

GENERAL NOTES:

**CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:**

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES.
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS. UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

RENOVATION & CHANGE OF USE FROM 1 TO 2 FAMILY

175 HUMBOLDT AVENUE ROXBURY, MASSACHUSETTS

WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT
- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT
WITH SNOW DRIFT
WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

CONTRACTOR NOTE:

PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING CONSTRUCTION. ALL DISCREPANCIES BETWEEN FIELD-VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS AND THOSE INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY MADE KNOWN TO THE ENGINEER IN WRITING. THE USE OF (V.I.F.) OR (+/-) OR OTHER SIMILAR NOTES AT CERTAIN LOCATIONS ON THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR VERIFYING ALL CONDITIONS DESCRIBED ABOVE.

ZONING CODE ANALYSIS

175 HUMBOLDT AVENUE

Governing Article: 50

Subdistrict: ROXBURY NEIGHBORHOOD 3F-4000

Use Regulations: Section Table	
Existing	Proposed
SINGLE-FAMILY	TWO-FAMILY
ALLOWED	ALLOWED

Dimensional Regulations: Table

	Code Requirement	Existing Condition	Proposed Project	Notes
	3F-4000	SINGLE-FAMILY	TWO-FAMILY	
Lot Area Minimum	4,000 SF FOR 1 UNIT	-	-	-
Min Lot Area for Additional Units	2,000 SF	-	-	-
Total Required Lot Size	6,000 SF	-	6,222 SF +/-	NO CHANGE
Min Required Lot Width and Frontage	25'	-	60.00'	NO CHANGE
Max FAR	0.8	0.53	0.53	3321/5706
Max Building Height / Stories	3 STORIES / 35'-0"	2 1/2 STORIES / 37'-0" +/-	2 1/2 STORIES / 37'-0" +/-	NO CHANGE
Usable Open Space	650 SF PER D.U.	4272 SF +/-	1452 SF +/- PER DU	2904/2
Min Front Yard	MODAL / 20'-0"	30.6'	30.6'	NO CHANGE
Min L Side Yard	10'-0"	11.3'	11.3'	NO CHANGE
Min R Side Yard	10'-0"	11.6'	11.6'	NO CHANGE
Min Rear Yard	30'-0"	27.3'	27.3'	NO CHANGE
Max Use of Rear Yard	25%	0%	0%	-

Overlays:
NEIGHBORHOOD DESIGN REVIEW

Parking:
1 SPACES PER D.U.
1 SPACE EXISTING
1 ADDITIONAL SPACE REQ'D
2 SPACES PROVIDED

Other Non-Dimensional Zoning Issues:

CODE ANALYSIS

EXISTING TO REMAIN:
TYPE 5B CONSTRUCTION

EXISTING: R-3 USE GROUP (SINGLE-FAMILY)
PROP: R-3 USE GROUP (TWO-FAMILY)

EXISTING TO REMAIN:
2 1/2 STORY & BASEMENT

KEY

- ☉ SMOKE DETECTOR
- ⊙ CARBON MONOXIDE DETECTOR
- ◇ WALL TYPE (SEE A-3.1)
- ☒ FAN
- IF 1 HOUR FLR/CLG (SEE A-3.1)
- //// NEW WALL
- EX'G WALL TO REMAIN
- WALL TO BE REMOVED

RENOVATION AND CHANGE OF USE FROM 1 TO 2 FAMILY
 175 HUMBOLDT AVENUE
 ROXBURY, MA 02121



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
	02-13-2020

Project No: 19335
Scale: AS NOTED
Date: 01-31-2020
Drawn By: DRM

Drawing Name

COVER SHEET

Sheet No.
A-0

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

NOTE: ENERGY CODE COMPLIANCE
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HER'S RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

Location
**RENOVATION AND CHANGE
 OF USE FROM 1 TO 2 FAMILY
 175 HUMBOLDT AVENUE
 ROXBURY, MA 02121**

**Choo
 & Company, Inc.**
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

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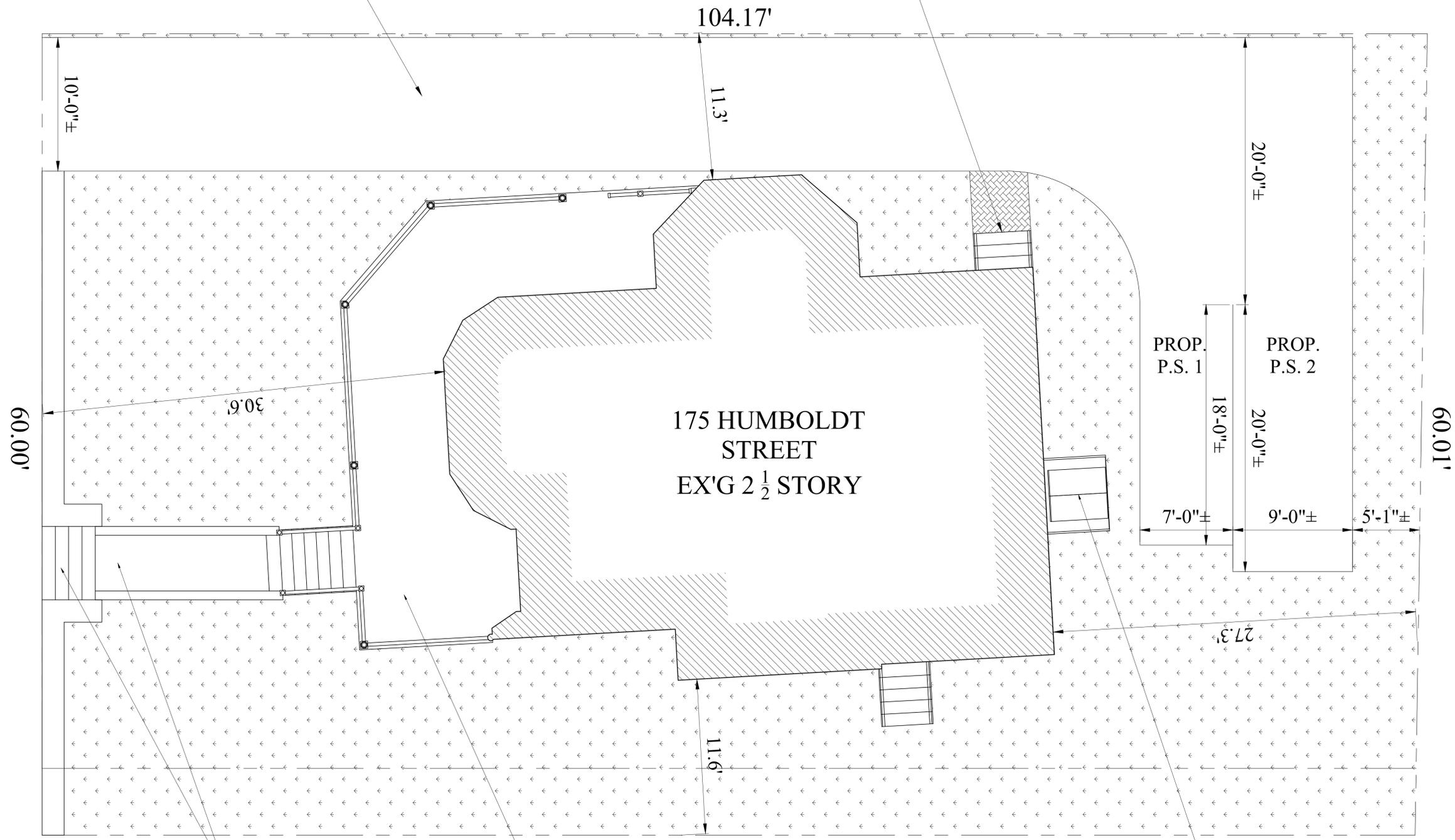
Project No: 19335
 Scale: AS NOTED
 Date: 01-31-2020
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Drawing Name
**PROPOSED
 ARCHITECT
 LANDSCAPE
 PLAN**

Sheet No.
A-1.0

EXTEND EX'G ASPHALT
 DRIVEWAY & REPAIR EX'G
 DRIVEWAY AS NEEDED

PROP. EGRESS
 STAIRS FOR UNIT 2



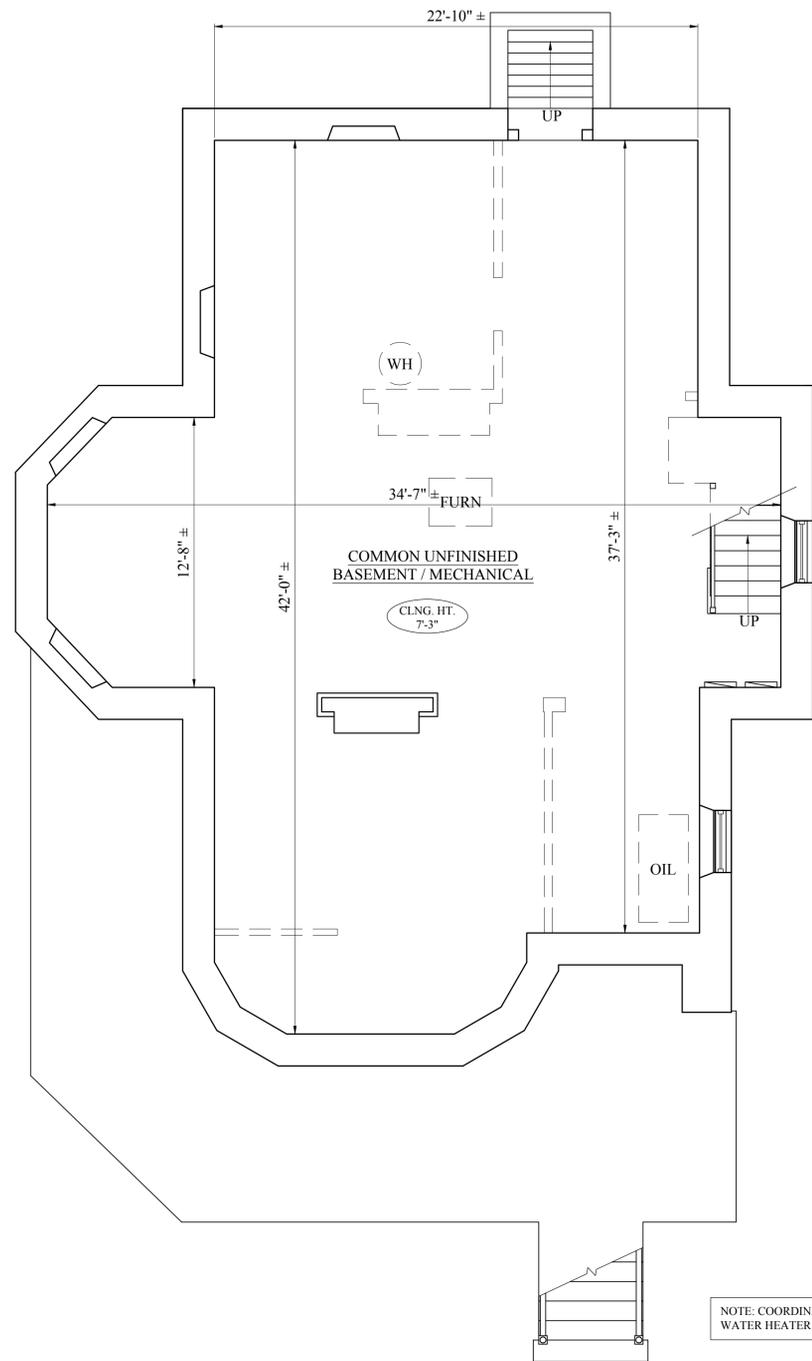
EX'G CONCRETE
 WALL/STAIR TO BE
 REFINISHED/REPAIRED
 AS NECESSARY

EX'G PORCH/STAIR TO BE
 REFINISHED/REPAIRED AS
 NECESSARY

EX'G BULKHEAD
 TO REMAIN

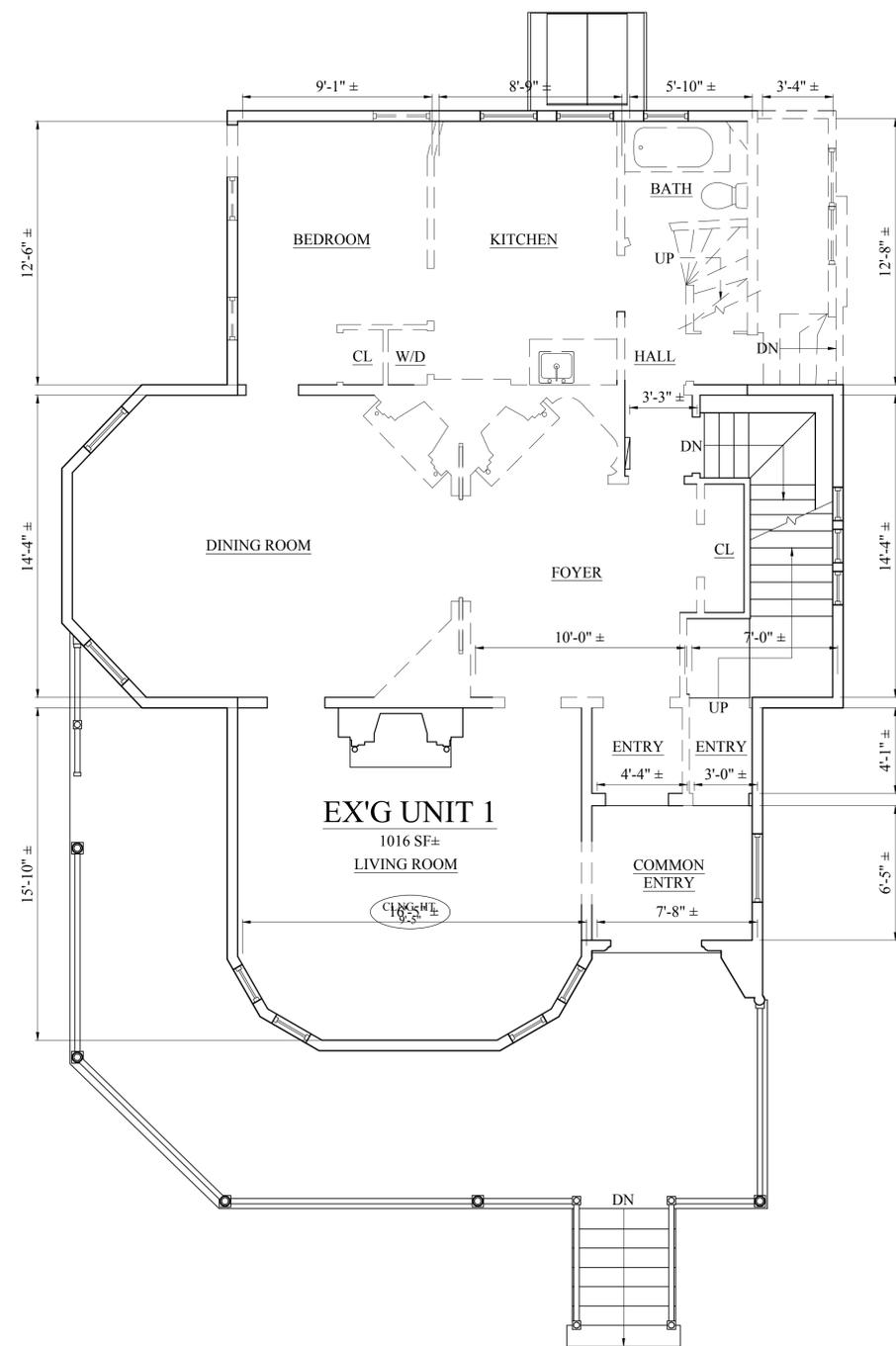
DRAWING NOT TAKEN FROM
 INSTRUMENTAL SURVEY.
 INFORMATION TAKEN FROM
 CERTIFIED PLOT PLAN
 BY NATIVETEC, LYNN, MA
 NOVEMBER 19, 2019

1 PROPOSED ARCHITECTURAL LANDSCAPE PLAN
 1/4" = 1'-0"



HUMBOLDT AVENUE

1 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



HUMBOLDT AVENUE

2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE:
1) THE CONTRACTOR SHALL MAINTAIN WATER TIGHTER INTEGRITY OF THE ENTIRE EXTERIOR ENVELOPE OF THE BUILDING AS REQUIRED TO PREVENT DAMAGE TO EXISTING ELEMENTS TO REMAIN AT ALL TIMES DURING CONSTRUCTION.
2) PROPERLY BRACE ALL EX'G WALLS AND ROOF AS NECESSARY UNTIL PROPOSED NEW FRAMING IS COMPLETE, AND NEW CONSTRUCTION DETAILS SUPPORT TOPS OF ALL WALLS LATERALLY.

Location
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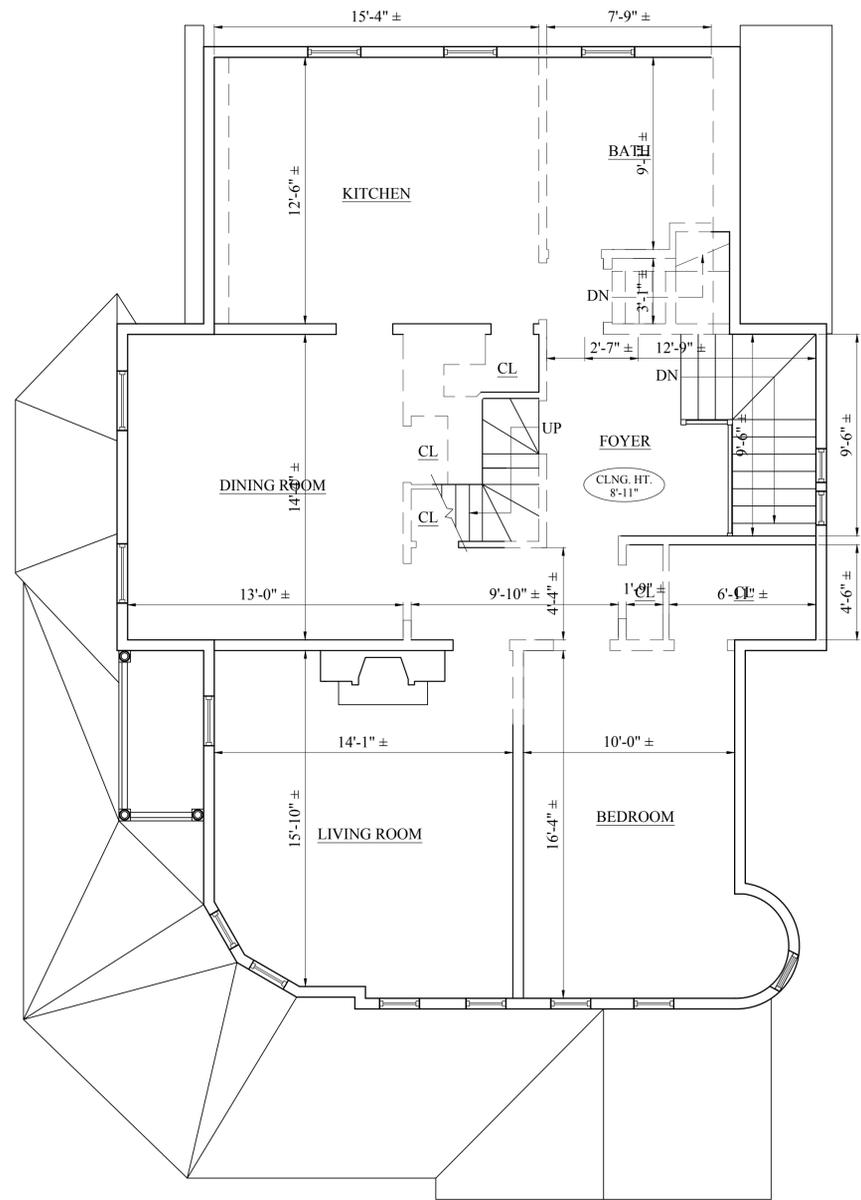
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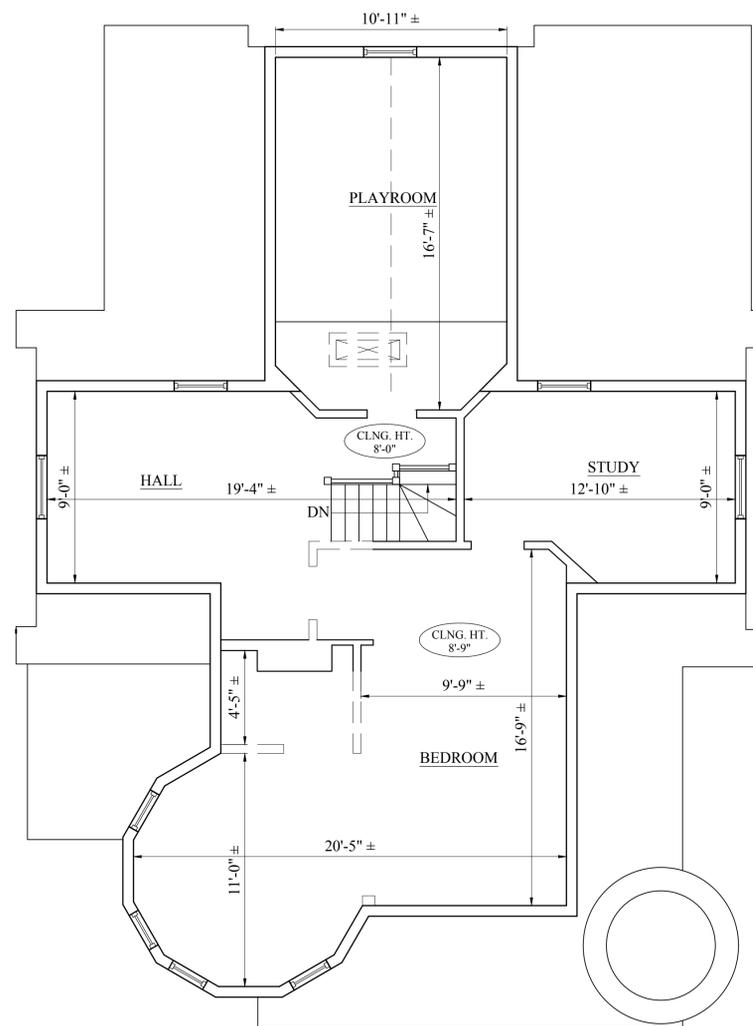
Drawing Name
EXISTING FLOOR PLANS

Sheet No.
D-1.1



HUMBOLDT AVENUE

1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



HUMBOLDT AVENUE

2 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"

NOTE:
1) THE CONTRACTOR SHALL MAINTAIN WATER TIGHTER INTEGRITY OF THE ENTIRE EXTERIOR ENVELOPE OF THE BUILDING AS REQUIRED TO PREVENT DAMAGE TO EXISTING ELEMENTS TO REMAIN AT ALL TIMES DURING CONSTRUCTION.
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Drawing Name
**EXISTING
FLOOR PLANS**

Sheet No.
D-1.2

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BUILDING ENVELOPE VALUES:
 FLOOR: R-30
 EXTERIOR WALLS: R-21
 ROOF: R-49

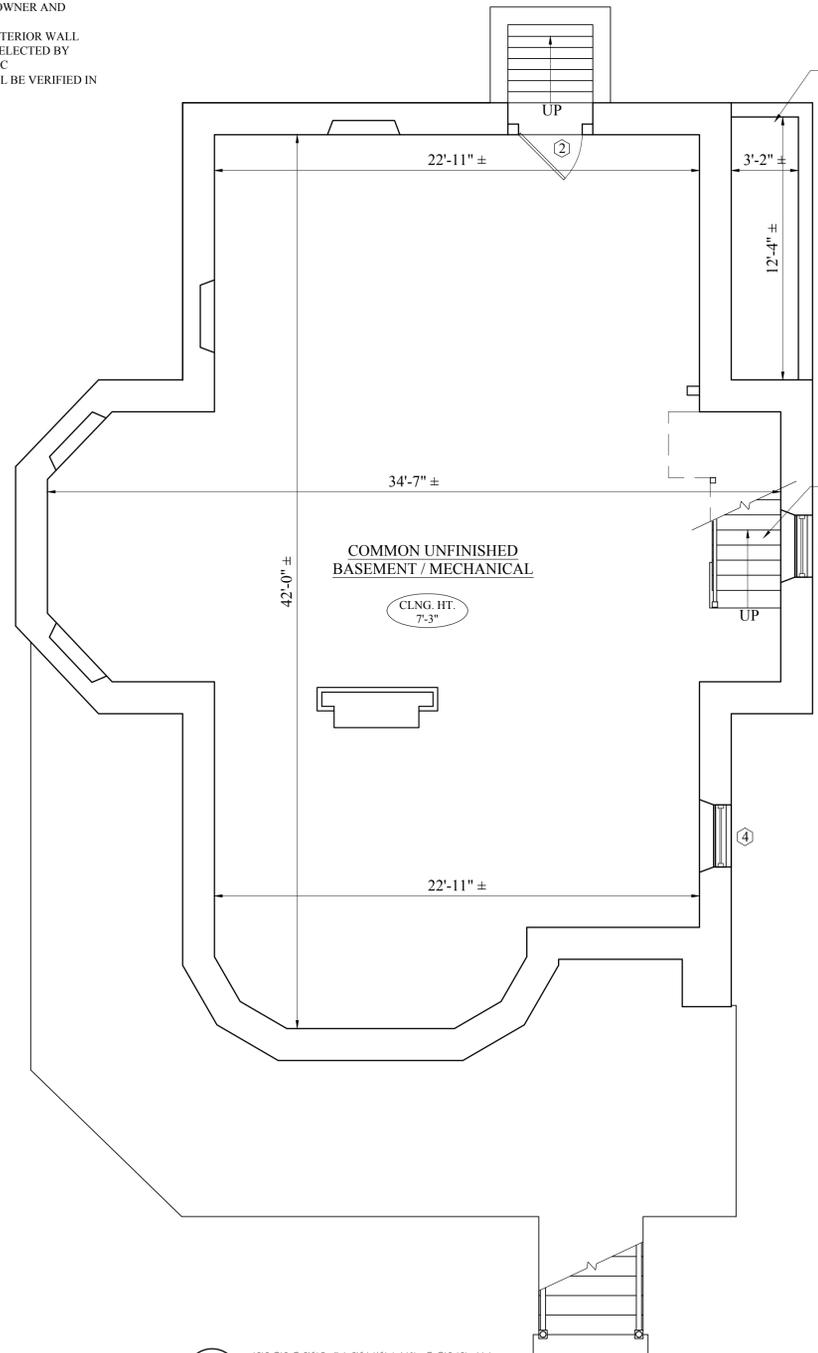
NOTE: NEW PLUMBING FIXTURES AND KITCHEN DESIGN TO BE SELECTED BY OWNER AND INSTALLED BY GC

NOTE: NEW EXTERIOR AND INTERIOR WALL AND FLOOR FINISHES TO BE SELECTED BY OWNER AND INSTALLED BY GC

NOTE: ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD, TYP.

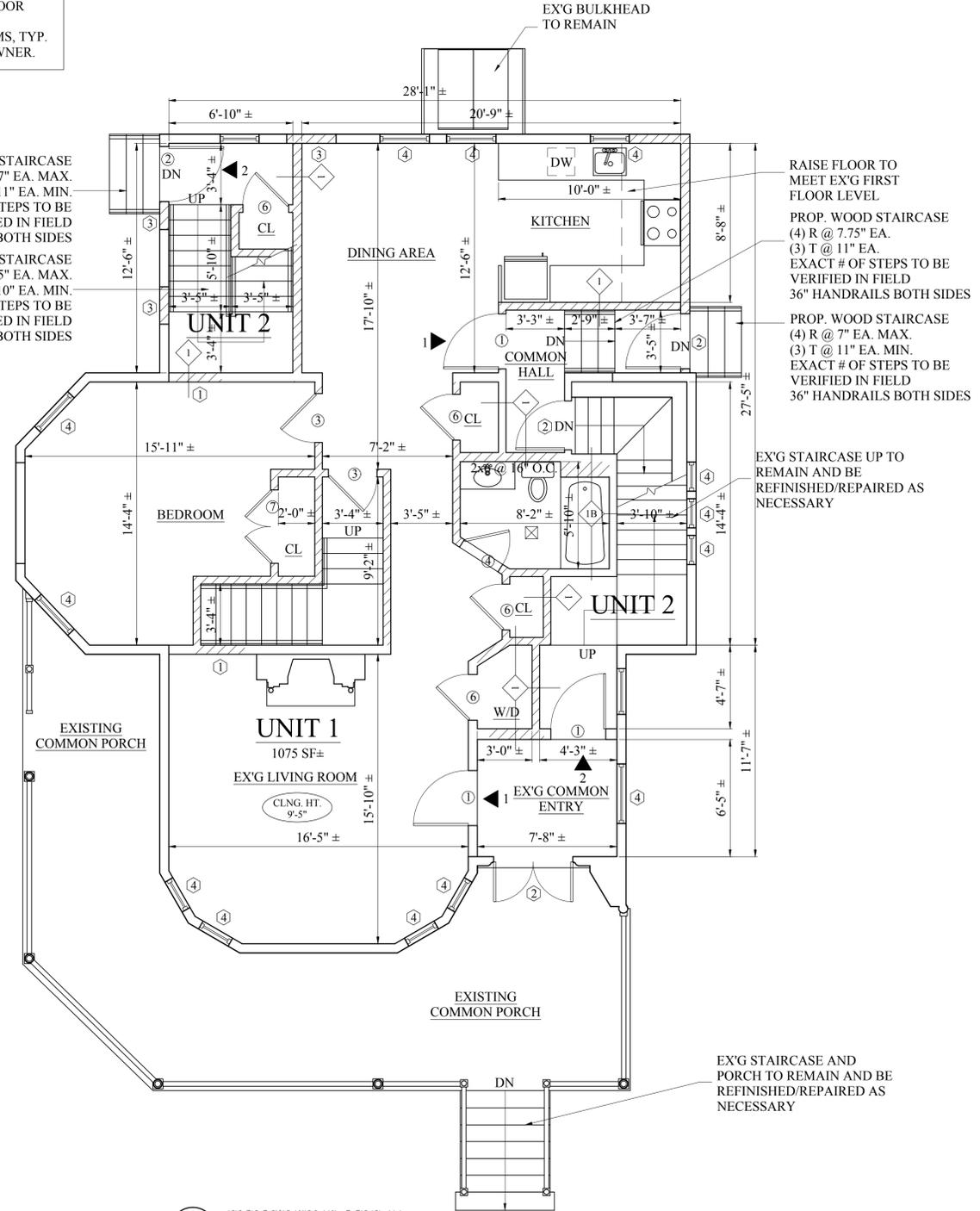
NOTES:

- ① INFILL DOOR OPENING TO MATCH EX'G MATERIALS, TYP.
 - ② EX'G DOOR TO REMAIN/BE REPLACED
 - ③ INFILL WINDOW OPENING TO MATCH EX'G MATERIALS, TYP.
 - ④ EX'G WINDOW TO REMAIN/BE REPLACED
 - ⑤ REPLACE EX'G WINDOW WITH DOOR
- NEW THRESHOLD AT BATHROOMS, TYP.
 VERIFY COLOR/MATERIAL W/ OWNER.



1 PROPOSED BASEMENT FLOOR PLAN
 1/4" = 1'-0"

HUMBOLDT AVENUE



2 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

HUMBOLDT AVENUE

Location
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PROPOSED FLOOR PLANS

Sheet No.
A-1.1

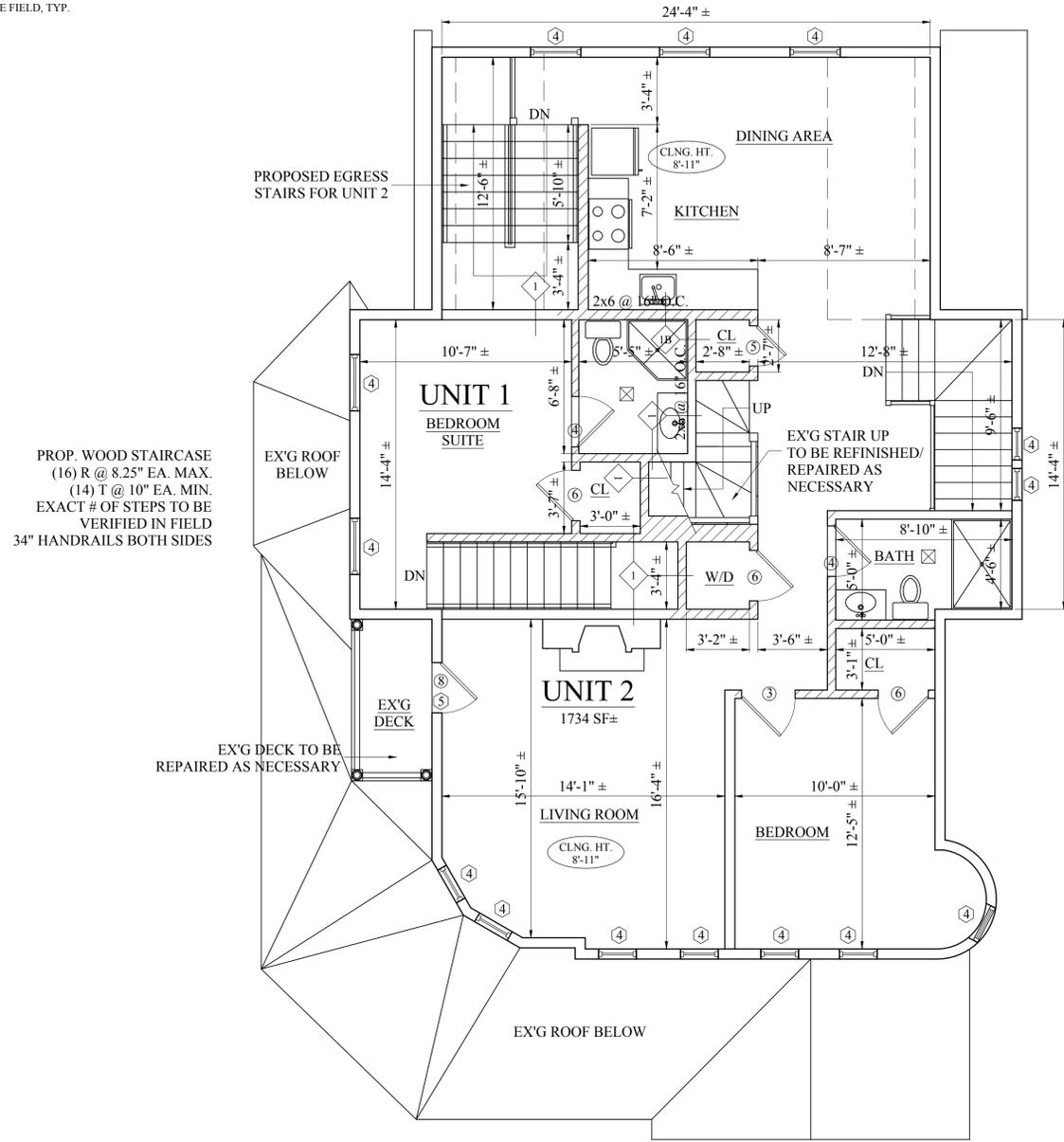
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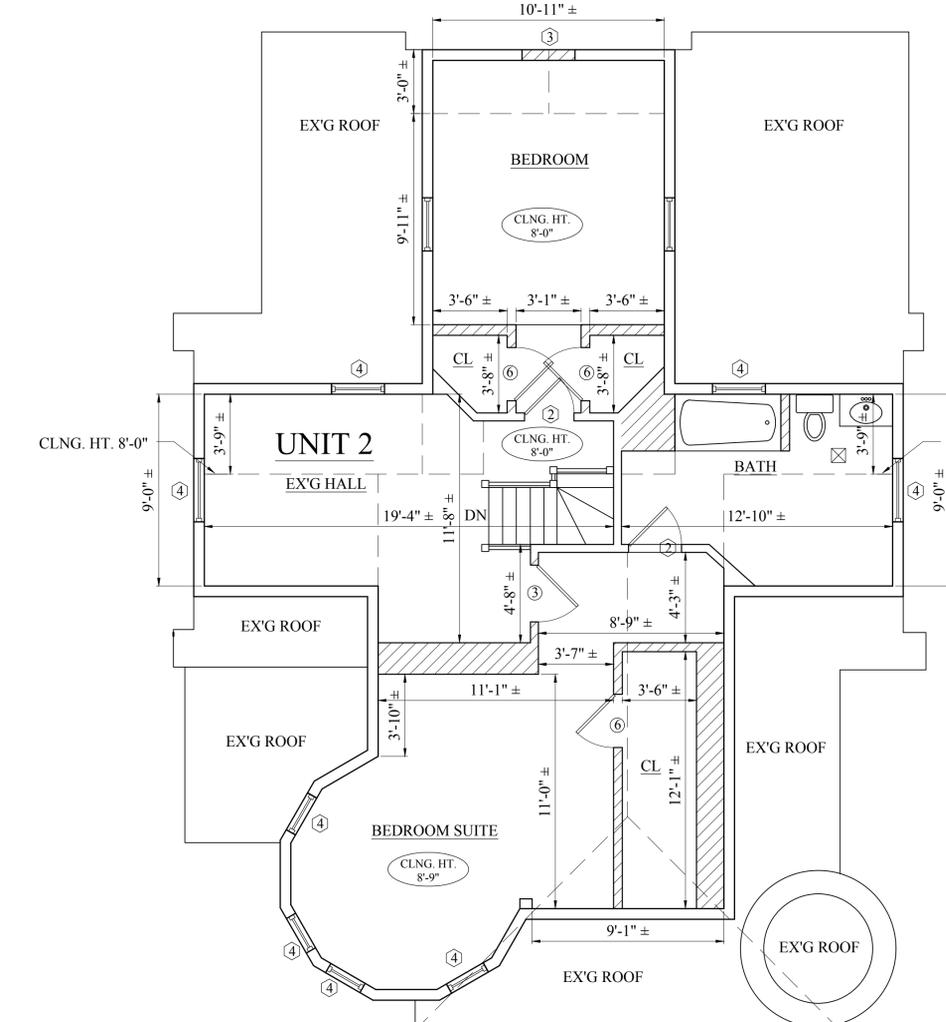
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 - ⑤ REPLACE EX'G WINDOW WITH DOOR
- NEW THRESHOLD AT BATHROOMS, TYP.
 VERIFY COLOR/MATERIAL W/ OWNER.



1 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN
 1/4" = 1'-0"

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PROPOSED FLOOR PLANS

Sheet No.
A-1.2

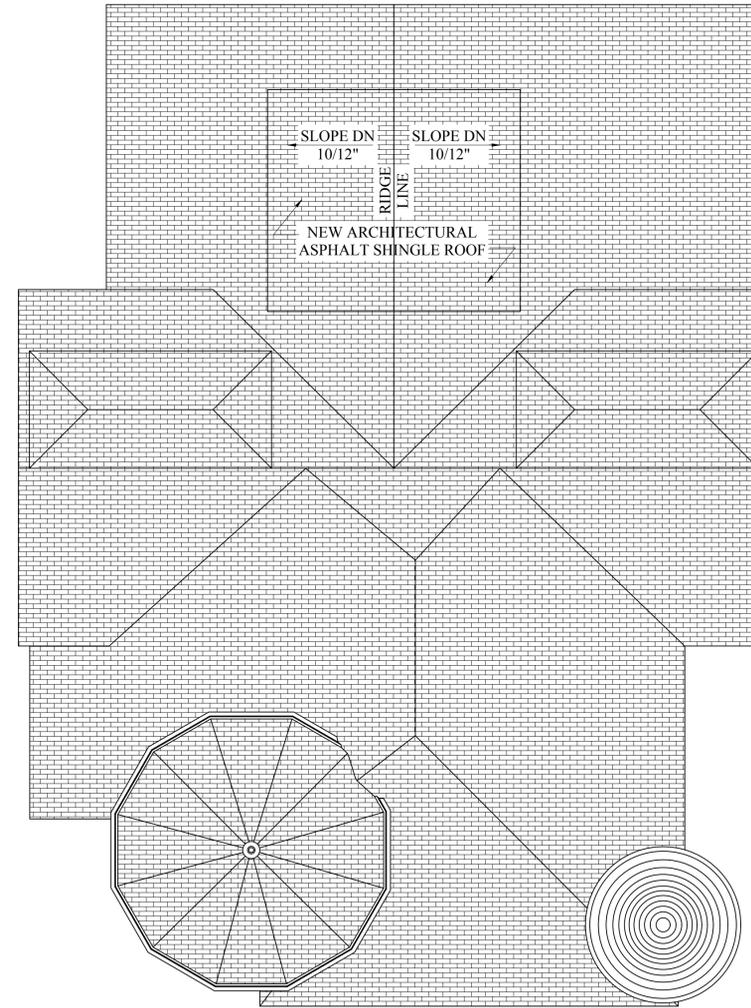
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— HUMBOLDT AVENUE —

1 PROPOSED THIRD FLOOR PLAN
 1/4" = 1'-0"

Location
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Drawing Name
**PROPOSED
 FLOOR PLANS**

Sheet No.
A-1.3

Location
**RENOVATION AND CHANGE
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 175 HUMBOLDT AVENUE
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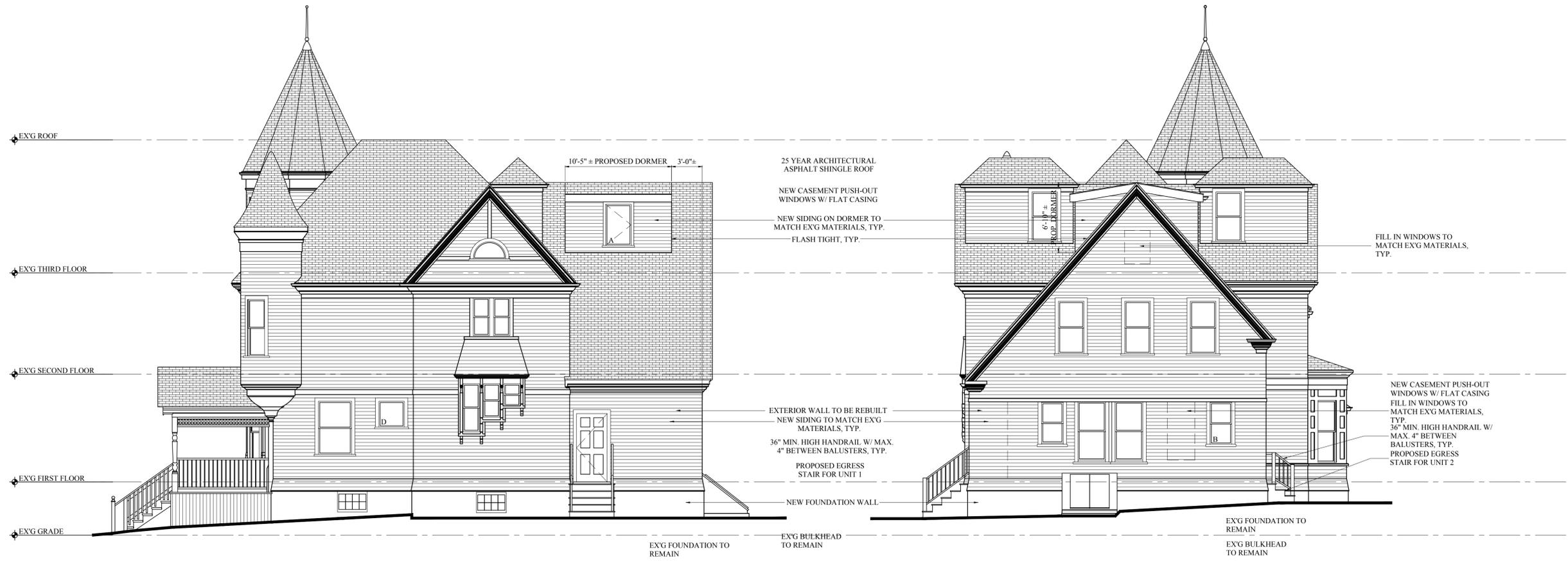
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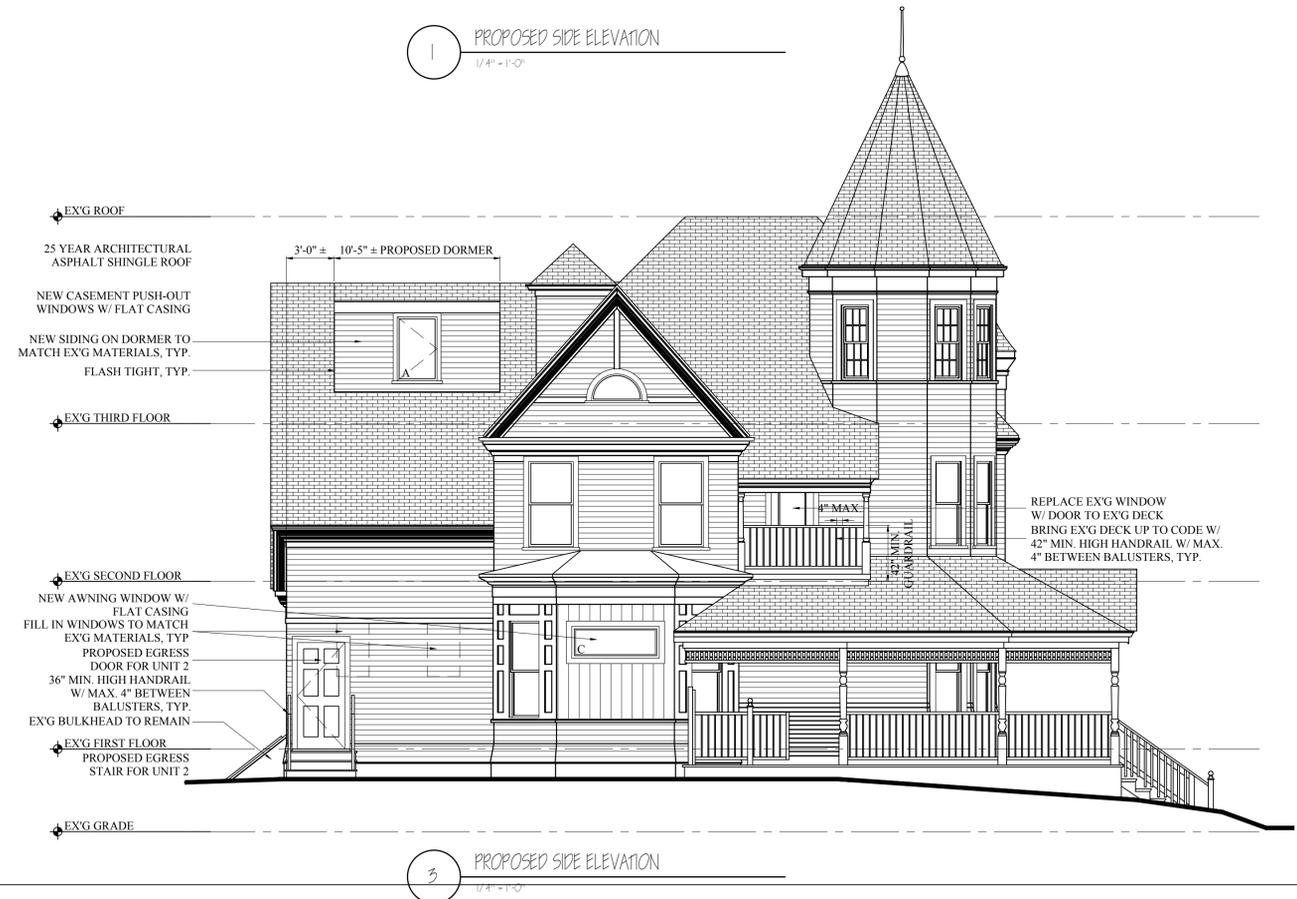
Drawing Name
**PROPOSED
 ELEVATIONS**

Sheet No.
A-2.1



1 PROPOSED SIDE ELEVATION
 1/4" = 1'-0"

2 PROPOSED REAR ELEVATION
 1/4" = 1'-0"



3 PROPOSED SIDE ELEVATION
 1/4" = 1'-0"

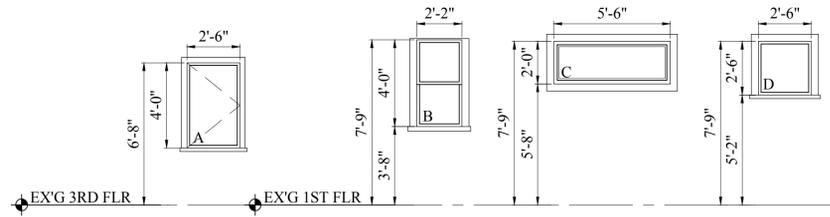
WINDOW SCHEDULE

NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	SILL HEIGHT	HEAD HEIGHT	REMARKS
A	MARVIN OR SIM.	CUPCA2848E	2	2'-5" x 3'-11 5/8"	2'-8" ±	6'-8" ±	CASEMENT PUSHOUT, 4" WOOD TRIM, EGRESS WINDOW
B	MARVIN OR SIM.	CUDH-NG2020	1	2'-2 1/4" x 4'-0"	3'-8" ±	7'-9" ±	DOUBLE HUNG, 4" WOOD TRIM
C	MARVIN OR SIM.	CUAWN6424	2	5'-5" x 1'-11 5/8"	5'-8" ±	7'-9" ±	AWNING FIXED PANE, 4" WOOD TRIM
D	MARVIN OR SIM.	CUAWN3032	1	2'-7" x 2'-7 5/8"	5'-2" ±	7'-9" ±	AWNING FIXED PANE, 4" WOOD TRIM

* GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES IN THE FIELD PRIOR TO ORDERING
 * PROVIDE HALF SCREENS ON TRACKS, WHITE FINISH HARDWARE, COLOR SELECTED BY OWNER
 * NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.

WINDOW NOTES:

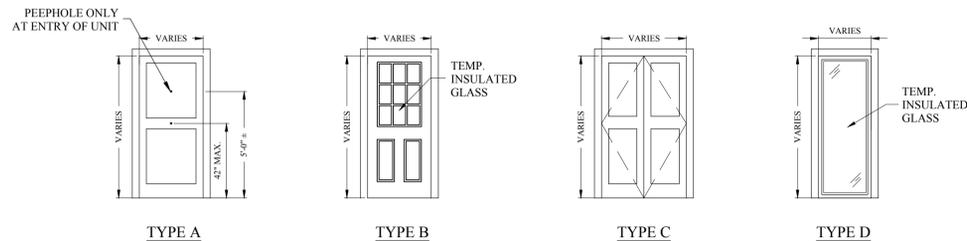
- ALL WINDOWS ARE BASED ON MARVIN WINDOW OR EQUAL MEASUREMENTS
- GLAZING TO BE LOW-E TYPE
- ALL WINDOWS TO INCLUDE INSECT SCREENING PER MANUFACTURER
- DIMENSIONS SHOWN ARE BASED ON ROUGH OPENINGS. GC TO COORDINATE ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURERS THAT COMPLY W/ ASTM F2090
- PROVIDE WINDOW OPENING CONTROL DEVICE



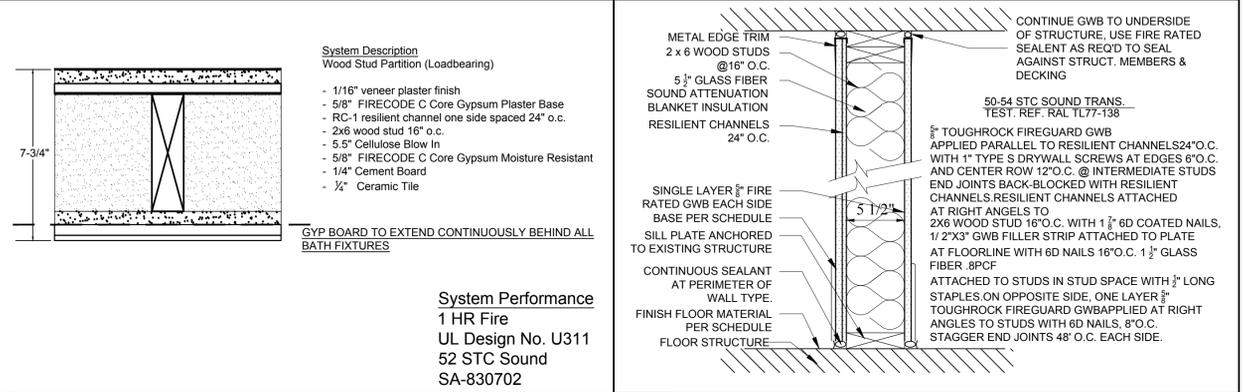
DOOR SCHEDULE

#	SIZE	MATERIAL	RATING	TYPE	FRAME	HARDWARE	REMARKS
1	3'-0" x 6'-8" x 1 3/4"	COMP. OR WOOD	60 MIN.	A	WOOD	UNIT ENTRY	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
2	3'-0" x 6'-8" x 1 3/4"	COMP. OR WOOD	-	B	WOOD	EXT. UNIT ENTRY	GLAZED PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
3	2'-8" x 6'-8" x 1 3/4"	COMP. OR WOOD	-	A	WOOD	BED / BATH	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
4	2'-6" x 6'-8" x 1 3/4"	COMP. OR WOOD	-	A	WOOD	BED / BATH	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
5	2'-0" x 6'-8" x 1 3/4"	COMP. OR WOOD	-	A	WOOD	CLOSET	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
6	2'-6" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	A	WOOD	CLOSET	PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
7	(2) 2'-0" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	C	WOOD	CLOSET	PAIR OF PANEL DOORS, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER
8	2'-6" x 6'-8" x 1 3/8"	COMP. OR WOOD	-	D	WOOD	EXT. DOOR	GLAZED PANEL DOOR, SMOOTH FINISH, PAINTED, STYLE/HARDWARE SELECTED BY OWNER

* GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES IN THE FIELD PRIOR TO ORDERING
 * NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.
 * NOTE DOOR STYLE, COLOR & HARDWARE FINISH TO BE SELECTED BY OWNER, ALL HARDWARE TO MATCH

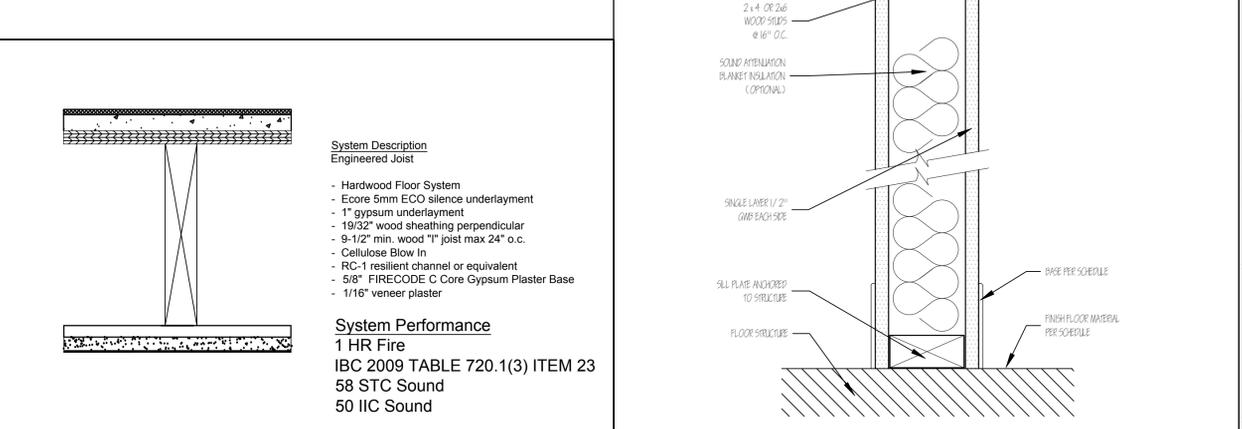


WALL ASSEMBLIES



1B	1 HR PARTITION BATH / WOOD BEARING STC +50 SCALE: 3"=1'-0"	1	1 HR PARTITION - WOOD STUD DESIGN # U304 SCALE: 1 1/2"=1'-0"
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FLOOR/CEILING ASSEMBLIES



1F	1 HR FLOOR ASSEMBLY - +50 STC SCALE: 3"=1'-0"	0	TYPICAL PARTITION - WOOD STUD SCALE: 3"=1'-0"
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Location
**RENOVATION AND CHANGE
 OF USE FROM 1 TO 2 FAMILY
 175 HUMBOLDT AVENUE
 ROXBURY, MA 02121**

Choo & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

No.	Revision Date
	02-13-2020

Project No: 19335
 Scale: AS NOTED
 Date: 01-31-2020
 Drawn By: DRM

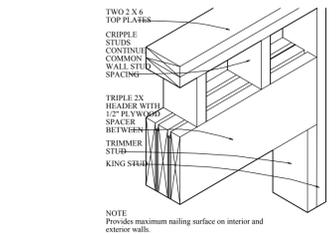
Drawing Name
**SCHEDULES &
 WALL/FLOOR
 ASSEMBLIES**

Sheet No.
A-3.1

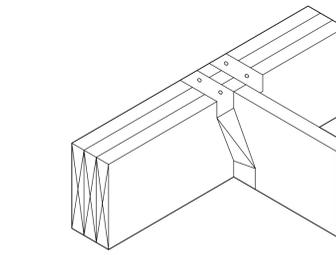
RECOMENDED FASTENING SCHEDULE

BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
STUD TO SOLE PLATE	8D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
STUD TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE STUDS	10D COMMON	12" O.C. DIRECT
CORNER STUDS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	16" O.C.
DOUBLE CAP PLATE	10D COMMON	16" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
RIBBON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
RIBBON STRIP, 6" OR MORE	10D COMMON	5 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	3 TOE-NAIL
JACK RAFTER TO RIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HP	10D COMMON 16D COMMON	3 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO STUDS (NO CEILING JOISTS)	10D COMMON 16D COMMON	5 DIRECT OR 3 DIRECT
FLOOR JOISTS TO STUDS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO SILL OR GIRDER	3D COMMON	3 TOE-NAIL
LEDGER STRIP	16D COMMON	5 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	3 TOE-NAIL
CEILING JOISTS (LAPS OVER PARTITION)	10D COMMON	3 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	5 DIRECT
COLLAR BEAM	10D COMMON	3 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO STUD AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
TAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 4 50. FT. FLOOR AREA
HEADER BEAMS TO TRIMMERS	20D COMMON	1 EACH END 50. FT. FLOOR AREA
1" ROOF BRACING (COVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 3 EACH DIRECT RAFTER
1" SLEEPING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SLEEPING (8" OR MORE)	8D COMMON	3 EACH DIRECT JOIST
2" SLEEPING	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (8" OR LESS IN WIDTH)	8D COMMON	2 EACH DIRECT STUD
1" WALL SHEATHING (COVER 8" IN WIDTH)	8D COMMON	3 EACH DIRECT STUD
PLYWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/16", 3/8", OR 1/2") (COVER 6" IN WIDTH)	8D COMMON 8D COMMON 16 GAUGE GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN LENGTH OF 1" PLUS PLYWOOD THICKNESS SAME AS IMMEDIATELY ABOVE	6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 9" O.C. INTERMEDIATE
PLYWOOD SLEEPING (1/2") (5/8", 3/4") (1", 1 1/8") (1 1/2") (3/8")	8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 10D COMMON OR 8D RING SHANK OR 8D ANNULAR OR SPIRAL THREAD 16D GALVANIZED WIRE STAPLES 3/8" MINIMUM CROWN, 1 3/8" LENGTH	6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE 4" O.C. EDGES & 7" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
BUILT-UP GIRDERS AND BEAMS	20D COMMON	52" O.C. DIRECT
CONTINUOUS HEADER TO STUD	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PICES	16D COMMON	16" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 5/8" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GYPSUM SHEATHING	12 GAUGE 1 5/8" LARGE HEAD CORROSION-RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAYMENT (1/4"-5/4")	8D ANNULAR THREADED	6" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING 1/2" OR LESS	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SLEEPING (5/8" OR GREATER)	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHINGLES, WOOD	NO. 14 8x5 GAGE CORROSION RESISTIVE	2 EACH BEARING
WEATHER BOARDING	8D CORROSION	2 EACH BEARING

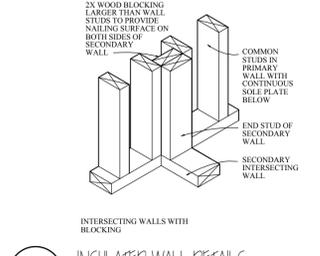
NOTE: SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 5/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN 780 CMR 1229.4.4.



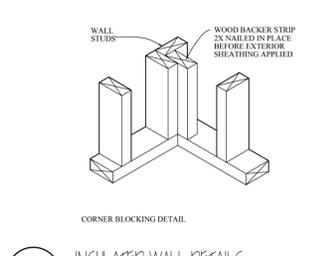
2X6 BEARING WALL HEADER DETAIL
N5



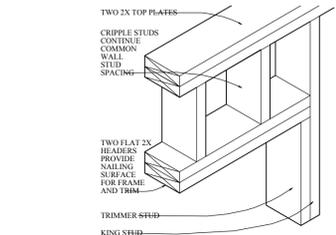
WOOD JOISTS SUPPORTED ON WOOD GIRDERS
1"-1'-0"



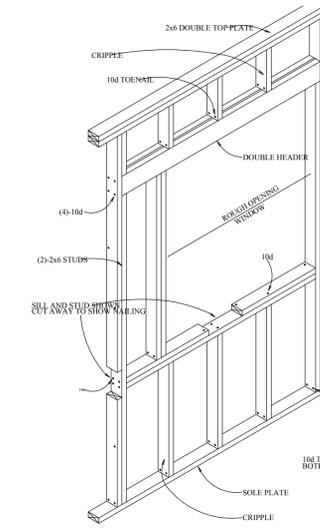
INSULATED WALL DETAILS
1"-1'-0"



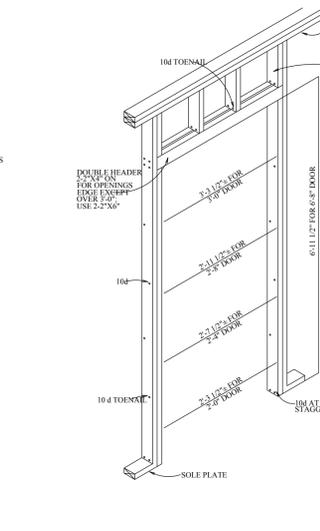
INSULATED WALL DETAILS
1"-1'-0"



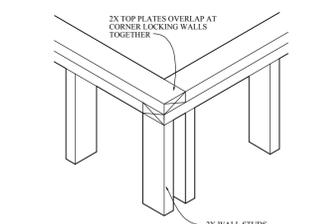
2X PARTITION WALL HEADER DETAIL
N5



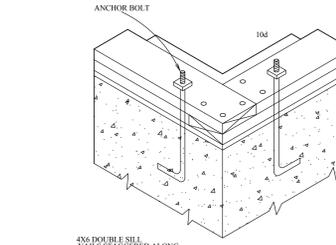
WINDOW OPENING DETAIL
1"-1'-0"



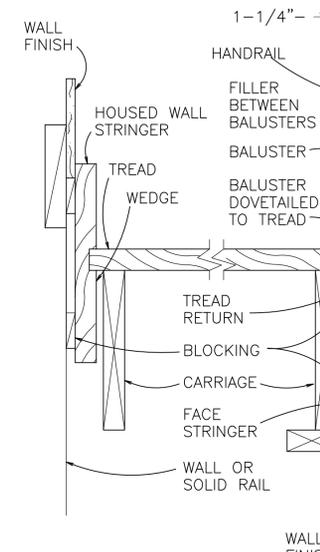
DOOR OPENING DETAIL
1"-1'-0"



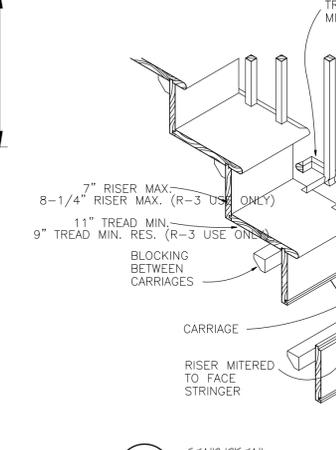
TOP PLATE FRAMING DETAIL
N5



SILL FOR PLATFORM FRAMING DETAIL
1"-1'-0"



STAIR DETAIL
N5



STAIR DETAIL
N5

Location
RENOVATION AND CHANGE OF USE FROM 1 TO 2 FAMILY
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ROXBURY, MA 02121

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No.	Revision Date

Project No: **19335**
Scale: **AS NOTED**
Date: **01-31-2020**
Drawn By: **DRM**

Drawing Name
TYPICAL DETAILS

Sheet No.
A-3.2