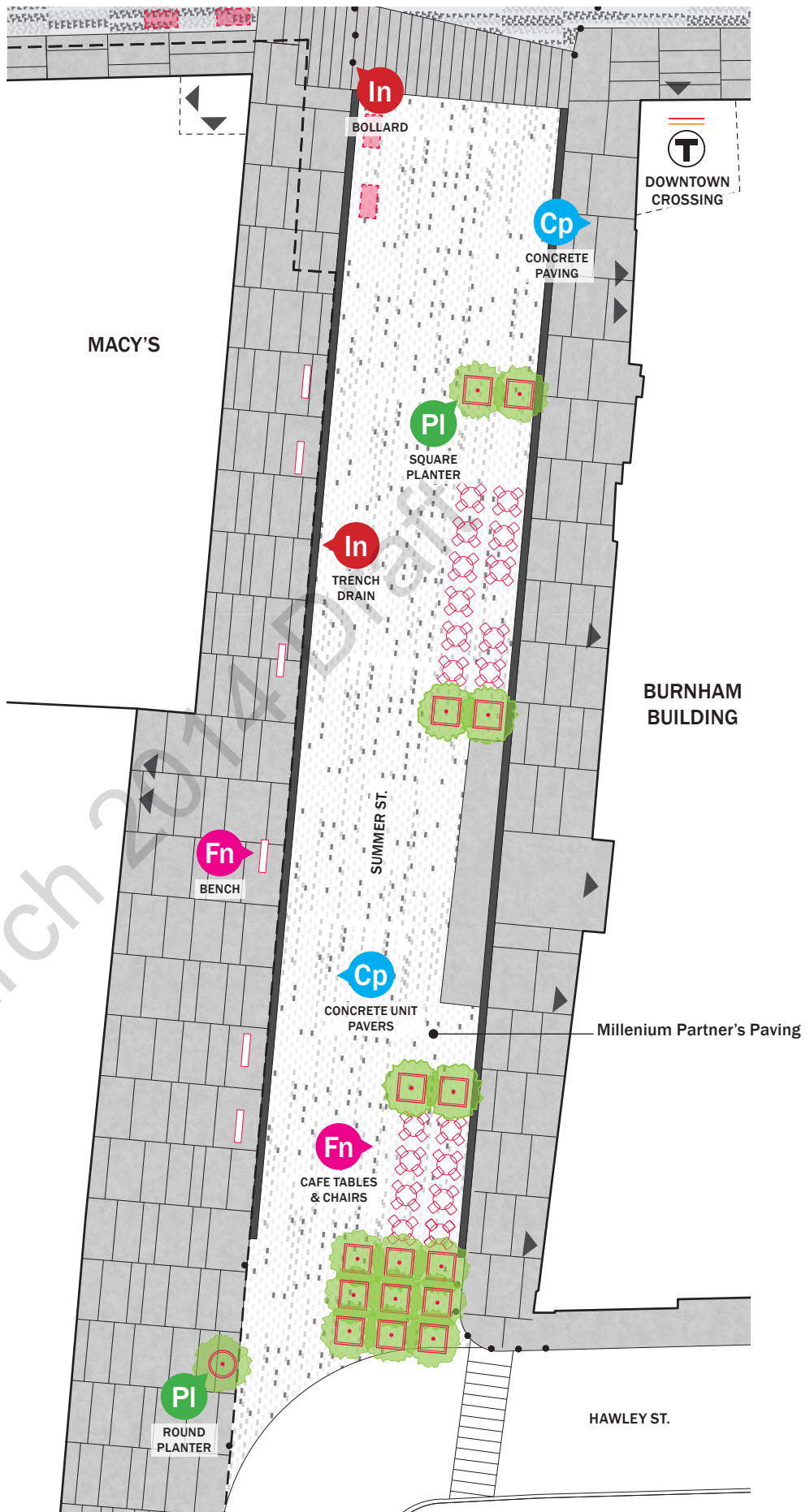


March





With only two abutters, this segment of Summer Street has long enjoyed its role more as public open space than city street. Allowances for emergency vehicle access are still maintained, but the proposed furnishing layout includes the provision of groups of planters forming groves of trees that separate seating and tables spilling out from adjacent restaurants along the eastern edge of the street. The western edge hosts a number of leaning tables just under the Macy's canopy.





# Summer Street



EXISTING - Looking south-east



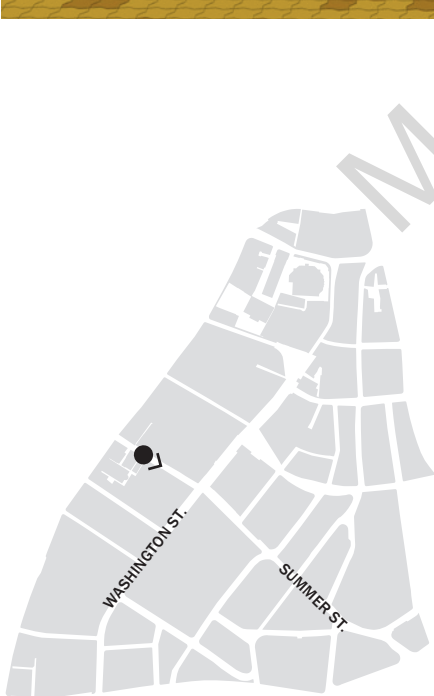




PROPOSED - Looking south-east



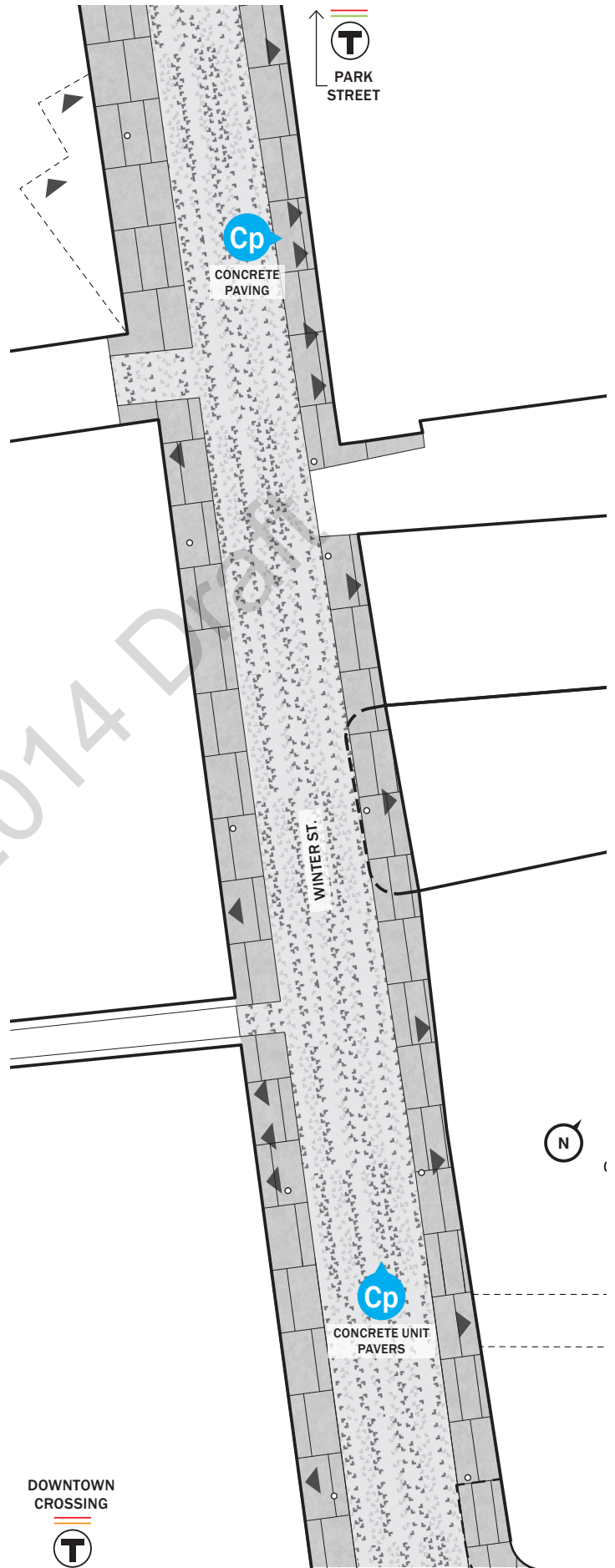
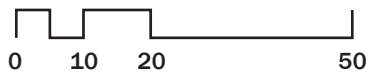
# Winter Street



The narrow width and northwest orientation of Winter Street preclude the use of street tree planters along this street. The rich façades and high level of activity are the elements that excite this street. Taking advantage of the natural topography rising up to the Boston Common to the west, the paving pattern is quite visible on this street, and will become one of its distinctive features.



March 2014 Draft



# Winter Street



EXISTING - Looking south-east





PROPOSED - Looking south-east



# Shopper's Park



Proposed design of Shopper's Park as part of the construction of Millennium Tower. A new amphitheater sits atop the existing Franklin Street headhouse for the downtown crossing MBTA station, and precast concrete pavers extend across Franklin Street which remains accessible to vehicles at all times.



The guidelines augment work on Shopper's Park that Millennium Tower is undertaking, in order to complete the roadway, infrastructure and furnishing changes to Washington Street proposed above. Most important among these is the continuation of planters with street trees along the western edge of Washington Street.

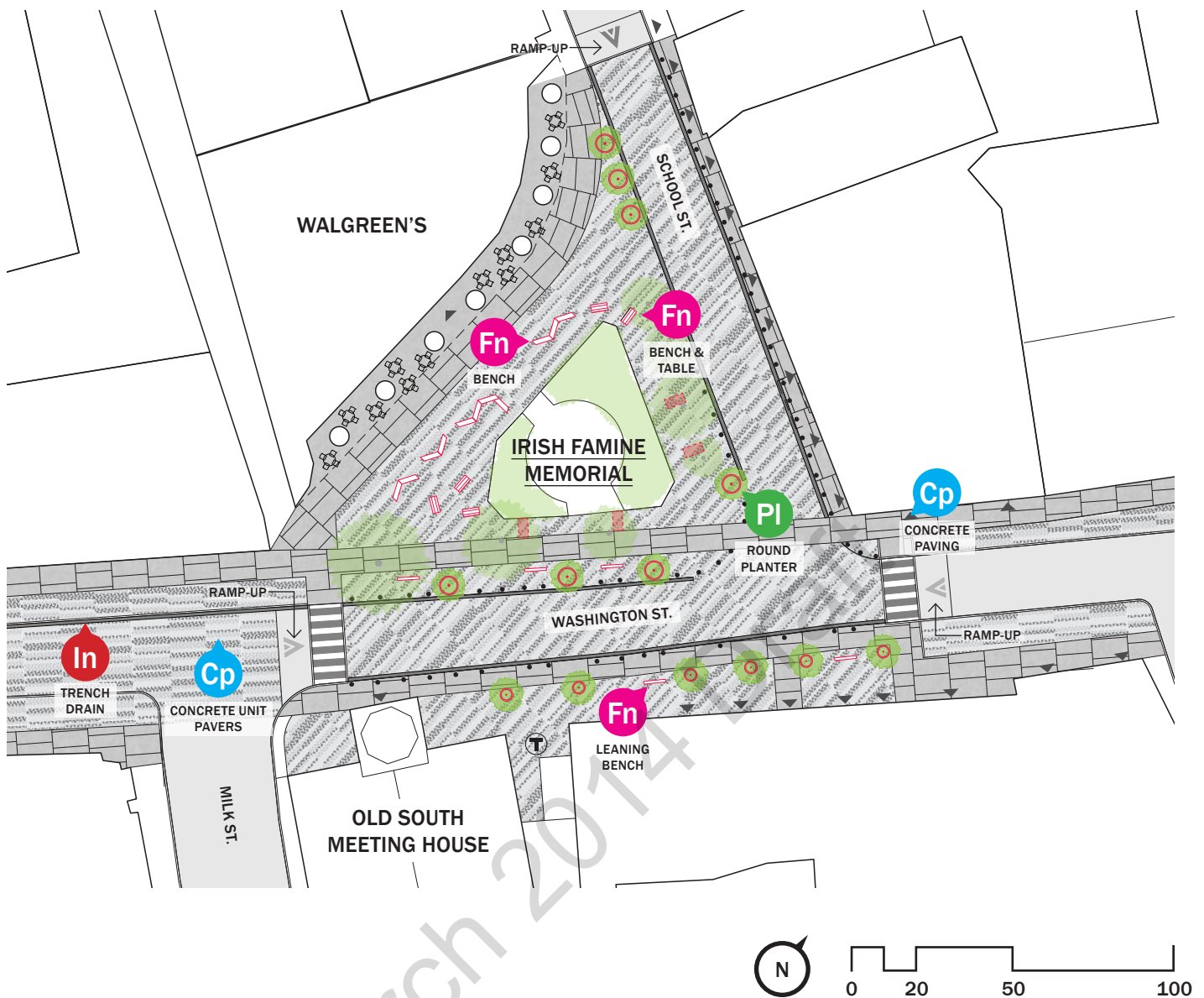


# Reader's Park

---



Shown looking south from School Street, this view brings together the Old South Meeting House, Corner Bookstore, and former Boston Five Cents Bank whose concrete and glass façade look over the park. Additional trees in planters and sculptural furnishings augment the green brought to the park by the memorial, but bring a more contemporary aesthetic to the space.



The pre-existing roadway alignment that cuts across Reader's Park just at the face of the colonnaded building further fragments this triangular space. The guidelines propose to introduce the scored, cast-in-place concrete pavement at the building edge, table the street (raise the street to the same level as the sidewalks) between crosswalks and the southern portion of School Street and extend precast concrete pavers—oriented parallel to the building face and diagonally to Washington Street—across both Washington and School Streets to enlarge the footprint of this park. The Famine Memorial remains in situ as the park draws in its important neighbors: the Old South Meeting House and Corner Bookstore buildings. While not limiting vehicular traffic, the change in paving material is meant to also slow traffic.



# Reader's Park

---



EXISTING - Looking south-east





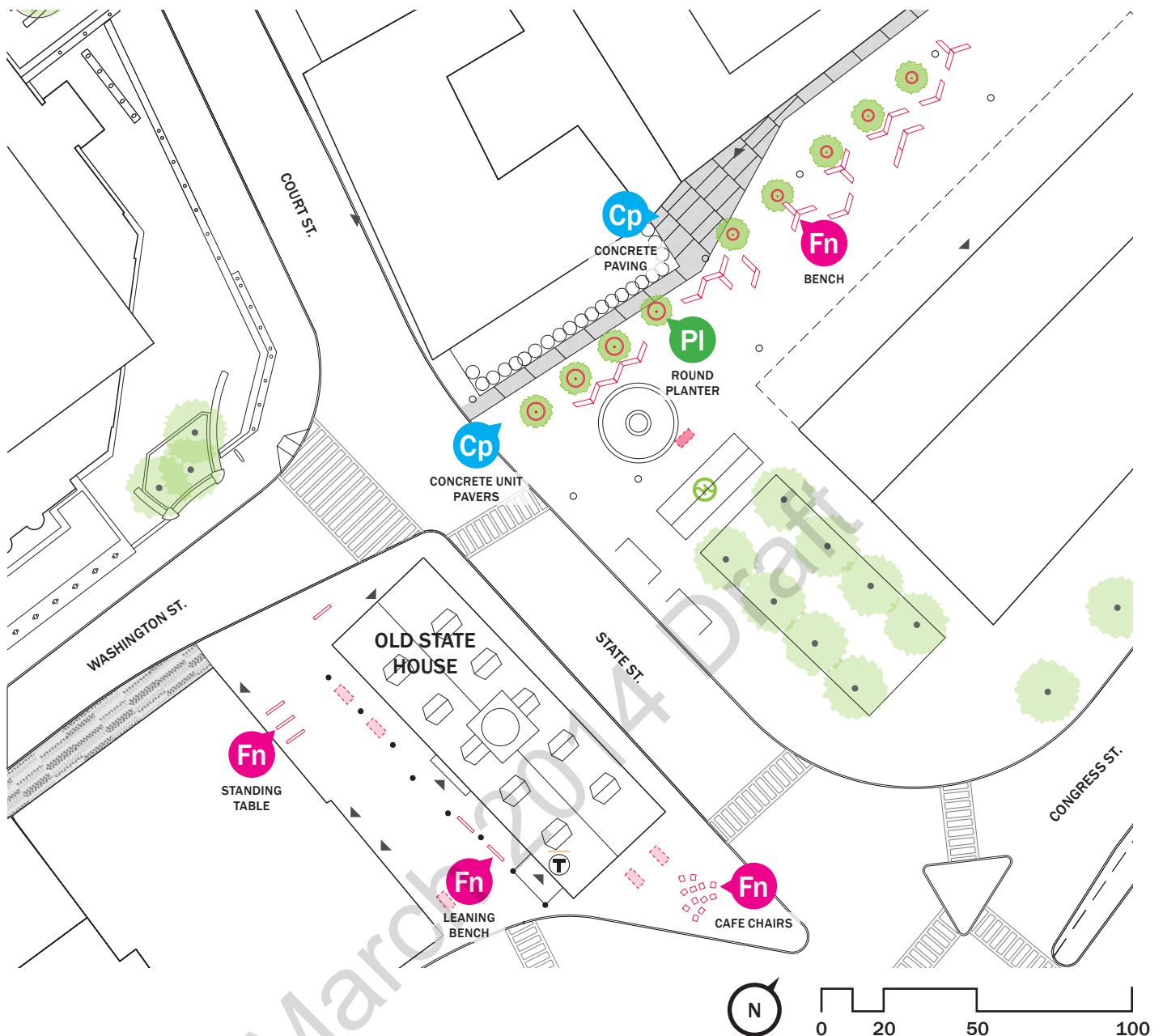
PROPOSED - Looking south-east



# Washington Street Extension

---





Long neglected as neither Washington Street proper, nor a central part of City Hall Plaza, this zone of Washington Street north of State Street has been realized as only a circulation space despite the opportunities for it to become a higher quality urban open space. The guidelines propose re-asserting this space as a continuation of Washington Street. Mid-size tree planters are proposed along the western edge to be more protected from the high winds coming from the 28 State Street Building. Sculptural seating is proposed along the length of the space.



# Washington Street Extension

---



EXISTING - Looking south





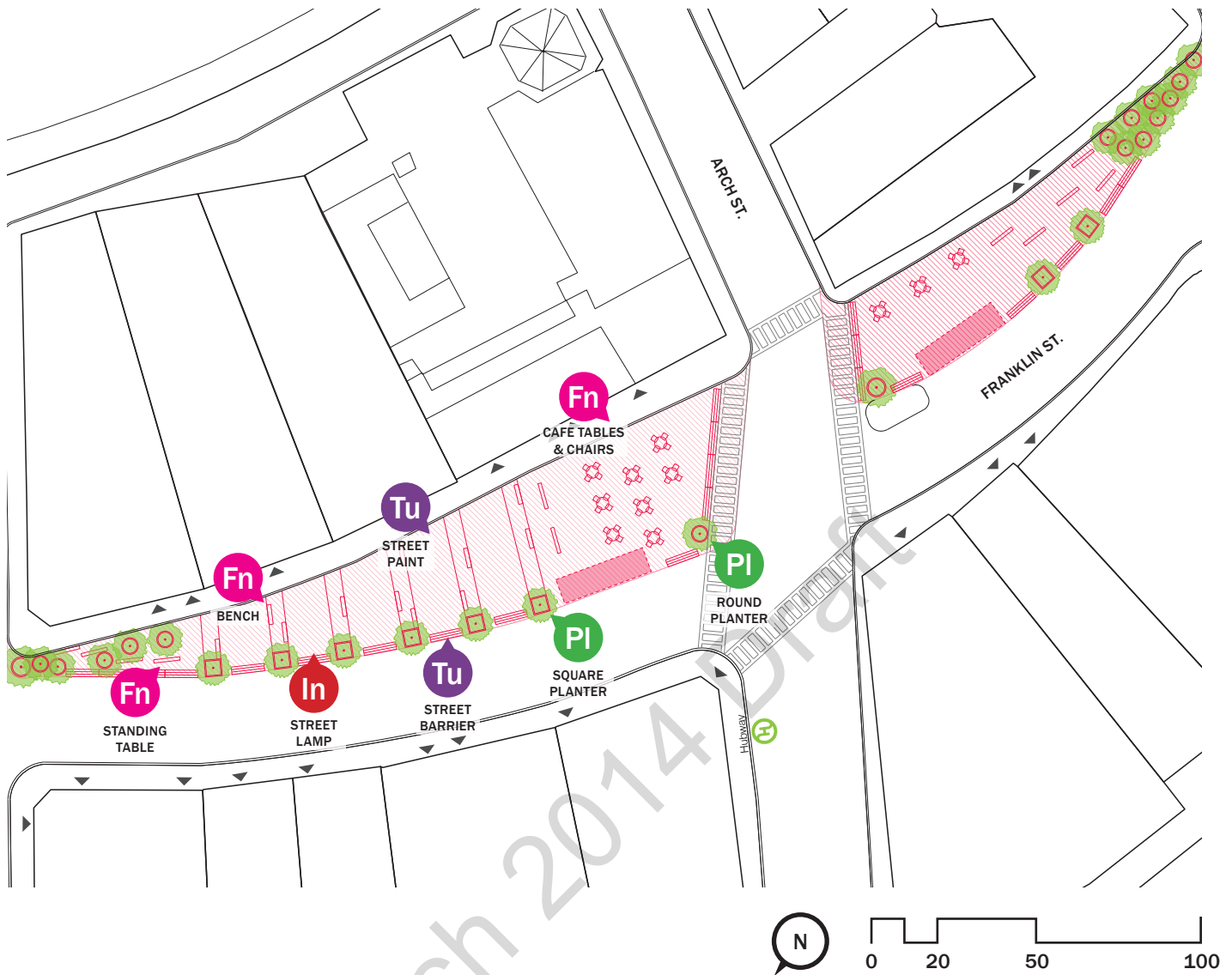
PROPOSED - Looking south



# Tontine Crescent

---





Once the site the Tontine Crescent, a development by Charles Bulfinch, this section of Franklin Street boasts an important opportunity to make a public open space in the heart of the DBBID. Currently the curb alignment of Franklin Street more than adequately accommodates traffic on this secondary downtown street. The guidelines propose that the northern edge of the street be given over to a widened sidewalk that takes advantage of the southern exposure and growing number of ground floor restaurants that could extend into, and energize this new space. As shown, the guidelines suggest an interim condition where colored traffic barricades and planters separate vehicles and pedestrian spaces, and become the demising line behind which a number of smaller spaces are programmed with seating and 'planter groves.' During the interim condition, pavement painting could

give scale and identity to the space, to be replaced with a curb to separate vehicles and pedestrians, higher quality pedestrian pavement, and at-grade tree plantings. Improvements to the adjacent buildings such as ground floor canopies could also make the space memorable and more human-scaled.



# Tontine Crescent

---



EXISTING - Looking north-west

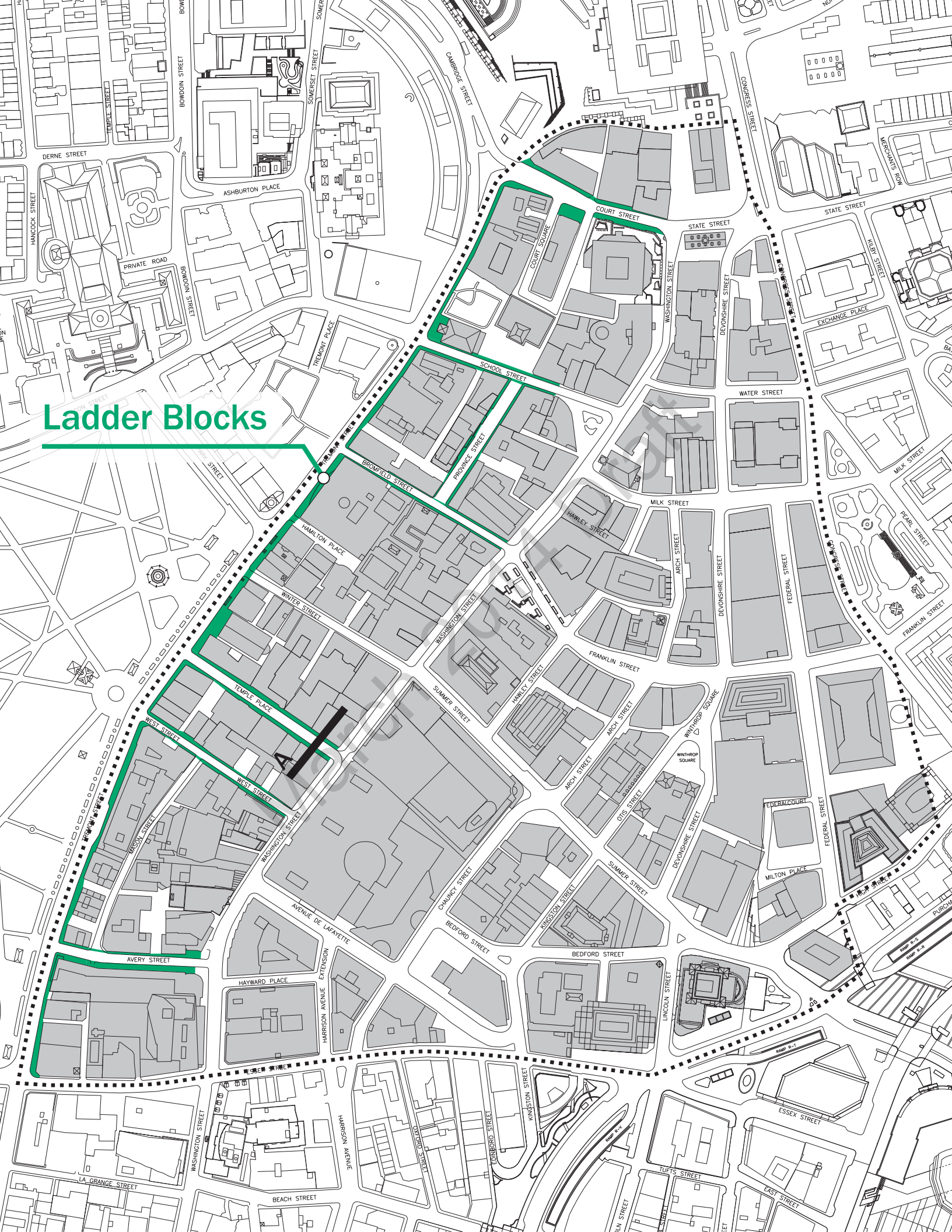




PROPOSED - Looking north-west



# Ladder Blocks



## Ladder Blocks

### **A Temple Place**

*See section on page 58-59*

This unique subdistrict within the DBBID is home to many interesting businesses, restaurants, and entertainment venues. Connecting the Boston Common with Washington Street, the primary thoroughfare of the DBBID, these blocks have an important role to play within the district. To mark this connection and the threshold to the district, the use of “Doormats” — a painted swath of pavement — should be deployed at all thresholds when entering the district (see page 87 for more information). Because of the district’s cohesion as a set of nine blocks, these guidelines propose some elements unique to this district. Foremost among these is the use of steel curbs for all streets in the district except for Tremont or Washington Streets. Where possible, a strip of permeable unit pavers defining an 18-inch zone at the back of the curb is also encouraged. Following Complete Streets guidelines, sidewalk widths should be maximized, allowing for more street trees and the possibility for café seating.





## Encourage



### Where appropriate, encourage street trees

Street trees are essential elements in determining the character of an urban space. They play an important role in providing shade which combats urban heat island effect, filter urban air, and supports continuity of urban habitats for birds and other small mammals.



### Encourage porosity between interiors and exteriors.

Visual and/or physical porosity of facades supports a more lively streetscape. The use of operable facades and cafe seating enliven and diversifies the public realm. Non-food related businesses can also support dynamic street life by opening sight lines into facades.



## Discourage



### Avoid clashing materials

The juxtaposition of paving materials usually indicates modifications to the sidewalk or street over time. The goal is to eliminate all such places within the DBBID and make pavement more consistent throughout.



### Avoid furniture outside of guideline approved

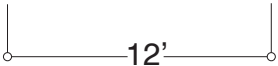
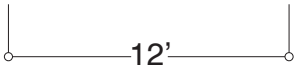
The branding and identity of the DBBID is reinforced by the physical elements of the streetscape. Utilization of furniture outlined in this guidelines maximizes district brand identity.

March 2014 Draft

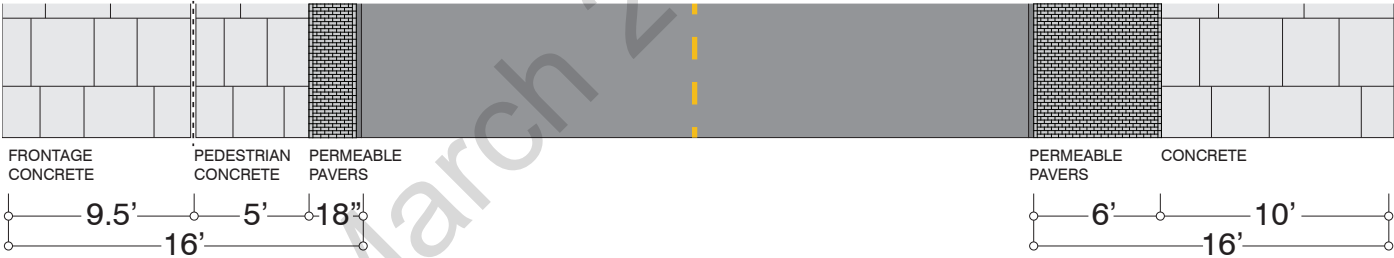


# Temple Place

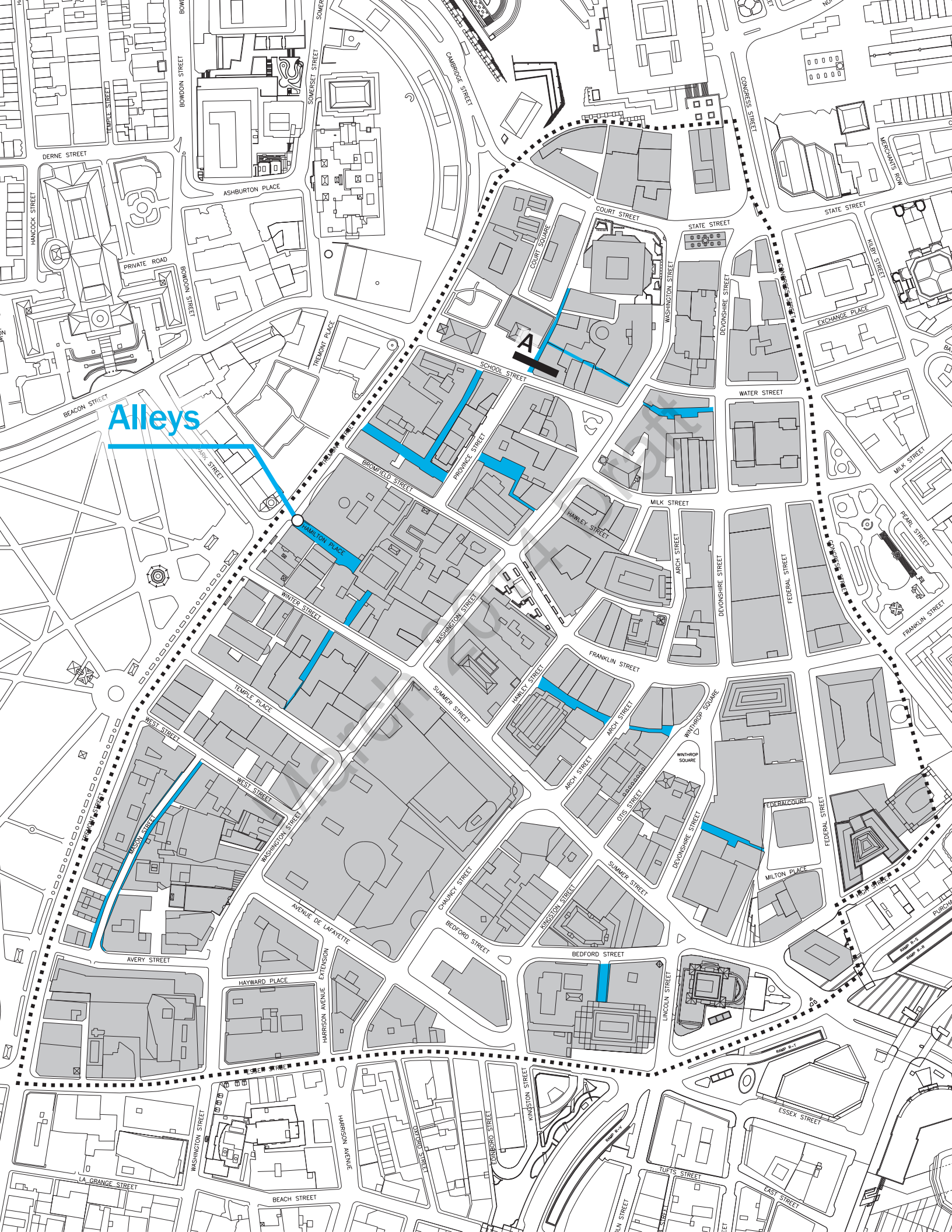
EXISTING - Looking north-west



PROPOSED - Looking north-west







## Alleys

### **A City Hall Avenue**

*See section on page 64-65*

Alleys with interesting destinations or that make street-to-street connections are important pedestrian linkages within the urban fabric and contribute to Boston's uniqueness. Many of the district's alleys act in concert with large building lobbies to create a pedestrian network of paths that allows city dwellers to move through interior and exterior spaces midblock. Like some alleys in London, there are a number of alleys in the DBBID that are interesting spaces in themselves and are great opportunities for art or memorable paving designs. The guidelines seek to celebrate these alleys, and advocate for the re-visioning of these spaces. However, in some instances, working alleys — alleys that need to mitigate a series of urban issues such as egress and trash — are necessary, but should be maintained and orderly. As a typology, the guidelines propose that destination alleys be paved with a zone of scored, cast-in-place concrete pavement, through a field of unit pavers that accommodate both the smaller scale and often uneven topographical conditions found in such places.





## Encourage



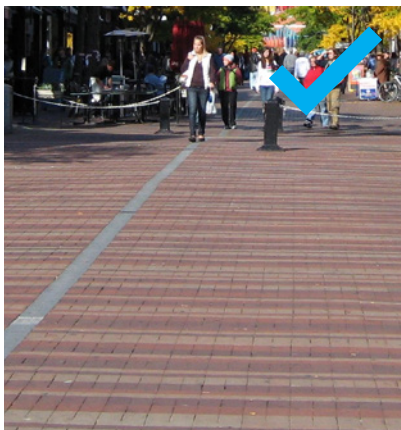
### Encourage site specific art installations

As a means to pacify and leverage the unique scale and texture of alleys, art installation should be considered. This may be permanent, temporary, or seasonal.



### Use of special materials to enrich texture

The tighter scale of the alleys presents an opportunity to make legible a smaller scaled intervention than would be effective elsewhere. The precedent of the bronze bricks installed within the field of red bricks on Winthrop Ln. makes this alley memorable. The slight textural disruption on the ground plane encourages one to stop and look at the context.



### Proper drainage

Drainage strategies should be conducive to safe and easy pedestrian use of alleys. This includes pedestrian friendly drain grates and impeccable maintenance of drains to ensure proper flow and no standing water.



## Discourage



### Debris and build up of trash

It is essential to manage the build up of trash and debris in alleys.



### Back of house

Alleys are to function as lively connectors throughout the district. The areas should be clear of items generally associated with backs of buildings i.e. dumpsters, trashcans, cleaning equipment etc.

March 2014 Draft



# City Hall Avenue

---



PROPOSED - Looking north







PROPOSED - Looking north

City Hall Avenue is a busy pedestrian alley connecting Court and School Streets, running alongside the Old City Hall located on School Street. The narrow right-of-way precludes amenities such as furnishings or plantings, but here the guidelines propose more attractive unit pavers and an 8' zone of scored, cast-in-place concrete pavement for improved accessibility.





## **Typical Streets**

### **A Devonshire Street**

*See section on page 70-71*

All streets and sidewalks not otherwise included in previous sections, fall into the category of typical streets. Here the standard pavement is cast-in-place concrete with split-faced granite curb. Following Boston's Complete Streets Guidelines, the provision of permeable pavement for some zone of the sidewalk is encouraged, as is the inclusion of street tree planting where practical.





## Encourage



### Where appropriate, encourage street trees

Street trees are essential elements in determining the character of an urban space. They play an important role in providing shade which combats urban heat island effect, filter urban air, and supports continuity of urban habitats for birds.



### Consistent paving treatment

Creating a uniform paving treatment gives a complex space a consistent 'carpet' allowing the whole district to be understood as a place. The consistent pattern creates uniformity in contrast to the diversity of building façades.



### Encourage porosity between interiors and exteriors.

Visual and/or physical porosity of facades supports a more lively streetscape. The use of operable facades and cafe seating enliven and diversifies the public realm. Non-food related businesses can also support dynamic street life by opening sight lines into facades.



## Discourage



### Avoid clashing materials

The juxtaposition of paving materials usually indicates modifications to the sidewalk or street over time. The goal is to eliminate all such places within the DBBID and make pavement more consistent throughout.



### Avoid furniture outside of guideline approved

The branding and identity of the DBBID is reinforced by the physical elements of the streetscape. Utilization of furniture outlined in this guidelines maximizes district brand identity.

March 2014 Draft



# Devonshire Street

EXISTING - Looking south



Existing Granite Slabs



PROPOSED - Looking south



\*The patina of Boston's historic streets is still present in the form of enormous granite sidewalk slabs which should be protected and re-set in place or retained in place during repaving operations. Consistent with current City of Boston protocol all proposed re-paving should take into account the existing historic granite slabs and granite curb and retain them where practicable.





CONCRETE PAVING

PLANTERS  
& PLANTS

BOLLARD

FURNITURE

DOWNTOWN  
BOSTON  
IMPROVEMENT DISTRICT





CONCRETE  
ANCHORLOCK PAVERS

TRENCH DRAIN

FURNITURE

Materials deployed on  
Washington Street



# Materials

These design guidelines are intended to provide direction in choosing materials, furniture, and plants to be deployed in the Downtown Boston Business Improvement District (DBBID) to create a unified sense of place, and to distinguish the district as an entity managed by the DBBID. The district is comprised of approximately 40 city blocks. Within these blocks, some are adjacent to the pedestrian-only environment of Winter Street, and portions of Washington and Summer Streets. Others are within the “Ladder Blocks”—streets between Tremont and Washington Streets—while most lay outside of these ‘special treatment’ areas. The guidelines are organized by street location and material type.

*See Street Types on page 13 and Furniture & Planter Plans on page 105 for more information on which materials are deployed specifically for a given location.*

# Material Categories

## Paving

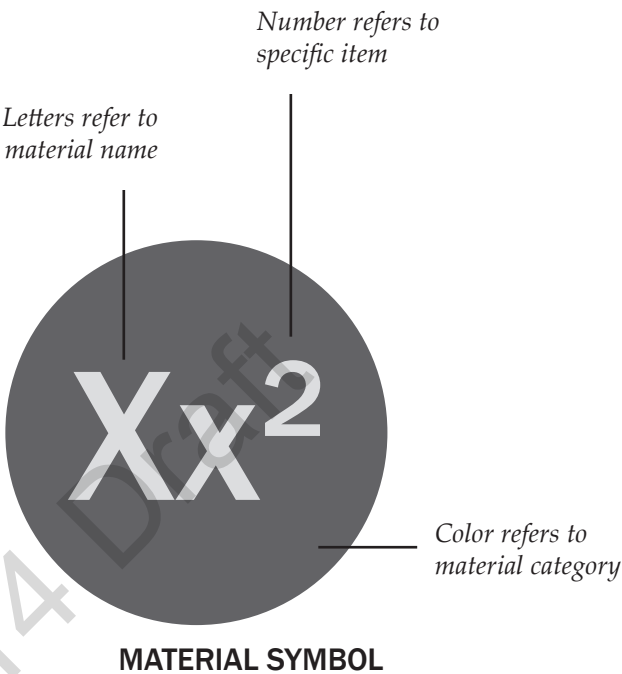
## Infrastructure

## Furniture

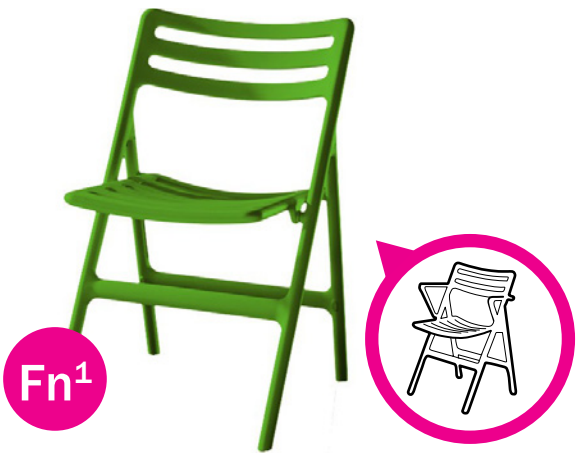
## Planters & Plants

## Tactical Urbanism

Materials throughout the guidelines are typically represented as the material symbol shown to the right, and below. The only exception is for the furniture and planters plans (Pages 103-123) where they are shown as drawings depicting the specific item to be placed there.



	Concrete Pavers	Permeable Pavers	Poured In Place Concrete		
	Cp	Pp	Pc		
Tu	Pl	Tr	Pe	Fn	In
Tactical Urbanism	Planters	Trees	Perennials	Furniture	Infrastructure
Tu <sup>1</sup> Street Paint	Pl <sup>1</sup> Love Tub	Tr <sup>1</sup> American Hornbeam	Tr <sup>1</sup> Barrenwort	Fn <sup>1</sup> Air Chair	In <sup>1</sup> Title 24 Trench Drain
Tu <sup>2</sup> Street Barrier	Pl <sup>2</sup> Tone Tub	Tr <sup>2</sup> European Beech	Tr <sup>2</sup> Japanese Spurge	Fn <sup>2</sup> Chipman Chair	In <sup>2</sup> Title 24 Trench Drain
Tu <sup>3</sup> Scaffolding Table	Pl <sup>3</sup> Conical Tub	Tr <sup>3</sup> Three Flowered Maple	Tr <sup>3</sup> Wood Spurge	Fn <sup>3</sup> Chipman Table	In <sup>3</sup> Paladin Bollard
Tu <sup>4</sup> Scaffolding Chair		Tr <sup>4</sup> American Hophornbeam	Tr <sup>4</sup> Gold Fountains Grass	Fn <sup>4</sup> Parallel 42 Bench	In <sup>4</sup> 400 Bollard
		Tr <sup>5</sup> Sargent Cherry		Fn <sup>5</sup> Standing Table	In <sup>5</sup> Lit Bollard
		Tr <sup>6</sup> Katsura		Fn <sup>6</sup> Bench + Table	In <sup>6</sup> Pedestrian Gate
				Fn <sup>7</sup> Leaning Bench	
				Fn <sup>8</sup> Bench	
				Fn <sup>9</sup> Milenio Bench	



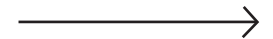
EXAMPLE



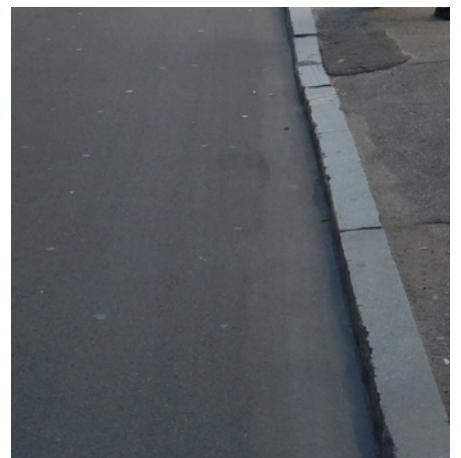
# Challenges

As it exists now, the DBBID has a great array of street, sidewalk and open space paving materials, furniture types, and planting. These guidelines simplify the material palette, provide more consistently accessible surfaces, and generally aspire to de-clutter the streetscape. The implementation of the guidelines is shared between the city, the DBBID, and property owners. Transformation of the district is anticipated to happen incrementally over time. With public rights-of-way being rebuilt according to the needs and schedule of the city, public spaces may be re-made in concert with the DBBID or private entities, and as individual buildings and properties are renovated, these guidelines will direct owners to materials and methods of improvements for the public realm.

March 2014 Draft

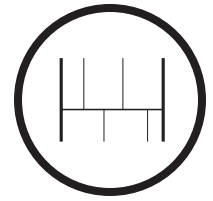


*Existing pavement  
“collage” of the DBBID*





# Poured-in-Place Concrete Paving



Poured-in-place concrete paving (PIP) is a ubiquitous and predictable surface treatment that provides a stable and relatively easy path of travel. These guidelines propose its use, in varying widths, in the sidewalk right-of-way and specific crossings across the entire district. In the Typical Streets, PIP is the sole material of the sidewalk; in the Ladder Blocks, it serves as the primary material of the sidewalk and is paired with a unit paver accent strip. In the Pedestrian Zone, it is used as an 12' swath along the building faces mitigating between the buildings and the unit pavers which comprise the majority of the Pedestrian Zone surface treatment.

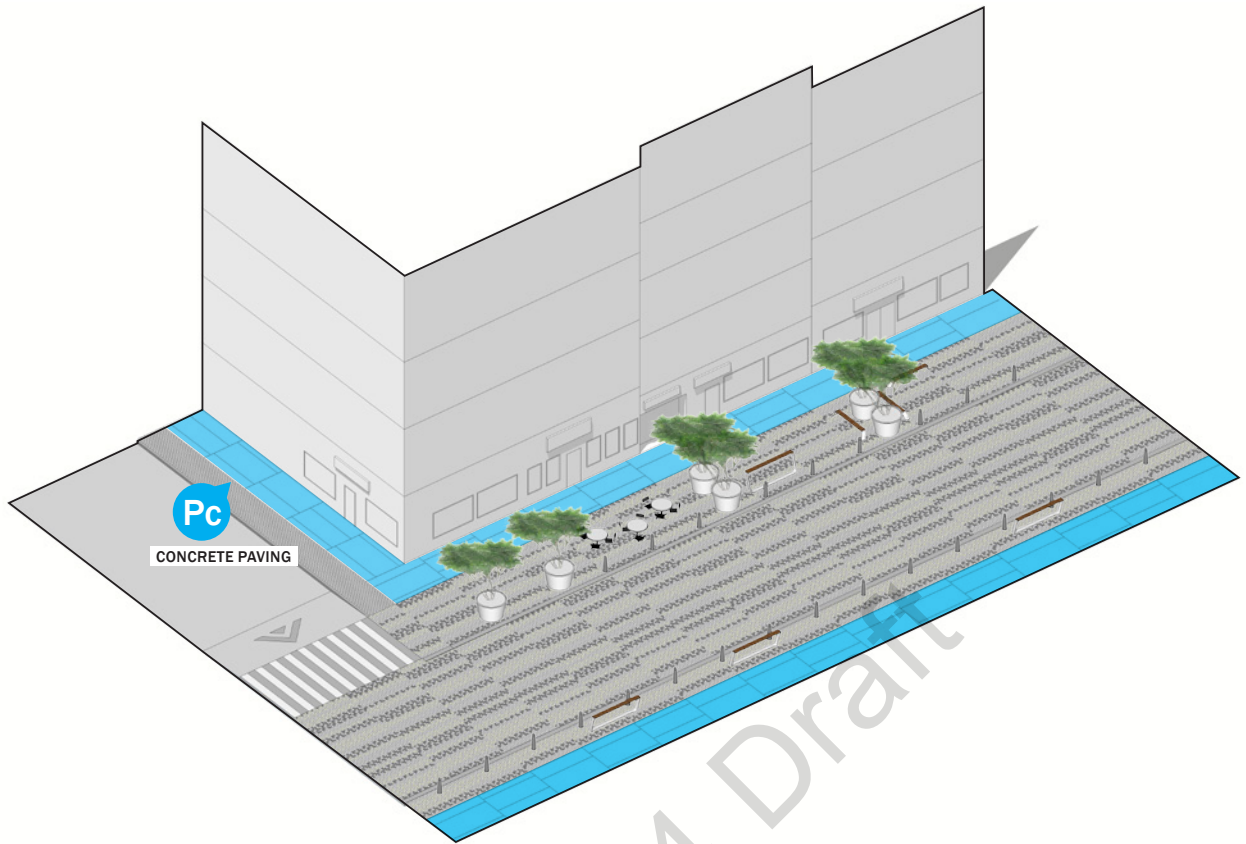
The installation details should match the current City of Boston Public Works Department concrete sidewalk specifications, with one exception: the surface jointing pattern as outlined in these guidelines shall be employed.

Finish of the concrete shall be broom finish, including all the way up to the edges of the concave tooled joints resulting in a broom finish surface uninterrupted by any visual remnant of the jointing tool. See photo below.

*See Scoring Pattern detail on page 134 for more specific information on the deployment of concrete paving.*

*Broom finish shall be applied last to avoid border created by concrete tool.*



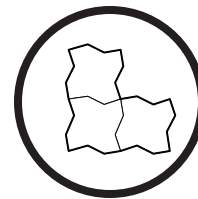


See *Street Types* for more information on Washington Street.





# Concrete Unit Pavers



Red clay bricks are one of the most dominant features and identifiers of Boston's streetscape. As a way to lend specific identity to the DBBID, these guidelines recommend the use of a concrete unit paver rather than a brick unit paver to support specific place-making moments within the District. Concrete unit pavers offer a wider variety of sizes, colors and finishes that both expand and contemporize Boston's traditional brick palette.

In the Pedestrian Zone the concrete unit pavers should be thought of as a continuous carpet unifying and identifying the zone as primarily supporting the flow of pedestrians rather than the passage of vehicles. Though primarily for pedestrian use, the Pedestrian Zone will also need to accommodate vehicular traffic of all types. It is therefore imperative that the concrete unit pavers be durable enough to withstand heavy-duty vehicular traffic from cars, buses and emergency vehicles. An L-shaped paver with saw-toothed edges provides increased locking strength and therefore is unlikely to succumb to movement and uplift of pavers, even at the more heavily trafficked intersections.

In terms of maintenance and wear, these pavers have tight jointing to minimize accumulated debris. The varied color choice (see appendix for specific colors within the various patterns) of the pavers will help minimize the appearance of dirt and staining. And when installed there will be the application of an adhesive binder course that will minimize issues with frost heaves.

The Pedestrian Zone carpet of pavers should have an identifiable pattern that is both bold enough to immediately signal entry into the Pedestrian Zone and is sufficiently subtle to be forgiving in the inevitable event of surface disturbance due to utility repair work. The pattern also must be adaptable enough to be scaled, or to vary the intensity to adapt to a variety of installation locations and circumstances. *See [Paving Pattern](#) on pages 130-133 for specific paving patterns.*

These pavers are compliant with the guidelines of the Americans with Disabilities Act.

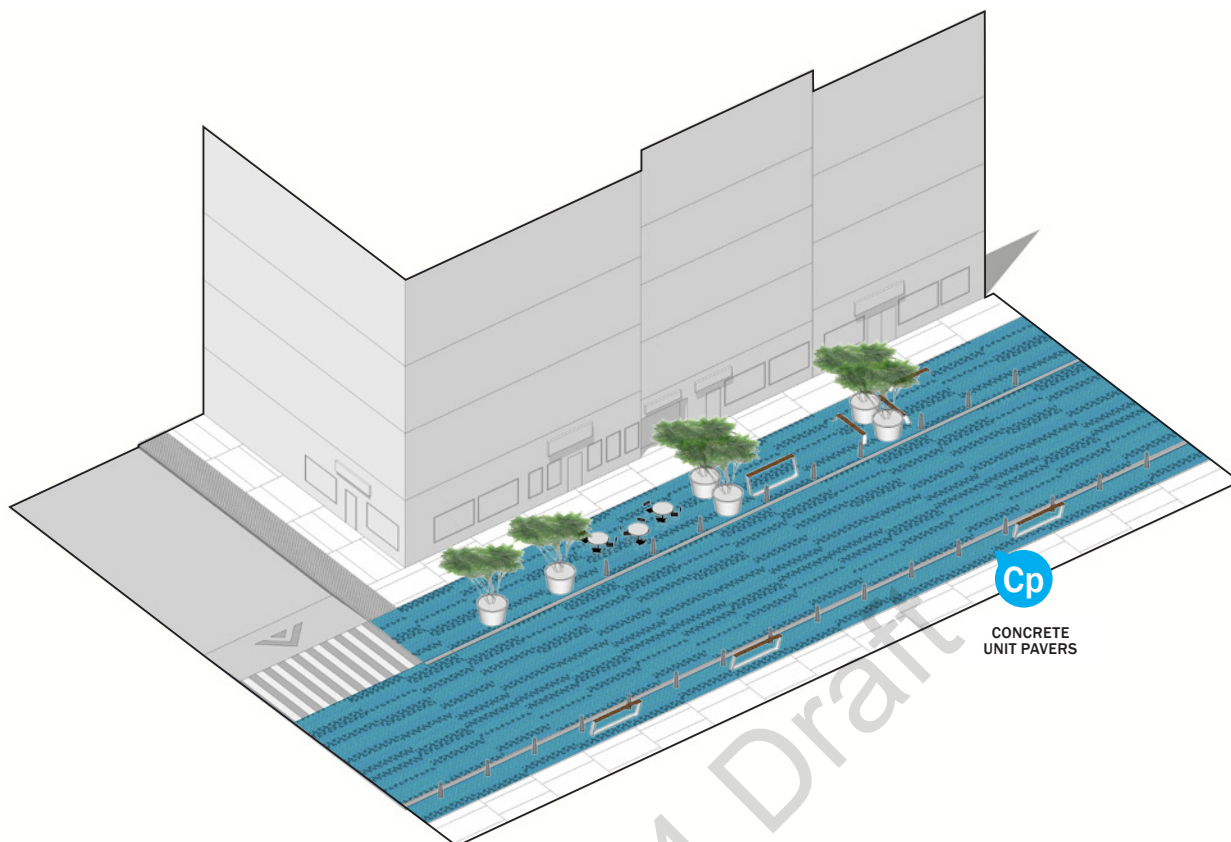
*See the Materials Matrix at the end of this document for detailed information on the concrete unit pavers.*



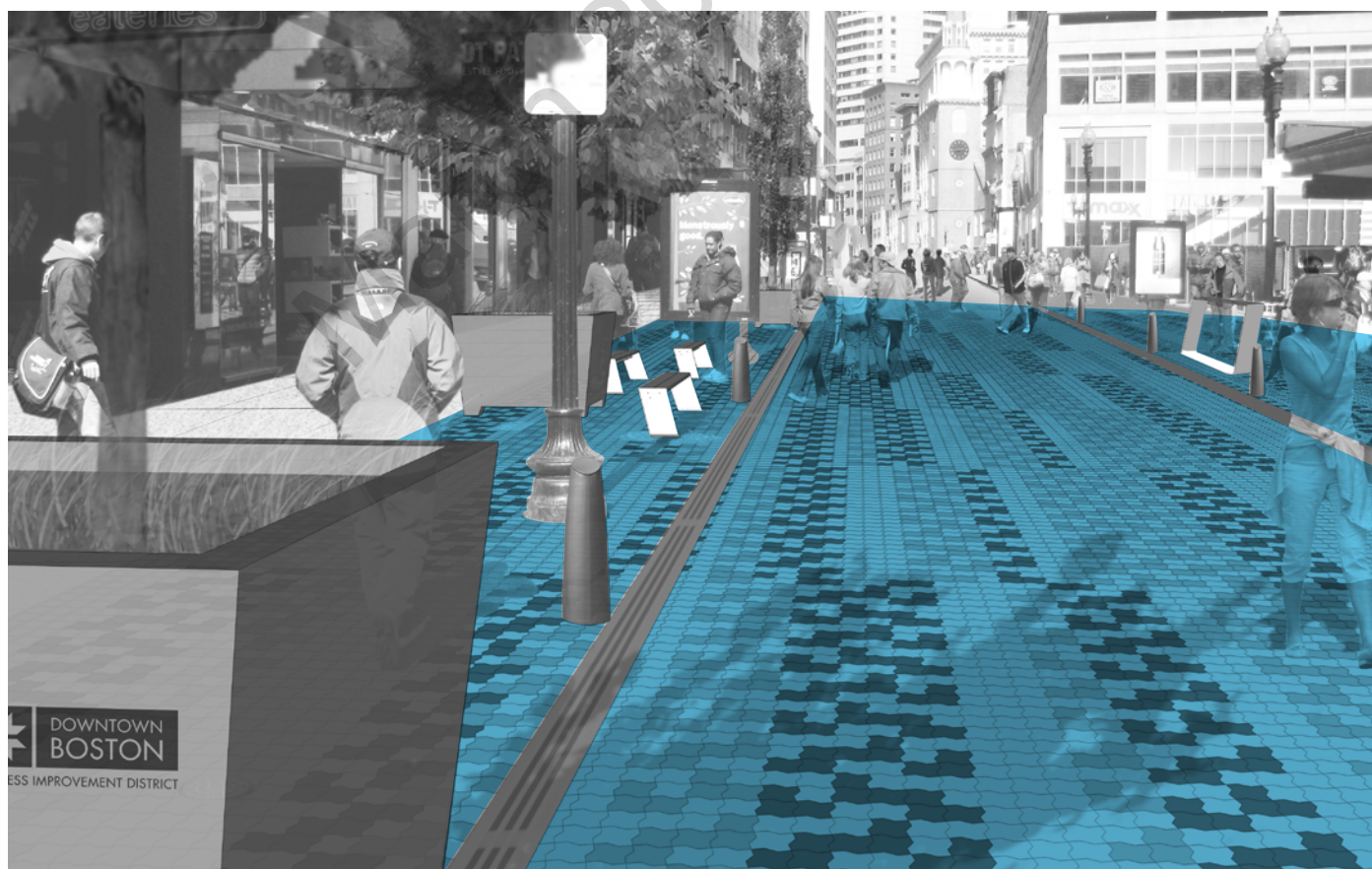
Cp<sup>1</sup>



Cp<sup>1</sup>

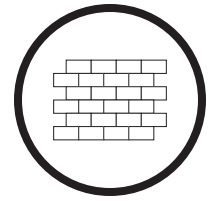


See *Street Types* for  
more information on  
Washington Street.





# Permeable Pavers

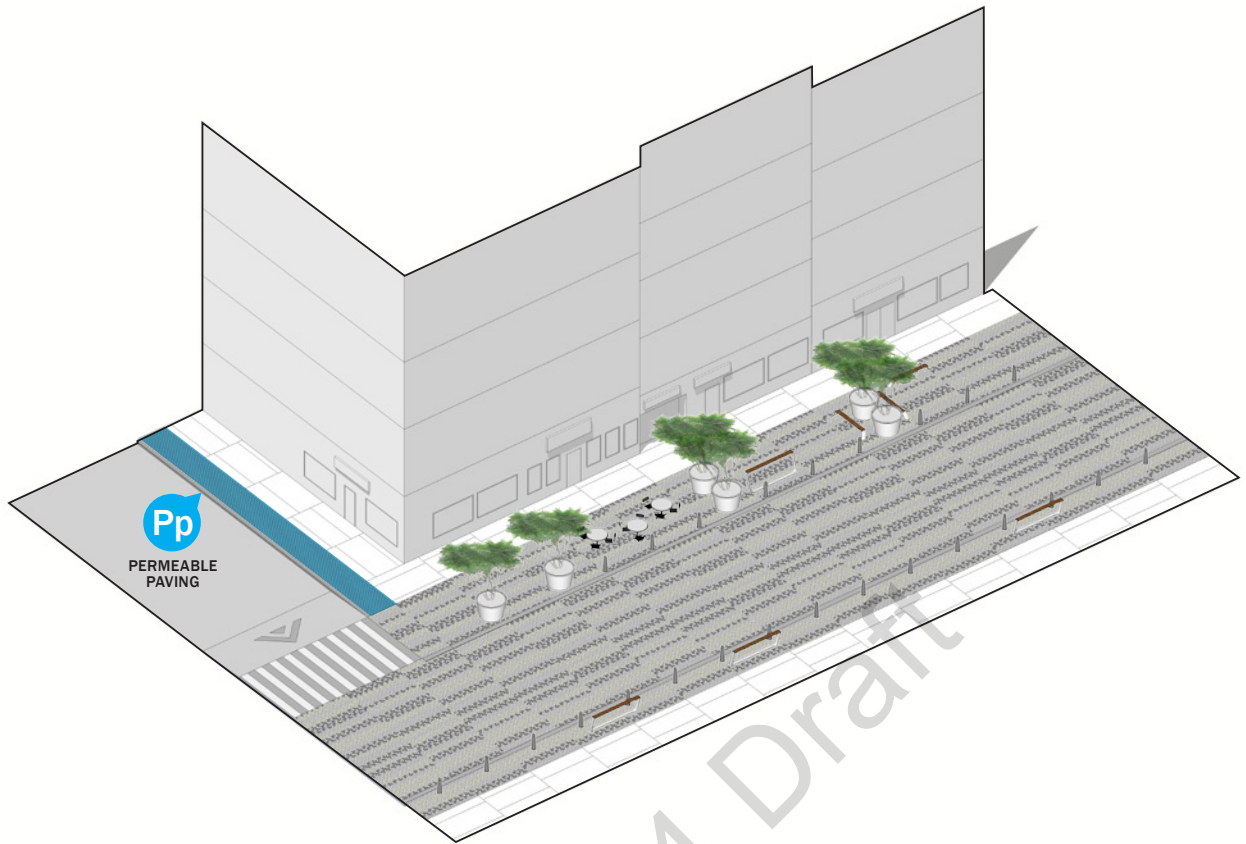


The use of permeable concrete unit pavers is recommended as part of the feature strip in the Ladder District Streets. These pavers offer greater detail and texture to the streetscape while also assisting to manage storm water. Passage of storm water through the permeable pavers will allow water to pass directly to the street trees planted in those zones (if applicable) or, at a minimum, capture the runoff from the adjacent poured-in-place concrete sidewalk before flowing to the street and into the City's storm sewer system.

Permeable Concrete Unit Pavers should be either uniform in color or with a slight variation or mottling of a single color. These pavers are compliant with the guidelines of the Americans with Disabilities Act.

*See the Materials Matrix at the end of this document for detailed information on the permeable pavers.*





See *Street Types* for  
more information on  
Temple Place.





# Infrastructure

Much of the visual quality of a public right-of-way is from familiar, utilitarian objects whose fundamental purposes are to control vehicles, provide drainage or light. For this reason, these design guidelines propose specific infrastructure elements to be included within the DBBID. Infrastructure should enhance identity/design direction with “mundane” elements contributing:

## Drainage Elements

Drainage elements, such as the proposed trench drains that enable street surfaces to be raised flush with the adjacent sidewalks, must have an ornamental visual effect and be consistent throughout the district. Clean-outs for these trench drains must occur no further than 25 feet

apart along drain lengths. Success of these elements is dependent on regular maintenance which must occur on an annual or bi-annual basis.

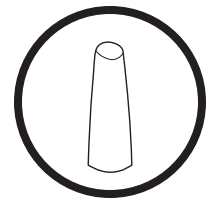
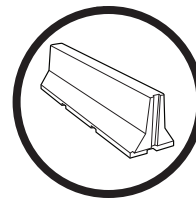
## Bollards

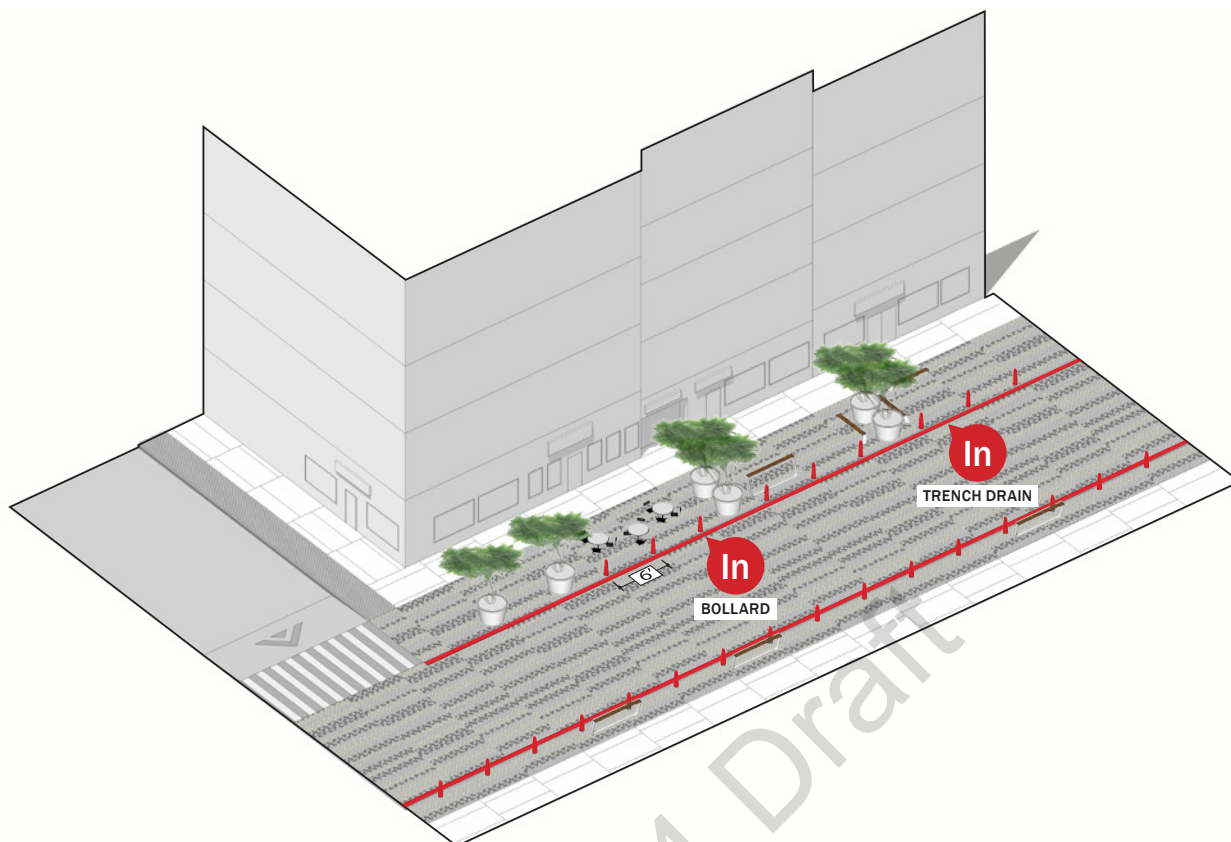
These traffic-control elements are essential for providing pedestrian safety, particularly during times when service vehicles are allowed in the pedestrian zone. Because of the large number of bollards required, the material palette includes specific recommendations for decorative bollards that also serve safety requirements. These must have carefully designed below-grade fastening to foundations.

## Gates to Pedestrian Zones

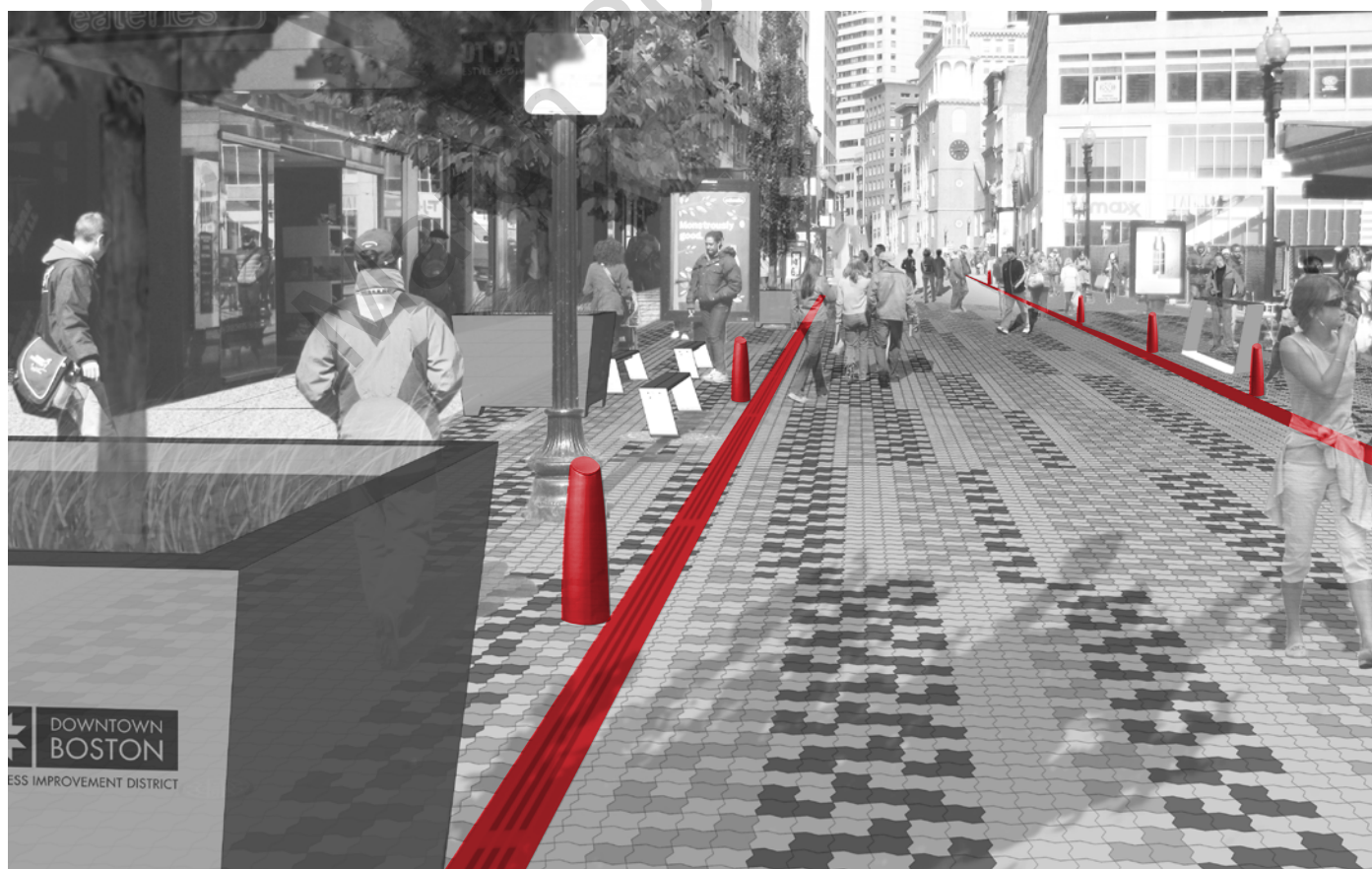
Movable barriers to demarcate the pedestrian zone are essential elements at Washington at Temple Streets, and Winter at Tremont Streets. Proposed examples include custom-fabricated, pivoting ‘art’ gates and a manually-activated bollard-gate mounted on a turntable that allows passage when rotated 90 degrees. *See page 147 for images.*

*See the Materials Matrix at the end of this document for detailed information on infrastructural elements.*



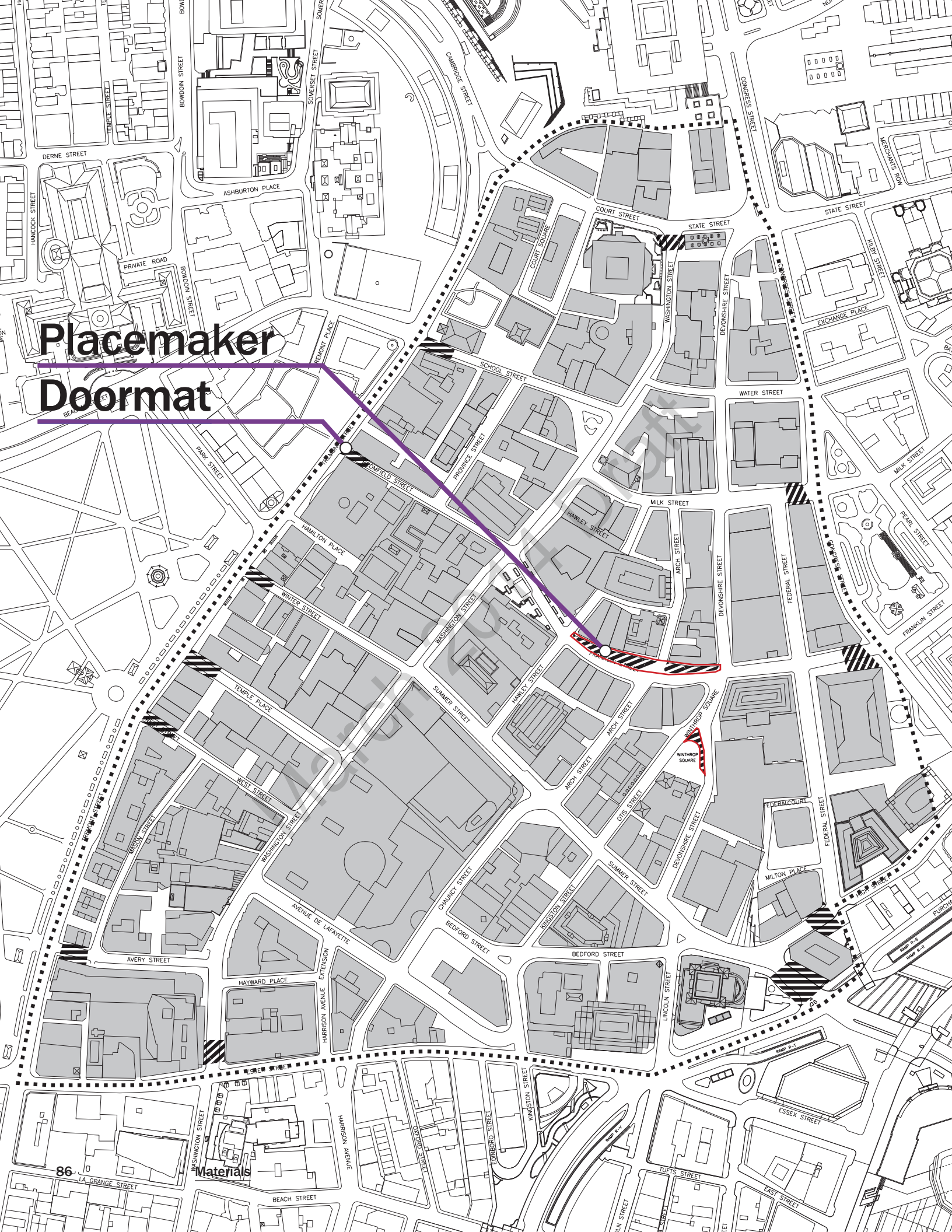


See *Street Types* for more information on Washington Street.



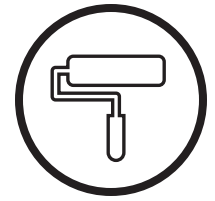


# Placemaker Doormat





# Tactical Urbanism



Tactical Urbanism implies a relatively low-cost, low-risk, high reward urban intervention. Typically temporary, these interventions are sought to activate the urban landscape in simple, unexpected, and playful ways. 'Placemakers' are examples interventions that may include the use of paint to temporarily change the ground-plane or transform furnishings, such as the development of custom, bespoke site furniture, and/or the deployment of movable furnishings.

## STREET PAINT

Paint can be used to demarcate spaces in either a temporary or a more permanent way. With relatively low investment spaces can be transformed and reflect change in a short period of time.

The idea of a painted graphic 'doormat' at entry points into the

DBBID is a long term strategy to reinforce the sense of arrival into the DBBID and can work in tandem with the existing and future overhead banner lights already deployed.

In a more temporary or seasonal way, paint can be used to call attention to and help demarcated a re-allocation of space from a vehicular use to a pedestrian use.

Similarly, paint can be used to enhance the anticipation of a future formally constructed open space.

In all cases, appropriate paints shall be chosen to match durability with desired longevity.

*See the Materials Matrix at the end of this document for detailed information on the street paint.*

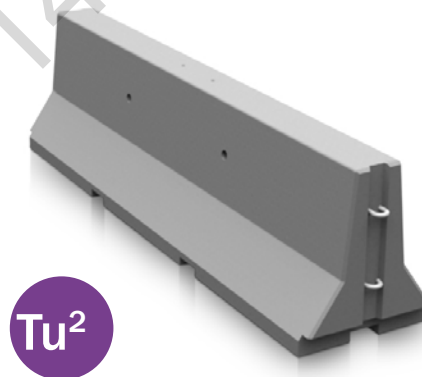


*Areas of the DBBID of street painting and "doormats"*





*Examples of possible ways to enhance a barrier for temporary use.*





*Examples of temporary  
furniture to enhance  
construction sites.*



# Furniture

Building upon the place-making strategies of the various surface pavements, the deployment of various furnishings in key locations and throughout the District further establishes the DBBID brand and identity, specifically through the use of color and, in some cases the DBBID logo. A wide variety of furniture types that support an urban downtown aesthetic have been selected for various streets and spaces across the DBBID with the intention of enhancing the diversity of and supporting the users of those spaces. The use of color and a contemporary playful urban aesthetic is key.

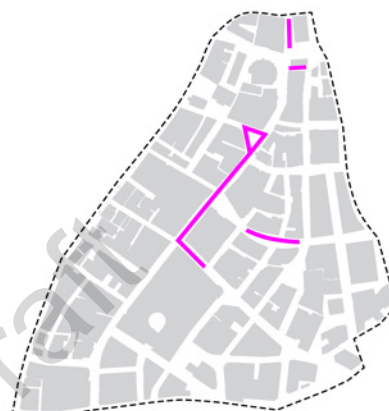
Specific arrangements of furnishings are recommended for the key spaces of the DBBID, including Reader's Park/Irish Famine Memorial and Winthrop Square. These include movable pieces of furniture such as tables and chairs which can be adjusted by the user to accommodate the varying sun angles and weather. Additionally it is important to limit the amount of movable furniture to key locations so that it can easily be monitored and managed (i.e. locked in the evenings) by the DBBID ambassadors.

Smaller-scaled task related furniture is deployed throughout the DBBID. These often require permanent or fixed installation and include device-charging stations, or leaning rails and seats which are conducive to shorter stays in the DBBID with a specific task or intention in mind. These furnishings, which require far less capital investment than paving, and also represent a range of price-points to provide flexibility in roll-out, offer an immediate opportunity to encourage use of DBBID's public space.

*See the Materials Matrix at the end of this document for detailed information on furniture.*



## FURNITURE DEPLOYMENT



●  
Green



**Fn<sup>1</sup>**



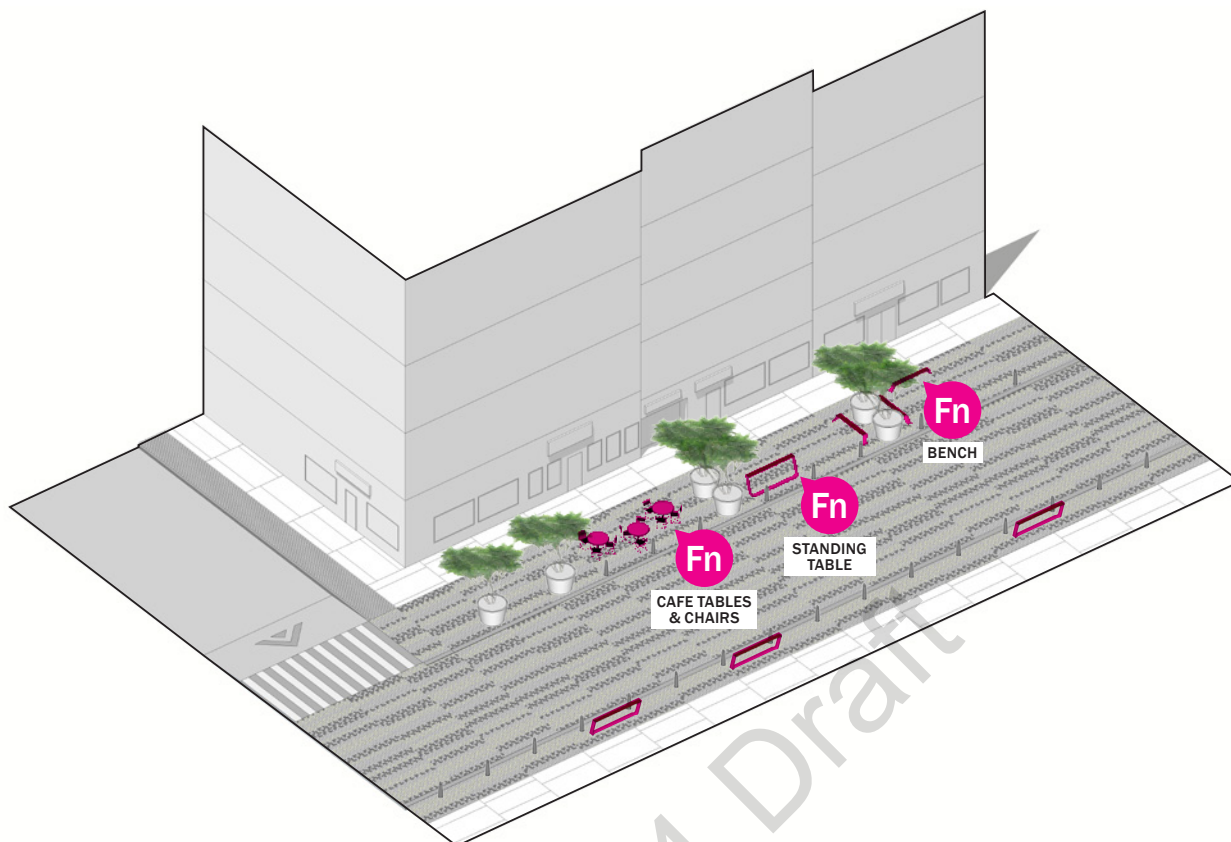
●  
Buttercup

**Fn<sup>2</sup>**

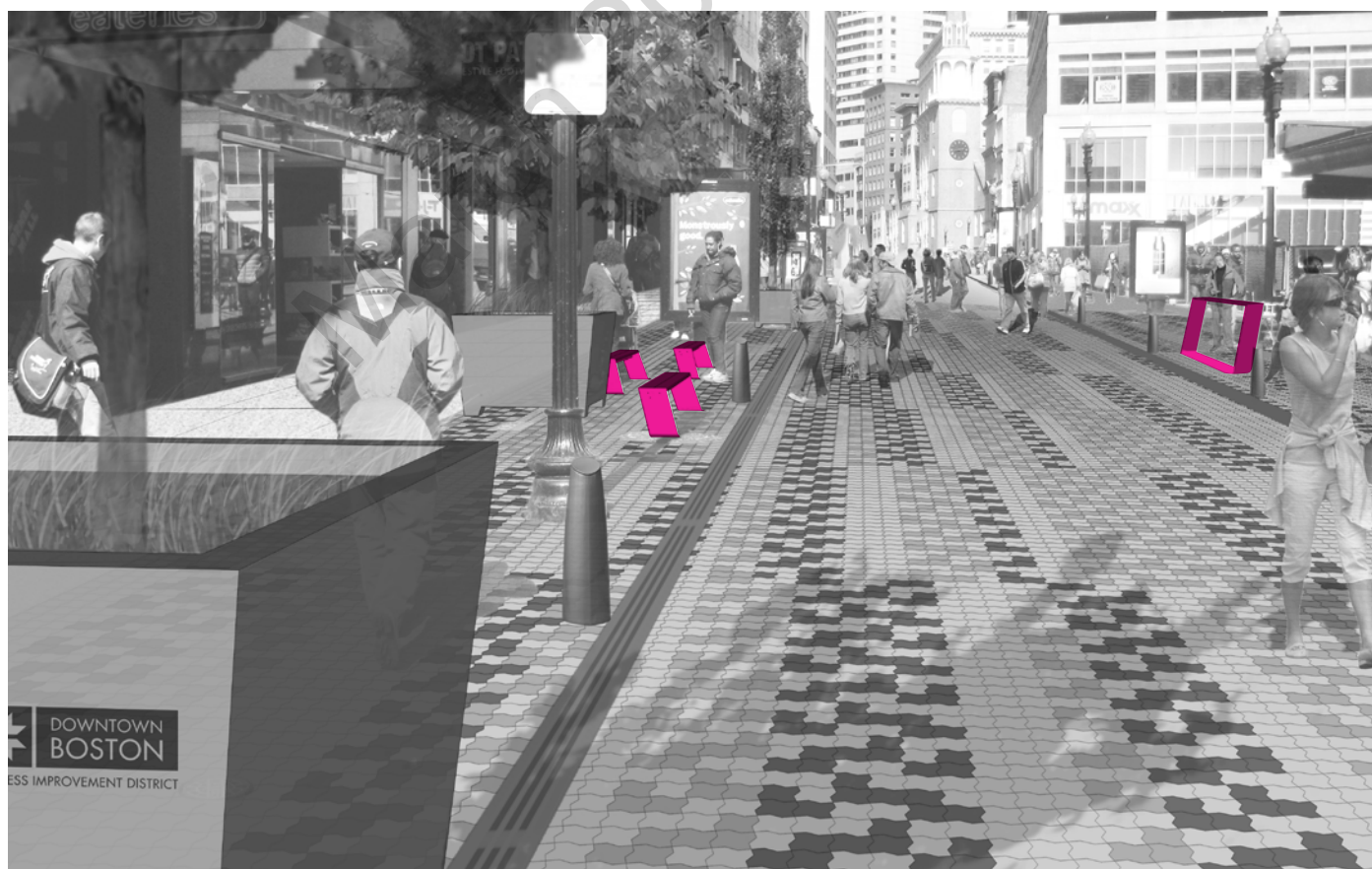
●  
Silver



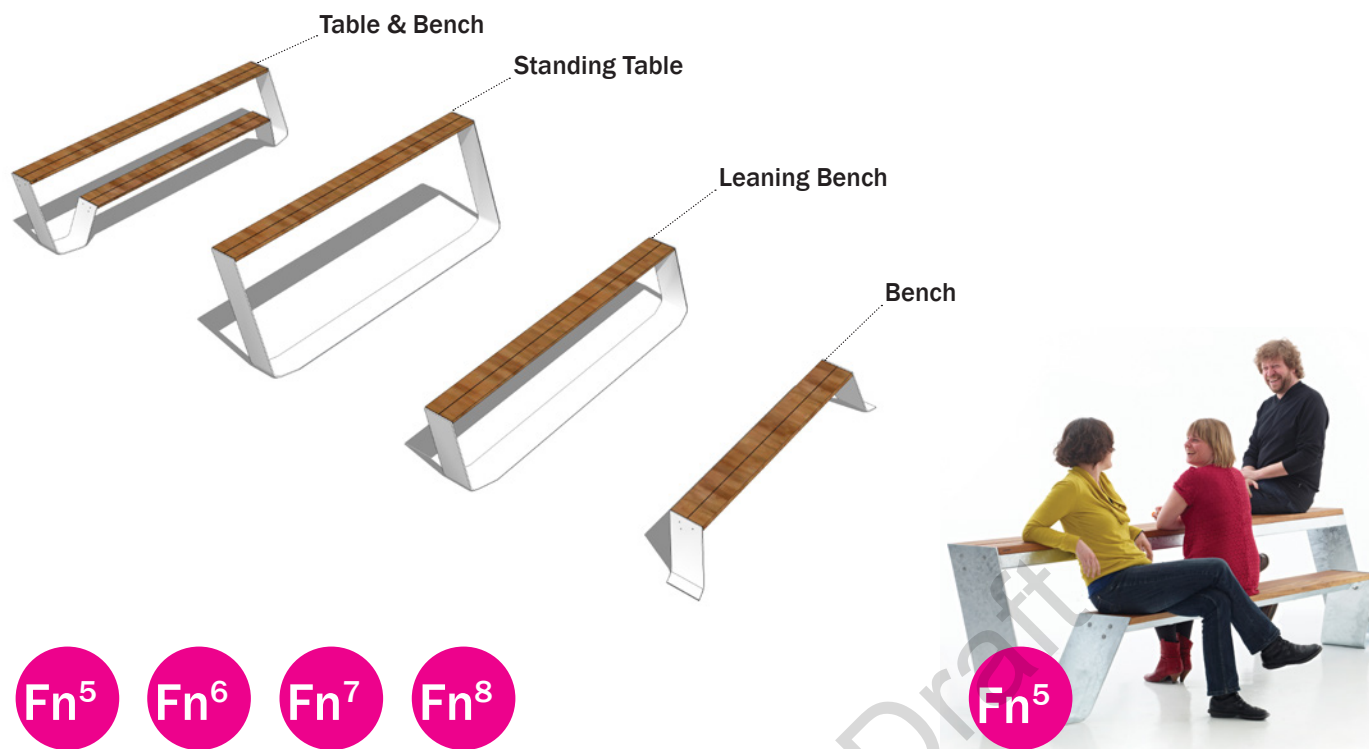
**Fn<sup>3</sup>**



See *Street Types* for more information on Washington Street.









# Furniture Management

Furniture throughout the DBBID will need ongoing management and attention to encourage use by as many people as possible. Monitoring by DBBID ambassadors will be necessary to help prevent loitering and vandalism. Furniture locations have been chosen for their high visibility and high rates of pedestrian traffic

with the intention of further supporting the goal of maximizing and encouraging proper use.





# Planters

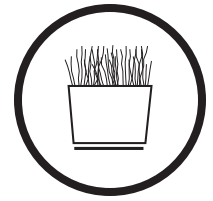
Most downtown commercial streets in the DBBID do not have enough space for a typical tree pit because of underground utilities and other subsurface limitations. Instead, to signify the district's major spaces, planters can be used, providing dramatic, flexible, and appropriately scaled landscape elements. Large planters require less initial capital investment than typical street trees and provide a similar spatial impact. Furthermore, they present opportunities for district branding and identity in the treatment of the planter shape, color, and logo.

Three types of planters are specified: to accommodate the largest trees, large, square "Love Tubs" (PI<sup>1</sup>) are reserved for Washington St.; medium, square "Tone Tubs" (PI<sup>2</sup>) are used to create outdoor "rooms" within the district's paved plazas;

finally, smaller, round "Conical Tubs" (PI<sup>3</sup>) allow for smaller flowering trees where space is an issue.

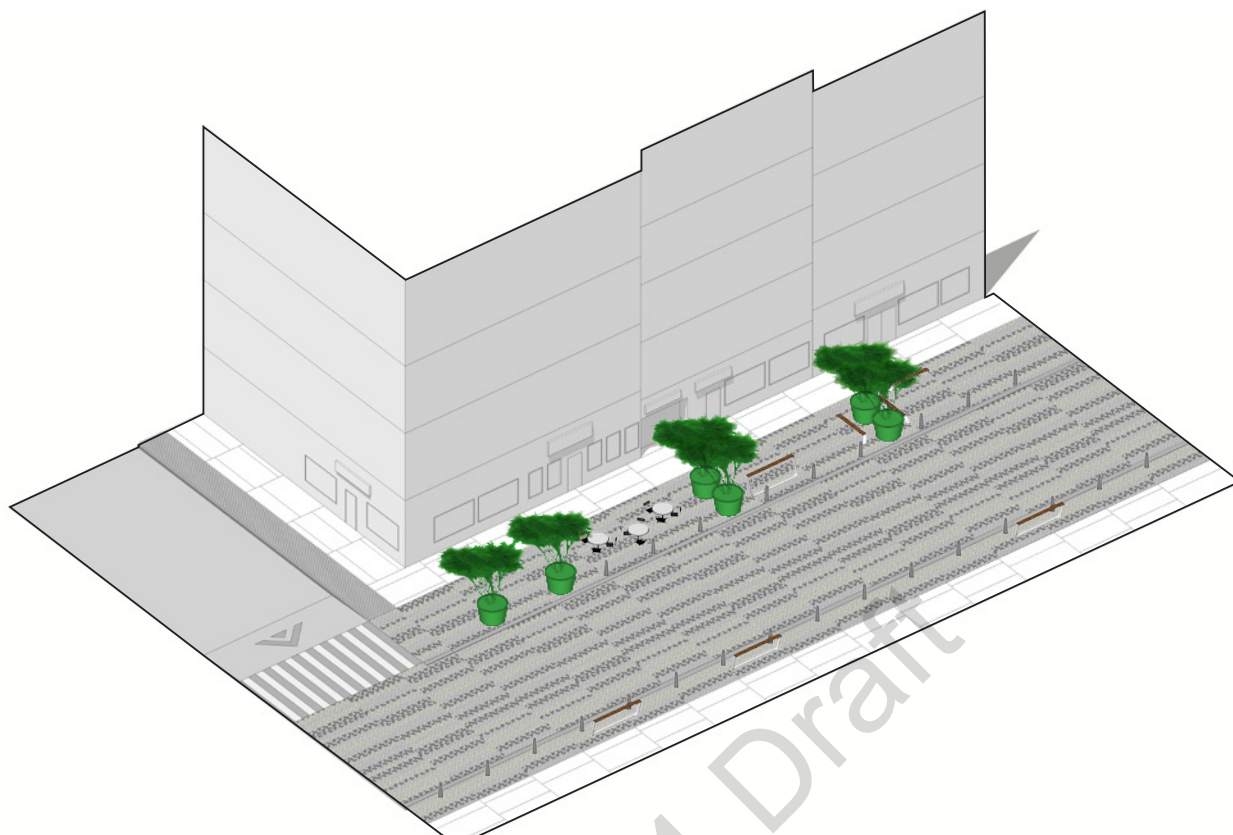
The tree planters, (manufactured by Streetlife) also incorporate the "Treetec Bottom Up" system to anchor, insulate and circulate water throughout the roots. Still, all planters will require continued maintenance for success.

*See the Materials Matrix at the end of this document for detailed information on planters.*



## PLANTER DEPLOYMENT





See *Street Types* for more information on Washington Street.





# Planting



As is the case in many dense, urban environments, conditions in the DBBID are not always optimal for planting. Even during the longest day of the year, the majority of the district receives less than 3 hours of direct light. These narrow streets also act as “urban canyons” increasing wind speeds across the tree canopy.







Planters provide additional trees in the district, but there are inherent limitation to tree growth due to the size of the raised bed. Plants must also be able to withstand longer periods of drought and cold than if they were planted in the ground.

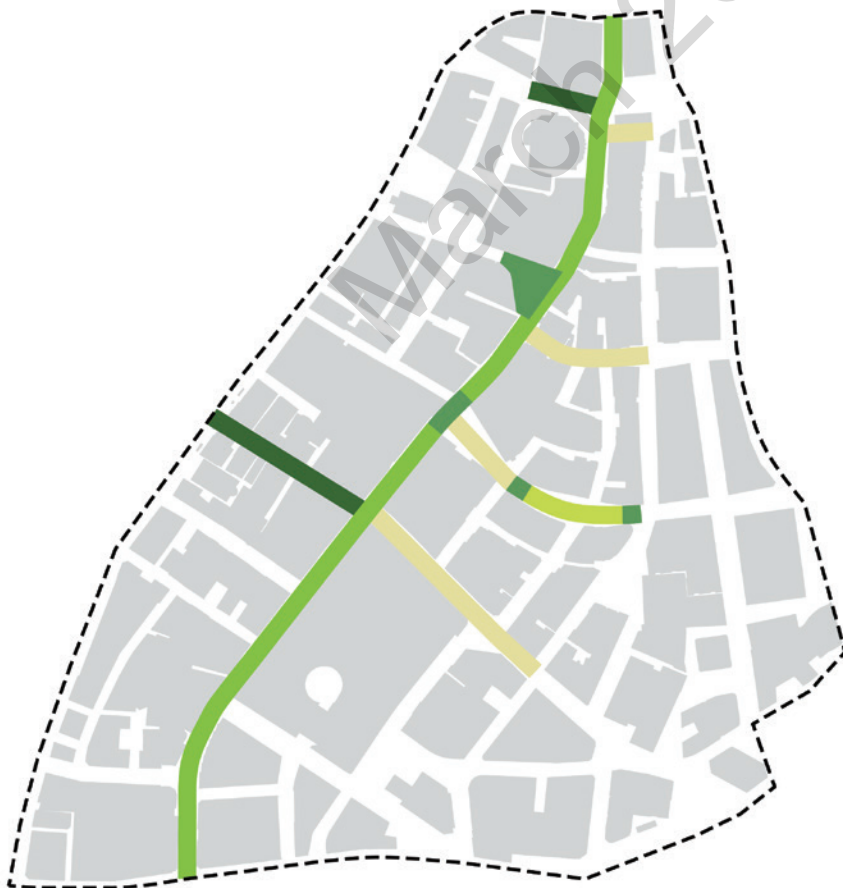
Along with these horticultural constraints, trees should also have distinctive form, and provide a seasonal display of flower and

foliage. Unique bark is also desirable because of the increased visibility at planter height.

The trees specified have been carefully selected to satisfy these requirements and come recommended by the planter manufacturers when not found on the Boston Parks Department Approved Street Tree List. Each tree has been assigned a particular planter, location and a suggested perennial combination. Boston Complete Streets Planting Design Guidelines for *Downtown Commercial* and *Downtown Mixed-Use Street Types* should continue to be adhered to and species should be approved by the Parks Department or City Arborist on a case by case basis.

## PLANTING COMBINATIONS

-  **Combination A**  
*Carpinus caroliniana*, American Hornbeam  
*Epimedium x youngianum*, Barrenwort  
Love Tubs
-  **Combination B**  
*Fagus sylvatica* ‘Dawnyck’, European Beech  
*Epimedium x youngianum*, Barrenwort  
Love Tubs
-  **Combination C**  
*Acer triflorum*, Three-Flower Maple  
*Pachysandra terminalis*, Japanese Spurge  
Conical Tubs
-  **Combination D**  
*Ostrya virginiana*, American Hophornbeam  
*Euphorbia var robbiae*, Wood Spurge  
Tone Tubs
-  **Combination E**  
*Prunus sargentii*, Sargent Cherry  
*Carex* ‘Kaga Nishiki’, Gold Fountain Sedge  
Tone Tubs
-  **Combination F**  
*Cercidiphyllum japonicum*, Katsura tree  
*Carex* ‘Kaga Nishiki’, Gold Fountain Sedge  
Tone Tubs



# Sun Exposure

*Diagram of sun and shade during June 21st, the longest day of the year.*



3+ HRS MORNING SUN   3+ HRS MIDDAY SUN   3+ HRS AFTERNOON SUN   5+ HRS TOTAL SUN



# Combination A

## CARPINUS CAROLINIANA

American Hornbeam. As a native understory tree in Eastern Forests, *C. caroliniana* has a wide cultural tolerance to dry, dense shade. A proven urban and container tree, it develops a wide, round crown and is thus able to serve two roles on Washington St.: as a wider canopy tree around “outdoor rooms” of the plaza, and as an understory complement along Reader’s Park. Its unique, “flexing” trunk and seed display also add to its appeal.

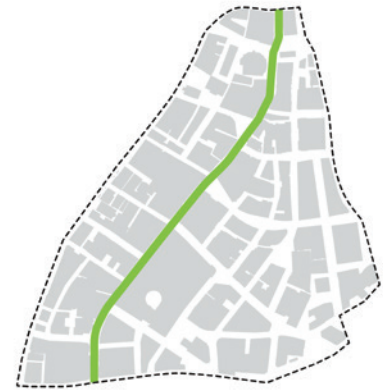
Expected Size: 20' x 20'

## EPIMEDIUM X YOUNGIANUM

Barrenwort. This tough, evergreen perennial requires little maintenance and is adapted to dry shade. Airy white flowers emerge in early spring above a carpet of fine foliage.

## LOVE TUB

As the largest planter specified, the Love Tub provides 3.25 cubic yards of soil volume to support large trees.





# Combination B

## FAGUS SYLVATICA 'DAWYCK'

European Beech. Able to withstand tougher conditions than its American counterpart, *F. sylvatica* 'Dawyck' is a tried and true cultivar of European container plantings. A climax species in the forest, beeches are adapted to growing in shade when young and in sun during maturity. The tree is distinctly columnar into old age without any pruning and will provide a distinctive form to Washington St. to compliment its fall color and smooth bark.

Expected Size: 30' x 10'

## EPIMEDIUM X YOUNGIANUM

This tough, evergreen perennial requires little maintenance and is adapted to dry shade. Airy white flowers emerge in early spring above a carpet of fine foliage.

## LOVE TUB

As the largest planter specified, the Love Tub provides 3.25 cubic yards of soil volume to support large trees.





# Combination C

## ACER TRIFLORUM

Three Flowered Maple. Tolerating partial shade, drought and cold temperatures, this tough specimen tree can be used throughout the DBBID where space is limited. As the only specified multi-stemmed tree, it serves as an accent to the other plantings, especially as it is combined with the conical tubs. Its exfoliating bark adds further contrast to the plant palette.

Expected Size: 15' x 10'

## PACHYSANDRA TERMINALIS

Japanese Spurge. This shrubby, evergreen groundcover requires little maintenance and is adapted to dry shade. Tiny white flowers bloom in the early spring.

## CONICAL TUB

These smaller round tubs provides 1.5 cubic yards of soil volume for smaller flowering trees where space is limited.





# Combination D

## OSTRYA VIRGINIANA

American Hopornbeam. This tough, native understory tree is extremely adapted to dense shade and drought, yet retains an even and rounded canopy to compliment its otherwise quirky characteristics. An interesting tree across the seasons, *O. virginiana* has fruit reminiscent of hops, a soft yellow fall color, and twisting strips of bark.

Expected Size: 20' x 15'

## EUPHORBIA VAR. ROBBIAE

Wood Spurge. This shrubby, evergreen groundcover requires little maintenance and is adapted to dry, shade. Yellow green disc-like bracts back chartreuse yellow flowers in late spring which last for months.

## STONE TUB

Narrower and taller than the other planters, the medium-sized stone tubs provide 2 cubic yards of soil volume for small to medium sized trees.





# Combination E

## PRUNUS SARGENTII

Sargent Cherry. With a profuse spring bloom, rich fall foliage color, and iconic bark, Sargent Cherry provides a clear and distinctive path through DBBID where there is adequate sun. The species has been successfully used in planters, has good resistance to most pests, and has proven to be a lasting tree at the Arnold Arboretum.

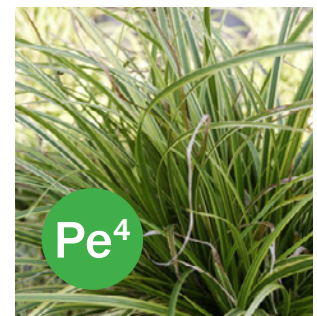
Expected Size: 20' x 15'

## CAREX 'KAGA NISHIKI'

Gold Fountains Grass. This slight, evergreen grass has narrow dark green leaves with a thin gold border and is adaptable to life in the sun or under dappled shade.

## TONE TUB

Narrower and taller than the other planters, the medium-sized tone tubs provide 2 cubic yards of soil volume for small to medium sized trees.





# Combination F

## CERCIDIPHYLLUM JAPONICUM

Katsura Tree. Always an elegant tree, *C. japonicum* provides another level of distinction to the pedestrian zone of Tontine Crescent. Adaptable to tough conditions, this pyramidal tree eventually widens its canopy with age. Heart shaped leaves change color throughout the season, emerging reddish purple, and providing unmatched fall color.

Expected Size: 20' x 20'

## CAREX 'KAGA NISHIKI'

Gold Fountains Grass. This slight, evergreen grass has narrow dark green leaves with a thin gold border and is adaptable to life in the sun or under dappled shade.

## STONE TUB

Narrower and taller than the other planters, the medium-sized stone tubs provide 2 cubic yards of soil volume for small to medium sized trees.





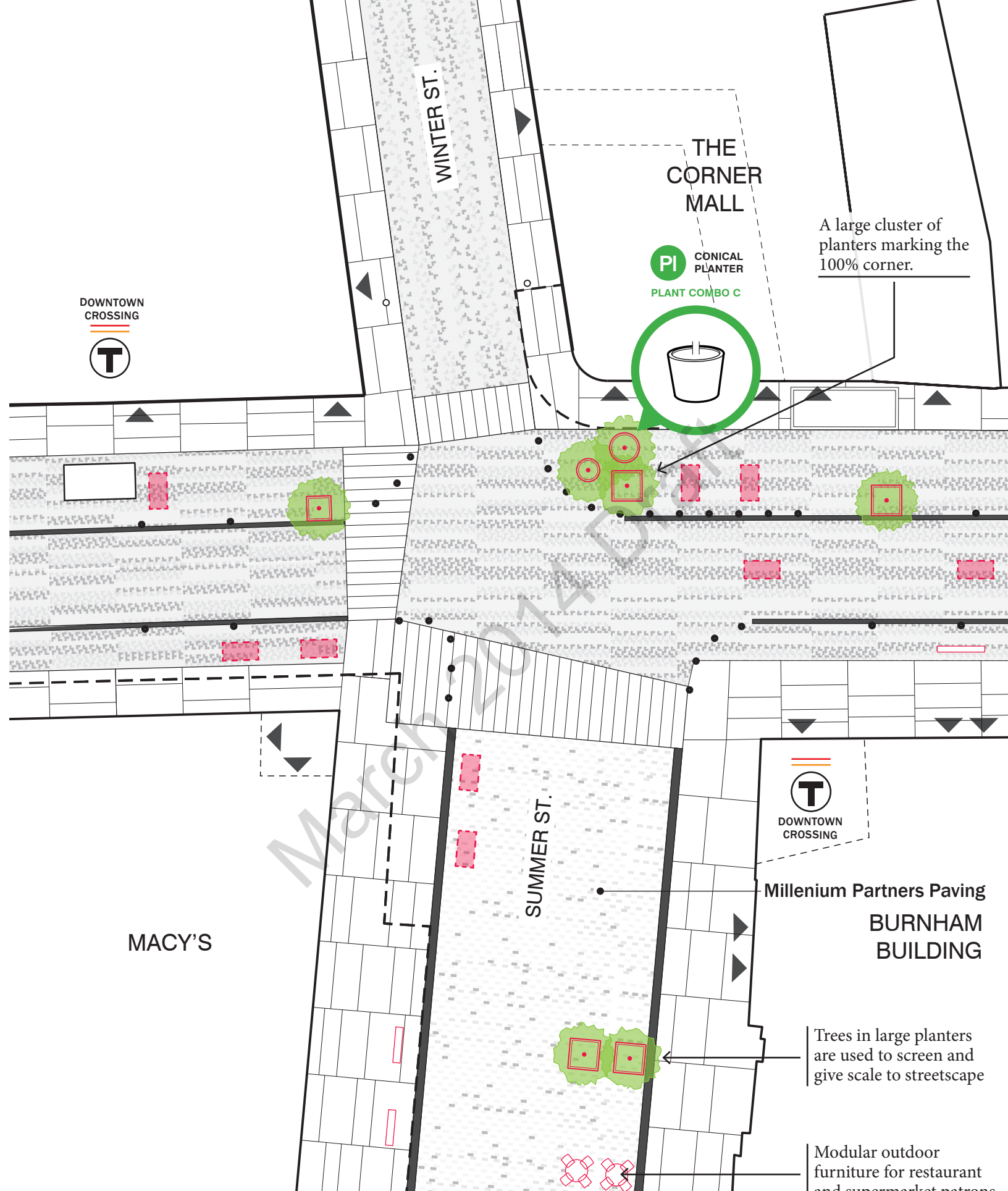
March 2014 Draft

## **Furniture & Planter Plans**

In these plans, placement recommendations are based on accessibility guidelines, existing conditions and HR+A's vendor study recommendations. They show the design intent of urban vibrancy, placemaking strategies, and accommodation of street amenities within the defined urban conditions.

- 106 Downtown Crossing**
- 108 Summer Street**
- 110 Shopper's Park**
- 112 Reader's Park**
- 116 Washington St. Extension**
- 118 Tontine Crescent**
- 120 Winthrop Square**
- 122 CVS Plaza**

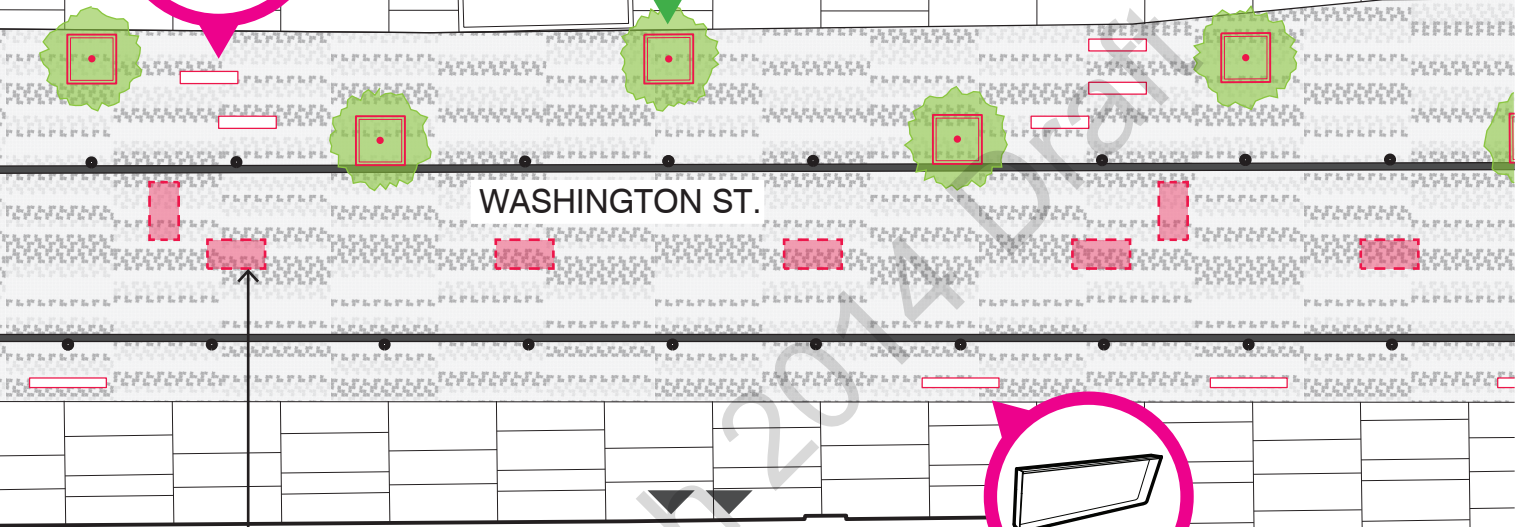




Offset, but regular spacing desired. Rhythm determined by building entrances.

**PI** LOVE TUB PLANTER  
PLANT COMBO A

**Fn** BENCH







Regularly spaced vendors parallel to the street, with “bookended” vendors every four.





**Fn** STANDING TABLE

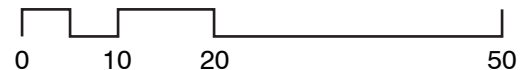
Fixed outdoor furniture dispersed throughout for restaurant patrons and other people who work in the area.

## INVENTORY

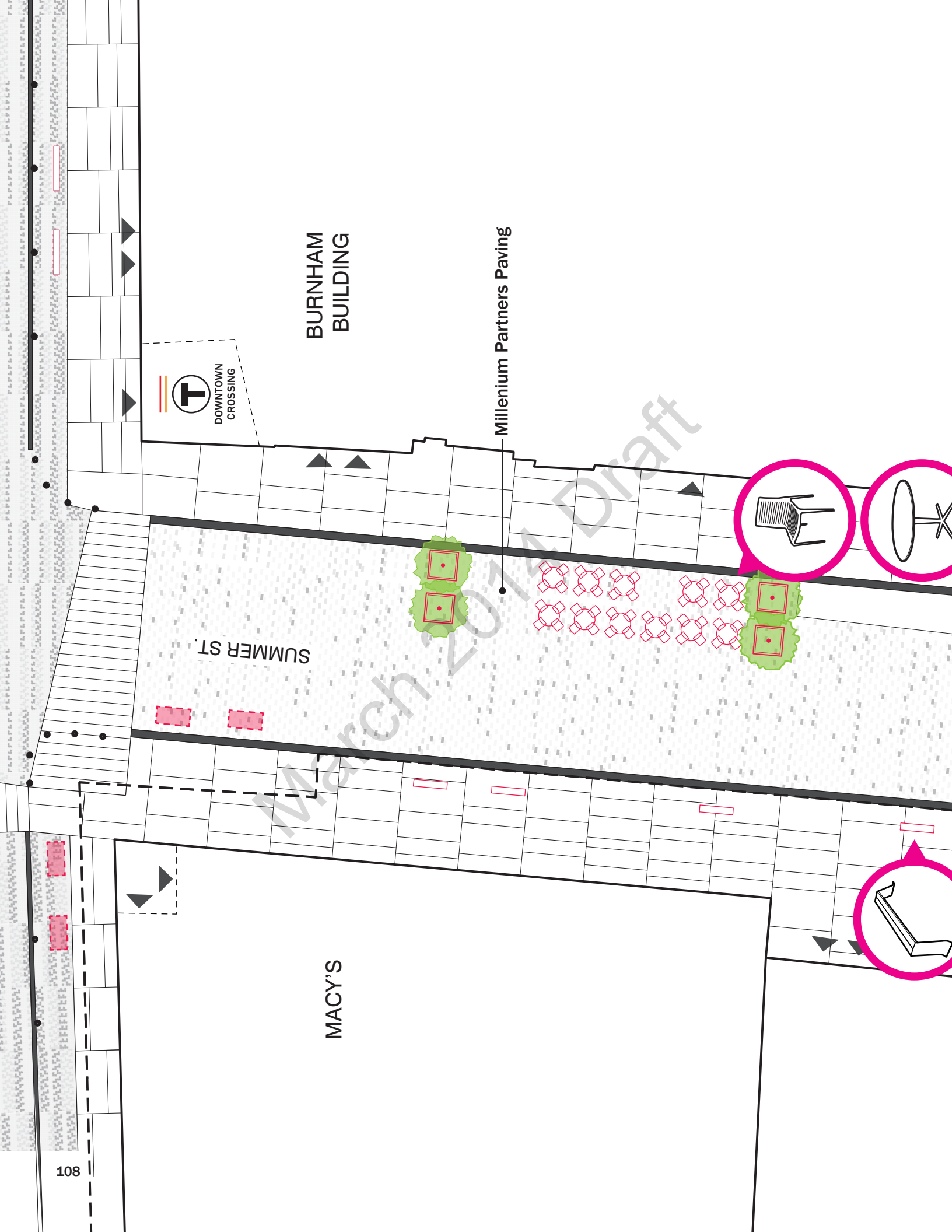
-  09 LOVE TUB PLANTERS
-  02 CONICAL PLANTERS
-  05 BENCHES
-  05 STANDING TABLES

## KEY

-  PROPOSED VENDORS
-  BUILDING ENTRANCES
-  MBTA ENTRANCE
-  BOLLARDS







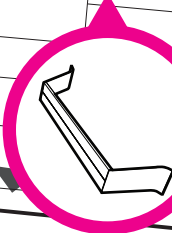
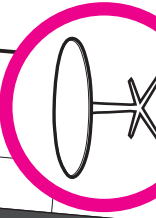
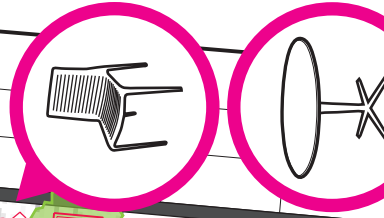
BURNHAM  
BUILDING

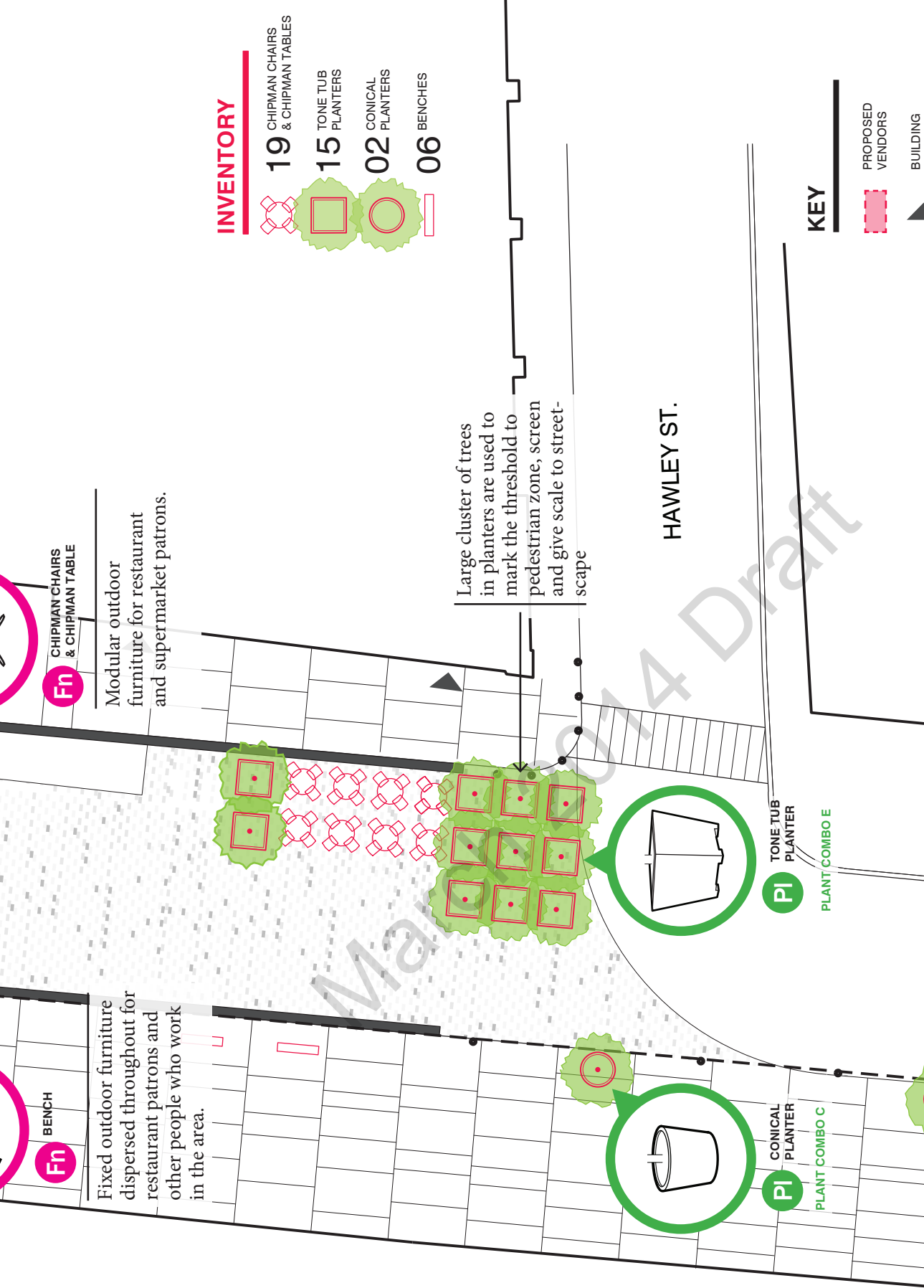
Millenium Partners Paving



SUMMER ST.

MACY'S



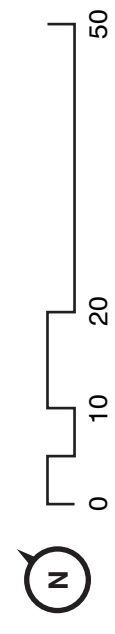


## INVENTORY

- 19 CHIPMAN CHAIRS & CHIPMAN TABLES
- 15 TONE TUB PLANTERS
- 02 CONICAL PLANTERS
- 06 BENCHES

## KEY

- PROPOSED VENDORS
- BUILDING ENTRANCES
- MBTA ENTRANCE
- BOLLARDS



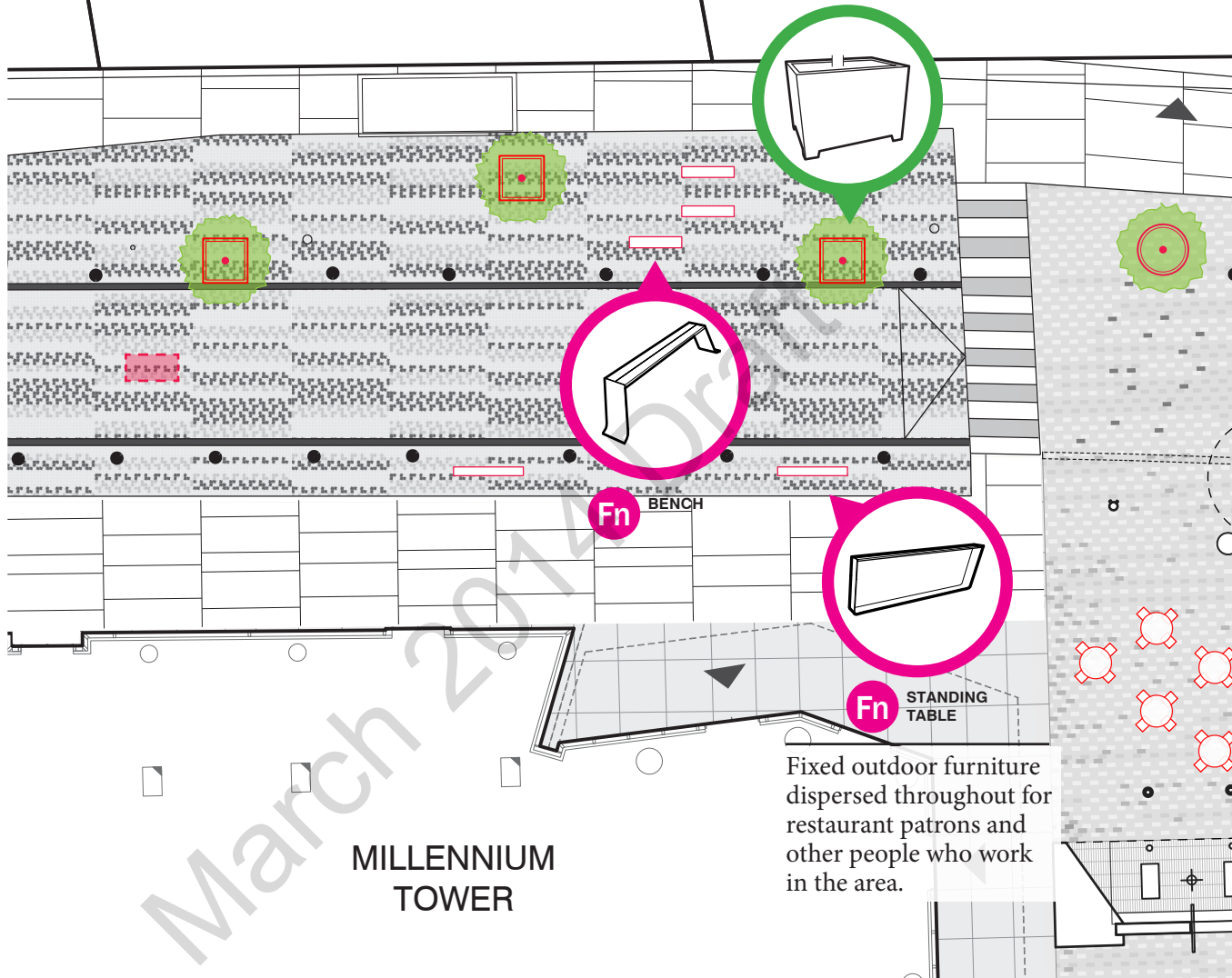
# Summer Street FURNITURE & PLANTER PLAN



Offset, but regular  
spacing desired.  
Rhythm determined by  
building entrances.

**PI** LOVE TUB  
PLANTER

PLANT COMBO A OR B

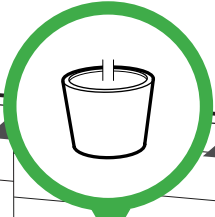


Fixed outdoor furniture  
dispersed throughout for  
restaurant patrons and  
other people who work  
in the area.

Conical planters to reinforce the street edge and compliment the proposed planting.

**PI** CONICAL PLANTER

PLANT COMBO C



WASHINGTON ST.

BROMFIELD ST.

FRANKLIN ST.

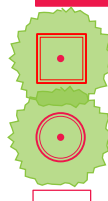
Millenium Partners Paving



**Fn** AIR FOLDING CHAIRS & CHIPMAN TABLE

Modular outdoor furniture for restaurant patrons and other people who work in the area.

## INVENTORY



04 LOVE TUB PLANTERS



04 CONICAL PLANTERS



03 BENCHES



02 STANDING TABLES



06 AIR FOLDING CHAIRS & CHIPMAN TABLES

## KEY



PROPOSED VENDORS



BUILDING ENTRANCES



MBTA ENTRANCE

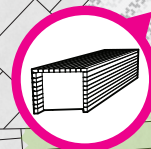


BOLLARDS



WALGREENS

Benches are arranged in patterns that accomodate small to large groups and also lend themselves to spacemaking.

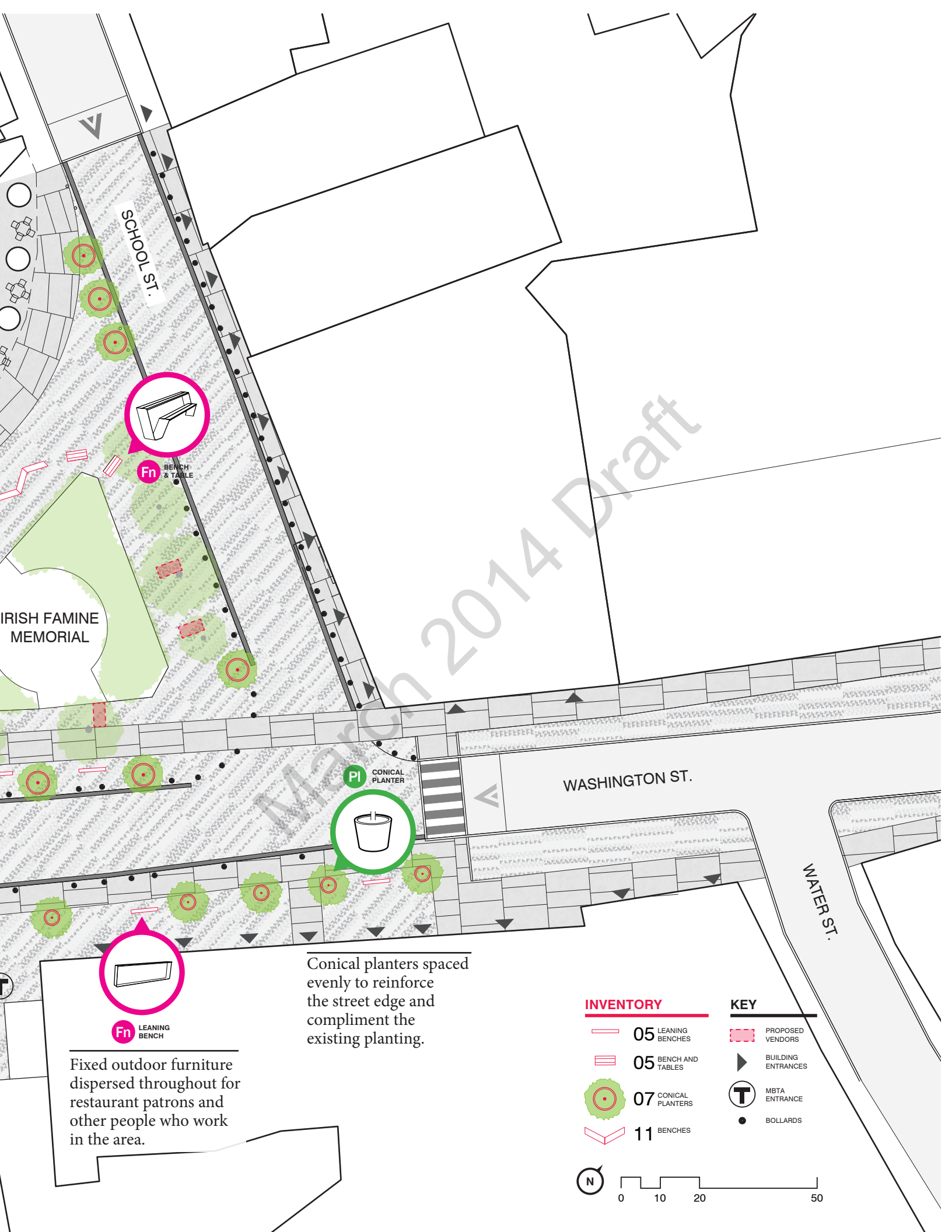


**Fn** BENCH

WASHINGTON ST.

MILK

OLD SOUTH  
MEETING HOUSE



SCHOOL ST.

WASHINGTON ST.

WATER ST.

IRISH FAMINE  
MEMORIAL

Fn

BENCH  
& TABLE

PI

CONICAL  
PLANTER

Fn

LEANING  
BENCH

Conical planters spaced  
evenly to reinforce  
the street edge and  
compliment the  
existing planting.

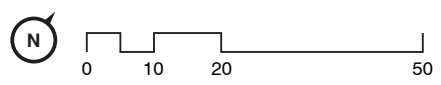
Fixed outdoor furniture  
dispersed throughout for  
restaurant patrons and  
other people who work  
in the area.

### INVENTORY

- 05 LEANING BENCHES
- 05 BENCH AND TABLES
- 07 CONICAL PLANTERS
- 11 BENCHES

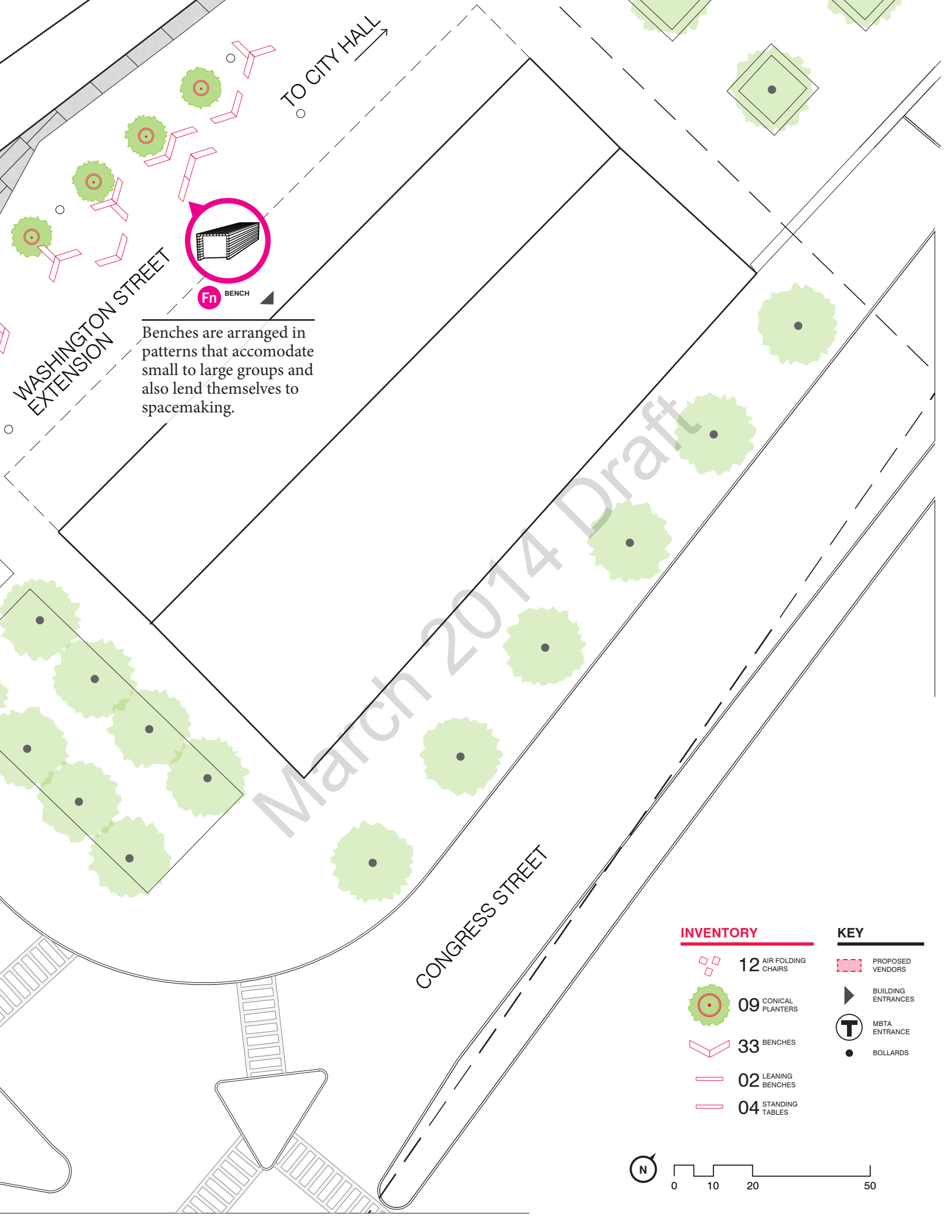
### KEY

- PROPOSED VENDORS
- BUILDING ENTRANCES
- MBTA ENTRANCE
- BOLLARDS









WASHINGTON STREET  
EXTENSION

TO CITY HALL

CONGRESS STREET

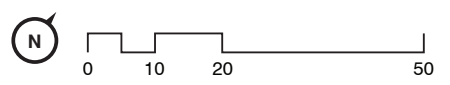
Benches are arranged in patterns that accommodate small to large groups and also lend themselves to spacemaking.

INVENTORY

- 12 AIR FOLDING CHAIRS
- 09 CONICAL PLANTERS
- 33 BENCHES
- 02 LEANING BENCHES
- 04 STANDING TABLES

KEY

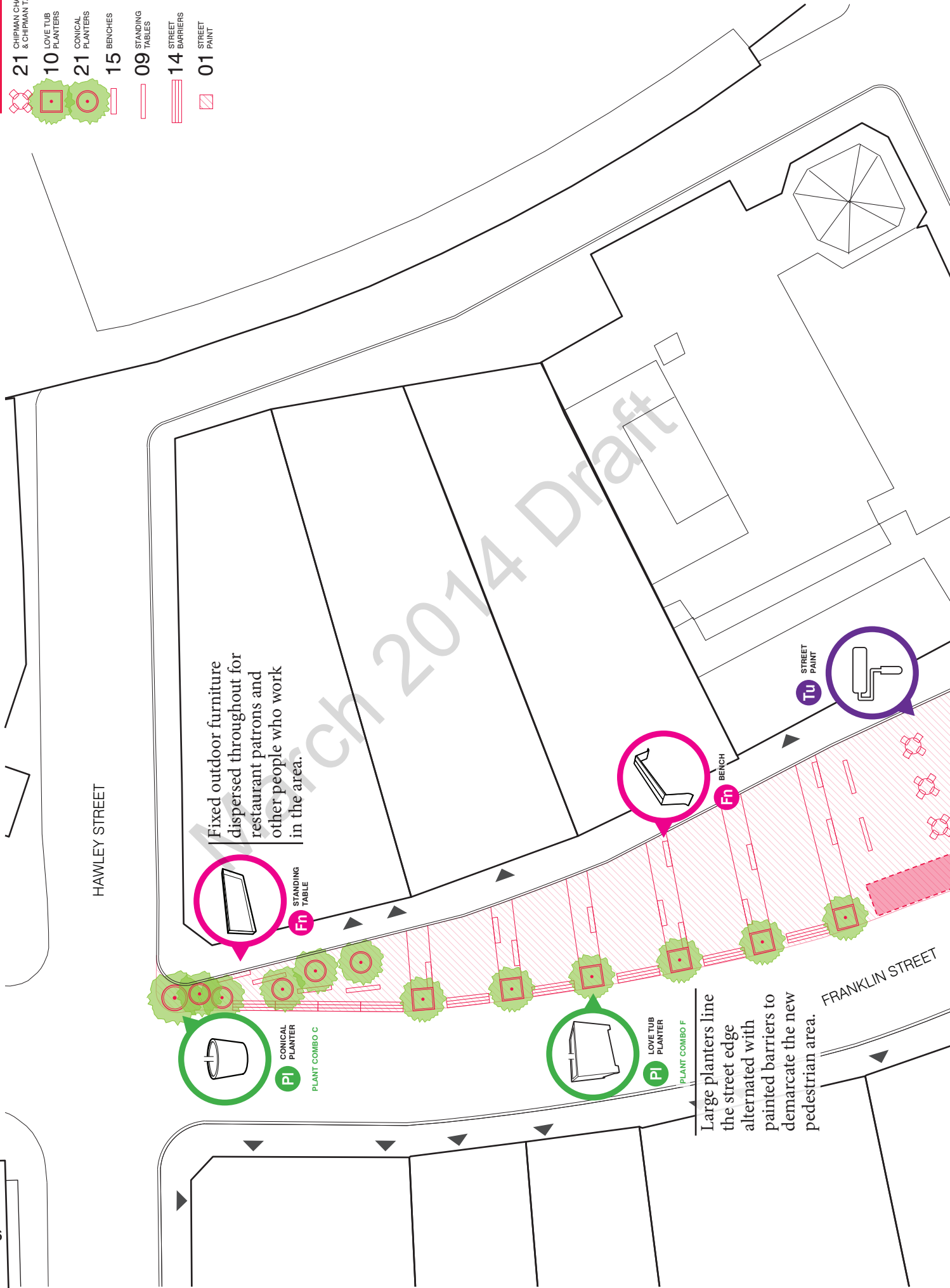
- PROPOSED VENDORS
- BUILDING ENTRANCES
- MBTA ENTRANCE
- BOLLARDS

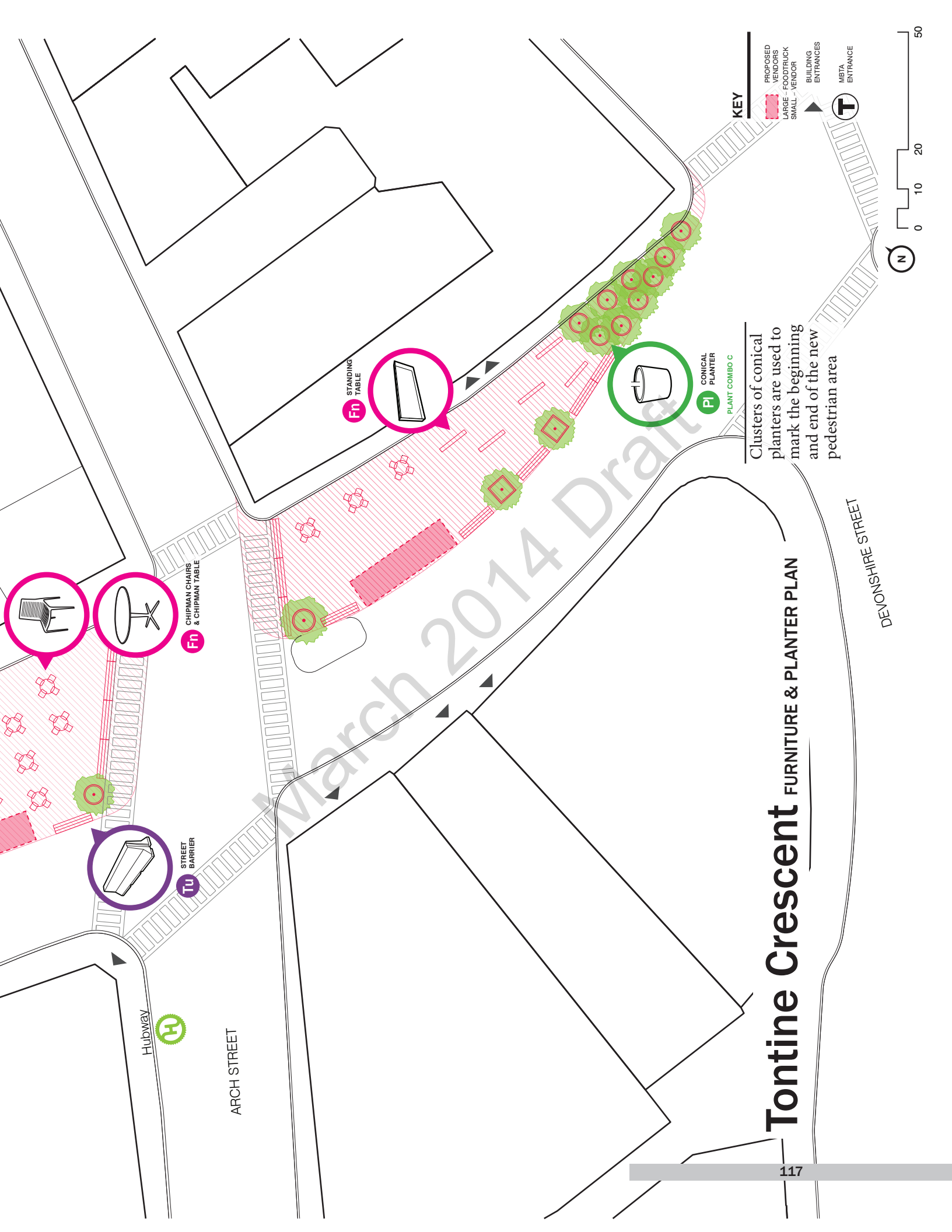




# INVENTORY

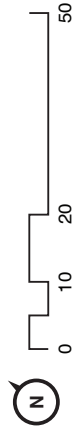
- 21 CHIPMAN CHAIRS & CHIPMAN TABLES
- 10 LOVE TUB PLANTERS
- 21 CONICAL PLANTERS
- 15 BENCHES
- 09 STANDING TABLES
- 14 STREET BARRIERS
- 01 STREET PAINT





# KEY

- PROPOSED VENDORS
- LARGE - FOODTRUCK
- SMALL - VENDOR
- BUILDING ENTRANCES
- META ENTRANCE



Clusters of conical planters are used to mark the beginning and end of the new pedestrian area

CONICAL PLANTER  
PLANT COMBO C

Fn  
STANDING TABLE

Fn  
CHIPMAN CHAIRS & CHIPMAN TABLE

Tu  
STREET BARRIER

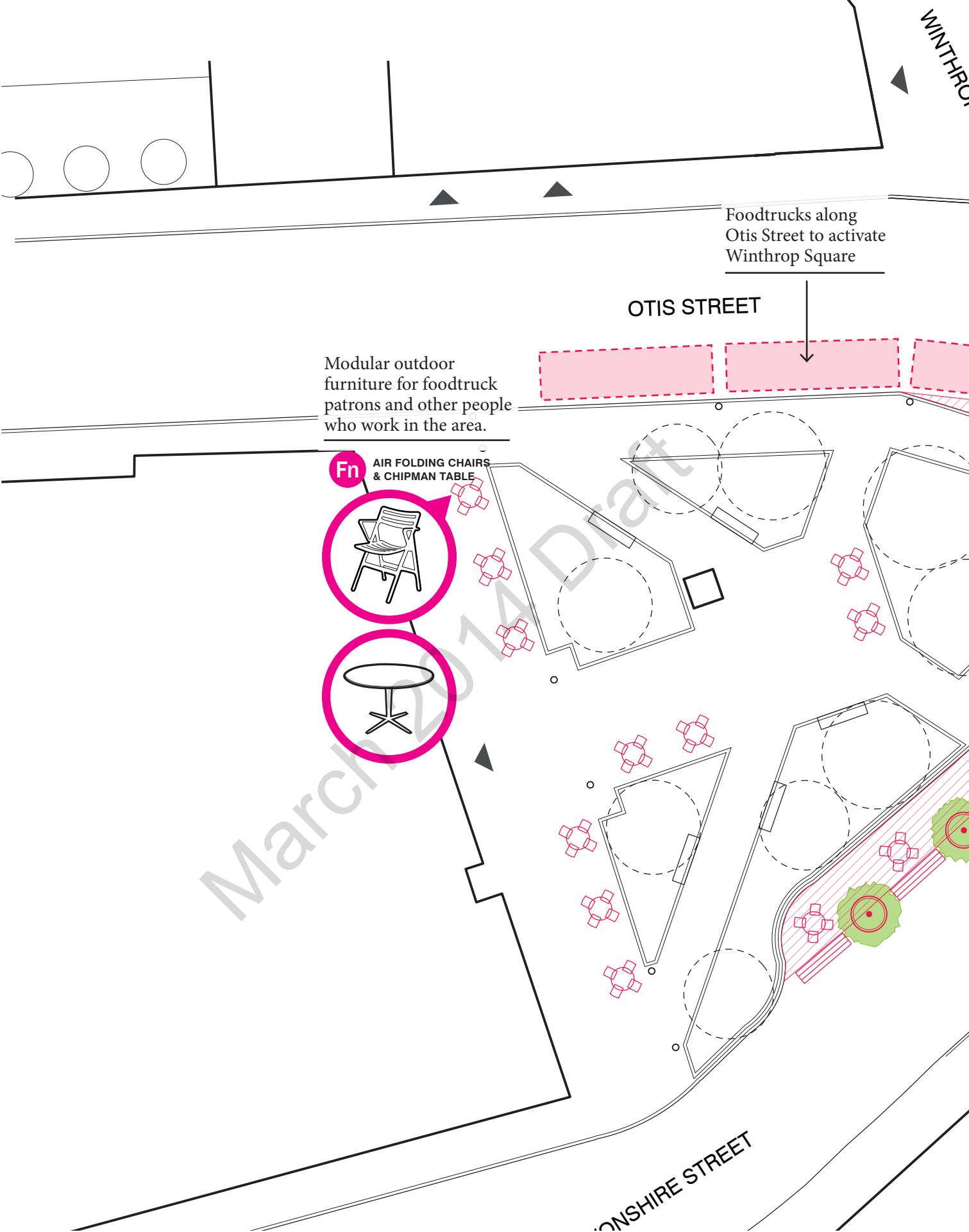
## Tontine Crescent FURNITURE & PLANTER PLAN

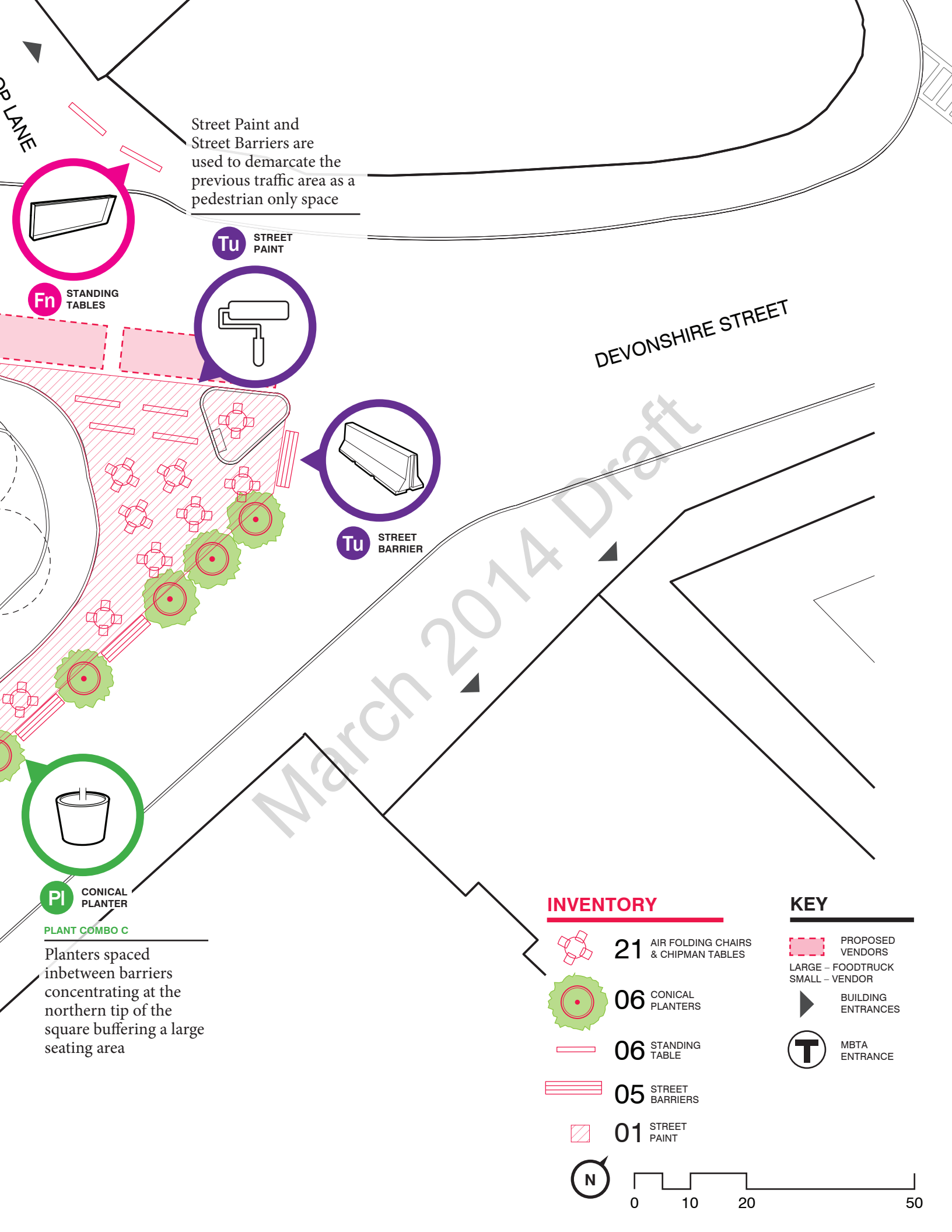
DEVONSHIRE STREET

ARCH STREET

Hubway







OP LANE

Street Paint and Street Barriers are used to demarcate the previous traffic area as a pedestrian only space

Tu STREET PAINT

Fn STANDING TABLES

Tu STREET BARRIER

PI CONICAL PLANTER

PLANT COMBO C

Planters spaced inbetween barriers concentrating at the northern tip of the square buffering a large seating area

DEVONSHIRE STREET

## INVENTORY

- 21 AIR FOLDING CHAIRS & CHIPMAN TABLES
- 06 CONICAL PLANTERS
- 06 STANDING TABLE
- 05 STREET BARRIERS
- 01 STREET PAINT

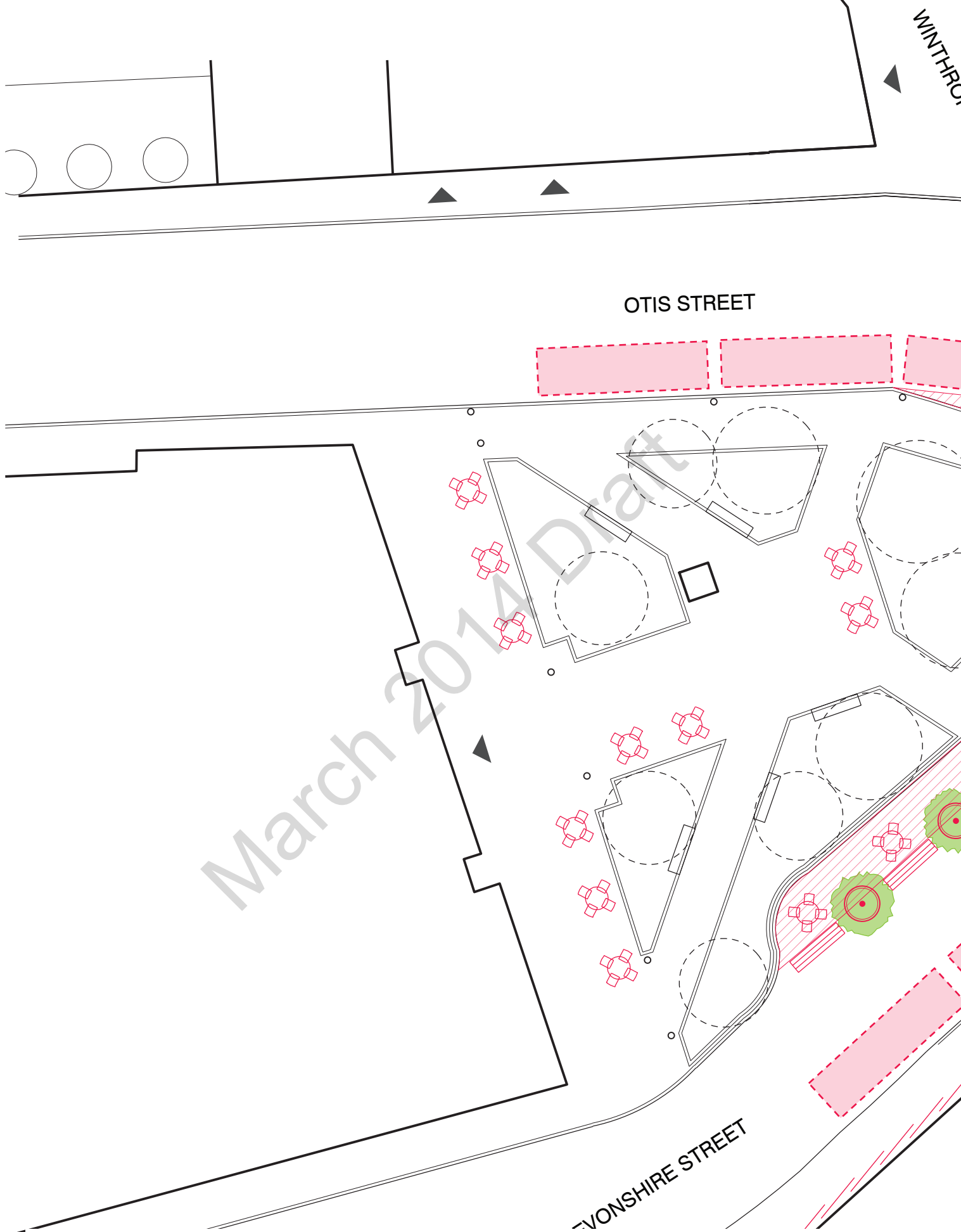
## KEY

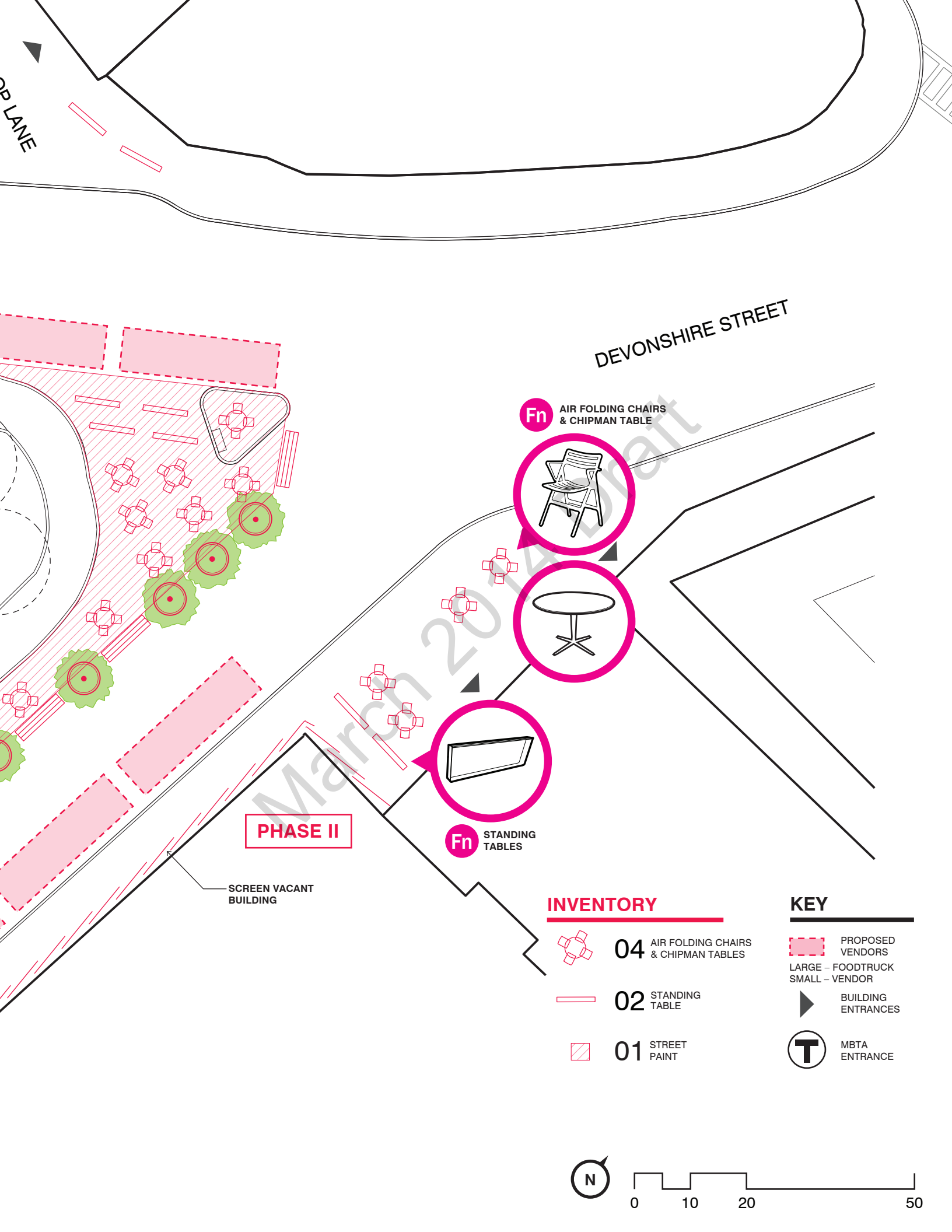
- PROPOSED VENDORS  
LARGE - FOODTRUCK  
SMALL - VENDOR
- BUILDING ENTRANCES
- MBTA ENTRANCE



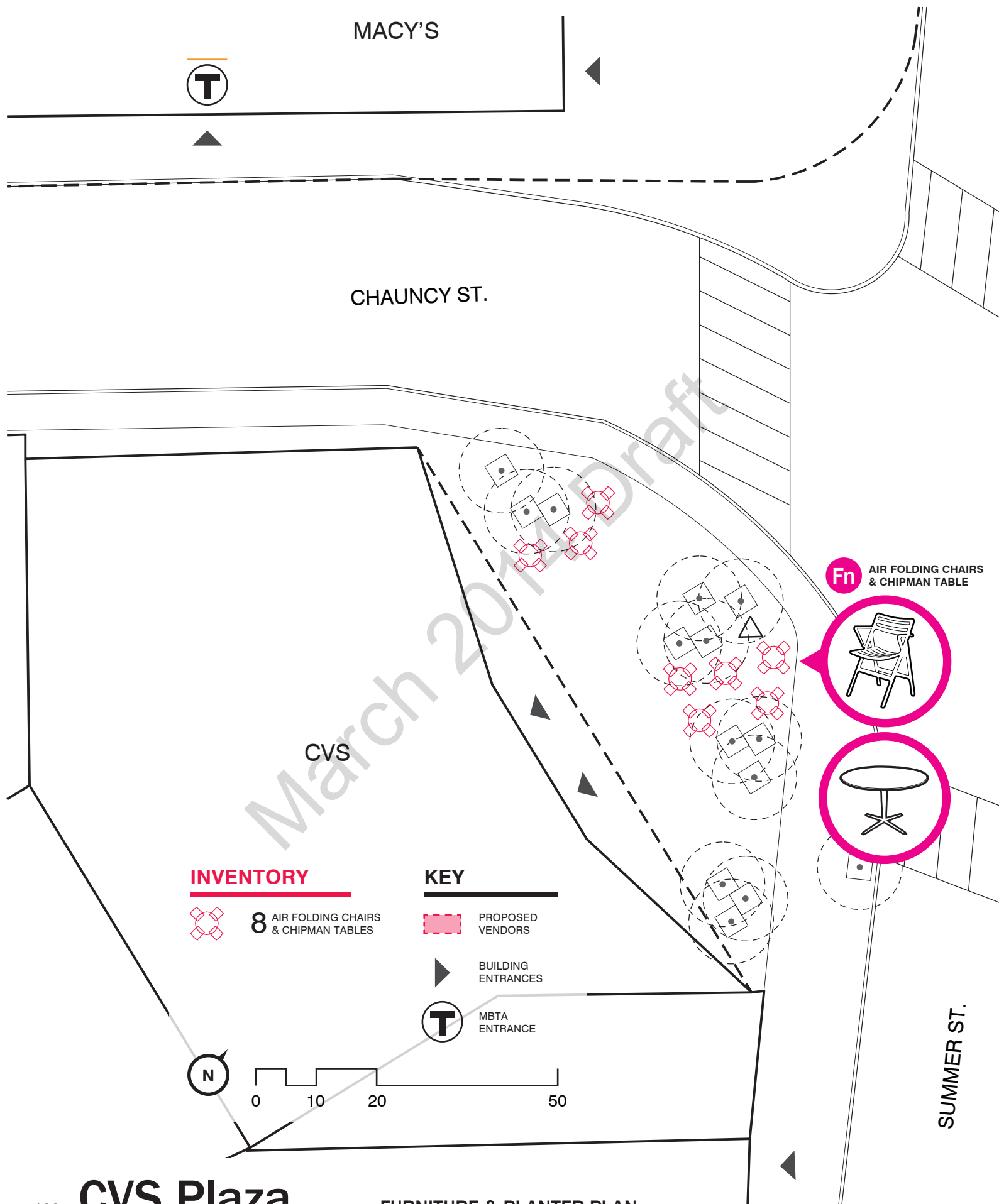
0 10 20 50











March 2014 Draft





### GRANITE CURBS AND SLABS

The patina of Boston's historic streets is still present in the form of enormous granite sidewalk slabs which should be protected and re-set in place or retained in place during repaving operations. Consistent with current City of Boston protocol, all proposed re-paving should take into account the existing historic granite slabs and granite curb and retain them where practicable.



### SIGNAL BOXES

Signal boxes are part of every urban streetscape. In the event of a large re-paving project that includes utility work, effort should be made to re-locate existing signal boxes if a less obtrusive location can be accommodated.



### TRANSFORMER VAULTS

In the event that re-paving is occurring on a sidewalk with existing transformer vaults, efforts should be made to work with the utility company to have vault covers be replaced and upgraded accommodate the adjacent paving material, whether it be poured in place concrete or concrete unit pavers.



### NEWSPAPER BOXES

Proliferating in quantity over the past few decades, these newspaper boxes should be limited in number as the city is able. In areas where these boxes are allowed, the street design should identify a linear zone for their placement. Boxes must be clear of accessible routes.



### MAIL & RELAY BOXES

The United State Postal Services uses both blue letterboxes and green relay boxes throughout city streets. Attachment to concrete slabs that sit above the finish surface of the sidewalk are not allowed. Boxes must be mounted to a concrete pad that is flush with the top of the concrete pavers, or must be surface mounted directly to concrete paving.



### DOWNTOWN CROSSING MEDALLION

The existing granite medallion located on Summer Street near Washington Street must remain and be protected during repavement operations. The medallion should be accommodated within proposed paving patterns on Summer Street.

# Existing Elements

Respected, maintained  
and replaced over time



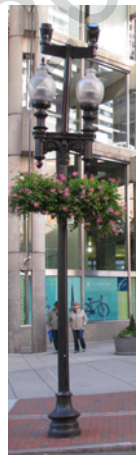
## HISTORIC BOLLARDS

Only bollards that are historically significant (most notably by State Street) must remain and be protected during repavement operations and/or furniture and planter deployment.



## AREAWAYS

Common throughout the district, these former access hatches to building basements must be structurally enhanced or filled per city requirements. Many areaways in the district have glass block or glass plug covers that could be illuminated at night as a distinctive element of the district.



## STREET LAMPS

Roadway lighting must meet city standard in terms of illumination and fixture type. Lamps used outside of roadway lighting have more flexibility, but should conform to these design guidelines where deployed in public spaces.



## METAL BRICKS

The delightful discovery of the inset bronze bricks in Winthrop Lane and other similar bronze or brass inlay in current sidewalks within the DBBID should be protected and retained in place and/or re-set in the event of repaving. All proposed paving activity should accommodate existing metal inlay pieces.



March 2014 Draft

## **Contents**

### **Planter Branding**

128

### **Paving Patterns**

130

### **Scoring Patterns**

134

### **Paving Plans**

136 Downtown Crossing

138 Summer Street

140 Winter Street

142 Shopper's Park

144 Reader's Park

146 Winthrop Square

### **Gates To Pedestrian Zones**

147

### **Materials Matrix**

148

### **Permeable Paver Details**

156

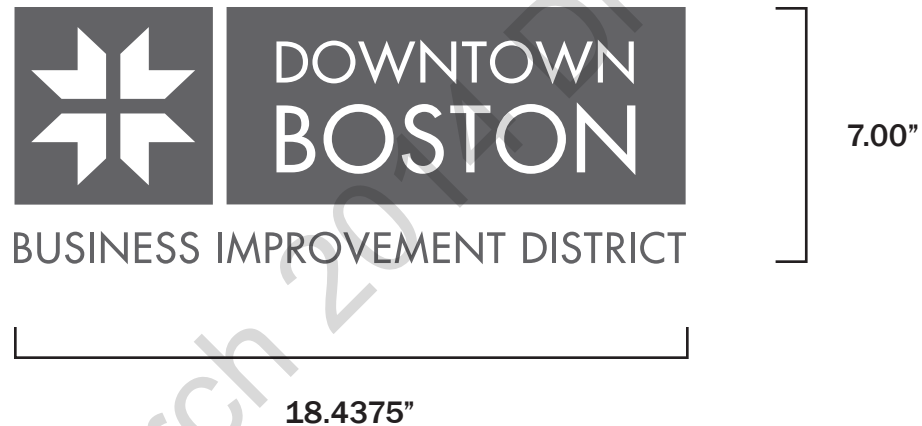
### **Wayfinding**

157



# Planter Branding

## BID LOGO



**Logo shall be laser-cut into or applied to at least 25% - but no more than 50% - of ALL planters throughout the DBBID.**

*Logo can be laser-cut into planter, \$200 surcharge for 1 side and \$350 surcharge for 2 sides. Logo can also be white adhesive vinyl for more temporary application. Logo should be placed 24" from top of the planter and 12" from either side.*

### PLANTER COLOR OPTIONS



**PMS 144**



**25% Black**

At least 25% - but no more than 50% - of ALL planters shall be orange and distributed evenly throughout the locations that are specified in these guidelines.

The remaining planters shall be silver.

The highest concentration of orange planters shall be along all of Washington Street, in Tontine Crescent, and in Reader's Park.

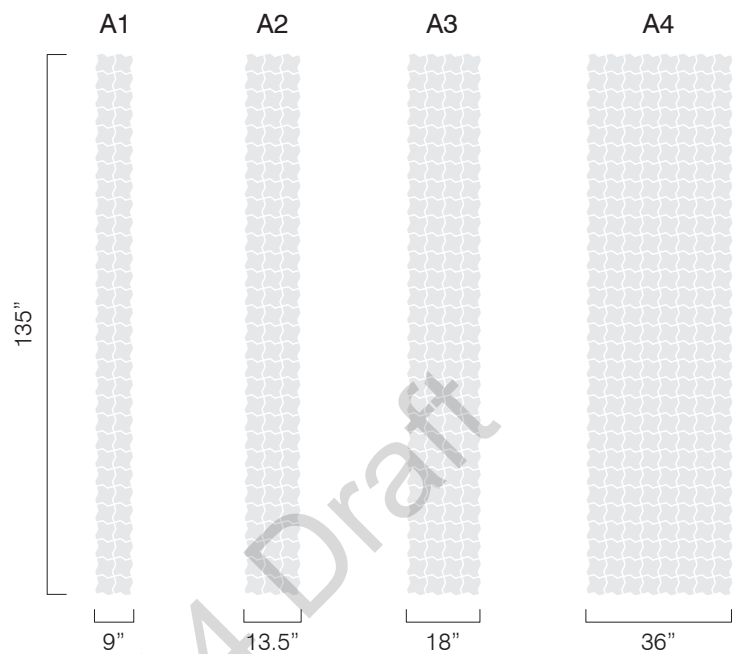


# Paving Pattern

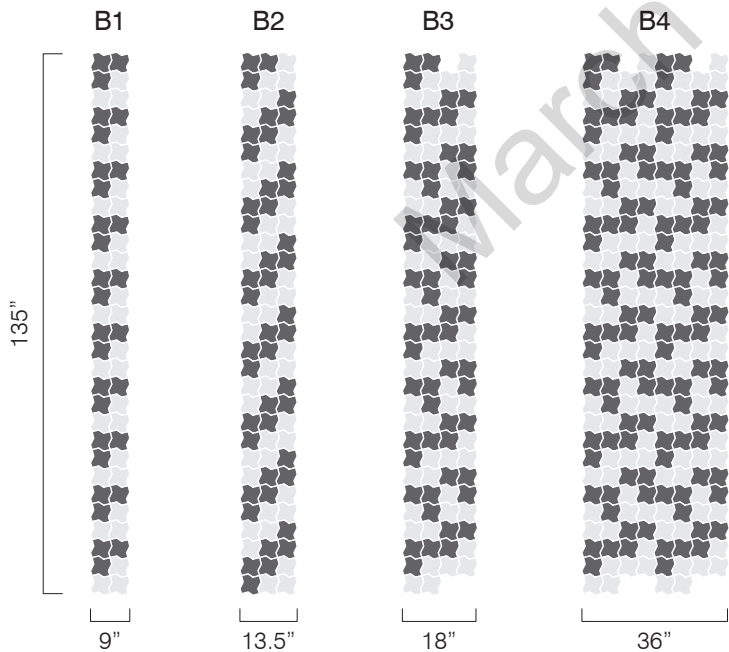
ON WASHINGTON STREET



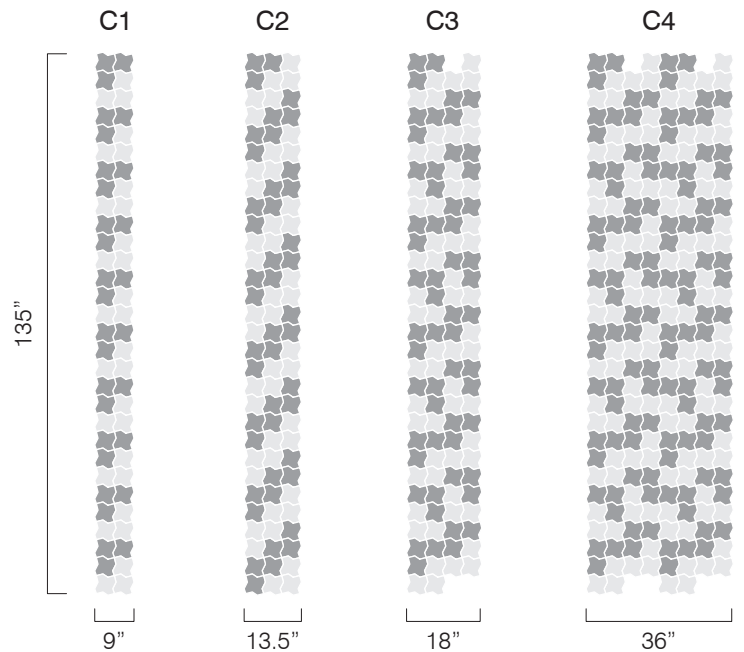
Concrete unit pavers  
in three distinct shades



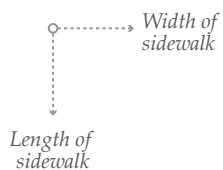
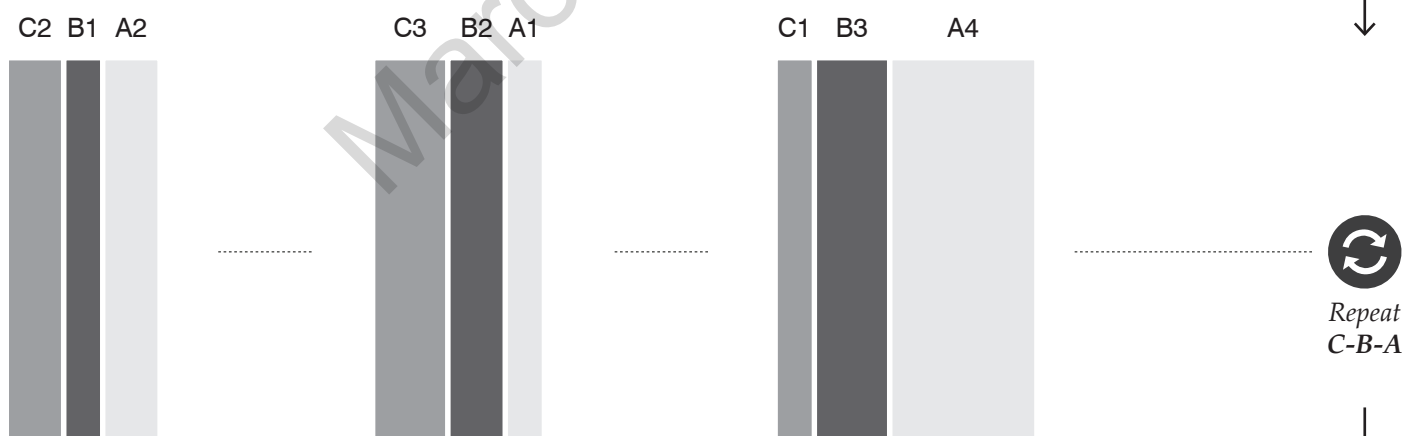
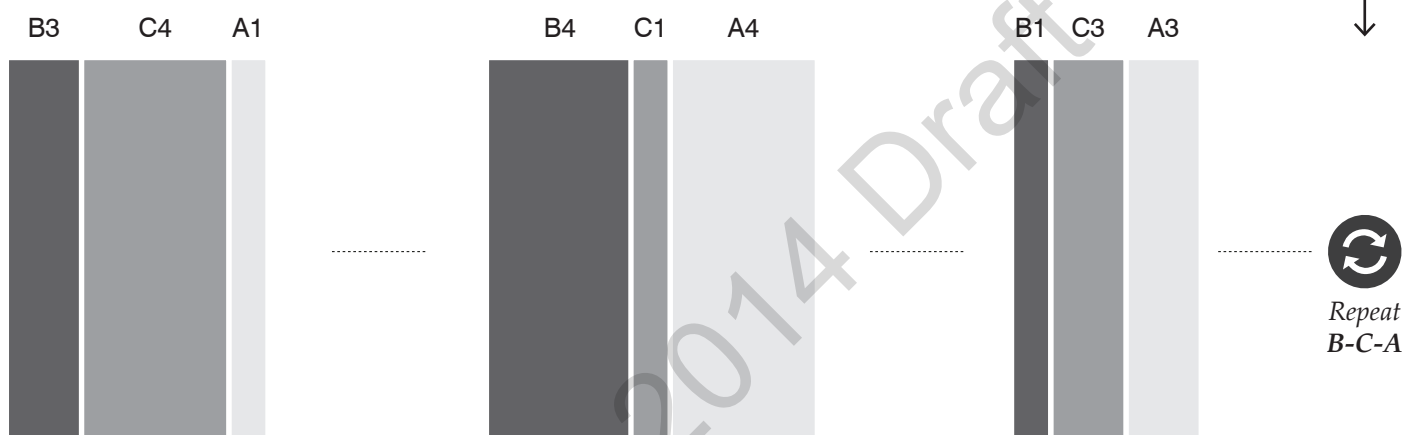
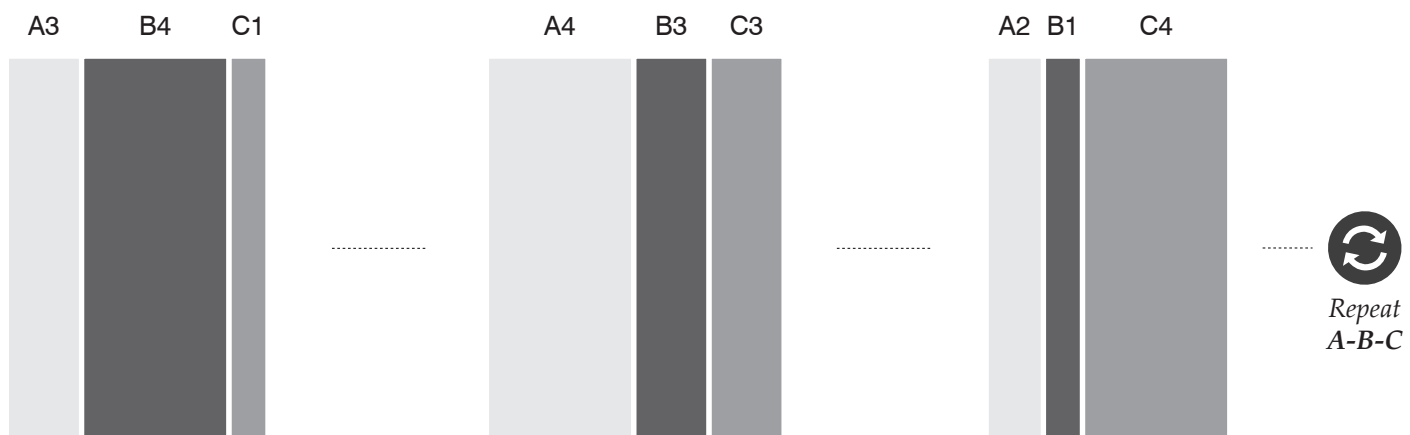
**A** 100% light gray pavers  
within each stripe



**B** 50% dark gray pavers  
within each stripe



**C** 50% medium gray  
pavers within each stripe



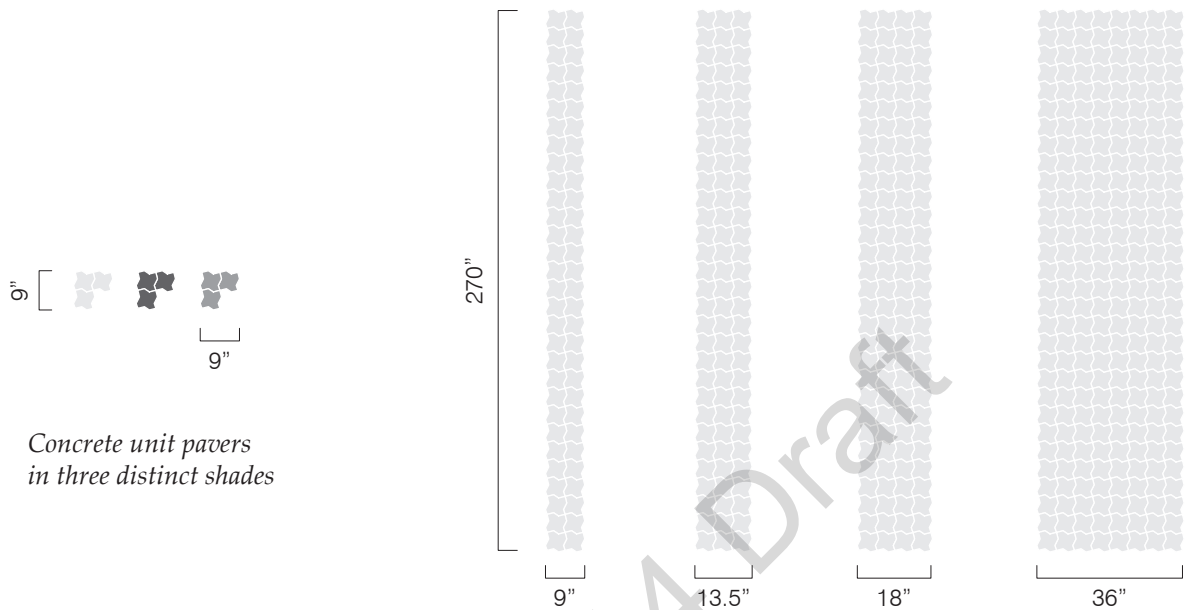
Pattern **A-B-C** is repeated as needed across width of paving area. Pattern **B-C-A** then follows and repeats in same fashion, followed by Pattern **C-B-A**. This patterning method continues for the length of paving area.



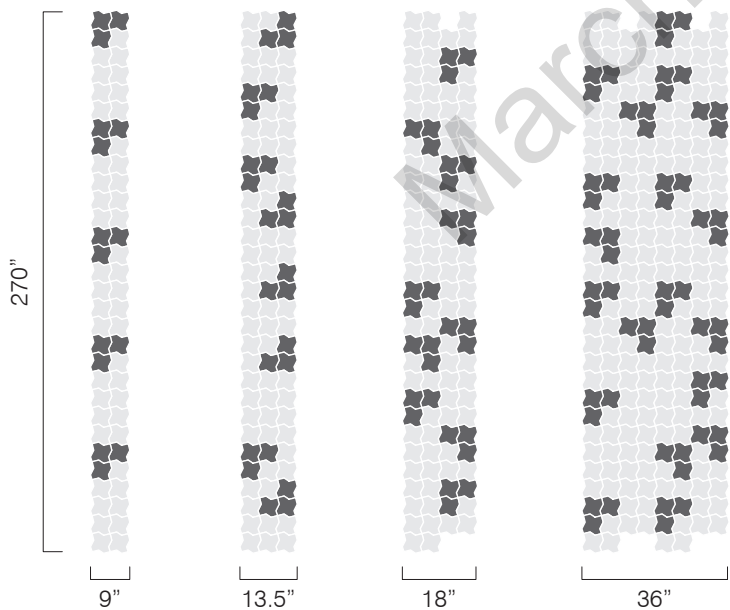


# Paving Pattern

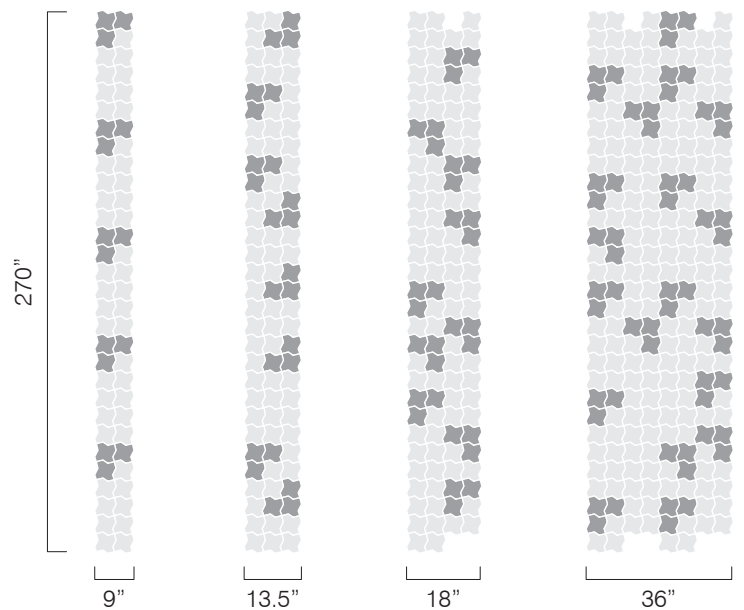
ON SUMMER AND WINTER STREETS



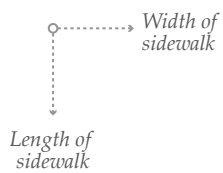
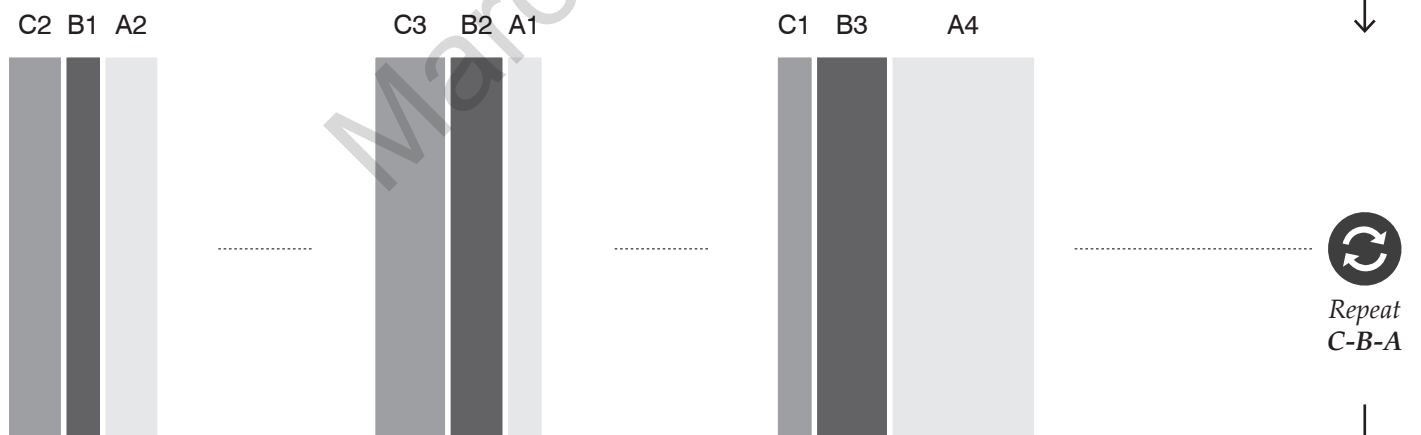
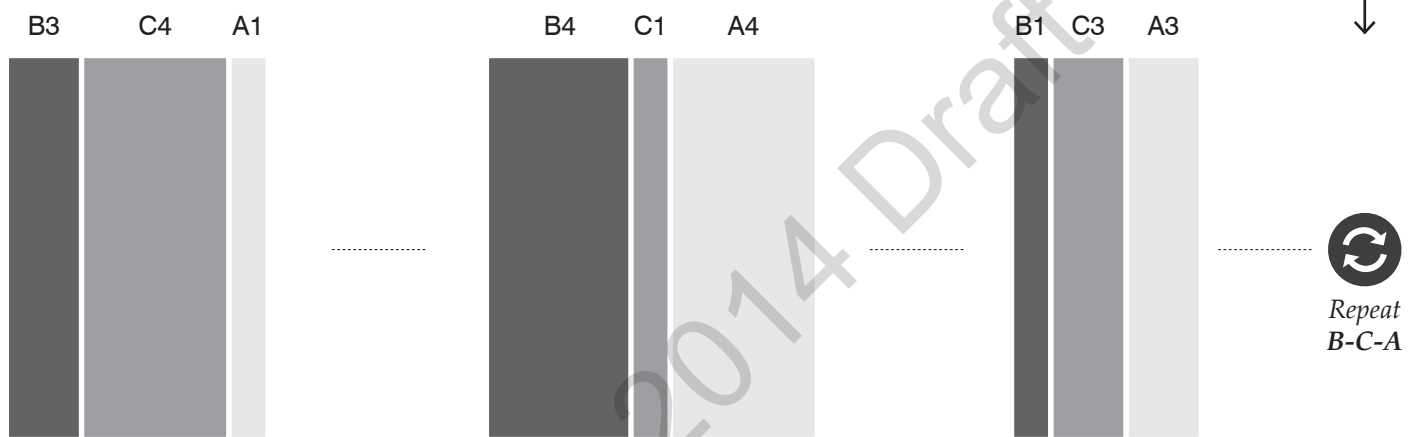
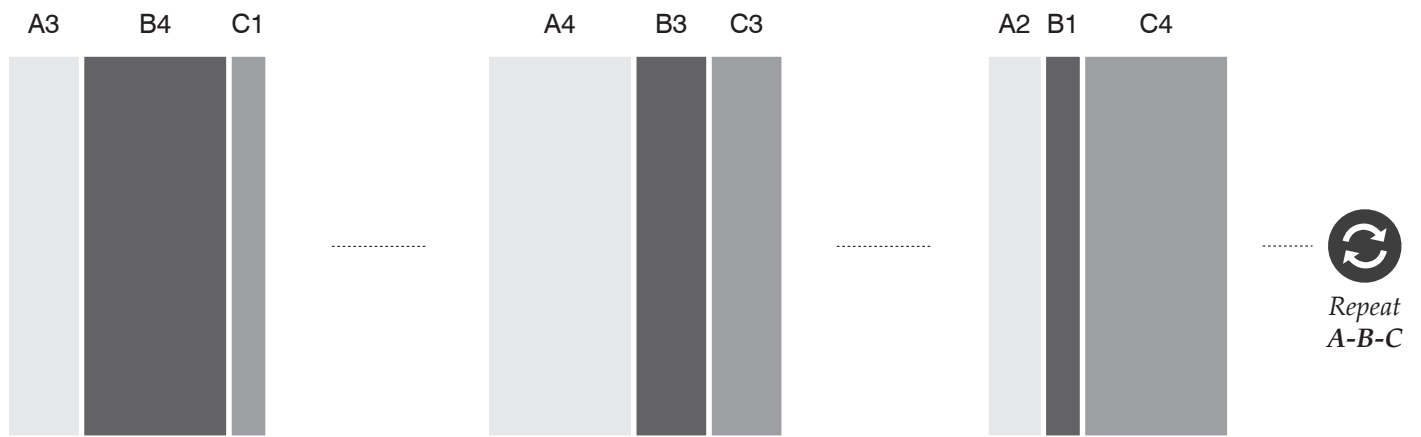
**A** 100% light gray pavers  
within each stripe



**B** 25% dark gray pavers  
within each stripe



**C** 25% medium gray  
pavers within each stripe

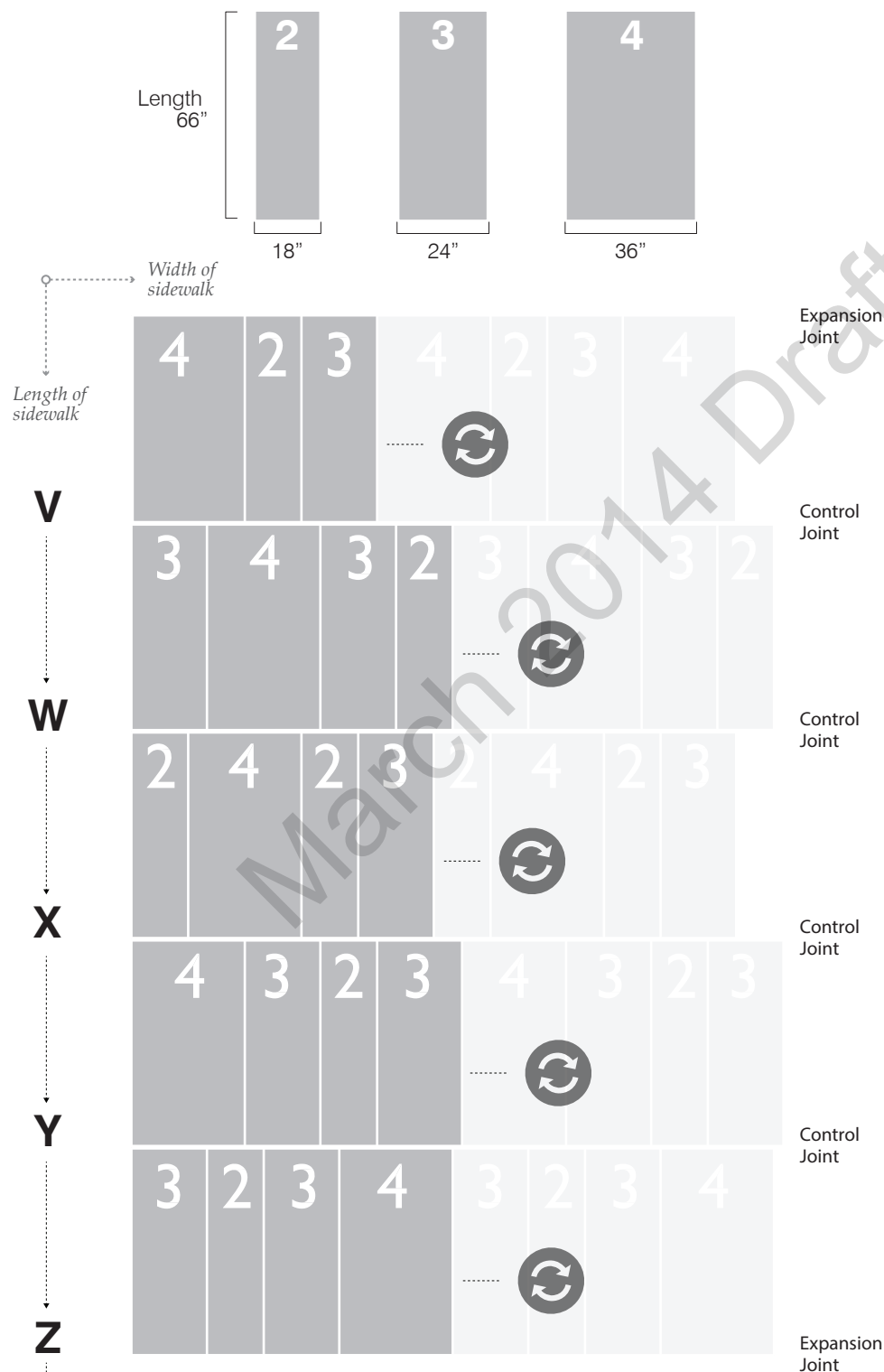


Pattern A-B-C is repeated as needed across width of paving area. Pattern B-C-A then follows and repeats in same fashion, followed by Pattern C-B-A. This patterning method continues for the length of paving area.





# Scoring Pattern



## Widths

A set of standard score widths 2-3-4 are used to create a dynamic repeated pattern for all new poured-in-place concrete.

## Bands

Each band V, W, X, Y, and Z is comprised of a set combination of scoring widths. Combinations are repeated until the desired width is reached. Bands are also repeated until the desired length is reached

## Joints

Joints shall be tooled, and then broom finished to eliminate the tool marks left on the surface. See page 72 for examples.

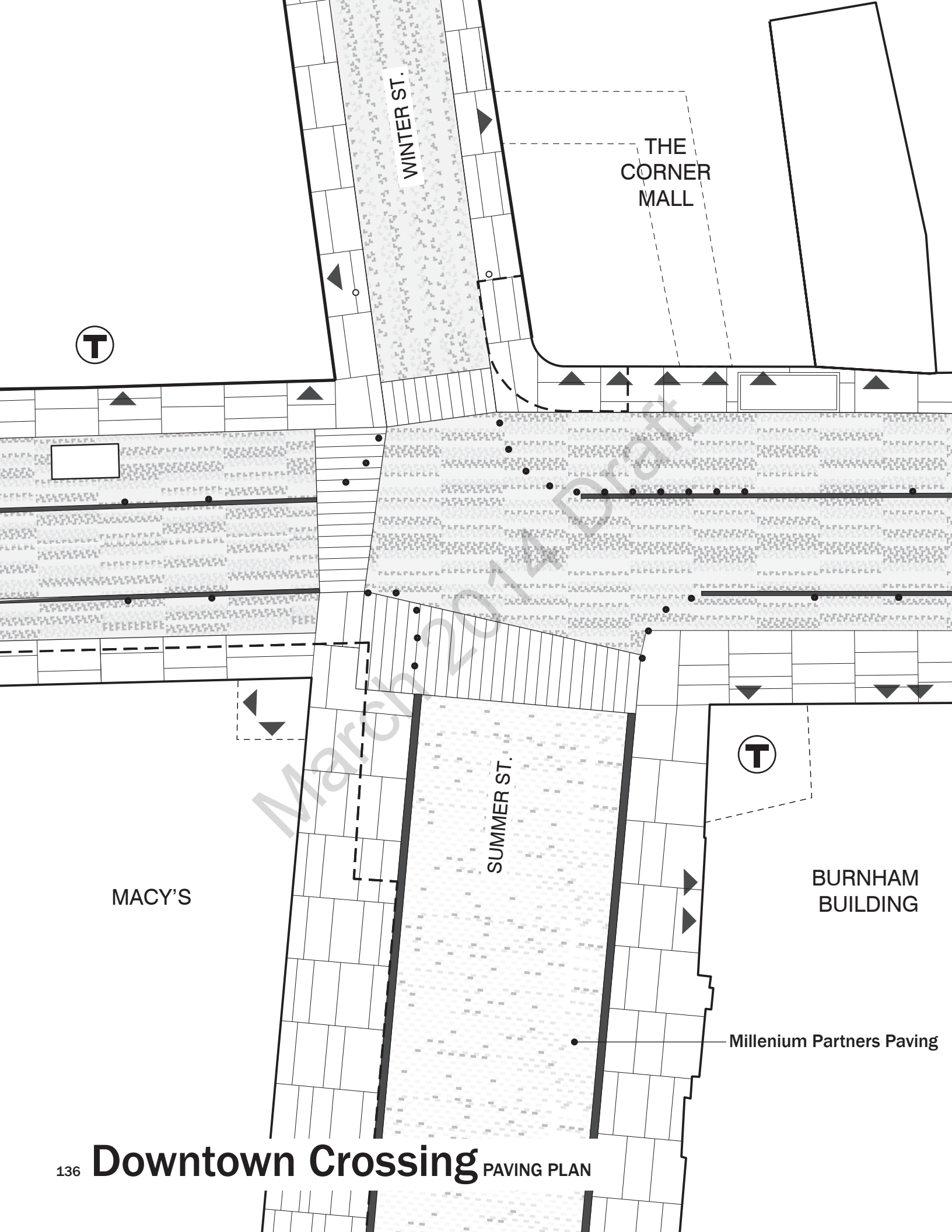


March 2014 Draft

## **Paving Plans**

- 136 Downtown Crossing
- 138 Summer Street
- 140 Winter Street
- 142 Shopper's Park
- 144 Reader's Park
- 146 Winthrop Square





WINTER ST.

THE  
CORNER  
MALL

T

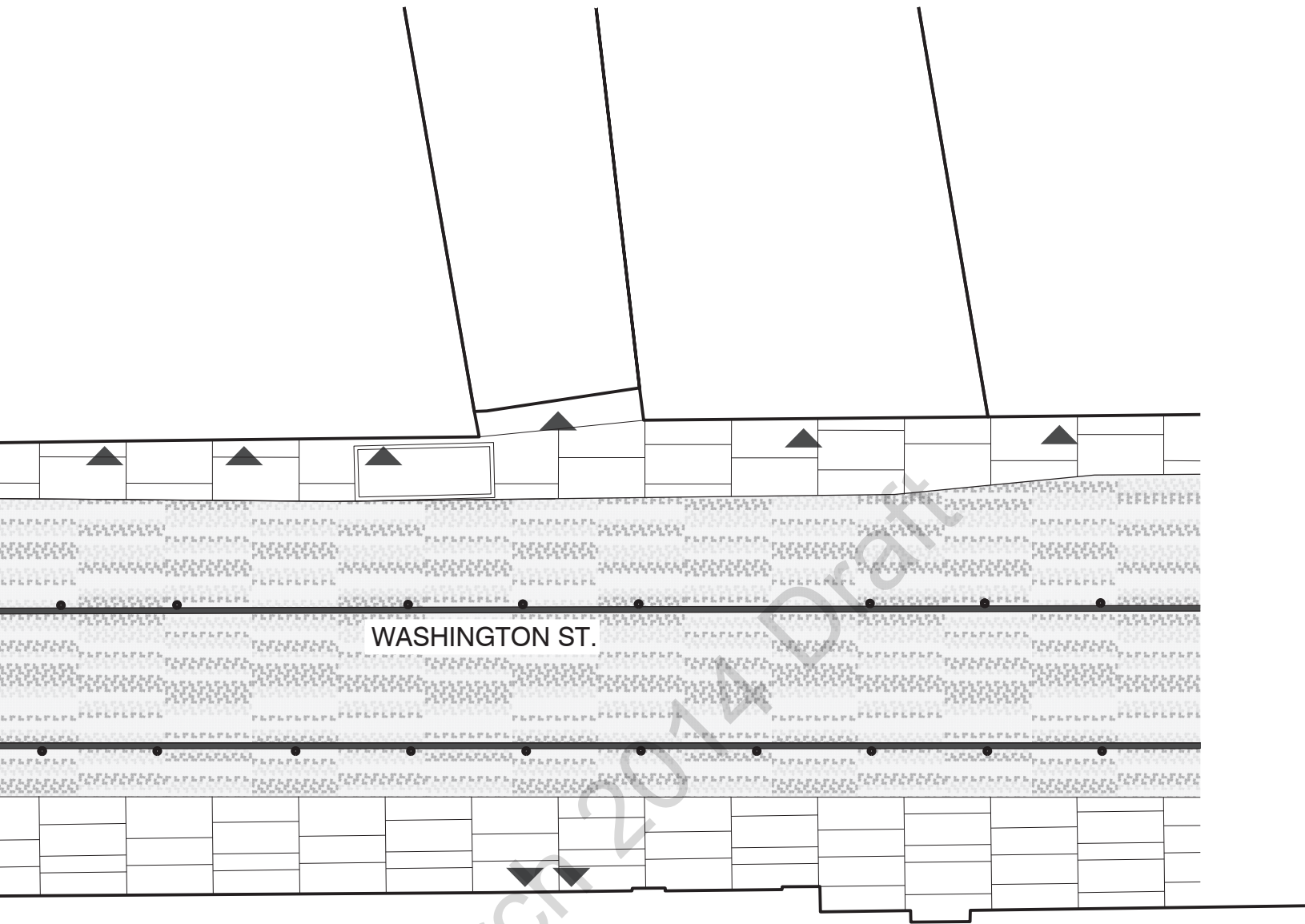
SUMMER ST.

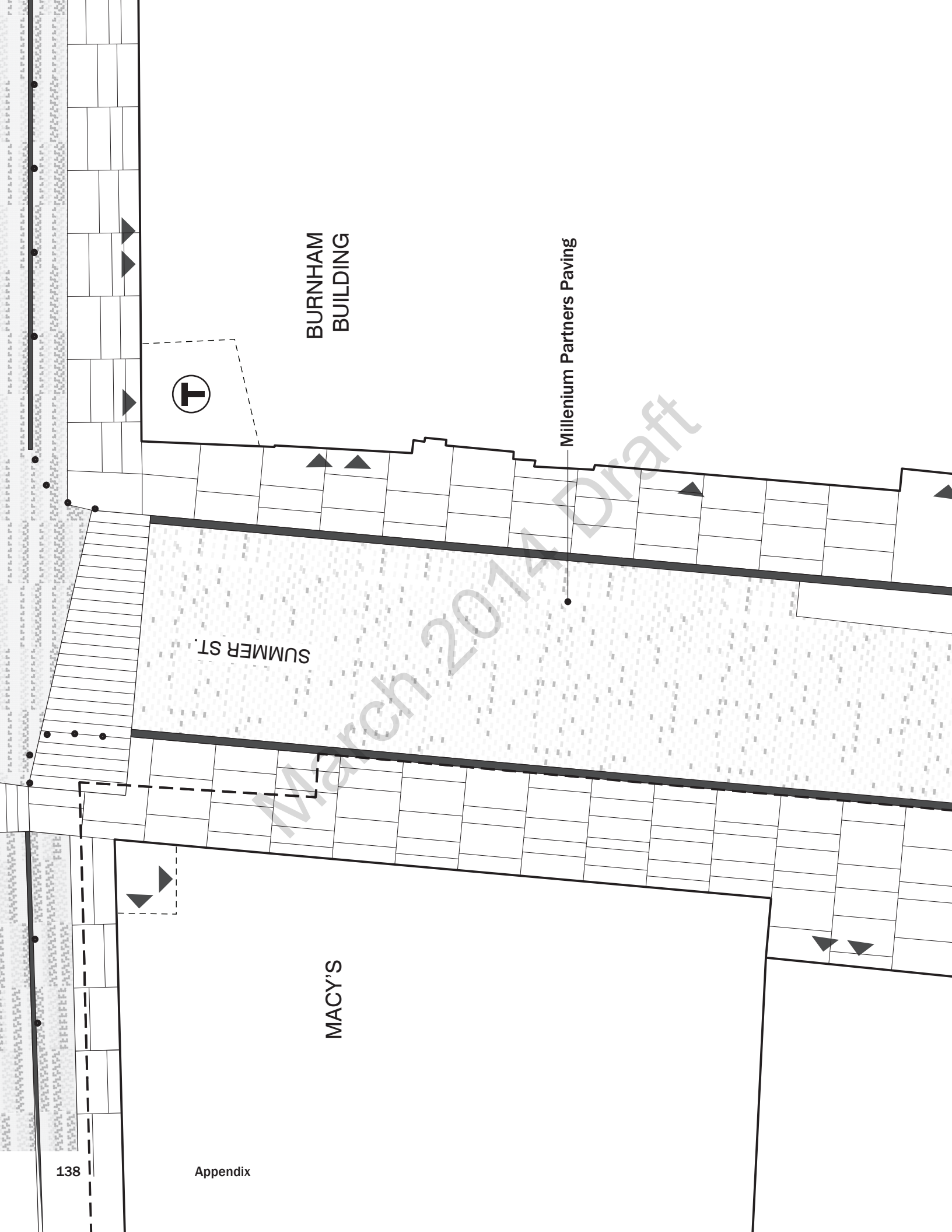
T

MACY'S

BURNHAM  
BUILDING

Millenium Partners Paving





BURNHAM  
BUILDING



Millenium Partners Paving

SUMMER ST.

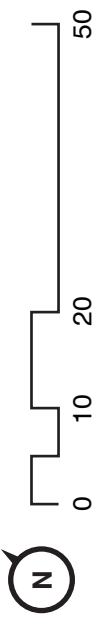
MACY'S

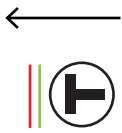




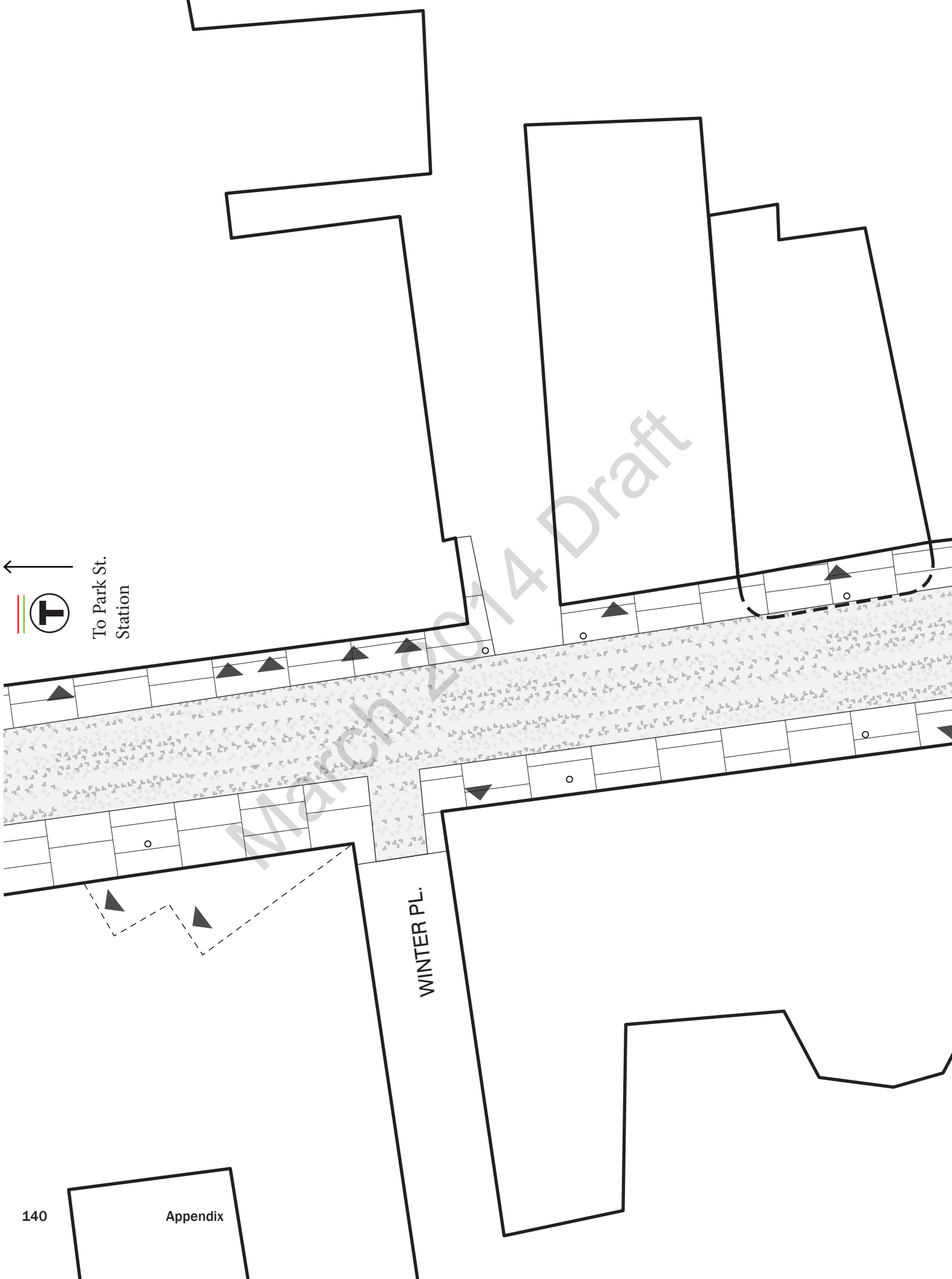
PAVING PLAN

# Summer Street

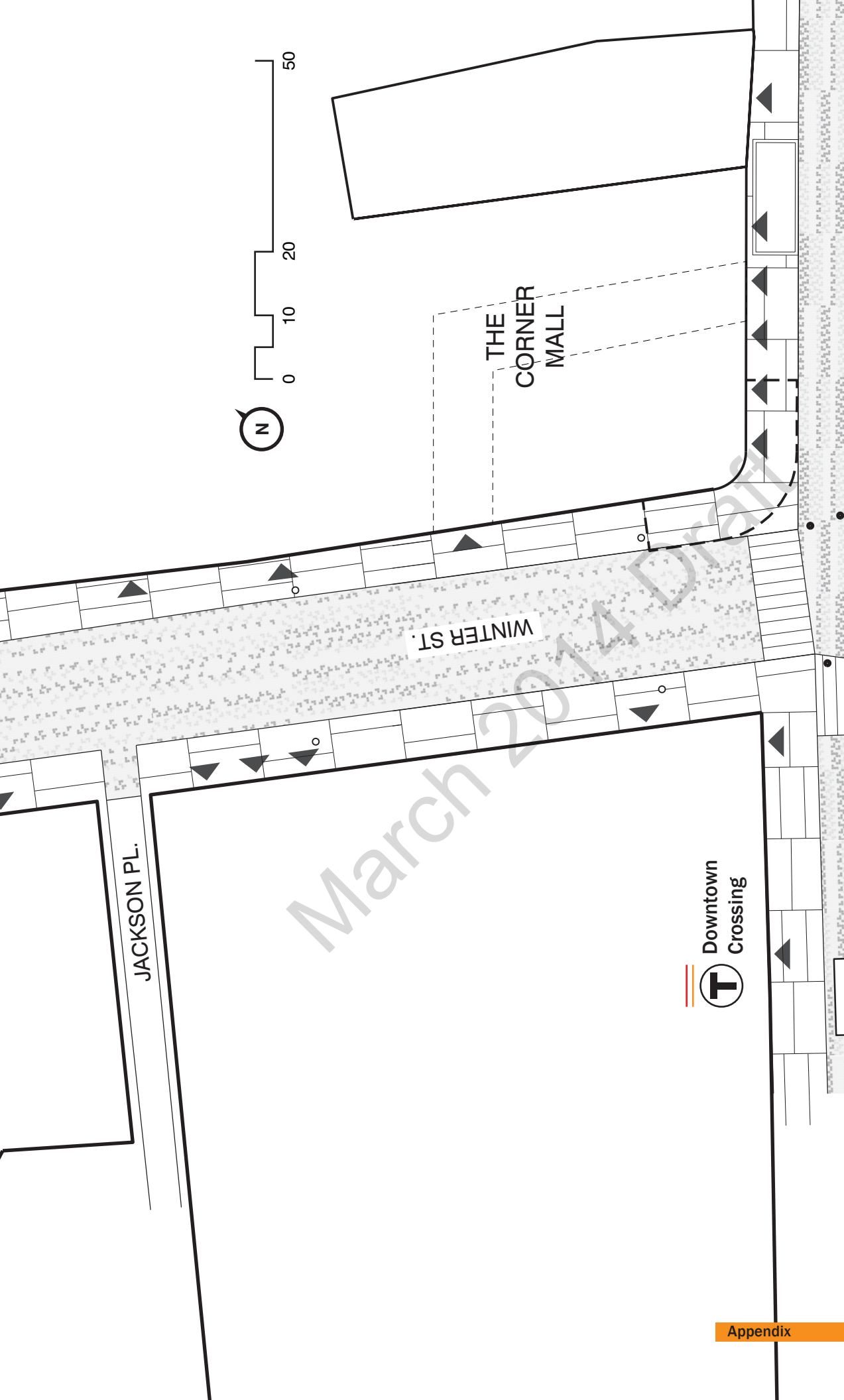




To Park St.  
Station

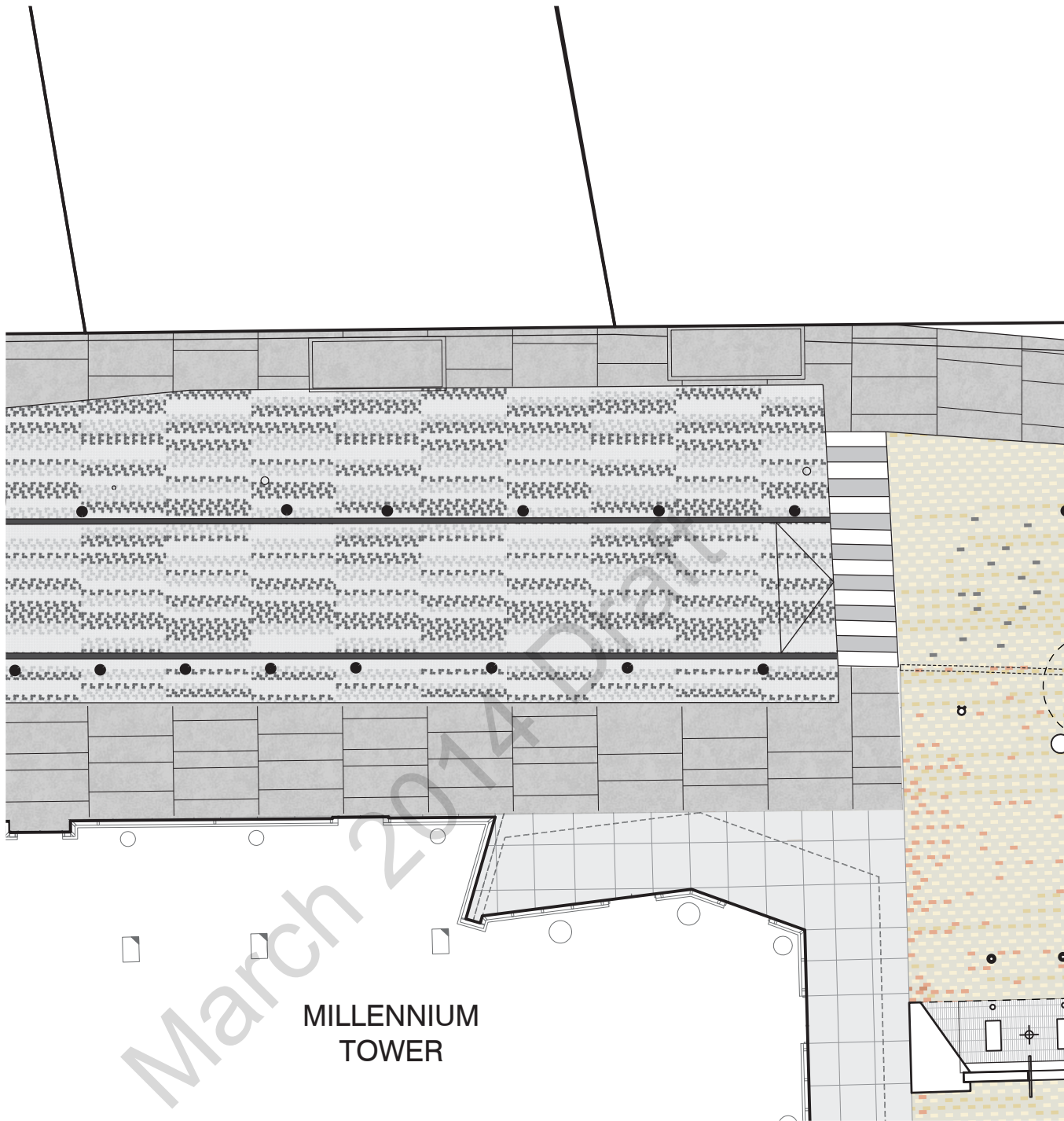


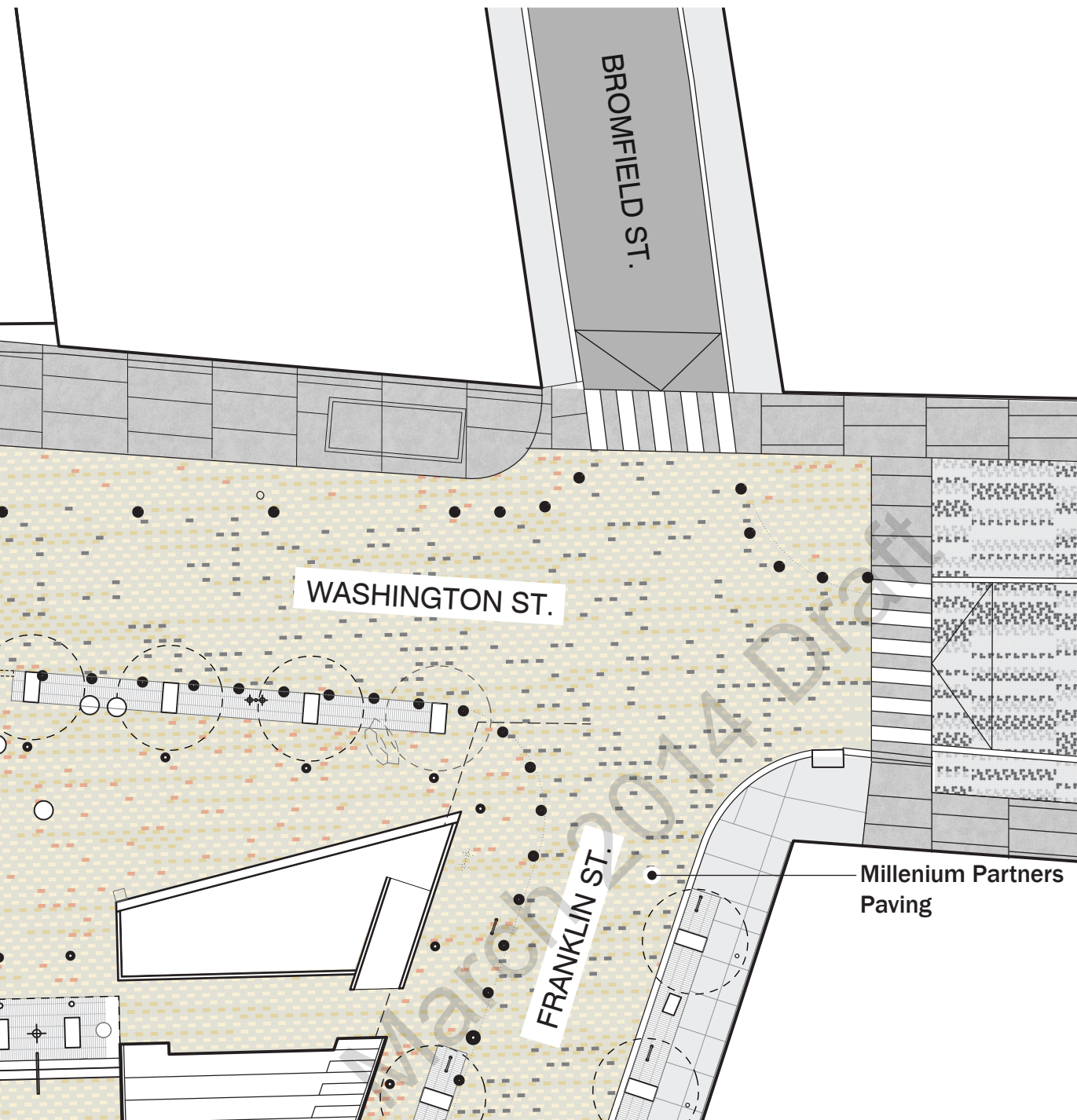
WINTER PL.



# Winter Street PAVING PLAN







March 2014 Draft

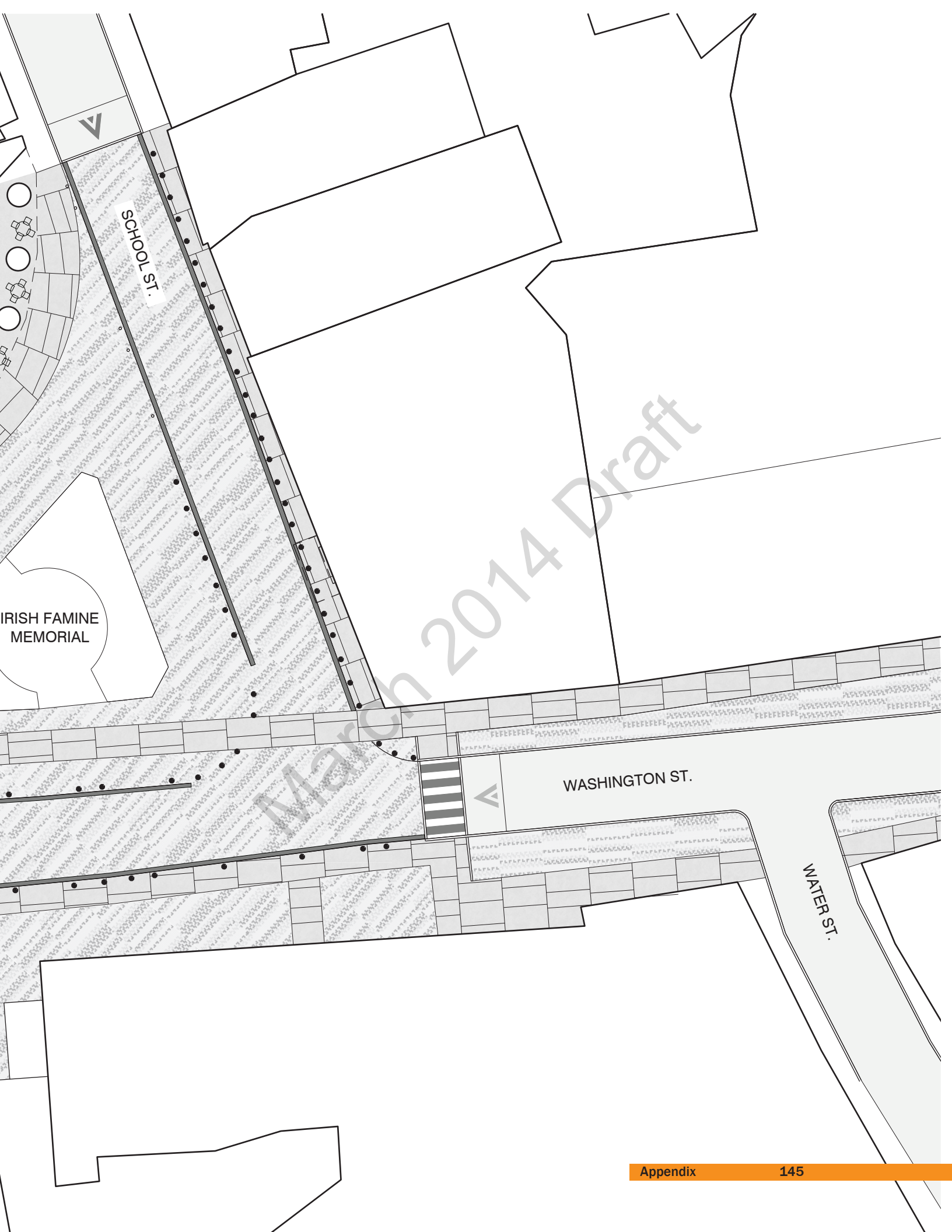
WALGREENS

WASHINGTON ST.

MILK ST.

OLD SOUTH MEETING HOUSE





SCHOOL ST.

IRISH FAMINE  
MEMORIAL

WASHINGTON ST.

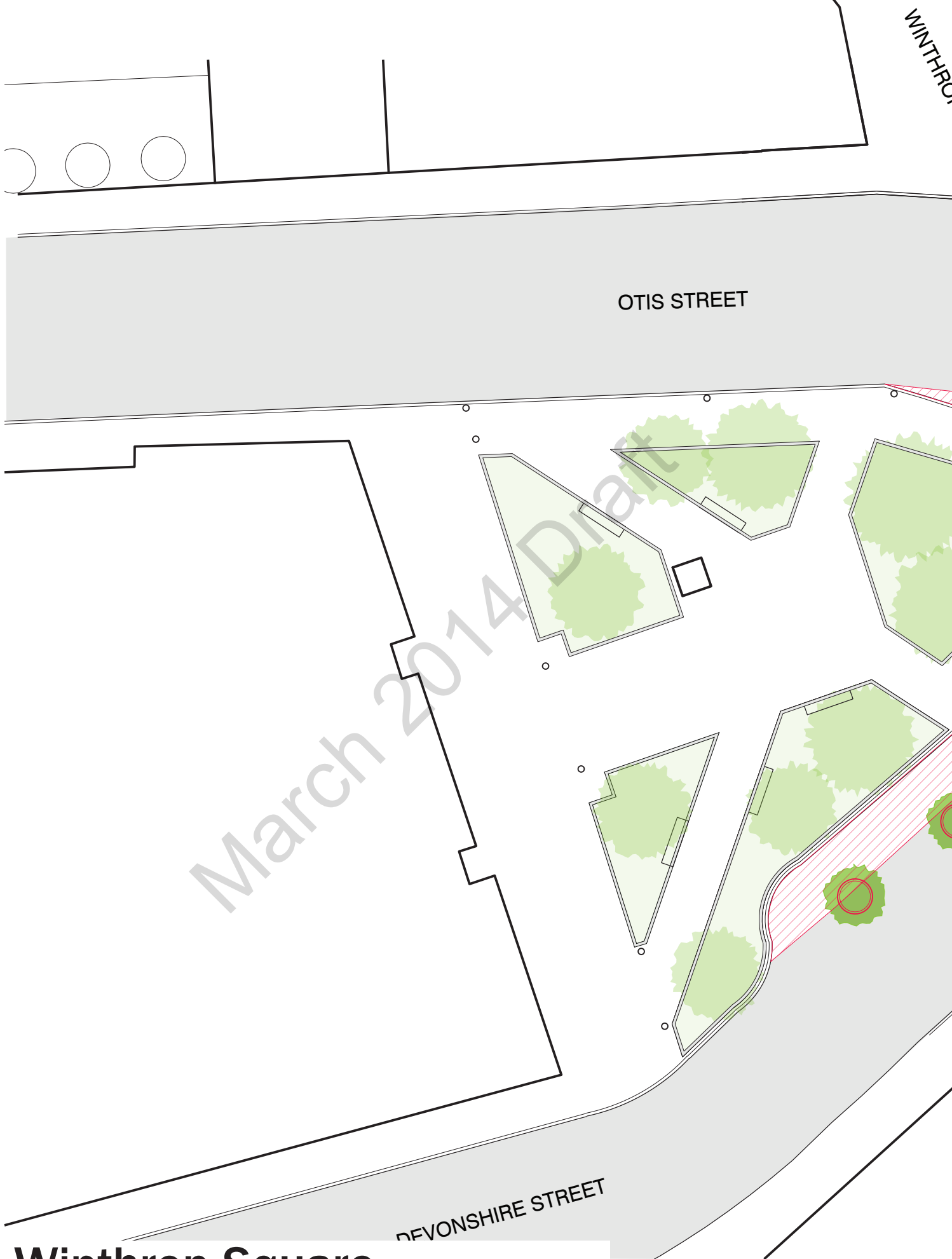
WATER ST.

WINTHROP

OTIS STREET

March 2014 Draft

DEVONSHIRE STREET





OP LANE

DEVONSHIRE STREET

March 2014 Draft



March 2014 Draft



# Gates To Pedestrian Zones

Movable barriers to demarcate the pedestrian zone are essential elements at Washington at Temple Streets, and Winter at Tremont Streets. Proposed examples include custom-fabricated, pivoting 'art' gates and a manually activated bollard-gate mounted on a turntable that allows passage when rotated 90 degrees.



*Image Locations - left to right  
Church St. - Burlington, VT  
Bologna, Italy  
University of Pennsylvania - Philadelphia, PA  
Providence, RI  
Wall St. - NY, NY*

# Materials Matrix

---

	<b>Cp</b>	<b>Concrete Unit Pavers</b>	
	<b>Pp</b>	<b>Permeable Paving</b>	
	<b>Fn</b>	<b>Furniture</b>	
	<b>Pl</b>	<b>Planters</b>	
<b>Tr</b>	<b>Pe</b>	<b>An</b>	<b>Planting</b>
	<b>In</b>	<b>Infrastructure</b>	
	<b>Tu</b>	<b>Tactical Urbanism</b>	





## Concrete Unit Pavers



Category	Concrete Paver
Location	Pedestrian Zone
Manufacturer	Unilock
Model	Anchorlock
Options	Natural Grey, Charcoal, Starlight (Series 3000 finish)
Price	\$7.50 / Sqft.
Contact	Daniel Neviackas 508 - 278 - 4536



## Permeable Paving



Category	Permeable Paver
Location	Ladder Blocks
Manufacturer	Hanover
Model	Permeable 4 1/2" x 9"
Options	—
Price	\$5.25/ Sqft.
Contact	lfuhrman@hanoverpavers.com

▲ See City standard detail on page XX



## Furniture

**Fn<sup>1</sup>**



Category	Folding Chair
Location	Readers Park, Winter St., Summer St.
Manufacturer	Magis
Model	Air Folding
Options	Without arms (-\$XX)
Price	\$199
Contact	Eric Boyer 617-955-9377

**Fn<sup>4</sup>**



Category	Bench
Location	Readers Park
Manufacturer	Landscape Forms
Model	Parallel 42
Options	Right Unit, Left Unit, Wedge
Price	\$1560
Contact	Nadene Parzych nadenep@landscapeforms.com

**Fn<sup>2</sup>**



Category	Chair
Location	Readers Park, Winter St., Summer St.
Manufacturer	Landscape Forms
Model	Chipman Chair
Options	W/Arms (+\$70)
Price	\$389
Contact	Nadene Parzych nadenep@landscapeforms.com

**Fn<sup>5</sup>**



Category	Standing Table
Location	BID
Manufacturer	The Steel Yard
Model	Custom
Options	–
Price	\$3200
Contact	Howie Sneider Howie@thesteelyard.org

**Fn<sup>3</sup>**



Category	Table
Location	Readers Park, Winter St., Summer St.
Manufacturer	Landscape Forms
Model	Chipman Table
Options	Umbrella (+1190-3100), Dining Height (+\$90)
Price	\$1050
Contact	Nadene Parzych nadenep@landscapeforms.com

**Fn<sup>6</sup>**



Category	Bench and Table
Location	BID
Manufacturer	The Steel Yard
Model	Custom Bench
Options	Powder Coated
Price	\$3800
Contact	Howie Sneider Howie@thesteelyard.org



## Planters

**Fn<sup>7</sup>**



Category	<u>Leaning Bench</u>
Location	BID
Manufacturer	The Steel Yard
Model	Custom
Options	–
Price	\$2800
Contact	Howie Sneider Howie@thesteelyard.org

**PI<sup>1</sup>**



Category	<u>Planter</u>
Location	Washington St.
Manufacturer	Streetlife
Model	Love Tub - 155x155x110cm - 2.3m <sup>3</sup>
Options	Treetec - \$1040 Powder Coating - \$1247 Laser Cut Logo - \$200
Price	\$7,477 (inclusive of options)
Contact	Thomas Lub streetlifeamerica@streetlife.nl

**Fn<sup>8</sup>**



Category	<u>Bench</u>
Location	BID
Manufacturer	The Steel Yard
Model	Custom
Options	–
Price	\$2500
Contact	Howie Sneider Howie@thesteelyard.org

**PI<sup>2</sup>**



Category	<u>Planter</u>
Location	BID
Manufacturer	Streetlife
Model	Tone Tubs 130x130x120cm - 1.5m <sup>3</sup>
Options	Treetec + \$890 Powder Coating + \$1229 Laser Cut Logo + \$200
Price	\$7233 (inclusive of options)
Contact	streetlifeamerica@streetlife.nl

**Fn<sup>9</sup>**



Category	<u>Bench</u>
Location	Readers Park
Manufacturer	Landscape Forms
Model	Milenio Bench
Options	Straight, Angle Left, Angle Right
Price	\$1570
Contact	Nadene Parzych nadenep@landscapeforms.com

**PI<sup>3</sup>**



Category	<u>Planter</u>
Location	BID
Manufacturer	Streetlife
Model	Conical Tubs D165x110
Options	Treetec + \$890 Powder Coating + \$1194 Laser Cut Logo + \$200
Price	\$6879 (inclusive of options)
Contact	streetlifeamerica@streetlife.nl





## Planting

Tr<sup>1</sup>



Category	Tree
Location	Washington St., Reader's Park
Species	<i>Carpinus caroliniana</i>
Common Name	American Hornbeam
Planters	Pl <sup>1</sup> , Pl <sup>2</sup>
Perennials	Pe <sup>1</sup>
Price	B&B 2.5/3" cal - \$299 3/3.5" cal - \$345 3.5/4" cal - \$399

Tr<sup>4</sup>



Category	Tree
Location	Throughout BID
Species	<i>Ostrya virginiana</i>
Common Name	American Hophornbeam
Planters	Pl <sup>2</sup>
Perennials	Pe <sup>3</sup>
Price	B&B 2/2.5" cal - \$240

Tr<sup>2</sup>



Category	Tree
Location	Washington St.
Species	<i>Fagus sylvatica</i> 'Dawyck'
Common Name	European Beech
Planters	Pl <sup>1</sup>
Perennials	Pe <sup>1</sup>
Price	B&B 2/2.5" cal - \$290 2.5/3" cal - \$355 3/3.5" cal - \$395

Tr<sup>5</sup>



Category	Tree
Location	East BID E-W Streets
Species	Sargent Cherry
Common Name	<i>Prunus sargentii</i>
Planters	Pl <sup>2</sup>
Perennials	Pe <sup>4</sup>
Price	B&B 2/2.5" cal - \$175

Tr<sup>3</sup>



Category	Tree
Location	Throughout BID
Species	<i>Acer triflorum</i>
Common Name	Three Flowered Maple
Planters	Pl <sup>3</sup>
Perennials	Pe <sup>2</sup>
Price	Pot #10 - \$110

Tr<sup>6</sup>



Category	Tree
Location	Tontine Crescent
Species	<i>Cercidiphyllum japonicum</i>
Common Name	Katsura Tree
Planters	Pl <sup>2</sup>
Perennials	Pe <sup>4</sup>
Price	B&B 7-8' - \$116 2/2.5" cal - \$240

Pe<sup>1</sup>



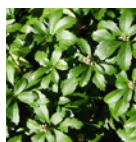
Category	Perennial
Location	Washington St., Reader's Park
Species	<i>Epimedium x younianum</i> 'Niveum'
Common Name	Barrenwort
Planters	Pl <sup>1</sup> , Pl <sup>2</sup>
Trees	Tr <sup>1</sup> , Tr <sup>2</sup>
Price	Pot 1 gal. - \$6.75

Pe<sup>4</sup>



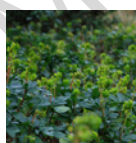
Category	Perennial
Location	East BID E-W Streets, Tontine Crescent
Species	<i>Carex dolichostachya</i> 'Kaga Nishiki'
Common Name	Gold Fountains Grass
Planters	Pl <sup>2</sup>
Trees	Tr <sup>5</sup> , Tr <sup>6</sup>
Price	Pot 1 gal. - \$7.50

Pe<sup>2</sup>



Category	Perennial
Location	Throughout BID
Species	<i>Pachysandra terminalis</i>
Common Name	Japanese Spurge
Planters	Pl <sup>3</sup>
Trees	Tr <sup>3</sup>
Price	Pot 1 gal. - \$7.50

Pe<sup>3</sup>



Category	Perennial
Location	Ladder District
Species	<i>Euphorbia amygdaloides</i> var. <i>robbiae</i>
Common Name	Wood Spurge
Planters	Pl <sup>2</sup>
Trees	Tr <sup>4</sup>
Price	Pot 1 gal. - \$7.50



## Infrastructure

In<sup>1</sup>



Category	<u>Trench Drain</u>
Location	Washington St., Summer St.
Manufacturer	Urban Accessories
Model	Title 24
Options	Steel or Iron
Price	Iron 6" x 18" - \$65 8" x 18" - \$75 12" x 24" - \$165  Steel 6" - \$35 8" - \$38 12" - \$39
Contact	Sam Fox foxassoc@tidewater.net

In<sup>4</sup>



Category	<u>Bollard</u>
Location	Washington St.
Manufacturer	Landscape Forms
Model	Sentinel
Options	Embedded - E Surface Mount - S Removable - R Dome Top - R \$1850 - E&S \$1390 Mitre Top - R \$1850 - E&S \$1390 LED Top - E&S \$1850
Price	\$1390 - \$1850
Contact	Nadene Parzych nadenep@landscapeforms.com

In<sup>2</sup>



Category	<u>Bollard</u>
Location	Washington St.
Manufacturer	Landscape Forms
Model	Paladin
Options	Embedded - \$1390 Removable - \$1850 Surface Mount - \$1390 w/LED Light (+500)
Price	—
Contact	Nadene Parzych nadenep@landscapeforms.com

In<sup>5</sup>



Category	<u>Lit Bollard</u>
Location	Washington St.
Manufacturer	Landscape Forms
Model	Sentinel
Options	LED Top - E&S \$1850
Price	\$1850
Contact	Nadene Parzych nadenep@landscapeforms.com

In<sup>3</sup>



Category	<u>Bollard</u>
Location	Washington St., Summer St.
Manufacturer	Du Mor
Model	Series 400
Options	36", 42"
Price	\$196, \$207
Contact	mail@obrienandsons.com

In<sup>6</sup>



Category	<u>Pedestrian Gates</u>
Location	Washington St.
Manufacturer	Custom
Model	—
Options	—
Price	\$XX
Contact	KMDG info@kloppfermartin.com





## Tactical Urbanism

Tu<sup>1</sup>



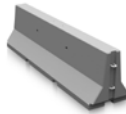
Category	<u>Street Paint</u>
Location	Doormats, Tontine Crescent, Winthrop Square
Manufacturer	Plexipave
Model	Acrylic Resurfacer, Acrylotex paving graphics paint, Hi-Hide Plexicolor Line Paint
Options	Color and design TBD
Price	Acrylic Resurfacer - \$1.75/Sqyd.; Paint - \$12.25/Sqyd.
Contact	KMDG info@klopfermartin.com

Tu<sup>4</sup>



Category	<u>Scaffolding Chair</u>
Location	Construction Sites
Manufacturer	Custom
Model	NA
Options	NA
Price	\$XX
Contact	KMDG info@klopfermartin.com

Tu<sup>2</sup>



Category	<u>Street Barrier</u>
Location	Tontine Crescent, Winthrop Square
Manufacturer	Belson Outdoors
Model	JBSE-8, 8' long
Options	Dove Gray - smooth finish
Price	\$721
Contact	sales@belson.com

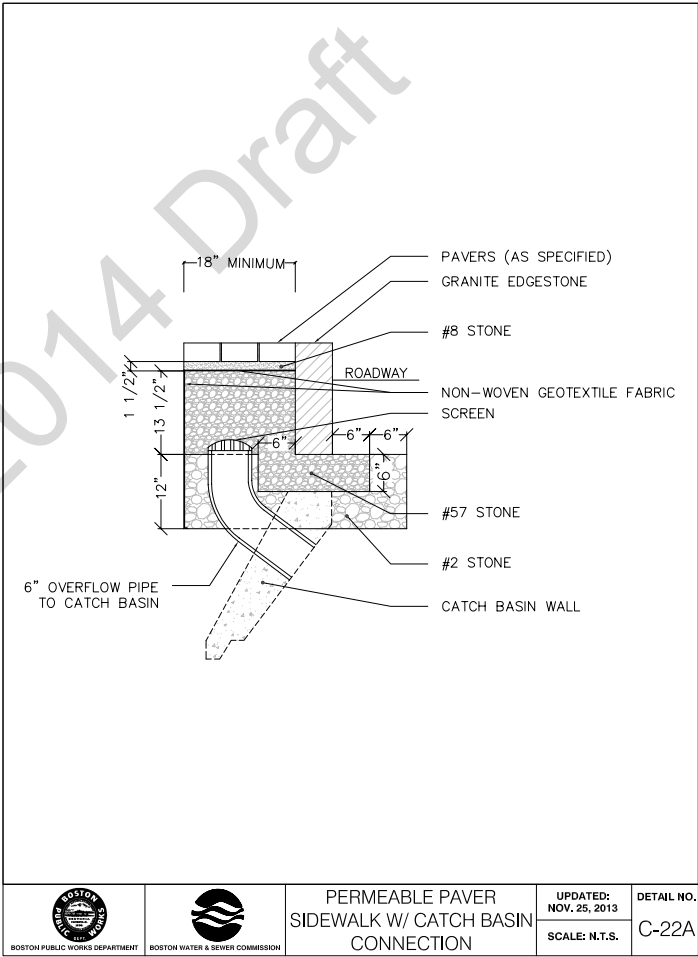
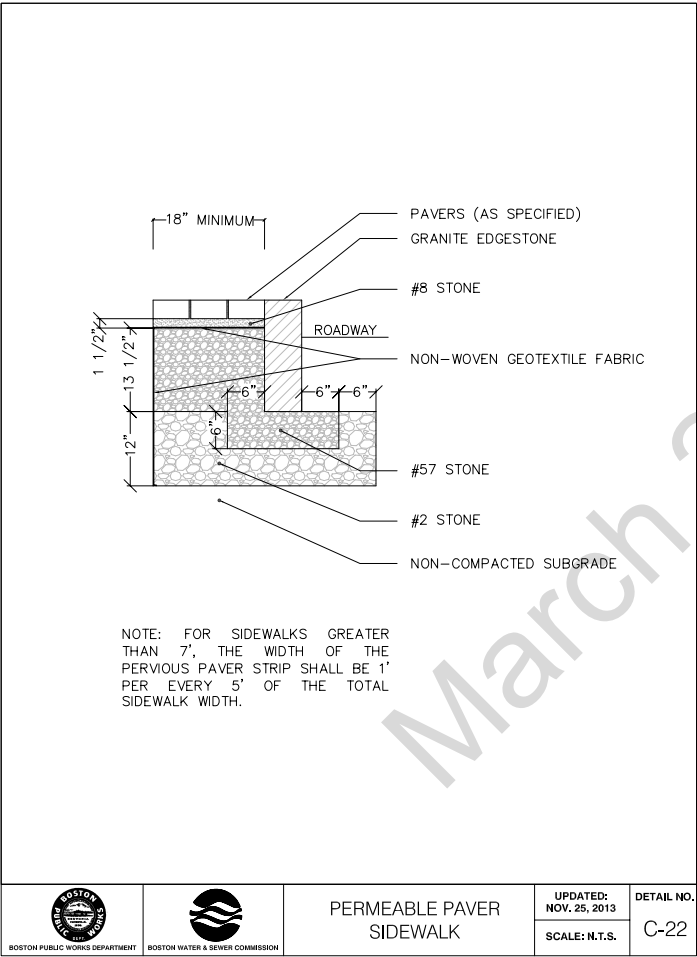
Tu<sup>3</sup>



Category	<u>Scaffolding Table</u>
Location	Construction Sites
Manufacturer	Custom
Model	NA
Options	NA
Price	\$XX
Contact	KMDG info@klopfermartin.com

# Permeable Pavers

## CITY STANDARD DETAILS



March 2014 Draft



## Typography

---

**ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
0123456789:;,“”()!?**

Hoeffler and Frere-Jones Forza™ Bold

**ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
0123456789:;,“”()!?**

Adobe Trade Gothic LT Std™ Bold

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
0123456789:;,“”()!?

Adobe Trade Gothic LT Std™ Regular

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
0123456789:;,“”()!?

Adobe Trade Gothic LT Std™ Light

## Paint



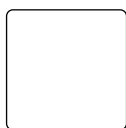
P1  
BID Green  
PMS 376C



P2  
BID Orange  
PMS 144C



P3  
MP54998  
BMW Sterling  
Gray Metallic

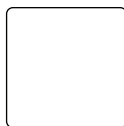


P4

## Film



V1



V2



V3

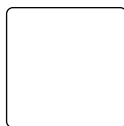


V4

## Materials



M1  
#316  
marine-grade  
stainless steel,  
non-directional  
finish



M2



M3



M4

## Symbols



## Logo / Branding



DOWNTOWN  
BOSTON

BUSINESS IMPROVEMENT DISTRICT

**omloop**  
it's all connected

21 Bantry Road  
Framingham, MA 01701  
508.733.6440

omloopdesign.com

## DATE

24 Oct. 2013 **working**  
01 Nov. 2013 **cost est #1**  
08 Nov. 2013 **BID/BRA review**  
22 Nov. 2013 **rev**  
24 Nov. 2013  
09 Dec 2013 **mockups**  
22 Jan 2014 **final design intent**

These drawings are not for construction. This office shall review contractor's shop drawings and details prior to fabrication. Contractors shall be responsible for verification of all dimensions and field conditions prior to performing the work, and inform this office of any variations.

## PROJECT NAME



BUSINESS IMPROVEMENT DISTRICT

STREETSCAPE DESIGN  
STANDARDS AND  
WAYFINDING PROGRAM

## PROJECT #

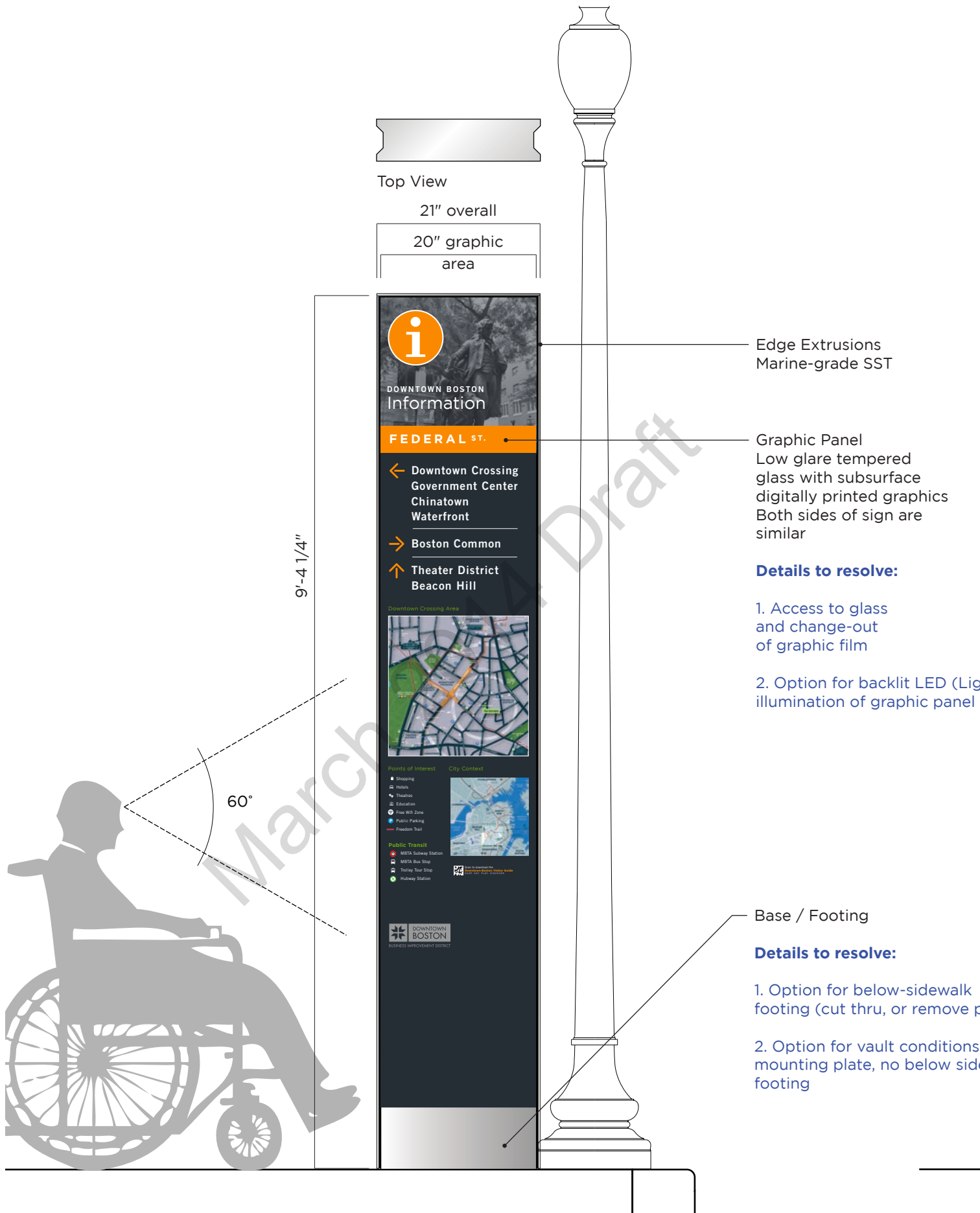
OMD\_DTX\_01

## DRAWN BY

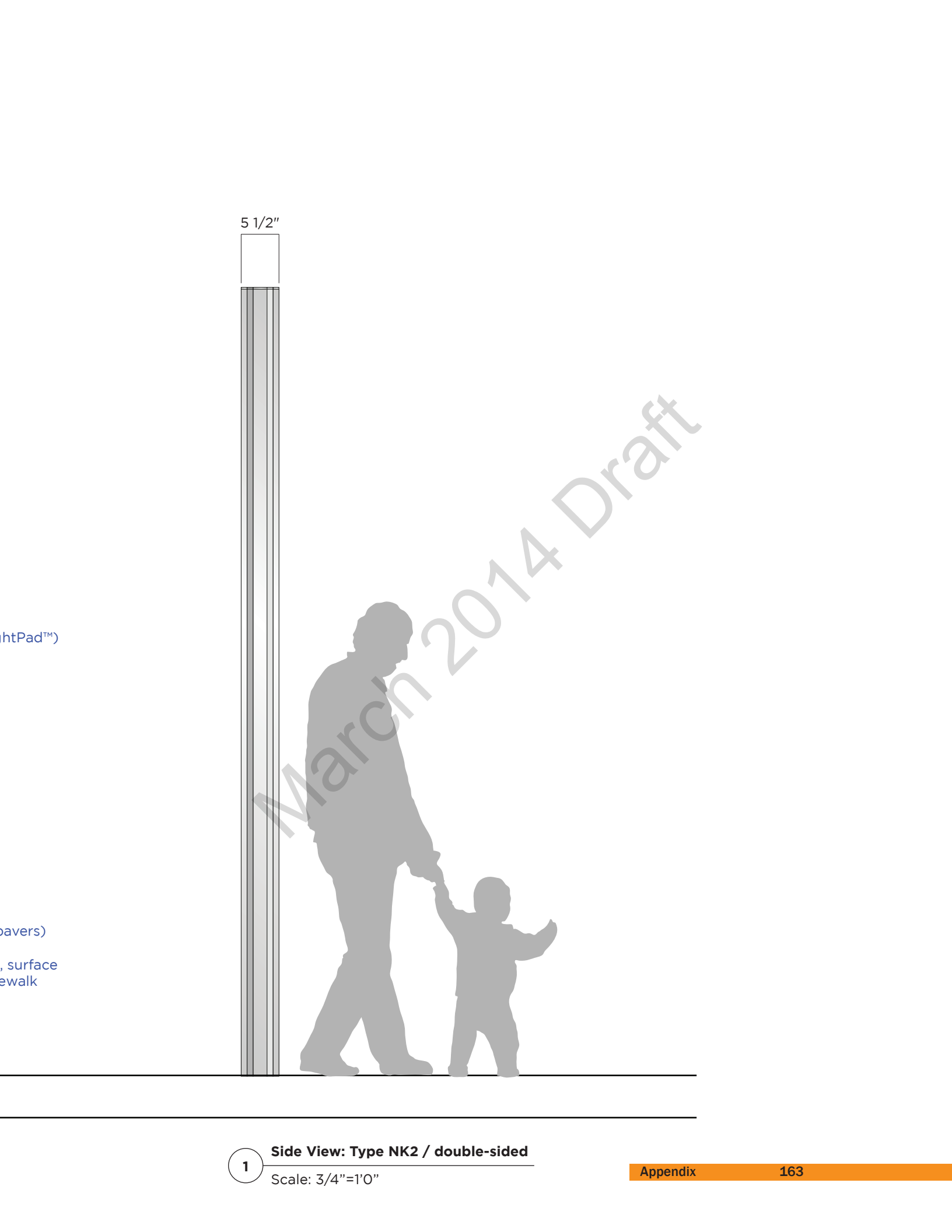
BP

## SHEET TITLE

Project Graphics and Finish  
Standards







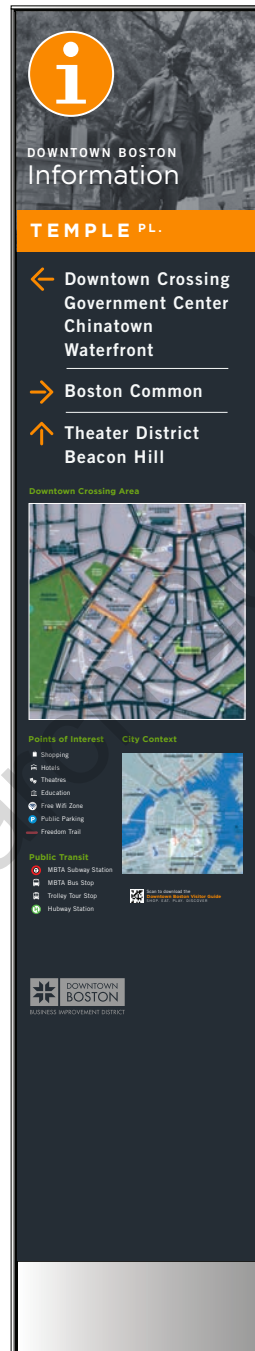
htPad™)

avers)  
, surface  
ewalk

**1** Side View: Type NK2 / double-sided  
Scale: 3/4"=1'0"

BUILDING FACE

Plan View



#### DATE

24 Oct. 2013 **working**  
01 Nov. 2013 **cost est #1**  
08 Nov. 2013 **BID/BRA review**  
22 Nov. 2013 **rev**  
24 Nov. 2013  
09 Dec 2013 **mockups**  
22 Jan 2014 **final design intent**

These drawings are not for construction. This office shall review contractor's shop drawings and details prior to fabrication. Contractors shall be responsible for verification of all dimensions and field conditions prior to performing the work, and inform this office of any variations.

#### PROJECT NAME



BUSINESS IMPROVEMENT DISTRICT

STREETSCAPE DESIGN  
STANDARDS AND  
WAYFINDING PROGRAM

#### PROJECT #

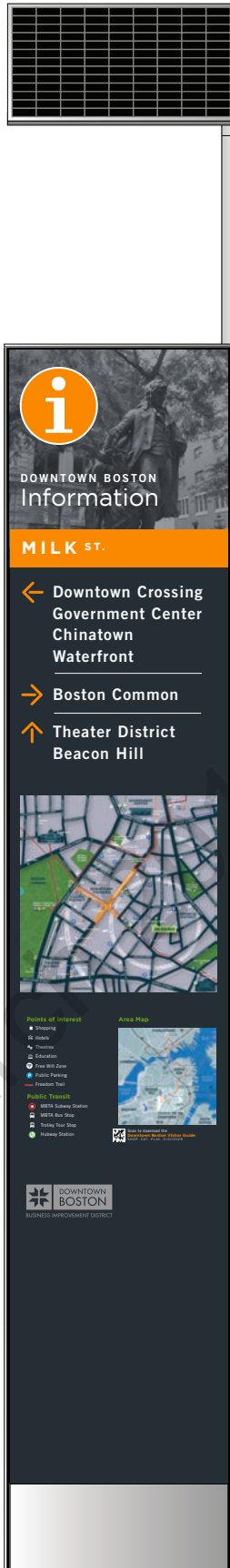
OMD\_DTX\_01

#### DRAWN BY

BP

#### SHEET TITLE

**Type NK1**  
Narrow kiosk, single-sided

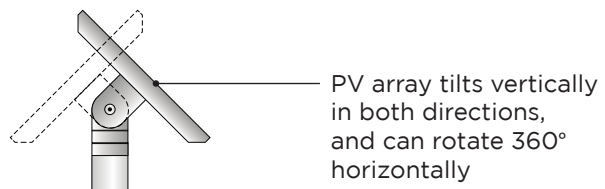


PV Array Module  
Optional, feature

#### Details to resolve:

1. PV size vs. desired power and graphic area to be illuminated
2. Details of pole, PV tilt and attachment
3. Battery access, controller mounting
4. Illumination details





Top View

March 2014 Draft



21 Bantry Road  
Framingham, MA 01701  
508.733.6440  
omloopdesign.com

DATE

24 Oct. 2013 **working**  
01 Nov. 2013 **cost est #1**  
08 Nov. 2013 **BID/BRA review**  
22 Nov. 2013 **rev**  
24 Nov. 2013  
09 Dec 2013 **mockups**  
22 Jan 2014 **final design intent**

These drawings are not for construction. This office shall review contractor's shop drawings and details prior to fabrication. Contractors shall be responsible for verification of all dimensions and field conditions prior to performing the work, and inform this office of any variations.

PROJECT NAME



BUSINESS IMPROVEMENT DISTRICT

STREETSCAPE DESIGN  
STANDARDS AND  
WAYFINDING PROGRAM

PROJECT #

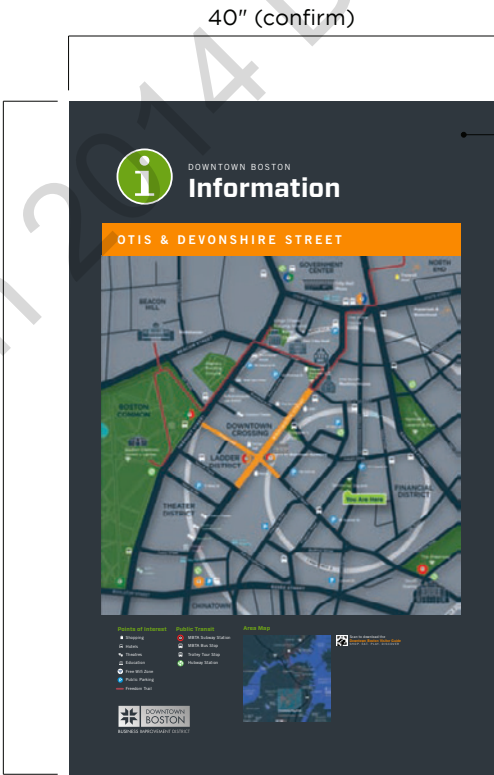
OMD\_DTX\_01

DRAWN BY

BP

SHEET TITLE

**Type NK2L**  
Narrow kiosk, double-sided  
Illuminated (LED/solar)



Detail: Insert

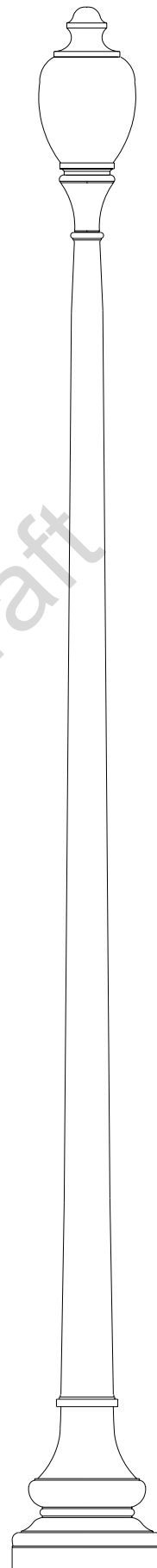
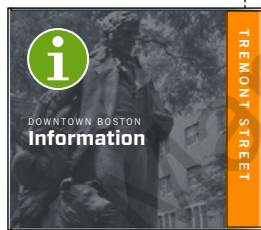
60" (confirm)

40" (confirm)

1 Elevation  
Scale: 3/4"=1'0" Type CIP.1



Plan View

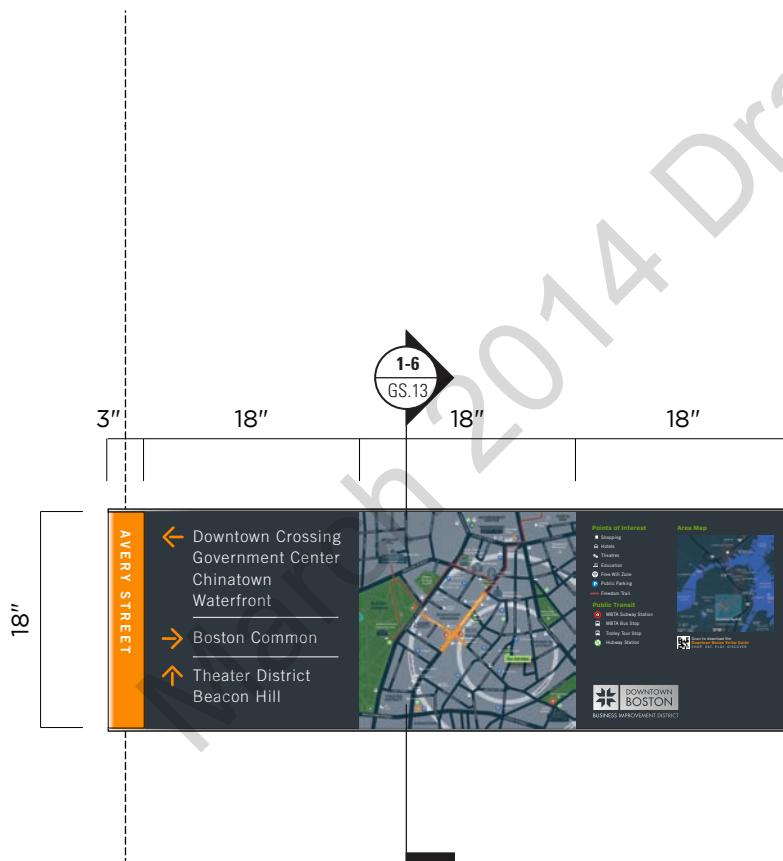




## DATE

24 Oct. 2013 **working**  
01 Nov. 2013 **cost est #1**  
08 Nov. 2013 **BID/BRA review**  
22 Nov. 2013 **rev**  
24 Nov. 2013  
09 Dec 2013 **mockups**  
22 Jan 2014 **final design intent**

## Plan View



These drawings are not for construction. This office shall review contractor's shop drawings and details prior to fabrication. Contractors shall be responsible for verification of all dimensions and field conditions prior to performing the work, and inform this office of any variations.

## PROJECT NAME



BUSINESS IMPROVEMENT DISTRICT

STREETSCAPE DESIGN  
STANDARDS AND  
WAYFINDING PROGRAM

## PROJECT #

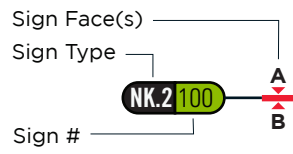
OMD\_DTX\_01

## DRAWN BY

BP

## SHEET TITLE

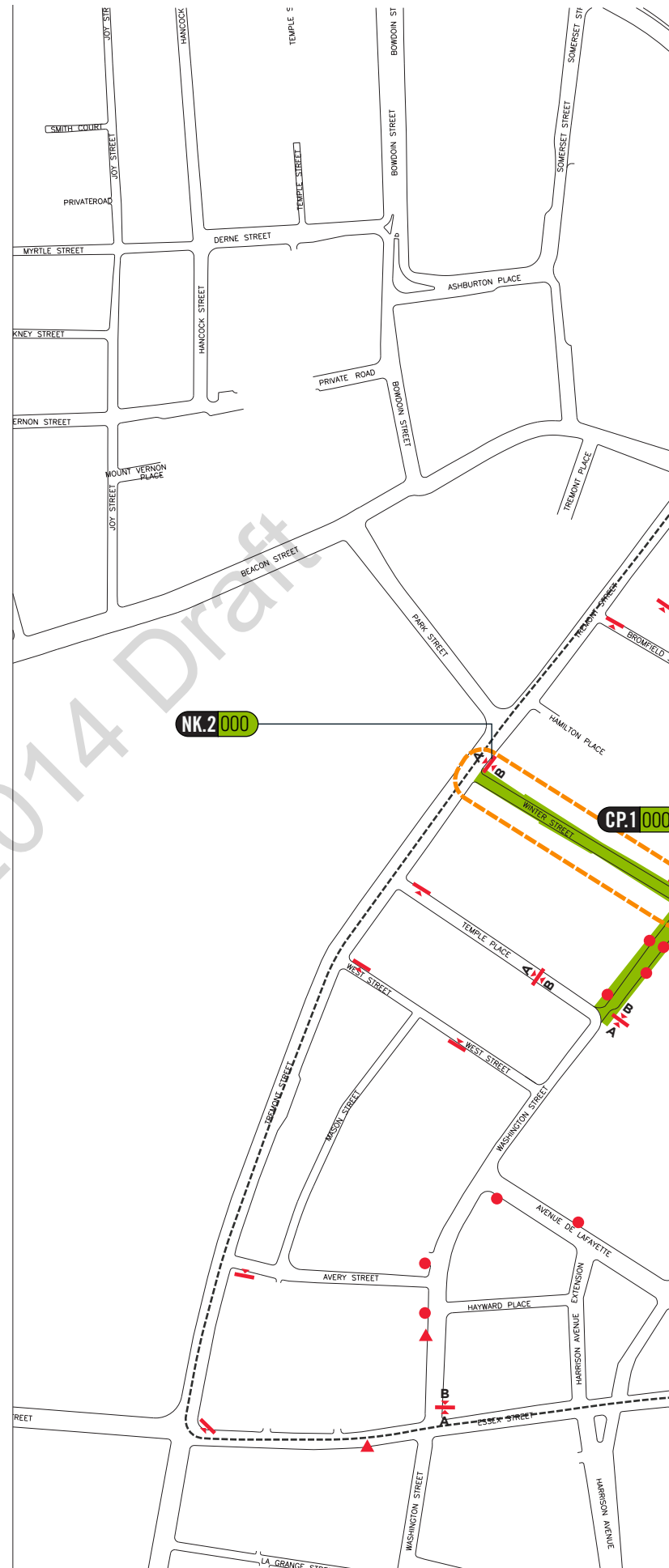
## Sign Locations



## Symbols

- **CP.1** CIP, existing unit, retrofit\*
- ▲ **PM.1** Pillar, existing unit, retrofit\*
- ⊥ **NK.1** Narrow Kiosk, (1) Face
- ⊥ **NK.2** Narrow Kiosk, (2) Face
- ⊥ **WK.1** Wall Mount Kiosk

\*CIP and Pillar Locations provided by  
 BRA, reference plan:  
**JCDecaux\_inventory July2013\_BT\_X\_BID**







Unauthenticated