

PROPOSAL

*Boston Planning & Development Agency (“the BPDA”),
and the Mayor’s Office of Housing (“MOH”)*

RFP 21-29 Fernboro Street, Boston



MARCH 11, 2024

AMBRY
DEVELOPMENT

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AMBRY

DEVELOPMENT

Teresa Polhemus
Executive Director/Secretary
Boston Planning & Development Agency
12 Channel Street, Suite 901
Boston, MA 02110
Re: 21-29 Fernboro Street Project RFP Submission

Dear Teresa Polhemus,

Ambry Development Group, LLC (“Ambry”) is pleased to submit this proposal for 21-29 Fernboro Street RFP Submission (the “Proposed Project”). The proposed development consist of five (5) contiguous vacant parcels in Boston, Massachusetts, would develop twelve (12) newly constructed mixed-income, affordable homeownership units that align with the aim of the Boston Planning & Development Agency (“BPDA”) and the City of Boston Mayor’s Office of Housing (“MOH”), consisting of four (4) of such units reserved for households earning at or below 80% of the area median income (“AMI”), four (4) of such units reserved for households earning at or below 100% AMI, and four (4) of such units at market rate. This proposal is driven by the core principles of creating innovative housing solutions to address the need for affordable homeownership opportunities and bringing people together in a livable Dorchester neighborhood.

The Proposed Project will revitalize vacant city-owned parcels to create an aesthetically pleasing building appropriate in massing, scale, and design in the Dorchester neighborhood. Further, it will help facilitate the goals of the Boston 2030 Report: *Housing a Changing City* by creating twelve (12) residential homeownership units, consisting of four (4) three-bedroom units and eight (8) two-bedroom units.

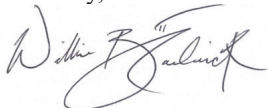
We are excited to present a team that is majority minority-owned, which consists of Janey Construction Management, Social Impact Collective, BP Designs, Brown Rudnick LLP, Hawthorne Property Management, RDH Building Science, Inc., and Bento Real Estate Group. This team is committed to providing economic opportunities to Boston residents throughout the project's development, construction, and operational phases of this project. Ambry plans to meet and exceed the goals of:

- At least 51% of the total work hours go to Boston residents
- At least 40% of the total work hours go to people of color
- At least 12% of the total work hours go to women

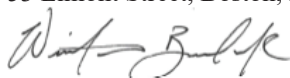
With this proposal, Ambry hopes to create a high-quality innovative project that exceeds the community's desires and prioritizes green strategies, and development without displacement. We welcome the opportunity to work with the BPDA, MOH, and the residents of Boston, and Fernboro Street to bring this project from conception to completion.

Thank you for your consideration and this exciting opportunity.

Sincerely,



Willie Bodrick, II, J.D., M.Div.
Principal
Ambry Development Group, LLC
(404)234-4452
willie.bodrick@ambrydevelopment.com
53 Belmont Street, Boston, MA 02121



Winston Bodrick, J.D.
Principal
Ambry Development Group, LLC
(404)405-6534
winston.bodrick@ambrydevelopment.com
23 Moreland Street, Unit 2, Boston, MA 02119

INTRODUCTIONS

DEVELOPMENT TEAM

INTRODUCTIONS



Willie Bodrick, II, Principal - Ambry



Winston Bodrick, Principal - Ambry

INTRODUCTION

Ambry Development Group, LLC (“Ambry”) is pleased to submit this proposal for the development of the Boston Planning & Development Association (“BPDA”) and the Mayor’s Office of Housing’s (“MOH”) property located at 21-29 Fernboro Street (“Project”), in the Brunswick King Urban Renewal Area in the Dorchester neighborhood of the City of Boston.

Ambry is a minority-owned development firm committed to creating sustainable and inclusive communities through innovative real estate projects. Our vision is to revitalize underserved neighborhoods, enhance economic opportunities, foster social equity, and increase generational wealth creation. We are passionate about leveraging our expertise to create positive change and generate meaningful returns for our community.

As conscientious developers, our model ensures that we develop in a way that is resource-aware, environmentally conscious, and sustainable to strengthen communities through acquiring, developing, constructing, and rehabilitating undeveloped, distressed, and undervalued real estate assets within the Boston City limits and the Commonwealth of Massachusetts.

Ambry differentiates itself through its commitment to inclusivity, sustainability, and community impact. Ambry's conscientious method is rooted in a comprehensive effort to use development as a vehicle to close the wealth gap and create generational wealth opportunities, including but not limited to economically disadvantaged populations. This belief is the foundation of Ambry's purpose and mission to diligently work on behalf of communities to economically participate, achieving financial and social outcomes.

21-29 Fernboro Street consists of five (5) vacant residential parcels located close to the vibrant Grove Hall commercial district which serves as a connector between the Roxbury and Dorchester neighborhoods. Nestled within this diverse neighborhood is a thriving diverse community that celebrates its rich cultural heritage and embraces its residents with open arms. The Grove Hall commercial district is one of Boston's busiest commercial districts, surrounded by numerous recreational and historical sites, including, the Franklin Park Zoo, and the William J. Devine Golf Course. This commercial district is walkable to local primary and middle schools and is conveniently located on several bus lines.

We are very interested in working with and alongside community members to develop affordable homeownership opportunities in this area which will provide an invaluable opportunity for individuals and families to call this lively community their home. We believe our proposal is thoughtfully designed, carefully considering the desires of the community, and priced to ensure accessibility, to create a harmonious balance between affordability and quality living. We also believe our proposal will surpass many of the goals outlined by the BPDA and MOH.

We aim to ensure that this Project is planned, designed, constructed, and managed to minimize adverse environmental impact; conserve natural resources; promote sustainable development; and enhance the quality of life for the residents of this neighborhood and in Boston.

Built along the City of Boston's Resiliency and GHG emissions reduction goals, including Neutral Boston 2050, we aim to design this Project to prioritize passive system strategies to reduce energy consumption, including energy conservation measures toward net zero/zero carbon emissions.

We envision a neighborhood that not only provides affordable homeownership options but also demonstrates a deep commitment to ecological sensitivity and sustainability. With this vision in mind, our approach to developing affordable housing embraces principles that harmonize with the natural environment and minimize our ecological footprint. By incorporating green spaces into our design, we aim to create a balanced environment where residents can connect with nature, fostering a sense of well-being and community. Our affordable homeownership units will be designed to optimize energy efficiency. Through thoughtful architectural design, insulation techniques, and the use of sustainable materials, we strive to reduce energy consumption and promote a greener lifestyle. Energy-efficient strategies will be incorporated to minimize environmental impact while providing cost-saving benefits to residents. We aim to create an ecologically conscious neighborhood that supports the well-being of both residents and the environment.

Ambry is a Massachusetts Limited Liability Company, headquartered in Roxbury. Ambry is managed by Willie Bodrick, II, J.D., MDiv, Principal; and Winston Bodrick, J.D., M.A., Principal. As a minority-owned company, Ambry aims to foster diversity and inclusivity within the industry and empower underrepresented communities. Willie Bodrick, II serves as the Vice President of the Second African Meeting House ("SAMH"), which oversees twenty residential affordable housing units and two commercial units. Both Principals have a combined decade of serving on the SAMH Board of Directors. Most recently, Ambry submitted a proposal for the development of the Mayor's Office of Housing Welcome Home, Boston properties located at 34 Wales Street and Unnumbered Park Street, in the Mattapan and Dorchester neighborhoods of the City of Boston. The proposed plan consists of an 18-unit mixed-income housing project on two non-contiguous parcels in Boston, Massachusetts. The proposed development would include eighteen (18) homeownership units, with nine (9) of such units reserved for households earning at or below 80% AMI and nine (9) of such units

reserved for households earning at or below 100% AMI.

Previously, Ambry submitted a proposal for 34 Athelwold Street to the Mayor's Office of Housing during the summer of this year. The proposal consisted of a newly constructed three-family development that offered homeownership opportunities comprising one-third of the units at 80% Area Median Income ("AMI"), one-third of the units at 100% AMI, and one-third of the units at market rate. In 2017, Ambry d.b.a. Bodrick Development Partners, along with architect Irena Matulic, proposed "Doma Homes" for the Garrison Trotter Housing Innovation Competition. This design was a combination of varied elements, including a two-bedroom, a one-bedroom, and a 360-square-foot micro-unit studio. The design was structured to create a flexible set of options that could allow an owner to live in one unit and rent out the others, helping to create home ownership as the city's triple-deckers have historically done.

Developing successful affordable homeownership opportunities in the Brunswick King area of Dorchester is pivotal to reducing Boston's housing crisis and issues impacting housing affordability. Ambry values the importance of working with community members to develop and design homeownership opportunities, commercial growth, and green space in a manner that will contribute to the economic growth of each area to ensure their sustainability and economic prosperity. We are pleased to partner with:

SOCIAL IMPACT COLLECTIVE (INC) – An MBE architecture and design firm with a community-based design approach through local stakeholder engagement.

JANEY CONSTRUCTION MANAGEMENT – An award-winning construction and management company with over 35 years of delivering high-quality projects.

BROWN RUDNICK LLP – A Boston-based law firm designed for speed and performance, with representation in key financial centers, including New York, London, California, and Washington, D.C.

RDH BUILDING SCIENCE, INC. – Since 1997, RDH Building Science, Inc. has worked to achieve energy and sustainability goals for their buildings.

BP DESIGNS – Founded by Bertha Pantoja, BP Designs provides innovative landscape architectural services that transform outdoor environments into elegant, sustainable living spaces. Ms. Pantoja is an MA-registered landscape architect with design expertise gained over 15 years of project-based and teaching experience in Greater Boston and Mexico.

BENTO REAL ESTATE GROUP – A woman-owned real estate firm dedicated to providing personalized and expert guidance through every facet of the real estate journey.

HAWTHORNE PROPERTY MANAGEMENT GROUP – HPMG is a minority-owned, full-service property management company that facilitates the management of your properties and optimizes their value. HPMG's mission is to optimize the lifestyle, increase property value, and maximize the quality of life of our clients (residents, landlords, investors, employees & vendors).

LITIGATION / MATTERS

The proponent and all principals have not been subject to any lawsuits.

TEAM PRINCIPALS & DEVELOPER'S REFERENCES

Developer Principals:

Willie Bodrick, II
Principal- Ambry

Winston Bodrick
Principal -Ambry

CONSULTANTS & CONTRACTORS

Architecture- Social Impact Collective (SIC)

H.Killion Mokwete

Principal - Social Impact Collective (SIC)

Michael Chavez
Principal - Social Impact Collective (SIC)

Designer- Social Impact Collective (SIC)

Landscape Architecture

Bertha Pantoja, BP Designs

Energy Consultant

Andrew Steingiser, RDH Science Inc.

Contractors- JANEY Gregory Janey, CCM-
President & Ceo: Janey

Eurick Dorsett, Project Executive- Janey

Angelo Mcrae Superintendent: Janey

Fernando Ruiz-Esparza, Senior Project
Manager- Janey

Harris Hogu, Cmit, CM-BIM, Project Con-
trol Coordinator-Janey

Legal Consultant

Alvin Benjamin CARTER III-brownrudick

Samuel P. Williams, Partner, brownrudick

Property Management, Wilton DeVonn
Baker, Founder & President - Hawthorne
Property Management Group

Marketing Consultant, Darcy Bento
Owner & Broker - Bento Real Estate Group



PERMITS / LICENSES

Delaware

The First State

Page 1

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF FORMATION OF "AMBRY DEVELOPMENT GROUP, LLC", FILED IN THIS OFFICE ON THE FOURTEENTH DAY OF NOVEMBER, A.D. 2022, AT 8:36 O`CLOCK A.M.




Jeffrey W. Bullock, Secretary of State

7132878 8100
SR# 20224003579

You may verify this certificate online at corp.delaware.gov/authver.shtml

Authentication: 204845476
Date: 11-14-22

State of Delaware
Secretary of State
Division of Corporations
Delivered 08:36 AM 11/14/2022
FILED 08:36 AM 11/14/2022
SR 20224003579 - File Number 7132878

CERTIFICATE OF FORMATION

OF

AMBRY DEVELOPMENT GROUP, LLC

FIRST: The name of the limited liability company is Ambry Development Group, LLC.

SECOND: The address of its registered office in the State of Delaware is: Corporation Trust Center, 1209 Orange Street, in the City of Wilmington, County of New Castle, Delaware, 19801. The name of its registered agent at such address is The Corporation Trust Company.

IN WITNESS WHEREOF, the undersigned has executed this Certificate of Formation this 11th day of November, 2022.

/s/ Willie Bodrick, II
Name: Willie Bodrick, II
Title: Authorized Person

F

The Commonwealth of Massachusetts

William Francis Galvin

Secretary of the Commonwealth

One Ashburton Place, Room 1717, Boston, Massachusetts 02108-1512

Foreign Limited Liability Company

Application for Registration

(General Laws Chapter 156C, Section 48)

Federal Identification No.: _____

(1a) The exact name of the limited liability company:

Ambry Development Group, LLC

(1b) If different, the name under which it proposes to do business in the Commonwealth of Massachusetts:

(2) The jurisdiction* where the limited liability company was organized:

Delaware

(3) The date of organization in that jurisdiction: November 14, 2022

(4) The general character of the business the limited liability company proposes to do in the Commonwealth:

To acquire, own, develop, construct, rehabilitate, renovate, improve, maintain, finance, manage, operate, lease, sell, convey, assign, mortgage and otherwise invest in and deal with real estate and entities owning real estate, and to carry on any related or unrelated lawful business, trade, purpose or activity.

(5) The business address of its principal office:

23 Moreland Street, Unit 1, Roxbury, MA 02119

(6) The business address of its principal office in the Commonwealth, if any:

23 Moreland Street, Unit 1, Roxbury, MA 02119

(7) The name and business address, if different from principal office location, of each manager:

Willie Bodrick, II
23 Moreland Street, Unit 1
Roxbury, MA 02119

Winston Lamar Bodrick
23 Moreland Street, Unit 1
Roxbury, MA 02119

(8) The name and business address of each person authorized to execute, acknowledge, deliver and record any recordable instrument purporting to affect an interest in real property recorded with a registry of deeds or district office of the land court:

NAME ADDRESS

Willie Bodrick, II
23 Moreland Street, Unit 1
Roxbury, MA 02119

Winston Lamar Bodrick
23 Moreland Street, Unit 1
Roxbury, MA 02119

(9) The name and street address of the resident agent in the Commonwealth:

Willie Bodrick, II
23 Moreland Street, Unit 1
Roxbury, MA 02119

(10) The latest date of dissolution, if specified: _____

(11) Additional matters:

Signed by (by at least one authorized signatory): /s/ Willie Bodrick, II

Willie Bodrick, II

I Willie Bodrick, II

resident agent of the above limited liability company, consent to my appointment as resident agent pursuant to G.L. c156C § 48 (or attach resident agent's consent hereto).

** Attach a certificate of existence or good standing issued by an officer or agency properly authorized in home state.*

Delaware

The First State

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "AMBRY DEVELOPMENT GROUP, LLC" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE FIFTH DAY OF JANUARY, A.D. 2023.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN ASSESSED TO DATE.



Jeffrey W. Bullock, Secretary of State

7132878 8300

SR# 20230040290

You may verify this certificate online at corp.delaware.gov/authver.shtml

Authentication: 202428950

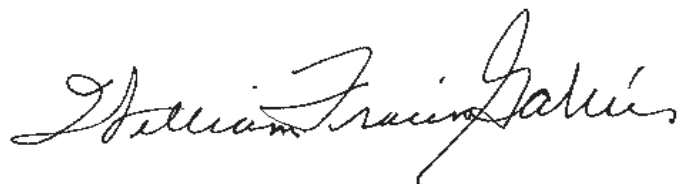
Date: 01-05-23

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are

deemed to have been filed with me on:

January 05, 2023 01:42 PM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, prominent initial "W".

WILLIAM FRANCIS GALVIN

Secretary of the Commonwealth

Date of this notice: 11-14-2022

Employer Identification Number:
92-1026583

Form: SS-4

Number of this notice: CP 575 B

AMBRY DEVELOPMENT GROUP LLC
WILLIE BODRICK II MBR
23 MORELAND ST UNIT 1
ROXBURY, MA 02119

For assistance you may call us at:
1-800-829-4933

IF YOU WRITE, ATTACH THE
STUB AT THE END OF THIS NOTICE.

WE ASSIGNED YOU AN EMPLOYER IDENTIFICATION NUMBER

Thank you for applying for an Employer Identification Number (EIN). We assigned you EIN 92-1026583. This EIN will identify you, your business accounts, tax returns, and documents, even if you have no employees. Please keep this notice in your permanent records.

Taxpayers request an EIN for their business. Some taxpayers receive CP575 notices when another person has stolen their identity and are opening a business using their information. If you did **not** apply for this EIN, please contact us at the phone number or address listed on the top of this notice.

When filing tax documents, making payments, or replying to any related correspondence, it is very important that you use your EIN and complete name and address exactly as shown above. Any variation may cause a delay in processing, result in incorrect information in your account, or even cause you to be assigned more than one EIN. If the information is not correct as shown above, please make the correction using the attached tear-off stub and return it to us.

Based on the information received from you or your representative, you must file the following forms by the dates shown.

Form 1065

03/15/2023

If you have questions about the forms or the due dates shown, you can call us at the phone number or write to us at the address shown at the top of this notice. If you need help in determining your annual accounting period (tax year), see Publication 538, *Accounting Periods and Methods*.

We assigned you a tax classification (corporation, partnership, estate, trust, EPMF, etc.) based on information obtained from you or your representative. It is not a legal determination of your tax classification, and is not binding on the IRS. If you want a legal determination of your tax classification, you may request a private letter ruling from the IRS under the guidelines in Revenue Procedure 2020-1, 2020-1 I.R.B. 1 (or superseding Revenue Procedure for the year at issue). Note: Certain tax classification elections can be requested by filing Form 8832, *Entity Classification Election*. See Form 8832 and its instructions for additional information.

A limited liability company (LLC) may file Form 8832, *Entity Classification Election*, and elect to be classified as an association taxable as a corporation. If the LLC is eligible to be treated as a corporation that meets certain tests and it will be electing S corporation status, it must timely file Form 2553, *Election by a Small Business Corporation*. The LLC will be treated as a corporation as of the effective date of the S corporation election and does not need to file Form 8832.

IMPORTANT REMINDERS:

- * Keep a copy of this notice in your permanent records. This notice is issued only one time and the IRS will not be able to generate a duplicate copy for you. You may give a copy of this document to anyone asking for proof of your EIN.
- * Use this EIN and your name exactly as they appear at the top of this notice on all your federal tax forms.
- * Refer to this EIN on your tax-related correspondence and documents.
- * Provide future officers of your organization with a copy of this notice.

Your name control associated with this EIN is AMBR. You will need to provide this information along with your EIN, if you file your returns electronically.

Safeguard your EIN by referring to Publication 4557, Safeguarding Taxpayer Data: A Guide for Your Business.

You can get any of the forms or publications mentioned in this letter by visiting our website at www.irs.gov/forms-pubs or by calling 800-TAX-FORM (800-829-3676).

If you have questions about your EIN, you can contact us at the phone number or address listed at the top of this notice. If you write, please tear off the stub at the bottom of this notice and include it with your letter.

Thank you for your cooperation.

Keep this part for your records. CP 575 B (Rev. 7-2007)

Return this part with any correspondence so we may identify your account. Please correct any errors in your name or address.

CP 575 B

9999999999

Your Telephone Number Best Time to Call
() -

DATE OF THIS NOTICE: 11-14-2022
EMPLOYER IDENTIFICATION NUMBER: 92-1026583
FORM: SS-4 NOBOD

INTERNAL REVENUE SERVICE
CINCINNATI OH 45999-0023
llllllllllllllllllllllllllllllllllllll

AMBRY DEVELOPMENT GROUP LLC
WILLIE BODRICK II MBR
23 MORELAND ST UNIT 1
ROXBURY, MA 02119

Full Formation Documents available at the BPDA's request: Articles of Incorporation; Certificate of Status/Good Standing; Certificate of Incorporation; By-laws; Certificate of Organization; and Certificate of Registration.



Willie Bodrick, II
Principal

EDUCATION

Northeastern University, Honorary Doctorate
Northeastern University School of Law, J.D.
Harvard Divinity School, M.Div.
Georgetown University, B.A.

Twelfth Baptist Church, Senior Pastor
The American City Coalition, President & CEO

OVERVIEW

Ambry Development Group, LLC (“Ambry”) is a Boston-based real estate development firm dedicated to the creation of healthy and inclusive communities by developing pathways to financial prosperity through residential and commercial development projects in Boston and throughout Massachusetts. Ambry centers maximizing affordable home ownership to as many residents as possible, without sacrificing the highest quality home, integrity of development, and community desires to create a thriving economic ecosystem.

Ambry values the importance of working with community members to develop and design home ownership opportunities, commercial growth, and green space in a manner that will contribute to the economic growth of each area to ensure their sustainability and economic prosperity. Ambry is a 100% minority-owned firm.

PROJECT EXPERIENCE

Willie Bodrick, II serves as the Vice President of the Second African Meeting House (“SAMH”), which oversees twenty residential affordable housing units and two commercial units, and has of served on the SAMH Board of Directors for over eight years. Most recently, Ambry submitted a proposal for 34 Athelwold Street to the Mayor’s Office of Housing during the summer of this year. The proposal consisted of a newly constructed three-family development that offered homeownership opportunities comprising one-third of the units at 80% Area Median Income (“AMI”), one-third of the units at 100% AMI, and one-third of the units at market rate. In 2017, Ambry d.b.a. Bodrick Development Partners, along with architect Irena Matulic, proposed “Doma Homes” for the Garrison Trotter Housing Innovation Competition. This design was a combination of varied elements, including a two-bedroom, a one-bedroom, and a 360-square-foot micro-unit studio. The design was structured to create a flexible set of options that could allow an owner to live in one unit and rent out the others, helping to create home ownership as the city’s triple-deckers have historically done.

ACCOLADES

2023 Boston Magazine 150 Most influential Bostonians | 2023 Get Konnected! Boston's Most Influential Men of Color 2023 Bloomberg-Harvard City Leadership Initiative Fellow 2022 | Harvard Business School Young American Leaders Program | BBJ 2021 40 Under 40 | Boston Chamber of Commerce & City Awake 2021 Ten Outstanding Young Leaders Award | The Boston Foundations 20 Leaders of the 2020s | Law Clerk & Summer Associate at Brown Rudnick LLP



willie.bodrick@ambrydevelopment.com
www.ambrydevelopment.com



Winston Bodrick
Principal

EDUCATION

Boston College Law School, J.D.
Dartmouth College, M.A.
Morehouse College, B.A.

OVERVIEW

Ambry Development Group, LLC (“Ambry”) is a Boston-based real estate development firm dedicated to the creation of healthy and inclusive communities by developing pathways to financial prosperity through residential and commercial development projects in Boston and throughout Massachusetts. Ambry centers maximizing affordable home ownership to as many residents as possible, without sacrificing the highest quality home, integrity of development, and community desires to create a thriving economic ecosystem.

Ambry values the importance of working with community members to develop and design home ownership opportunities, commercial growth, and green space in a manner that will contribute to the economic growth of each area to ensure their sustainability and economic prosperity. Ambry is a 100% minority-owned firm.

PROJECT EXPERIENCE

Winston Bodrick serves on the Board of Directors of the Second African Meeting House (“SAMH”), which oversees twenty residential affordable housing units and two commercial units. Most recently, Ambry submitted a proposal for 34 Athelwold Street to the Mayor’s Office of Housing during the summer of this year. The proposal consisted of a newly constructed three-family development that offered homeownership opportunities comprising one-third of the units at 80% Area Median Income (“AMI”), one-third of the units at 100% AMI, and one-third of the units at market rate. In 2017, Ambry d.b.a. Bodrick Development Partners, along with architect Irena Matulic, proposed “Doma Homes” for the Garrison Trotter Housing Innovation Competition. This design was a combination of varied elements, including a two-bedroom, a one-bedroom, and a 360-square-foot micro-unit studio. The design was structured to create a flexible set of options that could allow an owner to live in one unit and rent out the others, helping to create home ownership as the city’s triple-deckers have historically done.

ACCOLADES

Dartmouth College Presidential Fellow | 1L Legal Intern at Fidelity Investments | 1L Legal Intern at NASDAQ | Associate & Summer Associate at Kirkland & Ellis LLP | 3L Legal Intern at The Carlyle Group



Principal & Co-Founder

H. KILLION MOKWETE, RIBA

“My design believe is that architecture is rooted in society, and that the built environment affects our everyday actions and our understanding of cultural values, social relations, institutions, and the distribution of power”

Killion is Co-Founder of SIC and enjoys working in partnership with the communities & project stakeholders through open and honest collaborative processes. He seeks to promote and be involved in community driven architectural practice and also academic discourse that is informed by principles of Participative Action Research (PAR) and continues to seek methodologies that can balance effective community engagement and participation towards urban resilience as a guiding career principle.

PROFESSIONAL TENURE

2021- Present: Co-Founder Social Impact Collective (SIC)

2015-Present: Associate Teaching Professor, School of Architecture, Northeastern University (from 2025-2020 as Adjunct Professor)

2017-2019: Project Manager, Urban Design & Community Engagement, Build Health International

2015-2017: Architect, Shepley Bulfinch

2005-2009: Architecture, Building Design Partnership (BDP), London, UK

EDUCATION

MA Architecture + RIBA Part III (Chartered Architect), Portsmouth University, Portsmouth, UK / 2008 - 2009

AA Diploma in Architecture + RIBA Part II, Architectural Association, London, UK / 2005 - 2007

Bachelor of Arts Architecture + RIBA Part I, University of Plymouth / 2001 -2004

PROFESSIONAL AFFILIATIONS & ACTIVITIES

Royal Institute of British Chartered Architects (RIBA)

Boston Society of Architects (BSA), COMMUNITY + COLLABORATIVE DESIGN (C+CD) Advisory Committee Member

RELEVANT EXPERIENCES PROJECT SAMPLES

Sustainable Learning Village Community (SVLC), 2019-2021- Project Manager and Team lead for a feasibility and viability studies for the development of a new University in Haiti. Facilitated Community/Stakeholder engagements, co-creation sessions towards visioning, goals and developing campus design principles.

Haiti Development Institute (HDI)- Community Engagement Framework and capacity building, 2021-Present- Co-creating a community engagement framework for HDI's programme activities towards build communities by supporting local leaders, strengthening organizations, and connecting stakeholders for systemic impact in Arcahaie, Haiti.

Saint Rock Haiti Foundation (SBRHF) Capacity Building & Stakeholder Outreach Strategy -2021- Partner with SBHF and its internal team in Boston & Haiti to develop a capacity building strategy towards engagement, member outreach, business development and internal community strategy.

Re-imagining Downtown Uxbridge, 2020- Partnering with the Community of Uxbridge, MA, through the Central Massachusetts Regional Planning Commission (CMRCP) and BAC Gateway to develop visioning, goals, strategic actions for Uxbridge, MA's downtown area. This visioning urban strategy will lead to the assessment of the relocation of the town's Municipal Town Hall to an empty high school building.

Fond-des-Blancs Town Centre Community Masterplan, Sud Department Haiti, 2017-2019- Project Manager and Team Lead for the development of a Town Centre masterplan for the community of Fond-des-Blancs through a participative and community engagement urban design and planning principles.

University of Global Health Equity (UGHE) Masterplanning- Butaro, Rwanda 2015-2017



Principal & Co-Founder

MICHAEL CHAVEZ, NCARB, NOMA, LEED AP

Michael is the Principal & Co-Founder of Social Impact Collective, Inc. His experience includes design and project management of affordable housing, community asset building, commercial design for small businesses and nonprofits, and youth program oversight.

Michael was also an Enterprise Rose Architectural Fellow where he worked with the Fairmount/Indigo Line CDC Collaborative to spearhead a sustainable, smart growth agenda along the 9-mile Fairmount commuter rail line in Boston, MA. Additionally, while at YouthBuild Boston, Michael launched the Commonwealth of Massachusetts's first Facilities Maintenance Technician Apprenticeship which continues to expand today.

Michael has been on the Board of Directors of Built Environment Plus and the Massachusetts Workforce Alliance. Michael has taught several courses at the Boston Architectural College and has led workshops and panel discussions focusing on community-based design in dozens of conferences. Michael is an active member in the Boston chapter of the National Organization of Minority Architects.

PROFESSIONAL TENURE

Social Impact Collective	2021-present
YouthBuild Boston, Inc.	2009-2013, 2017-2021
Fairmount-Indigo Line CDC Collaborative	2014-2016
Hogares, Inc.	2004-2008

EDUCATION

University of New Mexico, BA
Environmental Design w/ Emphasis in
Landscape Architecture

Boston Architectural College, Master of
Architecture

REGISTRATIONS

Registered Architect in Massachusetts &
New Mexico

USGBC LEED AP

National Organization of Minority Archi-
tects (NOMA)

NCARB Certificate Holder

RELEVANT EXPERIENCES PROJECT SAMPLES

Social Impact Collective, Inc.

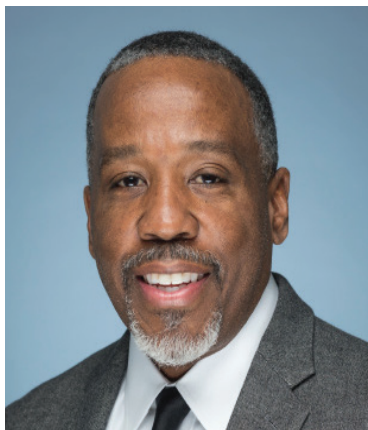
- Design of Mixed-Income Housing, Small Business & Nonprofits
- Consulting on accessibility improvements for Boston-area daycare centers (funded by Children's Investment Fund, CEDAC)
- Policy development for Additional/Accessory Dwelling Units for the City of Boston and City of Salem

YouthBuild Boston, Inc.

- LEED-Gold Affordable housing development & design
- Community asset building coordination and management
- Youth program development & oversight. Examples include:
 - Designery: high school-level architecture & design program
 - Facilities Maintenance Technician Apprenticeship: partners include Winn Residential, National Development, Corcoran Residential, Peabody Properties, Charles Hotel, and others
 - Girl Scouts of America & Suffolk Construction: partnership to develop curriculum for girls ages 5-18 in building trades
 - YouthBuild International: providing program development and youth support for programs in Burnley, UK and Rio de Janeiro, Brazil

Fairmount/Indigo Line CDC Collaborative

- Supporting design development & community engagement for Transit-Oriented Development along Fairmount Corridor in Boston
- Living Roof Bus Shelter Initiative: Community engagement and green jobs exploration pilot exploring green infrastructure in Dorchester and Hyde Park
- Goatscaping: community engagement strategy utilizing combination of goats and youth summer programming to discuss use of potential green spaces and affordable housing in Hyde Park



GREGORY JANEY, CCM

President & CEO

Gregory Janey is the President & CEO of Janey Construction Management that provides services throughout the Northeast and Mid-Atlantic regions of the United States. Janey's portfolio includes commercial, institutional, and residential work within and around the cities of Boston, Washington DC, and Cape Cod. The firm provides construction management and consulting services including project management, construction management, estimating, and engineering.

Over the last several years, Mr. Janey has undertaken a variety of construction and renovation projects on a multitude of commercial and residential buildings. He brings a strong engineering background and has been actively working in the industry for over 40 years. He has managed and monitored projects ranging from \$5 Million to \$2 Billion. His public experience includes working with local agencies and city and town bodies around the planning, directing, and controlling the development of the preliminary and final design, construction schedule, and budget. Mr. Janey's background provides the company with the program expertise to service its client base and as a result, the organization is capable of managing construction projects of various magnitudes.

Mr. Janey holds a BS in Construction Management from Wentworth Institute of Technology, an MS in Civil Engineering from Northeastern University, and an Honorary Doctor of Engineering from Wentworth Institute of Technology.

Mr. Janey serves on the Industry Advisory Board for the College of Engineering at Northeastern University. He was elected to the Wentworth Corporation in 2008, the Institute's Board of Trustees in 2012 and currently serves as the Chair of the Board of Trustees. Mr. Janey has served and lead various committees including, Facilities, Academic Affairs and Long-Range Planning; He also has served on the Strategic Planning Steering Committee and has been actively involved with Wentworth's Industrial Professional Advisory Committees.

His advocacy volunteer work serving as a founding officer for the Massachusetts Minority Contractors Association, Advisory Committee for Madison Park High School and the Private Industry Council. He is a past president of the New England division of the Construction Management Association of America and Past Vice Chairman/ Director Emeritus of a CMAA's national board. He is also a program evaluator for ABET, which accredits college and university programs in applied science, computing, engineering, and engineering technology.

Mr. Janey's mission has stayed consistent throughout his career—to use his education, advocacy, and deep professional industry experience to provide opportunities for residents in and around the neighborhoods where he grew up. Mr. Janey continues to invest and advocate for the development of underserved Boston neighborhoods by providing scholarships for black Boston Public School Students entering in STEM education; intended to start a movement towards "Building The Future".

Notable awards and acknowledgments include being featured in Forbes and Entrepreneur magazines, ranked by Boston Business Journal as the 9th largest minority-owned business in Massachusetts, and receiving the STEM Corporate Leader of the Year from United Way.

EDUCATION

- » Wentworth Institute of Technology
Honorary Doctor of Engineering
- » Northeastern University
M.S. Civil Engineering
- » Wentworth Institute of Technology
B.S. Construction Management
- » Wentworth Institute of Technology
A.S. Architectural Technology

BOARDS/COMMITTEES

- » Wentworth Institute of Technology,
Board of Trustees, Chair
- » Northeastern University, Industry
Advisory Board
- » Boston Chamber of Commerce Board
of Directors
- » Private Industry Council, Workforce
Board
- » Federal Reserve Bank, New England
Advisory Council
- » Construction Management
Association of America, Board of
Directors, Emeritus
- » United Way of Mass Bay, Board of
Directors
- » Institute of Non Profits, Board of
Directors
- » Supplier Diversity Office, Advisory
Council
- » Boys & Girls Clubs of Boston, Board of
Trustees

LICENSES

- » MCPPO Certified Project Manager
- » ABC Building License
- » ABET Program Evaluator
- » OSHA 30
- » Construction Supervisors License
- » Certified Construction Manager

TEACHING & WORKSHOPS

- » Wentworth Institute of Technology,
Adjunct Professor
- » Certified Construction Manager
Instructor
- » Pathways to City Contracting Joint
Venture Workshop

NOTABLE AWARDS

- » General Contractors Magazine, Best
Hotel & Hospitality Contractor in Boston
- » Boston Business Journal, 9th Largest
Minority-Owned Business in MA
- » United Way, STEM Corporate Leader of
the Year
- » Massport, Diversity & Inclusion
Champion
- » Eastern Bank, Business is Good Award
- » Get Connected, Emerging Leaders in
Boston Award
- » Northeastern Society of Women
Engineers, Joint Corporate Honoree

SPEAKING ENGAGEMENTS & MEDIA PUBLICATIONS

- » Commencement Speaker - Wentworth
Institute of Technology; Boston Business
Journal, 26 Best Commencement Speeches
in MA
- » Keynote Speaker - Northeastern College of
Engineering
- » Keynote Speaker - Endicott College, School of
Business & Engineering
- » BECMA, A Path to Cultural Change, Federal
Reserve Bank
- » Featured in Forbes & Entrepreneur Magazines,
Rebuilding America: Boston

JANEY



EURICK DORSETT

Project Executive

Eurick has been in the construction industry for over 30 years. He has managed numerous multi-million-dollar development, new construction, and renovation projects. He also has had much experience working internationally throughout his career. He currently serves as the Director of Preconstruction and Project Executive for Janey.

Eurick has experience working in industries such as Hospitality, Commercial, and Residential. He also has experience in High Rise construction and Marine Construction. With his Preconstruction work at Janey, he has worked on projects ranging from \$10M - \$550M.

Mr. Dorsett's skills encompass excellent analytical, leadership, interpersonal, and problem solving skills. He is a highly motivated team player and self-starter, and possesses communications skills imperative in relating to the construction industry. This includes interfacing with client representatives, A/E representatives, union officials, subcontractors and assist with implementation/interpretation of safety programs.

EDUCATION

Norfolk State University
B.S. Construction Management

Norfolk State University
A.S. Architectural Design Technology

AFFILIATIONS

Construction Management
Association of America (CMAA)

LICENSES

OSHA Certified

PROJECT EXPERIENCE

Confidential Technology Client - Boston, MA \$20M
Janey provided construction management at-risk services for an 88,870-SF office fit-out in Cambridge, MA. The scope included the build-out of four floors within the newly constructed 314 Main Street building, owned by MITIMCo, MIT's Investment Management Company.

Bank of America - Phase III - Boston, MA \$4.6M
This project is a renovation to the Bank of America Offices at 100 Federal Street, located across from Post Office Square Park, in the heart of Boston's Financial District. This was considered a space modernization renovation for floors 4, 8, 15, 16, and 17. The work will include demolition of the existing space plus new ACT, lighting, drywall, and all new finish work. Mechanical, plumbing, HVAC, electrical, and fire alarm updates will also be needed to accommodate these upgrades. The team completed 140,000 sf worth of work.

Seaport World Trade Center - Boston, MA \$500M
The proposed revitalization of the SWTC is a transformative project that will modernize and reposition the existing building and Commonwealth Pier. While the existing building and project site require a significant infrastructure investment to enable the adaptive re-use and revitalization, the project has tremendous potential to create an exciting, flexible, and creative workspace that attracts and retains talented employees and provides a unique waterfront experience for the public. The project will enhance its current uses by replacing the existing exhibition hall with new public realm spaces and improvements and expanded ground-floor retail space, as well as creating new flexible and innovative office space and first-class event spaces.

Omni Seaport Hotel - Boston, MA \$550M
This CM at-Risk \$550M project is a 788,500-square-foot hotel that will feature two new 21-story towers connected by a three-story ground-floor podium. The hotel will include 746 standard rooms 386 square feet in size, as well as 278 innovation rooms 250 square feet in size. The hotel will also include 120,000 square feet of meeting and event space including two large 25,000-square-foot and 15,500-square-foot ballrooms, 35,000 square feet of restaurant space, 5,000 square feet of retail space and an 8,500-square-foot spa and fitness center. Construction of the Omni Hotel is anticipated to commence in the third quarter of 2018, with completion expected in 2021. Project is targeting LEED Silver.

Harborside Inn - Boston, MA \$15M
Harborside Hotel is a renovation of an existing building over 200 years old. This building is located in downtown Boston. The proposed construction is for a boutique hotel adding 86 additional rooms to the existing Harborside Hotel. This hotel is a Guaranteed Maximum Price (GMP) contract with an estimated value of \$15M.





ANGELO MCRAE

Superintendent

Angelo brings a strong engineering background and a diverse portfolio to the team through his professional experience working throughout the project life cycle; Project management, Engineering and Construction. Angelo's experience includes estimating, document analysis and review of detailed construction drawings. Angelo's contributions during the plan review and as-built periods adds a valuable feature to any construction program.

As a Site Superintendent for Janey, Angelo's professional capabilities include assisting the clerk of work with contract compliance, updating the planned activities against actual events and reporting on discrepancies within the project schedule, construction documents, and percent of work completed. His duties also include field reports, document control and assistance with performance tracking quality control.

EDUCATION

Wentworth Institute of Technology
B.S. Construction Management

AFFILIATIONS

Construction Management
Association of America (CMAA)

LICENSES

OSHA 30 Certified

PROJECT EXPERIENCE

Harborside Inn - Boston, MA \$15M

The Harborside Inn project is an addition and full renovation of a 200 year old, 6 story warehouse located in the financial district between the Boston Aquarium and Faneuil Hall. This historic project includes adding two floors, 90 rooms and a new exterior envelope to the existing Hotel, while it maintains full operation. With a completion date of March 2020, the facility will be transformed into a modern designed, boutique hotel with the ability to accommodate 184 guest.

Rubina Ann Guscott Building - Boston, MA \$5M

The developer selected Janey to serve as Construction Manager for the renovation of this four-story masonry building in the Grove Hill section of Roxbury. The project included renovation of an existing 20,000 s.f. building, a new 2400 s.f. four-story stairwell addition, and site work including parking and landscaping. The building is named for a legendary local property developer.

Dearborn STEM Academy - Boston, MA \$70.7M

A major City initiative towards an improved future for the residents of Roxbury, this new neighborhood public middle/high school represents a new kind of educational building – a school without corridors which fosters inter-relatedness and transparency. The scope of work includes the abatement and demolition of an existing school built in 1918. The fabric of the STEM educational environment includes spaces for: small scale learning, collaboration, hybrid learning, project-based explorations and community engagement. The building is broken down into three educational communities or 'cohorts.' Each of which is sited on a different level and is centered on a satellite collaboration space, glass walled science explanatories and an office suite with dean's office, staff preparation and reception area.

Massachusetts Institute of Technology, Building 37 - Boston, MA \$350K

This project was in Janey's Special Projects Division (SPD) and included a renovation of a classroom on the Massachusetts Institute of Technology's campus. Janey was chosen to renovate the 2nd floor, which included 5 offices. The offices would then turn to student space and a reading room totaling approximately 1,000 square feet.

MGM Music Hall at Fenway, NESN Fit out - Boston, MA \$600K

Janey is collaborating with Gilbane in providing a broadcast fitout for NESN as part of the 175,000 SF MGM Music Hall, a new state-of-the-art, multi-use performing arts venue which connects to the historic Fenway Park. This project is 600 sq ft. renovation with a fast track schedule. Our team is coordinating with the NESN consultants and architects to bring this new state of the art broadcast studio expected to life. The studio will be completed in 2022.





HARRIS HOGU, CMIT, CM-BIM

Project Control Coordinator

Harris brings a strong engineering background and a diverse portfolio to the team through his professional experience working throughout the project life cycle; Project management, Engineering and Construction. Harris' Preconstruction work includes estimating, document analysis, scheduling, cost analysis, and building information modeling. This experience presents a natural transition to the construction phase contributing to an increase in quality control and assurance on the project. Harris' contributions during the plan review and as-built periods adds a valuable feature to any construction program.

As a Project Control Coordinator, Harris' professional capabilities include determining project objectives, cost engineering, establishing schedules and coordinating projects. His duties also include management information systems as they relate to the project life cycle.

EDUCATION

Northeastern University
B.S. Civil Engineering

AFFILIATIONS

Construction Management
Association of America (CMAA)

LICENSES

OSHA Certified
Certified Scheduling Technician (CST)
Certified Cost Technician (CCT)
CM-BIM
Construction Manager in Training (CMIT)



PROJECT EXPERIENCE

Local 537 Pipefitters Union - Boston, MA \$35M

The four-story, 70,000-square-foot building will feature a pipefitting training facility, office space, educational classrooms, and assembly space with capacity for up to 500 people. 117 parking spaces will be built on site. The building will replace the union's existing headquarters at 40 Enterprise Street; two existing buildings, which date back to 1880 and 1964, will be demolished. The building will be located next to the 720,000-square-foot South Bay Town Center mixed-use development. Construction of the building is anticipated to commence in the 3rd quarter of 2017, with completion expected by the 3rd quarter of 2018.

Harvard Quantum Initiative – 60 Oxford Street - Boston, MA \$50M

60 Oxford Street is a six level (two below grade and four vertical levels), 91,000 square foot building, constructed in 2003, which has been vacant since the departure of Harvard University Information Technology (HUIT) and, more recently, the Harvard Paulson School of Engineering and Applied Sciences (SEAS). The renovation project will enable the University to accomplish two strategic objectives in science and engineering: 1) provide expanded state-of-the-art laboratory and collaborative space for the HQI, and 2) allow for the co-location of the Rowland Fellows program, currently located in East Cambridge, with the FAS and SEAS science and engineering research community in the north campus precinct. The renovation will provide an identifiable home for HQI that creates an interdisciplinary, collaborative research environment by leveraging the capabilities of one of the campus's newer buildings.

High Meadows Townhomes - Bourne, MA \$10M

This CM at-Risk \$10M project is the third phase of a 117-unit affordable housing project in Bourne that includes Canal Bluffs and Clay Pond Cove. Newly constructed in 2018, it consists of 44 mixed-income, two bedroom and three bedroom apartments. The development is in a desirable neighborhood near shopping, employment centers and transportation; and includes an on-site sustainable wastewater treatment plant, pedestrian-friendly walkways, communal open spaces and community amenities.

Omni Hotel Seaport - Boston, MA \$550M

This CM at-Risk \$550M project is a 788,500-square-foot hotel that will feature two new 21-story towers connected by a three-story ground-floor podium. The hotel will include 746 standard rooms 386 square feet in size, as well as 278 innovation rooms 250 square feet in size. Construction of the Omni Hotel is anticipated to commence in the third quarter of 2018, with completion expected in 2021. Project is targeting LEED Silver.

Harvard Business School Cash House - Boston, MA \$5M

This project is a renovation of the historic 7,500-square-foot, four-floor building, will update and preserve the original structure, which was built in 1926, while improving quality and optimizing usable space. The project includes an interior gut renovation, exterior window, slate shingle, and copper detailing replacement as well as stucco repairs and landscape restoration.



FERNANDO RUIZ-ESPARZA

Senior Project Manager

Fernando Ruiz-Esparza Jr. began his construction career in 2013. With his skills in university facilities, Fernando has an excellent track record of accurate project planning, subcontractor negotiations, phasing and scheduling, meeting critical schedule and budget goals, and achieving high levels of customer satisfaction.

Fernando has top-notch verbal and written communication skills, we are sure he will be able to deliver great client interface and support while working effectively with his team members. Fernando will ensure this project is managed efficiently and that all schedule, budget, safety, programming, and quality goals are achieved. He will also ensure that all project challenges are appropriately identified and mitigation plans in place to ensure on-time completion and that all planning is completed with exacting and detailed precision, ultimately leading to a seamless execution with no surprises.

EDUCATION

Purdue University
B.A. Professional/Technical Writing

AFFILIATIONS

Construction Management
Association of America (CMAA)

LICENSES

OSHA Certified

PROJECT EXPERIENCE

Harvard Business School - Cambridge, MA

\$500K

Janey is providing construction project management services on various projects as necessary. Procurement activities, managing contractors, and other miscellaneous project management related services. Coordinating with contractors and HBS managers for campus access, meeting with HBS clients, project scheduling, coordinating with HBS Operations managers and HBS Consultants, budget control and tracking. Assisting with faculty and staff moves as necessary. Projects will include but not limited to: Cumnock Hall Interior fit-out, Cumnock Hall Exterior Improvements, Mechanical improvements to buildings supporting additional fresh air, and other projects assigned.

Brown School of Engineering - Providence, RI

\$75M

This 200,00 GSF building in Providence, RI included features such as: A nano-technology cleanroom, An advanced imaging suite, A bio cleanroom, Large- and small-scale collaboration spaces, Open-plan laboratories on the second and third floors, A multi-functional commons, café, and meeting space on level one, Outdoor eating area adjacent to the café; green spaces for collaboration and relaxation, Innovative energy-saving strategies such as external vertical fins to manage solar gain from the west and south, Advanced multi-disciplinary undergraduate teaching lab.

UMASS Boston Residences - Boston, MA

\$120M

The project consisted of 260,000 GSF with building features that included: Housing for first-year students 1,000 beds in singles, doubles, triples, and quads. Flexible living/learning spaces. A vibrant ground-floor indoor and outdoor commons, dining common for both residents and the campus community.

Boston Convention Center & Exhibit - Boston, MA

Some projects included Soffit repairs/waterproofing at approximately 35 catch basins and related soffit space on the Level 1 ring road. Exhibit Hall B Blackout, a room darkening system for AV presentations and general sessions D Street lot improvements including soil removal, some contaminated, from the site on the east side of the BCEC, and installation of new landscaping and hardscaping features.

Administrative Building & Hangar - Fort Worth, Texas

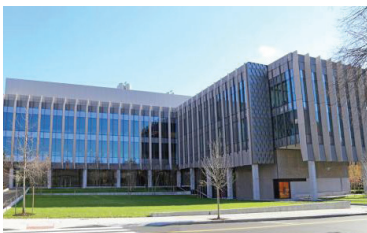
\$10M

This design-build project supports the Department of Homeland Security, U.S. Customs and Border Protection (CBP), Air and Marine Facilities in Aguadilla, Puerto Rico. It consists of 22,792 square-foot maintenance hangar, a 9,597 square-foot administrative hangar support building and an open hangar area with fifteen (15) parking spaces, and the extension of the existing infrastructure.

City of Providence - Providence, RI

\$48M

The program management team is assigned to help the City of Providence manage its Capital Improvement Plan. The Plan includes over 90 projects for three different departments (Public Building Authority, Department of Public Works, and Parks Department).





SAYEM KHAN

Project Manager

Sayem Khan is a seasoned professional in the built environment with a rich and diverse career spanning over 15 years. Beginning his journey as an architect, Sayem honed his skills in designing structures that seamlessly blend form and function. His early years in architecture provided him with a deep understanding of the intricacies involved in creating spaces that not only meet aesthetic standards but also fulfill practical and functional needs.

As Sayem's career evolved, so did his role in the industry. Transitioning from a pure design focus, he strategically applied his architectural expertise to project management in construction. This shift allowed him to leverage his comprehensive understanding of the entire life cycle of a built environment project, from conceptualization to completion. Sayem's unique perspective, shaped by years of hands-on design work, positions him as a valuable asset in construction project management. His ability to bridge the gap between creative design and practical implementation ensures that projects are not only visually stunning but also executed with efficiency and precision.

Currently holding the esteemed title of a registered architect, Sayem Khan has further distinguished himself by earning the LEED Green Associate certification. This recognition underscores his commitment to sustainable and environmentally conscious building practices. Sayem's multifaceted skill set, encompassing architecture, project management, and sustainable design, makes him a dynamic professional who continues to shape the built environment with innovation and expertise.

EDUCATION

Northeastern University
M.S. Architecture

Northeastern University
B.S. Architecture

LICENSES

Registered Architect - MA
LEED Green Associate
NCARB Certified

AFFILIATIONS

Construction Management Association of America (CMAA)

PROJECT EXPERIENCE

The Flats on Marion - Brookline, MA

\$14M

This project was a collection of four luxury apartment units located at the heart of Brookline's Coolidge Corner neighborhood. Each home offers contemporary open living space with direct elevator entrance, gas fireplace, sleek custom kitchen with Miele appliances and oversized island, grand master bedroom with ensuite master bathroom featuring an Ann Sacks marble shower, two generously sized guest bedrooms, a beautiful guest bathroom with a private shower room, hardwood floors throughout, an additional approx. 160sf of private deck & approx. 960sf of private roof deck, and 2 garage parking spaces. Construction was completed in Spring 2019.

Boston Neighborhood Network - Boston, MA

\$14M

Boston Neighborhood Network converted an abandoned MBTA power station into a state-of-the-art television network in Egleston Square. The nearly 10,000-square foot building was completed in 2007 and is LEED for New Construction Silver-certified. The project has received numerous historic preservation awards, including the 2008 Preservation Achievement Award from the Boston Preservation Alliance and the Massachusetts Historical Commission's 2008 Preservation Award. Originally constructed in 1909, the building had remained vacant for 30 years. The renovated building includes a community media center, television studios, conference spaces, and offices. By re-using an existing structure in a transit-oriented location and applying green technology, the redevelopment is considered a model for green historic preservation projects.

African Community Education (ACE) - Worcester, MA

\$4M

ACE has the unique opportunity to renovate a 65,000-square-foot property located at 51 Gage Street in Worcester, which would consolidate all operations under one roof and allow for a vast expansion of programs and services. This community center would ensure that ACE services could be provided holistically for parents and their children, eliminating the need for families to make multiple stops at various locations to avail themselves of ACE services.



BUILDING THE FUTURE.

JANEY



Alvin B. Carter III
Associate

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F: +1.617.289.0578
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Overview

Alvin Benjamin Carter III is an associate in the Firm's Corporate Practice Group. Alvin advises clients in a broad range of corporate and transactional matters, including venture financings (representing companies and investors), mergers and acquisitions, drafting and negotiating commercial contracts, corporate governance, entity formation, and state and federal securities compliance. He has represented clients in varying industries, including emerging companies, brand and reputation management, sports and entertainment, digital commerce, web3, video games and esports, medical technology, financial services, fashion, food, and fintech, among others. Alvin also represents clients in intellectual property matters, including trademark clearance and prosecution for musicians and athletes, brand licensing, and responding to USPTO office actions.

Prior to joining Brown Rudnick, Alvin interned for State Street Corporation where he reviewed and drafted contracts, license agreements, and other related IP documents. While in law school, Alvin was the Legal Officer for NU IDEA Venture Accelerator where he assisted student entrepreneurs focused on software, hardware, medical devices and services, publishing, food, clothing, and consumer products. Prior to that, Alvin served as a legal intern for the Office of the Inspector General, where he conducted legal research on a broad variety of topics related to the OIG's statutory authority to prevent fraud, waste, and abuse in the expenditure of public funds.

Representation

- Representation of Luka Dončić, NBA and Slovenian National Team superstar widely hailed as one of the best players in the NBA, and Luka99 Inc., the business entity owned by Luka, in connection with intellectual property matters and the formation of Luka's charitable foundation, the Luka Dončić Foundation.
- Represent CompareCredit LLC in the purchase of the Trove web application and corporate governance.
- Represent Just Add Butter LLC, a food seasoning company, in connection with formation and corporate governance.
- Represent Big Charlie's LLC, a salad dressing brand, in connection with formation and corporate governance.
- Represent Woos! Hot Sauce LLC, a hot sauce brand, in connection with formation and corporate governance.
- Represent Nice Commerce LLC, a warehouse fulfillment service, in connection with corporate governance and drafting vendor contracts.
- Represent life sciences company in connection with a \$2.4-million convertible note financing.
- Represent portfolio client in connection with entity formation, equity financings, and asset purchases across the finance, food, and supply chain industries.
- Represent Broadway Advocacy Coalition in connection with trademark clearance and prosecution, drafting copyright assignments, drafting confidentiality agreements, and music licensing strategy.
- Assisted Endeavor Catalyst with co-investments with venture capital and growth equity fund, into the equity financing rounds of +25 Endeavor Entrepreneur companies.
- Represented Victoria PLC on the acquisition of Cali Bamboo Holdings, Inc., a U.S. multi-channel flooring distributor serving both online B2C and B2B channels.
- Represented a publicly traded UK biopharmaceutical company in (i) sale of its American Depositary Shares in an offering registered with the SEC and concurrent private placement of Warrants and (ii) sale of its Ordinary Shares and Warrants in a placing in the United Kingdom.
- Represented seller in acquisition of life sciences consulting company and its foreign subsidiaries.

Area of Practice

- Corporate

Related Experience

- Capital Markets
- Sports & Entertainment
- Trademark, Copyright, & Advertising
- Digital Commerce
- Technology
- Brand & Reputation Management
- Emerging Growth Companies & Venture Capital

Education

- Northeastern University School of Law, J.D.
- Harvard University Extension School, ALM
- Northeastern University, B.S., magna cum laude

Bar Admissions

- Massachusetts

- Advised NFL player in connection with trademark clearance and prosecution.
- Drafted a recording contract and a documentary agreement for an arts-based nonprofit.
- Drafted athlete influencer and blockchain related services agreements for a social media platform.
- Advised CBS Television Studios regarding multijurisdictional communications compliance in connection with a smartphone application released in Latin America.
- Representation of gourmet food retailer Dean & DeLuca in connection corporate matters related to its Chapter 11 proceedings.
- Drafted a streaming platform license agreement for an education-focused client.
- Represented life sciences companies in connection with multiple rounds of equity financing.
- Formed multiple entities and assisted with early-stage corporate matters for an emerging pharmacy.
- Represented an early-stage emerging growth company on corporate matters and governance.
- Represented multiple clients in USPTO office action responses.
- Advised blockchain companies on regulatory and securities laws matters.
- Assisted startups with entity

News

- "Associates Alvin Carter and Kyle Dorso Awarded for Pro Bono Work with LCR Boston" (June 23, 2023)
- "Associate Alvin Carter III Again Named to National Black Lawyer's 'Top 40 Under 40'" (April 24, 2023)
- "Brown Rudnick Lawyers to Participate in Leadership Council on Legal Diversity Programs" (February 24, 2023)
- "Associate Alvin B. Carter III Again Named to National Black Lawyer's 'Top 40 Under 40'" (June 17, 2022)
- "Sports Litigation Alert Publishes NIL Rights Article by David A. Moreno Jr. and Alvin B. Carter III" (October 11, 2021)
- "Alvin B. Carter III Appointed to Boston Bar Association's 2021-2022 Leadership Team" (September 22, 2021)
- "Alvin B. Carter III Spotlited in BBA's Campaign to Celebrate 'One Boston Day'" (April 16, 2021)
- "Alvin B. Carter III Spotlited in BBA's 'Get to Know Boston's Rising Stars' Series" (March 15, 2021)
- "Uchechi Egeonuigwe and Alvin B. Carter III Named to Lawyers of Color 2020 Hot List" (January 29, 2021)
- "Alvin Benjamin Carter III Named to National Black Lawyer's 'Top 40 Under 40'" (May 8, 2020)

Publications

- "Choice of Business Entity: General Strategies," Organizing, Financing, and Advising a Massachusetts Business 1st Edition, MCLE (February 2022)
- Co-author, "Will the NCAA's NIL Ruling Impact Collegiate Esports?" Sports Litigation Alert (October 2021)
- Co-author, "NFTs and IP: Traditional Questions Recontextualized," Brown Rudnick Alert (April 2021)
- "When New Entrepreneurs Navigate Intellectual Property: IP Matters That Really Matter in University-Based Venture Incubators," American Bar Association's Landslide Magazine, Vol. 10 (July/August 2018)
- "Statutorily Stifling: The Legal Burden Copyright Places on the Hip-hop Community," Northeastern University Law Review: Extra Legal



Samuel P. Williams
Partner

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Overview

Samuel Williams has nearly three decades of experience and concentrates his practice on mergers and acquisitions, corporate finance, venture capital, licensing and strategic partnerships, and international law. He counsels publicly and privately held corporations in a variety of industries including businesses in the financial services, information technology, semiconductor, communications and other high technology sectors, and life sciences.

Sam has structured numerous types of acquisitions, including auctions, open and closed bid transactions, MOEs, LBOs, acquisitions and dispositions of product lines, divisions and businesses, cross-border transactions, options, earnouts, tax free deals, exclusive licensing, secured party sales, and forward and reverse triangular mergers.

Sam has considerable experience guiding clients in formulating their intellectual property, licensing, and distribution arrangements and in establishing domestic and multinational strategic partnerships.

Sam advises clients in complying with securities laws in proxy solicitations, the ongoing reporting requirements of public companies, antitakeover techniques, corporate governance matters, and a broad range of other matters affecting companies and their officers, directors, and committees, including executive compensation.

Sam has successfully defended clients against shareholder activists, and shareholder activists against companies. Sam is consistently recognized by his peers for inclusion in The Best Lawyers in American the field of Corporate Law. Sam is chair of the Firm's Global Integration & Cross-Selling.

Representation

Mergers & Acquisitions

- Regularly represents clients in connection with the acquisition of public and private targets and technology transfers, ranging in value from \$10 million to more than \$6 billion.
- Represented Hologic Inc., a publicly traded developer, manufacturer and supplier of premium diagnostic and medical imaging systems, in connection with its \$6.2 billion merger with Cytoc Corporation, creating a global leader in women's health care. Assisted Hologic in negotiating a \$2.55 billion of secured financing with Goldman Sachs Credit Partners to finance the merger. Subsequently represented Hologic
- Represented Walter Investment Management Company in connection with the acquisition of mortgage origination and Fannie Mae servicing business of Residential Capital LLC and GMAC Mortgage.
- Acted for selling companies and management teams in connection with multiple dispositions to Oracle and Microsoft.

Capital Raising

- Represents issuers and underwriters in dozens of IPOs, follow-on offerings and rights offerings in the United States and Europe, including dual listings and listings on NYSE, Nasdaq and AMEX. Extensive experience in Regulation S and Rule 144A offerings, placements of mezzanine equity, PIERS, converts, PIPES and other private placement transactions.
- Represented the first Belgian company to go public on Nasdaq.
- Counsel to American Railcar Industries in its \$200 million IPO. This was one of the first IPOs to be successfully completed under the SEC's Securities Offering Reform rules.
- Representation of GSI Corp., a publicly traded semi-conductor and components manufacturer, in its Chapter 11 proceedings, culminating in its successful reorganization and \$100 million rights offering.

Area of Practice

- Corporate

Related Experience

- Mergers & Acquisitions
- Capital Markets
- Cross-Border / International Transactions
- Public Companies
- Life Sciences
- Technology
- Emerging Growth Companies & Venture Capital

Education

- Duke University, J.D., with Honors
- Vanderbilt University, B.A., magna cum laude

Bar Admissions

- Massachusetts

Cross-Border, Corporate Governance & Strategic Relationships

- Leads teams of attorneys in a wide array of international transactions and has extensive experience with deals in Belgium, Canada, Germany, Japan, South Korea, and the United Kingdom.
- Represented Enzo Biochem, Inc, a NYSE traded company, in connection with successfully defending a proxy fight led by an insurgent former director.
- Represented a Special Committee of the Board of Directors of Demoulas in connection with its consideration of strategic alternatives including, ultimately, its buy-out by management.
- Joint ventures around the world on behalf of clients with companies such as AT&T, National Dispatch Center, and Samsung.
- Represented the Rhode Island Lottery (RIL) and the Rhode Island Department of Business Regulation in connection with the multibillion-dollar merger of GTECH and Lottomatica, the largest lottery operator worldwide and market leader in the Italian gaming industry. GTECH currently has a 20-year master contract with the State of Rhode Island to administer and operate the State's lottery program. Brown Rudnick provided multi-country assistance to the RIL, including due diligence and strategic planning to evaluate and help manage

News

- "64 Brown Rudnick Lawyers Named Among 2024 Best Lawyers in America"(August 17, 2023)

Publications

- "IPO Overhaul Raises the Bar for Going Public," an interview with CBS MarketWatch
- Contributor to "IPO Debuts Increase Sharply In Last Two Quarters of Year," published in Investor's Business Daily
- Contributor to "IPOs in Today's Market: Is Your Company Ready," Brown Rudnick Business Briefing
- "When to Pass Out the Parachutes," published in Boston FEI Chapter Newsletter
- "Business Litigation in the United States: the Costs and Consequences," published for the Center for International Legal Studies
- "Rating of Asset Backed and Mortgage Backed Securities," published in Securitization: Asset Backed and Mortgage Backed Securities published by Lexis publishing

Speaking Engagements

- Speaker, "Venture Financing: Soup to Nuts," UCSF Rosenman Institute (February 2021)
- Speaker, "Agreements: The Lifeblood of an Emerging Company," UCSF Rosenman Institute (December 2020)
- Speaker, "Financing Your Company: Rules of the Road to Success," Lawyers for Civil Rights | BizGrow, virtual conference (July 2020)
- Speaker, "Small Business Loans Under the CARES Act: What You Need to Know," UCSF Rosenman Institute, virtual event (April 2020)
- Speaker, "How to Prepare to Sell Your Life Science Company or MedtechCompany," UCSF Rosenma

Professional Affiliations

- Member, Boston Bar Association

Awards and Honors

- The Best Lawyers in America, Corporate Law, 2013-2024
- The Legal 500 US, Recommended Attorney for M&A / Corporate and Commercial -M&A: Middle-Market (Sub-\$500m), 2015-2019
- Super Lawyers, Top-Rated Securities & Corporate Finance Attorney in Boston, MA, 2004-2005
- Chambers USA, Notable Practitioner, 2012

Firm Activities: Management Committee



Andrew Steingiser | RA, CPHC, LEED AP
**Associate | Senior Project Architect |
Passive House Consultant**

Passive House lead in Boston and a Senior Project Architect, Andrew engages building owners and design teams as an early-phase design partner, consulting with them on scalable climate-resilient solutions.

He champions built environment carbon reduction through clean, resilient, and future-proof buildings. An expert on local and regional regulations, Andrew helps RDH's clients futureproof their projects.

Expertise + Experience

Andrew's background as an Architect translates into thought partnership and helps bridge the conversation between disciplines to deliver low operational energy, low carbon outcomes while maintaining the design vision.

Prior to joining RDH, Andrew practiced as an architect with SGA, Perkins + Will, and CBT.

Education

B.Arch., School of Architecture at Syracuse University, Syracuse, NY

Memberships + Certifications

- Certificate, National Council of Architectural Registration Boards (NCARB), 2009–Present
- CPHC, Passive House Institute US (PHIUS)
- LEED AP, US Green Building Council (USGBC)
- Board member, Passive House Massachusetts

Typical Projects

NEW CONSTRUCTION

- VOLPE R1 Site, Cambridge, MA – Passive House and enclosure consulting for a new construction high-rise multi-family student housing building
- Crafts St, Newton, MA - Passive House and enclosure consulting for a new construction senior-housing building with complex program including all electric commercial kitchen and swimming pool
- Bunker Hill Housing Redevelopment – F + M, Boston, MA – Passive house, enclosure, and mass timber consulting for this affordable multi-family residential redevelopment
- The Edison + Bakers Place, Madison, WI – Passive house, enclosure, and mass timber consulting for these multi-family residential buildings
- *Wheaton College Passive House, Wheaton College, Norton, MA – Passive House design for this new student residence hall
- *Garfield House, Williams College, Williamstown, MA – Passive House design for a new student residence hall

- 525 Lincoln Street – Boston, MA – enclosure and passive house consulting for this multi-family, co-housing residential building
- *1812 Ashland Ave, Forest City, Baltimore, MD – Architectural design for a life science lab building
- *Salisbury Hall, WPI, Worcester, MA – Architectural design for a new 380-bed modular residence hall
- *15 McGrath Highway, Leggatt McCall, Somerville, MA – Architectural design for a new 380,000gsf life science lab building

*These projects were completed at Andrew's previous place of work.

Presentations

- Holistic Sustainable Design Integration course, Wentworth Institute of Technology, 2020 – Guest lecture on Passive House principles, practices, and large-scale case studies
- North American Passive House Annual Conference, 2019 – Presented lessons learned through construction and certification process of large-scale PHIUS certified projects
- Modeling the Perfect Wall course, Boston Architectural College, 2019 – Guest lecture on Passive House principles, practices, and case studies
- Passive House in Higher Education Panel Discussion, 2019 – Presented on Passive House design in higher education and participated in moderated panel discussion with Katrin Klingenberg, Executive Director and Co-founder of PHIUS, hosted by SGA
- North American Passive House Annual Conference, 2018 – Presented on the early design of SGA's two PHIUS certified residential halls at Williams College and Wheaton College
- North American Passive House Annual Conference, 2016 – Co-presented with James Ortega of PHIUS certification team on WUFI Passive modeled case studies of university residential hall and hotel typologies in the Boston area, showing minimal modifications required from code-compliant base cases to meet PHIUS standards



LANDSCAPE ARCHITECT



Bertha Pantoja BSLA
Principal & Senior Manager
BP design LLC
133 Chestnut St, Cambridge MA

EDUCATION

- Harvard University - Graduate school of Design - Master in Landscape Architecture In Urban 1998
- Harvard University - Graduate school of Design - Master in Landscape Architecture Harvard 1997
- UNAM Mexico, Department, Department of Architecture - Bachelor in Architecture 1992

REGISTRATION

- Commonwealth of Massachusetts Division of Professional Licensure landscape Architecture 1546

ACADEMICS ACTIVITIES

- BAC-Dept. of Landscape Arch. - Adjunct Professor-Curse Landscape Technology 2013 until today
- Technologic de Monterrey-school of Arch.- Adjunct Professor - Curse Urban Planning and design 2021
- Northeastern University -Dept of Arch. - Adjunct Professor - Curse Environmental Planning 2019
- BAC-Dept. of Architecture - Adjunct Professor-Interdisciplinary foundation Studio 2014-2019
- Wentworth Institute of technology - School of architecture - Enviromental desing 2008-2014
- CCA Cambridge center for Adult education

PROFESSIONAL ACTIVITIES

- BP design landscape architecture - Founder and Principal (2011-Present)
- Solo design director and been responsible for the development of the landscape design firm, her services included master planning, historic design restoration, site-specific planting, ecological sustainability, construction detailing, permitting, project management and general contracting for landscape construction for private residential design and low income housing.
- Bellalta 3 Design Landscape Architecture - Associate Landscape Architect -2008 to 2010
- Responsible for Developing project from conceptual design, schematic design through construction administration for public and private institutions. Selected project; Planning for Town Hall/Highschool/Somerville MA Walden Pond Restoration, Concord MA
- CBA Landscape Architecture-Senior Landscape Architect 2004-2008

- Responsible for developing Schematic design, design development, construction document, construction administration for commercial, institutional, recreational and residential design. Selected projects; Russel School, Boston MA. City on the Hill Charter School, Boston MA.
- The Cecil Group, Planning, Urban Design & Landscape Architecture
- Project Manager 2002-2004
- Developing Urban Design, master planning presentations for community workshops and for clients, leading subgroup workshops in public meetings. Selected projects: Neighborhood improvement University of Springfield MA, Watertown Square streetscape improvement, Martha's Vinyard Streetscape Improvement.
- Child Associates Landscape Architect - Landscape Designer 2001 - 2002
- Prepare client presentation, construction documents for institutional clients project selected Rockefeller University, Research building, Ohio Wesleyan University Science Center, MIT Simmon Hall Dormitory, Edith Wharton Estate.

COMMUNITY ACTIVITIES - VOLUNTEER WORK

- ASLA American Society of Landscape Architects
- BSLA Boston Society of Landscape Architects
- PGA Tour, Puerto Vallarta Vidanta, Mexico Walking Score May 2023
- Cambridge art commission, Cambridge MA
- Elected board member 2015 to 2020
- The roll is to provide guidance and advice on the proper administration and implementation of the city's public Art/percent-for-art ordinance.
- Healthy Parks and Playground Committee, Cambridge MA
- Subcommittee member, 2011 to 2013
- City planning department appointed task force that recommends new and innovative design and operations of future Cambridge parks and playgrounds.
- Architecture and urban design reviewer of neighborhood development projects. Led process for city funding of renovations for the Golden Stairs Park, including presentation to Mayor Thomas Menino, and running of neighborhood workshops, and creating master plan for hiring of landscape architecture firm, 2004- 2005.

LANGUAGES

- Fully bilingual Spanish - English

COMPUTER SKILLS

- Auto Cad, Power Point, Photoshop, PageMaker, InDesign, Word, Excel, Illustrator, Dron pilot DGI mini2

HAWTHORNE PROPERTY MANAGEMENT GROUP, LLC

WILTON D. BAKER, FOUNDER/PRINCIPAL

ABOUT HPMG

Hawthorne Property Management Group leverages technology, data & organization to provide EXTRAordinary service while optimizing your lifestyle, increasing property value and ensuring our clients the best quality of life.

CONTACT US

617.935.3100

HPPROPMGT@GMAIL.COM

WWW.HAWTHORNEPMG.COM

LINKEDIN.COM/COMPANY/HAWTHORNEPMG

FACEBOOK.COM/HPPROPMGT

[@HPMGT7](https://twitter.com/HPMGT7)



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Asset Management	Leasing
Facility Management	Property Evaluation
Financial Management	



WHAT OUR CLIENTS ARE SAYING ★★★★★



"I recommend HPMG to anyone looking for a management company that will be there for them when they have a problem or increase their property's profitability. Ask for Wilton, he will take care of you. The best property management company in the Boston area, great people and excellent service!"

-Reuben Dottin, Jr., CEO Eunique Realty

ADDITIONAL SERVICES

- Inspections
- Evictions
- Landscaping/Snow removal
- Pet screening



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are created equal.**

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Our honest, caring and responsive team is dedicated to helping our clients make their dream of home ownership a reality, while saving time and money. When you choose Bento Real Estate, you can count on us as a life-long partner from the beginning of the real estate transition, until long after.

Our Expertise:

- Honest and experienced real estate agents
- Caring and responsive brokerage team
- Long-term commitment to clients
- Diverse selection of featured listings for buyers
- Integrated marketing approach for seller listings

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we work hard so you don't have to.
And that's a promise.

Whether you are buying or selling a home, we will make sure no question goes unanswered, no property goes unseen and no detail is overlooked. Your satisfaction is our top priority.



We believe you deserve a real estate agent that is honest, experienced and truly committed to ensuring that your experience is a pleasant one.

Contact us today **(617) 901-9671** | info@bentorealestate.com

For more information visit **www.bentorealestate.com**

LETTERS OF SUPPORT

Our work is rooted in the communities and neighborhoods of Boston where our connection and relationships with key stakeholders is evident with the our Principals being recognized as follows:

- 2023 Boston Magazine 150 Most Influential Bostonians,
- 2023 Get Konneted! Boston's Most Influential Men of Color
- 2023 Bloomberg-Harvard City Leadership Initiative Fellow 2022,

- Harvard, Business School Young American, Leaders Program,
- BBJ 2021 40 Under 40 | Boston Chamber of Commerce & City Awake
- 2021 Ten Outstanding Young Leaders Award,
- The Boston Foundations 20 Leaders of the 2020s, Law Clerk & Summer Associate at Brown Rudnick LLP.

Our work in the community is supported by the following community leaders;



The 12-foot sculpture of a Clapp pear in Edward Everett Square recalls the time when the area was a fruit orchard



The Commonwealth of Massachusetts
House of Representatives
State House, Boston 02133-1054

March 6, 2024

Willie Bodrick II
Winston Bodrick
Ambry Development Group, LLC

RE: 21-29 Fernboro Street

Dear Willie and Winston,

I am writing to express my wholehearted support for the Ambry Development Group, LLC project proposal for 21-29 Fernboro Street, Dorchester, MA, as part of the Request for Proposal (RFP) process conducted by the Boston Planning & Development Agency (BPDA) and the Mayor's Office of Housing (MOH).

Ambry Development Group, LLC's dedication to providing high-quality, affordable housing solutions while preserving the unique cultural heritage of our cherished Dorchester community is nothing short of exemplary. This project is a testament to their commitment to fostering inclusivity, economic vitality, and social cohesion within our neighborhood.

A particularly notable aspect of this proposal is the emphasis on affordability. With 12 all of the proposed units designated as affordable homeownership opportunities, ranging from 80% to 100% of the area median income, Ambry Development Group, LLC is taking significant strides towards narrowing the wealth gap and ensuring that individuals from diverse income brackets have access to quality housing.

Furthermore, Ambry Development Group, LLC's status as a minority-owned development company is a source of pride for our community. Their success serves as a beacon of hope and inspiration for other aspiring entrepreneurs, demonstrating that with dedication and perseverance, it is possible to achieve remarkable milestones and contribute meaningfully to our local economy. In addition to these tangible benefits, this project will undoubtedly foster social cohesion and economic vitality within Dorchester. By creating spaces where individuals from various backgrounds can live and prosper together, we are cultivating a stronger, more interconnected community that will serve as a model for progress.

I wholeheartedly endorse the Ambry Development Group, LLC project for 21-29 Fernboro Street, Dorchester, MA, and I am confident that this endeavor will bring about significant positive change in the lives of our constituents. I look forward to witnessing the enduring impact of this project on our beloved Dorchester community.

Thank you for your attention to this matter, and I extend my best wishes for the continued success of Ambry Development Group, LLC in their mission to enhance the well-being of our community.

Sincerely,

A handwritten signature in black ink, appearing to read "C. Worrell".

State Representative Christopher Worrell
5th Suffolk District



99 High Street
Boston, MA 02110

September 26, 2023

Main: 617-330-2000
Fax: 617-330-2001

Willie Bodrick II
Winston Bodrick
Ambry Development Group, LLC

massdevelopment.com

RE: 21-29 Fernboro Street

Dear Willie and Winston,

I am writing to express my support for the Ambry Development Group, LLC project proposal for 21-29 Fernboro Street, Dorchester, MA, as part of the Request for Proposal (RFP) process conducted by the Mayor's Office of Housing and the Boston Planning & Development Agency (BPDA).

Maura Healey
Governor

The commitment demonstrated by Ambry Development Group, LLC to creating high-quality, affordable housing solutions, while honoring the distinctive cultural heritage of the Dorchester community, is commendable. This project holds the promise of bringing about transformative change for our neighborhood.

Kim Driscoll
Lieutenant Governor

The project's emphasis on affordability is particularly noteworthy. With 12 out of the proposed 18 units designated as affordable homeownership opportunities, ranging from 80% to 100% of the area median income, Ambry Development Group, LLC is taking significant steps towards bridging the wealth gap and ensuring that residents from diverse income brackets have access to quality housing options.

Yvonne Hao, Chair
Secretary of Economic
Development

Moreover, the fact that Ambry Development Group, LLC is a minority-owned development company exemplifies their commitment to diversity and equity within the construction and real estate sector. This serves as an inspiring example of the positive impact that entrepreneurial endeavors can have on marginalized communities, both socially and economically.

Dan Rivera
President and CEO

In addition to these tangible benefits, this project will undoubtedly foster social cohesion and economic vitality within Dorchester.

I, stand ready to explore the potential for supporting Ambry Development Group, LLC in securing acquisition financing for this project. The positive impact of this endeavor aligns with our mission to promote accessible and sustainable development initiatives that benefit communities in need.

Sincerely,

A handwritten signature in blue ink, appearing to read "Dan Rivera", is written over a horizontal line.

Dan Rivera
President & CEO

March 9, 2024

Willie Bodrick II
Winston Bodrick
Ambry Development Group, LLC

RE: 21-29 Fernboro Street

Dear Willie and Winston,

I am writing to express my enthusiastic support for the Ambry Development Group, LLC project proposal for 21-29 Fernboro Street, Dorchester, MA, as part of the Request for Proposal (RFP) process conducted by the Mayor's Office of Housing and the Boston Planning & Development Agency (BPDA). As the owner of the restaurant Food For The Soul, I must advocate for initiatives that prioritize equitable development, address the pressing need for affordable housing, and have a positive impact on black-owned businesses in our community.

The commitment demonstrated by Ambry Development Group, LLC to creating high-quality, affordable housing solutions, while honoring the distinctive cultural heritage of the Dorchester community, is commendable. This project holds the promise of bringing about transformative change for our neighborhood, particularly for black restaurant owners and businesses.

The project's emphasis on affordability is particularly noteworthy. With 8 out of the proposed 12 units designated as affordable homeownership opportunities, ranging from 80% to 100% of the area median income, Ambry Development Group, LLC is taking significant steps towards bridging the wealth gap and ensuring that residents from diverse income brackets, including black families, have access to quality housing options.

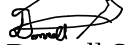
As a black restaurant owner, I am thrilled to see Ambry Development Group, LLC actively engaged in creating affordable housing and homeownership opportunities that will benefit black residents and businesses in our community. The shortage of affordable housing has disproportionately affected black communities, and Ambry Development Group, LLC's commitment to addressing this problem is commendable.

Moreover, the fact that Ambry Development Group, LLC is a minority-owned development company exemplifies its commitment to diversity and equity within the construction and real estate sector. This is an inspiring example of the positive impact that black-owned entrepreneurial endeavors can have on communities, both socially and economically.

I wholeheartedly endorse the Ambry Development Group, LLC project for 21-29 Fernboro Street, Dorchester, MA, and I am confident that this endeavor will bring about significant positive change in the lives of our black constituents. I look forward to witnessing the lasting impact of this project on the cherished Dorchester community.

Thank you for your attention to this matter, and I extend my best wishes for the continued success of Ambry Development Group, LLC in their mission to enhance the well-being of our black community.

Sincerely,



Donnell Singleton

Imari K. Paris Jeffries Ph.D.
President & CEO
Embrace Boston
imari@embraceboston.org
6175015055

Subject: Letter of Support for Ambry Development Group, LLC – BPDA & MOH 21-29
Fernboro Street Dorchester, MA 02121

Dear Willie Bodrick, II & Winston Bodrick,

I am writing this letter on behalf of Embrace Boston to express our heartfelt support for Ambry Development Group, LLC, and their exceptional efforts in building 21-29 Fernboro Street Dorchester, MA 02121, to ensure that there are affordable housing and homeownership units in our community. As an organization committed to fostering racial and economic justice in Boston by connecting, educating, and energizing within our communities and across traditional borders, we recognize that Ambry Development Group significantly impacts the intersection of arts, culture, community, and research to dismantle structural racism.

At Embrace Boston, we firmly believe that access to safe and affordable housing is a fundamental component of achieving racial and economic justice. The work of Ambry Development Group aligns perfectly with our mission and values, as they actively address the urgent need for equitable housing opportunities in our community.

We have closely followed Ambry Development Group's initiatives and are deeply impressed with their holistic approach to affordable housing development. By creating affordable rental housing and homeownership units, Ambry Development Group provides pathways for individuals and families to secure stable housing and build generational wealth.

Ambry Development Group's commitment to community engagement and collaboration is truly commendable. They actively involve residents, local organizations, and community leaders in the planning and decision-making processes, ensuring that their projects address the specific needs and aspirations of the people they serve. This inclusive approach empowers residents and fosters a sense of ownership and pride in their communities.

Furthermore, we greatly appreciate Ambry Development Group's dedication to dismantling structural racism through its work. Ambry Development Group is challenging and reshaping the systems perpetuating inequity by actively working at the intersection of arts, culture, community, and research. Their commitment to creating housing opportunities that are

accessible and affirming for marginalized communities is a vital step toward achieving racial and economic justice in our city.

In conclusion, Embrace Boston wholeheartedly supports Ambry Development Group, LLC, and their transformative initiatives in building 21-29 Fernboro Street Dorchester, MA 02121, and developing affordable housing and homeownership units in our community. We commend their unwavering commitment to racial and economic justice and their innovative approaches to dismantling structural racism through their work.

We are excited about the positive impact Ambry Development Group will continue to make in our community, and we stand ready to support their efforts in any way possible. Please do not hesitate to contact us if there is any additional information or support we can provide to further enhance Ambry Development Group's initiatives.

Thank you for your attention to this matter, and we extend our best wishes for the success of Ambry Development Group's ongoing projects.

Sincerely,

A handwritten signature in black ink, appearing to read "Imari K. Paris Jeffries". The signature is fluid and cursive, with a long horizontal stroke at the end.

Imari K. Paris Jeffries, Ph.D.
President & CEO
Embrace Boston

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DEVELOPMENT SUBMISSION

concept, plan, diversity
& inclusion

DEVELOPMENT CONCEPT

Ambry believes that this Project has the potential to bring about substantial positive changes that will benefit not only the residents of the development but also the surrounding community. The five vacant parcels consist of approximately 14,914 square feet in the Brunswick King Renewal Area. Ambry plans to develop twelve (12) residential homeownership units, consisting of four (4) of such units reserved for households earning at or below 80% AMI, four (4) of such units reserved for households earning at or below 100% AMI, and four (4) units reserved for market rate. This Project will consist of four (4) three-bedroom units and eight (8) two-bedroom units.

21-29 Fernboro Street will be accessible to people with various disabilities, including those who use wheeled mobility. The Project will provide

10% of units to be fully accessible. All the units will comply with 531 CMR 9.4 Group 2 Dwelling Units. Each unit will be equipped with blocking required by Group 1 Bathrooms MAAB for future installation of grab bars and shower seats. Ambry will also factor in additional features that will increase the functionality of accessible units that will allow control of unit appliances, window treatments, and switches from a central device. Considering the importance of facilitating aging-in-place and accommodating life events that may present physical and mental challenges to residents, Ambry plans to make adaptable units that can be adjusted based on accessibility needs. However, Ambry will propose units that are distinctly designed for sensory units and mobility units to assist with matching residents for the units. The Project will also be equipped with curb ramps that meet accessibility compliance.

Ambry believes this Project proposes an innovative strategy to foster social cohesion and economic vitality that will beneficially enhance opportunities for the surrounding community. The construction and ongoing maintenance of this Project will generate jobs, further stimulate the vibrancy of the Grove Hall commercial district, and boost the overall economy of the surrounding communities in Roxbury and Dorchester. By providing affordable homeownership opportunities, Ambry enables residents to contribute

Ambry believes that this Project promotes diversity, equity, and inclusion by bringing together individuals and families from different socioeconomic backgrounds, fostering a sense of unity and cohesive neighborhood. We believe this Project will help reduce the cost burden of housing in this community and surrounding communities by increasing Boston's housing stock and affordable home-ownership opportunities. Ambry firmly believes that this Project is a transformative opportunity for the Brunswick King area of Dorchester and Roxbury communities to improve the overall well-being of these communities by fostering economic growth, promoting diversity, providing affordable housing options, and delivering a development that aligns with the needs and aspirations of community residents and stakeholders.

JOBS CREATED BY PROJECT

The number of construction jobs during the building's construction period is expected to be between seventy-five (75) and one hundred (100) construction workers. This includes skilled laborers, carpenters, electricians, plumbers, and other tradespeople.

COMMUNITY BENEFITS

Boston is grappling with a housing crisis, with soaring rental prices and an ever-dwindling housing stock and housing affordability. This Project is a direct response to this crisis. It offers a sustainable solution, allowing families to build equity through homeownership rather than being trapped in the cycle of rising rents. Owning a home is foundational to financial stability and generational wealth. This development will provide families with the opportunity to invest in their future, building equity and financial security for generations to come. This pathway to stability not only provides individual benefits but expands to create a more resilient community.

Ambry aims to transform these vacant lots into welcoming homes. With the construction of this Project, we expect an immediate economic boost to Roxbury, Dorchester, and the City of Boston. New jobs will be created, providing employment opportunities for residents that can support local businesses, from grocery stores to shopping centers, fostering a positive cycle of economic growth.

Ambry plans to set a precedent for future proj-

ects aimed at tackling Boston's housing crisis by demonstrating that it's possible to provide affordable home-ownership opportunities that can be replicated as an impactful contribution to fix the complex issues surrounding the housing needs in the City of Boston and the Commonwealth of Massachusetts. Ambry believes that the development of this Project stands as a beacon of hope, innovation, and commitment to the well-being and future prosperity of this community and its residents. Together, as a community, we have the power to create a more equitable, inclusive, affordable, and resilient city. This development is a step toward realizing that vision.

BOSTON RESIDENTS JOBS POLICY

Ambry will meet the standards and guidelines outlined by the BPDA and MOH. Ambry has intentionally focused on establishing a team that exceeds these standards. To that end, our team is majority minority-owned. Under the Boston Residents Jobs Policy, Ambry will mandate that:

1. At least 51% of the total work hours of journey people and 51% of the total work hours of apprentices in each trade on this Project will be by bona fide Boston residents;
2. At least 40% of the total work hours of journey people and 40% of the total work hours of apprentices in each trade on this Project will be by people of color; and
3. At least 12% of the total work hours of journey people and 12% of the total work hours of apprentices in each trade on this Project will be by women.

Ambry recognizes the importance of the construction, residential, and commercial real estate industries, and the vitalness of these industries to Boston's economy, which is why Ambry will increase workforce opportunities in these industries, particularly for persons historically underrepresented, including Boston residents, people of color, and women.

We have and will continue to actively seek and hire a diverse workforce that reflects the communities we serve. We will establish partnerships with organizations that promote diversity in the real estate and construction industries, participate in job fairs targeting underrepresented communities, and implement fair hiring practices that eliminate biases.

DEVELOPMENT PLAN

Ambry’s implementation of the development concept is based on a detailed and crafted timeline that reflects our commitment to thoroughness and execution in every stage of a successful Project. Our first step involves obtaining a Tentative Designation from the BPDA for the proposed development project, signifying our commitment to adhering to Boston’s development guidelines and regulations.

We prioritize conducting a comprehensive feasibility study and site assessment to meticulously evaluate the project’s viability. This includes thorough analyses of zoning regulations, environmental considerations, and market demand to ensure alignment with both community needs and regulatory standards. Upon successful completion of the tentative designation, we plan to present to the community, seeking further input and feedback to ensure continuous harmony with this Project.

Ambry will begin the secure all necessary permits for architectural plans to streamline the development process. This includes obtaining building permits, environmental permits, and zoning variances, facilitating compliance with regulatory standards. Simultaneously, Ambry’s legal representation, Brown Rudnick LLP, will conduct rigorous legal due diligence, including meticulous title searches, land surveys, and zoning compliance checks, allowing us to promptly address any legal issues or encumbrances on the parcels.

Throughout the development process, Ambry will prioritize community engagement by hosting public meetings to foster transparency and gather invaluable feedback from local stakeholders. Addressing concerns and integrating community input into our Project ensures alignment with the neighborhood’s vision.

Ambry recognizes that developing a robust financial plan is vital. Ambry will meticulously analyze construction costs, operating expenses, and revenue projections, leveraging our expertise to execute cost finalization, ensuring financial stability throughout the Project’s lifecycle. Ambry plans to diligently work with our financial lenders to safeguard a seamless loan closing process, securing the necessary funding to propel the Project forward with confidence.

As a seasoned general contractor building similar projects, Janey Construction Management (“Janey”), Ambry believes Janey will effectively execute our vision of this Project, emphasizing quality, efficiency, and adherence to project timelines. Furthermore, with contracts and agreements finalized, we mobilize resources and equipment for construction. Collaborating closely with utility companies, we will coordinate site utilities to facilitate a smooth construction phase. With thorough planning and preparation complete, we break ground and commence construction of the homeownership units, adhering carefully to approved plans and timelines.

This comprehensive timeline underscores our commitment to a systematic approach to project management, ensuring efficient progress toward construction commencement while prioritizing transparency, community engagement, and adherence to regulatory standards. We are excited about the opportunity to contribute to Brunswick King’s vibrant community and look forward to the potential to bring our vision to life. See the schedule below for the projected timeline:

Development Schedule	Date
Proposal Submission Date	March 11, 2024
Community Presentation	May 2024
Article 80 Approval (if appropriate)	June 2024
Zoning Board of Appeal Hearing	Summer/Fall 2024
MOH Funding Round (if applicable)	Fall 2024
Construction Bidding	Spring 2025
Contractor Selection	Spring 2025
Cost Finalization	Spring 2025
Financing Secured	Spring 2025
Permitting Secured	Spring 2025
BFHC Approval and Other Marketing Requirements Complete	Winter 2025
Closing	Spring 2025
Construction Begins	Spring 2025
Construction Complete	Summer 2026
Full Development – Lease Up	Fall 2026

Ambry intends to sell eight (8) affordable homeownership units, consisting of four (4) of such units reserved for households earning at or below 80% AMI and four (4) of such units reserved for households earning at or below 100% AMI. The remaining units of this Project would consist of four (4) market-rate homeownership units. The proposed financing plan includes construction and permanent financing limited to 80% of the completed value of the Project from Eastern Bank (the “Bank”). The Bank will provide bridge financing to any public subsidies up to 90% of the net monetized value of those subsidies. The Bank will collect 100% of the net sales proceeds of the homeownership units until the construction component of the financing is fully repaid. Ambry plans to receive predevelopment financing designed to provide early capital needs, and construction financing for affordable through a \$1 million predevelopment loan and potentially a construction loan from Massachusetts Housing Investment Corporation. Ambry plans to receive funding from MassHousing’s CommonWealth Builder Program, which is prepared to consider providing funding for this Project to the extent of available program funds subject to program guidelines and closing standards. We plan to further support the development of affordable homeownership through applying for the MOH’s Funding Round. In addition, we will also seek funding from MassDevelopment who have expressed an interest in the Project.

In response to the growing need for affordable homeownership options in Dorchester and Roxbury, we are proud to introduce twelve (12) newly developed residential homeownership units tailored to meet the needs of the community. Our marketing strategy aims to engage with residents, local organizations, and potential buyers to promote these affordable homeownership opportunities.

Ambry will work with Bento Real Estate Group (“Bento”) to affirmatively market the new affordable homeownership units in a fair and open process for homeowner selection. In addition, we plan to work with BPDA and MOH by submitting our Affirmative Marketing and Tenet Selection Plan to the Boston Fair Housing Commission. Upon approval, Ambry plans to collab-

orate with Bento to schedule open houses and arrange access to the property for Bento and prospective buyers. Once a Certificate of Occupancy is obtained, Bento will reserve buyers for the homeownership units.

Local Residents: Engage with individuals who currently reside in Dorchester and Roxbury and are looking for affordable homeownership options.

First-Time Homebuyers: Reach out to individuals and families who are eager to purchase their first home and are attracted to the affordability of our units.

Community Organizations: Collaborate with local organizations, such as neighborhood associations and housing advocacy groups, to spread awareness and support our initiative.

Affordable Homeownership: Emphasize the affordability of the units and the potential for long-term financial stability and wealth building.

Community Engagement: Highlight our commitment to working closely with residents and community organizations to ensure that the development aligns with the needs of the neighborhood.

Quality and Design: Showcase the modern design and high-quality construction of the units, emphasizing the amenities and features that make them attractive to potential buyers.

Supportive Services: Highlight any available resources or support services, such as homebuyer education programs or down payment assistance, to help make homeownership more accessible to prospective buyers.

By implementing a community-centric marketing strategy that prioritizes engagement, collaboration, and accessibility, we aim to successfully promote the sale of the newly developed affordable homeownership units in Dorchester and Roxbury. Together, we can help individuals and families achieve their dreams of homeownership and contribute to the vibrancy and sustainability of the community.

CONDO ASSOCIATION

Ambry will work with its legal representation, Brown Rudnick LLP (“Brown Rudnick”), to structure the legal entity that governs the operations of the condominium. In Massachusetts, a condominium is created under the provisions of Massachusetts General Laws, Chapter 183A. Brown Rudnick will provide the material documents that create, describe, and the framework for governance, such as the Master Deed, Unit Deeds, and the Declaration of Trust. Given that most condominiums in Massachusetts entity formation are trusts, we plan to form this condominium association as a trust. Ambry plans to serve as a trustee of the condominium association as long as legally allowed.

The anticipated annual operating budgets for the proposed condominium association 21-29 Fernboro Street are listed below. Ambry will use funds from its deferred fees to source the initial capital and work with the professional manager to coordinate with MOH to ensure that the inaugural association participates in training for new owners. The condominium association owners will determine the level of services and amenities and the corresponding unit fees on an ongoing basis. With the advice of Brown Rudnick LLP, the Declaration of Trust will describe the obligations and powers of the Trustees, procedures for maintenance and repair of the unit and common areas, insurance requirements, association meetings, voting rights, handling of common area expenses, reserve funds, and the assessment of unit owners. The proposed

development is a condominium property, to be owned by the condominium association, and managed by the condominium manager.

The condominium association will have the overarching responsibilities for the maintenance and care of the Property’s shared elements. Unit owners will be required to pay regular condominium association fees that will contribute to the maintenance and repairs of common areas and shared elements. Unit owners will be responsible for maintaining and caring for their units. This includes keeping the interior of the unit in good repair, addressing any maintenance issues promptly, and complying with any architectural guidelines for unit modifications or renovations. Unit owners must use common areas and shared elements responsibly and properly use facilities. Unit owners should properly report any maintenance issues or necessary repairs within their units or common areas to the condominium association property management.

Once the Condominium Association is formed, it will be essential for unit owners to thoroughly review the condominium’s governing documents to ensure compliance with maintenance and care for the Property. Below is a preliminary budget based on realistic assumptions and similar association costs. However, Ambry plans to hire an accountant to ensure that the budget is realistic and accurate. See the chart below.

21-29 Fernboro Street - 12 Units				
Expenses	Monthly	Annual	Per Unit/ Month	Notes
Management Fee	\$600.00	\$7,200.00	\$50.00	
Building insurance	\$722.16	\$8,665.92	\$60.18	
Reserves	\$660.00	\$7,920.00	\$55.00	
Maintenance	\$1,446.00	\$17,352.00	\$120.50	Incl. landscape and common area maintenance, snow removal
Utilities	\$249.96	\$2,999.52	\$20.83	Incl. common area utilities
Total	\$3,018.12	\$44,137.44	\$306.51	

DIVERSITY, EQUITY, AND INCLUSION

Ambry recognizes that promoting diversity, equity, and inclusion (“D&I”) is a moral imperative and a strategic advantage for our business. We are committed to fostering a work environment that embraces diversity, ensures equal opportunities, and values inclusivity. Our M/WBE-owned firms participating in the proposed development are as follows:

Construction: Janey Construction Management is a Certified Minority Business Enterprise construction management firm that has emerged as one of the leading and one of the most diverse commercial builders across the Northeast.

Architecture: Social Impact Collective is an MBE architecture and design firm with a community-based design approach through local stakeholder engagement.

Landscape Architect: Founded by Bertha Pantoja, BP Designs provides innovative landscape architectural services that transform outdoor environments into elegant, sustainable living spaces. Ms. Pantoja is an MA-registered landscape architect with design expertise gained over 15 years of project-based and teaching experience in Greater Boston and Mexico.

Developer: Ambry Development Group is a minority-owned firm committed to creating sustainable and inclusive communities through innovative real estate projects. Our vision is to revitalize underserved neighborhoods, enhance economic opportunities, foster social equity, and

increase generational wealth creation.

Marketing: Bento Real Estate Group is a woman-owned real estate firm dedicated to providing personalized and expert guidance through every facet of the real estate journey.

Operations and Management: Ambry will subcontract management and operational services with Hawthorne Property Management Group, LLC (“HPMG”). HPMG is a minority-owned, full-service property management company that facilitates the management of your properties and optimizes their value.

Ownership: Ambry will maintain ownership of the land on each parcel and Bento Real Estate Group will sell these residential homeownership units to prospective buyers.

Our D&I Plan is strategically crafted to ensure the maximum inclusion of opportunities for people of color and women, as well as entities owned by these groups, throughout all phases of the project development. Ambry is committed to promoting diversity, equity, and inclusion in all aspects of our operations, including supplier diversity and outreach to M/WBEs. Our strategy outlines our goals, good faith efforts, and the strategies we will pursue to identify and engage M/WBEs, ensuring their meaningful participation in our projects.

To promote comprehensive inclusion, our goals are to implement supplier diversity strategies and outreach to promote inclusion, economi-

cally empower, and make a positive impact on communities. Ambry aims to foster the inclusion of M/WBEs in our procurement and contracting processes to create a more diverse and equitable business ecosystem. We plan to empower M/WBE by providing opportunities to grow their business, gain experience, and access new markets. We are committed to making good-faith efforts to achieve our supplier diversity and M/WBE participation goals by actively reaching out to Boston M/WBE through various channels, such as Boston-base and statewide M/WBE business associations, and affinity organizations, Boston Chamber of Commerce, Black Economic Council of Massachusetts, community organizations and networks. We will continue to collaborate with local community organizations and business associations that specialize in amplifying and supporting M/WBEs. By executing these efforts, Ambry aims to develop and maintain a database of M/WBE suppliers and subcontractors to facilitate their participation in our projects.

Further, Ambry will continue to conduct ongoing market research to identify potential M/WBEs that align with our Project needs and goals. We will also regularly monitor and internally report our progress toward M/WBE participation goals, holding ourselves accountable for meeting or exceeding these objectives. By implementing these strategies and maintaining our commitment to supplier diversity and M/WBE outreach, we aim to create a more inclusive, equitable, and economically vibrant business ecosystem while delivering a successful Project that will benefit the Roxbury and Dorchester communities.

Ambry recognizes the pivotal role that M/WBEs play in our community's economic landscape. We are committed to supporting their growth and success, not only for the duration of our Project but also for their long-term viability. Ambry will actively encourage and facilitate joint ventures between M/WBE firms and established industry leaders. These partnerships will allow M/WBEs, like Ambry, to leverage the strengths and resources of larger firms, participate of greater scale and complexity, and build a robust track record. In addition, joint ventures will empower M/WBE firms to tackle larger projects, expanding our portfolio and increasing our attractiveness to potential clients and partners. This collaborative approach will be a catalyst for

sustained business growth and pave the way for M/WBEs to secure a stronger foothold in the industry.

Ambry plans to partner with other M/WBEs and organizations to conduct specialized workshops and training sessions designed to enhance the technical managerial capacities of M/WBE firms. These sessions will cover critical areas such as project management, compliance, financial planning, and sustainability practices. The knowledge and skills acquired through these capacity-building sessions will not only benefit M/WBE firms in their current project involvement but will also equip them to pursue new business opportunities and diversify their service offerings, thereby ensuring sustained growth and resilience.

We believe that by implementing these strategies, we can make a meaningful and lasting impact on the growth trajectory of M/WBE firms. Through mentor-protege relationships, joint ventures, and capacity-building initiatives, Ambry aims to foster a thriving and inclusive business ecosystem that benefits the broader community. Ambry recognizes the critical importance of creating opportunities for individuals from underrepresented backgrounds to access and excel in the construction and real estate development fields. We believe that a diverse and inclusive workforce is not only socially responsible but also a source of innovation and strength in our industry. We will actively support apprenticeship programs that provide hands-on training and education for individuals interested in pursuing careers in the construction trades that are designed to offer a clear path to employment and career growth.

Ambry plans to establish a scholarship program to make education and training more accessible for underrepresented individuals interested in real estate development fields, designed to support academic pursuits and vocational training. We believe that educational support through scholarships will reduce barriers to entry and help underrepresented individuals access the education and training necessary for careers in real estate development, fostering long-term economic stability. Also, we will actively partner with community organizations, schools, and workforce development agencies to create pathways for underrepresented individuals. Further, we will engage with local community stakeholders to ensure that our capacity-building efforts

align with their needs and aspirations, fostering stronger connections between our Project and the communities we serve. Ambry is committed to making a tangible difference in the lives of underrepresented populations by providing pathways to meaningful employment and support in the construction trades and real estate development sectors. We believe that these strategies will not only benefit individuals but also contribute to a stronger, more inclusive, and resilient industry.

Ambry's D&I Plan outlines clear objectives and measurable goals for promoting diversity and inclusion within the Project. We are committed to ensuring that the benefits of the Project are accessible to all members of the community. We recognize that diversity and inclusion require a deliberate effort. Our plan outlines practical steps, such as developing mentorship opportunities, joint ventures, a scholarship program, and partnering with other M/WBEs and organizations to conduct specialized workshops and training sessions designed to enhance the technical managerial capacities of M/WBE firms. Ambry believes we have the expertise to execute

the plan effectively, ensuring that it becomes an integral part of the Project. We understand that the goal of diversity and inclusion is to create stronger, more vibrant communities. Our plan emphasizes not only the incorporation of diverse residents but also the creation of opportunities for them to thrive and actively participate in community life. Our commitment to diversity and inclusion is woven into the fabric of our development process. By executing the plan, we aim for the Project to reflect the rich diversity of Roxbury and Dorchester, ultimately making our development more welcoming, supportive, and successful.

AMBRY'S PRIOR EXPERIENCE

Ambry's previous experience consists of submitting a proposal for 34 Athelwold Street to the Mayor's Office of Housing during the summer of this year. The proposal consisted of a newly constructed three-family development that offered homeownership opportunities comprising one-third of the units at 80% AMI, one-third of the units at 100% AMI, and one-third of the units at market rate. In 2017, Ambry d.b.a. Bodrick



Development Partners, along with architect Irena Matulic, proposed “Doma Homes” for the Garrison Trotter Housing Innovation Competition. This design was a combination of varied elements, including a two-bedroom, a one-bedroom, and a 360-square-foot micro-unit studio. The design was structured to create a flexible set of options that could allow an owner to live in one unit and rent out the others, helping to create home ownership as the city’s triple-deckers have historically done.

DEVELOPMENT WITHOUT DISPLACEMENT

Ambry recognizes the vibrant diversity of the Brunswick King community given that the area is composed of a super-minority population, primarily African American. However, we also acknowledge the importance of developing affordable homeownership opportunities for this community. Based on the BPDA’s Housing and Household Composition Community Profile (the “Profile”), the Brunswick King community has 68% of its households spending at least 30% of household income on rent, and 41% of households spending 50% of household income on rent, compared to Boston at 49% and 26%, respectively. Further, the Profile acknowledged that 63% of households in the Brunswick King community earn \$0-50,000 annually, and 17% annually earn household incomes of \$100,000 or more. In addition, the Profile recognized that 46% of households in the Brunswick King community are composed of other families, 43% are composed of households with children under the age of eighteen, and approximately 63% of households are comprised of two or more persons.

Ambry’s proposed development Project will assist the current residents of Dorchester to remain in their community in the future, afford housing, and find pathways to economic opportunities in several ways. First, the Project will increase the affordable housing inventory through the development of eight (8) affordable homeownership opportunities and four (4) market-rate units, consisting of four (4) three-bedroom units and eight (8) two-bedroom units,

one-third of the units at 80% AMI, one-third of the units at 100% AMI, and one-third of the units at market rate.

Second, the development of these twelve (12) units of residential homeownership opportunities provides Ambry with the opportunity to use land that has been vacant since 1991 as a vehicle to close the wealth gap and create generational wealth pathways for current residents of Dorchester to remain in their community in the future. Third, the Project will create 75-100 jobs for bona fide Boston residents, including significant participation of M/WBEs in its ownership, financing, construction, design, and operations. Lastly, our goal is to directly meet the needs of the current residents through our solicitations to future homebuyers and retail tenants.

Ambry respects and celebrates the unique cultural heritage of the communities we work in. The Project is designed to preserve and promote local culture, history, and traditions, ensuring that they remain integral to the Brunswick King and Grove Hall identities. Ambry’s conscientious-development model values the importance of working with community members to develop and design homeownership opportunities which will provide an invaluable opportunity for individuals and families to call this lively community their home and contribute to the economic growth of each area to ensure their sustainability and economic prosperity.

BUSINESS PERMITS AND LICENCES

All work will be done by licensed, insured, and bonded professionals, contractors, and subcontractors.

Willie Bodrick II, Principal, Ambry Development Group

Winston Bodrick, Principal, Ambry Development Group



DESIGN SUBMISSION

narrative & drawings

OVERVIEW

This submission for development and sale of 21-29 Fernboro Street in Dorchester RFP proposes 12 family units on the property with affordable units and market rate units. By offering a mix of such family development in this neighborhood will help improve housing affordability, accessibility, and opportunity which can help

build more livable community helping more people live in Dorchester affordable, securely, and safely. Parking is provided on site and each unit will have access to great sized balcony decks from both the front. Access to outdoor extended space will also be available at ground floor as part of a shared rain garden. This provision of outdoor space is a key part of ensuring these units can offer healthy living space.

SITE CONTEXT & SITE DESIGN

The proposed site design is based on the contextual aspects of the existing neighborhood character and assets as the basis for the design framework.

The key context considerations that influenced the basis of the site design are; the existing

EXISTING OVERVIEW CONTEXT MAP



- Proposed Development Site (34 Athelwold Street)
- ↔ Vehicular access
- Site Proximity distance

Existing children's park across intervalle street servicing families in the neighborhood

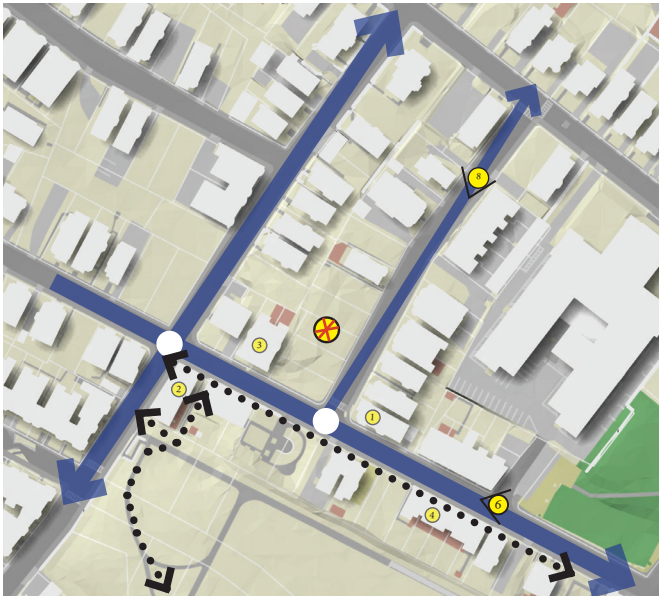


triple decker neighboring the site, the dominant existence of outdoor decks on most properties in the neighborhood and low rise, residential feel that this corner of the neighborhood has.

The Proposed Lot: The proposed site is an undeveloped lot with mature tree foliage to the rear and sides. It's rear backs onto neighboring houses backyards that also have mature tree. The main access street, Athelwold is a 1-way street that connects to a dual lane Norwell street with buss access.

The proposed development seeks to create continuity with this tranquil residential character. By developing a 3 story building with on site parking and balconies both front and rear to continue the character and ensure that there are 'eyes on the street' urban contribution to this corner of the site.

EXISTING PEDESTRIAN & VEHICULAR SITE ACCESS



The site is ideally located within walking distance to Dorchester Centre & high street, Harambee Park and local grocery stores.

The Local Building Character Asset- Prominent local building materials are painted vinyl siding, simple flat roofs/gabled shingle roofs, partial stone/concrete basements, wooden picket/ chain link fences and timber simple timber decks. These and other key features are considered as part of the proposed building design through the following key considerations;

Key site design considerations include:

- Flat roof 3 story with half basement to maintain existing form & character
- Balconies both front and back to maintaining safe-by-design principles.



Existing street views are characterized by triple decker housing typologies and shaded backyards with mature trees.

EXISTING BUILDINGS TO BE REFURBISHED & DEMOLITION



A 21-29 FERNBORO

B CONTEXTUAL NEIGHBORING 3-FAMILY PROPERTIES.

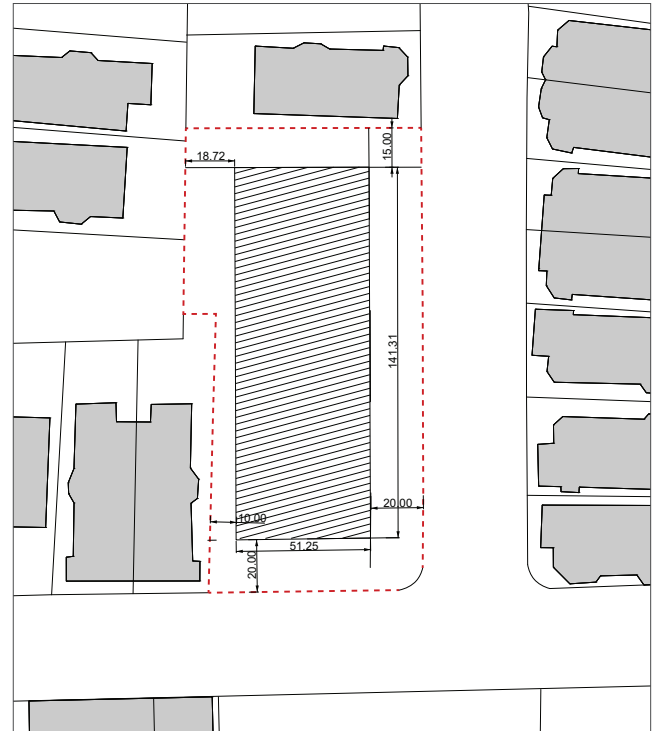
- On site parking and direct access from street and pedestrian access.
- Continue simple exterior material finishes with new modern color highlights.
- Simple landscaping both at the rear rain garden and frontage to continue existing context green foliage.



The site has some of the few mature trees and foliages that can found in the backyards of the lots.



ZONING ANALYSIS



DENSITY & DIMENSIONAL STANDARDS, TWO FAMILY RESIDENTIAL				
	EXISTING	REQUIRED	PROPOSED	ZONING RELIEF NEED
LOT AREA (MIN)	14,914	2,000 (for 1 unit) add-2000 for additional	14,914	
USABLE OPEN SPACE PER D. UNIT		650 p/dwelling	540	Y
FRONT YARD (MIN) DEPTH		20	12'3" (Intervale)	Y
SIDE YARD (MIN) DEPTH		10	15'7" (Fernboro)	
REAR YARD (MIN) DEPTH		30	79'6"	
BUILDING HEIGHT		35	34.5 - 37.5	(TBC after Topo survey drwgs)
STORIES		3	3 (+basement)	
FLOOR AREA RATIO (FAR)		0.8	1.15	Y
RFP REQUIREMENTS (COMMUNITY RECOMMENDATIONS)				
UNITS		12 UNITS	12	
PARKING		1:1 RATIO	1.1	
GREEN SPACE		Landscaped shared space		

SELECT COMMUNITY COMMENTS AND NOTES

Provide a building setback on Intervale and Fernboro Streets. It should be a minimum 5-feet for stronger streetscape design or landscaped frontages.

- Preserve existing mature trees, particularly along the property lines adjacent to the neighboring properties.
- Proposed development should be oriented to both Intervale and Fernboro Streets for front elevation design.

-Proponents should consider projects consisting of multiple building structures. If a single large structure is proposed, the design should be carefully articulated for and responsive to the surrounding context and scale.

-Parking should not be located at the corner of Intervale and Fernboro Streets, it should be accessed by a single curb cut that is located on Fernboro Street.

-Community members have expressed a preference for a range of unit sizes, including larger unit types appropriate for families, i.e. two and three bedrooms

PLANNING CONSIDERATIONS

The proposed development will seek the following zoning reliefs:

- Open usable space per dwelling

- Front Yard on Intervale street
- Floor Area Ratio (FAR)



DESIGN NARRATIVE

The proposed development also builds onto **Ambry Development Group** core values and long held beliefs that: **Communities deserve access to affordable housing that are both ecologically sensitive and sustainable.** Ambry believes homeownership is a vital step to help families create wealth and getting ahead. At Ambry we passionate about leveraging our expertise to create positive change and generate meaningful returns for our community.

The proposed development builds onto the RFP stated objectives of:

- *providing dwelling units on site shall be for families of more than one individual.*

Proposed development integration into existing fabric and landscape

- *Development that is consistent and compatible with surrounding existing and proposed development*
- *Shall not unduly diminish light and air to nearby structures*
- *Shall be designed to connect visually the facades of abutting structures*

To meet the above aspirations, the design ensures the following key design principles;

- *Building height is to same level as neighboring buildings and that building location is offset from street to allow light and visual connection*

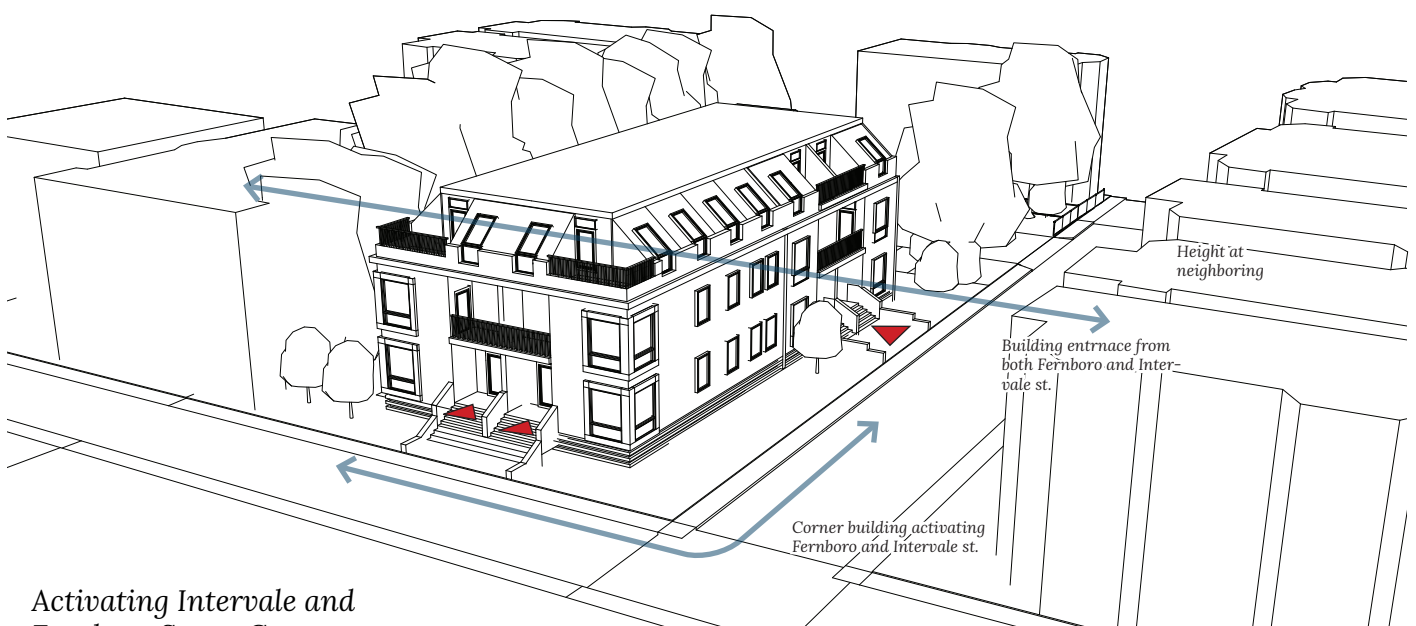


View Down Fernboro Street Towards Children Park

- Proposed building massing offers balconies spaces matching neighboring triple decker and providing eyes on the street on both Fernboro and Intervale street.
- The corner of Intervale and Fernboro is activated with entrances, balconies and

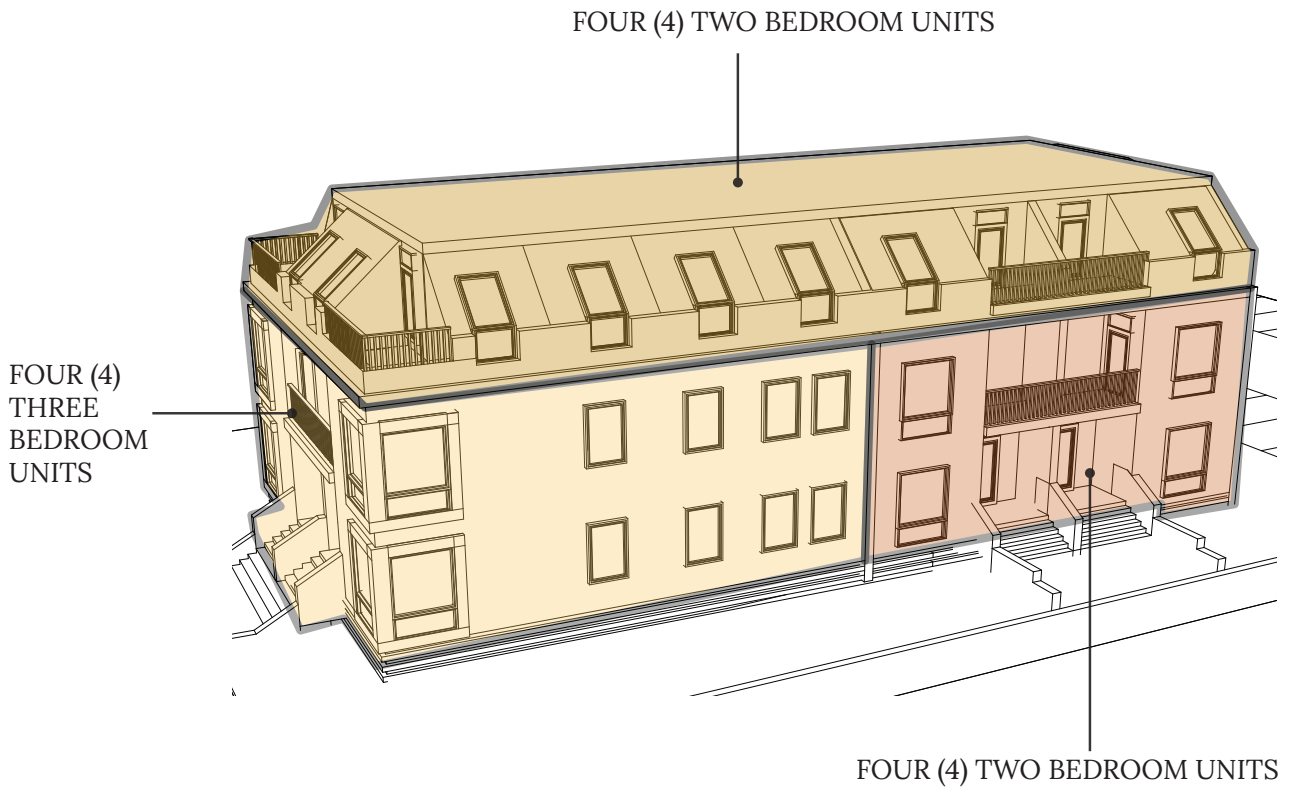
living spaces facing both the streets.

- Proposed building materials match both adjacent and neighborhood brick character and triple level style housing.
- Stepped back top floor allows light and skylight to street level on Fernboro.



Activating Intervale and Fernboro Street Corner

DESIGNING FOR FAMILY NEEDS:



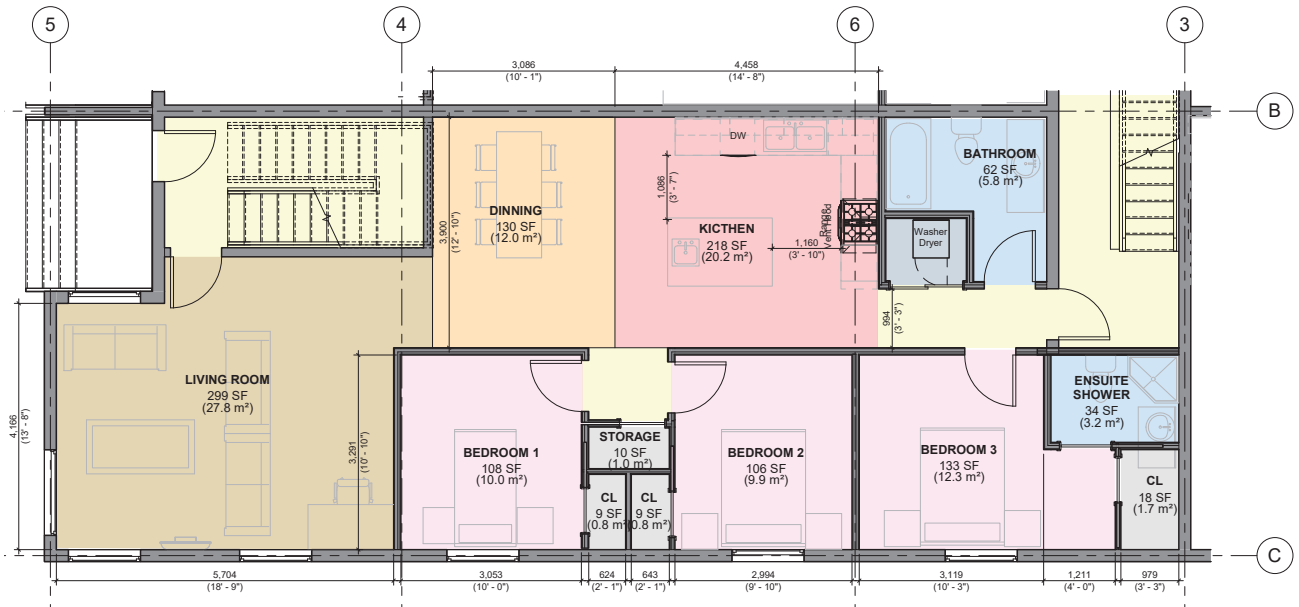
The design accommodates families through flexible and dignified spaces. Total of four (4) 3 bed units are located on first and second floor

from across the Children's Park on Intervale street and a direct access and views to the park.

Proposed family units facing and with direct proposed cross walk to the park across Intervale Street.



PROPOSED UNITS TYPOLOGIES



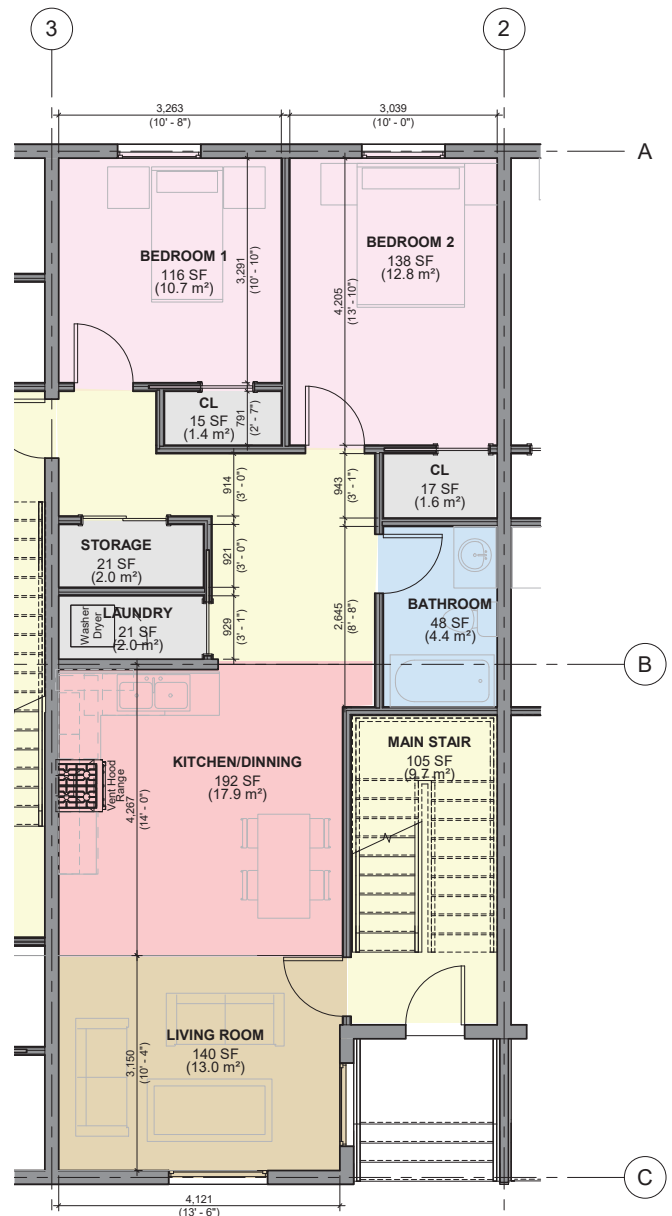
The 3 bed family unit typology -LEVEL 1&2

The 3 Bed family typology provides more than average living, dining and kitchen spaces to host families activities and also provides full bathroom and en-suite shower in the main bedroom, laundry and work desk area.

- EGRESS/CORES
- LIVING/KITCHEN
- BEDROOMS
- BATHROOMS

Key Areas

Space	Area/Number
Living Room	299 sqf
Kitchen	218 sqf
Bedrooms	108-133 sqf
Dinning	130 sqf
TOTAL	1,207 sqf



The 2 bed family unit typology- LEVEL 1&2

The 2 Bed typology provides more than average living, dining and kitchen spaces to host families activities and also provides full bathroom, laundry and storage areas.

Key Areas

Space	Area/Number
Living Room	140 sqf
Kitchen/Living	192 sqf
Bedrooms	116-138 sqf
TOTAL	966 sqf

The 2 bed (Type A) family unit typology - LEVEL 3

The two types of the 2 bed units on level 2 provide unique space layout with access to decks and more space. The two layouts provide, space for home work area, laundry space, office and storage spaces.

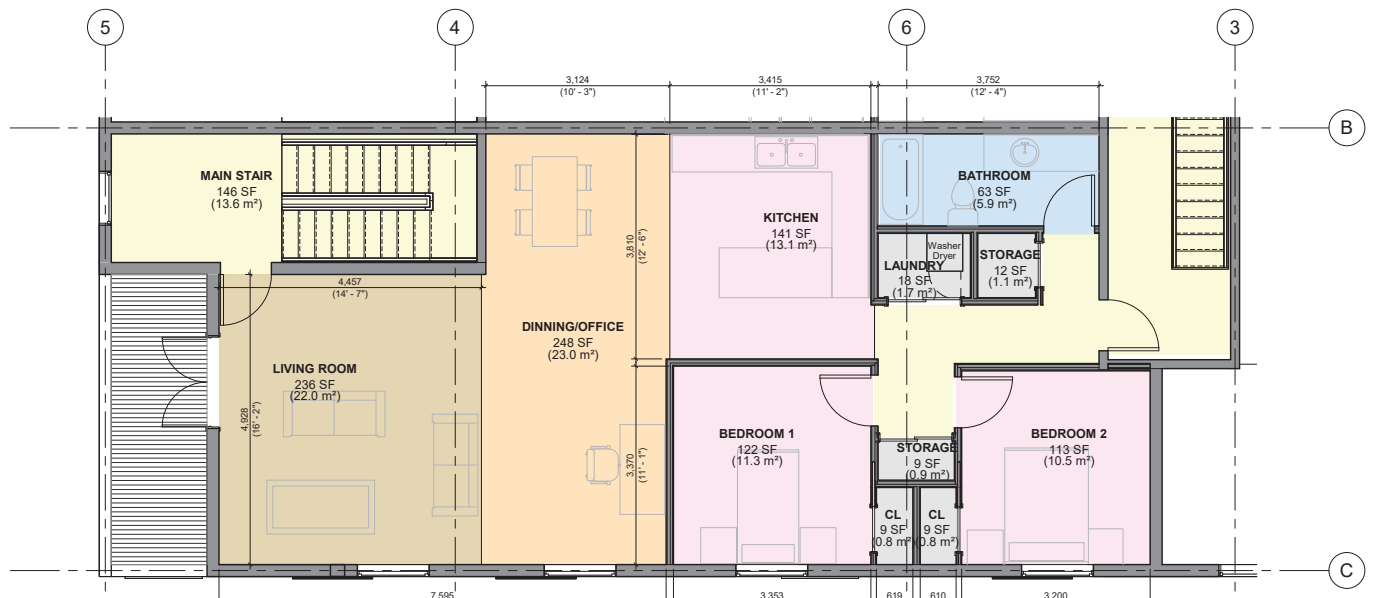
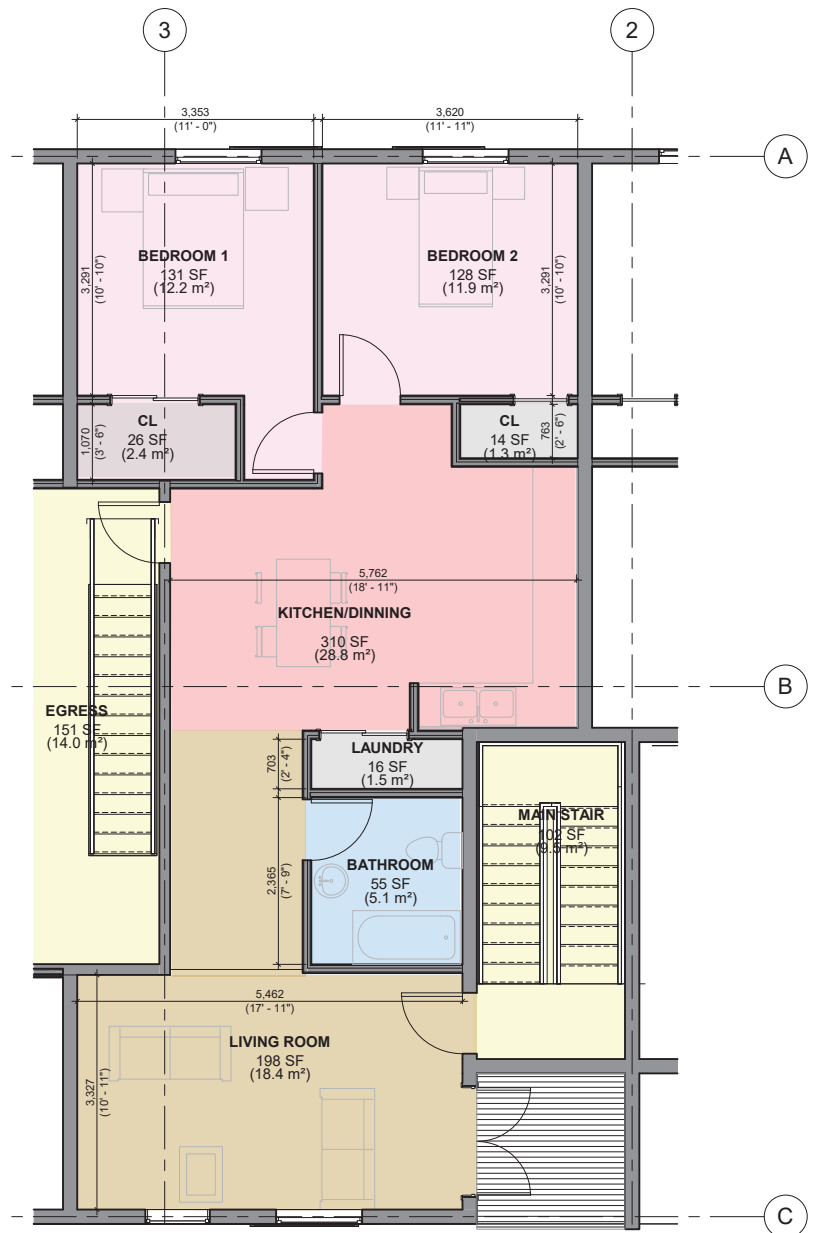
- EGRESS/CORES
- LIVING/KITCHEN
- BEDROOMS
- BATHROOMS

Key Areas

Space	Area/Number
Living Room	198 sqf
Kitchen/Living	310 sqf
Bedrooms	128 & 131 sqf
TOTAL	913 sqf

The 2 bed (Type b) family unit typology

Space	Area/Number
Living Room	236 sqf
Kitchen	141 sqf
Dinning/Office	248 sf
Bedrooms	113 & 122 sqf
TOTAL	1,099 sqf



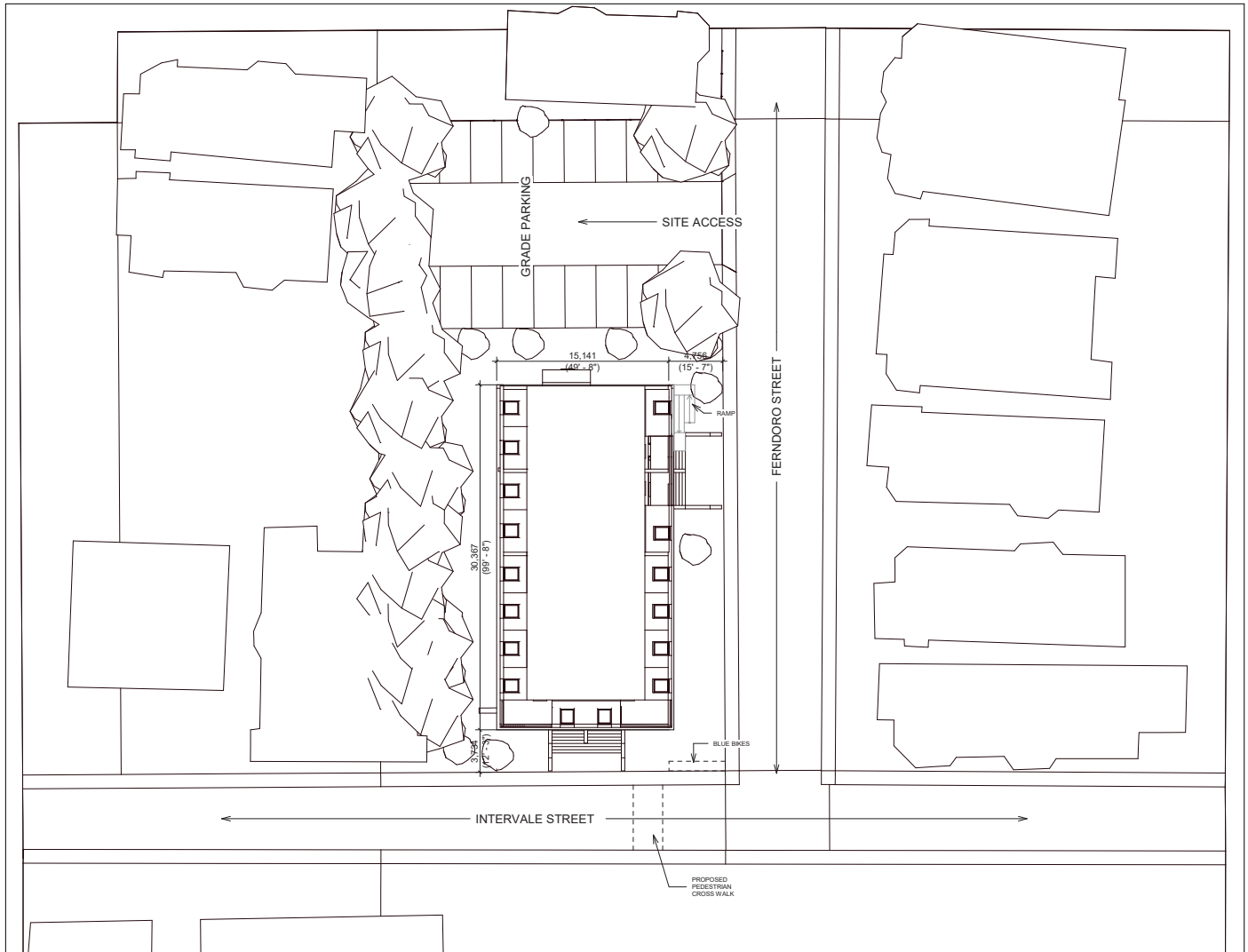
PROPOSED PARKING STRATEGY

The proposed building parking strategy is based providing all needed parking on grade parking that is accessed from Fernboro street.

The proposed parking ensures all cars are off the street and there is also space for secure bicycle parking. Opportunities for ride sharing bikes and ground level especially on the corner of Intervale and Fernboro are available depend-

ing on ride-sharing providers availability to supply this area.

Side walk paving, landscaping and lighting are proposed to enable walkability around the site. Public transport access is both available across from site on Intervale street and also on Lawrence Ave.



Space	Area/Number
Vehicular parking	16
Bicycle parking	(Basement)

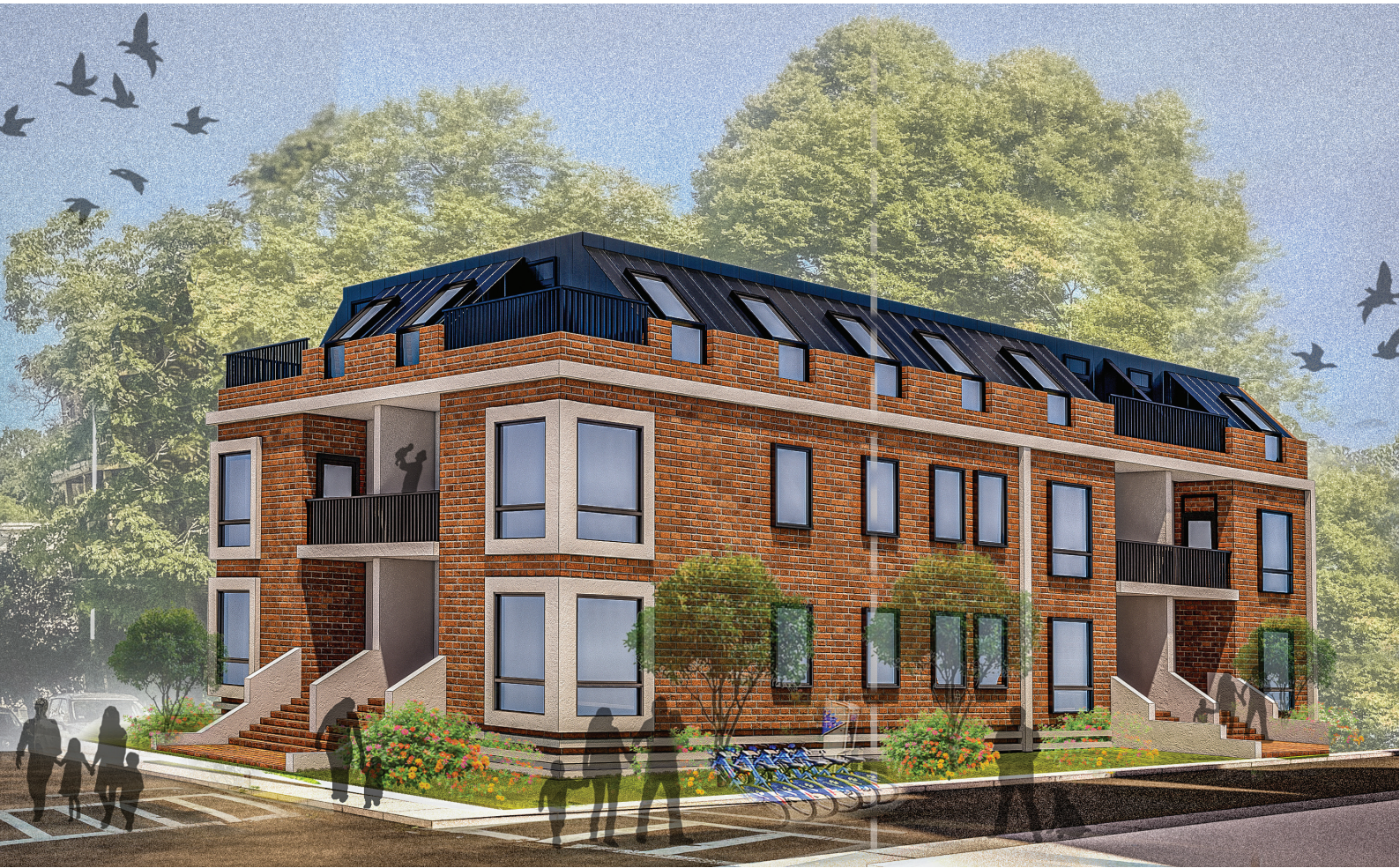


Blue Bikes opp on corner of Intervale & Fernboro



Bus Route 45 on Intervale St.

PROPOSED STREET CONTEXT & MATERIALITY



Interval & Fernboro Corner

Building material palette emphasizes context continuity and energy efficiency

PROPOSED PARKING STRATEGY

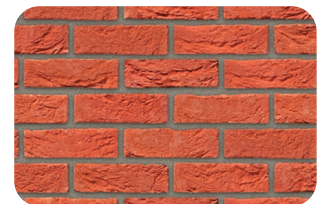
The proposed building building material pallet is designed to provide neighborhood character continuity which is predominately red brick or combination of repainted cladding.

By proposing base anchor in brick or terracotta tile and the top floor and roof in standing seam roof, the proposed design respects context but also provides a touch of modern edge to this corner.

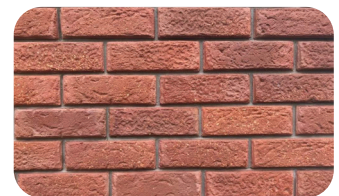
Material finishes will be developed further in line with passive house targets during detailing stages to ensure that the building is energy efficient.

The standing seam roof also provides platforms for installing solar panels for solar harvesting and rain water harvesting.

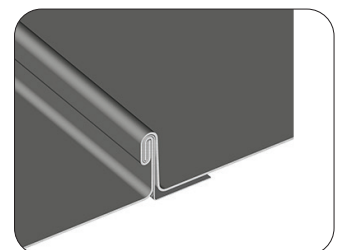
1. Redbrick cladding or similar to match context



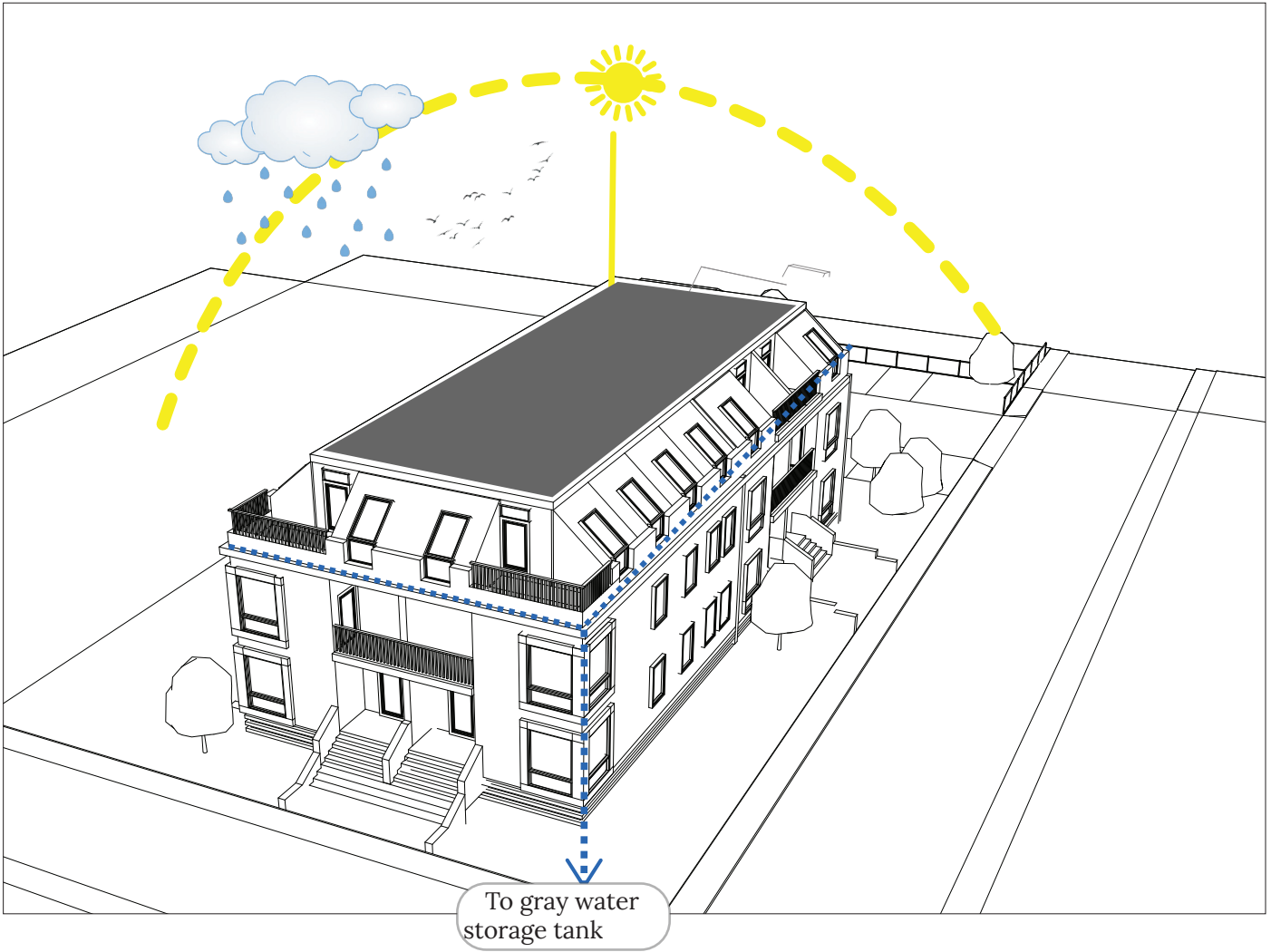
2. Redbrick red exterior terracotta wall tiles as part of wall wythe to maximize energy efficiency



3. Standing seam top level and roof.



SOLAR HARVESTING & RAIN WATER HARVESTING



SOLAR & RAINWATER HARVESTING READY ROOF

The proposed roof design is oriented with maximum potential for solar harvesting through PV arrays. The development will include hard wiring for solar ready development where homeowners can readily choose solar solutions and benefit from renewable and green energy source.

Massachusetts has vast solar potential, according to new state report 'Technical Potential of Solar Study'. The development also include rain water harvesting infrastructure such as rain gutters and underground storage tank for gray water use.

The screenshot shows the Google Project Sunroof interface. At the top, it says "Google Project Sunroof" and "Solar API in Maps". The address "10 Fernboro St, Boston, MA 02121, USA" is displayed. A green checkmark indicates "Analysis complete. Your roof has:". The analysis results are:

- 1,398 hours of usable sunlight per year (Based on day-to-day analysis of weather patterns)
- 388 sq feet available for solar panels (Based on 3D modeling of your roof and nearby trees)

Below the analysis, it states "\$30,000 savings" (Estimated net savings for your roof over 20 years). A link "Wrong building? Click another roof to view details." is provided at the bottom.

1,398 hours of usable sunlight per year
Based on day-to-day analysis of weather patterns



LANDSCAPE NARRATIVE

LANDSCAPE DESIGN STRATEGIES

We want to create a design that is environmentally friendly by preserving the existing vegetation on the site, using native species that require less maintenance, tolerate diseases better, and adapt to global warming.

Additionally, we aim to have a design that responds to the historical vocabulary of the neighborhood by incorporating four-season planting that maintains its appeal even in the winter. On the street-facing side where the active facade is located, we desire a clean design that enhances the qualities of the newly proposed building.

It should harmonize with the order and scale of the building. To achieve this, we will use native plants that exhibit seasonal color changes, require minimal maintenance, and can thrive in urban conditions.

Among the tree options we are considering trees with narrow canopy size, like small ornamental trees such as Amelanchier, Red bud, and columnar varieties like the Pine-oak and columnar red maple. For shrubs, our preference is the use of a combination of evergreen and deciduous shrubs. Evergreen options like hollies will provide, dwarf easter red-cedar that will provide greenery through the winter, while other may have interesting colors such as the red osier dogwood.

We aim to minimize the use of mulch and instead employ ground cover grasses like carex, native pachysandra, or wild ginger, which require very little maintenance. It's essential that these grasses, ground covers, shrubs and trees develop dense root systems, interconnecting with each other to provide mutual support and protection.



Acer Rumbrum 'Festigiata'



Quercus Palustris



Carex Pennsylvanica



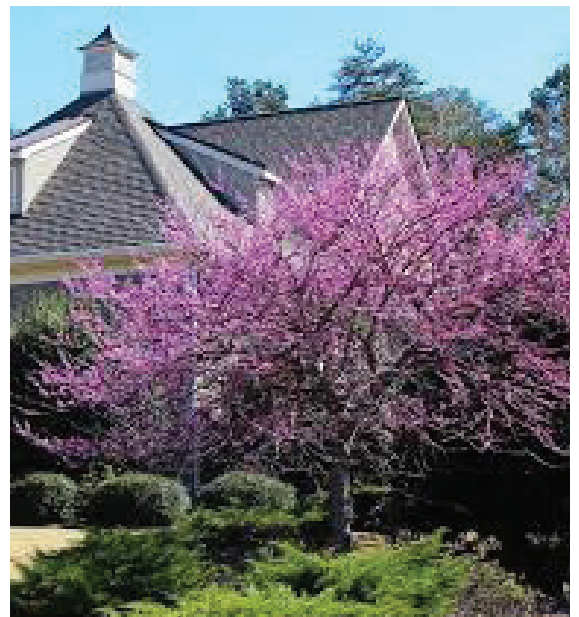
Clethra Alnifolia



Clethra Alnifolia fall color



Oakleaf Hydrangea



Cercis Canadensis



SCIENTIFIC NAME

COMON NAME

Trees

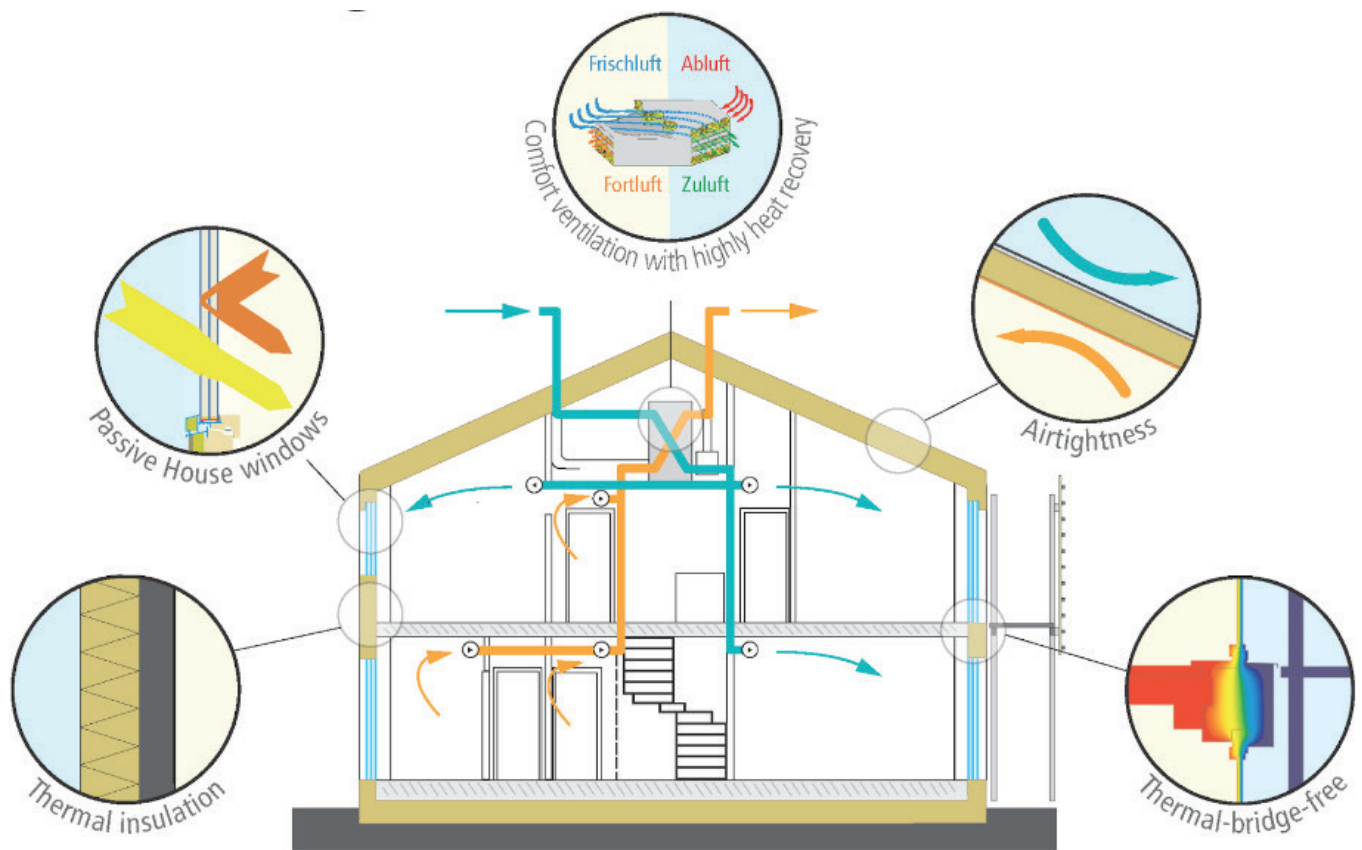
acer rumbrum	Red Maple	NE	f,W
Amelanchiar leavis	Shadblows Serviceberry	NE	S,F,W
Cercis canadensis	redbud	N	S,F,W
Cornus florida	Flowering Dogwood	NE	S,F,W
Quercus palustris	Pine Oak	NE	f,W

Decidus shrubs

Clethra alnifolia	Summersweet	NE	S,F,W
Cornus sericea 'artic fire'	Dwarf Red Twig Dogwood	NE	w
Cornus sericea 'flaviramea'	Yellow Twig Dogwood	NE	w
Fothergilla gardenii	dwar fothergilla	N	
Hydrangea quercifolia 'Ruby slippers'	Ruby slippers dwar Oakleaf Hydrangea	N	F
Viburnum acerifolium	Maple Leaf Viburnum	NE	SF

Evergreen shrubs

Ilex verticillata	Winter berry	N	
Ilex opaca	America Holly	N	
Ilex glabra	shamrock Holly	N	
Juniperus horizontalis	Creeping juniper	N	
Leucothea axillaris	Coast Leucothoe	N	



Passive House Design Principles, source: Passivhaus Institut

RESILIENT DEVELOPMENT, CARBON NEUTRAL, NET ZERO ENERGY, AND GREEN BUILDING - DESIGN NARRATIVE

TO **Killion Mokwete**
EMAIL **killion@socialimpactcollective.com**
Social Impact Collective

29153.000
21-29 Fenenboro Street

DATE September 26, 2023

REGARDING **21-29 Fenenboro Street Preliminary Passive House Feasibility Assessment**

Dear Killion,

As requested by Social Impact Collaborative (SIC), RDH Building Science Inc. (RDH) is pleased to provide you with this memo summarizing our preliminary review of Passive House feasibility for 21-29 Fenenboro Street, Boston.

Based on our preliminary review of the Schematic Design documents, it is our opinion that Passive House certification is possible for 21-29 Fenenboro Street. Please note that this letter is based on our high-level review of the schematic design documents and our general opinion based on past project experience. An energy model (WUFI Passive) is required to confirm Passive House feasibility and design/performance requirements. RDH has not completed a WUFI Passive model at this stage, We recommend the model be completed as a next step to verify compliance with Passive House standards, which is required for Massachusetts Opt-In Stretch Energy Code compliance for this building.

Project Description and Background

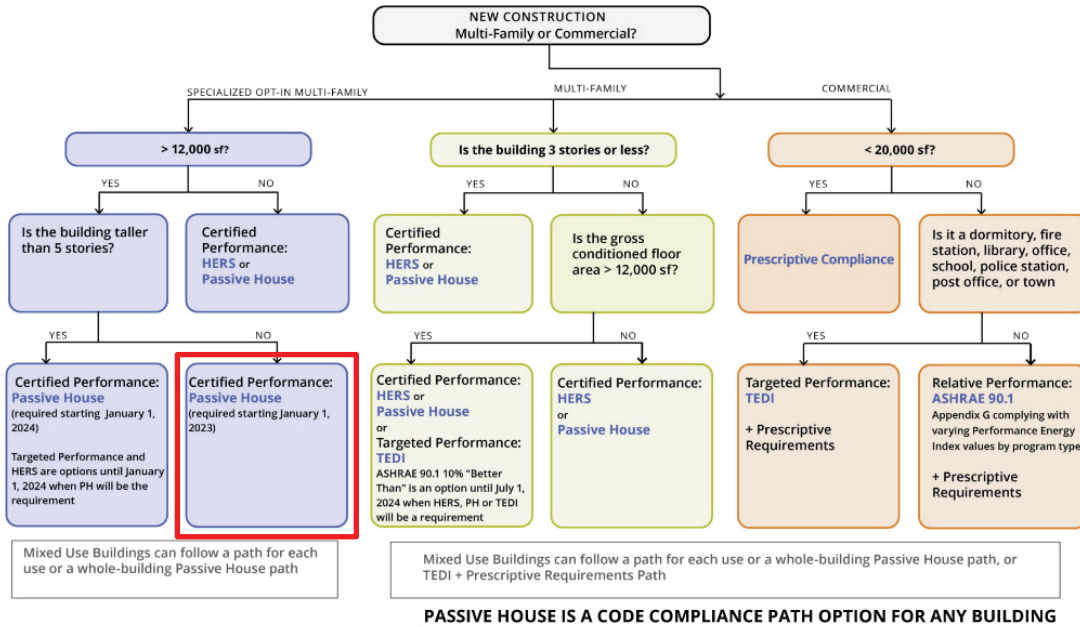
21-29 Fenenboro Street is an 18-unit, 29,320 gross square foot, multi-family residential building, with 3 stories above grade and one-story garage partially below grade.



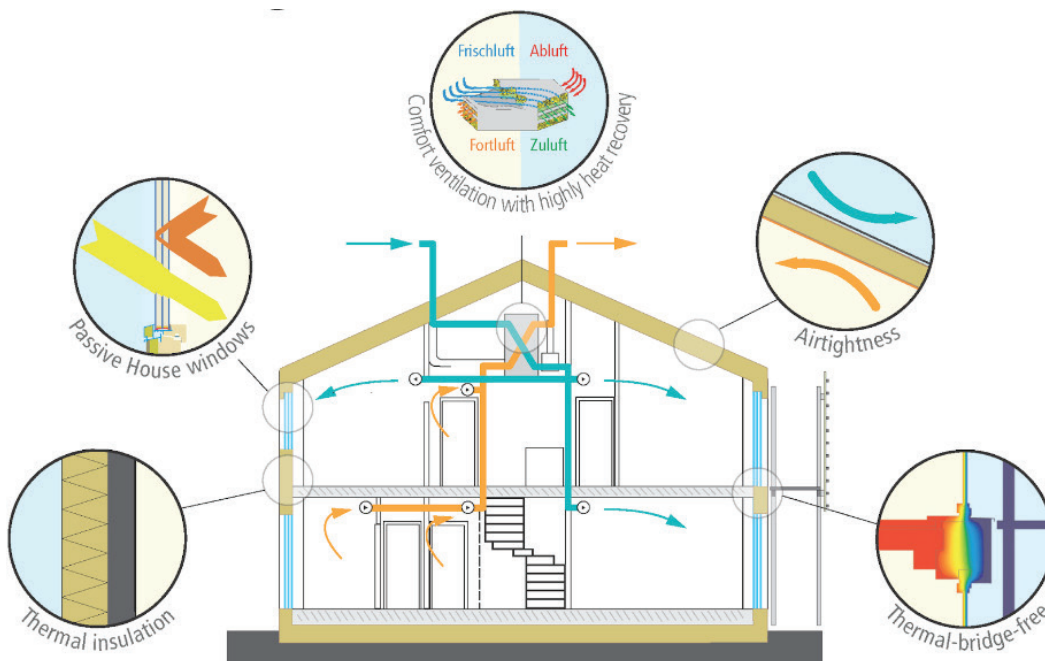
Rendering of 21-29 Fenenboro Street provided by SIC

Energy Code Requirements

The Massachusetts Opt-In Specialized code, which the City of Boston has adopted, requires Passive House certification for multi-family residential buildings over 12,000 square feet and under 5 stories starting January 1, 2023, and over 5 stories as of January 1, 2024.



Stretch Code Flow Chart, source: RDH



Passive House Design Principles, source: Passivhaus Institut

PHIUS Certification Criteria

All high-performance, low-carbon standards, including Passive House, require a proactive and dedicated management of the stringent operational energy and carbon budgets set for each project. One of the key practices to deliver a successful project is to clearly define performance metrics for the project, at an early phase. PHIUS 2021 targets for this project are as follows:

Phius 2021 Performance Criteria Calculator v3.3		
UNITS:	IMPERIAL (IP) ▾	
BUILDING FUNCTION:	RESIDENTIAL ▾	
PROJECT TYPE:	NEW CONSTRUCTION ▾	
STATE/ PROVINCE	MASSACHUSETTS ▾	
CITY	BOSTON LOGAN INT ARI ▾	
Envelope Area (ft²)	24,020.7	
iCFA (ft²)	16,108.8	
Dwelling Units (Count)	18	
Total Bedrooms (Count)	40	
Space Conditioning Criteria		
Annual Heating Demand	5.4	kBtu/ft ² yr
Annual Cooling Demand	6.4	kBtu/ft ² yr
Peak Heating Load	4.4	Btu/ft ² hr
Peak Cooling Load	3.0	Btu/ft ² hr
Source Energy Criteria		
Phius CORE	3875	kWh/person.yr
Phius ZERO	0	kWh/person.yr

Summary of Key Design Characteristics

RDH has reviewed the following design documents to provide our opinion of the feasibility and likely steps required to meet PHIUS certification criteria:

→ Concept Schematic Drawings dated September 9, 2023 prepared by SIC

A full assessment of PHIUS feasibility requires the development of a WUFI Passive model to assess all criteria. RDH has not completed a WUFI Passive model for the building to date.

This memo is based on our general opinion and project experience of typical requirements to meet PHIUS criteria. A WUFI Passive model should be completed to assess the full feasibility and design requirements to meet PHIUS standards.

Table 1 summarizes our review of the key design characteristics and our opinion on their general performance against PHIUS criteria. Where detailed information pertaining to the component was not provided, RDH has provided Basis of Design assumptions.

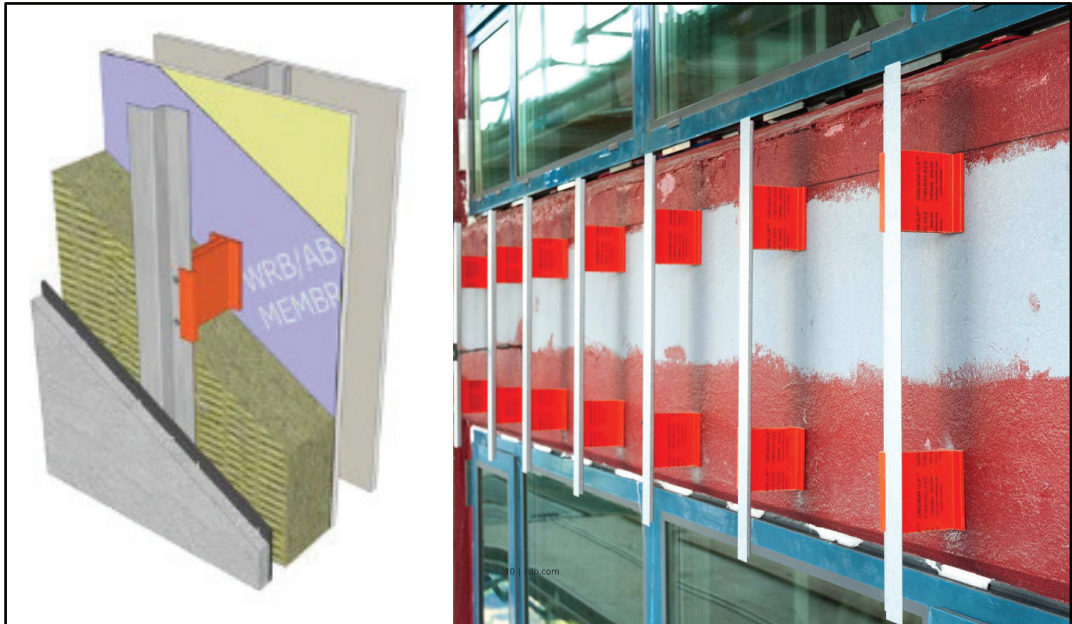
Component	Basis of Design	Comments
Floor 1 Slab over Garage	Sandwich Insulated Slab 6" XPS below slab	+/-R-30
Sub Grade Foundation Wall	6" XPS over concrete wall (where applicable)	+/- R-30
Above Grade Walls	Stud wall or CMU backup wall with 8" of exterior mineral wool insulation and thermally broken brick ties and shelf angles. See alts. In discussion below.	+/- R-30
Roof	Standing seam metal roof over SIP	+/- R-70
Window to Wall Ratio	+/- 15%	Maintain 20% or less
Windows	Passive House certified triple glazed tilt/turn and fixed windows	U-0.18 or less
Ventilation**	Decentralized ERVs (per unit)	84% min. efficient
Heating and Cooling	Decentralized Air Source Heat Pump (per unit)	
DHW	Decentralized Heat Pump Water Heater (per unit)	
Lighting	LED (80% min. of lighting fixtures should be Energy Star qualified)	LED (80% min. of lighting fixtures should be Energy Star qualified)
Appliance & Plug Loads	Energy Star	Required for Source Energy targets
Washer Dryer	Heat pump washer dryer (per unit)	
Range Hood	Recirculating Rangehood	
PV Array	Roof is PV Ready	

General Opinion and Recommendations

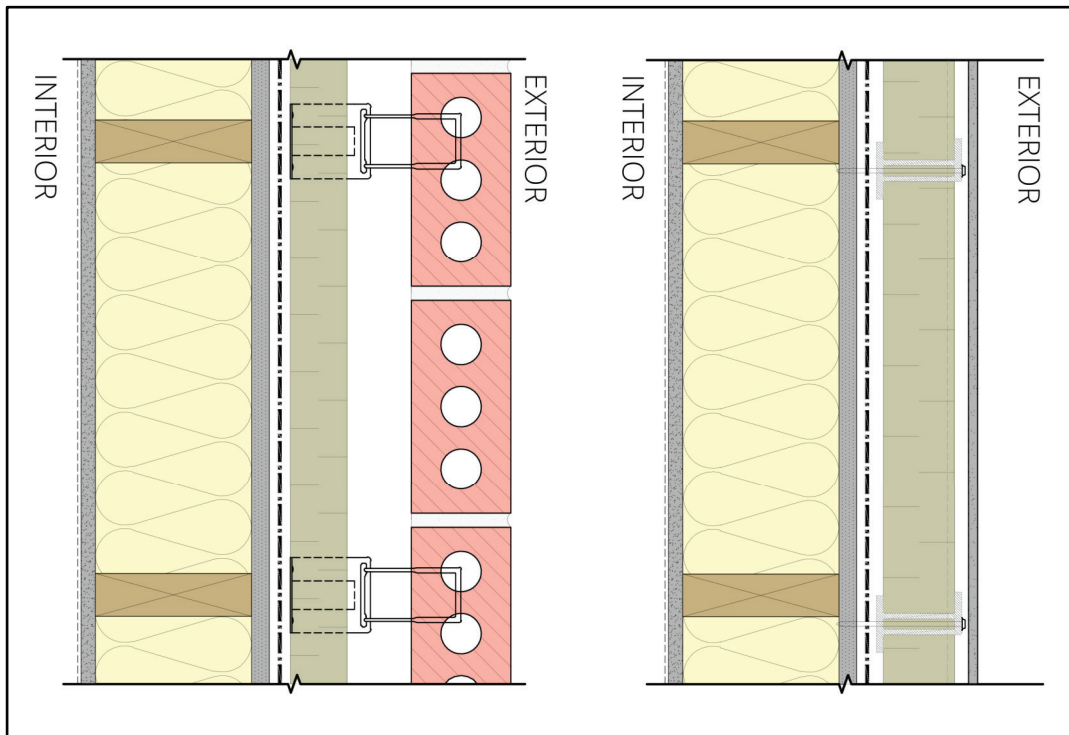
Based on our preliminary review of the Schematic Design documents, it is our opinion that Passive House certification is possible for 21-29 Fenemboro Street. The following are key questions and areas of focus to develop a design capable of meeting the PHIUS Standard moving forward:

- Exact requirements of each key lever of the balanced energy budget are subject to modification pending results of subsequent WUFI Passive energy model.
- Consideration should be given to the detailing of the garage ceiling/ floor of level 1 to minimize structural thermal bridges. Insulating above the slab of the units could be a strategy to eliminate potentially complicated insulation below the slab in the garage and around any columns, walls or other structural thermal bridges that would adversely affect the energy model.
- Thermally broken brick ties, and limited quantities of steel knife-plate outrigger detailing to support the brick relieving angles should be used as part of the brick wall system to maintain clear-field R-values required and limit heat loss through thermal bridging.
- In place of the steel stud or CMU back up wall with brick cladding, a wood framed back up wall could be utilized, allowing a higher effective R-value from stud cavity insulation, allowing reduction of the insulation thickness outboard of the AVB. Some miscellaneous structural steel could be required to support the brick and would need to be coordinated with the Structural Engineer.
- In place of the brick exterior, a lightweight cladding system could be utilized on a thermally broken clip and rail system, over a wood framed back-up wall. This could allow the use of stud cavity insulation and a thinner wall assembly, without the miscellaneous steel required for a brick wall, further reducing thermal bridging.
- To achieve the Source Energy criteria, it will be important to select systems, lighting, and appliances to reduce energy consumption as much as possible. A DHW wastewater heat recovery strategy should be considered to reduce Source Energy.
- Basis of design items for clothes dryer and range hood are intended to limit the disruption of the balanced ventilation within the airtight building enclosure and minimize energy loss. If a vented range hood or clothes dryer are to be used, it will affect the Source Energy and will need to be compensated for elsewhere in the energy budget.

Should the project move forward, we recommend that a WUFI Passive energy model be completed to confirm the design strategies required to meet the PHIUS criteria.



Example of thermally broken clip and rail system with rainscreen cladding.




Example of alternate wall assemblies, including brick wall with thermally broken brick ties over wood frame back-up wall with cavity insulation (left). Example of alternate wood framed assembly with thermally broken clips and light-weight rainscreen system (right). Both provide an alternate to utilize the most thermally effective stud cavity insulation and decrease wall thickness from basis of design which maintains 100% of the insulation outboard of the sheathing.

Closure

Please don't hesitate to reach out with any questions. We look forward to our continued collaboration on this project.

Yours truly,



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Passive House Consultant
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T 617 326 2479
RDH Building Science Inc.

Luc Nahrgang | PE (MA, +others)
Principal, Senior Project Engineer
RDH Building Science Inc.



DESIGN DRAWINGS

SITE PLAN (1" = 20')

SCHEMATIC FLOOR PLANS (1/8" = 1'-0" SCALE)

BUILDING ELEVATIONS (1/8" = 1'-0" SCALE)

PERSPECTIVE DRAWINGS

PROPOSAL DRAWINGS

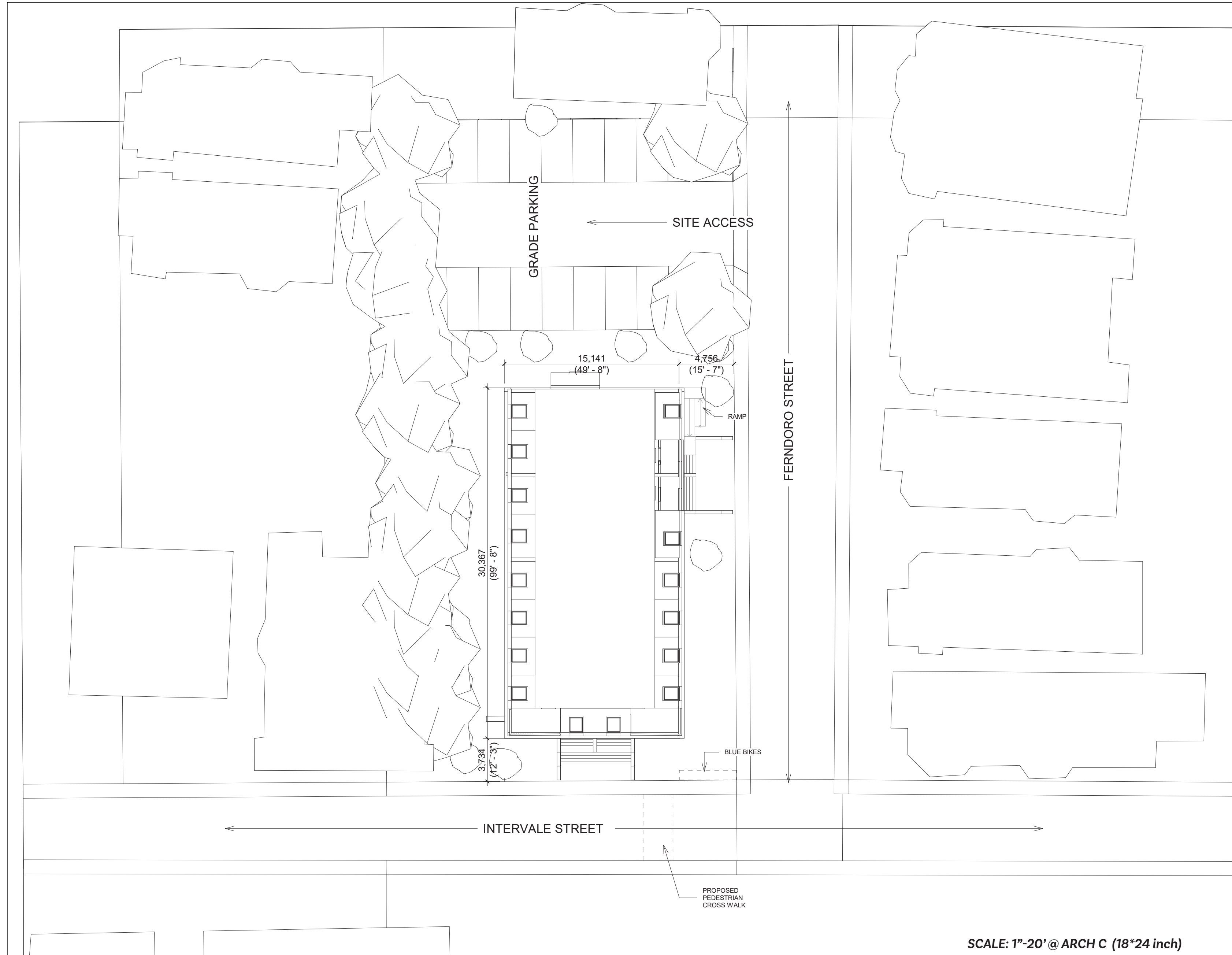


STREET VIEW AT INTERVALE/FENERBORO STREET



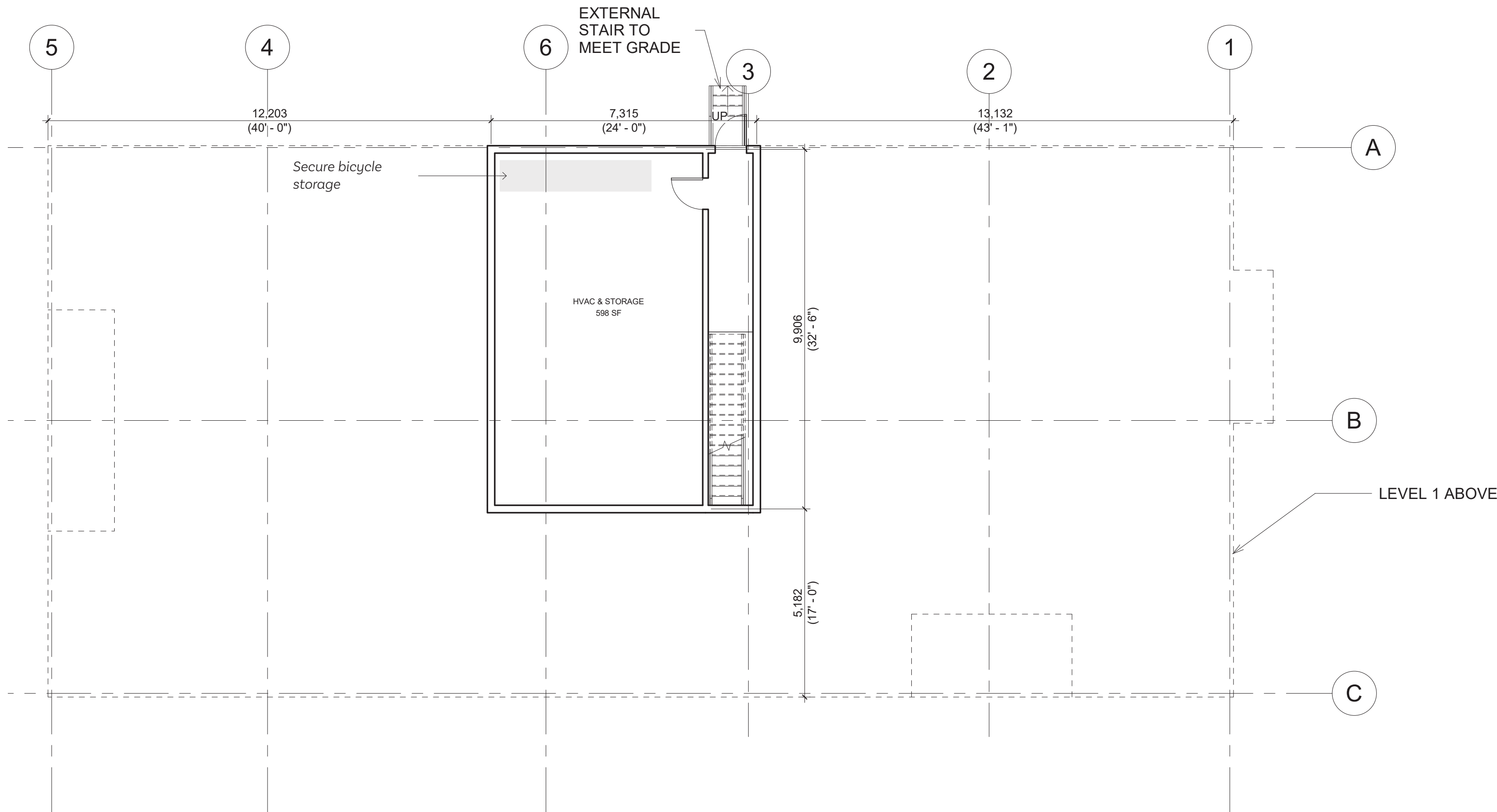
STREET VIEW ON FENERBORO STREET

SCHEMATIC FLOOR PLAN- SITE PLAN



SCALE: 1"=20' @ ARCH C (18*24 inch)

SCHEMATIC FLOOR PLAN- LEVEL BASEMENT

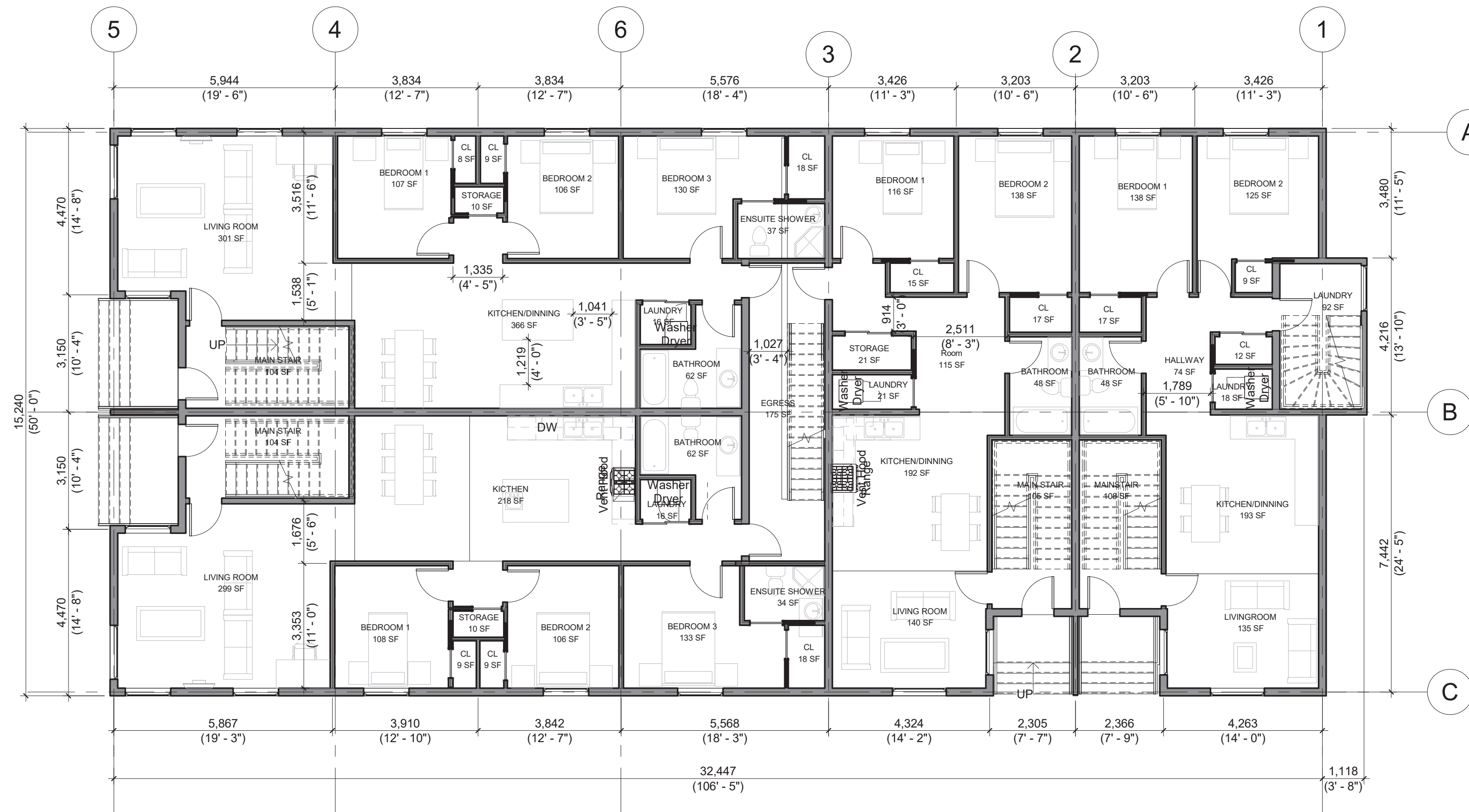


HVAC & STORAGE & SECURE BICYCLE	Proposed location on HVAC systems and storage access from grade parking	818 SF
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SCALE: 1/8"-1'-0" @ ARCH C (18*24 inch)



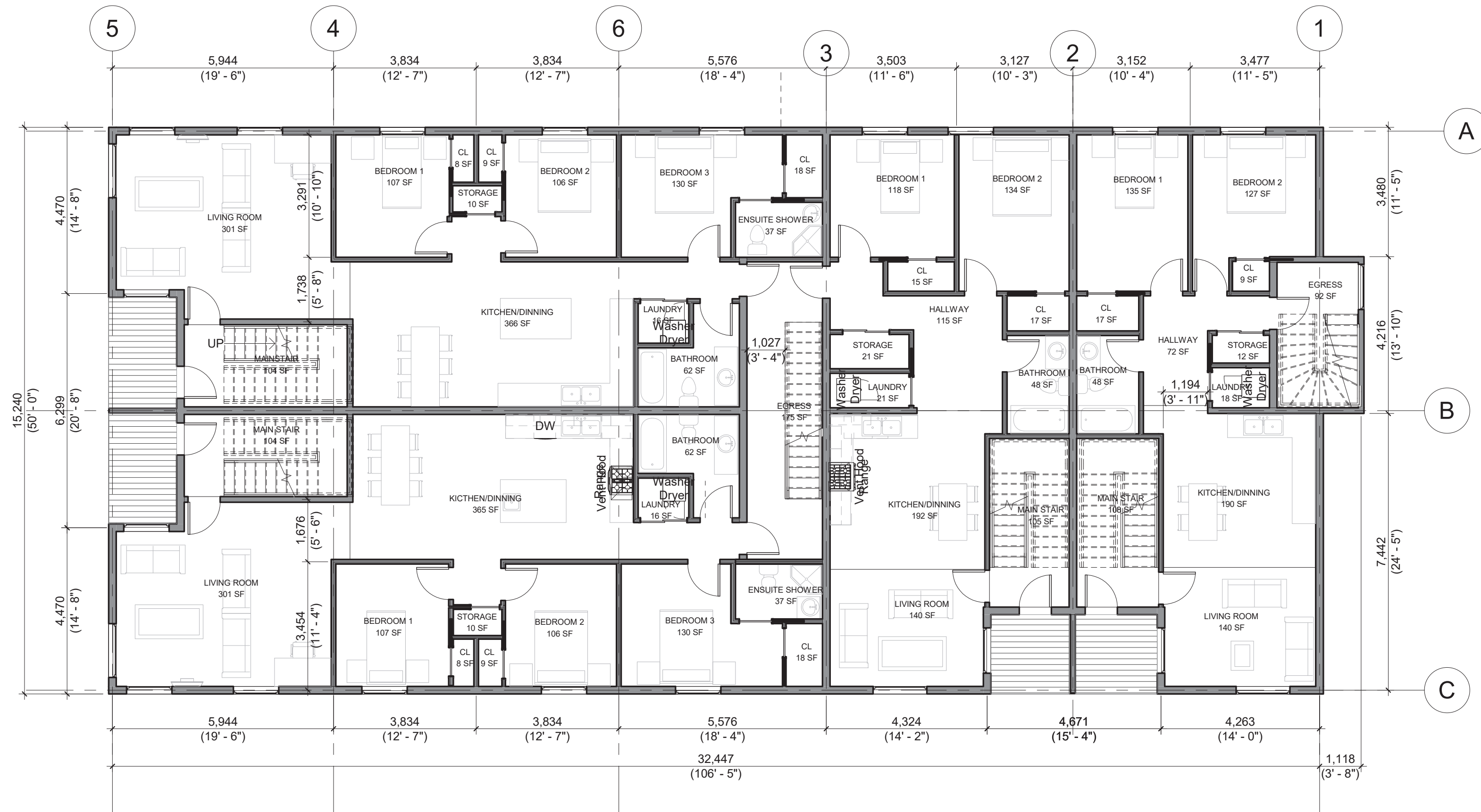
SCHEMATIC FLOOR PLAN-LEVEL 1



LEVEL 1- UNIT COUNT		AREAS (SQF)
NUMBER UNITS	2 BED (2)	853 sqf /unit
	3 BED (2)	1,207sqf/unit
FLOOR GROSS AREA		5,182 sqf

SCALE: 1/8"=1'-0" @ ARCH C (18*24 inch)

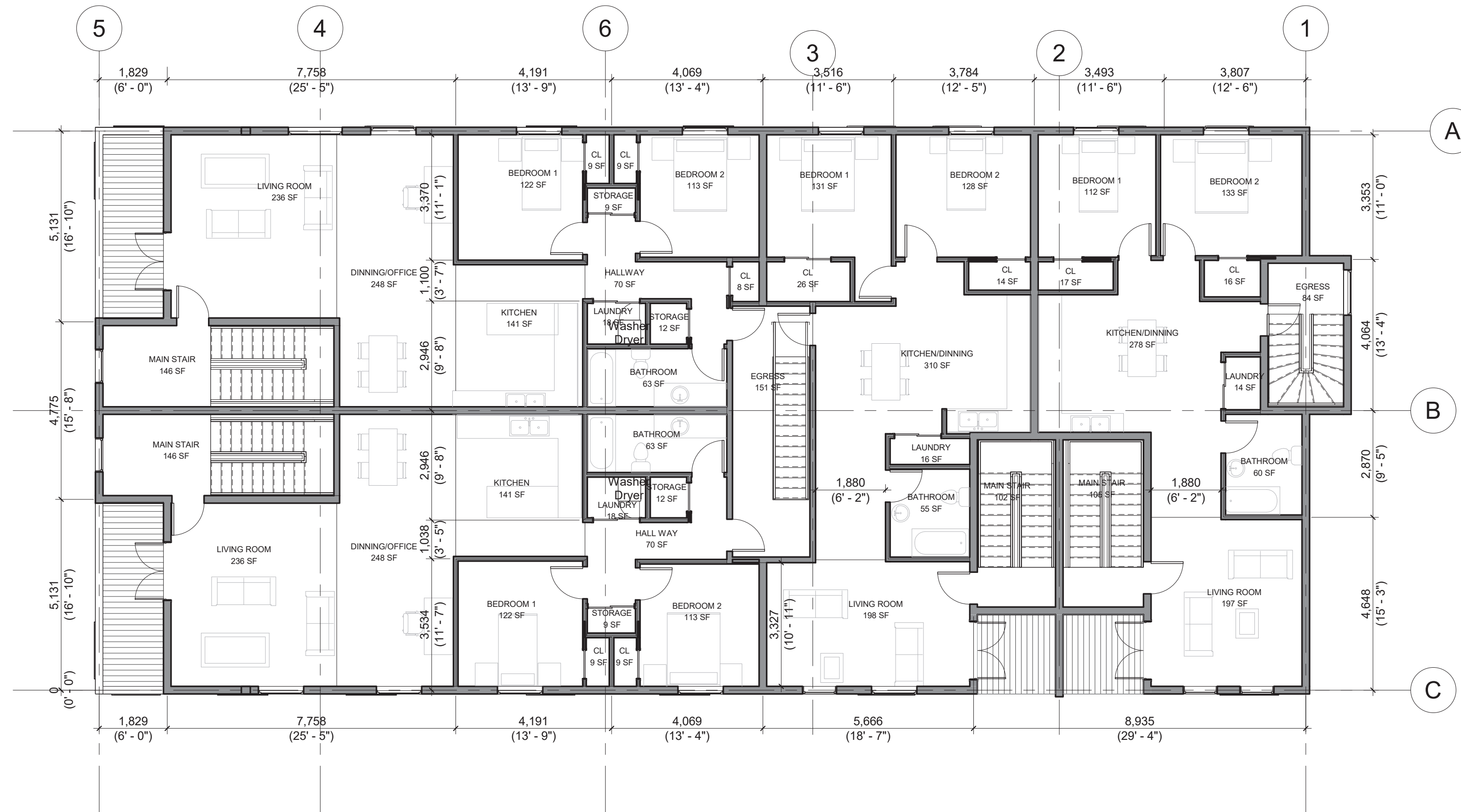
SCHEMATIC FLOOR PLAN- LEVEL 2



LEVEL 2- UNIT COUNT		AREAS (SQF)
NUMBER UNITS	2 BED (2)	853 sqf /unit
	3 BED (2)	1,207sqf/unit
FLOOR GROSS AREA		5,182 sqf

SCALE: 1/8"=1'-0" @ ARCH C (18*24 inch)

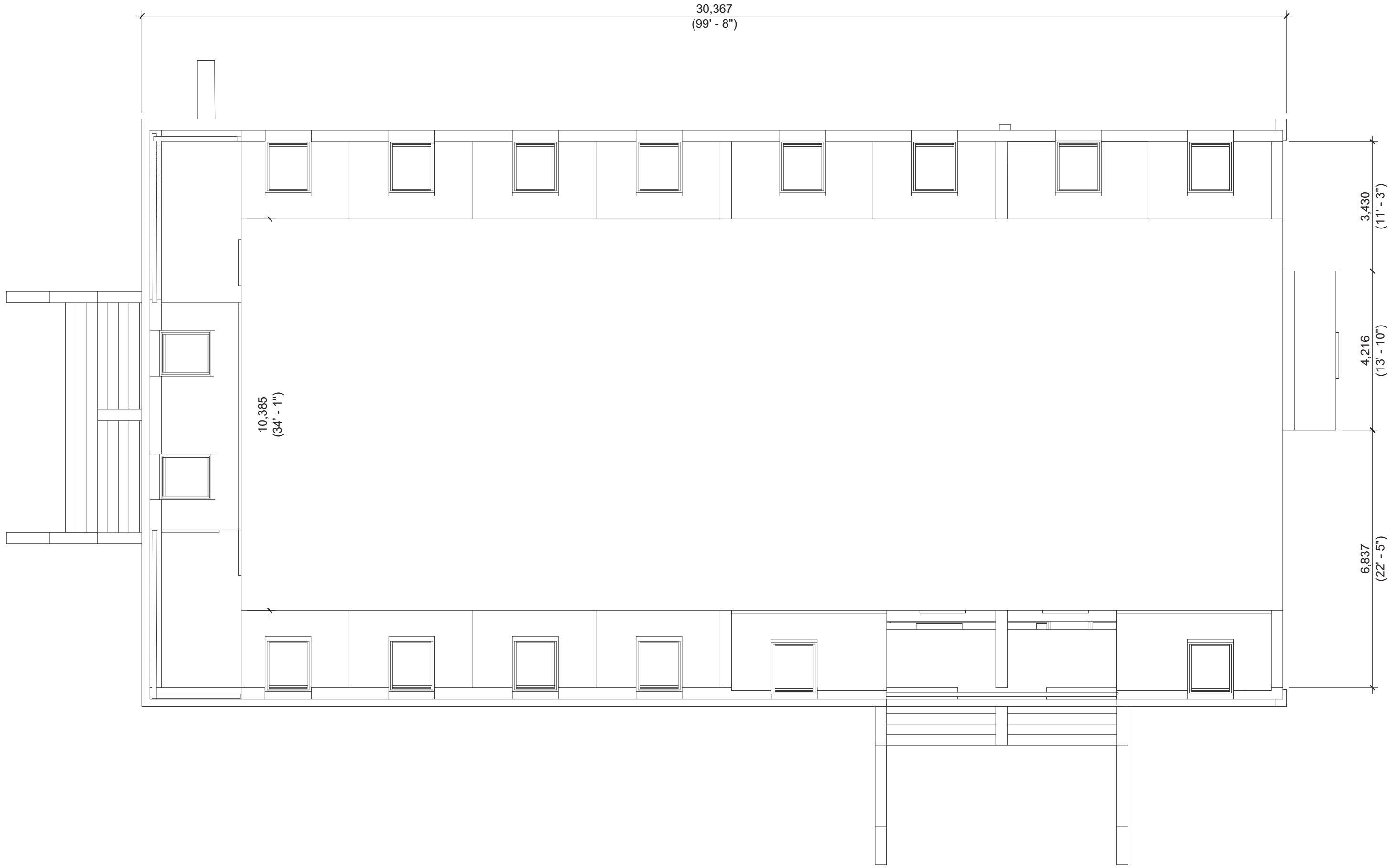
SCHEMATIC FLOOR PLAN- LEVEL 3



LEVEL 3- UNIT COUNT		AREAS (SQF)
NUMBER UNITS	2 BED TYPE 1 (2)	1,099 sqf
	2 BED TYPE 1 (2)	913 sqf
FLOOR GROSS AREA		5,120 sqf

SCALE: 1/8"=1'-0" @ ARCH C (18*24 inch)

SCHEMATIC FLOOR PLAN- ROOF PLAN



SCALE: 1/8"-1'-0" @ ARCH C (18*24 inch)



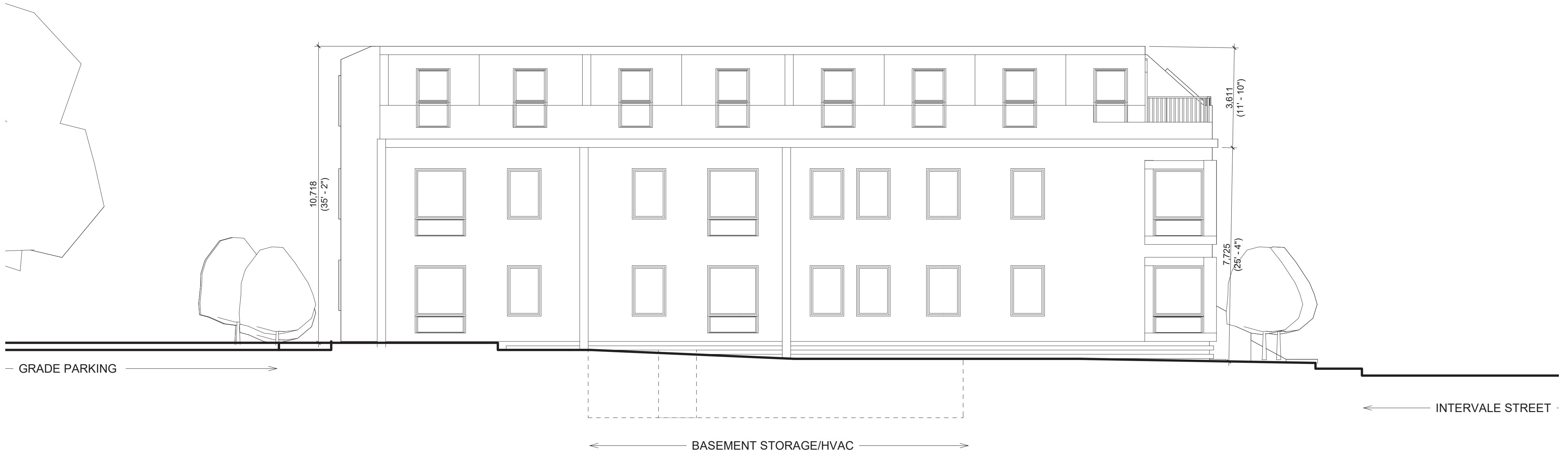
SCHEMATIC ELEVATION- FERNEBORO STREET ELEVATION

SCALE: 1/8"-1'-0" @ ARCH C (18*24 inch)



SCHEMATIC ELEVATION- INTERVALE STREET ELEVATION

SCALE: 1/8"-1'-0" @ ARCH C (18*24



SCHEMATIC ELEVATION- SOUTH ELEVATION

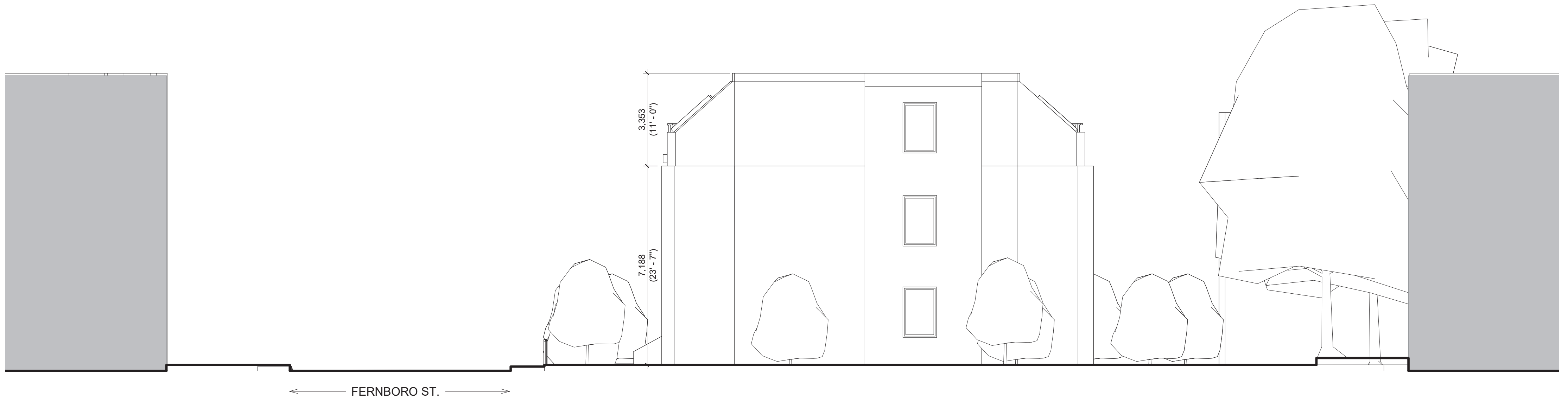


SCHEMATIC ELEVATION- WEST ELEVATION

SCALE: 1/8"=1'-0" @ ARCH C (18*24 inch)



SCHEMATIC ELEVATION- EAST ELEVATION

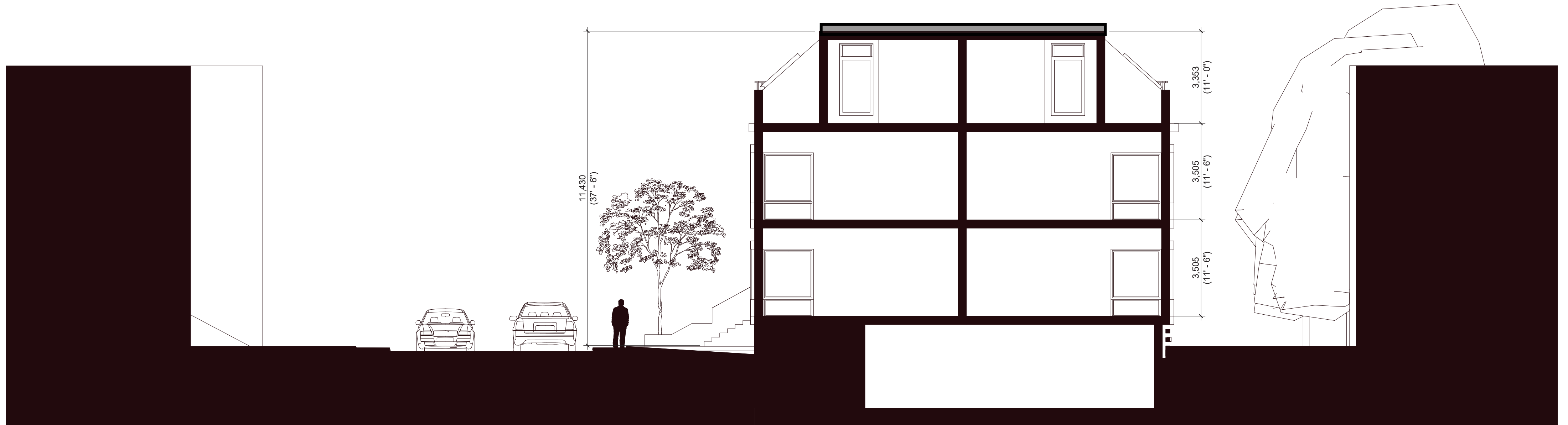


SCHEMATIC ELEVATION- NORTH ELEVATION



SCHEMATIC SECTION- SECTION 1-1

SCALE: 1/8"-1'-0" @ ARCH C (18*24 inch)



SCHEMATIC SECTION- SECTION 2-2

SCALE: 1/8"-1'-0" @ ARCH C (18*24 inch)