

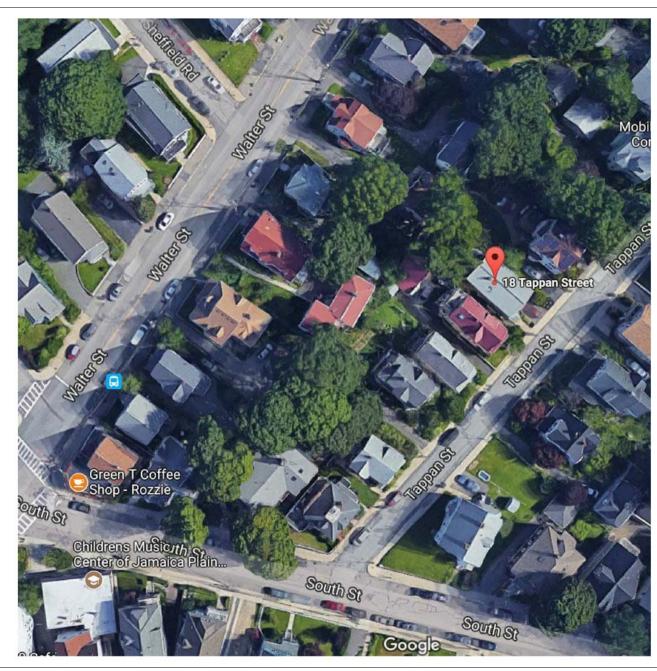
RESIDENTIAL RENOVATION/ADDITION PERMIT SET

1/12/18

RYAN RESIDENCE

18 Tappan Street Roslindale, MA 02131

LOCUS IMAGE (NTS)



EXIST. SITE PLAN (1"=20'-0")

PROP. SITE PLAN (1"=20'-0")

20'-0"

LIST OF DRAWINGS

T1.0 PROJECT INFORMATION

EX-1.1 DEMO PLANS

A1.0 PLANS

A1.1 2ND FL. INT. DTLS. A2.1 ELEVATIONS

A2.2 BUILDING SECTIONS

S1.0 STRUCTURAL DETAILS

CODE REQUIREMENTS

APPLICABLE CODES:

780 CMR (MA Residential Building Code, 2012) Stretch Energy Code 527 CMR 12 (MA Electrical Code)

248 CMR (MA Plumbing/Gas Code)

CITY OF BOSTON ZONING CODE, includin Arcitcle 67, Roslindale Neighborhood Subdistrict

Stretch Energy Code:

Per AA104 Existing Buildings. For alterations, renovations, additions or repairs of existing buildings... the energy efficiency requirements of 780 CMR 13.00: Energy Efficiency or 780 CMR 51.00: Massachusetts Residential Code, Sections N1100.1 through N1111.2, as amended, shall be used as applicable.

780 CMR Table N1102.1, Climate Zone 5: Ceiling = R-38 min. Wood Frame Wall = R-20 or 13+5 Floor = R-30 min.

Windows ≤0.30 U Factor
Doors, Opaque ≤0.21 U Factor
Doors, 1/2 lite ≤0.27 U Factor, ≤0.30 SHGC
Skylight ≤0.60 U Factor

ZONING ANALYSIS

ZONING RESIDENCE: Roslindale Neighborhood Subdistrict, Zone 2F-5000

Minimum Lot Area = 5,000 SF Building Area: 1,061 SF

Lot Coverage: 21%

TAPPAN STREET

FAR Maximum: 0.5

Existing FAR: 0.32/Proposed FAR: 0.48

Actual Lot Area: 5,095 SF

Front Yard Setback: 20 Feet (Conforming Existing and New) Side Yard Setback: 10 Feet (Conforming Existing and New) Rear Yard Setback: 40 Feet (Conforming Existing and New)

Maximum Stories: 2-1/2 Maximum Height: 35 Feet

PROJECT DESCRIPTION

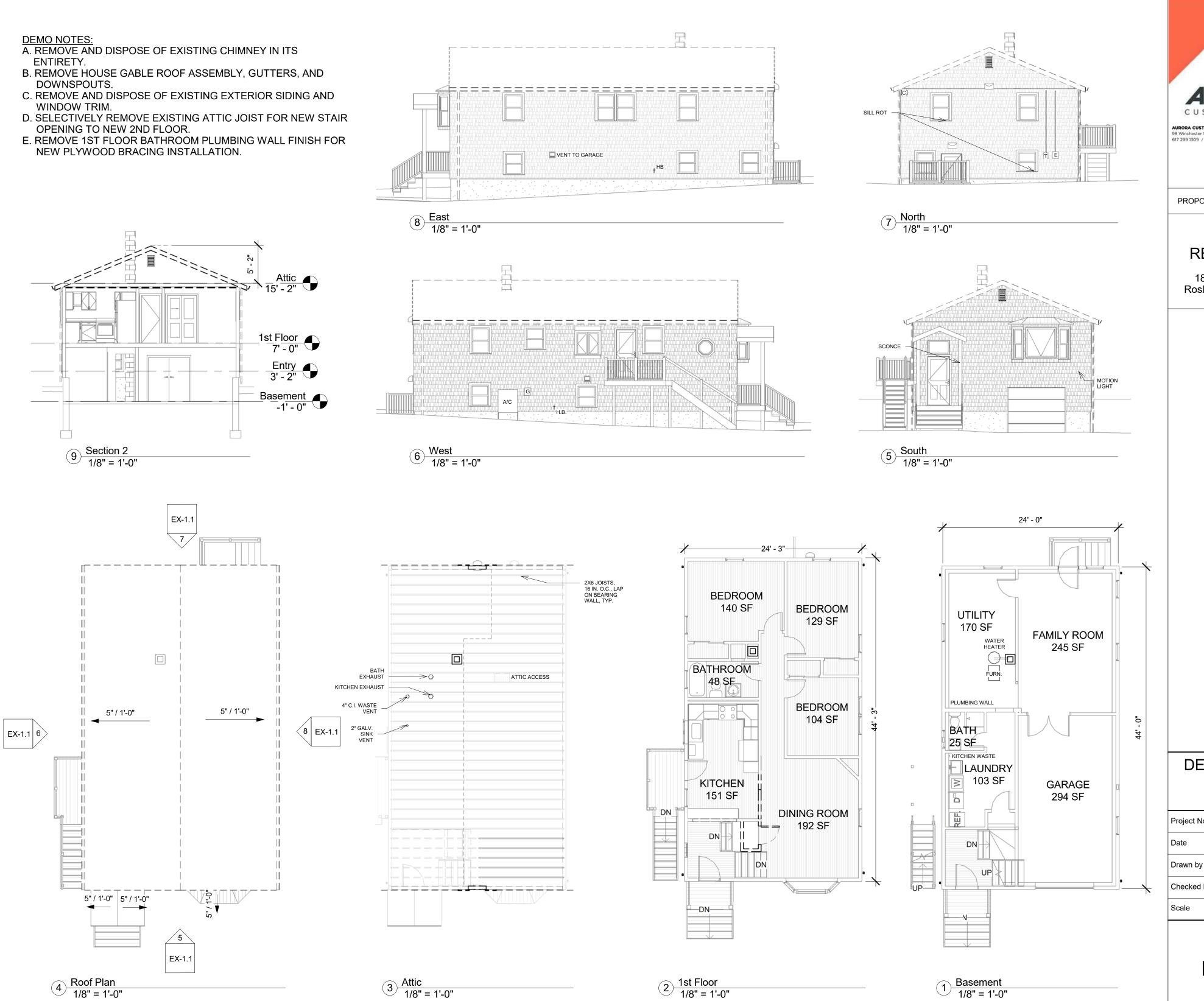
This project includes adding a second floor to the existing single family residence located at 18 Tappan Street, Roslindale. The existing structure includes a basement with a Garage, Family Room, Utility Space, a Bathroom and a Laundry Area. The existing First Floor contains 3 Bedrooms, a Bathroom, a Kitchen, and a Dining Room.

The new 825 sf Second Floor Addition is to include a Master Bedroom with a balcony, a Bathroom, an Office, and a Family Room. In order to create this space, the existing shallow sloped gable roof will be demolished, the bearing walls will be extended up ~ 4'-6" and a new steep sloped gable roof with east and west dormers will be added. The 1st Floor ceiling joists will be reinforced with 2x8s and brace walls will be established on the first floor. The new roof will have a ridge beam bearing on columns at the new end walls and a central column, which will require a new column and footing in the basement.

The existing Furnance and Hot Water Heater will be replaced with direct vent systems.

REVISIONS

No.	Description	Date



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CUSTOM BUILDERS

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PROPOSED RENOVATIONS TO:

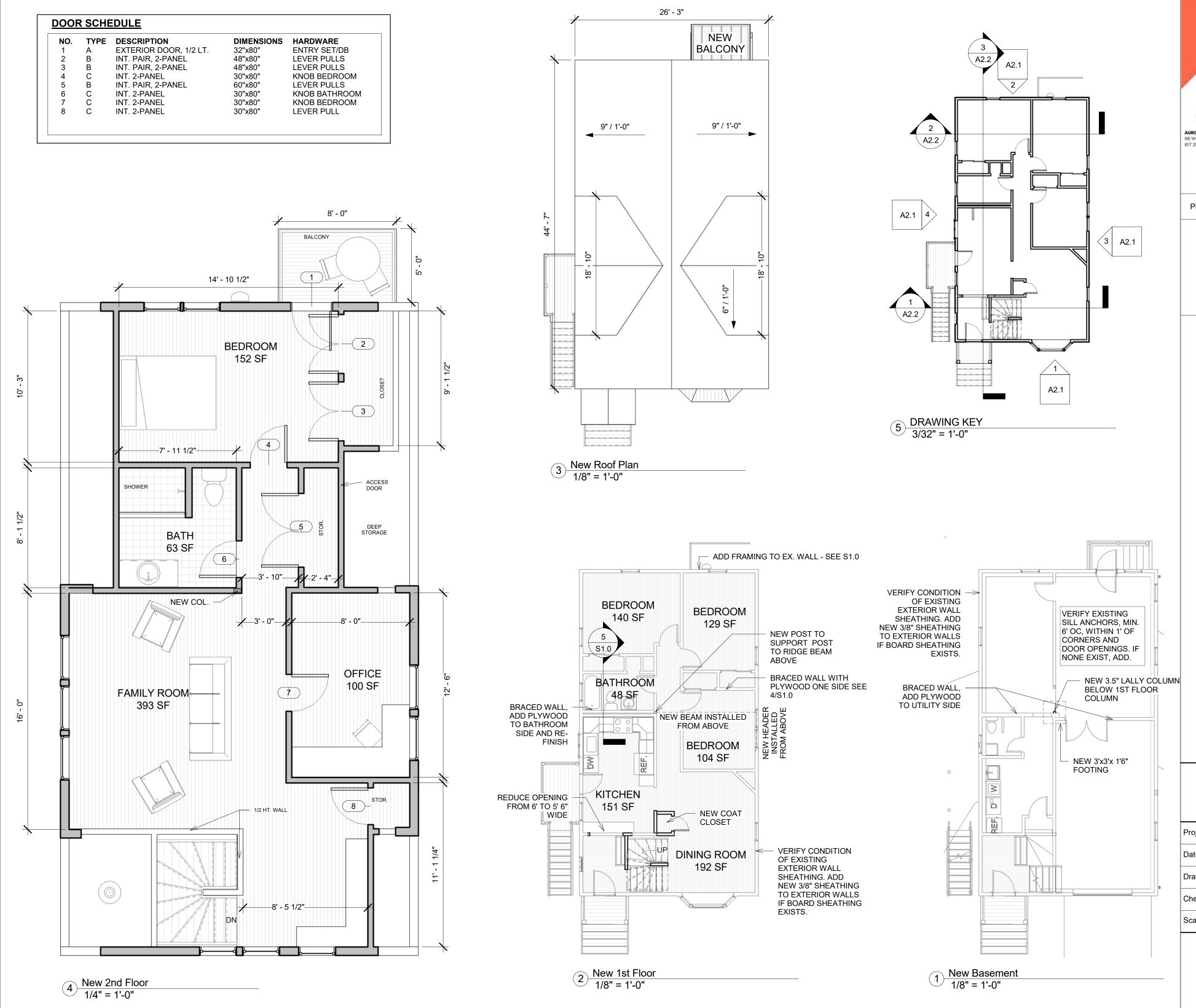
RYAN RESIDENCE

18 Tappan Street Roslindale, MA 02131

DEMO PLANS

oject No.	Ab1622
te	1/12/18
awn by	CD
ecked by	-
ale	1/8" = 1'-0"

EX-1.1





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PLANS

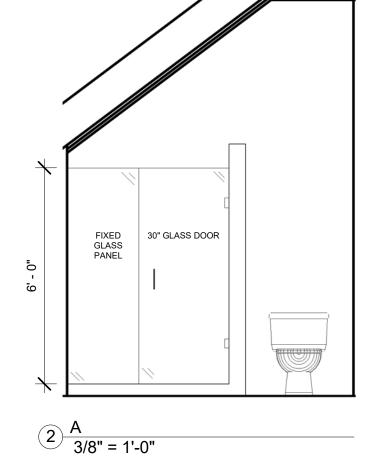
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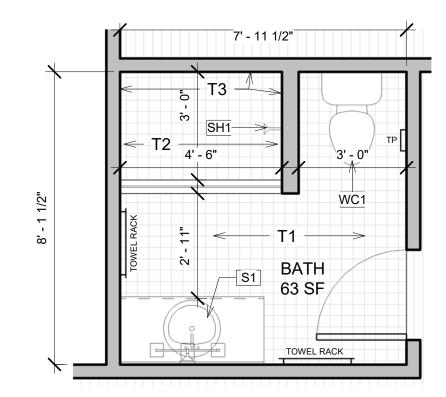
A1.1

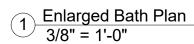
PLUMBING FIXTURE SCHEDULE:

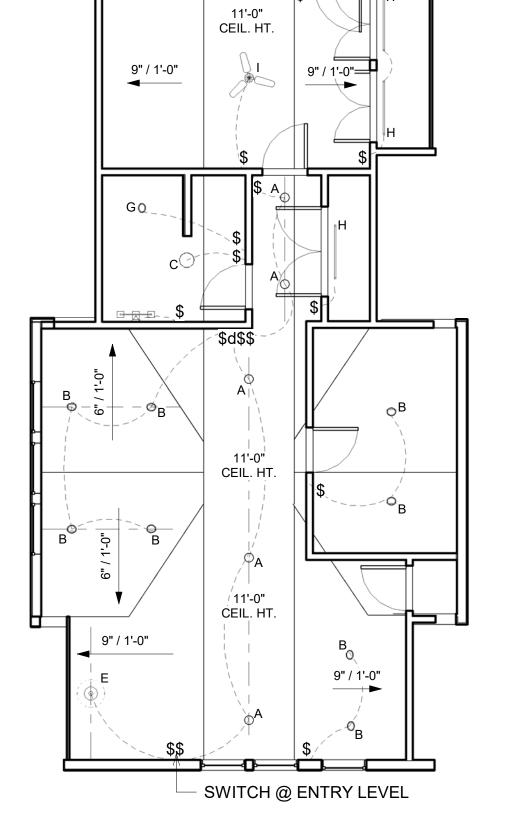
<u>TAG</u>	<u>LOCATION/ITEM</u>	<u>DESCRIPTION</u>	<u>MANUFACTURER</u>
S1	M. BATH BATHROOM SINK	TBD	TBD
F1	M. BATH BATHROOM FAUCET M. BATH TOILET	TBD	TBD
WC1		TBD	TBD
SH1	M. BATH TOILET M. BATH SHOWER FIXTURE	RAIN SHOWER HEAD W/ HAND HELI	

TILE SCHEDULE:				
<u>TAG</u>	LOCATION/ITEM_	<u>DESCRIPTION</u>	<u>MANUFACTURER</u>	
T1	M. BATH BATHROOM FLOOR	TBD	TBD	
T2	M. BATH SHOWER FLOOR	TBD	TBD	
T3	M. BATH SHOWER WALL	TBD	TBD	
T4	1ST FL. SHOWER WALL	TBD	TBD	

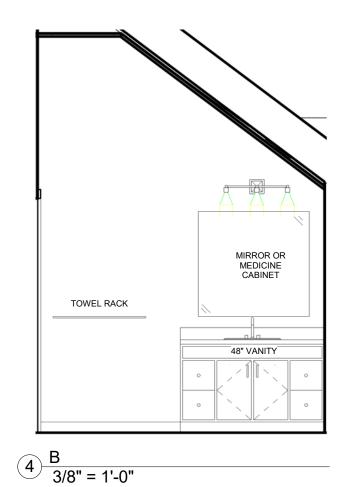








3 2nd Floor RCP 3/16" = 1'-0"



2ND FL. INT. DTLS.

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PROPOSED RENOVATIONS TO:

RYAN

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Project No.	Ab1622
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Drawn by	Author
Checked by	Checker
Scale	As indicated

A1.2

LIGHTING KEY

- A = 5" RECESSED CAN FIXTURE
- B = 5" RECESSED CAN FIXTURE, ADJUSTIBLE LENSE FOR SLOPED CEILING C = EXHAUST FAN/LIGHT COMBO FOR BATHROOMS
- D = EXTERIOR WALL SCONCE E = CEILING MOUNTED PENDANT
- F = WALL MOUNTED SCONCE
- G = 5" RECESSED CAN FIXTURE, WET LOCATION, SLOPED CEILING
- H = 36" STRIP, LED
- I = CEILING FAN W/ LIGHT
- \$ = SWITCH
- \$d = DIMMER SWITCH

EXTERIOR MATERIALS

- NEW CLAPBOARD SIDING (TBD) FOR NEW AND EXISTING WALLS NEW ASPHALT SHINGL ROOF NEW AZEK TRIM

3/16" = 1'-0"

- NEW ALUMINUM GUTTERS AND DOWNSPOUTS
- BALCONY RAILING & DECKING TO BE DETERMINED

WINDO	<i>N</i> SCHEDULE		
<u>TYPE</u>	DIMS.	QNTY.	<u>DESCRIPTION</u>
Α	30X60	4	Anderson 400 Series, White Vinyl Clad, Prime Interior, Double Hung, 1 over 1
В	30X30	1	Anderson 400 Series, White Vinyl Clad, Prime Interior, Double Hung, 1 over 1
С	36X24	1	Anderson 400 Series, White Vinyl Clad, Prime Interior, CASEMENT, 1 over 1
D	36X36	6	Anderson 400 Series, White Vinyl Clad, Prime Interior, AWNING



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North Elevation
3/16" = 1'-0" 3/16" = 1'-0"

NEW BALCONY





South Elevation 3/16" = 1'-0"

A2.1

ELEVATIONS

Ab1622

1/12/18

NM

3/16" = 1'-0"

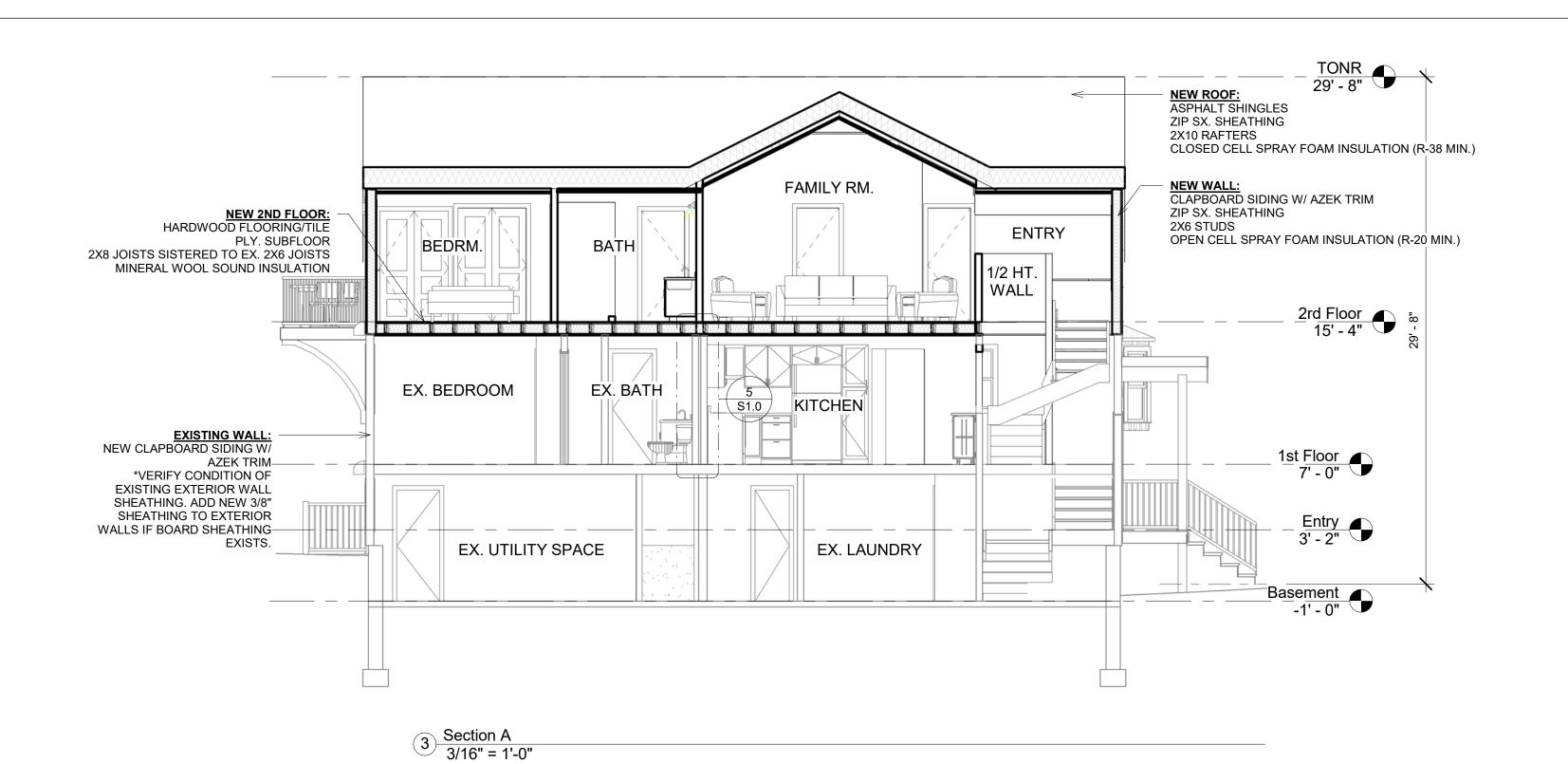
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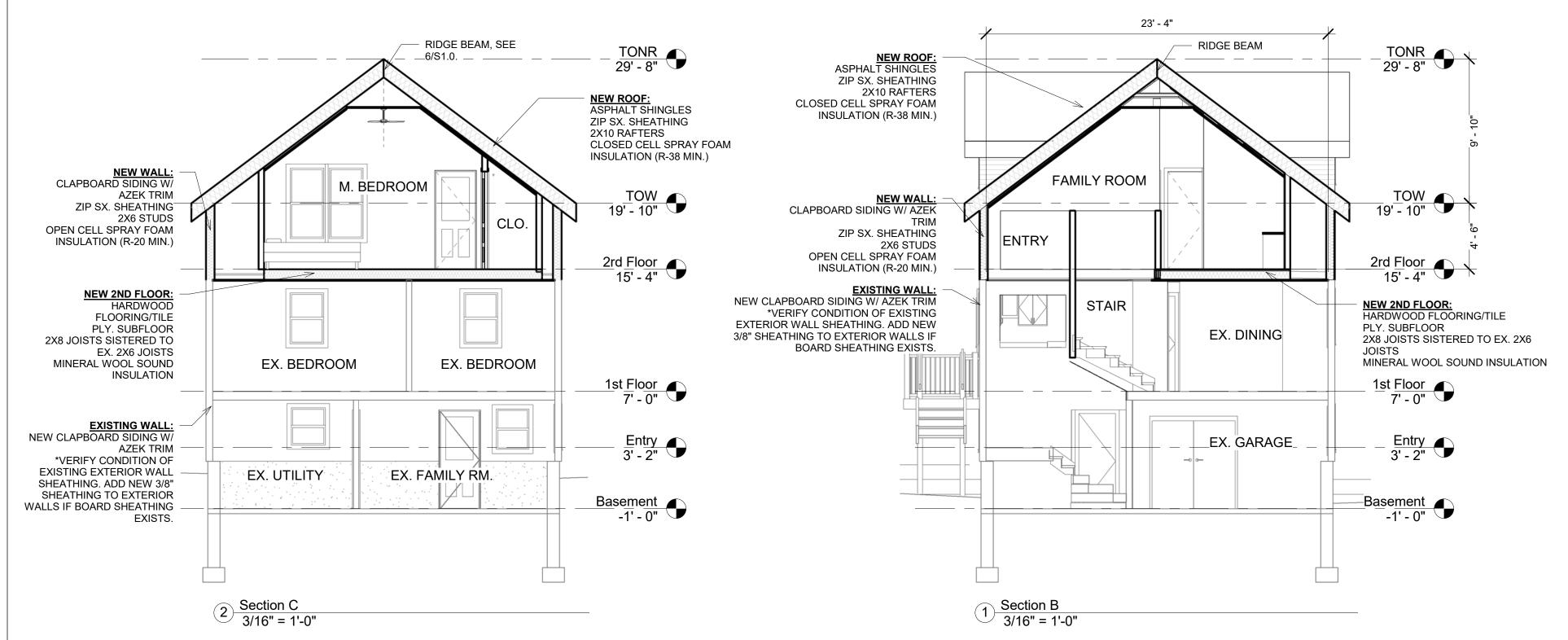
Date

Scale

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PROPOSED RENOVATIONS TO:

RYAN RESIDENCE

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BUILDING SECTIONS

Project No.	Ab1622
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Scale	3/16" = 1'-0"

A2.2

Design Criteria

Second Floor Live Load 30 psf Deck Live Load 40 psf Roof Snow Load 40 psf

Basic Wind Speed 100 mph

1. All work shall conform to the 8th edition of the Commonwealth of Massachusetts Building Code for One and Two Family Dwellings and structural notes.

1. Foundations shall bear on natural soil or compacted structural fill.

2. The foundation design has been based on an allowable soil bearing pressure of 3000 psf for sandy gravel or gravel. Contractor shall verify natural soil and notify engineer if actual conditions differ.

Existing soil below slab-on-grade shall be compacted with 5 passes of a heavy drum roller in each direction.

Remove any soft subgrade to a depth of at least 24 inches and replace with structural fill. compacted

Structural fill shall consist of clean, well-graded granular soil with no stones larger than 2". Fill shall meet the following gradation limits:

sieve size percent passing by weight 1.5" 70-100 3/4" 50-85 30-55 no. 4 8-24 no. 50

no. 200 3-10 Fill shall be placed in maximum 12" lifts and shall be compacted with 5 passes of a heavy drum roller in each direction.

1. Minimum compressive strength at 28 days:

Footings and interior slabs on grade – 3000 psi. Building walls - 3500 psi.

Exterior slabs and steps – 3500 psi with 5%-7% air entrainment.

2. Reinforcing steel shall conform to ASTM A615. 3. Provide 2'-0"x2'-0" corner bars at all horizontal bars in walls.

Adhesive for Anchoring to Existing Concrete

1. Adhesive shall be Hilti HY150 MAX or approved alternate.

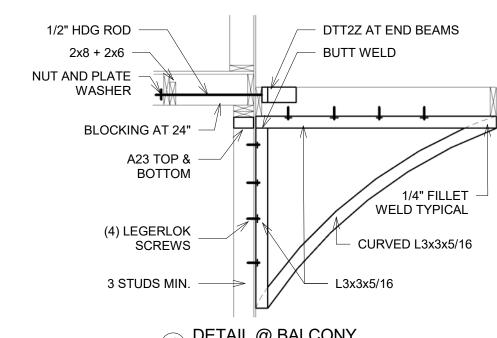
2. Clean out holes with wire brush and blower prior to injecting adhesive.

Pre-Fabricated Balcony Guardrail

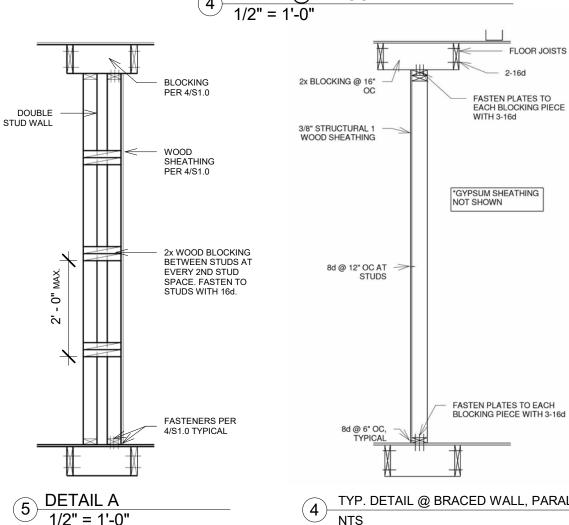
1/2" = 1'-0'

1. Guardrail system & connections shall be capable of resisting 200 lbs. force (horizontal & vertical) applied at any point on the rail.

NOTE: STEEL SHALL BE HOT-DIPPED GALV. OR COATED WITH CORROSION INHIBITING PAINT



DETAIL @ BALCONY



Wood Framing- General

1. Use kiln dried SPF or Douglas Fir-Larch no. 2 or better for all enclosed or interior framing except sills.

2. Provide pressure treated Southern Yellow Pine no. 2 or better for sills, exterior columns and exposed members.

3. Pressure treatment shall be suitable for use with galvanized connectors and shall not cause accelerated metal deterioration.

4. Ends of pressure treated members that have been cut shall be coated with wood preservative.

5. LVL members shall conform to Trusjoist specifications or approved alternate.

6. Connect all members according to table R602.3(1) Fastening Schedule of the International Residential Code unless otherwise noted. 7. Nails shall be common wire nails.

8 Provide joist hangers at all members framing to side of supporting member. 9. All metal connectors in contact with pressure treated wood shall be stainless steel, hot-dipped galvanized or Simpson ZMAX or equivalent. DOUBLE TOP PLATES

10. Fasteners in contact with pressure treated wood shall be stainless steel or hot-dipped galvanized.

11. See fastening schedule for beam and column members consisting of multiple plies.

12. Provide blocking below columns at each floor and sill.

13. Provide blocking between joists at load-bearing walls. 14. Provide bridging between joists for spans greater than 8'-0". Bridging shall be installed at mid-span.

15. Center of joists shall be located within 3" of wall stud below; provide additional studs as required to support joists. 16. Connection hardware noted on drawings shall conform to Simpson Strongtie specifications or approved alternate.

Wall Sheathing at Exterior Walls

1. Sheathing: 15/32" (minimum) exposure 1 wood sheathing with 16" minimum span rating.

Roof and Floor Sheathing

1. Roof sheathing: 15/32" (minimum) exposure 1 wood sheathing with 16" minimum roof span rating.

2. Floor sheathing: 3/4" exposure 1 wood sheathing with 24" minimum floor span rating.

3. Provide sheathing clips between all joists and rafters. Sheathing clips may be omitted with tongue-and-groove sheathing.

4. Long direction of panels shall be perpendicular to joists and rafters.

5. Nails at all panel edges: 8d nails at 6" on center.

6. Nails at interior of panels: 8d nails at 12" on center at each joist or rafter.

Beam and Column Fastening Schedule

Fasteners

Beam 2 plies 2x members: three rows 10d at 12". LVL: three rows 16d at 12" each side.

2x members: three rows 10d 12" each side. Beam 3 plies

1/2" = 1'-0"

LVL: two rows 4" screws at 16" each side.

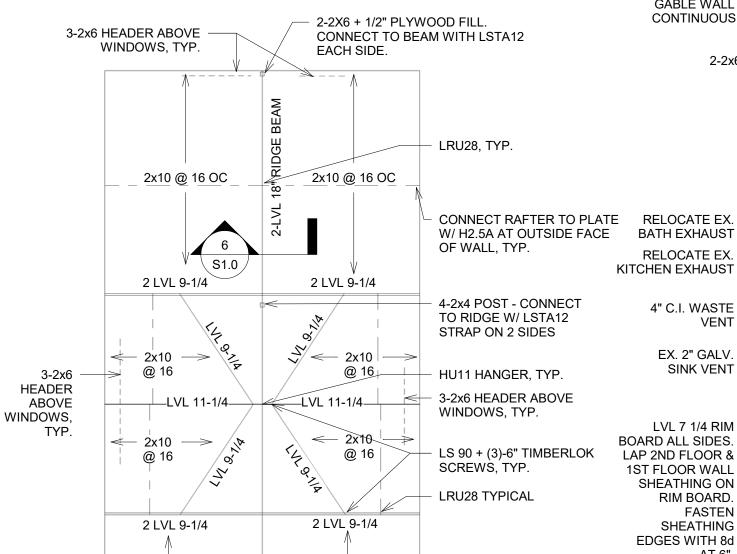
Beam 4 plies 2x members: two rows 5" screws at 16" each side. LVL: two rows 7" screws at 16" each side.

Stud Column 10d nails at 12" on center staggered through each ply.

Note: screws shall be Fastenmaster Headlok screws or similar

*REFER TO A1.1 AND A1.2 FOR ADDITIONAL STRUCTURAL RAFTER FRAMING NOTES FOR THE **BASEMENT & 1ST FLOOR**





2-2x6 UP, 3-2x4 DOWN CONNECT RAFTER TO PLATE RELOCATE EX. BATH EXHAUST RELOCATE EX. KITCHEN EXHAUST 4" C.I. WASTE **VENT** EX. 2" GALV. SINK VENT

2x10 @ 16 OC 2x10 @ 16 OC 3-2x8 +1" PLYWOOD FILL 2-2X6 JACK STUDS +

2-2X6 KING STUDS

TYP. 2-2X6 + 1/2" PLYWOOD FILL CONNECT TO BEAM WITH LSTA12 EACH SIDE. CONNECT TO 3-2X8 WITH 2-LSTA12 2 Roof Framing Plan

HEADER ABOVE WINDOWS,

1/8" = 1'-0"

TYP. DETAIL @ BRACED WALL, PARALLEL TO JOISTS

CONNECTION SCHEDULE

MEMBER FLOOR 2X8

RAFTER TO LEDGER RAFTER TO WALL PLATE LEDGER TO WALL

SOLE PLATE TO JOIST OR BLOCKING STUD TO PLATE

BALCONY

FIRST FLOOR

N. Elev. Balcony Framing

1/4" = 1'-0"

BALCONY - ALL FRAMING TO BE

PREFABRICATED GUARDRAIL ALL SIDES

GABLE WALL STUDS SHALL BE

CONTINUOUS FROM FLOOR TO

LVL 7 1/4 RIM >

RIM BOARD.

SHEATHING

FASTEN

AT 6".

(-) 6" BELOW FLOOR LEVEL

ROOF, TYP.

3-2x8

2nd Floor Framing Plan

1/8" = 1'-0"

16d@16" 2-16d

CONNECTOR

PROVIDE CONNECTORS INDICATED ABOVE UNLESS OTHERWISE NOTED.



SUPPORT BRACKETS

REINFORCE EX. STUDS

IN-LINE W/ SUPPORT

FRAMING ANGLES A23. EACH SIDE, TOP &

BRACKETS - ADD 3

STUD, MIN.

BOTTOM, TYP.

ML26Z EACH CORNER

(2) 2x8 PT, @ END AND SIDES

LEDGERLOK SCREWS AT 16"

HTT4Z WITH 1/2" ANCHOR ROD

2x8 PT, 16" OC W/ LU26Z

SISTER NEW 2X8 JOISTS

TO EXISTING 2X6 JOISTS,

6-2x4 NEW POST ON 1ST FL.

5-LVL 7 1/4 WITH 1/2" THROUGH-

BOLTS 18" OC AT MID-DEPTH OF

BEAM. CONNECT BEAM TO LVL

RIM BOARD WITH ML26 ANGLE

4-2x4 POST TO RIDGE BEAM

FRAMING WITH HGA10 ON 2

ABOVE. CONNECT TO FLOOR

16 IN. O.C., LAP ON

BEARING WALL, TYP.

2x10 PT LEDGER W/

BLOCKING @ 24"

EACH SIDE

3-2X4

2-2X4 POSTS BELOW JACK STUDS

BLOCKING @ 24"

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STRUCTURAL DTLS.

Project No.	Ab1622
Date	1/12/18
Drawn by	CD
Checked by	DM
Scale	As indicated

S1.0

PROPERTY OWNER: GLEN RYAN APPLICATION #: ALT805157

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD, 2F-5000

WARD: 20

18 Tappan Street, 02131

Description

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File Name DJI_0236.JPG



18 Tappan Street, 02131

Description

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File Name DJI_0235.JPG



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ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD, 2F-5000

WARD: 20

18 Tappan Street, 02131

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18 Tappan Street, 02131

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WARD: 20

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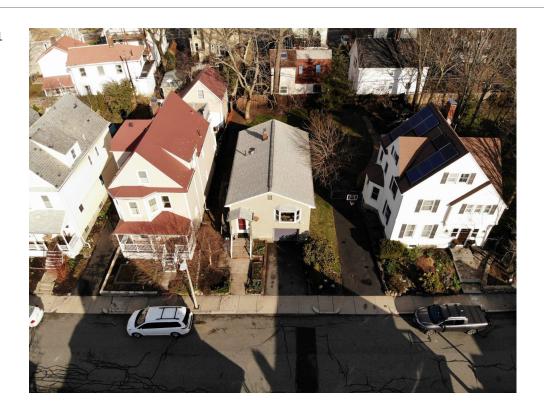
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WARD: 20

18 Tappan Street, 02131

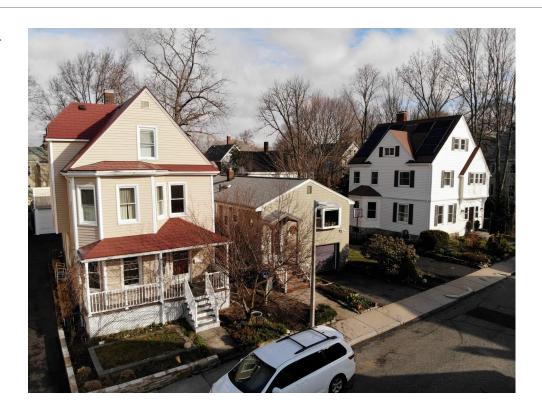
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File Name DJI_0224.JPG



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WARD: 20

18 Tappan Street, 02131

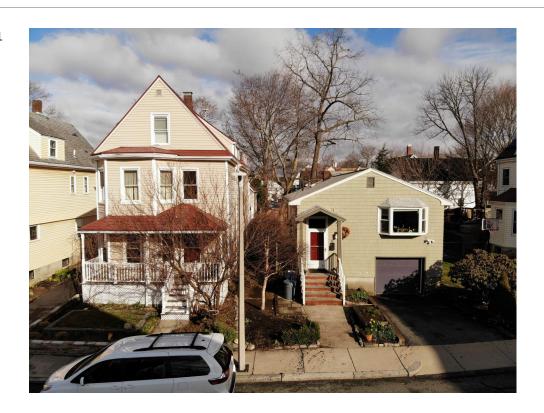
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18 Tappan Street, 02131

Description

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